



## **United City of Yorkville**

651 Prairie Pointe Drive  
Yorkville, Illinois 60560  
Telephone: 630-553-4350  
www.yorkville.il.us

### **AGENDA ECONOMIC DEVELOPMENT COMMITTEE MEETING**

**Tuesday, September 5, 2023**

**6:00 p.m.**

East Conference Room #337  
651 Prairie Pointe Drive, Yorkville, IL

---

#### **Citizen Comments:**

**Minutes for Correction/Approval:** June 6, 2023

#### **New Business:**

1. EDC 2023-31 Building Permit Reports for May – July 2023
2. EDC 2023-32 Building Inspection Reports for May – July 2023
3. EDC 2023-33 Property Maintenance Reports for May – July 2023
4. EDC 2023-34 Economic Development Reports for June – August 2023
5. EDC 2023-35 QuikTrip Gas Station – Special Use
6. EDC 2023-36 Unified Development Ordinance – Text Amendment
7. EDC 2023-37 Kendall County Petition 23-28 – 1.5 Mile Review
8. EDC 2023-38 Ordinance Amending the Yorkville City Code, Title 10, Chapter 19, Section 10-19-9 (Solar Farm Building Permit Fee)

#### **Old Business:**

#### **Additional Business:**

UNITED CITY OF YORKVILLE  
WORKSHEET  
ECONOMIC DEVELOPMENT COMMITTEE  
Tuesday, September 5, 2023  
6:00 PM  
EAST CONFERENCE ROOM #337

---

**CITIZEN COMMENTS:**

---

---

**MINUTES FOR CORRECTION/APPROVAL:**

---

1. June 6, 2023
  - Approved \_\_\_\_\_
  - As presented
  - With corrections

---

**NEW BUSINESS:**

---

1. EDC 2023-31 Building Permit Reports for May – July 2023
  - Informational Item
  - Notes \_\_\_\_\_

---

---

---

---

2. EDC 2023-32 Building Inspection Reports for May – July 2023

Informational Item

Notes \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

---

3. EDC 2023-33 Property Maintenance Reports for May – July 2023

Informational Item

Notes \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

---

4. EDC 2023-34 Economic Development Reports for June – August 2023

Informational Item

Notes \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

---

5. EDC 2023-35 QuikTrip Gas Station – Special Use

Moved forward to CC \_\_\_\_\_

Approved by Committee \_\_\_\_\_

Bring back to Committee \_\_\_\_\_

Informational Item

Notes \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

---

6. EDC 2023-36 Unified Development Ordinance – Text Amendment

Moved forward to CC \_\_\_\_\_

Approved by Committee \_\_\_\_\_

Bring back to Committee \_\_\_\_\_

Informational Item

Notes \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

---

7. EDC 2023-37 Kendall County Petition 23-28 – 1.5 Mile Review

Moved forward to CC \_\_\_\_\_

Approved by Committee \_\_\_\_\_

Bring back to Committee \_\_\_\_\_

Informational Item

Notes \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

---

8. EDC 2023-38 Ordinance Amending the Yorkville City Code, Title 10, Chapter 19, Section 10-19-9  
(Solar Farm Building Permit Fee)

Moved forward to CC \_\_\_\_\_

Approved by Committee \_\_\_\_\_

Bring back to Committee \_\_\_\_\_

Informational Item

Notes \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

---

**ADDITIONAL BUSINESS:**

---



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Minutes

Tracking Number

### Agenda Item Summary Memo

**Title:** Minutes of the Economic Development Committee – June 6, 2023

**Meeting and Date:** Economic Development Committee – September 5, 2023

**Synopsis:** \_\_\_\_\_  
\_\_\_\_\_

**Council Action Previously Taken:**

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Majority

**Council Action Requested:** Committee Approval  
\_\_\_\_\_

**Submitted by:** Minute Taker  
Name Department

**Agenda Item Notes:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**UNITED CITY OF YORKVILLE  
ECONOMIC DEVELOPMENT COMMITTEE  
Tuesday, June 6, 2023, 6:00pm  
City Council Chambers  
651 Prairie Pointe Drive, Yorkville, IL**

**In Attendance:**

**Committee Members**

Chairman Joe Plocher  
Alderman Chris Funkhouser  
Alderman Dan Transier

Absent: Seaver Tarulis

**Other City Officials**

City Administrator Bart Olson  
Assistant City Administrator Erin Willrett  
Community Development Director Krysti Barksdale-Noble  
Senior Planner Jason Engberg  
Code Official Pete Ratos  
City Consultant Lynn Dubajic Kellogg  
Alderman Ken Koch (via Zoom)

**Other Guests**

Shannon Setchell/Little Loaf Bakehouse  
Bailey Knapp/Little Loaf Bakehouse  
Bob Boyd/Trinity Church  
Mike Krempski  
David Guss

The meeting was called to order at 6:08pm by Chairman Joe Plocher.

**Citizen Comments** None

**Minutes for Correction/Approval** May 2, 2023

The minutes were approved as presented.

**New Business**

***1. EDC 2023-24 Building Permit Report for April 2023***

Mr. Ratos reported a total of 138 permits issued including 10 single-family and 4 single-family attached. He said there were 20 permits issued just this week and developers are pushing to finish existing subdivisions. For information.

***2. EDC 2023-25 Building Inspection Report for April 2023***

There were 970 inspections this month. Some were outsourced, but staff members did the majority.

***3. EDC 2023-26 Property Maintenance Report for April 2023***

There were 2 cases on Berrywood Lane in Grand Reserve. The builder was found to be using water without a meter on 2 occasions and subsequently was issued a citation. It was dismissed at the adjudication hearing since it was corrected. Mr. Ratos said staff is seeking compliance.

**4. EDC 2023-27 Economic Development Report for May 2023**

Ms. Dubajic Kellogg said representatives of the future Little Loaf Bakehouse were present. She also said the shopping center at Cannonball and Rt. 34 has switched ownership and soon only one space will be vacant. The Meadery has opened and other breweries will open soon.

**5. EDC 2023-28 Trinity Church Signs – Sign Variance**

Mr. Engberg gave the background for this variance. The church is at the SE corner of Cannonball Trail and Rt. 47. They had 3 existing signs--monument sign for the church, post sign for the pre-school and banner signs for seasonal events. The church is in R-1 zoning district and at the time, religious establishments were permitted in R-1, now they are special uses.

IDOT has been taking land for the widening project on Rt. 47 and all 3 church signs were located in the land taken. IDOT told the church where to reposition them. An Aurora company was contacted and they re-routed the electric after pulling a permit. The permit was issued with the understanding the signs would be non-conforming and subject to amortization at the end of a 5-year period. The church would then need to request a variance or move the signs. This is a variance request ahead of the 5-years, so the church can keep the present signs and staff is seeking input from the committee.

Alderman Funkhouser asked how the church got 3 signs. Mr. Engberg said he could not find any sign permit information. Church representative Bob Boyd said the first one was installed in 2004, then the second one later and the monument sign was about 10 years ago. Staff discussed a possible commercial re-zone with the church, but they decided to just request a variance. This will go to PZC in July and then to City Council.

**6. EDC 2023-29 Little Loaf Bakery – Special Use**

The property is located at the NW corner of Rt. 47 and Center St. There is an existing structure that was originally a home, then later zoned commercial, then B-2. The special use is for an apartment upstairs and the owner plans to live there. Staff is OK with this request and it will move forward to PZC.

**7. EDC 2023-30 Selection of Committee Liaisons**

It was decided that staff would serve as liaisons for the 2 bodies-- PZC and Kendall County Plan Commission.

**Old Business:** None

**Additional Business:**

Alderman Funkhouser asked about the Old 2<sup>nd</sup> Bank building. He would like to explore some options such as the cost for demolition or marketing the property. Alderman Plocher inquired about the property at 609 N. Bridge. Mr. Olson said there was a proposal to tear it down and he will bring that forward again for consideration.

There was no further business and the meeting adjourned at 6:27pm.

