

United City of Yorkville

651 Prairie Pointe Drive Yorkville, Illinois 60560 Telephone: 630-553-4350

www.yorkville.il.us

AGENDA

SPECIAL ECONOMIC DEVELOPMENT COMMITTEE MEETING Tuesday, April 1, 2025 6:00 p.m.

East Conference Room #337 651 Prairie Pointe Drive, Yorkville, IL

Citizen Comments:

Minutes for Correction/Approval: March 4, 2025

New Business:

- 1. EDC 2025-23 Building Permit Report for February 2025
- 2. EDC 2025-24 Building Inspection Report for February 2025
- 3. EDC 2025-25 Property Maintenance Report for February 2025
- 4. EDC 2025-26 Economic Development Report for March 2025
- 5. EDC 2025-27 QuikTrip Sign Variance
- 6. EDC 2025-28 904 S. Bridge Street Variance

Old Business:

Additional Business:

UNITED CITY OF YORKVILLE

WORKSHEET

SPECIAL ECONOMIC DEVELOPMENT COMMITTEE Tuesday, April 1, 2025 6:00 PM

EAST CONFERENCE ROOM #337

CITIZEN COMMENTS:
MINUTES FOR CORRECTION/APPROVAL:
1. March 4, 2025
Approved
As presented
☐ With corrections
ALENY DYJOUNEGO
NEW BUSINESS:
1. EDC 2025-23 Building Permit Report for February 2025
☐ Informational Item
□ Notes

	☐ Informational Item ☐ Notes
	EDC 2025-25 Property Maintenance Report for February 2025 Informational Item
	Notes
ļ.	EDC 2025-26 Economic Development Report for March 2025 Informational Item
	□ Notes

5. EDC 2025-27 QuikTrip – Sign Variance
☐ Moved forward to CC
☐ Approved by Committee
☐ Bring back to Committee
☐ Informational Item
□ Notes
6. EDC 2025-28 904 S. Bridge Street – Variance
☐ Moved forward to CC
Approved by Committee
☐ Bring back to Committee
☐ Informational Item
□ Notes
ADDITIONAL DUCINESS.
ADDITIONAL BUSINESS:



Legal	
Finance	
Engineer	
City Administrator	
Community Development	
Purchasing	
Police	
Public Works	
Parks and Recreation	

	_		
Agenda	Item	Num	ber

Minutes

Tracking Number

Agenda Item Summary Memo

Title: Minutes of the	e Economic Development	t Committee – March 4, 2025
Meeting and Date:	Special Economic Deve	lopment Committee – April 1, 2025
Synopsis:		
Council Action Prev	viously Taken:	
Date of Action:	Action T	Caken:
Item Number:		
Type of Vote Requi	red: Majority	
Council Action Req	uested: Committee App	roval
Submitted by:	Minute Taker	
~ usimiood s.j.t	Name	Department
	Agenda	Item Notes:

UNITED CITY OF YORKVILLE ECONOMIC DEVELOPMENT COMMITTEE

Tuesday, March 4, 2025, 6:00pm <u>Council Chambers</u>

651 Prairie Pointe Drive, Yorkville, IL

In Attendance: Committee Members

Chairman Joe Plocher Alderman Dan Transier
Alderman Chris Funkhouser Alderman Seaver Tarulis

Other City Officials

City Administrator Bart Olson
Assistant City Administrator Erin Willrett
Community Development Director Krysti Barksdale-Noble
Code Official Pete Ratos
Planner I Sara Mendez
Senior Planner David Hansen
Alderman Ken Koch
Alderman Craig Soling
Tim Evans, Director Parks & Rec
Scott Sleezer, Superintendent Parks
Lynn Dubajic Kellogg, City Consultant
Katelyn Gregory, Community Engagement and Marketing Coordinator

Other Guests

Carolyn Panozzo, Rivers Edge Jeff Burgner Joe Panozzo, Rivers Edge Jen Rakas, via Zoom Dan Kramer, Attorney Eric Mancke, via Zoom Kreg Wesley, School District #115 Anonymous, via Zoom Joe Weslo, Kendall County Record, Zoom Fred DuSell, Rivers Edge Mike Mann, Christie Property Jason Mick, Fox Developers Corinna Jones, White Oak Estates Tamara Smock, Rivers Edge Michelle Nicholson, Rivers Edge Kirk Anderson, Rivers Edge Tim Houston, Rivers Edge Stephen Dascher, Rivers Edge Gretchen Dascher, Rivers Edge Jason Metzler, via Zoom

The meeting was called to order at 6:00pm by Chairman Joe Plocher. He informed the audience that no vote would be taken on the proposed development of the Christie property.

Citizen Comments

Kreg Wesley: Mr. Wesley is with School District #115 and has concerns about overcrowding in the schools with the potential development of the Christie property. He said by using population calculations, this development could yield 162-200 students and that the schools are full now. School administrators have been conducting listening tours to determine the needs of the school district. He said the district has hired a demographer and the school is compiling a master plan. School enrollment has tripled since 2002. One year from now a referendum will be held, but for now the school district is building temporary facilities at 3 of the existing schools. He said they are out of room at some buildings and have to send students elsewhere. He asked for support to slow development and that the developer use the age restricted for all units.

Michelle Nicholson, Resident Rivers Edge: Ms. Nicholson has concerns with the traffic on Rt. 47 and Fox Rd. and said that Fox Rd. can't be widened and you can't turn right on red. Semis are also using Fox Road and cars cannot exit Rivers Edge during prime times. She worries about decreased property values and the burden on the schools. She said the age targeted is a gray area and this type of project is not consistent with this area. She has heard the project would take 5 years for buildout and it would be difficult to deal with the associated traffic. She asked the Council to deny the rezoning and to keep the existing zoning for 98 estate lots similar to Rivers Edge or White Oak Way.

Joe Panozzo, Rivers Edge HOA President: He has been hearing from many residents in River Edge and they are concerned with the factors that Ms. Nicholson just stated above. He discussed the turn lane on Fox Rd. and the fact there is no room for expansion of that. Only 5-6 cars can be stacked and then it backs up on Fox Rd. He is concerned with the density of the development and asked the Council to please consider this.

<u>Tammy Smock, Rivers Edge:</u> Ms. Smock said that when traveling west around 3 or 4pm on Fox Road, the sun blinds drivers. If a new development comes in and an exit or entrance is constructed at the top of Fox Rd. and further down, drivers cannot see. Many accidents have occurred by Hoover and she cited a severe accident that happened there.

<u>Tim Houston, River Edge:</u> He understands the city is growing, but he asked the Council to use common sense when making the decision about rezoning. He feels this is not the correct location for this type of development. He said it does not make sense to have duplexes and four-plexes across from more upscale homes in White Oak Way. He also said Fox Rd. is very unsafe.

Chairman Plocher asked to move item #5 forward on the agenda, with no objection.

New Business

5. EDC 2025-22 Christie Property – Rezoning and PUD

Ms. Noble gave a description of the project, saying Fox River Enterprise is proposing a 345 unit development on 136 acres and the requested zoning is from R-1 to R-2, R2D and R3D. It would be comprised of 185 single family homes, 48 duplexes and 112 townhomes. She said there is an emphasis on the age-restricted and age-targeted components. She said they made some site plan adjustments based on prior feedback. The current plan does not meet the parking requirements for the townhome area. She discussed the access points and the park and school land cash. Ms. Noble said the petitioner was requested to meet with nearby subdivisions prior to the Planning & Zoning Public Hearing on April 9th.

Dan Kramer, Attorney for the Christie Property, said it was discovered in 1982 that a portion of this property had already been annexed, final platted and recorded. It was zoned single family. He said the petitioner will be holding an informational meeting and invite residents of the 4 nearby subdivisions. Regarding traffic issues, he said when there is a county road inside a municipality, it remains a county road unless the property is annexed and there is an IGA to turn it over to the municipality. They are working with the county transportation department and will obtain a traffic study. His client did a market study and the buildout is expected to take longer than 5 years. He said the homes would be semi-custom. He discussed age-restricted and age-targeted. He said age restricted requires at least one occupant to be aged 55, with no one under 18 living there. He addressed potential students the development could generate and said that in Oswego, the developer did an agreement with the school district that stipulated the developer would pay an impact fee if an age-targeted home generated students, based on student address. Also in the agreement, the developer still paid land cash for schools and parks for the age-restricted homes.

Mr. Jason Mick, Fox Developers, commented on the buildout time. He said for 300 units, it will take 7-10 years to reach 85% buildout.

The committee member discussed the issues. Mr. Funkhouser prefers it to be less dense. He feels the age targeted can create student population especially with the townhomes. Traffic is a concern and this may push the county to deal with Fox Rd. He said the connections with other streets will bring traffic to Rt. 71 and he wants to avoid inter-connection of traffic. He favors increasing the age restricted and eliminate age targeted and townhomes.

Alderman Plocher and Transier do not favor four-plexes or townhomes. Alderman Soling added that with today's economy, people buy what they can afford and have the maximum number of people living there. Alderman Transier wants to see the traffic study. He also referred to duplexes in Green Briar and said some duplexes have 5-6 cars—2 in the driveway and 4 on the street and have packed garages. Alderman Soling said there are many duplexes on Conover and several cars are parked there and on yards.

Committee members were generally not in favor of townhomes. Aldermen Funkhouser and Plocher were OK with duplexes, but fewer of them.

Dan Kramer will meet with school district as they progress.

The next step is a Public Hearing on April 9th at PZC.

1. EDC 2025-18 Building Permit Report for January 2025

Mr. Ratos reported there were 11 commercial, 10 single-family attached and 7 single-family detached permits issued in January.

2. EDC 2025-19 Building Inspection Report for January 2025

There were 275 inspections, most of them single family homes, said Mr. Ratos.

3. EDC 2025-20 Property Maintenance Report for January 2025

No cases were heard in January, since 4 or 5 cases became compliant.

4. EDC 2025-21 Economic Development Report for February 2025

Ms. Dubajic Kellogg referred to the report in the packet. She also introduced Katelyn Gregory who will be the new Economic Development Coordinator for the city.

(out of order)

Minutes for Correction/Approval: February 4, 2025

The minutes were approved as presented.

Old Business: None **Additional Business:**

There was no further business and the meeting adjourned at 6:47pm.

Minutes respectfully submitted by Marlys Young, Minute Taker



Reviewed By:				
Legal Finance Engineer City Administrator Community Development Purchasing Police				
Public Works Parks and Recreation				

Agenda Item Number
New Business #1
Tracking Number
EDC 2025-23

Agenda Item Summary Memo

Title: Building Pern	nit Report for February 2025						
Meeting and Date:	Special Economic Developm	nent Committee – April 1, 2025					
Synopsis: All permits issued in February 2025.							
		_					
Council Action Prev	viously Taken:						
Date of Action:	Action Taken	::					
Item Number:							
Type of Vote Requi	red: Informational						
Council Action Req	uested: None	_					
Submitted by:	Gina Nelson	Community Development					
	Name	Department					
Agenda Item Notes:							



UNITED CITY OF YORKVILLE

BUILDING PERMIT REPORT February 2025

TYPES OF PERMITS

	Number of Permits Issued	SFD Single Family Detached	SFA Single Family Attached	Multi- Family Apartments Condominiums	Commercial Includes all Permits Issued for Commercial Use	Industrial	Misc.	Construction Cost	Permit Fees
February 2025	46	1	0	0	14	0	31	1,412,774.00	41,049.95
Calendar 2025	113	8	10	0	25	0	70	14,578,801.00	256,985,05
Fiscal Year 2025	1,133	117	16	1 permit 48 units	123	0	876	61,904,930.00	2,296,544.81
February 2024	79	19	0	0	7	0	53	4,479,819.00	242,096.14
Calendar Year 2024	138	35	0	0	12	0	91	71,902,845.00	536,364.60
Fiscal Year 2024	1961	215	109	0	72	0	1565	154,307,460.00	4,779,911.56
February 2023	87	12	18	0	4	0	53	5,333,922.00	389,575.50
Calendar Year 2023	144	34	18	0	9	0	83	9,667,985.00	538,323.24
Fiscal Year 2023	1249	144	121	0	86	0	898	57,515,681.00	2,828,415.42
February 2022	54	5	8	0	5	0	36	2,293,576.00	56,496.90
Calendar Year 2022	111	19	8	0	12	0	72	5,884,589.00	151,150.80
Fiscal Year 2022	1,229	169	144	0	87	0	829	57,403,966.00	2,062,133.69



Reviewed By:				
Legal				
Finance	l ∐			
Engineer				
City Administrator				
Community Development				
Purchasing				
Police				
Public Works				
Parks and Recreation				

Agenda Item Number
New Business #2
Tracking Number
EDC 2025-24

Agenda Item Summary Memo

Title: Building Insp	ection Report for February 202	25
Meeting and Date:	Special Economic Developm	nent Committee – April 1, 2025
Synopsis: All inspe	ctions scheduled in February 2	2025.
Council Action Prev	viously Taken:	
Date of Action:	Action Taken	:
Item Number:		
Type of Vote Requi	red: Informational	
Council Action Req	uested: None	
Submitted by:		Community Development
	Name	Department
	Agenda Iten	n Notes:

Comments2: AST SIDE

UNITED CITY OF YORKVILLE

TIME: 08:32:25 CALLS FOR INSPECTION REPORT ID: PT4A0000.WOW

INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025

PAGE: 1

INSPECTOR SCHED. COMP. DATE LOT TIME TYPE OF INSPECTION PERMIT ADDRESS ------AM 134-FIN FINAL INSPECTION 10000001 COUNTY INSPECTIONS 0 Comments1: SOLAR-- 6239 SOUTHFIELD LN, OSWEGO PR 135-ELS ELECTRIC SERVICE 02/06/2025 Comments1: ELS & WIRE/FRAME -- 3772 STEWART RD PR 136-PLR PLUMBING - ROUGH 02/06/2025 Comments1: 3772 STEWART RD 138-FTG FOOTING PR 02/28/2025 Comments1: 5516 LEGEND DR - WHITETAIL GH 020-FIN FINAL INSPECTION 20231553 1011 GILLESPIE LN 242 02/14/2025 Comments1: MODEL TO FULL 02/14/2025 021-FEL FINAL ELECTRIC GH 022-FMC FINAL MECHANICAL 02/14/2025 PBF 023-PLF PLUMBING - FINAL OSR READ 02/14/2025 Comments1: MODEL TO FULL - PLEASE CALL BEFORE ARRIV Comments2: AL JENN 630-365-7229 AM 024-REI REINSPECTION GH 02/19/2025 Comments1: FINAL ELECT ___ PM 012-ESW SEWER / WATER 20232390 212 WINDHAM CIR 54 PR 02/07/2025 Comments1: REMY ВС 02/12/2025 AM 013-RFR ROUGH FRAMING RESCHECK SF Comments1: JESSICA 630-379-9610 PR ____ AM 014-PLR PLUMBING - ROUGH 02/12/2025 ВС AM 015-REL ROUGH ELECTRICAL 02/12/2025 Comments1: JESSICA AM 016-RMC ROUGH MECHANICAL PR 02/12/2025 ___ AM 017-INS INSULATION 02/18/2025 ВС Comments1: JESSICA - 630-379-9610 ___ AM 018-REI REINSPECTION ВС 02/18/2025 Comments1: ROUGH FRAME 20240195 1536 SYCAMORE RD 2 AM 022-STP STOOPS ВС 02/25/2025 Comments1: JIM 708-238-5391 9 STOOPS -- NORTH AND E

UNITED CITY OF YORKVILLE

CALLS FOR INSPECTION REPORT

Comments1: FRAMING REINSPECTION PASSED AS NOTED, PI

Comments2: CTURES REOUIRED

INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025

PAGE: 2

INSPECTOR SCHED. DATE DATE TIME TYPE OF INSPECTION PERMIT ADDRESS LOT GH AM 023-REL ROUGH ELECTRICAL 02/28/2025 Comments1: JIM 708-238-5391 1-3 GH ___ AM 024-RMC ROUGH MECHANICAL 02/28/2025 Comments1: 1-3 GH AM 025-RFR ROUGH FRAMING RESCHECK SF 02/28/2025 Comments1: 1-3 PASSED AS NOTED: NEED SUBMISSION FOR Comments2: FIRE INTEGRITY FROM ARCHITECT PBF AM 026-PLR PLUMBING - ROUGH 02/28/2025 Comments1: UNITS 1-6 ____ AM 027-REL ROUGH ELECTRICAL вс 02/28/2025 Comments1: 4-6JIM AM 028-RMC ROUGH MECHANICAL 02/28/2025 ВC Comments1: 4-6 ВС AM 029-RFR ROUGH FRAMING RESCHECK SF 02/28/2025 Comments1: 4-6 ВС 14:00 AM 030-STP STOOPS 02/26/2025 Comments1: SOUTH SIDE OF BUILDING AM 027-FIN FINAL INSPECTION 20240226 314 ILLINI DR 12 02/05/2025 ВС Comments1: ROBBIE - 630-885-7628 PBF AM 028-PLF PLUMBING - FINAL OSR READ 02/05/2025 Comments1: ROBBIE - 630-885-7628 ВC 029-FEL FINAL ELECTRIC 02/05/2025 Comments1: ROBBIE - 630-885-7628 ВС AM 030-FMC FINAL MECHANICAL 02/05/2025 Comments1: ROBBIE - 630-885-7628 GS ___ AM 031-EFL ENGINEERING FINAL SITE 02/05/2025 Comments1: ROBBIE - 630-885-7628 ВС 032-FIN FINAL INSPECTION 02/26/2025 __ 033-FEL FINAL ELECTRIC ВС 02/06/2025 788 023-EFL ENGINEERING FINAL SITE 20240308 2765 BERRYWOOD LN GS 02/26/2025 Comments1: OK TO TEMP 016-REI REINSPECTION 20240574 2166 HENNING LN 338 02/21/2025 GH

UNITED CITY OF YORKVILLE

CALLS FOR INSPECTION REPORT ID: PT4A0000.WOW

PAGE: 3

INSPECTOR SCHED. COMP. LOT DATE DATE TIME TYPE OF INSPECTION PERMIT ADDRESS GH ____ 017-REI REINSPECTION 02/21/2025 Comments1: MECHANICAL REINSPECTION AM 008-GPL GREEN PLATE INSPECTION 20240575 2172 HENNING LN 339 GH 02/11/2025 Comments1: ALLADIN ВС PM 002-FTG FOOTING 20240911 579 E KENDALL DR 1 02/06/2025 Comments1: ROSA 815-582-7355 001-FIN FINAL INSPECTION 20240968 124 BERTRAM DR I 1629 ВС 02/18/2025 Comments1: WATER HEATER PM 003-REI REINSPECTION 20241044 4541 GARDINER AVE ВC 1095 02/10/2025 Comments1: SOLAR OSWALDO - 312-714-4239 PM 003-REI REINSPECTION ВС 20241121 1122 SPRING ST 76 02/05/2025 Comments1: 10-1 -- FRANK 224-237-8025 AM 007-REI REINSPECTION 20241223 303 A&B WALTER ST ВС 02/11/2025 Comments1: FINAL FRAME 008-REI REINSPECTION 02/11/2025 ВС Comments1: FINAL ELECT 009-REI REINSPECTION ВС 02/12/2025 Comments1: FINAL ELECT ___ AM 016-FIN FINAL INSPECTION 20241228 2858 OLD GLORY DR 277 02/27/2025 GH Comments1: JIM ____ AM 017-FMC FINAL MECHANICAL 02/27/2025 GH Comments1: JIM ___ AM 018-FEL FINAL ELECTRIC GH 02/27/2025 Comments1: JIM 02/27/2025 PBF AM 019-PLF PLUMBING - FINAL OSR READ Comments1: JIM - 224-828-3245 JFLAHERT@NVRINC.COM ____ 020-EFL ENGINEERING FINAL SITE GS 02/28/2025 ___ 013-REI REINSPECTION 20241243 2857 OLD GLORY DR 241 ВС 02/04/2025 Comments1: ROUGH FRAME 014-INS INSULATION ВС 02/04/2025 PM 009-STP STOOPS 20241244 2861 OLD GLORY DR 242 02/10/2025 GH Comments1: MW FRONT NOT READY AT 2:17PM

INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025

ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE

CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025

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SCHED. COMP. INSPECTOR LOT DATE TIME TYPE OF INSPECTION PERMIT ADDRESS DATE ____ 010-STP STOOPS GH 02/11/2025 Comments1: FRONT -- MW ВС 011-RFR ROUGH FRAMING RESCHECK SF 02/14/2025 Comments1: JIM ВC 012-REL ROUGH ELECTRICAL 02/14/2025 ____ 013-RMC ROUGH MECHANICAL ВС 02/14/2025 PBF 014-PLR PLUMBING - ROUGH 02/14/2025 Comments1: JIM -- 224-828-3245 JFLAHERT@NVRINC.COM ___ 015-INS INSULATION 02/18/2025 GH Comments1: JIM 016-FIN FINAL INSPECTION 20241245 2848 OLD GLORY DR 279 02/18/2025 GH Comments1: JIM 017-FEL FINAL ELECTRIC 02/18/2025 GH _____ 018-FMC FINAL MECHANICAL 02/18/2025 GH PR 019-PLF PLUMBING - FINAL OSR READ 02/18/2025 Comments1: JIM 224-828-3245 JFLAHERT@NVRINC.COM 02/19/2025 GS 020-EFL ENGINEERING FINAL SITE Comments1: WINTER CONDITIONS 015-FIN FINAL INSPECTION 20241246 2854 OLD GLORY DR 278 GH 02/06/2025 Comments1: JIM _____ 016-FEL FINAL ELECTRIC 02/06/2025 GH GH 017-FMC FINAL MECHANICAL 02/06/2025 PBF 018-PLF PLUMBING - FINAL OSR READ 02/06/2025 Comments1: JFLAHERT@NVRINC.COM - 224-828-3245 GS 019-EFL ENGINEERING FINAL SITE 02/07/2025 Comments1: OK TO TEMP PM 001-FIN FINAL INSPECTION 20241262 945 ERICA LN GH 02/26/2025 Comments1: EARLY PM -- LARRY 815-276-3048 20241268 505 TIMBER OAK LN 27 GH AM 017-STP STOOPS 02/05/2025 Comments1: KARINA 8158398175 - FRONT

PM 013-FMC FINAL MECHANICAL

Comments2: INC.COM

Comments1: JOSH 630-742-6997 JOSH@SILHOUTTEBUILDERS

GH

UNITED CITY OF YORKVILLE

CALLS FOR INSPECTION REPORT

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02/04/2025

INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025 INSPECTOR SCHED. LOT DATE DATE TIME TYPE OF INSPECTION PERMIT ADDRESS GH AM 014-STP STOOPS 20241304 3045 CONSTITUTION WAY 517 02/03/2025 Comments1: AM FRONT GS _____ 015-EFL ENGINEERING FINAL SITE 02/28/2025 PM 008-PLR PLUMBING - ROUGH 20241306 312 TIMBER OAK LN 1 PR 02/24/2025 Comments1: TYRELL 630-608-9688 ВC PM 009-RFR ROUGH FRAMING RESCHECK SF 02/24/2025 Comments1: BRACE SINGLE JOISTS OVER BEAM IN BSM --Comments2: REINSPECT WITH INSULATION ВС PM 010-REL ROUGH ELECTRICAL 02/24/2025 PM 011-RMC ROUGH MECHANICAL 02/24/2025 ВC 02/27/2025 ВC PM 012-STP STOOPS Comments1: KEN 630-546-0735 AM 005-RFR ROUGH FRAMING RESCHECK SF 20241308 800 BRISTOL AVE 02/12/2025 GH Comments1: CLAY - 630-336-3678 AM 006-REL ROUGH ELECTRICAL GH 02/12/2025 Comments1: CLAY - 630-336-3678 02/12/2025 GH AM 007-RMC ROUGH MECHANICAL Comments1: CLAY - 630-336-3678 PR AM 008-PLR PLUMBING - ROUGH 02/12/2025 Comments1: CLAY - 630-336-3678 GH 009-INS INSULATION 02/18/2025 Comments1: AS NOTED 20241312 431 WINDETT RIDGE RD 60 GH PM 010-FIN FINAL INSPECTION 02/04/2025 Comments1: JOSH 630-742-6997 JOSH@SILHOUTTEBUILDERS Comments2: INC.COM PBF PM 011-PLF PLUMBING - FINAL OSR READ 02/04/2025 Comments1: JOSH 630-742-6997 JOSH@SILHOUTTEBUILDERS Comments2: INC.COM GH PM 012-FEL FINAL ELECTRIC 02/04/2025 Comments1: JOSH 630-742-6997 JOSH@SILHOUTTEBUILDERS Comments2: INC.COM

INSPECTOR

ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025

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COMP.

SCHED.