Minutes respectfully submitted by  
Marlys Young, Minute Taker



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #1

Tracking Number

EDC 2023-31

### Agenda Item Summary Memo

**Title:** Building Permit Reports for May – July 2023

**Meeting and Date:** Economic Development Committee – September 5, 2023

**Synopsis:** All permits issued in May – July 2023.

#### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Informational

**Council Action Requested:** None

**Submitted by:** D. Weinert Community Development  
Name Department

#### Agenda Item Notes:

---

---

---

---

---



**UNITED CITY OF YORKVILLE**  
**BUILDING PERMIT REPORT**  
 May 2023  
 TYPES OF PERMITS

	Number of Permits Issued	SFD <i>Single Family Detached</i>	SFA <i>Single Family Attached</i>	Multi-Family <i>Apartments Condominiums</i>	Commercial <i>Includes all Permits Issued for Commercial Use</i>	Industrial	Misc.	Construction Cost	Permit Fees
May 2023	245	18	14	0	8	0	205	9,918,438.00	445,584.82
Calendar Year 2023	691	105	52	0	42	0	492	34,185,888.00	1,599,832.75
Fiscal Year 2024	245	18	14	0	8	0	205	9,918,438.00	445,584.82
May 2022	140	22	0	0	8	0	110	5,606,288.00	154,891.65
Calendar Year 2022	541	82	0	0	41	0	406	24,828,173.00	656,878.40
Fiscal Year 2023	140	22	0	0	8	0	110	5,606,288.00	154,891.65
May 2021	188	14	24	0	14	0	136	8,175,877.00	237,102.18
Calendar Year 2021	725	113	48	0	64	0	500	32,894,837.00	1,127,939.87
Fiscal Year 2022	188	14	24	0	14	0	136	8,175,877.00	237,102.18
May 2020	217	12	4	0	4	0	197	3,936,835.00	147,316.99
Calendar Year 2020	603	57	8	0	44	0	494	15,545,347.00	614,478.56
Fiscal Year 2021	217	12	4	0	4	0	197	3,936,835.00	147,316.99



**UNITED CITY OF YORKVILLE**  
**BUILDING PERMIT REPORT**  
 June 2023

TYPES OF PERMITS

	Number of Permits Issued	SFD <i>Single Family Detached</i>	SFA <i>Single Family Attached</i>	Multi-Family <i>Apartments Condominiums</i>	Commercial <i>Includes all Permits Issued for Commercial Use</i>	Industrial	Misc.	Construction Cost	Permit Fees
June 2023	353	31	6	0	4	0	312	13,139,321.00	558,989.85
Calendar Year 2023	1045	136	58	0	46	0	805	47,340,209.00	2,160,772.60
Fiscal Year 2024	598	49	20	0	12	0	517	23,057,759.00	1,004,674.67
June 2022	221	16	9	0	20	0	176	6,452,919.00	219,684.35
Calendar Year 2022	761	98	21	0	61	0	581	31,264,647.00	876,862.75
Fiscal Year 2023	360	38	9	0	28	0	285	12,042,762.00	374,576.00
June 2021	186	16	24	0	11	0	135	6,924,345.00	224,984.36
Calendar Year 2021	915	130	72	0	77	0	636	39,992,182.00	1,362,177.43
Fiscal Year 2022	376	31	48	0	25	0	272	15,240,222.00	469,539.74
June 2020	244	8	10	0	1	0	225	4,753,420.00	85,556.40
Calendar Year 2020	847	64	18	0	44	0	721	20,298,767.00	700,234.96
Fiscal Year 2021	461	20	14	0	4	0	423	8,690,255.00	232,873.39



# UNITED CITY OF YORKVILLE

## BUILDING PERMIT REPORT

### JULY 2023

#### TYPES OF PERMITS

	Number of Permits Issued	SFD <i>Single Family Detached</i>	SFA <i>Single Family Attached</i>	Multi-Family <i>Apartments Condominiums</i>	Commercial <i>Includes all Permits Issued for Commercial Use</i>	Industrial	Misc.	Construction Cost	Permit Fees
July 2023	287	28	17	0	13	0	229	10,968,487.00	615,108.83
Calendar Year 2023	1335	164	75	0	59	0	1037	58,376,323.00	2,778,331.43
Fiscal Year 2024	888	77	37	0	25	0	749	34,093,873.00	1,620,283.50
July 2022	147	10	0	0	12	0	125	3,052,438.00	91,690.30
Calendar Year 2022	907	108	21	0	72	0	706	34,323,118.00	969,388.05
Fiscal Year 2023	506	48	9	0	40	0	409	15,100,232.00	466,501.30
July 2021	149	26	10	0	3	0	110	6,819,196.00	261,925.91
Calendar Year 2021	1066	158	82	0	80	0	746	47,074,320.00	1,640,910.04
Fiscal Year 2022	527	59	58	0	28	0	381	22,322,360.00	745,872.35
July 2020	204	24	8	0	14	0	158	6,296,223.00	207,609.60
Calendar Year 2020	1052	89	26	0	58	0	879	26,594,990.00	908,034.56
Fiscal Year 2021	666	44	22	0	18	0	582	14,896,478.00	440,572.99



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #2

Tracking Number

EDC 2023-32

### Agenda Item Summary Memo

**Title:** Building Inspection Reports for May – July 2023

**Meeting and Date:** Economic Development Committee – September 5, 2023

**Synopsis:** All inspections scheduled in May – July 2023.

#### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Informational

**Council Action Requested:** None

**Submitted by:** D. Weinert Community Development  
Name Department

#### Agenda Item Notes:

---

---

---

---

---

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 1

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	082-PLR PLUMBING - ROUGH Comments1: 4332 CHERRY ROAD	10000001	COUNTY INSPECTIONS	0		05/11/2023
PR	_____	084-PLF PLUMBING - FINAL OSR READ Comments1: 114 COUNTRY ROAD					05/17/2023
PR	_____	085-PLU PLUMBING - UNDERSLAB Comments1: 11353 BRIGHTON OAKS DR					05/24/2023
ED	_____	028-REI REINSPECTION Comments1: SITE FINAL ADA AND TREE	20211751	2001 PRAIRIE GRASS LN	45		05/24/2023
ED	_____	027-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL	20220129	628 WHITE OAK WAY	59	05/10/2023	
BC	_____	AM 003-FIN FINAL INSPECTION Comments1: POOL DAN 630-857-8910	20220168	1963 MEADOWLARK LN	126		05/12/2023
PR	_____	PM 012-PLF PLUMBING - FINAL OSR READ Comments1: RICO 630-730-6746	20220290	101 S BRIDGE ST			05/08/2023
PR	_____	PM 013-FEL FINAL ELECTRIC					05/08/2023
PR	_____	PM 014-OCC OCCUPANCY INSPECTION					05/08/2023
BKF	_____	015-OCC OCCUPANCY INSPECTION					05/08/2023
PR	_____	016-FIN FINAL INSPECTION Comments1: TIM 630-878-5291	20220335	3138 BOOMBAH BLVD	127		05/24/2023
PR	_____	017-FEL FINAL ELECTRIC					05/24/2023
PR	_____	018-FMC FINAL MECHANICAL					05/24/2023
PR	_____	019-PLF PLUMBING - FINAL OSR READ					05/24/2023
ED	_____	020-EFL ENGINEERING - FINAL INSPE					05/26/2023
GH	_____	019-EPW ENGINEERING- PUBLIC WALK Comments1: JEFF 630-330-6705	20220351	3746 BISSEL DR	131-1		05/04/2023
GH	_____	020-WK SERVICE WALK					05/22/2023
GH	_____	019-EPW ENGINEERING- PUBLIC WALK Comments1: JEFF 630-330-6705	20220352	3744 BISSEL DR	131-2		05/04/2023
GH	_____	020-WK SERVICE WALK					05/22/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	019-EPW ENGINEERING- PUBLIC WALK	20220353	3742 BISSEL DR	131-3		05/04/2023
		Comments1: JEFF 630-330-6705					
GH	_____	020-WK SERVICE WALK					05/22/2023
GH	_____	019-EPW ENGINEERING- PUBLIC WALK	20220354	3738 BISSEL DR	131-4		05/04/2023
		Comments1: JEFF 630-330-6705					
GH	_____	020-WK SERVICE WALK					05/22/2023
GH	_____	020-EPW ENGINEERING- PUBLIC WALK	20220355	3736 BISSEL DR	131-5		05/04/2023
		Comments1: JEFF 630-330-6705					
GH	_____	021-WK SERVICE WALK					05/22/2023
GH	_____	020-WKS PUBLIC & SERVICE WALKS	20220356	3726 BISSEL DR	1321		05/02/2023
		Comments1: JOSE 630-465-1159					
GH	_____ AM	020-WKS PUBLIC & SERVICE WALKS	20220357	3728 BISSEL DR	1322		05/02/2023
		Comments1: JOSE 630-465-1159					
GH	_____ AM	019-WKS PUBLIC & SERVICE WALKS	20220358	3732 BISSEL DR	1323		05/02/2023
		Comments1: JOSE 630-465-1159					
GH	_____ AM	018-WKS PUBLIC & SERVICE WALKS	20220359	3734 BISSEL DR	1324		05/02/2023
		Comments1: JOSE 630-465-1159					
GH	_____ PM	023-REI REINSPECTION	20220405	622 ASHWORTH LN	525		05/01/2023
		Comments1: FINAL FRAMING -- JEFF 847-456-8082					
GH	_____ AM	022-PPS PRE-POUR, SLAB ON GRADE	20220477	2705 NICKERSON CT	159		05/05/2023
		Comments1: PATIO MW 815-839-8175					
ED	_____	025-ADA ADA ACCESSIBLE WALK WAY	20220561	2726 ELLORY CT	139		05/12/2023
ED	_____	026-REI REINSPECTION					05/25/2023
		Comments1: ADA RAMP					
JP	_____ AM	019-WKS PUBLIC & SERVICE WALKS	20220648	2411 FAIRFIELD AVE	491		05/02/2023
		Comments1: OSCAR 847-551-9066					
BF	_____	020-FIN FINAL INSPECTION					05/25/2023
		Comments1: JEFF 847-456-8082					
BF	_____	021-FEL FINAL ELECTRIC					05/25/2023
BF	_____	022-FMC FINAL MECHANICAL					05/25/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 3