LOT DATE TIME TYPE OF INSPECTION PERMIT ADDRESS DATE GH AM 014-REI REINSPECTION 02/18/2025 Comments1: JOSH- 630-742-6997 GH 015-REI REINSPECTION 02/25/2025 Comments1: ELECTRICAL, VIRTUAL - SENT PICTURES OF A Comments2: RC FAULT BREAKERS GH 018-FIN FINAL INSPECTION 20241323 2663 BIG GROVE CIR 95 02/27/2025 Comments1: KALIN PASSED AS NOTED _____ 019-FEL FINAL ELECTRIC 02/27/2025 GΗ 020-FMC FINAL MECHANICAL 02/27/2025 GH 021-PLF PLUMBING - FINAL OSR READ 02/28/2025 PBF Comments1: KTELLEZ@NVRINC.COM 022-EFL ENGINEERING FINAL SITE 02/28/2025 GS 016-FIN FINAL INSPECTION 20241339 2688 BIG GROVE CIR 85 02/28/2025 GH Comments1: KALIN GH 017-FEL FINAL ELECTRIC 02/28/2025 02/28/2025 GH 018-FMC FINAL MECHANICAL PBF 019-PLF PLUMBING - FINAL OSR READ 02/28/2025 Comments1: KTELLEZ@NVRINC.COM GS AM 020-EFL ENGINEERING FINAL SITE 02/28/2025 015-FIN FINAL INSPECTION 20241340 2667 BIG GROVE CIR 93 02/12/2025 GΗ Comments1: KALIN 016-FEL FINAL ELECTRIC 02/12/2025 GH GH 017-FMC FINAL MECHANICAL 02/12/2025 PR _____ 018-PLF PLUMBING - FINAL OSR READ 02/12/2025 GS 019-EFL ENGINEERING FINAL SITE 02/12/2025 Comments1: WINTER CONDITIONS GS 020-EFL ENGINEERING FINAL SITE 02/19/2025 Comments1: WINTER CONDITIONS PR 007-RFR ROUGH FRAMING RESCHECK SF 20241361 621 GREENFIELD TURN 70 02/03/2025 Comments1: TIM

Comments1: KARINA 815-839-8175 FRONT

Comments1: KARINA 815-839-8175 FRONT

AM 009-STP STOOPS

GH

UNITED CITY OF YORKVILLE CALLS FOR INSPECTION REPORT

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02/05/2025

INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025 INSPECTOR SCHED. COMP. DATE LOT TIME TYPE OF INSPECTION PERMIT ADDRESS DATE 008-REL ROUGH ELECTRICAL 02/03/2025 PR PR 009-RMC ROUGH MECHANICAL 02/03/2025 010-PLR PLUMBING - ROUGH 02/03/2025 PR ВС 08:30 011-GAR GARAGE FLOOR 02/10/2025 Comments1: KRISTINE - 630-546-0891/KEN 630-546-0735 ВС 012-STP STOOPS 02/10/2025 Comments1: KRISTINE - 630-546-0891/KEN 630-546-0735 ВС 013-INS INSULATION 02/10/2025 Comments1: TIM - 630-878-5291 PR AM 001-RFR ROUGH FRAMING RESCHECK SF 20241362 204 W BEECHER ST 02/19/2025 Comments1: RYAN 224-240-6981 ____ AM 002-REL ROUGH ELECTRICAL PR 02/19/2025 AM 003-RMC ROUGH MECHANICAL 02/19/2025 ____ AM 004-PLR PLUMBING - ROUGH PR 02/19/2025 ВС ___ AM 005-INS INSULATION 02/28/2025 Comments1: RYAN 224-240-6981 __ PM 008-STP STOOPS 20241384 2867 OLD GLORY DR 243 GH 02/10/2025 Comments1: MW FRONT ____009-RFR ROUGH FRAMING RESCHECK SF 02/25/2025 GH Comments1: JIM _____ 010-REL ROUGH ELECTRICAL GH 02/25/2025 02/25/2025 011-RMC ROUGH MECHANICAL PBF 012-PLR PLUMBING - ROUGH 02/25/2025 Comments1: JIM -- JFLAHERT@NVRINC.COM 224-828-3245 ВС AM 013-INS INSULATION 02/27/2025 Comments1: JIM _ AM 012-STP STOOPS 20241403 365 TIMBER OAK LN 33 02/05/2025

20241404 525 TIMBER OAK LN 26

UNITED CITY OF YORKVILLE

CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025

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INSPECTOR SCHED. COMP. DATE TIME TYPE OF INSPECTION PERMIT ADDRESS LOT DATE PM 010-RFR ROUGH FRAMING RESCHECK SF 02/06/2025 GH Comments1: JASON PASSED AS NOTED ____ PM 011-REL ROUGH ELECTRICAL 02/06/2025 GH PM 012-RMC ROUGH MECHANICAL 02/06/2025 GH PBF ___ PM 013-PLR PLUMBING - ROUGH 02/06/2025 Comments1: JJACOBS@RALLYHOMES.NET 630-632-7433 ___ AM 014-INS INSULATION 02/13/2025 GH Comments1: JASON PR am 006-FIN FINAL INSPECTION 20241422 2652 MCLELLAN BLVD 55 02/28/2025 Comments1: VICTOR 773-876-2605 AM 007-FEL FINAL ELECTRIC 02/28/2025 PR ____ AM 008-FMC FINAL MECHANICAL PR 02/28/2025 AM 009-PLF PLUMBING - FINAL OSR READ 02/28/2025 PM 006-BSM BASEMENT FLOOR 20241433 435 TIMBER OAK LN ВС 31 02/19/2025 Comments1: KARINA - 815-839-8175 008-RFR ROUGH FRAMING RESCHECK SF 20241440 2690 BIG GROVE CIR 86 02/04/2025 ВС Comments1: ANDREW 009-REL ROUGH ELECTRICAL ВС 02/04/2025 ВС 010-RMC ROUGH MECHANICAL 02/04/2025 PBF 011-PLR PLUMBING - ROUGH 02/04/2025 Comments1: ANDREW 331-431-7342 AMEEKS@NVRINC.COM 02/06/2025 ВС ____ AM 012-INS INSULATION Comments1: ANDREW ___ AM 013-GAR GARAGE FLOOR GH 02/07/2025 Comments1: MW ___ AM 014-STP STOOPS 02/07/2025 GH Comments1: FRONT AM 005-GPL GREEN PLATE INSPECTION 20241441 2692 BIG GROVE CIR 87 GH 02/04/2025 Comments1: ANDREW - 331-431-7342 ВС PM 006-BSM BASEMENT FLOOR 02/13/2025 Comments1: MW

Comments1: FAMILYSEWEROFFICE@YAHOO.COM

UNITED CITY OF YORKVILLE

CALLS FOR INSPECTION REPORT ID: PT4A0000.WOW

INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025

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INSPECTOR SCHED. COMP. LOT DATE DATE TIME TYPE OF INSPECTION PERMIT ADDRESS PR am 007-PLU PLUMBING - UNDERSLAB 02/13/2025 Comments1: andrew 331-431-7342 ___ AM 008-RFR ROUGH FRAMING RESCHECK SF ВС 02/26/2025 Comments1: REAR DECK ВС 008-RFR ROUGH FRAMING RESCHECK SF 20241443 2630 SUTHERLAND CT 34 02/18/2025 Comments1: ANDREW 009-REL ROUGH ELECTRICAL 02/18/2025 ВC 010-RMC ROUGH MECHANICAL 02/18/2025 ВС 011-PLR PLUMBING - ROUGH 02/18/2025 PR Comments1: ANDREW 012-INS INSULATION 02/20/2025 GH Comments1: ANDREW AM 013-GAR GARAGE FLOOR 02/20/2025 GH Comments1: MW PASSED AS NOTED AM 014-STP STOOPS GH 02/20/2025 Comments1: MW PASSED AS NOTED 003-FIN FINAL INSPECTION 20241451 223 S BRIDGE ST 02/25/2025 PR 004-FEL FINAL ELECTRIC 02/25/2025 PR PR PM 006-PLU PLUMBING - UNDERSLAB 20241491 2823 CRYDER WAY 481 02/03/2025 PR PM 007-BSM BASEMENT FLOOR 02/03/2025 ВС ___ AM 008-ROF ROOF UNDERLAYMENT ICE & W 02/06/2025 Comments1: REMY-JESSICA 005-GPL GREEN PLATE INSPECTION 20241517 2874 MCLELLAN BLVD 459 ВC 02/03/2025 ____ AM 006-PLU PLUMBING - UNDERSLAB PR 02/11/2025 Comments1: JIM 224-828-3245 JFLAHERT@NVRINC.COM ___ AM 007-BSM BASEMENT FLOOR 02/11/2025 GH Comments1: MW ___ AM 008-STP STOOPS GH 02/27/2025 Comments1: FRONT & REAR-- MW ___ AM 003-WAT WATER PBF 20241518 2851 CRYDER WAY 477 02/05/2025

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COMP.

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INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025

INSPECTOR DATE LOT DATE TIME TYPE OF INSPECTION PERMIT ADDRESS ____ AM 004-BKF BACKFILL GH 02/05/2025 Comments1: MW ___ AM 005-GPL GREEN PLATE INSPECTION GH 02/21/2025 Comments1: JIM PBF 006-PLU PLUMBING - UNDERSLAB 02/27/2025 Comments1: JFLAHERT@NVRINC.COM AM 007-BSM BASEMENT FLOOR GH 02/28/2025 Comments1: KARINA 815-839-8175 AM 006-RFR ROUGH FRAMING RESCHECK SF 20241541 2631 SUTHERLAND CT 36 ВС 02/04/2025 Comments1: DECK ANDREW - 331-431-7342 PBF 007-PLU PLUMBING - UNDERSLAB 02/06/2025 Comments1: AMEEKS@NVRINC.COM ___ AM 008-BSM BASEMENT FLOOR GH 02/07/2025 Comments1: MW AM 009-GAR GARAGE FLOOR 02/20/2025 GH Comments1: MW PASSED AS NOTED ВС ___ AM 010-STP STOOPS 02/24/2025 Comments1: FRONT -- MW GH 011-RFR ROUGH FRAMING RESCHECK SF 02/26/2025 Comments1: KALIN 630-927-2807 _____ 012-REL ROUGH ELECTRICAL 02/26/2025 GH ____ 013-RMC ROUGH MECHANICAL 02/26/2025 GH PBF 014-PLR PLUMBING - ROUGH 02/26/2025 Comments1: KTELLEZ@NVRINC.COM - 630-927-2807 ВС 015-INS INSULATION 02/28/2025 Comments1: ADREW GH AM 003-BKF BACKFILL 20241542 862 HAYDEN DR 59 02/04/2025 Comments1: JESSICA ____ AM 004-REI REINSPECTION GH 02/05/2025 Comments1: BACKFILL AM 001-FIN FINAL INSPECTION 20241544 2177 MEADOWVIEW LN 15 02/13/2025 GH Comments1: WINDOWS

Comments1: JFLAHERT@NVRINC.COM

UNITED CITY OF YORKVILLE

CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025

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COMP. INSPECTOR SCHED. LOT DATE DATE TIME TYPE OF INSPECTION PERMIT ADDRESS ____ AM 001-FTG FOOTING 88 GH 20241553 2694 BIG GROVE CIR 02/07/2025 Comments1: MW ___ AM 002-FOU FOUNDATION GH 02/11/2025 Comments1: MW ___ AM 003-BKF BACKFILL ВС 02/20/2025 Comments1: MW PBF 004-WAT WATER 02/26/2025 Comments1: FAMILYSEWEROFFICE@YAHOO.COM 005-GPL GREEN PLATE INSPECTION 02/28/2025 GH 001-FIN FINAL INSPECTION 20241557 305 E FOX ST 02/04/2025 Comments1: WINDOWS ВС AM 002-FIN FINAL INSPECTION 20241561 209 S BRIDGE ST 02/05/2025 Comments1: LYNN 630-898-6091 ____ AM 006-PLU PLUMBING - UNDERSLAB 20241563 2845 MCLELLAN BLVD 482 02/10/2025 PR Comments1: JIM- 224-828-3245 JFLAHERT@NVRINC.C Comments2: OM ВС ___ PM 007-BSM BASEMENT FLOOR 02/10/2025 Comments1: MW ___ 008-RFR ROUGH FRAMING RESCHECK SF ВС 02/10/2025 Comments1: DECK ____ AM 009-STP STOOPS 02/27/2025 GH Comments1: FRONT -- MW ___ AM 001-FTG FOOTING 20241564 2868 MCLELLAN BLVD 458 GH 02/04/2025 Comments1: MW 02/05/2025 GH PM 002-FOU FOUNDATION Comments1: KARINA 815-839-8175 PR AM 003-WAT WATER 02/11/2025 Comments1: FAMILYSEWEROFFICE@YAHOO.COM GH ___ AM 004-BKF BACKFILL 02/13/2025 Comments1: MW _____ 005-GPL GREEN PLATE INSPECTION 02/25/2025 GH PBF 006-PLU PLUMBING - UNDERSLAB 02/27/2025 TIME: 08:32:25

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DATE: 03/03/2025 CALLS FOR INSPECTION REPORT ID: PT4A0000.WOW

INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025

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INSPECTOR SCHED. COMP. LOT DATE TIME TYPE OF INSPECTION PERMIT ADDRESS DATE GH AM 007-BSM BASEMENT FLOOR 02/28/2025 Comments1: KARINA 8158398175 ВC 08:00 001-FTG FOOTING 20241565 2626 SUTHERLAND CT 32 02/28/2025 Comments1: KARINA - 815-839-8175 _____AM UUD-FIN FINAL INSPECTION 20241570 2483 WAVERLY CIR 233 Comments1: CLEAN EDGE - 630-364-0224 ВС 02/26/2025 ВC AM 007-FEL FINAL ELECTRIC 02/26/2025 ВС ____ AM 008-FMC FINAL MECHANICAL 02/26/2025 PBF ___ AM 009-PLF PLUMBING - FINAL OSR READ 02/26/2025 Comments1: SERVICE@CLEANEDGECONSTRUCTION.COM 630 Comments2: -364-0224____ AM 001-FTG FOOTING 20241578 2660 BIG GROVE CIR 71 GH 02/10/2025 Comments1: MW PM 002-FOU FOUNDATION 02/13/2025 ВС Comments1: MW ___ AM 003-BKF BACKFILL вс 02/20/2025 Comments1: MW 02/26/2025 PBF 004-WAT WATER Comments1: FAMILYSEWEROFFICE@YAHOO.COM GH 11:30 001-PHF POST HOLE - FENCE 20241594 2687 SEELEY ST 825 02/05/2025 Comments1: TONY ____ AM 002-FIN FINAL INSPECTION 02/11/2025 GH Comments1: FENCE AM 001-FIN FINAL INSPECTION 20241596 585 W BARBERRY CIR 02/25/2025 GH Comments1: TOM: 630-276-9299 ___ AM 001-RFR ROUGH FRAMING RESCHECK SF 20241599 2387 FAIRFIELD AVE 494 ВС 02/06/2025 Comments1: VICTOR 773-876-2605 AM 002-REL ROUGH ELECTRICAL 02/06/2025 ВC ВC AM 003-RMC ROUGH MECHANICAL 02/06/2025 PBF AM 004-PLR PLUMBING - ROUGH 02/06/2025

Comments1: BASEMENT -- VICTOR 773-876-2605 *****can

Comments2: celed BY VICTOR***

UNITED CITY OF YORKVILLE CALLS FOR INSPECTION REPORT

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INSPECTOR SCHED. COMP. LOT DATE TIME TYPE OF INSPECTION PERMIT ADDRESS DATE PR AM 005-INS INSULATION 02/18/2025 Comments1: VICTOR 773-876-2605 ____ AM 006-PLR PLUMBING - ROUGH PR 02/18/2025 AM 001-FIN FINAL INSPECTION 20250001 2005 OLD GLORY CT 236 02/11/2025 ВC Comments1: LAURA - 815-823-3801 PR AM 001-RFR ROUGH FRAMING RESCHECK SF 20250004 601 ASHWORTH LN 514 02/28/2025 Comments1: BASEMENT -- VICTOR -- 773-876-2605 ____ AM 002-REL ROUGH ELECTRICAL 02/28/2025 PR ____ AM 003-RMC ROUGH MECHANICAL PR 02/28/2025 PR AM 004-PLR PLUMBING - ROUGH 02/28/2025 AM 001-RFR ROUGH FRAMING RESCHECK SF 20250006 1122 GRACE DR GH 100 02/19/2025 Comments1: ALAN - 630-385-2881 ___ 001-FIN FINAL INSPECTION 20250010 4557 GARDINER AVE 1099 02/26/2025 Comments1: WINDOWS -- 847-903-7579 ___ AM 001-FTG FOOTING 20250013 2841 CRYDER WAY 479 GH 02/10/2025 Comments1: KARINA : 815-839-8175 PM 002-FOU FOUNDATION 02/12/2025 ВС Comments1: MW ВС ___ AM 003-BKF BACKFILL 02/20/2025 Comments1: MW PBF 004-WAT WATER 02/25/2024 Comments1: FAMILYSEWEROFFICE@YAHOO.COM ____ AM 001-FTG FOOTING 20250018 2881 OLD GLORY DR 245 02/05/2025 ВС Comments1: KYLE: 630-703-8490 ___ pm 003-FOU FOUNDATION ВС 02/09/2025 Comments1: KYLE: 630-703-8490 20250020 2857 CRYDER WAY 476 ___ PM 001-FTG FOOTING 02/26/2025 GH Comments1: MW 002-FOU FOUNDATION GH 02/28/2025 Comments1: MW AM 001-FIN FINAL INSPECTION 20250025 831 PARKSIDE LANE 198 ВС 02/27/2025 Comments1: KATE 847-698-0549

INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025

UNITED CITY OF YORKVILLE

CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025

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SCHED. INSPECTOR LOT DATE TIME TYPE OF INSPECTION DATE PERMIT ADDRESS 10:30 001-PHF POST HOLE - FENCE 20250027 3034 CONSTITUTION WAY 581 02/10/2025 GH Comments1: SHERRY - 815-253-2752 GH 02/06/2025 Comments1: SARA 815-836-8731 PM 001-FIN FINAL INSPECTION 20250034 844 PARKSIDE LN 185 02/28/2025 ΒF Comments1: SOLAR MICHAELA - 847-698-0549 ΒF PM 002-FEL FINAL ELECTRIC 02/28/2025 Comments1: SOLAR - MICHAELA - 847-698-0549 PR AM 001-PLR PLUMBING - ROUGH 20250037 215 S BRIDGE ST 02/19/2025 Comments1: JASON - 630-486-7321 GH 11:30 001-PHF POST HOLE - FENCE 20250038 4432 TAMPA DR 1975 02/12/2025 Comments1: SARAH 815-836-8731 ___ PM 001-FIN FINAL INSPECTION 20250041 379 GARDEN CIR 13 ВС 02/11/2025 Comments1: Michael - 630-450-9288 PR AM 001-RFR ROUGH FRAMING RESCHECK SF 20250047 88 CROOKED CREEK DR 10 02/04/2025 Comments1: KATHLEEN - 630-364-0224 PR ___ AM 002-REL ROUGH ELECTRICAL 02/04/2025 Comments1: KATHLEEN - 630-364-0224 ___ AM 003-RMC ROUGH MECHANICAL PR 02/04/2025 Comments1: KATHLEEN - 630-364-0224 ____ AM 004-PLR PLUMBING - ROUGH 02/04/2025 PR Comments1: KATHLEEN - 630-364-0224 ВС ___ AM 001-FIN FINAL INSPECTION 20250059 3163 MATLOCK DR 658 02/11/2025 Comments1: SOLAR - ERIC - 815-981-1646 ВC AM 001-RFR ROUGH FRAMING RESCHECK SF 20250070 483 PARKSIDE LN 108 02/07/2025 Comments1: CHAD : 224-234-1471 AM 002-REL ROUGH ELECTRICAL ВС 02/07/2025 003-RMC ROUGH MECHANICAL 02/07/2025 ВC 004-INS INSULATION 02/07/2025 ВC AM 001-RFR ROUGH FRAMING RESCHECK SF 20250075 2475 FAIRFAX WAY 246 02/24/2025 GH Comments1: KATHLEEN 630-364-0224

INSPECTOR

ID: PT4A0000.WOW

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INSPECTIONS	SCHEDULED	FROM	02	/01.	/2025	ΤO	02	/28	/2025

		TYPE OF	INSPECTION	PERMIT	ADDRESS	LOT	DATE	DATE
GH	AM	002-REL	ROUGH ELECTRICAL					02/24/2025
GH	AM	003-RMC	ROUGH MECHANICAL					02/24/2025
PR	AM	004-PLR	PLUMBING - ROUGH					02/24/2025
GH			INSULATION LEEN - 630-364-0224					02/26/2025
GH			POST HOLE - FENCE 336-8731 -	2025008	5 3244 PINEWOOD DR	39		02/25/2025
GH			POST HOLE - FENCE 708-316-9740	2025008	6 2182 HENNING LN	341		02/24/2025
GH			FINAL INSPECTION 1708-316-9740					02/26/2025
вс			FINAL INSPECTION SHANE 847-436-0029	2025010	4 366 BISCAYNE LN	1979		02/27/2025
GH			ROOF UNDERLAYMENT ICE & V : 630-806-9523	2025012	6 204 E CENTER ST			02/27/2025

DATE: 03/03/2025

UNITED CITY OF YORKVILLE

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INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025

	AC AIR CONDITIONER ADD ADDITION	1	 	
	DOM DACEMENT DEMODET	3		
	BSM BASEMENI REMODEL	34		
	BSM BASEMENT REMODEL COM COMMERCIAL BUILDING	1		
	EVS ELECTRIC VEHICLE CHARGING STAT	1		
	FNC FENCE	8		
	HVC HVAC UNIT/S	1		
	MF MULTI-FAMILY (APARTMENT/CONDO)	9		
	MIS MISCELLANEOUS	2		
	MSC MISCELLANEOUS	4		
	PLM PLUMBING REPAIR OR ALTERATION	1		
	REM REMODEL	6		
	REP REPAIR	5		
	ROF ROOFING	1		
	SFA SINGLE-FAMILY ATTACHED SFD SINGLE-FAMILY DETACHED	5		
	SFD SINGLE-FAMILY DETACHED	161		
	SGN SIGN SOL SOLAR PANELS	1		
		6 1		
	WHR WATER HEATER REPLACEMENT WIN WINDOW REPLACEMENT	5		
		Ŭ		
INSPECTION SUMMARY:	BKF BACKFILL	6		
	BSM BASEMENT FLOOR	8		
		10		
	ELS ELECTRIC SERVICE	1		
	ESW SEWER / WATER	1		
	FEL FINAL ELECTRIC	14		
	FIN FINAL INSPECTION	29		
	FMC FINAL MECHANICAL FOU FOUNDATION	11		
		6		
	FTG FOOTING GAR GARAGE FLOOR	9		
	GAR GARAGE FLOOR GPL GREEN PLATE INSPECTION	4 6		
	INS INSULATION	14		
	PHF POST HOLE - FENCE	6		
	PLF PLUMBING - FINAL OSR READY			
	PLR PLUMBING - ROUGH	19		
	PLU PLUMBING - WNDERSLAB	7		
	REI REINSPECTION	13		
	REL ROUGH ELECTRICAL	18		
	RFR ROUGH FRAMING RESCHECK SFD SFA			
	RMC ROUGH MECHANICAL	18		
	ROF ROOF UNDERLAYMENT ICE & WATER	2		
	STP STOOPS	16		
	WAT WATER	5		
	WIII WIIIUI	J		

DATE: 03/03/2025 UNITED CITY OF YORKVILLE PAGE: 17
TIME: 08:32:25 CALLS FOR INSPECTION REPORT

TIME: 08:32:25 CALLS FOR INSPECTION REPORT ID: PT4A0000.WOW

INSPECTIONS SCHEDULED FROM 02/01/2025 TO 02/28/2025

INSPECTO		TYPE	OF	INSPECTI	ON PERI	MIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
INSPECTO	OR SUMI	MARY:		BC BOB	CREADEUR		76 2	 		
					INSPECTOR CODE SERV	ICE				
					A HASTINGS		102			
					RGE STEFFENS		10			
				PBF PLU			22			
				PR PET	ER RATOS		4 4			
STATUS S	SUMMAR	Υ:	А	PR			4			
			С	BC			17			
			С	GH			19			
			С	GS			1			
			С	PBF			4			
			С	PR			6			
			I	BC			59			
			I	BF			2			
			I	GH			77			
			I	GS			6			
			I	PBF			17			
			I	PR			33			
			Τ	GH			6			
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REPORT SUMMARY: 256



Reviewed By:	
Legal	
Finance	
Engineer	
City Administrator	
Community Development	
Purchasing	
Police	
Public Works	l ∐
Parks and Recreation	

Agenda Item Number
New Business #3
Tracking Number
EDC 2025-25

Agenda Item Summary Memo

itle: Property Ma	intenance Report for February 2	2025
leeting and Date:	Special Economic Developme	ent Committee – April 1, 2025
ynopsis:		
Council Action Pre	eviously Taken:	
Date of Action:	Action Taken	:
tem Number:		
	ired: Informational	
Council Action Re	quested: None	
Submitted by:	Pete Ratos Name	Community Development Department
		-
	Agenda Item	1 Notes:



Memorandum

To: Economic Development Committee

From: Pete Ratos, Code Official

CC: Bart Olson, Krysti Barksdale-Noble, Jori Behland

Date March 3, 2025

Subject: February Property Maintenance

Property Maintenance Report February 2025

No property maintenance cases were heard in February 2025.



Case Report

02/01/2025 - 02/28/2025

Case #	Case Date	ADDRESS OF COMPLAINT	TYPE OF VIOLATION		VIOLATION LETTER SENT	FOLLOW UP STATUS	DATE OF HEARING	FINDINGS	PUBLIC WORKS TO MOW
20250008	2/27/2025	Burr St	Trash	PENDING					
20250007	2/26/2025		Debris in Roadway	CLOSED					
20250006	2/24/2025	St	Debris in Public Right of Way	CLOSED					

Total Records: 3 3/3/2025



Reviewed By:
Legal
Finance
Engineer
City Administrator
Community Development
Purchasing
Police
Public Works

Parks and Recreation

Agenda Item Number
New Business #4
Tracking Number
EDC 2025-26

Agenda Item Summary Memo

Title: Economic De	evelopment Report for March 202	25			
Meeting and Date:	Special Economic Developmen	nt Committee – April 1, 2025			
Synopsis:					
Council Action Pre	viously Taken:				
Date of Action:	Action Taken:				
Item Number:					
Type of Vote Requi	red: Informational				
Council Action Requested: None					
Submitted by:		Administration			
	Name	Department			
Agenda Item Notes:					



651 Prairie Pointe Drive • Yorkville, Illinois • 60560 Phone 630-209-7151 Monthly Report – April 2025 EDC Meeting - The United City of Yorkville

March 2025 Activity New Development:

- Salsa Verde 1508 N Bridge St: Yorkville's own Arechiga Family is relocating and expanding their Salsa Verde Restaurant to the former Arby's location on Route 47. The new space is approximately 3,200 square feet and includes a drive-up. Their original location is 1,800 square feet. Salsa Verde prides itself in redefining the concept of modern, fast-casual food by proudly serving delicious dishes prepared from authentic Mexican recipes in a friendly vibrant environment. They hope to be open in the new location around May 1, 2025.
- Blank SL8 219 S Bridge St: The former FRET Wine Bar & Theatre has changed ownership and will reopen as a new concept special event space called Blank SL8. New business owner Earl Holmes and his wife Stephanie (Stef) of Oswego will open at 219 S Bridge St, in Downtown Yorkville. They will take possession of the space April 1st and will be start by doing cosmetic enhancements. Targeted Grand Opening will be May 1st, 2025. Blank SL8 will be an intimate venue for hosting small to medium special events including birthday parties, corporate events, bridal and wedding showers, etc. Their clients will be able to bring in their own outside vendors for services such as photography and food to make each event unique and affordable. The Holmes's plan to build a community space that provides an affordable event venue option, while supporting local small businesses who cater to special event rentals and offerings. They will be hosting a series of 4 vendor open houses prior to opening in order to create partnerships with local caterers, photographers, and similarly focused small business owners in order to encourage clients to shop local for vendor selection.
- Midwest Tents & Events / Midwest Equipment 1262 S Bridge St: The former Grand Rental Station has changed ownership. New owner Adam Curtis is a third-generation rental business owner who is excited to serve the Yorkville community. Adam opened the space as Midwest Tents & Events, and he has showrooms in Yorkville and DeKalb. Familiar to the Yorkville community, Senior Event Rental Coordinator Jennifer Pommier is still available to assist with all rental coordination for special events and weddings, and more. Under the new ownership they have expanded their event and equipment rental offerings exponentially. Highlights of new offerings include year-round large tent rentals including larger tents, in-house flatware, plates and linens, and 3 new styles of special event chairs to suit the décor for any special event. Heavy equipment rentals are still available as well through Midwest Tents & Events under their Midwest Equipment title. Expanded offerings include scissor and boom lifts, and the ability to special order additional heavy equipment as needed for clients.
- Purple Lotus Solutions Inc 215 Hillcrest, Suite E: Mindy Burkhamer, MSW, LCSW, CADC, CODP is the President and owner of Purple Lotus Solutions, Inc., a comprehensive mental wellness center providing personalized psychotherapy and substance use treatment, and specializing in trauma, anxiety, behavioral disorders, substance abuse, and other mental health concerns. Mindy is licensed Clinical Social Worker, working in private practice since 2021, who is relocating her office from Oswego to the 663 square foot space at 215 Hillcrest. Purple Lotus Solutions, Inc. will open March 31st, 2025.
- The Den 227 Heustis St: The former Dakotas has been rebranded and reopened as The Den on February 20th, 2025. New manager Vanessa Sanzeri has revitalized The Den into a vibrant, high-energy bar designed to appeal to late-night patrons with live music and an updated food and drink menu.
- **Kendall Marketplace:** Thank you to **Alexander Berman**, owner of **Kendall Marketplace**, for collaborating with the Yorkville and Oswego Police Departments. This partnership will facilitate training exercises on April 8th, 2025, and April 15th, 2025, in the unoccupied building space formerly leased by Signature Fitness.
- **JEMS2 Property Management 904 S. Bridge St:** Yorkville resident **Michael Holzer** is constructing a new building at 904 S. Bridge St. Once complete, the new 2100 square foot building will house the **Brenda Holzer Memorial Foundation** and will look to open late 2025. Additional information about the foundation can be found by visiting their website at www.bhmemorialfoundation.org.
- Nothing Bundt Cakes 731 Erica Ln Kendall Marketplace: Faisal Raja will be opening his ninth Nothing Bundt Cakes location in Kendall Marketplace. Taking over the 2250 square foot former Kendall Meat Company location at 731 Erica Ln, Nothing Bundt Cakes will offer your favorite bundt cake treats baked in-house, on-site. Faisal and his team have already partnered with Yorkville schools in the past to collaborate on fundraisers, and they are excited to continue to support the Yorkville Community from this new location. Opening date is planned for June of 2025.

March 2025 Previously Reported Updates:

- Complete Medical Recovery (CMR) 129 Commercial Drive. Unit 9 Yorkville Business Center: Dr. Eric Andersen is leading an outstanding group of medical providers, in a relocation and expansion for their businesses. This group currently practices at 1949 S Bridge Street (Fountain Village Center) in 2,300 square feet of space. They purchased their new 12,300 square foot, two-story space, on January 6, 2025. There will be a 1,000 square foot fitness studio on the first floor that will open on March 15th; this is new to their practice. All of the medical providers will move into the new expanded location on May 5th, 2025. These include Walton Chiropractic, A Touch of Ginger, Complete Muscle Recovery, Complete Medical Recovery, Complete Mind Recovery and Complete Medical Radiance. They will also offer access to an infrared sauna, hyperbaric chamber, and a retail store for purchase of supplements. You can learn more amount this practice by visiting their website www.cmrhealthgroup.com
- The District Salon Suites, A Collection of Industry Professionals 201 W. Hydraulic: Katie Ash entrepreneur and owner of Salon Social in downtown Yorkville, is opening an additional new business in the former Yorkville Parks and Rec building. The Williams Group purchased this building from the City in September 2024. The District Salon Suites will occupy the nearly 4,000 square foot space, and will open around July 1st, 2025. The building will be a fully renovated facility with 15-17 luxury salon suites on site. The District will house those stylists that have graduated from commission salons, have spent years building a clientele, and can now support self-employment.
- **Kharisma's Kuddles 104 E. Schoolhouse Rd: Kharisma Benard** will open a daycare for children ages 2 to 6, and also offer before and after school care for elementary school children, at this location. She is going through approvals with DCFS at this time and hopes to be open later this year.
- Opal Banquets & New Hotel 577 E Kendall Drive Kendall Crossing: Hotel owner Sonny Shah is preparing to apply for a building permit to complete his project at Kendall Crossing. The foundation for this building was made back in 2019. At this time, the plan includes a first-floor banquet center that will accommodate 450 guests, a small restaurant and bar that will be open to the public, a second-floor roof top bar, and 4 additional floors of hotel rooms. The hotel "flag" is HYATT STUDIOS. This hotel type is a new offering for the "Hyatt" brand, and the first of these offerings will open in 2025 nationwide. Construction has begun, and the goal is an opening early 2026.
- Children's Courtyard 708 E Veterans Parkway Heartland Center: Children's Courtyard is owned by the Learning Care Group, which is the second largest early education and childcare operator in the US. They have a total of 11 childcare center brands. Yorkville will be a Children's Courtyard, which specializes in offering an active learning experience. This building was formerly, The Heartland School. The new school will create 30 new jobs and serve approximately 170 students. The building will undergo a complete interior renovation, adding state of the art equipment, and upgrading of the playground. The reason that they have not been able to open their new location, is that the site has to be certified by the State of Illinois. This process is very time intensive. Director Jessica Wathen hopes to open in 2025. You can learn more by visiting their website https://www.childrenscourtyard.com
- QuikTrip Located at the northeast corner of Routes 47 and 71: This is the new developer/business who has purchase this property. QuikTrip is new to Illinois, but NOT a new company. It is a privately held company that was founded in 1958 and is based in Tulsa, Oklahoma. QuikTrip has grown to more than an \$11 billion company, with more than 900 stores in 14 states. They have over 24,000 employees nationwide. Construction is slated to begin shortly. Construction began on February 17th, 2025. Opening of Yorkville's QuikTrip is slotted for November 2025.
- **Continue working with a variety of other potential business owners.** There are a variety of parties doing due diligence on space to lease and buildings and land to purchase. Information will be forthcoming.

Respectfully submitted, Lynn Dubajic Kellogg & Katelyn Gregory 651 Prairie Pointe Drive Yorkville, IL 60560 lynn@dlkllc.com, kgregory@yorkville.il.us 630-209-7151 cell, 630-800-0574



Reviewed By:				
Legal Finance				
Engineer				
City Administrator				
Community Development				
Purchasing				
Police				
Public Works				
Parks and Recreation				

Agenda Item Number		
New Business #5		
Tracking Number		
EDC 2025-27		

Agenda Item Summary Memo

Title: PZC 2025-03 – QuikTrip Sign Variance					
Meeting an	nd Date:	Special Economic Deve	elopment Committee – April 1, 2025		
Synopsis: Proposed sign variance for two monument signs to exceed UDO's sign height, sign					
area, and number of signs on the property					
Council Action Previously Taken:					
			Taken:		
Item Numb	er:				
Type of Vote Required: Majority					
Council Action Requested: Approval					
	_				
Submitted	by:		Community Development		
		Name	Department		
Agenda Item Notes:					
See attached memorandum.					



Memorandum

To: Economic Development Committee From: David Hansen, Senior Planner CC: Bart Olson, City Administrator

Krysti Barksdale-Noble, Community Development Director

Sara Mendez, Planner I

Date: April 1, 2025

Subject: PZC 2025-03: QuikTrip (Sign Variance)

SUMMARY:

The petitioner, Ali Bukhres, on behalf of Quiktrip Corporation, is seeking a sign variance approval to permit two (2) monument signs to be erected, which exceed the maximum sign area, maximum sign height, and maximum number of signs as stated in Section 10-6-6-B of the Yorkville United Development Ordinance. The real property, zoned B-3 General Business District, is located at the northeast corner of State Route 47 (South Bridge Street) and State Route 71 (Stagecoach Trail) intersection. The site consists of two parcels (PIN #05-05-400-050 and PIN 05-04-300-031), which is approximately 5.51 acres.



107 E STAGECOACH TRL (QUIKTRIP)

United City of Yorkville, Illinois Date: March 05, 2025 Data: Kendall County, Nearmap



PROPERTY BACKGROUND:

In March of 2022, Graham C Stores Company, a large wholesale gasoline and diesel marketer of various fuel brands operating in Illinois and Indiana, filed an application requesting rezoning, special use permit and final plat approval for gasoline service station with an accessory convenience store. The application request was approved by the City Council in August of 2022, however, was never constructed. The subject property remained undeveloped with various detached metal structures on a gravel foundation previously utilized for industrial/farming storage and truck related services.

In 2023, Graham C Stores sold the property to QuikTrip Corporation, an American based chain of convenience stores based in Tulsa, Oklahoma. In June of 2023, QuikTrip filed an application requesting special use permit authorization for a gasoline service station with an accessory convenience store, which was approved by the City Council in October of 2023.

The special use ordinance included various exhibits along with a signage plan. Although the petitioner did not provide elevations of the proposed ground monument signage on the signage plan, they indicated two (2) monument signs will be located on the site. One at the northeast corner of IL Route 47 and IL Route 71 and another at the southeast corner of the site facing IL Route 71. The signage plan also included proposed heights of the monument signs at 7'-10" and a proposed sign area of 53.1 square feet, which met the City's sign regulations at the time of approval. However, Quiktrip has recently rebranded their corporate signage plan and proposes new monument signage that exceeds the size and area approved under the previously approved Special Use and the current sign regulations in the Unified Development Ordinance (UDO).

PROPERTY SUMMARY:

The property is currently zoned B-3 General Business District, as part of the Graham's C Store Development request in 2022. The following are the current immediate surrounding zoning and land uses for the subject property:

	Zoning	Land Use
North	B3- SU (Unincorporated Kendall County)	Kendall County Highway Department
South	B-3 General Business District	Yolkville Cafe Restaurant All Season Motel Transportation Land Use (IL Route 71)
East	M-1 Limited Manufacturing District	Undeveloped Agricultural Land
West	B-3 Business District	Transportation Land Use (IL Route 47) Walgreens Drugstore Fountain Village Commercial Development

PROPOSED REQUEST:

Ali Bukhres, on behalf of Quiktrip Corporation, has submitted a sign variance application for two (2) monument signs to be erected, which exceed the maximum sign area, maximum sign height, and maximum number of signs as stated in Section 10-6-6-B of the Yorkville UDO. The petitioner originally submitted a sign permit application in February 2025 which was denied as the height, size, and number of monument signs do not meet the standards set forth in Section 10-6-6-B of the Yorkville United Development Ordinance (UDO). Please note, the number of signs on the property do meet the special use ordinance signage plan. However, the proposed height and sign area both exceed the special use signage plan.

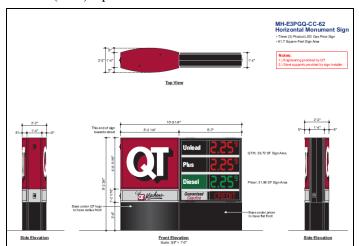
Upon review, the proposed QuikTrip monuments signs are vinyl in nature and are considered base quality single-tenant monument signs per UDO standards. Thus, the sign dimensions for area and height shall meet the UDO's Base Quality Single-Tenant Monument Sign Standards. To further note, Quiktrip is also looking to relocate the sign originally approved for the northeast corner of IL Route 47 and IL Route 71, to a more northerly location near their drive aisle entrance off IL Route 47. This relocation is due to additional feedback from the Illinois Department of Transportation (IDOT) for their upcoming roadway project for IL Route 47.

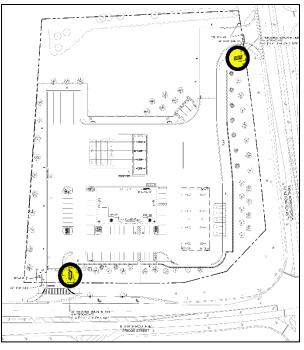
The petitioner is proposing the following sign variations for their two (2) new monument signs located at 107 E Stagecoach Trail:

O Subject Property (107 E Stagecoach Trail) - Variation from Section 10-6-6-B to increase the number of single-tenant monument signs permitted per every eight-hundred (800) continuous, linear feet of lot frontage from one (1) to two (2).

- Monument Sign 1 (IL Route 47 Frontage) Variation from Section 10-6-6-B to increase the maximum height of a base quality single-tenant monument sign from eight (8) feet to eight feet and two and three-fourths inches (8' 2 3/4") and increase the maximum sign area from thirty-two square feet (32) to sixty-one and seven-tenths (61.7) square feet.
- o Monument Sign 2 (IL Route 71 Frontage) Variation from Section 10-6-6-B to increase the

maximum height of a base quality single-tenant monument sign from eight (8) feet to eight feet and two and three-fourths inches (8' 2 ³/₄") and increase the maximum sign area from thirty-two square feet (32) to sixty-one and seven-tenths (61.7) square feet.





Below is a summary table of the UDO sign standards with the proposed request:

	Proposed Sign	UDO Maximum	Difference	Percentage Change	Special Use Signage Plan (2023)
Sign Height	8 feet 2 ¾ inches	8 feet	2 ¾ inches	2.86%	7 feet 10 inches
Sign Area	61.7 sq. ft	32 sq. ft	29.7 sq. ft.	192%	53.1 sq. ft
Number of Monument Signs	2 per 800 linear feet of frontage	1 per 800 linear feet of frontage	1 sign	100%	1 sign per frontage

Over the last decade, the City has reviewed and approved numerous gas station signs which exceed the requested sign variance in PZC 2025-03. To remain competitive with other gas station operators in the City and keep with their corporate rebranding, the petitioner is requesting a sign variance to exceed the maximum allowable sign height, sign area and number of signs per linear feet of frontage as outlined in the UDO.

Below is a comparison chart of recent approved gasoline station signs with the proposed request:

Name	Location	Sign Height/Area	Approval Type
QuikTrip Corporation	NEC IL Route 47/ IL Route 71	8.23 feet/61.7 sq. ft	Proposed Variance (Height, Area, & Number)
Graham C Stores (2022)	NEC IL Route 47/ IL Route 71	25 feet/168 sq. ft.	Variance (Height & Area)
Gas N Wash (2019)	NEC IL Route 47/ Waterpark Way	12 feet/107 sq. ft.	Variance (Sign Area)

Casey's (2017)	SWC IL Route 34/ McHugh Road	10 feet/47 sq. ft.	Variance (Sign Area)
Shell/Circle K (1990)	SWC IL Route 47/ IL Route 71	20.6 feet/129 sq. ft.	Permitted by Ordinance

- In 2022, Graham C Stores, the previous owner of the property, was granted a sign variance for a monument sign of approximately twenty-five (25) feet in height and about 168 square feet in area. The sign height exceeded the City's standards by 13 feet (or nearly 200%) and the sign area was 104 sq. feet larger than permitted by City Code at the time.
- o In 2019, Gas N Wash on IL Route 47 and Waterpark Way was granted a sign variance for a monument sign of approximately 107 square feet in area (40% larger than permitted by code). The overall sign height of 12 feet met City Code at the time.
- o In 2017, Casey's Gas Station on US 34 and McHugh was granted a sign variance for a monument sign of approximately 47 square feet, which exceeded the maximum sign area for a parcel less than 3 acres by 15 square feet or 32%. The overall sign height of 10 feet met City Code at the time.
- In 1990, the property immediately southwest of the subject property was granted a sign variance for two (2) monument signs of 20.6 feet and 129 square feet for each entrance, which still stand today. The height and square feet were permitted per City Ordinance at the time.

COMPREHENSIVE PLAN:

The 2016 Comprehensive Plan designates this property for Destination Commercial (DC). This land use is designated for small to medium scale auto-oriented commercial uses, such as retail centers and restaurants located near residential areas. Additionally, this land use should have landscaping treatments between front parking lots and rights-of-way as well as containing high quality signage which is scaled appropriately. Therefore, the **proposed request is consistent with the designated future land use plan**.

STANDARDS FOR GRANTING A VARIANCE:

Per Section 10-8-9 of the Yorkville United Development Ordinance, the Planning and Zoning Commission shall not grant a Variation from the regulations of this UDO unless it shall make findings based upon the evidence presented that the standards for hardships set forth in the Illinois Municipal Code are complied with in addition to the following:

- 1. A particular hardship to the owner would result because of the physical surroundings, shape, or topographical conditions of the subject property, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.
- 2. The conditions upon which the petition for a Variation is based are unique to the subject property and are not applicable, generally, to other properties within the same zoning district.
- 3. The difficulty or hardship is not created by any person presently having an interest in the property.
- 4. The Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.
- 5. The proposed Variation will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger to the public, or substantially diminish or impair property values within the neighborhood.
- 6. The proposed Variation is consistent with the official comprehensive plan and other development standards and policies of the City.

The petitioner has provided a response to each standard as part of the variance application, which is included in this packet as an attachment.

STAFF COMMENTS

Staff is supportive of the sign variance request for the increased sign height, area, and number of signs on the property, as it is consistent with previously approved gasoline station sign variances in the City as well as the two (2) monument signs permitted by Ordinance immediately southwest of the subject property.

This request is tentatively scheduled for a public hearing on April 9, 2025 for variance consideration before the Planning and Zoning Commission. The final determination of the Planning and Zoning Commission will be provided by staff at the tentatively scheduled City Council meeting on April 22, 2025. Staff is seeking input and comments from the Economic Development Committee.

ATTACHMENTS:

- 1. Petitioner Variance Application (with exhibits)
- 2. Public Hearing Notice
- 3. Sign Permit Applications
- 4. 2023 Quiktrip Special Use Signage Plan



INVOICE & WORKSHEET PETIT	TION APPLICATION	
CONCEPT PLAN REVIEW	☐ Engineering Plan Review deposit \$500.00	Total: \$
AMENDMENT	☐ Annexation \$500.00 ☐ Plan \$500.00 ☐ Plat \$500.00 ☐ P.U.D. \$500.00	Total: \$
ANNEXATION	\square \$250.00 + \$10 per acre for each acre over 5 acres	
5 = # of Acres	x \$10 = + \$250 = \$ Amount for Extra Acres Total Amount	Total: \$
REZONING	\square \$200.00 + \$10 per acre for each acre over 5 acres	
5=	rezoning to a PUD, charge PUD Development Fee - not Rezoning Fee	Total: \$
# of Acres Acres over 5	Amount for Extra Acres Total Amount	
5 =		Total: \$
ZONING VARIANCE	\$85.00 + \$500.00 outside consultants deposit	Total: \$
PRELIMINARY PLAN FEE		Total: \$
	\$500.00	· ·
PUD FEE	\$500.00	Total: \$
FINAL PLAT FEE	\$500.00	Total: \$
ENGINEERING PLAN REVIEW DEPOSIT	□ Less than 1 acre \$5,000.00 □ Over 1 acre, less than 10 acres \$10,000.00 □ Over 10 acres, less than 40 acres \$15,000.00 □ Over 40 acres, less than 100 acres \$20,000.00 □ Over 100 acres \$25,000.00	Total: \$
OUTSIDE CONSULTANTS DEPOSIT Legal, I	land planner, zoning coordinator, environmental services	
	For Annexation, Subdivision, Rezoning, and Special Use:	
	□ Less than 2 acres \$1,000.00 □ Over 2 acres, less than 10 acres \$2,500.00 □ Over 10 acres \$5,000.00	Total: \$
	TOTAL AMOUNT DUE:	



DATE:	PZC NUMBER:	DEVELOPMENT NAME:		
PETITIONER INFORMATION				
NAME:		COMPANY:		
MAILING ADDRESS:				
CITY, STATE, ZIP:		TELEPHONE: OBUSINESS OHOME		
EMAIL:	FAX:			
PROPERTY INFORMATION				
NAME OF HOLDER OF LEGAL TITLE:				
IF LEGAL TITLE IS HELD BY A LAND TRUST,	LIST THE NAMES OF ALL HOLDERS OF ANY E	BENEFICIAL INTEREST THEREIN:		
PROPERTY STREET ADDRESS:				
DESCRIPTION OF PROPERTY'S PHYSICAL L	OCATION:			
CURRENT ZONING CLASSIFICATION:				
ZONING AND LAND USE OF SURROUND	DING PROPERTIES			
NORTH:				
EAST:				
SOUTH:				
WEST:				
KENDALL COUNTY PARCEL IDENTIFICA	TION NUMBER(S)			



ATTORNEY INFORMATION	
NAME:	COMPANY:
MAILING ADDRESS:	
CITY, STATE, ZIP:	TELEPHONE:
EMAIL:	FAX:
ENGINEER INFORMATION	
NAME:	COMPANY:
MAILING ADDRESS:	
CITY, STATE, ZIP:	TELEPHONE:
EMAIL:	FAX:
LAND PLANNER/SURVEYOR INFORMATION	
NAME:	COMPANY:
MAILING ADDRESS:	
CITY, STATE, ZIP:	TELEPHONE:
EMAIL:	FAX:
ATTACHMENTS	
Petitioner must attach a legal description of the property to this application ar	nd title it as "Exhibit A".
Petitioner must list the names and addresses of any adjoining or contiguous lar under any applicable City Ordinance or State Statute. Attach a separate list to	ndowners within 500 feet of the property that are entitled notice of application this application and title it as "Exhibit B".
VARIANCE STANDARDS	
PLEASE CONFIRM THE PROPOSED VARIATION IS CONSISTENT WITH THE OFFI POLICIES OF THE CITY.	CIAL COMPREHENSIVE PLAN AND OTHER DEVELOPMENT STANDARDS AND



VARIANCE STANDARDS
PLEASE STATE THE VARIANCE REQUESTED AND THE CITY ORDINANCE INCLUDING THE SECTION NUMBERS TO BE VARIED:
PLEASE STATE HOW THE PARTICULAR SURROUNDINGS, SHAPE OR TOPOGRAPHICAL CONDITIONS OF THE SPECIFIC PROPERTY INVOLVED, A PARTICULAR HARDSHIP TO THE OWNER WOULD RESULT, AS DISTINGUISHED FROM A MERE INCONVENIENCE, IF THE STRICT LETTER OF REGULATIONS WAS CARRIED OUT:
PLEASE STATE HOW THE CONDITIONS UPON WHICH THE APPLICATION FOR A VARIATION IS BASED ARE UNIQUE TO THE PROPERTY FOR WHICH THE VARIATION IS SOUGHT AND ARE NOT APPLICABLE, GENERALLY, TO OTHER PROPERTY WITHIN THE SAME ZONING CLASSIFICATION:
PLEASE STATE HOW THE ALLEGED DIFFICULTY OR HARDSHIP IS CAUSED BY THIS TITLE AND HAS NOT BEEN CREATED BY ANY PERSON PRESENTLY HAVING AN INTEREST IN THE PROPERTY:



VARIANCE STANDARDS

PLEASE STATE HOW THE GRANTING OF THE VARIATION WILL NOT BE DETRIMENTAL TO THE PUBLIC WELFARE OR INJURIOUS TO OTHER PROPERTY OR IMPROVEMENTS IN THE NEIGHBORHOOD IN WHICH THE PROPERTY IS LOCATED:

Granting of the variation will not be a detriment to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located. The surrounding area all have similar height singage and we are requesting even a smaller sign than other business located in the area. the granting of the variance will fit in with the surrounding area. This will allow for customers to view our pricing and help with safe tunring movements into our site.