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	023-PLF PLUMBING - FINAL OSR READ Comments1: JEFF 847-456-8082					05/25/2023
ED	_____	024-EFL ENGINEERING - FINAL INSPE					05/26/2023
ED	_____	025-REI REINSPECTION Comments1: FINAL SITE RE-INSPECT				05/31/2023	
JP	_____	AM 017-WKS PUBLIC & SERVICE WALKS Comments1: OSCAR 847-551-9066	20220649	2346 RICHMOND AVE	479		05/10/2023
BF	_____	017-FIN FINAL INSPECTION Comments1: JEFF 847-456-8082	20220650	2444 FAIRFIELD AVE	541		05/17/2023
BF	_____	018-FEL FINAL ELECTRIC					05/17/2023
BF	_____	019-FMC FINAL MECHANICAL					05/17/2023
PBF	_____	020-PLF PLUMBING - FINAL OSR READ Comments1: JEFF 847-456-8082					05/17/2023
ED	_____	021-EFL ENGINEERING - FINAL INSPE Comments1: PROPERTY CORNERS					05/17/2023
JP	_____	014-INS INSULATION Comments1: JEFF 847-456-8082	20220652	2312 RICHMOND AVE	477		05/03/2023
JP	_____	017-WKS PUBLIC & SERVICE WALKS Comments1: OSCAR 847-551-9066					05/10/2023
BF	_____	019-FIN FINAL INSPECTION Comments1: JEFF 847-456-8082	20220653	2428 RICHMOND AVE	482		05/17/2023
BF	_____	020-FEL FINAL ELECTRIC					05/17/2023
BF	_____	021-FMC FINAL MECHANICAL					05/17/2023
PBF	_____	022-PLF PLUMBING - FINAL OSR READ Comments1: JEFF 847-456-8082					05/17/2023
ED	_____	023-EFL ENGINEERING - FINAL INSPE Comments1: PROPERTY CORNERS AND STORM STRUCTURES					05/17/2023
ED	_____	024-REI REINSPECTION Comments1: EFL					05/25/2023
ED	_____	026-ADA ADA ACCESSIBLE WALK WAY	20220654	2632 KELLOGG CT	43		05/12/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 4

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
ED		027-REI REINSPECTION Comments1: ADA RAMP					05/25/2023
JP		AM 018-WKS PUBLIC & SERVICE WALKS Comments1: OSCAR 847-551-9066	20220656	2407 FAIRFIELD AVE	492		05/02/2023
PBF		AM 020-PLF PLUMBING - FINAL OSR READ Comments1: JEFF 847-456-8082	20220657	662 ASHWORTH LN	527		05/05/2023
ED		021-EFL ENGINEERING - FINAL INSPE					05/04/2023
BC		022-FIN FINAL INSPECTION Comments1: JEFF					05/04/2023
BC		023-FEL FINAL ELECTRIC					05/04/2023
BC		024-FMC FINAL MECHANICAL					05/04/2023
PR		AM 006-FIN FINAL INSPECTION Comments1: CHAD 708-996-5304	20220687	88 CROOKED CREEK DR	10		05/16/2023
PR		AM 007-FEL FINAL ELECTRIC					05/16/2023
PR		AM 008-FMC FINAL MECHANICAL					05/16/2023
PR		AM 009-PLF PLUMBING - FINAL OSR READ					05/16/2023
GH		011-RFR ROUGH FRAMING Comments1: JEFF 847-456-8082	20220714	2404 RICHMOND AVE	481		05/08/2023
GH		012-REL ROUGH ELECTRICAL					05/08/2023
GH		013-RMC ROUGH MECHANICAL					05/08/2023
PBF		014-PLR PLUMBING - ROUGH Comments1: JEFF 847-456-8082					05/08/2023
JP		015-INS INSULATION Comments1: JEFF 847-456-8082					05/11/2023
JP		AM 016-WKS PUBLIC & SERVICE WALKS Comments1: JUAN CARLOS 847-551-9066					05/18/2023
ED		017-EFL ENGINEERING - FINAL INSPE Comments1: SEE INSPECTION REPORT					05/18/2023
BC		021-WKS PUBLIC & SERVICE WALKS	20220783	2701 NICKERSON CT	157		05/12/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 5