PLEASE STATE HOW THE PROPOSED VARIATION WILL NOT IMPAIR AN ADEQUATE SUPPLY OF LIGHT AND AIR TO ADJACENT PROPERTY, OR SUBSTANTIALLY INCREASE THE CONGESTION IN THE PUBLIC STREETS, OR INCREASE THE DANGER TO THE PUBLIC SAFETY, OR SUBSTANTIALLY DIMINISH OR IMPAIR PROPERTY VALUES WITHIN THE

Granting the variance will only help our customers view our pricing of products will in turn will help customers choose if they will stop with us or not. This will allow for ease of traffic flow as customer will make up their mind and mitigating last minute turning movements.

AGREEMENT

I VERIFY THAT ALL THE INFORMATION IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE. I UNDERSTAND AND ACCEPT ALL REQUIREMENTS AND FEES AS OUTLINED AS WELL AS ANY INCURRED ADMINISTRATIVE AND PLANNING CONSULTANT FEES WHICH MUST BE CURRENT BEFORE THIS PROJECT CAN PROCEED TO THE NEXT SCHEDULED COMMITTEE MEETING.

I UNDERSTAND ALL OF THE INFORMATION PRESENTED IN THIS DOCUMENT AND UNDERSTAND THAT IF AN APPLICATION BECOMES DORMANT IT IS THROUGH MY OWN FAULT AND I MUST THEREFORE FOLLOW THE REQUIREMENTS OUTLINED ABOVE.

PETITIONER SIGNATURE

OWNER HEREBY AUTHORIZES THE PETITIONER TO PURSUE THE APPROPRIATE ENTITLEMENTS ON THE PROPERTY.

OWNER SIGNATURE

THIS APPLICATION MUST BE **NOTARIZED PLEASE NOTARIZE HERE:**

Official Seal Rachael Perez Notary Public State of Illinois My Commission Expires 3/30/2027



APPLICANT DEPOSIT ACCOUNT/ ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY

PROJECT NUMBER:	FUND ACCOUNT NUMBER:	PROPERTY ADDRESS:	
to cover all actual expenses occurred as a Fund include, but are not limited to, plan to legal fees, engineering and other plan fund account is established with an initial deposit is drawn against to pay for these Party will receive an invoice reflecting the amount, the Financially Responsible Part reviews/fees related to the project are requirements of the project of the balance to the Financially Responsible the balance to the Financially Responsible the balance to the Financially Responsible the project are requirements.	rille to require any petitioner seeking approva- result of processing such applications and review of development approvals/engineerial reviews, processing of other governmental deposit based upon the estimated cost for services related to the project or request. Peter charges made against the account. At any tire ty will receive an invoice requesting additional function of the event that a deposit account is not account is fully replenished. If additional functions are party. A written request must be submitted to the following month.	al on a project or entitlement request to establish a Petitio equests. Typical requests requiring the establishment of a Ping permits. Deposit account funds may also be used to cover applications, recording fees and other outside coordination ervices provided in the INVOICE & WORKSHEET PETITION is indically throughout the project review/approval process, then the balance of the fund account fall below ten percent (10 nal funds equal to one-hundred percent (100%) of the initial timmediately replenished, review by the administrative stands remain in the deposit account at the completion of the plus the Financially Responsible Party to the city by the 15th till refund checks will be made payable to the Financially Responsible Party to the city by the 15th till refund checks will be made payable to the Financially Responsible Party to the city by the 15th till refund checks will be made payable to the Financially Responsible Party to the city by the 15th till refund checks will be made payable to the Financially Responsible Party to the city by the 15th till refund checks will be made payable to the Financially Responsible Party to the city by the 15th till refund checks will be made payable to the Financially Responsible Party to the 15th till refund checks will be made payable to the Financially Responsible Party to the 15th till refund checks will be made payable to the Financially Responsible Party to the 15th till refund checks will be made payable to the Financially Responsible Party to the 15th till refund checks will be made payable to the Financially Responsible Party to the 15th till refund checks will be made payable to the Financially Responsible Party to the 15th till refund checks will be made payable to the 15th till refund checks will be 15th till	Petitioner Deposit Account or costs for services related and consulting fees. Each APPLICATION. This initial he Financially Responsible 10%) of the original deposit tial deposit if subsequent off, consultants, boards and project, the city will refund to the month in order for
ACKNOWLEDGMENT OF FINANCIAL RE	SPONSIBILITY		
NAME:		COMPANY:	
MAILING ADDRESS:			
CITY, STATE, ZIP:		TELEPHONE:	
EMAIL:		FAX:	
Yorkville, I will provide additional funds t Company/Corporation of their obligation	to maintain the required account balance. F	may exceed the estimated initial deposit and, when requesurther, the sale or other disposition of the property does not count, unless the United City of Yorkville approves a Change quested replenishment deposit is received.	ot relieve the individual or
PRINT NAME		TITLE	
SIGNATURE*		DATE	
*The name of the individual and the person President, Chairman, Secretary or Treasure	-	e. If a corporation is listed, a corporate officer must sign the do	eclaration (President, Vice-
INITIAL ENGINEERING/LEGAL DEPOSIT T	TOTALS		
ENGINEERING DEPOSITS: Up to one (1) acre Over one (1) acre, but less than ten (10) a Over ten (10) acres, but less than forty (40) Over forty (40) acres, but less than one hu In excess of one hundred (100.00) acres	0) acres \$15,000	LEGAL DEPOSITS: Less than two (2) acres Over two (2) acres, but less than ten (10) acres Over ten (10) acres	\$1,000 \$2,500 \$5,000



APPLICATION FOR PUBLIC HEARING SIGN

SITE ADDRESS: PARCEL NUMBER: SUBDIVISION: LOT/UNIT: APPLICANT INFORMATION NAME: TELEPHONE: O HOME O BUSINESS ADDRESS: E-MAIL: O HOME O BUSINESS CITY, STATE, ZIP: FAX: SIGN INFORMATION DATE OF PICK UP: NUMBER OF SIGNS: The undersigned hereby states that they have acquired Public Hearing Signs from the United City of Yorkville'S Community Development Department and agrees to return said sign/s to Yorkville City Hall, 651 Prainie Pointe, Yorkville, Illinois, immediately following the date of the public hearing. Petitioner or Representative agrees to pay to the United City of Yorkville a deposit of \$50 for each sign. The deposit will be returned to the petitioner when the public hearing sign/s have been returned to the City. Petitioner or Representative further agrees to pay to the United City of Yorkville the full amount of the purchase price for each sign not returned to the United City of Yorkville within seven (7) days after the date of the public hearing. SIGNATURE/AUTHORIZED AGENT DATE DATE	PERMIT NUMBER:			DATE/TIME RECEIVED:
APPLICANT INFORMATION NAME: TELEPHONE: ○ HOME ○ BUSINESS E-MAIL: ○ HOME ○ BUSINESS CITY, STATE, ZIP: FAX: SIGN INFORMATION DATE OF PUBLIC HEARING: The undersigned hereby states that they have acquired Public Hearing Signs from the United City of Yorkville's Community Development Department and agrees to return said sign/s to Yorkville City Hall, 651 Prairie Pointe, Yorkville, Illinois, immediately following the date of the public hearing. Petitioner or Representative agrees to pay to the United City of Yorkville a deposit of \$50 for each sign. The deposit will be returned to the petitioner when the public hearing sign/s have been returned to the City. Petitioner or Representative further agrees to pay to the United City of Yorkville the full amount of the purchase price for each sign not returned to the United City of Yorkville within seven (7) days after the date of the public hearing.	SITE ADDRESS:	P	ARCE	L NUMBER:
NAME: ADDRESS: E-MAIL: O HOME O BUSINESS CITY, STATE, ZIP: FAX: SIGN INFORMATION DATE OF PICK UP: NUMBER OF SIGNS: DATE OF PUBLIC HEARING: The undersigned hereby states that they have acquired Public Hearing Signs from the United City of Yorkville's Community Development Department and agrees to return said sign/s to Yorkville City Hall, 651 Prairie Pointe, Yorkville, Illinois, immediately following the date of the public hearing. Petitioner or Representative agrees to pay to the United City of Yorkville a deposit of \$50 for each sign. The deposit will be returned to the petitioner when the public hearing sign/s have been returned to the City. Petitioner or Representative further agrees to pay to the United City of Yorkville the full amount of the purchase price for each sign not returned to the United City of Yorkville within seven (7) days after the date of the public hearing. SIGNATURE/AUTHORIZED AGENT DATE	SUBDIVISION:	LC	OT/UI	NIT:
ADDRESS: CITY, STATE, ZIP: FAX: SIGN INFORMATION DATE OF PICK UP: NUMBER OF SIGNS: DATE OF PUBLIC HEARING: The undersigned hereby states that they have acquired Public Hearing Signs from the United City of Yorkville's Community Development Department and agrees to return said sign/s to Yorkville City Hall, 651 Prairie Pointe, Yorkville, Illinois, immediately following the date of the public hearing. Petitioner or Representative agrees to pay to the United City of Yorkville a deposit of \$50 for each sign. The deposit will be returned to the petitioner when the public hearing sign/s have been returned to the City. Petitioner or Representative further agrees to pay to the United City of Yorkville the full amount of the purchase price for each sign not returned to the United City of Yorkville within seven (7) days after the date of the public hearing. SIGNATURE/AUTHORIZED AGENT DATE	APPLICANT INFORMATION			
SIGN INFORMATION DATE OF PICK UP: DATE OF PUBLIC HEARING: The undersigned hereby states that they have acquired Public Hearing Signs from the United City of Yorkville's Community Development Department and agrees to return said sign/s to Yorkville City Hall, 651 Prairie Pointe, Yorkville, Illinois, immediately following the date of the public hearing. Petitioner or Representative agrees to pay to the United City of Yorkville a deposit of \$50 for each sign. The deposit will be returned to the petitioner when the public hearing sign/s have been returned to the City. Petitioner or Representative further agrees to pay to the United City of Yorkville the full amount of the purchase price for each sign not returned to the United City of Yorkville within seven (7) days after the date of the public hearing. SIGNATURE/AUTHORIZED AGENT DATE	NAME:	TELEPHONE:	O H(OME O BUSINESS
DATE OF PICK UP: DATE OF PUBLIC HEARING: The undersigned hereby states that they have acquired Public Hearing Signs from the United City of Yorkville's Community Development Department and agrees to return said sign/s to Yorkville City Hall, 651 Prairie Pointe, Yorkville, Illinois, immediately following the date of the public hearing. Petitioner or Representative agrees to pay to the United City of Yorkville a deposit of \$50 for each sign. The deposit will be returned to the petitioner when the public hearing sign/s have been returned to the City. Petitioner or Representative further agrees to pay to the United City of Yorkville the full amount of the purchase price for each sign not returned to the United City of Yorkville within seven (7) days after the date of the public hearing. SIGNATURE/AUTHORIZED AGENT DATE	ADDRESS:	E-MAIL: O H	OME	O BUSINESS
DATE OF PICK UP: DATE OF PUBLIC HEARING: SIGN RETURN DATE: The undersigned hereby states that they have acquired Public Hearing Signs from the United City of Yorkville's Community Development Department and agrees to return said sign/s to Yorkville City Hall, 651 Prairie Pointe, Yorkville, Illinois, immediately following the date of the public hearing. Petitioner or Representative agrees to pay to the United City of Yorkville a deposit of \$50 for each sign. The deposit will be returned to the petitioner when the public hearing sign/s have been returned to the City. Petitioner or Representative further agrees to pay to the United City of Yorkville the full amount of the purchase price for each sign not returned to the United City of Yorkville within seven (7) days after the date of the public hearing. SIGNATURE/AUTHORIZED AGENT DATE	CITY, STATE, ZIP:	FAX:		
DATE OF PUBLIC HEARING: SIGN RETURN DATE: The undersigned hereby states that they have acquired Public Hearing Signs from the United City of Yorkville's Community Development Department and agrees to return said sign/s to Yorkville City Hall, 651 Prairie Pointe, Yorkville, Illinois, immediately following the date of the public hearing. Petitioner or Representative agrees to pay to the United City of Yorkville a deposit of \$50 for each sign. The deposit will be returned to the petitioner when the public hearing sign/s have been returned to the City. Petitioner or Representative further agrees to pay to the United City of Yorkville the full amount of the purchase price for each sign not returned to the United City of Yorkville within seven (7) days after the date of the public hearing. SIGNATURE/AUTHORIZED AGENT DATE	SIGN INFORMATION			
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Development Department and agrees to return said sign/s to Yorkville City Hall, 651 Prairie Pointe, Yorkville, Illinois, immediately following the date of the public hearing. Petitioner or Representative agrees to pay to the United City of Yorkville a deposit of \$50 for each sign. The deposit will be returned to the petitioner when the public hearing sign/s have been returned to the City. Petitioner or Representative further agrees to pay to the United City of Yorkville the full amount of the purchase price for each sign not returned to the United City of Yorkville within seven (7) days after the date of the public hearing. SIGNATURE/AUTHORIZED AGENT DATE	DATE OF PUBLIC HEARING:	SIGN RETURN	DATE	:
	Petitioner or Representative agrees to pay to the United City of Yoreturned to the petitioner when the public hearing sign/s have be Petitioner or Representative further agrees to pay to the United Ceach sign not returned to the United City of Yorkville within seven	en returned Lity of Yorkv	to tille t	the City. the full amount of the purchase price for ne date of the public hearing.
RECEIVED BY: PZC#	DATE RETURNED:			



MAXIMUM PROPERTY MANAGEMENT FOX HIGHLANDS COMMUNITY ASSOCIATION P.O. BOX 1094

COUNTY OF KENDALL HIGHWAY DEPT SHED 111 W FOX ST YORKVILLE IL 60560

JEANNE A SCHWERTFEGER TTEE 2031 MUIRFIELD DR YORKVILLE IL 60560

JAS 2023 REVOCABLE TRUST

ADEM ADEMI 13411 SPRING HILL DR WINNEBAGO IL 61088

YORKVILLE IL 60560

RICHARD LIDIA MARCINIAK 29 WALNUT DR YORKVILLE II 60560 GEORGE NICHTULA 2037 MUIRFIELD DR YORKVILLE IL 60560

RDK VENTURES LLC PO BOX 347 4080 W JONATHAN MOORE PIKE COLUMBUS IN 47201 CHRISTOPHER ZIEMBA TRUST 2029 MUIRFIELD DR YORKVILLE IL 60560 AMH 2014-2 BORROWER LLC ATTN PROPERTY TAX DEPARTMENT 23975 PARK SORRENTO SUITE 300 CALABASAS CA 91302

STEVEN M LOVE 2035 MUIRFIELD DR YORKVILLE IL 60560 CHRISTOPHER HOHMANN 2021 MUIRFIELD DR YORKVILLE IL 60560 MAGALLON NOE LOPEZ ZARATE GABRIELA L 2039 MUIRFIELD DR YORKVILLE IL 60560

REAL ESTATE TAX DEPARTMENT WALGREEN CO P O BOX 1159 DEERFIELD IL 60015

MUKUND KALA PATEL 104 E STAGECOACH TRL YORKVILLE IL 60560 STACEY M SMITH 2025 MUIRFIELD DR YORKVILLE IL 60560

QUIKTRIP CORPORATION TAX DEPT PO BOX 3475 TULSA OK 74101

RICHARD LEOKADIA MARCINIAK 29 WALNUT DR YORKVILLE IL 60560 TOM RITA R KLEEFISCH 8 WALNUT DR YORKVILLE IL 60560

YORKVILLE HOLDINGS INC 1311 BUTTERFIELD RD STE 308 DOWNERS GROVE IL 60515 QUIKTRIP CORPORATION TAX DEPT PO BOX 3475 TULSA OK 74101 COUNTY OF KENDALL OPEN SPACE BEHIND HWY DEPT ON RT 47 111 W FOX ST YORKVILLE IL 60560

FOX VALLEY FARM PARTNERSHIP JOEL MONTALBANO 418 ARLINGTON PL CHICAGO IL 60614 CHICAGO TITLE LAND TRUST CO 16 WALNUT DR YORKVILLE IL 60560 TTT ENTERPRISES LLC 3 SHIRLEY CT NEWARK IL 60541

RICK D MARTINEZ F R VENTURES LLC 70 WOODLAND DR P.O BOX YORKVILLE IL 60560

RDK VENTURES LLC PO BOX 347 4080 W JONATHAN MOORE PIKE COLUMBUS IN 47201 COUNTY OF KENDALL HIGHWAY DEPT SALT DOME 111 W FOX ST YORKVILLE IL 60560

BILL ANEST FAMILY LIMITED PARTNERSHIP 31366 N HWY 45 LIBERTYVILLE IL 60048 COUNTY OF KENDALL OPEN SPACE BEHIND HWY SHED 111 W FOX ST YORKVILLE IL 60560 FOX VALLEY FARM PARTNERSHIP JOEL MONTALBANO 418 ARLINGTON PL CHICAGO IL 60614

Description of Property

That part of the Southwest Quarter of Section 4 and part of the Southeast Quarter of Section 5, Township 36 North, Range 7 East of the Third Principal Meridian, described as follows: Commencing at the Northeast Corner of the Northeast Quarter of said Section 5, thence south 89 degree 40 minutes 05 seconds west along the North Line of said Northeast Quarter, 655.52 feet to the tangent Center Line of Illinois State Route No. 47 extended from the South; thence south 1 degree 44 minutes 07 seconds east along said tangent Center line and said tangent Center Line extended 3511.16 feet; thence north 89 degree 29 minutes 40 seconds east 548.60 feet (this point hereinafter referred to as point "A"); thence south 89 degree 29 minutes 40 seconds west along the last described course 548.60 feet to the Center Line of Illinois State Route No. 47 aforesaid; thence south 1 degree 44 minutes 07 seconds east along said Center Line 920.01 feet to a point on said Center Line 4431.17 feet south of the North Line of said Section 5, as measured along said tangent Center Line and said tangent Center Line extended, for the Point of Beginning; thence south 87 degree 56 minutes 07 seconds east 593.08 feet to a line drawn south 4 degree 21 minutes 07 seconds east from said Point A; thence south 4 degree 21 minutes 07 seconds east along said line 482.85 feet to the Center Line of Illinois State Route No. 71; thence westerly along said Center Line 589.32 feet to the Center Line of said Illinois State Route No. 47; thence Northerly along the Center Line of said Route 47, 596.73 feet to the Point of Beginning, Kendall Township, Kendall County, Illinois,

(1) Excepting therefrom land conveyed to the People of the State of Illinois by Warranty Deed Recorded June 15, 2017 as Document No. 201700009111,

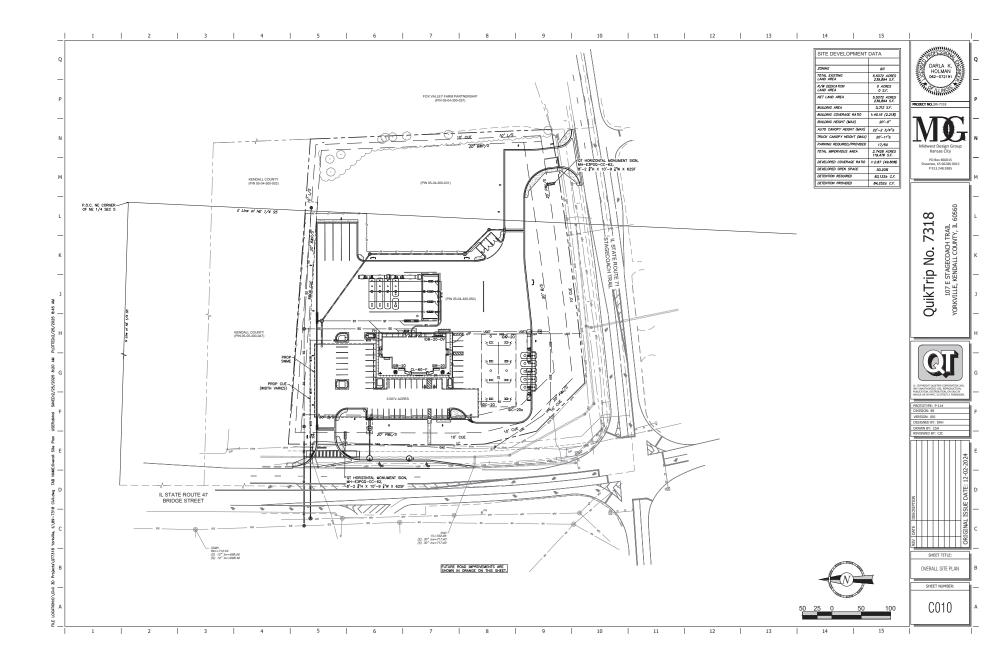
And

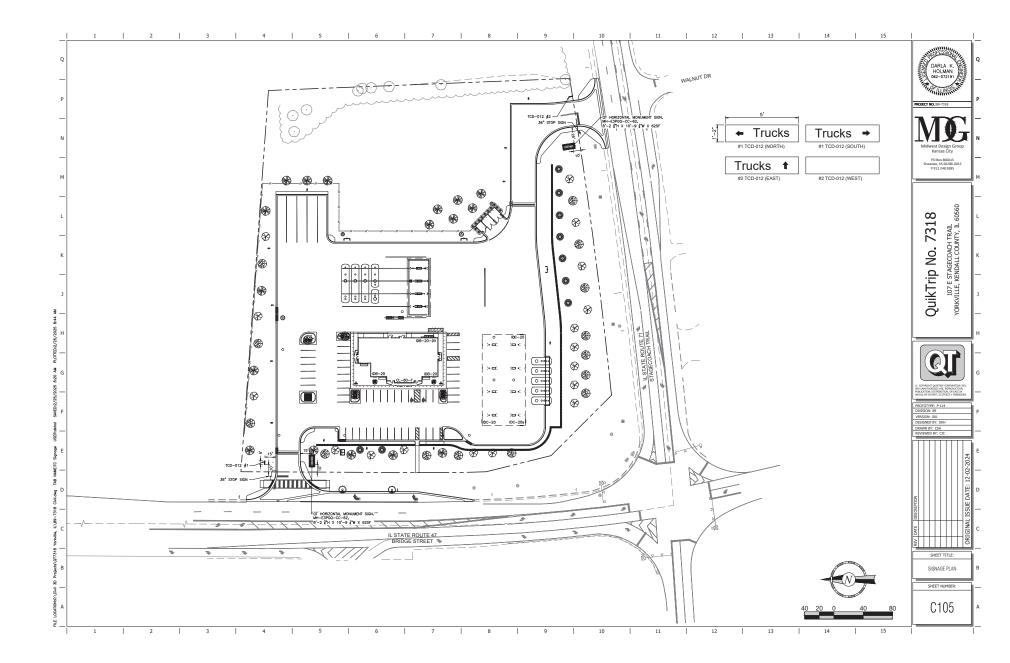
(2) Excepting therefrom land conveyed to the State of Illinois Department of Transportation by Warranty Deed Recorded March 17, 2011 as Document No. 20110004835.