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	_____	AM 024-WKS PUBLIC & SERVICE WALKS Comments1: MIDWESTERN 815-839-8175	20220784	2732 ELLORY CT	136		05/11/2023
BC	_____	004-TRN TRENCH - (GAS, ELECTRIC, Comments1: MATT 815-693-4447	20220834	2475 FAIRFAX WAY	246		05/04/2023
JP	_____	AM 019-WK SERVICE WALK Comments1: JEFF 630-330-6705	20220944	3743 BAILEY RD	102-4		05/01/2023
JP	_____	AM 019-WK SERVICE WALK Comments1: JEFF 630-330-6705	20220945	3745 BAILEY RD	102-3		05/01/2023
JP	_____	AM 019-WK SERVICE WALK Comments1: JEFF 630-330-6705	20220946	3747 BAILEY RD	102-2		05/01/2023
JP	_____	AM 019-WK SERVICE WALK Comments1: JEFF 630-330-6705	20220947	3749 BAILEY RD	1021		05/01/2023
BC	_____	020-REI REINSPECTION Comments1: FIN TIM 224-483-1848					05/10/2023
JP	_____	AM 019-WK SERVICE WALK Comments1: JEFF 630-330-6705	20220948	3741 BAILEY RD	102-5		05/01/2023
PR	_____	018-FIN FINAL INSPECTION Comments1: TIM 630-878-5291	20220993	1372 E SPRING ST	217		05/18/2023
PR	_____	019-FEL FINAL ELECTRIC					05/18/2023
PR	_____	020-FMC FINAL MECHANICAL					05/18/2023
PR	_____	021-PLF PLUMBING - FINAL OSR READ					05/18/2023
ED	_____	022-EFL ENGINEERING - FINAL INSPE					05/19/2023
JP	_____	AM 024-WKS PUBLIC & SERVICE WALKS Comments1: MIDWESTERN 815-839-8175	20221085	632 TIMBER OAK LN	46		05/17/2023
JP	_____	AM 025-PHD POST HOLE - DECK Comments1: NOT READY					05/17/2023
ED	_____	022-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL	20221132	3092 GRANDE TR	548		05/25/2023
JP	_____	AM 017-WKS PUBLIC & SERVICE WALKS Comments1: JOSE 630-465-1159	20221175	291 BARRETT DR A	13-3		05/15/2023
JP	_____	AM 018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					05/15/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	019-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					05/26/2023
BF	_____	020-FEL FINAL ELECTRIC					05/26/2023
BF	_____	021-FMC FINAL MECHANICAL					05/26/2023
PBF	_____	022-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					05/26/2023
JP	_____ AM	017-WKS PUBLIC & SERVICE WALKS Comments1: JOSE 630-465-1159	20221176	291 BARRETT DR B	13		05/15/2023
JP	_____ AM	018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- JOSE 630-465-1159					05/15/2023
BF	_____	019-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					05/26/2023
BF	_____	020-FEL FINAL ELECTRIC					05/26/2023
BF	_____	021-FMC FINAL MECHANICAL					05/26/2023
PBF	_____	022-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					05/26/2023
JP	_____ AM	017-WKS PUBLIC & SERVICE WALKS Comments1: JOSE 630-465-1159	20221177	291 BARRETT DR C	13		05/15/2023
JP	_____ AM	018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					05/15/2023
BF	_____	019-FIN FINAL INSPECTION Comments1: NORM 630-818-0404 SEE INSPECTION REPORT					05/26/2023
BF	_____	020-FEL FINAL ELECTRIC					05/26/2023
BF	_____	021-FMC FINAL MECHANICAL					05/26/2023
PBF	_____	022-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					05/26/2023
JP	_____ AM	017-WKS PUBLIC & SERVICE WALKS Comments1: JOSE 630-465-1159	20221178	291 BARRETT DR D	13		05/15/2023
JP	_____ AM	018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					05/15/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	019-FIN FINAL INSPECTION Comments1: NORM		630-818-0404			05/26/2023
BF	_____	020-FEL FINAL ELECTRIC					05/26/2023
BF	_____	021-FMC FINAL MECHANICAL					05/26/2023
PBF	_____	022-PLF PLUMBING - FINAL OSR READ Comments1: NORM		630-818-0404			05/26/2023
JP	_____ AM	021-WK SERVICE WALK Comments1: NORM	20221179	271 BARRETT DR A	12		05/05/2023
JP	_____ AM	022-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					05/05/2023
JP	_____ AM	024-EPW ENGINEERING- PUBLIC WALK Comments1: JUAN		630-465-2021			05/15/2023
BF	_____	025-FIN FINAL INSPECTION Comments1: NORM		630-818-0404			05/25/2023
BF	_____	026-FEL FINAL ELECTRIC					05/25/2023
BF	_____	027-FMC FINAL MECHANICAL					05/25/2023
PBF	_____	028-PLF PLUMBING - FINAL OSR READ Comments1: NORM		630-818-0404			05/25/2023
JP	_____ AM	021-WK SERVICE WALK Comments1: NORM	20221180	271 BARRETT DR B	12		05/05/2023
JP	_____ AM	022-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					05/05/2023
JP	_____ AM	023-EPW ENGINEERING- PUBLIC WALK Comments1: JOSE		630-465-1159			05/15/2023
BF	_____	024-FIN FINAL INSPECTION Comments1: NORM		630-818-0404			05/25/2023
BF	_____	025-FEL FINAL ELECTRIC					05/25/2023
BF	_____	026-FMC FINAL MECHANICAL					05/25/2023
PBF	_____	027-PLF PLUMBING - FINAL OSR READ Comments1: NORM		630-818-0404			05/25/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	_____ AM	022-WK SERVICE WALK	20221181	271 BARRETT DR C	12		05/05/2023
		Comments1: NORM 630-818-0404					
JP	_____ AM	023-PPS PRE-POUR, SLAB ON GRADE					05/05/2023
		Comments1: PATIO					
JP	_____ AM	024-EPW ENGINEERING- PUBLIC WALK					05/15/2023
		Comments1: JOSE 630-465-1159					
BF	_____	025-FIN FINAL INSPECTION					05/25/2023
		Comments1: NORM 630-818-0404					
BF	_____	026-FEL FINAL ELECTRIC					05/25/2023
BF	_____	027-FMC FINAL MECHANICAL					05/25/2023
PBF	_____	028-PLF PLUMBING - FINAL OSR READ					05/25/2023
		Comments1: NORM 630-818-0404					
JP	_____ AM	021-WK SERVICE WALK	20221182	271 BARRETT DR D	12		05/05/2023
		Comments1: NORM 630-818-0404					
JP	_____ AM	022-PPS PRE-POUR, SLAB ON GRADE					05/05/2023
		Comments1: PATIO					
BF	_____	024-FIN FINAL INSPECTION					05/25/2023
		Comments1: NORM 630-818-0404					
BF	_____	025-FEL FINAL ELECTRIC					05/25/2023
BF	_____	026-FMC FINAL MECHANICAL					05/25/2023
PBF	_____	027-PLF PLUMBING - FINAL OSR READ					05/25/2023
		Comments1: NORM 630-818-0404					
GH	_____ AM	018-GAR GARAGE FLOOR	20221199	2634 KELLOGG CT	44		05/05/2023
		Comments1: MW 815-839-8175					
GH	_____ AM	019-STP STOOP					05/05/2023
		Comments1: ADD STONE AT REAR STOOP					
JP	_____ AM	020-WKS PUBLIC & SERVICE WALKS					05/18/2023
		Comments1: MIDWESTERN 815-839-8175					
BC	_____	021-FIN FINAL INSPECTION					05/24/2023
		Comments1: NICK 630-988-0169					
BC	_____	022-FEL FINAL ELECTRIC					05/24/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	023-FMC FINAL MECHANICAL					05/24/2023
PBF	_____	024-PLF PLUMBING - FINAL OSR READ Comments1: NICK 630-988-0169					05/24/2023
GH	_____	AM 017-WKS PUBLIC & SERVICE WALKS Comments1: MW 815-839-8175 NEED REBAR AT B-BOX & N Comments2: EED TO PIN SERVICE WALK TO STOOP	20221200	2635 KELLOGG CT	58		05/05/2023
BC	_____	018-FIN FINAL INSPECTION Comments1: NICK 630-988-0169					05/11/2023
BC	_____	019-FEL FINAL ELECTRIC					05/11/2023
BC	_____	020-FMC FINAL MECHANICAL					05/11/2023
PBF	_____	021-PLF PLUMBING - FINAL OSR READ Comments1: NICK 630-988-0169					05/11/2023
ED	_____	022-EFL ENGINEERING - FINAL INSPE				05/12/2023	
ED	_____	023-ADA ADA ACCESSIBLE WALK WAY					05/12/2023
ED	_____	024-EFL ENGINEERING - FINAL INSPE					05/17/2023
ED	_____	025-REI REINSPECTION Comments1: ADA RAMP					05/25/2023
ED	_____	022-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL FAR SOUTH SIDEWALK SQUARE Comments2: MISSING	20221202	3056 GRANDE TR	541		05/25/2023
ED	_____	024-ADA ADA ACCESSIBLE WALK WAY	20221203	3029 MCLELLAN BLVD	559		05/12/2023
ED	_____	025-REI REINSPECTION Comments1: ADA RAMP					05/25/2023
ED	_____	031-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL	20221207	2286 CRYDER CT	437		05/26/2023
ED	_____	022-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL -- FAILED BBOX	20221224	3111 GRANDE TR	493		05/25/2023
ED	_____	023-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL	20221249	3078 GRANDE TR	545		05/25/2023
BC	_____	AM 018-REI REINSPECTION Comments1: DECK FRAMING -- NICK 630-988-0169	20221251	2643 KELLOGG CT	54		05/12/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE	
GH		019-FIN FINAL INSPECTION					05/17/2023	
		Comments1: NICK 630-988-0169 -- SEE INSPECTION REPO						
		Comments2: RT						
GH		020-FEL FINAL ELECTRIC					05/17/2023	
GH		021-FMC FINAL MECHANICAL					05/17/2023	
PBF		022-PLF PLUMBING - FINAL OSR READ					05/17/2023	
		Comments1: NICK 630-988-0169						
ED		023-EFL ENGINEERING - FINAL INSPE				05/18/2023		
GH		024-REI REINSPECTION					05/18/2023	
		Comments1: FINAL ELECTRIC -- NICK 630-988-0169						
ED		023-EFL ENGINEERING - FINAL INSPE	20221296	3028 GRANDE TR	537		05/25/2023	
		Comments1: TEMP TO FINAL						
GH		015-WKS PUBLIC & SERVICE WALKS	20221308	2670 SEELEY ST	735		05/23/2023	
		Comments1: CHRIS 224-358-1606						
BC		AM 015-WKS PUBLIC & SERVICE WALKS	20221309	2674 SEELEY ST	734		05/10/2023	
		Comments1: CHRIS 224-358-1606						
BF		016-FIN FINAL INSPECTION					05/26/2023	
		Comments1: MIKE 224-340-5860						
BF		017-FEL FINAL ELECTRIC					05/26/2023	
BF		018-FMC FINAL MECHANICAL					05/26/2023	
PBF		019-PLF PLUMBING - FINAL OSR READ					05/26/2023	
		Comments1: MIKE 224-340-5860						
GH		016-FIN FINAL INSPECTION	20221310	2678 SEELEY ST	733		05/03/2023	
		Comments1: MIKE 224-340-5860 NO SCREENS INSTALLED,						
		Comments2: SET HINGES ON SERVICE DOOR, NO ENERGY ST						
		Comments3: ICKER, NEED FIRE RATED FOAM AT DUCTS, NE						
		Comments4: ED TEMP PAD AT PATIO, SECURE BRICKMOLD						
GH		017-FEL FINAL ELECTRIC					05/03/2023	
GH		018-FMC FINAL MECHANICAL					05/03/2023	
PBF		019-PLF PLUMBING - FINAL OSR READ					05/03/2023	
		Comments1: MIKE 224-340-5860						