UNITED CITY OF YORKVILLE *** CUSTOMER RECEIPT *** DATE: 02/26/25 TIME: 10:05:37 CUST NAME: 90-208-00-00-0011 PAY CD AMOUNT DESCRIPTION ____ _____ 00000 QUIKTRIP SIGN VAR CC 500.00 QUIKTRIP SIGN VAR 00000 GL ACCT# 9020800000011 Credit Card: VISA Merchant ID: 00001758848901 Order ID: Account: TOTAL AMOUNT DUE 585.00 AMOUNT TENDERED 585.00 .00 CHANGE DUE

Sig.

TRANS #: 1 CASHIER CODE: GN
BATCH #: C250226 REGISTER ID: 003







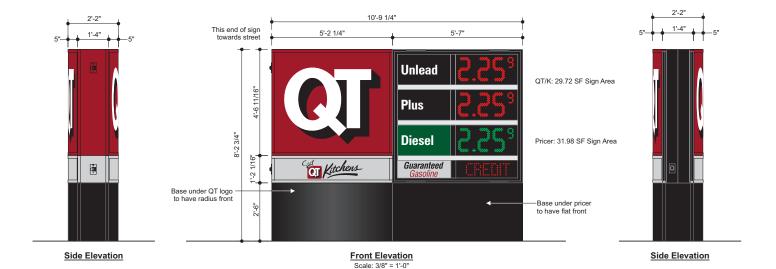
Top View

MH-E3PGQ-CC-62 **Horizontal Monument Sign**

- Three (3) Product LED Gas Price Sign
- 61.7 Square Feet Sign Area

Notes:

- 1.) Engineering provided by QT.
- 2.) Steel supports provided by sign installer.



Color Specifications

All Paint Finishes to be Akzo Nobel Opaque Silver Translucent White Black - Low Gloss Matte White (Interior of Sign) Match 3M Cardinal Red #3632-53 Match PMS 349C

Regarding Fabrication Fit & Finish of All QT Signs:

- · Visible fabrication seams and welded joints are to be sanded smooth, filled and finished to QT specifications.
- Any visible fasteners are to be countersunk and have painted heads.
- Face retainers must fit flush and have even, minimal seams.
- · Any variation from this directive must be brought to the attention of the QT Quality Control Manager without delay.

Allen Industries @FILE NUMBER: E212503	Listed Electric Sign Complies UL48 CSA C22.2 No.2 E212503 AI1 01751	
THIS SIGN IS INTENDED TO BE INSTALL REQUIREMENTS OF ARTICLE 600 OF TI ANDIOR OTHER APPLICABLE LOCAL CO GROUNDING AND BONDING OF THE SIG	HE NATIONAL ELECTRICAL C DES. THIS INCLUDES PROPE	ODE GROUNDED



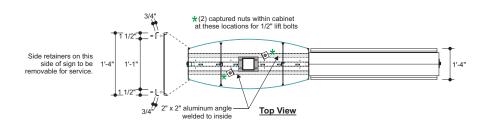
Item #QT-MH-E3PGQ-CC-62

QuikTrip Location		
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Sales House	Design CT	Project Manager James Gentry
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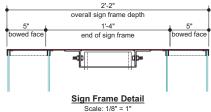
Construction Details

- · Installation by others
- Steel should be primed and
- painted white for max. reflectivity
 Engineering, steel size requirements

.177" thk. flat bowed

face panel

and footing specifications are obtained by QT



CAM cut .125" alum. top .080" alum. 3/4" welded face retainer .063" formed alum. angle rear face support makes a track for bowed face

> Side View Detail Scale: 1/4" = 1"

10" 6 1/4" 6 1/4"

Top View

Scale: 1/8" = 1"

Side View

Steel Saddle Detail

YELLOW INDICATES THE STEEL SUPPORT PROVIDED
BY SIGN INSTALLER



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER OPPORTUNING AND ROMINING OF THE SIGN.





Item #QT-MH-E3PGQ-CC-62

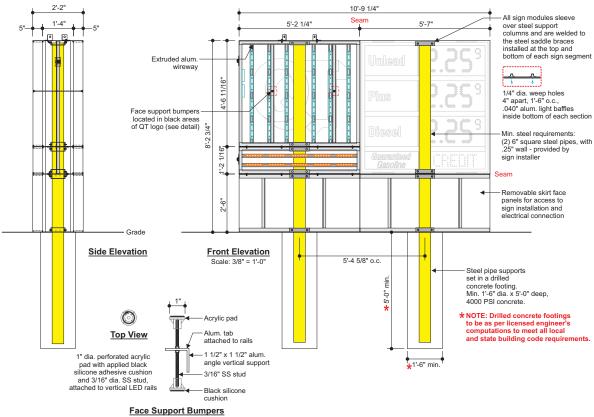
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Client QuikTrip			
Location			
Various			
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Sales	Design		oject Manager
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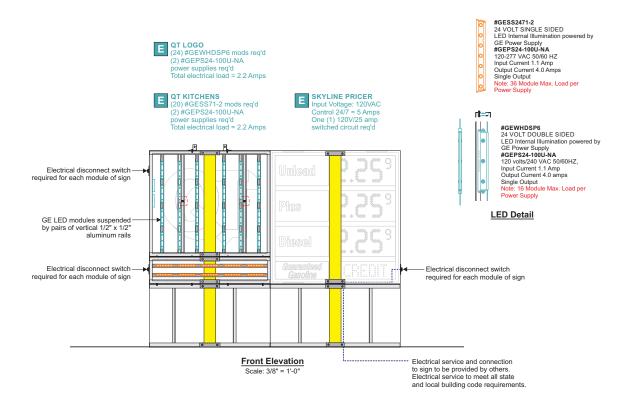


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Scale: NTS

Illumination Details





Item #QT-MH-E3PGQ-CC-62

Project In	nformation	
QuikTrip		
Location		
Various		
File		
	PGQ-CC-62	
Sales House	Design CT	Project Manager James Gentry
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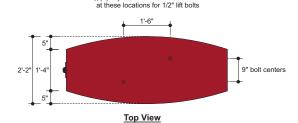




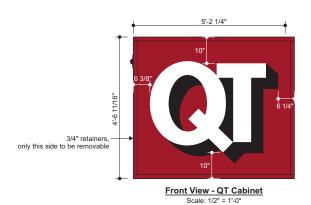
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QT Logo Cabinet



★(2) captured nuts within cabinet





All Sign Modules constructed with removable alum, face retainers and clear acrylic, .177" thickness, face panels with 2nd surface painted background colors and graphics.

Note: No Embossment

Translucent Graphics Red Background Color to Paint Match 3M Cardinal Red #3632-53 Translucent Vinyl

Side View

9" bolt centers 4" weep hole centers **Bottom View** 1/4" dia. weep holes 4" apart, 1'-6" o.c., .040" alum. light baffles inside bottom of each section

Color Specifications

All Paint Finishes to be Akzo Nobel

Translucent White Black - Low Gloss Matte White (Interior of Sign) Match 3M Cardinal Red #3632-53

Regarding Fabrication Fit & Finish of All QT Signs:

- Visible fabrication seams and welded joints are to be sanded smooth, filled and finished to QT specifications.
- Any visible fasteners are to be countersunk and have painted heads.
- · Face retainers must fit flush and have even, minimal seams.
- Any variation from this directive must be brought to the attention of the QT Quality Control Manager without delay.

Allen Industries	Listed MET	CSA C	n Complies with UL48 22.2 No.207 017510	
THIS SIGN IS INTENDED TO BE INSTALL REQUIREMENTS OF ARTICLE 600 OF TI ANDIOR OTHER APPLICABLE LOCAL CO GROUNDING AND BONDING OF THE SIG	HE NATIO			GROUNDED ELECTRICAL CONNECTIONS



Item #QT-MH-E3PGQ-CC-62

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Client QuikTrip			
Location Various			
File QT-MH-E3I	PGQ-CC-62		
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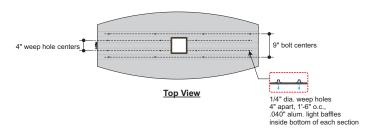
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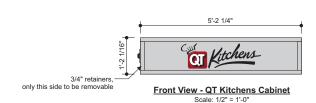
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QT Kitchens Cabinet



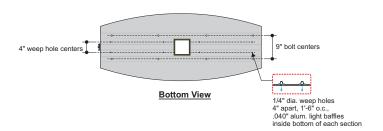




Side View

All Sign Modules constructed with removable alum. face retainers and clear acrylic, .177" thickness, face panels with 2nd surface painted background colors and graphics.

Note: No Embossment



Color Specifications

All Paint Finishes to be Akzo Nobel Opaque Silver Translucent White 3M Day/Night Vinyl #3635-0171 Matte White (Interior of Sign) 3M Cardinal Red #3632-53 Translucent Vinyl

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- · Any visible fasteners are to be countersunk and have painted heads.
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- Any variation from this directive must be brought to the attention of the QT Quality Control Manager without delay.

Allen Industries	Listed E MET E212503		ign Complies with UL48 C22.2 No.207 017510	
THIS SIGN IS INTENDED TO BE INSTALL REQUIREMENTS OF ARTICLE 600 OF TH AND/OR OTHER APPLICABLE LOCAL CO GROUNDING AND BONDING OF THE SIG	HE NATION DES. THIS	IAL ELE	CTRICAL CODE	GROUND ELECTRIC



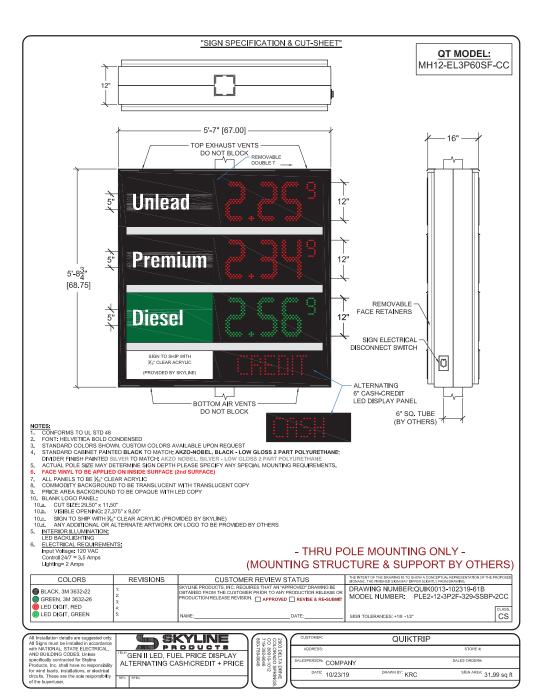
Item #QT-MH-E3PGQ-CC-62

Client	normation	
QuikTrip		
Location		
Various		
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Sales	Design	Project Manager
House	CT	James Gentry
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Skyline Pricer



Item #QT-MH-E3PGQ-CC-62

Project Information

QuikTrip		
Location Various		
File QT-MH-E3P	GQ-CC-62	
Sales House	Design CT	Project Manager James Gentry
Date / Des		
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Title		Date
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and is not to be show reproduced, copied o	n to anyone outside r exhibited in any fa	created by Allen Industries, Inc. ence for your use solely in for you by Allen Industries, Inc. your organization, nor used, shion whatsoever. The designs pistered trademarks that may remain the property of



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GG Insert



Item #QT-MH-E3PGQ-CC-62



Declaration

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.177" thick clear acrylic face panels with 2nd surface painted background colors and graphics.

Front View - GG Insert Scale: 1/8" = 1"

Color Specifications

All Paint Finishes to be Akzo Nobel

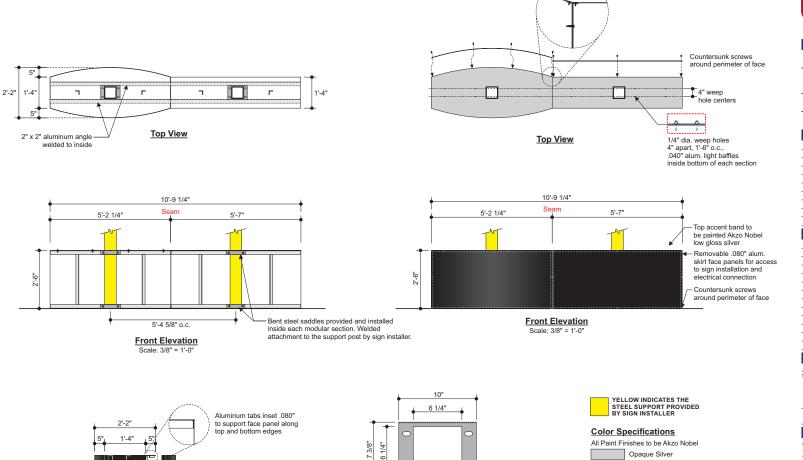
Opaque Silver Translucent White 3M Day/Night Vinyl #3635-0171 Matte White (Interior of Sign) 3M Cardinal Red #3632-53 Translucent Vinyl

Regarding Fabrication Fit & Finish of All QT Signs:

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- Any variation from this directive must be brought to the attention of the QT Quality Control Manager without delay.

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Monument Base



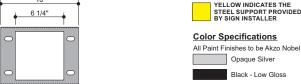
Top View

Steel Saddle Detail

Scale: 1/8" = 1"

Side Elevation

Scale: 3/8" = 1'-0"



7 3/8"

Side View

Regarding Fabrication Fit & Finish of All QT Signs:

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Item #QT-MH-E3PGQ-CC-62

Client	nformation	
QuikTrip		
Location Various		
File QT-MH-E3	PGQ-CC-62	
Sales House	Design CT	Project Manager James Gentry
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PUBLIC NOTICE NOTICE OF PUBLIC HEARING BEFORE THE UNITED CITY OF YORKVILLE PLANNING AND ZONING COMMISSION PZC 2025-03

NOTICE IS HEREBY GIVEN THAT Ali Bukhres, petitioner, has filed an application with the United City of Yorkville, Kendall County, Illinois, requesting sign variance approval to permit two (2) monument signs to be erected, which exceed the maximum sign area, maximum sign height, and maximum number of signs as stated in Section 10-6-6-B of the Yorkville United Development Ordinance. The real property, zoned B-3 General Business District, is located at the northeast corner of State Route 47 (South Bridge Street) and State Route 71 (Stagecoach Trail) intersection.

The legal description is as follows:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 4 AND PART OF THE SOUTHEAST OUARTER OF SECTION 5, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 5, THENCE SOUTH 89 DEGREE 40 MINUTES 05 SECONDS WEST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, 655.52 FEET TO THE TANGENT CENTER LINE OF ILLINOIS STATE ROUTE NO. 47 EXTENDED FROM THE SOUTH; THENCE SOUTH 1 DEGREE 44 MINUTES 07 SECONDS EAST ALONG SAID TANGENT CENTER LINE AND SAID TANGENT CENTER LINE EXTENDED 3511.16 FEET; THENCE NORTH 89 DEGREE 29 MINUTES 40 SECONDS EAST 548.60 FEET (THIS POINT HEREINAFTER REFERRED TO AS POINT "A"); THENCE SOUTH 89 DEGREE 29 MINUTES 40 SECONDS WEST ALONG THE LAST DESCRIBED COURSE 548.60 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 47 AFORESAID; THENCE SOUTH 1 DEGREE 44 MINUTES 07 SECONDS EAST ALONG SAID CENTER LINE 920.01 FEET TO A POINT ON SAID CENTER LINE 4431.17 FEET SOUTH OF THE NORTH LINE OF SAID SECTION 5, AS MEASURED ALONG SAID TANGENT CENTER LINE AND SAID TANGENT CENTER LINE EXTENDED, FOR THE POINT OF BEGINNING; THENCE SOUTH 87 DEGREE 56 MINUTES 07 SECONDS EAST 593.08 FEET TO A LINE DRAWN SOUTH 4 DEGREE 21 MINUTES 07 SECONDS EAST FROM SAID POINT A; THENCE SOUTH 4 DEGREE 21 MINUTES 07 SECONDS EAST ALONG SAID LINE 482.85 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE WESTERLY ALONG SAID CENTER LINE 589.32 FEET TO THE CENTER LINE OF SAID ILLINOIS STATE ROUTE NO. 47; THENCE NORTHERLY ALONG THE CENTER LINE OF SAID ROUTE 47, 596.73 FEET TO THE POINT OF BEGINNING, KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS,

(1) Excepting therefrom LAND CONVEYED TO THE PEOPLE OF THE STATE OF ILLINOIS BY WARRANTY DEED RECORDED JUNE 15, 2017 AS DOCUMENT NO. 201700009111,

and

(2) Excepting therefrom LAND CONVEYED TO THE STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION BY WARRANTY DEED RECORDED MARCH 17, 2011 AS DOCUMENT NO. 20110004835.

PINs: 05-05-400-050; 05-04-300-031

A copy of the application is available for review during normal City business hours at the office of the Community Development Director.

NOTICE IS HEREWITH GIVEN THAT the Planning and Zoning Commission for the United City of

Yorkville will conduct a Public Hearing on said application on **Wednesday**, **April 9**, **2025 at 7 p.m.** at the United City of Yorkville, City Hall, located at 651 Prairie Pointe Drive, Yorkville, Illinois 60560.

The public hearing may be continued from time to time to dates certain without further notice being published.

All interested parties are invited to attend the public hearing and will be given an opportunity to be heard. Any written comments should be addressed to the United City of Yorkville Community Development Department, City Hall, 651 Prairie Pointe Drive, Yorkville, Illinois, and will be accepted up to the date of the public hearing.

By order of the Corporate Authorities of the United City of Yorkville, Kendall County, Illinois.

JORI BEHLAND City Clerk



United City of Yorkville 651 Prairie Pointe Dr, Yorkville, Illinois, 60560

630-553-8545



630-553-7264



bzpermits@yorkville.il.us

SIGN PERMIT **APPLICATION**

PERMIT NUMBER: 2025-0094	IT NUMBER: 2025-0094	
SITE ADDRESS: 107 East Stagecoach Trail, Yorkville,: IL 60560	PARC	EL NUMBER: 05 - 05 - 400 - 050
SUBDIVISION: QUIKTRIP #7318	LOT/UN	
APPLICANT INFORMATION		
APPLICANT/BUSINESS NAME: Warren Sign Co.	n Sign Co. TELEPHONE: ○ HOME ⊙ BUSI	
ADDRESS: 2955 Arnold Tenbrook Rd., Arnold, MO 63010	E-MAIL: O HOME O BUS	INESS swinter@warrensign.com
CITY, STATE, ZIP: Arnold, MO 63010	FAX:	
OWNER INFORMATION		
CHECK IF INFORMATION PROVIDED ABOVE IS THE SAME		
NAME: QuikTrip Corporation c/o Ali Bukhres	TELEPHONE: O HOME O	BUSINESS 918-284-9456
ADDRESS: 50 South Main Street, Ste. 200	E-MAIL: ⊙ HOME ○ BUS	INESS abukhres@quiktrip.com
CITY, STATE, ZIP: Naperville, IL 60540	ITY, STATE, ZIP: Naperville, IL 60540 FAX:	
SIGN INFORMATION		
TYPE OF SIGN: ⊙ PERMANENT ○ TEMPORARY	PROJECT CONSTRUCTION V	ALUE: \$10,000.00
PERMANENT SIGNS MH-E3PGQ Monument Sign MH-E3PGQ Monument Sign Stagecoach Trail Entrance Sign FACE CHANGE DIMENSION OF SIGN (AREA): 5'-8.75" x 10'-9.25" (61.7 SF / 8'-2.75" Tall)) FOR BUILDING MOUNTED SIGN ONLY; LINEAL FOOTAGE OF FACADE:):
ATTACHMENTS NEEDED FOR A SIGN PERMIT APPLICATION INCLUDE A PLAT SIGN, RENDERING OF SIGN WITH DIMENSION, AND ELECTRICAL DETAILS FO	OF SURVEY FOR ALL FREI	STANDING SIGNS SHOWING THE LOCATION OF THE
TERMS: In consideration of this application and attached forms being made a part performed under said permit shall be in accordance with the plans which accomp by the Building Official; the proposed work is authorized by the owner of recording schedule all necessary inspections as an agent; all work will conform to all applicate authorized agent are responsible to abide by all covenants and association restriction occupy The Building Until All Inspections have Been Performed And A Call information on it is subject to public review pursuant to the Illinois Freedo	ort hereof, and the issuance of any this permit application, ed, and that I/we have been a le codes, laws, and ordinance ons as may apply to the propo ERTIFICATE OF OCCUPANCY I	except for such changes as may be authorized or required authorized by the owner to make the application and/or sof the United City of Yorkville. I/we as owner of record or used work associated with this permit. I/WE AGREETO NOT HAS BEEN ISSUED. This Permit is a public document and
REVIEW CONCLUSIONS (all staff comments on back of application):		
BUILDING CODE COMPLIANCE: O APPROVED O NOT APPROVED		DATE:
ZONING CODE COMPLIANCE: O APPROVED NOT APPROVED		DATE: 212 0/25
RE-SUBMITTAL: DATE: O AF	PPROVED O NOT APPROVE	D DATE/TIME ISSUED:

YORKVILLE Building Department 651 PRAIRIE POINTE DR YORKVILLE, IL 60560 Tel # (630) 553-8545 Fax # (630) 553-7264

Issue Date : 00/00/0000

Applied for : 02/07/2025

Expires : 00/00/0000

7/2025 Type: SIGN 0/0000 Parcel # 05-05-400-050

Address : 107 E STAGECOACH TR Owner : QUIKTRIP CORPORATION

YORKVILLE, IL 50 SOUTH MAIN ST. STE 200

Permit # 20250094

NAPERVILLE, IL 60540

Building : Value : \$ 10,000.00 Unit : Square Footage : 61

FEE SCHEDULE

SIGN WITH ELECTRIC SUBTOTAL FEES PAYMENTS BALANCE DUE \$ 100.00 \$ 100.00 \$ 0.00 \$ 100.00

NOTE: Fees must be paid in full prior to the permit being issued.

Forms of Payment Accepted are: Cash, Check and Credit Card. Checks are made payable to the City of Yorkville.





BUILDING PERMIT

2025-0094

FOR

<u>Signs</u>

ADDRESS

107 E STAGECOACH TRL

DATE ISSUED

BY

SCHEDULE NEXT DAY INSPECTIONS BEFORE 2:30 PM

CALL: 630-553-8527 or -8545

EMAIL: bzpermits@yorkville.il.us

UNITED CITY OF YORKVILLE

651 PRAIRIE POINTE DR

YORKVILLE, IL 60560

BUILDING PERMIT MUST BE DISPLAYED

REScheck AND PLANS MUST BE KEPT ON SITE

David Hansen

From: David Hansen

Sent:Thursday, February 20, 2025 12:40 PMTo:B&Z Permits; Bobbie Blystone; Gina NelsonCc:Krysti Barksdale-Noble; Sara Mendez; Peter Ratos

Subject: Sign Permit 2025-0094 - 107 East Stagecoach Trail
Attachments: QuikTrip (Special Use) EXHIBITS - Site Plan.pdf

I have reviewed the monument sign proposed for the property located at 107 East Stagecoach Trail (QuikTrip). The sign is **not approved**, **due to the following:**

- Sign is 61.7 sq ft and a height of 8' 2 ¾". The monument sign does not match the approved special use ordinance for QuikTrip and exceeds UDO standards regarding sign area and height.
- There is also no information provided regarding building materials of the sign and no landscape plan exhibit. Building materials are needed to determine the area and height of the sign.
- Please see an outline of UDO monument standards below along with the attached special use ordinance site
 plan exhibit indicating the monument signage approved. Please resubmit monument sign permit.

Single-Tenant Monument Signs.

- 1. Sign Dimensions.
 - a) Base Quality Single-Tenant Monument Signs. Single-tenant monument signs utilizing base quality sign materials shall meet the following dimensional standards.
 - 1. Sign Area. The maximum sign area shall not exceed thirty-two (32) square feet.
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 - b) **High Quality Single-Tenant Monument Signs.** Single-tenant monument signs utilizing high quality sign materials shall meet the following dimensional standards.
 - 1. Sign Area. The maximum sign area shall not exceed forty-eight (48) square feet.
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- 2. **Number of Signs**. A maximum of one (1) single-tenant monument sign shall be permitted per every eighthundred (800) continuous, linear feet of <u>lot frontage</u>.
- 3. **Location**. Single-tenant monument signs shall be located the minimum distance established below per <u>district</u> type from property lines, rights-of-way, and utility <u>easements</u>, shall not <u>block</u> points of ingress or egress, be placed in any <u>sidewalk</u> or pedestrian circulation system, and shall not be located in a vision clearance area as detailed in Section <u>10-5-6</u>.
 - a) (1) Residential Districts: Ten (10) feet
 - b) (2) Nonresidential Districts: Five (5) feet
- 4. **Landscape Requirement**. All single-tenant monument signs shall be required to plant and maintain a landscape area meeting the requirements of Section <u>10-6-6(B)(1)(b)</u> at the base of the sign.

Landscape.

- 1. All monument signs shall be required to plant and maintain a landscape area at the base of the sign.
- 2. The minimum area of the landscape area shall be equal to half (1/2) of the square footage of the sign area of the associated sign.
- 3. Landscape areas shall be planted with one (1) shrub or native grass, per every three (3) square feet of required landscape area.
- 4. Required shrubs and native grasses shall be approved by the **Zoning Administrator** as a landscape plan.



United City of Yorkville 651 Prairie Pointe Dr, Yorkville, Illinois, 60560

630-553-8545



630-553-7264



SIGN PERMIT **APPLICATION**

PERMIT NUMBER: 2	MIT NUMBER: 2025 - 0095		DATE/TIME RECEIVED:
THE RESERVE OF THE PROPERTY OF	agecoach Trail, Yorkville, IL 60560 PARCEL N		CEL NUMBER: 05-05-400-050
SUBDIVISION: QUIKTRIP #	IKTRIP #7318 LOT/UN		UNIT:
APPLICANT INFORMATION			
APPLICANT/BUSINESS NAME: W	arren Sign Co. TELEPHONE: ○ HOME ⊙ BUSI		BUSINESS 636-282-1300
ADDRESS: 2955 Arnold Te	nbrook Rd., Arnold, MO 63010 E-MAIL: ○ HOME ⓒ BUSIN		SINESS swinter@warrensign.com
CITY, STATE, ZIP: Arnold, MC	63010 FAX:		
OWNER INFORMATION			
CHECK IF INFORMATION PROV	/IDED ABOVE IS THE SAME		
NAME: QuikTrip Corpora	ation c/o Ali Bukhres TELEPHONE: O HOME O BUS		BUSINESS 918-284-9456
ADDRESS: 50 South Main	Street, Ste. 200 E-MAIL: O HOME © BUSINE		siness abukhres@quiktrip.com
CITY, STATE, ZIP: Naperville,	Naperville, IL 60540 FAX:		
SIGN INFORMATION			
TYPE OF SIGN: PERMANENT	O TEMPORARY	PROJECT CONSTRUCTION V	YALUE: \$10,000.00
	MH-E3PGQ Monument Sign Bridge Street Entrance Sign 5'-8.75" x 10'-9.25" (61.7 SF / 8'-2.75" Tall))	Ige Street Entrance Sign ○ BANNER ○ WIND FEATHER ○ OTHER □ DIMENSION OF SIGN (AREA):	
ATTACHMENTS NEEDED FO	R A SIGN PERMIT APPLICATION INCLUDE A PLAT WITH DIMENSION, AND ELECTRICAL DETAILS FO	OF SURVEY FOR ALL FRE	E STANDING SIGNS SHOWING THE LOCATION OF THI
TERMS: In consideration of the performed under said permit by the Building Official; the schedule all necessary inspect authorized agent are responsitional occupy THE BUILDING UNTIL	his application and attached forms being made a pa shall be in accordance with the plans which accomp proposed work is authorized by the owner of record tions as an agent; all work will conform to all applicab	rt hereof, and the issuance of any this permit application, d, and that I/we have been le codes, laws, and ordinance ons as may apply to the prope ERTIFICATE OF OCCUPANCY	of this permit, I/we agree to the following terms: All work except for such changes as may be authorized or required authorized by the owner to make the application and/o es of the United City of Yorkville. I/we as owner of record o osed work associated with this permit. I/WE AGREE TO NO HAS BEEN ISSUED. This Permit is a public document and
REVIEW CONCLUSIONS (all star	ff comments on back of application):		
BUILDING CODE COMPLIANCE:	O APPROVED O NOT APPROVED		DATE:
ZONING CODE COMPLIANCE:	O APPROVED NOT APPROVED		DATE: 2/25/25
RE-SUBMITTAL:	DATE: O AP	PROVED O NOT APPROV	ED DATE/TIME ISSUED:

YORKVILLE Building Department 651 PRAIRIE POINTE DR YORKVILLE, IL 60560

Tel # (630) 553-8545 Fax # (630) 553-7264

Issue Date : 00/00/0000 Applied for : 02/07/2025 Expires : 00/00/0000

/00/0000 Permit # 20250095 /07/2025 Type : SIGN /00/0000 Parcel # 05-05-400-050

Address : 107 E STAGECOACH TR

YORKVILLE, IL

Owner: QUIKTRIP CORPORATION

: \$

50 SOUTH MAIN ST. STE 200 NAPERVILLE, IL 60540

Building : Value : Unit : Square Footage :

FEE SCHEDULE

SIGN WITH ELECTRIC SUBTOTAL FEES PAYMENTS BALANCE DUE \$ 100.00 \$ 100.00 \$ 0.00 \$ 100.00

10,000.00

61

NOTE: Fees must be paid in full prior to the permit being issued.

Forms of Payment Accepted are: Cash, Check and Credit Card. Checks are made payable to the City of Yorkville.





BUILDING PERMIT

<u># 2025-0095</u>

FOR

<u>Signs</u>

ADDRESS

107 E STAGECOACH TRL

DATE ISSUED

BY

SCHEDULE NEXT DAY INSPECTIONS BEFORE 2:30 PM

CALL: 630-553-8527 or -8545

UNITED CITY OF YORKVILLE
651 PRAIRIE POINTE DR

EMAIL: bzpermits@yorkville.il.us

YORKVILLE, IL 60560

BUILDING PERMIT MUST BE DISPLAYED

REScheck AND PLANS MUST BE KEPT ON SITE

David Hansen

From: David Hansen

Sent:Thursday, February 20, 2025 12:40 PMTo:B&Z Permits; Bobbie Blystone; Gina Nelson

Cc:Krysti Barksdale-Noble; Sara Mendez; Peter RatosSubject:Sign Permit 2025-0095 - 107 East Stagecoach TrailAttachments:QuikTrip (Special Use) EXHIBITS - Site Plan.pdf

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 per <u>district</u> type from property lines, rights-of-way, and utility <u>easements</u>, shall not <u>block</u> points of ingress or
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 area as detailed in Section <u>10-5-6</u>.
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- 4. Required shrubs and native grasses shall be approved by the **Zoning Administrator** as a landscape plan.

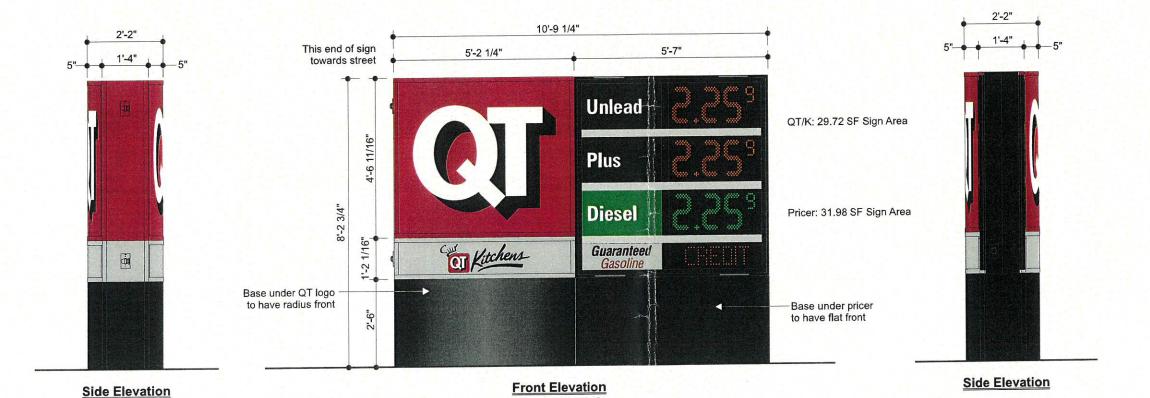
Top View

MH-E3PGQ-CC-62 **Horizontal Monument Sign**

- Three (3) Product LED Gas Price Sign
- 61.7 Square Feet Sign Area

Notes:

- 1.) Engineering provided by QT.
- 2.) Steel supports provided by sign installer.



Scale: 3/8" = 1'-0"

Color Specifications

All Paint Finishes to be Akzo Nobel

Opaque Silver Translucent White Black - Low Gloss

Matte White (Interior of Sign) Match 3M Cardinal Red #3632-53

Match PMS 349C

Regarding Fabrication Fit & Finish of All QT Signs:

- Visible fabrication seams and welded joints are to be sanded smooth, filled and finished to QT specifications.
- · Any visible fasteners are to be countersunk and have painted heads.
- · Face retainers must fit flush and have even, minimal seams.
- Any variation from this directive must be brought to the attention of the QT Quality Control Manager without delay.









Item #QT-MH-E3PGQ-CC-62

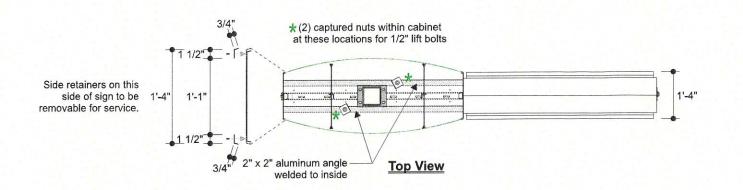
QuikTrip	# (A)			
Location Various				
File QT-MH-E3PGQ-CC-62				
Sales	Design CT	Project Manager James Gentry		
House	AND DESCRIPTION OF THE PARTY OF	James Genti		
Control of the Contro	scription Issue Date			
01/17/20	issue Date			
/2\	P. C. C.			
/3\				
4				
/5				
6				
/8\				
/9\	- 1-1	5 m 4 1 1 4 1		
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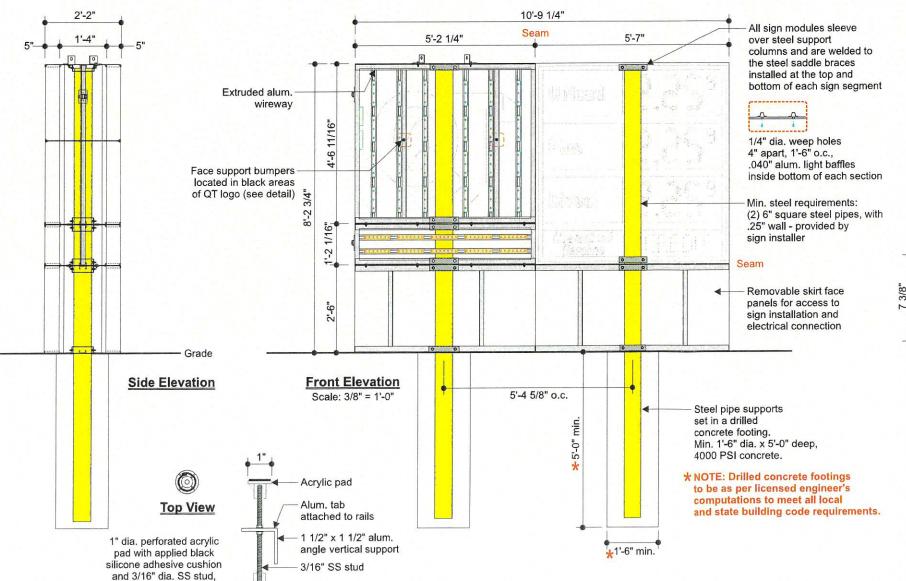
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1-800-967-2553 www.allenindustries.com



2'-2" overall sign frame depth 1'-4" bowed face bowed face end of sign frame



Face Support Bumpers

- Black silicone

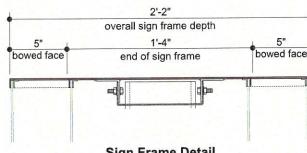
cushion

attached to vertical LED rails

Scale: NTS

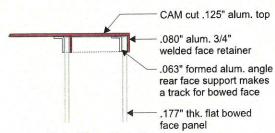
Construction Details

- Installation by others
- Steel should be primed and painted white for max. reflectivity
- · Engineering, steel size requirements and footing specifications are obtained by QT

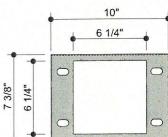


Sign Frame Detail

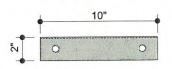
Scale: 1/8" = 1"



Side View Detail Scale: 1/4" = 1"



Top View



Steel Saddle Detail Scale: 1/8" = 1"

Side View

YELLOW INDICATES THE STEEL SUPPORT PROVIDED BY SIGN INSTALLER









Item #QT-MH-E3PGQ-CC-62

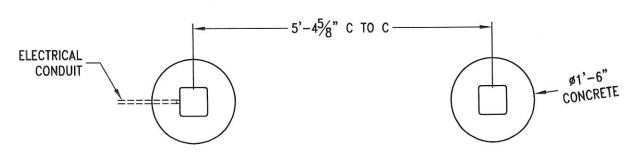
QuikTrip		
Various		
File OT-MH-F3	PGQ-CC-62	
Sales	Design	Project Manager
House	СТ	James Gentr
Date / De	scription	
	ssue Date	
1		
/2\		
4		
/5\		
<u>6</u>		
/\ /8		
/9\		
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7.7		
Client Re	view Status	
Opposition and the state of the		
Allen Industries, Inc from the dient prior	to any production release	Approved" drawing be obtain se or production release revisi
Approv	red Approas No	oved Revise
I LUBBION	as No	oted Resubn

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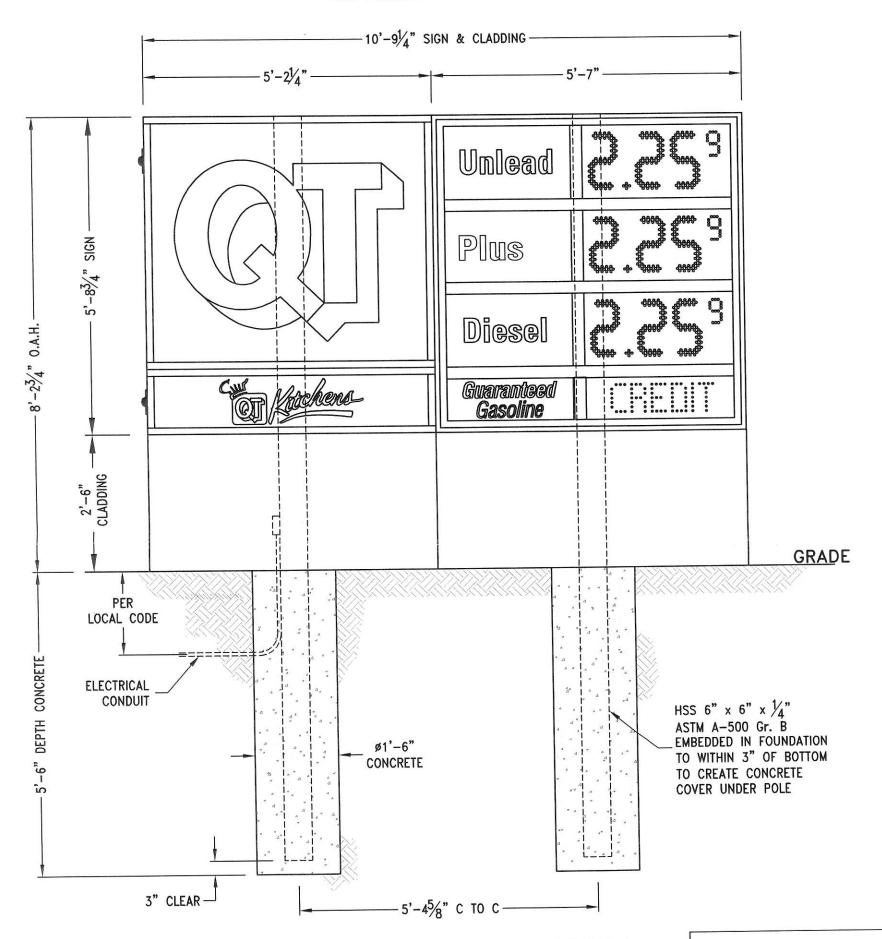


1-800-967-2553 www.allenindustries.com



PLAN VIEW-CAISSON FOOTINGS

QTY. CONCRETE: 0.3 CU. YDS. EACH



ELEVATION VIEW-CAISSON FOOTINGS

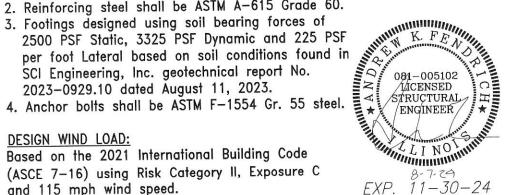
FOUNDATION DESIGN NOTES:

- 1. Concrete shall have a minimum compressive strength of 4000 PSI at 28 days.
- 2. Reinforcing steel shall be ASTM A-615 Grade 60.
- 3. Footings designed using soil bearing forces of 2500 PSF Static, 3325 PSF Dynamic and 225 PSF

(ASCE 7-16) using Risk Category II, Exposure C and 115 mph wind speed.

ILLINOIS DESIGN FIRM LICENSE NO. 184.001794

SEE SHEET 2 FOR ALTERNATE SPADE FOOTING.



SIGN TYPE MH-E3PGQ-CC-62

SITE: QuikTrip Store No. 7318 107 East Stagecoach Trail Yorkville, Illinois 60560

J. HOGAN A 07 Aug 24 RELEASED FOR PERMITTING APPROVED DESCRIPTION REV DATE

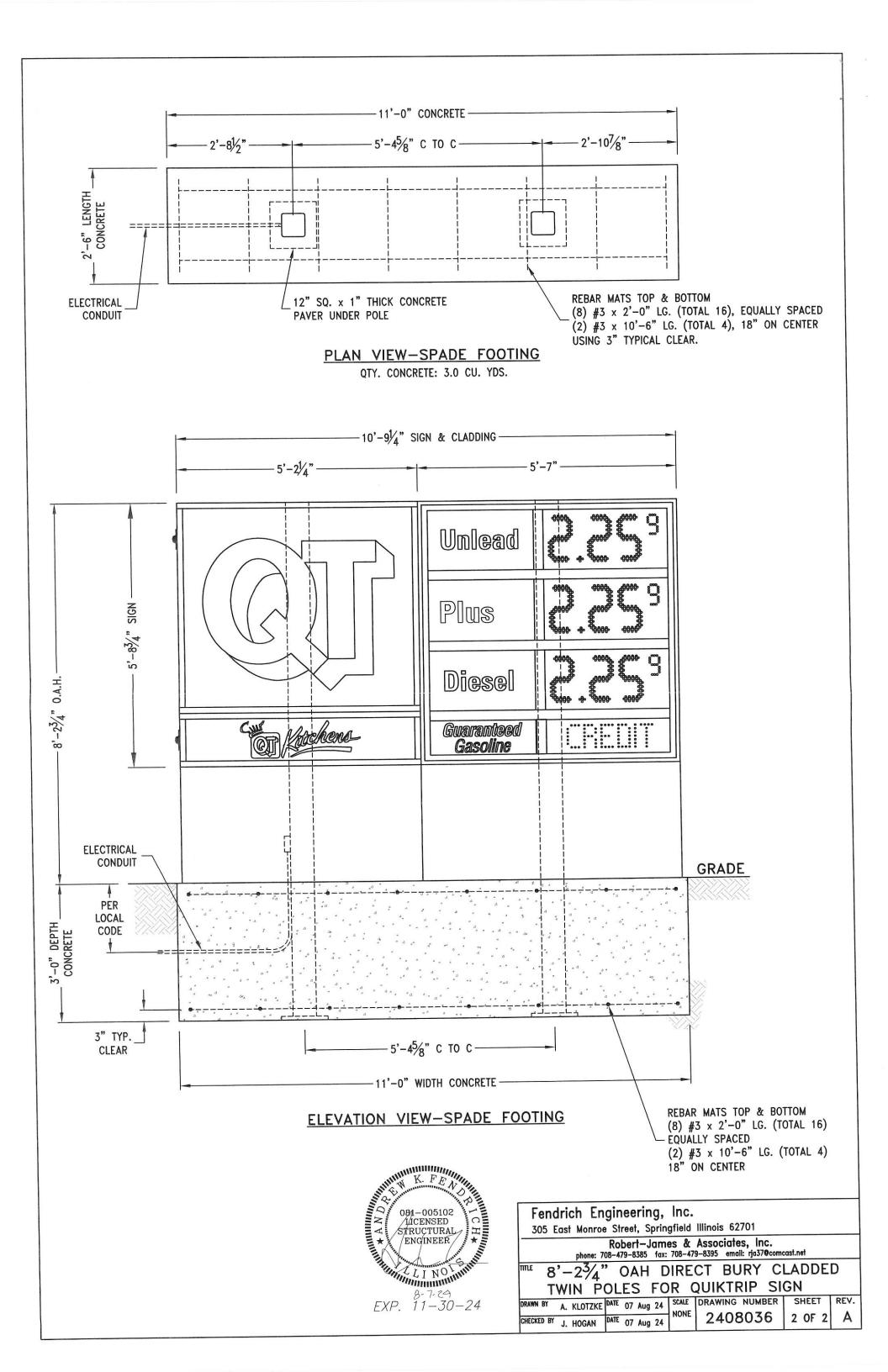
Fendrich Engineering, Inc.

305 East Monroe Street, Springfield Illinois 62701

Robert-James & Associates, Inc. phone: 708-479-8385 fax: 708-479-8395 email: rja379comcast.net

OAH DIRECT BURY CLADDED 8'-23/4" TWIN POLES FOR QUIKTRIP SIGN

A. KLOTZKE DATE 07 Aug 24 SCALE DRAWING NUMBER REV. NONE 2408036 1 OF 2 CHECKED BY J. HOGAN



ROBERT-JAMES & ASSOCIATES, Inc.

12255 West 187th Street Mokena, Illinois 60448 (708) 479-8385

File: AllenInd2250.mcd

Site: QuikTrip

Store No. 7318

107 East Stagecoach Trail Yorkville, Illinois 60560

Sign Type: MH-E3PGQ-CC-62

8'-2 3/4" overall height direct bury twin poles for 5'-8 3/4" x 10'-9 1/4" combination ID, QT Kitchen and electronic price sign with 2'-6" tall x 10'-9 1/4" lower pole cladding with both caisson and spade footing options. Footing design based on soil conditions found in SCI Engineering, Inc. geotechnical report number 2023-0929.10

dated August 11, 2023.

Drawing No. 2408036 rev. A sheets 1 and 2 of 2.

Design wind load is based on the 2018 International Building Code (ASCE 7-16) using Exposure C and 115 mph wind speed.

Design Wind Speed: (mph.) V := 115.0 Based on Risk Category II

Velocity Pressure Coefficient at a Height of Less Than 15', Exposure C: Kz := 0.85 Based on Table 29.3-1

Topographic Factor: Kzt := 1.00 Based on Table 26.8-1

Wind Directionality Factor: Kd = 0.95 Based on Table 26.6-1

Velocity Pressure: (PSF) $qz := 0.00256 \cdot Kz \cdot Kzt \cdot Kd \cdot V^2$ qz = 27.339 Based on 29.3-1

For Figure 29.4-1

Overall Height: (ft.) h = 8.23 Overall V

Overall Width: (ft.) B := 10.77

Where 's' equals 'h' s := 8.23

 $\frac{s}{h} = 1 \qquad \frac{B}{s} = 1.309$

Force Coefficient: Cf := 1.43 Based on Figure 29.4-1

Gust Effect Factor: G = 0.85 Based on 26.9.4 for Other Structures

ASD Conversion Factor: LCF := 0.60

Design Pressure: (PSF) $F := qz \cdot Cf \cdot G \cdot LCF$ F = 19.938 Use: WL := 20.0

Reference: Manual of Steel Construction, AISC 13th Edition.

Tube: ASTM A-500 Gr. B Fy = 46.0 ksi.; Fb = 30.36 ksi.; Fv = 18.40 ksi.

Reference: American Concrete Institute, Code 318.14

Rebar: ASTM A-615 Grade 60 Fy = 60.0 ksi.

Concrete: 4,000 psi. compressive strength at 28 days.