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	AM 020-WKS PUBLIC & SERVICE WALKS Comments1: CHRIS 224-358-1606					05/10/2023
BC	_____	AM 021-REI REINSPECTION Comments1: FIN MIKE 224-340-5860					05/12/2023
GH	_____	PM 006-PPS PRE-POUR, SLAB ON GRADE Comments1: NORM 630-818-0404	20221319	248A PORTAGE LN	134-3		05/05/2023
GH	_____	007-GAR GARAGE FLOOR Comments1: UPLAND JOSE					05/05/2023
GH	_____	008-STP STOOP Comments1: FRONT ONLY					05/05/2023
GH	_____	PM 006-PPS PRE-POUR, SLAB ON GRADE Comments1: NORM 630-818-0404	20221320	248B PORTAGE LN	133-3		05/05/2023
GH	_____	007-GAR GARAGE FLOOR					05/05/2023
GH	_____	008-STP STOOP Comments1: FRONT STOOP ONLY					05/05/2023
GH	_____	PM 006-PPS PRE-POUR, SLAB ON GRADE Comments1: NORM 630-818-0404	20221321	248C PORTAGE LN	132-3		05/05/2023
GH	_____	007-GAR GARAGE FLOOR					05/05/2023
GH	_____	008-STP STOOP Comments1: FRONT STOOP ONLY					05/05/2023
GH	_____	PM 006-PPS PRE-POUR, SLAB ON GRADE Comments1: NORM 630-818-0404	20221322	248D PORTAGE LN	131-3		05/05/2023
GH	_____	007-GAR GARAGE FLOOR					05/05/2023
GH	_____	008-STP STOOP Comments1: FRONT STOOP ONLY					05/05/2023
GH	_____	PM 006-PPS PRE-POUR, SLAB ON GRADE Comments1: NORM 630-818-0404	20221323	248E PORTAGE LN	130		05/05/2023
GH	_____	007-GAR GARAGE FLOOR					05/05/2023
GH	_____	008-STP STOOP Comments1: FRONT STOOP ONLY					05/05/2023
GH	_____	AM 007-GAR GARAGE FLOOR Comments1: JUAN 847-551-9066	20221324	252A PORTAGE LN	124		05/01/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	AM 008-STP STOOP Comments1: FRONT					05/02/2023
GH	_____	AM 007-GAR GARAGE FLOOR Comments1: JUAN 847-551-9066	20221325	252B PORTAGE LN	125		05/01/2023
GH	_____	AM 009-STP STOOP Comments1: JUAN 847-551-9066					05/02/2023
GH	_____	AM 007-GAR GARAGE FLOOR Comments1: JUAN 847-551-9066	20221326	252C PORTAGE LN	126		05/01/2023
GH	_____	AM 009-STP STOOP Comments1: JUAN 847-551-9066					05/02/2023
GH	_____	AM 007-GAR GARAGE FLOOR Comments1: JUAN 847-551-9066	20221327	252D PORTAGE LN	127		05/01/2023
GH	_____	AM 009-STP STOOP Comments1: JUAN 847-551-9066					05/02/2023
GH	_____	AM 007-GAR GARAGE FLOOR Comments1: JUAN 847-551-9066	20221328	252E PORTAGE LN	128		05/01/2023
GH	_____	AM 009-STP STOOP Comments1: JUAN 847-551-9066					05/02/2023
GH	_____	AM 007-GAR GARAGE FLOOR Comments1: JUAN 847-551-9066	20221329	252F PORTAGE LN			05/01/2023
GH	_____	AM 009-STP STOOP Comments1: JUAN 847-551-9066					05/02/2023
PR	_____	AM 022-FIN FINAL INSPECTION Comments1: REMY 630-973-6699	20221333	2862 MCLELLAN BLVD	457		05/17/2023
PR	_____	AM 023-FEL FINAL ELECTRIC					05/17/2023
PR	_____	AM 024-FMC FINAL MECHANICAL					05/17/2023
PR	_____	AM 025-PLF PLUMBING - FINAL OSR READ					05/17/2023
ED	_____	026-EFL ENGINEERING - FINAL INSPE					05/24/2023
GH	_____	010-RFR ROUGH FRAMING Comments1: NORM 630-818-0404	20221334	264A PORTAGE LN	123		05/08/2023
GH	_____	011-REL ROUGH ELECTRICAL					05/08/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	012-RMC ROUGH MECHANICAL					05/08/2023
GH	_____	013-GPL GREEN PLATE INSPECTION					05/08/2023
		Comments1: NORM 630-818-0404					
PBF	_____	014-PLR PLUMBING - ROUGH					05/08/2023
		Comments1: NORM 630-818-0404					
JP	_____ AM	015-INS INSULATION					05/11/2023
		Comments1: NORM 630-818-0404					
BC	_____ AM	016-DMW DEMISING WALL					05/23/2023
		Comments1: NORM 630-818-0404					
BF	_____	017-PPS PRE-POUR, SLAB ON GRADE					05/31/2023
		Comments1: PATIO - JOSE 630-465-1159					
BF	_____	018-WK SERVICE WALK					05/31/2023
GH	_____	010-RFR ROUGH FRAMING	20221335	264B PORTAGE LN	122		05/08/2023
		Comments1: NORM 630-818-0404					
GH	_____	011-REL ROUGH ELECTRICAL					05/08/2023
GH	_____	012-RMC ROUGH MECHANICAL					05/08/2023
GH	_____	013-GPL GREEN PLATE INSPECTION					05/08/2023
PBF	_____	014-PLR PLUMBING - ROUGH					05/08/2023
		Comments1: NORM 630-818-0404					
JP	_____ AM	015-INS INSULATION					05/11/2023
		Comments1: NORM 630-818-0404					
BC	_____ AM	016-DMW DEMISING WALL					05/23/2023
		Comments1: NORM 630-818-0404					
BF	_____	017-PPS PRE-POUR, SLAB ON GRADE					05/31/2023
		Comments1: PATIO -- JOSE 630-465-1159					
BF	_____	018-WK SERVICE WALK					05/31/2023
BC	_____	010-RFR ROUGH FRAMING	20221336	264C PORTAGE LN	121		05/08/2023
		Comments1: NORM 630-818-0404 SEE INSPECTION REPORT					
BC	_____	011-REL ROUGH ELECTRICAL					05/08/2023
BC	_____	012-RMC ROUGH MECHANICAL					05/08/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC		013-GPL GREEN PLATE INSPECTION Comments1: SEE INSPECTION REPORT					05/08/2023
PBF		014-PLR PLUMBING - ROUGH Comments1: NORM 630-818-0404					05/08/2023
BC		PM 015-REI REINSPECTION Comments1: RFR NORM 630-818-0404					05/09/2023
BC		PM 016-REI REINSPECTION Comments1: GREEN PLATE					05/09/2023
JP		AM 017-INS INSULATION					05/11/2023
BC		AM 018-DMW DEMISING WALL Comments1: NORM 630-818-0404					05/23/2023
BF		019-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO - JOSE 630-465-1159					05/31/2023
BF		020-WK SERVICE WALK					05/31/2023
BC		010-RFR ROUGH FRAMING Comments1: NORM 630-818-0404	20221337	264D PORTAGE LN	120		05/08/2023
BC		011-REL ROUGH ELECTRICAL					05/08/2023
BC		012-RMC ROUGH MECHANICAL					05/08/2023
BC		013-GPL GREEN PLATE INSPECTION					05/08/2023
PBF		014-PLR PLUMBING - ROUGH Comments1: NORM 630-818-0404					05/08/2023
JP		AM 015-INS INSULATION					05/11/2023
BC		AM 016-DMW DEMISING WALL Comments1: NORM 630-818-0404					05/23/2023
BF		017-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO JOSE 630-465-1159					05/31/2023
BF		018-WK SERVICE WALK					05/31/2023
BC		AM 017-MIS MISCELLANEOUS Comments1: DEMISING WALL-FIRE BLOCKING -- NORM 630- Comments2: 818-0404	20221338	276A PORTAGE LN	115		05/05/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO JOSE 630-465-1159					05/31/2023
BF	_____	019-WK SERVICE WALK					05/31/2023
BC	_____	AM 017-MIS MISCELLANEOUS Comments1: DEMISING WALL-FIRE BLOCKING -- Comments2: 818-0404	20221339	276B PORTAGE LN	116		05/05/2023
BF	_____	018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- JOSE 630-465-1159					05/31/2023
BF	_____	019-WK SERVICE WALK					05/31/2023
BC	_____	AM 017-MIS MISCELLANEOUS Comments1: DEMISING WALL-FIRE BLOCKING -- Comments2: 818-0404	20221340	276C PORTAGE LN	117		05/05/2023
BF	_____	018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO JOSE 630-465-1159					05/31/2023
BF	_____	019-WK SERVICE WALK					05/31/2023
BC	_____	AM 017-MIS MISCELLANEOUS Comments1: DEMISING WALL-FIRE BLOCKING -- Comments2: 818-0404	20221341	276D PORTAGE LN	118		05/05/2023
BF	_____	018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- JOSE 630-465-1159					05/31/2023
BF	_____	019-WK SERVICE WALK					05/31/2023
BC	_____	AM 015-MIS MISCELLANEOUS Comments1: DEMISING WALL-FIRE BLOCKING -- Comments2: 818-0404	20221342	276E PORTAGE LN	119		05/05/2023
BF	_____	016-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- JOSE 630-465-1159					05/31/2023
BF	_____	017-WK SERVICE WALK					05/31/2023
GH	_____	017-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO	20221343	282A BARRETT DR	114		05/19/2023
GH	_____	018-WKS PUBLIC & SERVICE WALKS					05/19/2023
BF	_____	AM 019-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					05/31/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	AM 020-FEL FINAL ELECTRIC					05/31/2023
BF	_____	AM 021-FMC FINAL MECHANICAL					05/31/2023
PBF	_____	AM 022-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					05/31/2023
GH	_____	017-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO	20221344	282B BARRETT DR	113		05/19/2023
GH	_____	018-WKS PUBLIC & SERVICE WALKS					05/19/2023
BF	_____	AM 019-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					05/31/2023
BF	_____	AM 020-FEL FINAL ELECTRIC					05/31/2023
BF	_____	AM 021-FMC FINAL MECHANICAL					05/31/2023
PBF	_____	AM 022-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					05/31/2023
GH	_____	017-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO	20221345	282C BARRETT DR	112		05/19/2023
GH	_____	018-WKS PUBLIC & SERVICE WALKS					05/19/2023
BF	_____	AM 019-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					05/31/2023
BF	_____	AM 020-FEL FINAL ELECTRIC					05/31/2023
BF	_____	AM 021-FMC FINAL MECHANICAL					05/31/2023
PBF	_____	AM 022-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					05/31/2023
GH	_____	017-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO	20221346	282D BARRETT DR	111		05/19/2023
GH	_____	018-WKS PUBLIC & SERVICE WALKS					05/19/2023
BF	_____	AM 019-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					05/31/2023
BF	_____	AM 020-FEL FINAL ELECTRIC					05/31/2023
BF	_____	AM 021-FMC FINAL MECHANICAL					05/31/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	AM 022-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					05/31/2023
GH	_____	017-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO	20221347	282E BARRETT DR	110		05/19/2023
GH	_____	018-WKS PUBLIC & SERVICE WALKS					05/19/2023
BF	_____	AM 019-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					05/31/2023
BF	_____	AM 020-FEL FINAL ELECTRIC					05/31/2023
BF	_____	AM 021-FMC FINAL MECHANICAL					05/31/2023
PBF	_____	AM 022-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					05/31/2023
GH	_____	017-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO	20221348	282F BARRETT DR	109		05/19/2023
GH	_____	018-WKS PUBLIC & SERVICE WALKS					05/19/2023
BF	_____	AM 019-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					05/31/2023
BF	_____	AM 020-FEL FINAL ELECTRIC					05/31/2023
BF	_____	AM 021-FMC FINAL MECHANICAL					05/31/2023
PBF	_____	AM 022-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					05/31/2023
GH	_____	014-WKS PUBLIC & SERVICE WALKS Comments1: JEFF 630-330-6705	20221349	3762 BISSEL DR	129-5		05/04/2023
GH	_____	015-FIN FINAL INSPECTION Comments1: TIM 224-483-1848					05/23/2023
GH	_____	016-FEL FINAL ELECTRIC					05/23/2023
GH	_____	017-FMC FINAL MECHANICAL					05/23/2023
PBF	_____	018-PLF PLUMBING - FINAL OSR READ Comments1: TIM 224-483-1848					05/23/2023
ED	_____	019-EFL ENGINEERING - FINAL INSPE					05/19/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 18