Design Loads at Grade:

Shear: (lbs.) $ShrGrd := (8.23 \cdot 10.77 \cdot WL)$ ShrGrd = 1772.742

OK

Moment: (ft.lbs.)
$$MtGrd := ShrGrd \cdot \left(\left(\frac{8.23}{2} \right) + (0.05 \cdot 8.23) \right)$$
 $MtGrd = 8024.317$

Design of Pole Structures at Grade:

Section Modulus of Tube: (in.3) HSS 6" x 6" x
$$1/4$$
" wall - $TubeSM := 9.54$

Moment per Pole : (ft.lbs.)
$$MtPoleGrd := \frac{MtGrd}{2}$$
 $MtPoleGrd = 4012.158$

Bending Stress: (psi.)
$$f_b := \frac{MtPoleGrd \cdot 12}{TubeSM}$$
 $f_b = 5046.74$

Area of Tube: (in.2) HSS 6" x 6" x 1/4" wall -
$$TubeArea := 5.24$$

Shear per Pole: (lbs.)
$$ShrPoleGrd := \frac{ShrGrd}{2}$$
 $ShrPoleGrd = 886.371$

Shear Stress: (psi.)
$$f_v := \frac{ShrPoleGrd}{TubeArea}$$
 $f_v = 169.155$

Unity Check - Poles:
$$UCPoles := \frac{f_b}{30360} + \frac{f_v}{18400} \qquad UCPoles = 0.175 \qquad < \qquad 1.00$$

Design of Caisson Footings:

Moment per Footing: (ft.lbs.)
$$Ma := MtPoleGrd$$
 $Ma = 4012.158$

Shear per Footing: (lbs.)
$$Va := ShrPoleGrd$$
 $Va = 886.371$

Applied Lateral Force: (lbs.)
$$P = 886.371$$

Allowable Lateral Soil Pressure : (lbs./ft.2 per ft.)
$$LP := 225$$

Diameter of Caisson: (ft.)
$$b1 := 1.5$$

$$M_{\alpha}$$

Distance in Feet From Ground Surface
$$h := \frac{Ma}{Va}$$
 $h = 4.527$ to Point of Application of "P"

Depth of Footing Below Grade: (ft.)
$$d1 := 5.5$$

Allowable Lateral Soil Bearing Pressure Pursuant
$$SI := dI \cdot \frac{(LP \cdot 1.33)}{3}$$
 $SI = 548.625$

to the 2018 International Building Code Section 1807.3.2.1 and geotechnical data.

$$A := 2.34 \cdot \frac{P}{Sl \cdot hl}$$

$$A = 2.52$$

$$d2 := \left(\frac{A}{2}\right) \cdot \left(1 + \left(\sqrt{1 + 4.36 \cdot \frac{h}{A}}\right)\right)$$
 $d2 = 5.005 \le dl = 5.5$ OK

Check Tensile Stress in Footing:

Overturning Moment About Heel Point: (ft.lbs.) $Mh := Ma + (Va \cdot d1)$ Mh = 8887.199Treat as a cantilever at bottom.

Compressive Strength of Concrete: (psi)

fc := 4000

Yield Strength of Rebar: (psi)

fy := 60000

Section Modulus of Footing: (in.3)

$$Sw := \frac{\pi \cdot (b1 \cdot 12)^3}{32}$$

Sw = 572.555

Tensile Stress in Concrete: (psi.)

$$ft := \left(\frac{\left(Mh \cdot 12\right)}{Sw}\right)$$

ft = 186.264

Allowable Concrete Stress: (psi.)

$$\phi Ft := 0.65 \cdot \left(5 \cdot \sqrt{fc}\right)$$

$$\phi Ft = 205.548$$
 > $ft = 186.264$
REBAR NOT REQUIRED FOR STRESS

Design of Temperature and Shrinkage Steel in Caisson:

Moment for USD Design:

$$Mu := 1.7 \cdot Mh$$

$$Mu = 15108.238$$

$$d := ((b1 \cdot 12) \cdot .80) - (\frac{(b1 \cdot 12) - 6.0}{2})$$

$$d = 8.4$$

To Plot for " ju " :

$$coeff := \frac{Mu \cdot 12}{fc \cdot b1 \cdot 12 \cdot d^2} \quad coeff = 0.036$$

$$ju := 0.81$$

Use yield strength of direct bury tube to check.

Yield Strength of Tube: (psi.)

fy := 42000

Required Area: (in.2)

$$As := \frac{Mu \cdot 12}{ju \cdot fy \cdot d \cdot 0.90}$$

$$As = 0.705$$

Rebar Requirement:

$$As = 0.705$$
 < $TubeArea = 5.24$

None required with the direct bury tube.

Quantity of Concrete:

$$CY := \left(\frac{\pi \cdot bI^2 \cdot dI}{4 \cdot 27}\right) - \left(\frac{0.5^2 \cdot (dI - 0.25)}{27}\right)$$

$$CY = 0.311$$
 Eac

Note:

Keep bottom of tubes 3" from bottom of footings to create concrete cover for water exclusion.

Design of Spade Footing:

Loads:

Moment: (ft.lbs.)

Ma := MtGrd

Ma = 8024.317

Shear: (lbs.)

Va := ShrGrd

Va = 1772.742

Allowables:

Lateral passive pressure against foundation: (lbs./sq.ft. per foot)

PP := 225

Static soil pressure: (lbs./sq.ft.)

SSP := 2500

Dynamic soil pressure: (lbs./sq.ft.)

DSP := 3225

Foundation parameters:

Depth of footing below grade: (ft.) DF := 3.0

Width of footing: (ft.) WF := 11.0

Length of footing: (ft.) LF := 2.5

(Wind direction)

Weight of structure and foundation:

Design weight of concrete: (lbs./cu.ft.) CWT := 150

Signage and cladding weight: (lbs.) SWT := 725

Pole weight: (lbs.) PWT := 375

Footing weight: (lbs.) $FTWT := DF \cdot WF \cdot LF \cdot CWT$ FTWT = 12375

Net weight: (lbs.) NETWT := SWT + PWT + FTWT NETWT = 13475

Check Factor of Safety:

Overturning moment about heel point of foundation: (ft.lbs.)

$$Mo := Va \cdot DF + Ma \qquad Mo = 13342.543$$

Total passive pressure on footing: (lbs./sq.ft.) $Tpp := PP \cdot DF^2 \cdot \left(\frac{WF}{2}\right)$ Tpp = 11137.5

Resisting moment about the heel point: (ft.lbs.)

$$Mr := NETWT \cdot \left(\frac{LF}{2}\right) + Tpp \cdot \left(\frac{DF}{3}\right)$$
 $Mr = 27981.25$

Factor of Safety: $FS = \frac{Mr}{Mo}$ FS = 2.097 > 1.5

Check soil bearing pressures:

Static soil pressure: (lbs./sq.ft.)
$$SBP := \frac{NETWT}{LF \cdot WF} \qquad SBP = 490 \quad < \quad SSP = 2500 \quad OK$$

Dynamic soil pressure: (lbs./sq.ft.)

$$e := \left| \frac{\left(Mo - Tpp \cdot \left(\frac{DF}{3} \right) \right)}{NETWT} \right| \qquad e = 0.164$$

$$\left(\frac{LF}{6}\right) = 0.417$$
 > $e = 0.164$

$$qa := \left(\frac{NETWT}{WF \cdot LF}\right) \cdot \left(\left(1 + \left(6 \cdot \frac{e}{LF}\right)\right)\right)$$
 $qa = 682.44$ < $DSP = 3225$ OK

Check tensile stress of concrete at pole:

Compressive Strength of Concrete: (psi.)

fc := 3000

Overturning moment at pole: (ft.lbs./ft.)

 $Mp := \left(\frac{LF}{2}\right)^2 \cdot \left(\frac{qa}{2}\right)$

Mp = 533.156

Section modulus of footing - Per foot of width: (in.3)

$$Sw := 12 \cdot \frac{(DF \cdot 12)^2}{6}$$

Sw = 2592

Tensile stress in concrete: (psi.)

$$ft := \frac{(Mp \cdot 12)}{Sw}$$

ft = 2.468

Allowable stress in concrete: (psi.)

$$\phi Ft := 0.65 \cdot \left(5 \cdot \sqrt{fc} \right)$$

$$\phi Ft = 178.01$$
 > $ft = 2.468$

REBAR NOT REQUIRED FOR STRESS

Design of temperature and shrinkage steel:

Rebar size:

Number := 3

Rebar Area: (in.2)

 $Area := \frac{\pi \cdot \left(\frac{Number}{8}\right)^2}{4}$

Area = 0.11

For length of footing:

 $Asl := 0.00038 \cdot DF \cdot WF \cdot 144$

Asl = 1.806

Number required:

 $\frac{Asl}{Area}$ = 16.35 Use eight (8) #3 Rebar x 2'-0" LG. equally spaced top and bottom using 3" typical clear. (Sixteen (16) total required.)

For width of footing:

 $Asw := 0.00038 \cdot DF \cdot LF \cdot 144$

Asw = 0.41

Number required:

Use two (2) #3 Rebar x 10'-6" LG. spaced 18" on center top and bottom using 3" typical clear. (Four (4) total required.)

Quantity of concrete: (yds.3)
$$CY := \left(\frac{(LF \cdot WF \cdot DF)}{27}\right) - \left(\left(\frac{0.5^2 \cdot DF}{27}\right) \cdot 2\right)$$

CY = 3

EXHIBIT A

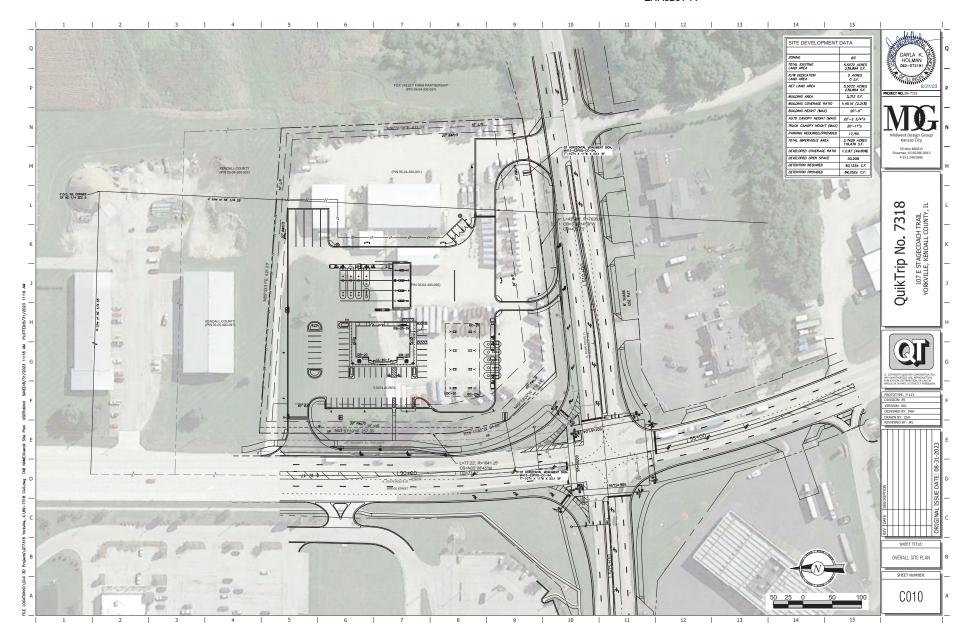
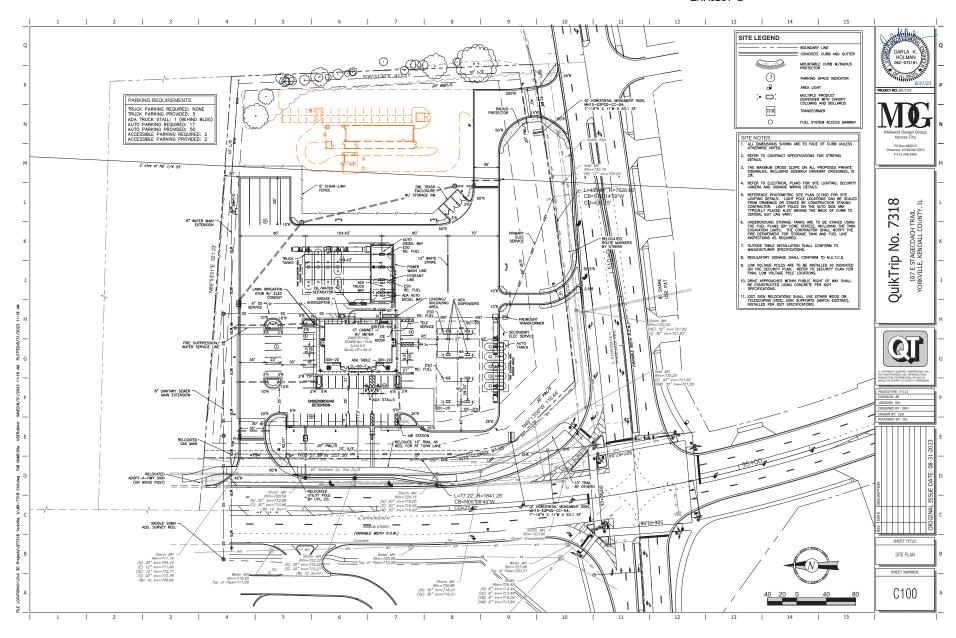


EXHIBIT C





Reviewed By:			
	Legal Finance Engineer City Administrator Community Development Purchasing Police		
	Public Works		
ᅵ片			
Ш	Parks and Recreation		

Agenda Item Number
New Business #6
Tracking Number
EDC 2025-28

Agenda Item Summary Memo

Agenda item Summary Memo					
Title: PZC 2025-0	Title: PZC 2025-06 – 904 S Bridge Street				
Meeting and Date	: Special Economic Developm	nent Committee – April 1, 2025			
Synopsis: Propose	ed variance to reduce the require	ed minimum front yard setback in the B-3			
Genera	l Business District from fifty (50	0) feet to forty-two (42) feet			
Council Action Pr	eviously Taken:				
Date of Action:	Action Taker	n:			
Item Number:					
Type of Vote Requ	uired: Majority				
Council Action Re	equested: Approval	_			
Submitted by:	Sara Mendez	Community Development			
	Name	Department			
	Agenda Iter	n Notes:			
See attached memo	0.				



Memorandum

To: Economic Development Committee

From: Sara Mendez, Planner I

CC: Bart Olson, City Administrator

Krysti Barksdale-Noble, Community Development Director

Date: March 21, 2025

Subject: PZC 2025-06 904 S Bridge Street – Variance

Setback

SUMMARY:

The petitioner, Michael Holzer, is seeking variance approval for an approximate 0.30-acre parcel located at 904 S Bridge Street in Yorkville, Illinois. The property is located near the northeast corner of Illinois Route 47 (South Bridge Street) and Illinois Route 126 intersection. The petitioner is requesting a variance to Section 10-3-9. Bulk and Dimensional Standards in the Unified Development Ordinance. The purpose of this request is to reduce the required minimum front yard setback in the B-3 General Business District from fifty (50) feet to forty-two (42) feet for the purpose of constructing an office building for the petitioner's non- profit.



904 S BRIDGE STREET

United City of Yorkville, Illinois Date: March 11, 2025 Data: Kendall County



PROPERTY BACKGROUND:

The property is zoned B-3 General Business District and is comprised of one (1) parcel owned by the petitioner. The parcel has an irregular shape, primarily rectangular with a smaller extension on one side and is approximately 12,800 square feet. Currently, the property is vacant and is adjacent to Illinois Route 47 (South Bridge Street). The following are the current immediate surrounding zoning and land uses.

	Zoning	Land Use
North	B-3 General Business District	Yorkville Autobody Shop
South	B-3 General Business District	Napa Auto Parts
East	PI Public Institutional District OS Open Space District	Yorkville Intermediate School (Middle School)
	os open space District	Open Space
West	B-3 General Business District	Single-Family Residential
	R-2 Single-Family Traditional Residence District	Transportation Land Use
	IL Route 47	

PROJECT DESCRIPTION:

The petitioner is requesting variance approval to Section 10-3-9. Bulk and Dimensional Standards in the Unified Development Ordnance to decrease the minimum front yard setback for the B-3 General Business District from the required fifty (50) feet to forty-two (42) feet for the purpose of constructing an office for his non-profit.

The petitioner's proposed land use, "**Professional Services/Offices**," is defined in Section 10-2-16 of the Unified Development Ordinance (UDO) as:

"A business which is engaged in the processing, manipulation, or application of business information or professional expertise. The use shall include but not be limited to professional offices for nonprofit organizations, accounting, insurance, investment services, computer services, architecture, engineering, legal services, real estate services."

Per Table 10-3-12(B) of the UDO, "Professional Services/Offices" is categorized as a Commercial Service use, which is permitted within the B-3 District.

The petitioner proposes constructing a 2,100-square-foot office building with an existing access point on Illinois Route 47 (South Bridge Street). While requesting relief from the minimum front yard setback requirement for the B-3 General Business District, the petitioner complies with the 20-foot minimum parking lot setback from the property line, as required when adjacent to an arterial roadway such as Illinois Route 47.

Due to the lot's unique configuration and smaller size of approximately 12,800 square feet, the petitioner has limited space to position the office building while adhering to all required setbacks, as shown in the plat below.



Although the petitioner would not be meeting the minimum front yard setback, the proposed office building still meets the minimum side and rear yard setback requirements and meets the required parking stalls, as detailed in the tables below.

Setbacks	Minimum Setbacks for the B-3 General Business District	Proposed Setbacks
Front Yard	50 feet	42 feet
Side Yard (North)	20 feet	20.7 feet
Side Yard (South)	20 feet	26.1 feet
Rear Yard	20 feet	20 feet

Required Parking Stalls	Minimum # of Parking Stalls	Proposed # of Parking Stalls
2 Parking Stalls/1,000 SF Building	5	5

Additionally, some B-3 General Business District properties surrounding the petitioner's site have similar or less established front yard setbacks compared to the petitioner's proposed 42-foot setback. The table below provides a comparison of front yard setbacks for nearby B-3 zoned parcels.

Zoning District	Parcel #/ Address	Front Yard Setback on Property
B-3 General Business District	02-32-479-013	~45 feet
	802 S Bridge Street	
	PG Automotive	
B-3 General Business District	02-32-479-014	~20 feet
	808 S Bridge Street	
	Yorkville Body Shop	
B-3 General Business District 02-32-479-005		~40 feet
	906 S Bridge Street	
	Napa Auto Parts	
B-3 General Business District 02-32-478-028		~16 feet
	1002 S Main Street	
	Smokey's	

As shown, the petitioner's requested variance of a reduced front yard setback is consistent with the surrounding properties front yard setbacks. Additionally, the smaller lot size creates challenges in positioning the proposed 2,100-square-foot office building while adhering to the minimum front yard setback of fifty (50) feet required by Section 10-3-9. Bulk and Dimensional Standards, which supports the petitioner's request for a variance.

COMPREHENSIVE PLAN:

The 2016 Comprehensive Plan designates the future land use for this property as Institutional (I). This designation is generally intended for Yorkville municipal facilities, Kendall County government offices, and facilities of other entities, including the Bristol-Kendall Fire Protection District, the Yorkville-Bristol Sanitary District, Yorkville Community Unit School District 115, and other government facilities. Religious buildings and other non-private land uses are also categorized as Institutional. Additionally, the Institutional land use classification allows public or quasi-public entities to plan for the future location and expansion of such facilities.

The petitioner's 501(c)(3) non-profit organization, The Brenda Holzer Memorial Foundation, which supports children with disabilities through improved accessibility, advocacy, and assistance, is consistent with the Institutional (I) land use designation. Since Institutional zoning is intended for public and quasipublic uses, such as government facilities, schools, and religious institutions and non-profit organizations, the non-profit's mission of providing public benefit services aligns with the community-oriented purpose of this designation. Therefore, the proposed non-profit office is consistent with the 2016 Comprehensive Plan.

STAFF COMMENTS

Staff is seeking comments from the Economic Development Committee regarding this proposed variance. A public hearing for the variance will be held at the Planning and Zoning Commission meeting on April 9, 2025.

ATTACHMENTS:

- 1. Petitioner Application (with attachments)
- 2. Public Hearing Notice





The Brenda Holzer Memorial Foundation is a 501(c)(3) nonprofit organization that helps support children with disabilities through improving accessibility, advocacy, understanding and lending a loving hand to those who are in need.

The foundation was established in memory of our beloved mother, wife, sister, daughter and friend, Brenda Holzer.



About Brenda Holzer

Brenda Holzer was a loving wife, mother to three, daughter, sister, coworker and friend to just about everyone she met. She lit up every room she walked into and had a special way of making everyone she met feel like her best friend. Brenda enjoyed spending time with family, cooking, decorating, gardening, traveling and so much more. She loved all of the little things in life and always had a beaming smile on her face.

Brenda grew up in Aurora, Illinois and graduated high school from Aurora Central Catholic in 1985 and then went on to receive her Bachelor of Communication from Illinois State University. After marrying the love of her life, Mike, she moved to Yorkville, Illinois to raise her family.

Tragically, Brenda was killed in a hiking accident while on spring break in New Mexico on March 23rd, 2022.

At the time of her death, Brenda

was a paraprofessional at the 115 Yorkville School District where she worked with countless young children with disabilities. Her 11 year career as a paraprofessional and her nurturing personality is the inspiration behind this foundation.

Through the Brenda Holzer Memorial Foundation, we hope to continue on Brenda's legacy with compassion, generosity and kindness.



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VARIANCE STANDARDS

PLEASE STATE THE VARIANCE REQUESTED AND THE CITY ORDINANCE INCLUDING THE SECTION NUMBERS TO BE VARIED:

Section 3-10-9 of UDO

42' variance to Front setback line.

PLEASE STATE HOW THE PARTICULAR SURROUNDINGS, SHAPE OR TOPOGRAPHICAL CONDITIONS OF THE SPECIFIC PROPERTY INVOLVED, A PARTICULAR HARDSHIP TO THE OWNER WOULD RESULT, AS DISTINGUISHED FROM A MERE INCONVENIENCE, IF THE STRICT LETTER OF REGULATIONS WAS CARRIED OUT:

LOT is approx. 12,000 Sq Ft without variance to setback property is unbuildable.

PLEASE STATE HOW THE CONDITIONS UPON WHICH THE APPLICATION FOR A VARIATION IS BASED ARE UNIQUE TO THE PROPERTY FOR WHICH THE VARIATION IS SOUGHT AND ARE NOT APPLICABLE, GENERALLY, TO OTHER PROPERTY WITHIN THE SAME ZONING CLASSIFICATION:

Both adjacent posperty owners
have different setbacks.
23' to the North and 50' to the South

PLEASE STATE HOW THE ALLEGED DIFFICULTY OR HARDSHIP IS CAUSED BY THIS TITLE AND HAS NOT BEEN CREATED BY ANY PERSON PRESENTLY HAVING AN INTEREST IN THE PROPERTY:

Lot is not large enough to construct a building without the Set back variance.