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	014-WKS PUBLIC & SERVICE WALKS Comments1: JEFF 630-330-6705	20221350	3764 BISSEL DR	129-4		05/04/2023
GH	_____	015-FIN FINAL INSPECTION Comments1: TIM 224-483-1848					05/19/2023
GH	_____	016-FEL FINAL ELECTRIC					05/19/2023
GH	_____	017-FMC FINAL MECHANICAL					05/19/2023
PBF	_____	018-PLF PLUMBING - FINAL OSR READ Comments1: TIM 224-483-1848					05/19/2023
ED	_____	019-EFL ENGINEERING - FINAL INSPE Comments1: BBOX INOPERABLE					05/19/2023
GH	_____	014-WKS PUBLIC & SERVICE WALKS Comments1: JEFF 630-330-6705	20221351	3766 BISSEL DR	129-3		05/04/2023
GH	_____	015-FIN FINAL INSPECTION Comments1: TIM 224-483-1848 -- SEE INSPECTION REPOR Comments2: T					05/19/2023
GH	_____	016-FEL FINAL ELECTRIC					05/19/2023
GH	_____	017-FMC FINAL MECHANICAL					05/19/2023
PBF	_____	018-PLF PLUMBING - FINAL OSR READ Comments1: TIM 224-483-1848					05/19/2023
ED	_____	019-EFL ENGINEERING - FINAL INSPE					05/19/2023
GH	_____	014-WKS PUBLIC & SERVICE WALKS Comments1: JEFF 630-330-6705	20221352	3768 BISSEL DR	129-2		05/04/2023
GH	_____	015-FIN FINAL INSPECTION Comments1: TIM 224-483-1848					05/19/2023
GH	_____	016-FEL FINAL ELECTRIC					05/19/2023
GH	_____	017-FMC FINAL MECHANICAL					05/19/2023
PBF	_____	018-PLF PLUMBING - FINAL OSR READ Comments1: TIM 224-483-1848					05/19/2023
GH	_____	014-WKS PUBLIC & SERVICE WALKS Comments1: JEFF 630-330-6705	20221353	3772 BISSEL DR	129-1		05/04/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	AM 015-FIN FINAL INSPECTION Comments1: TIM 224-483-1848					05/15/2023
BF	_____	AM 016-FEL FINAL ELECTRIC					05/15/2023
BF	_____	AM 017-FMC FINAL MECHANICAL					05/15/2023
PBF	_____	AM 018-PLF PLUMBING - FINAL OSR READ Comments1: TIM 224-483-1848					05/15/2023
ED	_____	019-EFL ENGINEERING - FINAL INSPE					05/19/2023
GH	_____	015-FIN FINAL INSPECTION Comments1: TIM 224-483-1848	20221354	3748 BISSEL DR	130-1		05/02/2023
GH	_____	016-FEL FINAL ELECTRIC					05/02/2023
GH	_____	017-FMC FINAL MECHANICAL					05/02/2023
PBF	_____	018-PLF PLUMBING - FINAL OSR READ Comments1: TIM 224-483-1848					05/02/2023
GH	_____	019-EPW ENGINEERING- PUBLIC WALK Comments1: JEFF 630-330-6705					05/04/2023
GH	_____	020-WK SERVICE WALK					05/22/2023
GH	_____	020-EPW ENGINEERING- PUBLIC WALK Comments1: JEFF 630-330-6705	20221355	3752 BISSEL DR	130-2		05/04/2023
GH	_____	021-WK SERVICE WALK					05/22/2023
GH	_____	017-EPW ENGINEERING- PUBLIC WALK Comments1: JEFF 630-330-6705	20221356	3754 BISSEL DR	130-3		05/04/2023
GH	_____	018-WK SERVICE WALK					05/22/2023
GH	_____	019-FIN FINAL INSPECTION Comments1: TM 224-483-1848					05/24/2023
GH	_____	020-FEL FINAL ELECTRIC					05/24/2023
GH	_____	021-FMC FINAL MECHANICAL					05/24/2023
PBF	_____	022-PLF PLUMBING - FINAL OSR READ Comments1: TIM 224-483-1848					05/24/2023
GH	_____	020-EPW ENGINEERING- PUBLIC WALK Comments1: JEFF 630-330-6705	20221357	3756 BISSEL DR	130-4		05/04/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	021-WK SERVICE WALK					05/22/2023
GH	_____	019-EPW ENGINEERING- PUBLIC WALK	20221358	3758 BISSEL DR	130-5		05/04/2023
		Comments1: JEFF 630-330-6705					
GH	_____	020-WK SERVICE WALK					05/22/2023
BF	_____	008-RFR ROUGH FRAMING	20221359	3798 BISSEL DR	127-1		05/01/2023
		Comments1: CHRIS 224-358-1606 SEE INSPECTION REPORT					
BF	_____	009-REL ROUGH ELECTRICAL					05/01/2023
BF	_____	010-RMC ROUGH MECHANICAL					05/01/2023
PBF	_____	011-PLR PLUMBING - ROUGH					05/01/2023
		Comments1: CHRIS 224-358-1606					
JP	_____	012-INS INSULATION					05/05/2023
		Comments1: CHRIS 224-358-1606					
GH	_____	013-STP STOOP					05/22/2023
		Comments1: CHRIS 224-358-1606					
GH	_____	008-RFR ROUGH FRAMING	20221360	3796 BISSEL DR	127-2		05/08/2023
		Comments1: CHRIS 224-358-1606					
GH	_____	009-REL ROUGH ELECTRICAL					05/08/2023
GH	_____	010-RMC ROUGH MECHANICAL					05/08/2023
PBF	_____	011-PLR PLUMBING - ROUGH					05/04/2023
		Comments1: CHRIS 224-358-1606					
JP	_____	012-INS INSULATION					05/10/2023
		Comments1: CHRIS 224-358-1606					
GH	_____	013-STP STOOP					05/22/2023
		Comments1: CHRIS 224-358-1606					
GH	_____	008-RFR ROUGH FRAMING	20221361	3794 BISSEL DR	127-3		05/09/2023
		Comments1: CHRIS 224-358-1606 SEE INSPECTION REPORT					
GH	_____	009-REL ROUGH ELECTRICAL					05/09/2023
GH	_____	010-RMC ROUGH MECHANICAL					05/09/2023
PBF	_____	011-PLR PLUMBING - ROUGH					05/09/2023
		Comments1: CHRIS 224-358-1606					

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 21

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	_____	012-INS INSULATION Comments1: CHRIS 224-358-1606					05/11/2023
GH	_____	013-STP STOOP Comments1: CHRIS 224-358-1606					05/22/2023
GH	_____	008-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606 -- SEE INSPECTION REP Comments2: ORT	20221362	3792 BISSEL DR	127-4		05/19/2023
GH	_____	009-REL ROUGH ELECTRICAL					05/09/2023
GH	_____	010-RMC ROUGH MECHANICAL					05/19/2023
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					05/19/2023
GH	_____	012-INS INSULATION Comments1: CHRIS 224-358-1606					05/23/2023
GH	_____	013-STP STOOP Comments1: CHRIS 224-358-1606					05/22/2023
GH	_____	008-STP STOOP Comments1: CHRIS 224-358-1606	20221363	3788 BISSEL DR	127-5		05/22/2023
BC	_____	009-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606					05/26/2023
BC	_____	010-REL ROUGH ELECTRICAL					05/26/2023
BC	_____	011-RMC ROUGH MECHANICAL					05/26/2023
PBF	_____	012-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					05/26/2023
GH	_____	013-INS INSULATION Comments1: CHRIS 224-358-1606					05/31/2023
GH	_____	013-STP STOOP Comments1: JOSE UPLAND	20221364	3776 BISSEL DR	128		05/03/2023
GH	_____	014-WK SERVICE WALK Comments1: CHRIS 224-358-1606					05/22/2023
GH	_____	013-STP STOOP Comments1: JOSE UPLAND	20221365	3778 BISSEL DR	128-2		05/03/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	014-WK SERVICE WALK Comments1: CHRIS 224-358-1606					05/22/2023
GH	_____	013-STP STOOP Comments1: JOSE UPLAND	20221366	3782 BISSEL DR	128-3		05/03/2023
GH	_____	014-WK SERVICE WALK Comments1: CHRIS 224-358-1606					05/22/2023
GH	_____	013-STP STOOP Comments1: JOSE UPLAND	20221367	3784 BISSEL DR	128-4		05/03/2023
GH	_____	014-WK SERVICE WALK Comments1: CHRIS 224-358-1606					05/22/2023
JP	_____ PM	011-INS INSULATION Comments1: SEE INSPECTION REPORT	20221368	3786 BISSEL DR	128-5		05/01/2023
GH	_____	012-STP STOOP Comments1: JOSE UPLAND					05/03/2023
GH	_____	013-WK SERVICE WALK Comments1: CHRIS 224-358-1606					05/22/2023
GH	_____ PM	014-INS INSULATION Comments1: NORM 630-818-0404	20221377	224A PORTAGE LN	140		05/01/2023
BC	_____	015-DMW DEMISING WALL					05/09/2023
GH	_____ PM	014-INS INSULATION Comments1: NORM 630-818-0404	20221378	224B PORTAGE LN	141		05/01/2023
BC	_____	015-DMW DEMISING WALL					05/09/2023
GH	_____ PM	014-INS INSULATION Comments1: NORM 630-818-0404	20221379	224C PORTAGE LN	142		05/01/2023
BC	_____	015-DMW DEMISING WALL					05/09/2023
GH	_____ PM	014-INS INSULATION Comments1: NORM 630-818-0404	20221380	224D PORTAGE LN	143		05/01/2023
BC	_____	015-DMW DEMISING WALL					05/09/2023
BC	_____ AM	015-DMW DEMISING WALL Comments1: NORM 630-818-0404	20221381	236A PORTAGE LN	135		05/02/2023
GH	_____ AM	016-MIS MISCELLANEOUS Comments1: CAULK/DEMISING WALL -- NORM 630-818-040 Comments2: 4					05/15/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 23