APPLICATION FOR PUBLIC HEARING SIGN

PERMIT NUMBER:			DATE/TIME RECEIVED:	
SITE ADDRESS: 904 S Bridge ST.		PARCE	PARCEL NUMBER: 02-32-479-012	
SUBDIVISION:		LOT/U	NIT:	
APPLICANT INFORMATION				
NAME: Michael Holzer	TELEPHON	ELEPHONE: SHOME & BUSINESS 630 854-86 17		
ADDRESS: 421 NOVWay CIRcle CITY, STATE, ZIP: YORKVILLE, IL 60560	E-MAIL: C	E-MAIL: O HOME O BUSINESS		
CITY, STATE, ZIP: YORKUILLE, IL 60560	FAX:	Hol	Izermb@(doud.com	
SIGN INFORMATION				
DATE OF PICK UP:	NUMBER (F SIGNS	S:	
DATE OF PUBLIC HEARING:	SIGN RETU	RN DAT	E:	
Petitioner or Representative further agrees to pay to the United each sign not returned to the United City of Yorkville within several tools and the United City of Yorkville within several tools are signature/authorized agent.	n (7) days	after 1	the date of the public hearing. DATE	
DATE RETURNED:				
			PZC#	
RECEIVED BY:			F 20,7	



APPLICANT DEPOSIT ACCOUNT/ ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY

					
1100000	UND ACCOUNT NUMBER:	PROPERTY ADDRESS:	ST YORKULL		
to cover all actual expenses occurred as a re Fund include, but are not limited to, plan re to legal fees, engineering and other plan re fund account is established with an initial of deposit is drawn against to pay for these se Party will receive an invoice reflecting the co amount, the Financially Responsible Party reviews/fees related to the project are required to the balance to the Financially Responsible	esult of processing such applications and review of development approvals/engineerieviews, processing of other governmental leposit based upon the estimated cost for services related to the project or request. Per harges made against the account. At any time will receive an invoice requesting additional function is fully replenished. If additional fur Party. A written request must be submitted by the 15th of the following month.	ral on a project or entitlement request to establish a Petition equests. Typical requests requiring the establishment of a Peting permits. Deposit account funds may also be used to cover applications, recording fees and other outside coordination a services provided in the INVOICE & WORKSHEET PETITION A priodically throughout the project review/approval process, the me the balance of the fund account fall below ten percent (100 and funds equal to one-hundred percent (100%) of the inition immediately replenished, review by the administrative staffinds remain in the deposit account at the completion of the production o	er Deposit Account Fund titioner Deposit Account costs for services related ind consulting fees. Each PPLICATION. This initial e Financially Responsible 6) of the original deposit ial deposit if subsequent f, consultants, boards and oject, the city will refund of the month in order for		
ACKNOWLEDGMENT OF FINANCIAL RES	PONSIBILITY				
NAME: Michael +	Holzer	COMPANY:			
MAILING ADDRESS: 431 N	orway ciride				
CITY, STATE, ZIP: PRESINE		TELEPHONE: 630 854-8617			
EMAIL: Holzer mb		FAX:			
Yorkville, I will provide additional funds to Company/Corporation of their obligation	o maintain the required account balance. to maintain a positive balance in the fund	s may exceed the estimated initial deposit and, when reques Further, the sale or other disposition of the property does no account, unless the United City of Yorkville approves a Change requested replenishment deposit is received.	it telleve tile ilitilvitutal of		
michael	Holzer	Prcs.			
PRINT NAME	_	TITLE			
SIGNATURE*	olg-	DATE DATE	-3035_		
*The name of the individual and the person who signs this declaration must be the same. If a corporation is listed, a corporate officer must sign the declaration (President, Vice-President, Chairman, Secretary or Treasurer)					
INITIAL ENGINEERING/LEGAL DEPOSIT TOTALS					
ENGINEERING DEPOSITS: Up to one (1) acre Over one (1) acre, but less than ten (10) a Over ten (10) acres, but less than forty (4 Over forty (40) acres, but less than one h In excess of one hundred (100.00) acres	(0) acres \$15,000	LEGAL DEPOSITS: Less than two (2) acres Over two (2) acres, but less than ten (10) acres Over ten (10) acres	\$1,000 \$2,500 \$5,000		



ATTORNEY INFORMATION	
NAME: Michael Holzer 00	MPANY: JEMSZLLC
MAILING ADDRESS: 421 Norway Circ	le
CITY, STATE, ZIP: POREWINE IL 60560 TE	0/7/
EMAIL: HOIZer MOR icloud. com	
ENGINEER INFORMATION	
NAME: Davie Schultz 00	IMPANY: HR Green
MAILING ADDRESS:	
CITY, STATE, ZIP: ANDRO I IL 60505 TE	LEPHONE: 630 708 - 5002
EMAIL: OSCINGLES INFORMATION	х:
LAND PLANNER/SURVEYOR INFORMATION	
NAME: CC	OMPANY:
MAILING ADDRESS:	
CITY, STATE, ZIP:	ELEPHONE:
EMAIL: FA	XX:
ATTACHMENTS	
Petitioner must attach a legal description of the property to this application and Petitioner must list the names and addresses of any adjoining or contiguous landounder any applicable City Ordinance or State Statute. Attach a separate list to this	owners within 500 feet of the property that are entitled notice of application
VARIANCE STANDARDS	
PLEASE CONFIRM THE PROPOSED VARIATION IS CONSISTENT WITH THE OFFICIAL POLICIES OF THE CITY. YES, per discussion by discussion by the disc	



INVOICE & WORKSHEET PETITION APPLICATION			
CONCEPT PLAN REVIEW	☐ Engineering Plan Review deposit	\$500.00	Total: \$
AMENDMENT	☐ Annexation ☐ Plan ☐ Plat ☐ P.U.D.	\$500.00 \$500.00 \$500.00 \$500.00	Total: \$
# of Acres	☐ \$250.00 + \$10 per acre for each acre x \$10 = + \$250 = 1		Total: \$
REZONING If annexing and rezoning, charge only 1 per acre fe	\$200.00 + \$10 per acre for each acre; if rezoning to a PUD, charge PUD Development Fee - not x \$10 = + \$200 =	over 5 acres Rezoning Fee	Total: \$
1	Amount for Extra Acres ☐ \$250.00 + \$10 per acre for each acre x \$10 = + \$250 = Amount for Extra Acres	e over 5 acres \$	Total: \$
ZONING VARIANCE	☑ \$85.00 + \$500.00 outside consultar		Total: \$ 585,00
PRELIMINARY PLAN FEE	□ \$500.00	rasa ndi wakinga waliku noon sepalui wiki dakumiki — kakiliy da Mikinaki Ukosa (Carina Chaba	Total: \$
PUD FEE	□ \$500.00		Total: \$
FINAL PLAT FEE	□ \$500.00	consense to the dropology to propose a count of the dropology to the consense and the dropology to the count of the count	Total: \$
ENGINEERING PLAN REVIEW DEPOSIT	☐ Less than 1 acre ☐ Over 1 acre, less than 10 acres ☐ Over 10 acres, less than 40 acres ☐ Over 40 acres, less than 100 acres ☐ Over 100 acres	\$5,000.00 \$10,000.00 \$15,000.00 \$20,000.00 \$25,000.00	Total: \$
OUTSIDE CONSULTANTS DEPOSIT 14	gal, land planner, zoning coordinator, environmental series For Annexation, Subdivision, Rezoning, Less than 2 acres Over 2 acres, less than 10 acres Over 10 acres	and Special Use: \$1,000.00 \$2,500.00 \$5,000.00	Total: \$
TO CONTRACTOR OF THE CONTRACTO		OTAL AMOUNT DUE:	サイタへの



Official Seal Notary Public - State of Illinois

My Commission Expires Nov 4, 2025

VARIANCE STANDARDS
PLEASE STATE HOW THE GRANTING OF THE VARIATION WILL NOT BE DETRIMENTAL TO THE PUBLIC WELFARE OR INJURIOUS TO OTHER PROPERTY OR IMPROVEMENTS IN THE NEIGHBORHOOD IN WHICH THE PROPERTY IS LOCATED:
The neighboring property setbacks range between D' and 23', my proposed building
between D' and 23', my proposed building
will be at 40'
PLEASE STATE HOW THE PROPOSED VARIATION WILL NOT IMPAIR AN ADEQUATE SUPPLY OF LIGHT AND AIR TO ADJACENT PROPERTY, OR SUBSTANTIALLY INCREASE THE CONGESTION IN THE PUBLIC STREETS, OR INCREASE THE DANGER TO THE PUBLIC SAFETY, OR SUBSTANTIALLY DIMINISH OR IMPAIR PROPERTY VALUES WITHIN THE
NEIGHBORHOOD: My proposed building size is similiar in
Size to the existing properties and will not
Impede air Flow or somight. This building will
have 1800 traffic volume with no day of to popula
AGREEMENT OF neighboring properties
I VERIFY THAT ALL THE INFORMATION IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE. I UNDERSTAND AND ACCEPT ALL REQUIREMENTS AND FEES AS OUTLINED AS WELL AS ANY INCURRED ADMINISTRATIVE AND PLANNING CONSULTANT FEES WHICH MUST BE CURRENT BEFORE THIS PROJECT CAN PROCEED TO THE NEXT SCHEDULED COMMITTEE MEETING.
I UNDERSTAND ALL OF THE INFORMATION PRESENTED IN THIS DOCUMENT AND UNDERSTAND THAT IF AN APPLICATION BECOMES DORMANT IT IS THROUGH MY OWN FAULT AND I MUST THEREFORE FOLLOW THE REQUIREMENTS OUTLINED ABOVE.
2-21-2025
PETITIONER SIGNATURE DATE
OWNER HEREBY AUTHORIZES THE PETITIONER TO PURSUETHE APPROPRIATE ENTITLEMENTS ON THE PROPERTY.
OWNER SIGNATURE DATE
OWNER SIGNATURE DATE
ERIN L LEDERMANN

THIS APPLICATION MUST BE NOTARIZE HERE: Luin & Ledumon



DATE: 2-21-2035	PZC NUMBER:	DEVELOPMENT NAME:		
PETITIONER INFORMATION				
NAME: michael	Holzer	COMPANY: JEMS3	LLC	
MAILING ADDRESS: 421 Norway CIRCLE				
CITY, STATE, ZIP: YORKUILLE, ILCOSCOTELEPHONE; DEUTSINESS DHOME 630 854-8617				
EMAIL: Holzermb@1cloud.com				
PROPERTY INFORMATION				
NAME OF HOLDER OF LEGAL TITLE: Michael Holzer				
IF LEGAL TITLE IS HELD BY A LAND TRUST, LIST THE NAMES OF ALL HOLDERS OF ANY BENEFICIAL INTEREST THEREIN:				
PROPERTY STREET ADDRESS: 904 S. Bridge Street Yorkville IL 60560 DESCRIPTION OF PROPERTY'S PHYSICAL LOCATION:				
5.0	Exhibit A			
	V			
CURRENT ZONING CLASSIFICATION: 83				
ZONING AND LAND USE OF SURROUNDING PROPERTIES				
NORTH: YORKVILLE	Auto Body	B3 Automo	tive	
EAST: YORKV.'lle Intermediate School DiST 115				
SOUTH: Napa B3 Astomative				
WEST: Residential 15 houses				
KENDALL COUNTY PARCEL IDENTIFIC				
YORKU: 16 Auto	9 808 S Brid	est #02-3	2-479-014	
DIST 115	103 E School	house Rd # C	9-32-479-010	
Napa		# 02-32-47		
		19		

CERTIFIED MAILING <u>AFFIDAVIT</u>

STATE OF ILLINOIS

COUNTY OF KENDALL)
•
I/We, Michael Holzepetitioner, being first duly sworn, do hereby state
under oath that to the best of my knowledge the attached list is a true, correct and complete list
of all permanent parcel numbers, and names and addresses of owners, of all lots and parts of
lots located within 500 feet (exclusively of any public streets and alleys) of the property legally
described on the attached application for annexation, rezoning, special use permit, planned unit
development, variation, or other zoning amendment. I further state that said list was obtained
from the current tax rolls of the Kendall County Treasurer's Office. I further state that I mailed
by U.S. Certified Mail, Return Receipt Requested, a copy of the Public Notice of Public Hearing
before the United City of Yorkville Planning and Zoning Commission for the Public Hearing
held on Wednesday,, at the United City of City Council Chambers, Yorkville,
Illinois. The notice was mailed to the attached list of all of the permanent parcel numbers and
names and addresses of owners at the U.S. Post office on, 20
mil Holye
Signature of Petitioner(s)
Subscribed and sworn to before me this
day of, 20
Notary Public

Exhibit A

Legal Description

Parcel One:

That part of lot 9 lying east of the East line of the state highway known as Route 47 of the addition to block 6 of the original village of Yorkville, according to the plat thereof recorded on May 26, 1902 in book 4 of plats, page 84 in the United City of the Village of Yorkville, Kendall County, Illinois. Also that part of the South East quarter (1/4) of section 32, township 37 north, range 7 east of the third principal meridian, described as follows: beginning at the Southeast corner of lot 9 of the addition to block 6 of the original Village of Yorkville, according to the plat thereof recorded on May26, 1902 in book 4 of plats, page 84, thence south 83 degrees, 45 minutes, 11 seconds east along the southerly line of said lot 9 extended easterly 69.29 feet; thence south 6 degrees, 17 minutes, 34 seconds West 122.62 feet; thence north 71 degrees, 26 minutes west 111.92 feet to the easterly right of way line of State Route number 126, thence north 6 degrees, 10 minutes, East along said right of way line 14.08 feet; thence north 16 degrees, 15 minutes, East along the easterly right a way line of State Route 47, 85.97 feet to the South line of said lot 9; thence South 83 degrees, 45 minutes, 11 seconds East along said South line 25.23 feet to the point of beginning, in the United City of the Village of Yorkville, Kendall County Illinois, except that part conveyed to the Department of Transportation dedication of right of way recorded August 12, 2011 as document number 201100013174.

Parcel Two:

Easement for ingress and egress created by warranty deed dated September 15, 1973 and recorded September 18, 1973 as document 73-4685 reserved by Eimer Richard Shope and his wife, Janet M. Shope, in deed to Charles W Handell and his wife Betty Ann Handell, for the benefit of parcel one over that part of the South East ¼ of section 32, township 37 North range 7 East of the third principal meridian, described as follows: commencing at the Southeast corner of lot 9 of the addition to block 6 of the original Village of Yorkville according to the plat.

Therefore recorded on Mat 26, 1902 in book 4 of plats, page 84, thence South 83 degrees, 45 minutes, 11 seconds East along the southerly line of said lot 9 extended Easterly 69.29 feet; thence South 6 degrees, 17 minutes, 34 seconds West 122.62 feet for the point of beginning, thence continuing South 6 degrees, 17 minutes, 34 seconds West along said ,line 26.61 feet , thence North 71 degrees, 26 minutes, West 111.85 feet to the Easterly right of way line of Illinois State Route number 126, thence north 6 degrees, 10 minutes, East along said Easterly right of way line 26.62 feet to a line drawn North 71 degrees, 26

ExhibitA cont.

minutes, West from the point of beginning, thence South 71 degrees, 26 minutes, East along said line 111.92 feet to the point of beginning, in the United City of the Village of Yorkville, Kendall County, Illinois.

Pin: 02-32-479-012

Property Address: 904 S Bridge Street, Yorkville, IL 60560

ExhibitB

Public Notification App - Parcels w/i 500 Feet

MANTHEI REVOCABLE LIVING TRUST ANDREW C MANTHEI TRUSTEE 2656 LEYLAND LN

AURORA IL 60504

ALLEN KRODEL DEC OF TR 1005 S MAIN ST YORKVILLE IL 60560 LARRY L SEIBERT MARJORIE D SIMMONS 904 S MAIN ST YORKVILLE IL 60560

MICHAEL J SR JENDRZEJCZYK 106 RONHILL RD YORKVILLE IL 60560 JESSE LEE HENDRICK 204 W DOLPH ST YORKVILLE IL 60560 ROBERTS BRADY HANAGAN REBEKAH 804 S MAIN ST YORKVILLE IL 60560

DAVID WAYNE CASSI RENEE WHITE 906 S MAIN ST YORKVILLE IL 60560 TAMMY LEE DALEIDEN DEC TRUST TAMMY LEE FORD TTEE 907 S MAIN ST YORKVILLE IL 60560

MARTHA L GREEN TRUST P O BOX 116 WAYNE IL 60184

J J INVESTMENT PROPERTIES LLC 1310 GRANDVIEW AVE WATERLOO IA 50703 WV STEEL LLC 404 E MAIN ST YORKVILLE IL 60560 YORKVILLE COMM SCHOOL DIST 115 800 GAME FARM RD YORKVILLE IL 60560

MARAMA LEIFHEIT TRUST 802 S MAIN ST YORKVILLE IL 60560 MARTHA L GREEN TRUST P O BOX 116 WAYNE IL 60184 BURTON KATHRYN TROUTMAN TABOR 904 STATE ST YORKVILLE IL 60560

LEIFHEIT MAIN STREET LAND TRUST NO 100 CRAIG L LEIFHEIT TTEE 9993 PENMAN RD YORKVILLE IL 60560

STEPHANIE S GESFORD 801 S BRIDGE ST YORKVILLE IL 60560 NOLAN LEE 805 S BRIDGE ST YORKVILLE IL 60560

MICHAEL HOLZER 421 NORWAY CIR YORKVILLE IL 60560

CHRISTINE HASAPIS 4464 CASCARA LN LISLE IL 60532 RACHEL RIEMENSCHNEIDER 908 STATE ST YORKVILLE IL 60560

GREGORY A HUBER 105 E ORANGE ST YORKVILLE IL 60560 DANIEL WILLIAM ARNOLD 808 S MAIN ST YORKVILLE IL 60560 JUDITH C BRIAN 1001 S MAIN ST YORKVILLE IL 60560

BANK OF PONTIAC TR 2853 PO BOX 710 PONTIAC IL 61764 MARK A JACQUELINE D LUETTICH 309 E SOMONAUK ST YORKVILLE IL 60560 MARCO GROLESKE 707 S BRIDGE ST YORKVILLE IL 60560

DAHL MANAGEMENT LLC 4N558 HIDDEN OAKS RD SAINT CHARLES IL 60175 CROSS LUTHERAN CHURCH SCHOOL INC 8609 RTE 47 YORKVILLE IL 60560 YORKVILLE COMM SCHOOL DIST 115 800 GAME FARM RD YORKVILLE IL 60560 GREGORY A HUBER 105 E ORANGE ST YORKVILLE IL 60560

OSCAR H RAE HARRIS JETER UNKNOWN

NOLAN LEE 805 S BRIDGE ST YORKVILLE IL 60560

LARRY L SEIBERT MARJORIE D SIMMONS 904 S MAIN ST YORKVILLE IL 60560

DAVID CARIN YOUNG 901 S MAIN ST YORKVILLE IL 60560

YORKVIlle Auto 808 S Bridge ST YORKVILLE, IL 60560

Napa 906 S Bridge ST Yarksille, IL 60560 Public Notification App - Parcels w/i 500 Feet

ExhibitB

MANTHEI REVOCABLE LIVING TRUST ANDREW C MANTHEI TRUSTEE 2656 LEYLAND LN AURORA IL 60504 ALLEN KRODEL DEC OF TR 1005 S MAIN ST YORKVILLE IL 60560 LARRY L SEIBERT MARJORIE D SIMMONS 904 S MAIN ST YORKVILLE IL 60560

MICHAEL J SR JENDRZEJCZYK 106 RONHILL RD YORKVILLE IL 60560 JESSE LEE HENDRICK 204 W DOLPH ST YORKVILLE IL 60560 ROBERTS BRADY HANAGAN REBEKAH 804 S MAIN ST YORKVILLE IL 60560

DAVID WAYNE CASSI RENEE WHITE 906 S MAIN ST YORKVILLE IL 60560 TAMMY LEE DALEIDEN DEC TRUST TAMMY LEE FORD TTEE 907 S MAIN ST YORKVILLE IL 60560 MARTHA L GREEN TRUST P O BOX 116 WAYNE IL 60184

J J INVESTMENT PROPERTIES LLC 1310 GRANDVIEW AVE WATERLOO IA 50703 WV STEEL LLC 404 E MAIN ST YORKVILLE IL 60560 YORKVILLE COMM SCHOOL DIST 115 800 GAME FARM RD YORKVILLE IL 60560

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MICHAEL HOLZER 421 NORWAY CIR YORKVILLE IL 60560

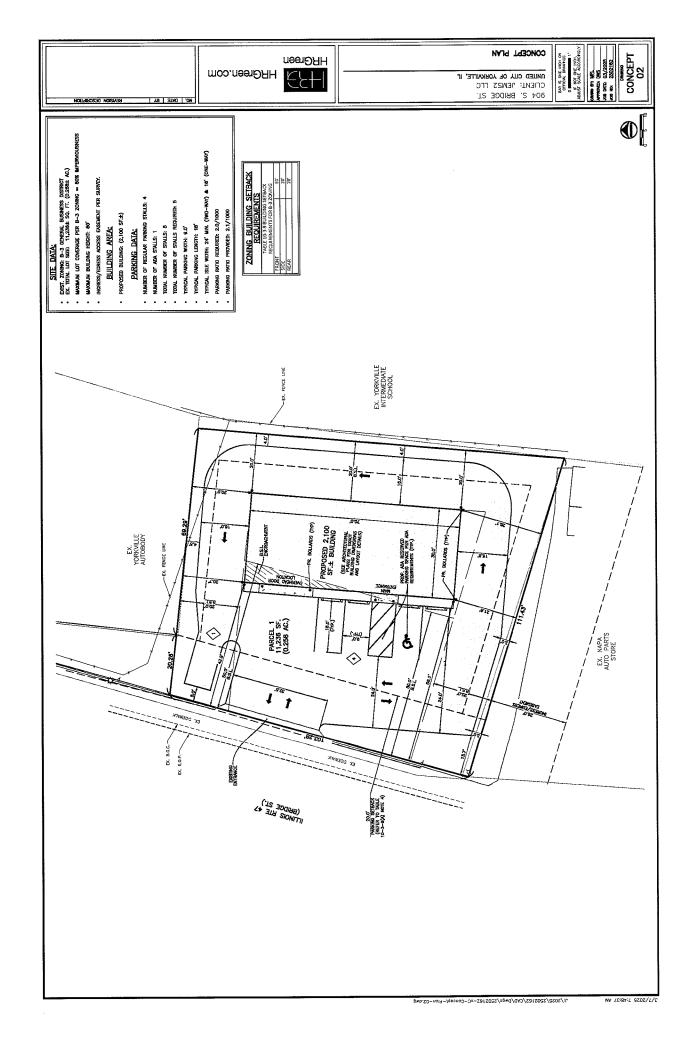
CHRISTINE HASAPIS 4464 CASCARA LN LISLE IL 60532 RACHEL RIEMENSCHNEIDER 908 STATE ST YORKVILLE IL 60560

GREGORY A HUBER 105 E ORANGE ST YORKVILLE IL 60560 DANIEL WILLIAM ARNOLD 808 S MAIN ST YORKVILLE IL 60560 JUDITH C BRIAN 1001 S MAIN ST YORKVILLE IL 60560

BANK OF PONTIAC TR 2853 PO BOX 710 PONTIAC IL 61764 MARK A JACQUELINE D LUETTICH 309 E SOMONAUK ST YORKVILLE IL 60560 MARCO GROLESKE 707 S BRIDGE ST YORKVILLE IL 60560

DAHL MANAGEMENT LLC 4N558 HIDDEN OAKS RD SAINT CHARLES IL 60175 CROSS LUTHERAN CHURCH SCHOOL INC 8609 RTE 47 YORKVILLE IL 60560

YORKVILLE COMM SCHOOL DIST 115 800 GAME FARM RD YORKVILLE IL 60560



PUBLIC NOTICE NOTICE OF PUBLIC HEARING BEFORE THE UNITED CITY OF YORKVILLE PLANNING AND ZONING COMMISSION PZC 2025-06

NOTICE IS HEREBY GIVEN THAT Michael Holzer, petitioner, has filed an application with the United City of Yorkville, Kendall County, Illinois, requesting a bulk regulation variance to Section 10-3-9 of the Unified Development Ordinance, seeking to reduce the required minimum front yard setback from fifty (50) feet to forty-two (42) feet for a parcel located at 904 S Bridge Street. The real property, zoned B-3 General Business District, is located near the northeast corner of Illinois Route 47 (South Bridge Street) and Illinois Route 126 intersection.

The legal description is as follows:

PARCEL 1:

That part of lot 9 lying east of the East line of the state highway known as Route 47 of the addition to block 6 of the original village of Yorkville, according to the plat thereof recorded on May 26, 1902 in book 4 of plats, page 84 in the United City of the Village of Yorkville, Kendall County, Illinois. Also that part of the South East quarter (1/4) of section 32, township 37 north, range 7 east of the third principal meridian, described as follows: beginning at the Southeast corner of lot 9 of the addition to block 6 of the original Village of Yorkville, according to the plat thereof recorded on May26, 1902 in book 4 of plats, page 84, thence south 83 degrees, 45 minutes, 11 seconds east along the southerly line of said lot 9 extended easterly 69.29 feet; thence south 6 degrees, 17 minutes, 34 seconds West 122.62 feet; thence north 71 degrees, 26 minutes west 111.92 feet to the easterly right of way line of State Route number 126, thence north 6 degrees, 10 minutes, East along said right of way line 14.08 feet; thence north 16 degrees, 15 minutes, East along the easterly right a way line of State Route 47, 85.97 feet to the South line of said lot 9; thence South 83 degrees, 45 minutes, 11 seconds East along said South line 25.23 feet to the point of beginning, in the United City of the Village of Yorkville, Kendall County Illinois, except that part conveyed to the Department of Transportation dedication of right of way recorded August 12, 2011 as document number 201100013174.

PARCEL 2:

Easement for ingress and egress created by warranty deed dated September 15, 1973 and recorded September 18, 1973 as document 73-4685 reserved by Eimer Richard Shope and his wife, Janet M. Shope, in deed to Charles W Handell and his wife Betty Ann Handell, for the benefit of parcel one over that part of the South East½ of section 32, township 37 North range 7 East of the third principal meridian, described as follows: commencing at the Southeast corner of lot 9 of the addition to block 6 of the original Village of Yorkville according to the plat.

Therefore recorded on Mat 26, 1902 in book 4 of plats, page 84, thence South 83 degrees, 45 minutes, 11 seconds East along the southerly line of said lot 9 extended Easterly 69.29 feet; thence South 6 degrees, 17 minutes, 34 seconds West 122.62 feet for the point of beginning, thence continuing South 6 degrees, 17 minutes, 34 seconds West along said ,line 26.61 feet, thence North 71 degrees, 26 minutes, West 111.85 feet to the Easterly right of way line of Illinois State Route number 126, thence north 6 degrees, 10 minutes, East along said Easterly right of way line 26.62 feet to a line drawn North 71 degrees, 26 minutes, West from the point of beginning, thence South 71 degrees, 26 minutes, East along said line 111.92 feet to the point of beginning, in the United City of the Village of Yorkville, Kendall County, Illinois.

PINs: 02-32-479-012

A copy of the application is available for review during normal City business hours at the office of the Community Development Director.

NOTICE IS HEREWITH GIVEN THAT the Planning and Zoning Commission for the United City of Yorkville will conduct a Public Hearing on said application on **Wednesday**, **April 9**, **2025 at 7 p.m.** at the United City of Yorkville, City Hall, located at 651 Prairie Pointe Drive, Yorkville, Illinois 60560.

The public hearing may be continued from time to time to dates certain without further notice being published.

All interested parties are invited to attend the public hearing and will be given an opportunity to be heard. Any written comments should be addressed to the United City of Yorkville Community Development Department, City Hall, 651 Prairie Pointe Drive, Yorkville, Illinois, and will be accepted up to the date of the public hearing.

By order of the Corporate Authorities of the United City of Yorkville, Kendall County, Illinois.

JORI BEHLAND City Clerk