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____ AM	015-DMW DEMISING WALL	20221382	236B PORTAGE LN	136		05/02/2023
		Comments1: NORM 630-818-0404					
GH	_____ AM	016-MIS MISCELLANEOUS					05/17/2023
		Comments1: CAULK/DEMISING WALL -- NORM 630-818-040					
		Comments2: 4					
BC	_____ AM	015-DMW DEMISING WALL	20221383	236C PORTAGE LN	137		05/02/2023
		Comments1: NORM 630-818-0404					
GH	_____ AM	016-MIS MISCELLANEOUS					05/17/2023
		Comments1: CAULK/DEMISING WALL -- NORM 630-818-040					
		Comments2: 4					
BC	_____ AM	015-DMW DEMISING WALL	20221384	236D PORTAGE LN	138		05/02/2023
		Comments1: NORM 630-818-0404					
GH	_____ AM	016-MIS MISCELLANEOUS					05/17/2023
		Comments1: CAULK/DEMISING WALL -- NORM 630-818-040					
		Comments2: 4					
BC	_____ AM	015-DMW DEMISING WALL	20221385	236E PORTAGE LN	139		05/02/2023
		Comments1: NORM 630-818-0404					
GH	_____ AM	016-MIS MISCELLANEOUS					05/17/2023
		Comments1: CAULK/DEMISING WALL -- NORM 630-818-040					
		Comments2: 4					
PBF	_____	006-ESW ENGINEERING - SEWER / WAT	20221410	2903 CRYDER WAY	470		05/05/2023
		Comments1: MIKE 815-210-3338					
BF	_____	007-ELS ELECTRIC SERVICE					05/16/2023
		Comments1: CHRIS 815-603-0589					
ED	_____	023-EFL ENGINEERING - FINAL INSPE	20221414	4442 TAMPA DR	1972	05/19/2023	
		Comments1: TEMP TO FINAL					
ED	_____	025-EFL ENGINEERING - FINAL INSPE	20221415	4438 TAMPA DR	1973	05/19/2023	
		Comments1: TEMP TO FINAL					
BC	_____ AM	016-RFR ROUGH FRAMING	20221418	2636 KELLOGG CT	45		05/09/2023
		Comments1: DECK FRAMING -- NICK 630-988-0169					
JP	_____ AM	017-WKS PUBLIC & SERVICE WALKS					05/18/2023
		Comments1: MIDWESTERN 815-839-8175					
JP	_____ AM	019-WKS PUBLIC & SERVICE WALKS	20221419	4865 W MILLBROOK CIR	155		05/18/2023
		Comments1: MIDWESTERN 815-839-8175					

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 24

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	011-RFR ROUGH FRAMING	20221436	221A PORTAGE LN	144		05/22/2023
		Comments1: NORM 630-818-0404-- SEE INSPECTION REPOR					
		Comments2: T					
BF	_____	012-REL ROUGH ELECTRICAL					05/22/2023
BF	_____	013-RMC ROUGH MECHANICAL					05/22/2023
PBF	_____	014-PLR PLUMBING - ROUGH					05/22/2023
		Comments1: NORM 630-818-0404					
JP	_____ AM	015-INS INSULATION					05/25/2023
		Comments1: NORM 630-818-0404					
BF	_____	011-RFR ROUGH FRAMING	20221437	221B PORTAGE LN	145		05/22/2023
		Comments1: NORM 630-818-0404					
BF	_____	012-REL ROUGH ELECTRICAL					05/22/2023
BF	_____	013-RMC ROUGH MECHANICAL					05/22/2023
PBF	_____	014-PLR PLUMBING - ROUGH					05/22/2023
		Comments1: NORM 630-818-0404					
JP	_____ AM	015-INS INSULATION					05/25/2023
		Comments1: NORM 630-818-0404					
BF	_____	011-RFR ROUGH FRAMING	20221438	221C PORTAGE LN	146		05/22/2023
		Comments1: NORM 630-818-0404 -- SEE INPECTION REPOR					
		Comments2: T					
BF	_____	012-REL ROUGH ELECTRICAL					05/22/2023
BF	_____	013-RMC ROUGH MECHANICAL					05/22/2023
PBF	_____	014-PLR PLUMBING - ROUGH					05/22/2023
		Comments1: NORM 630-818-0404					
JP	_____ AM	015-INS INSULATION					05/25/2023
		Comments1: NORM 630-818-0404					
BF	_____	011-RFR ROUGH FRAMING	20221439	221D PORTAGE LN	147		05/22/2023
		Comments1: NORM 630-818-0404					
BF	_____	012-REL ROUGH ELECTRICAL					05/22/2023
BF	_____	013-RMC ROUGH MECHANICAL					05/22/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF		014-PLR PLUMBING - ROUGH Comments1: NORM		630-818-0404			05/22/2023
JP	AM	015-INS INSULATION Comments1: NORM		630-818-0404			05/25/2023
BF		011-RFR ROUGH FRAMING Comments1: NORM	20221440	221E PORTAGE LN	148		05/22/2023
BF		012-REL ROUGH ELECTRICAL					05/22/2023
BF		013-RMC ROUGH MECHANICAL					05/22/2023
PBF		014-PLR PLUMBING - ROUGH Comments1: NORM		630-818-0404			05/22/2023
JP	AM	015-INS INSULATION Comments1: NORM		630-818-0404			05/25/2023
BC		011-ELS ELECTRIC SERVICE Comments1: NORM	20221449	279A PORTAGE LN	157		05/23/2023
BC		011-ELS ELECTRIC SERVICE Comments1: NORM	20221450	279B PORTAGE LN	158		05/23/2023
BC		011-ELS ELECTRIC SERVICE Comments1: NORM	20221451	279C PORTAGE LN	159		05/23/2023
BC		011-ELS ELECTRIC SERVICE Comments1: NORM	20221452	279D PORTAGE LN	160		05/23/2023
BC		011-ELS ELECTRIC SERVICE Comments1: NORM	20221453	279E PORTAGE LN	161		05/23/2023
GH	AM	014-WKS PUBLIC & SERVICE WALKS Comments1: GARY	20221455	805 FREEMONT ST	44		05/03/2023
GH	AM	015-EDA ENGINEERING - DRIVEWAY AP Comments1: DRIVEWAY APRON 5" AT CURB, ADJUST TO 6" Comments2: BEFORE POURING					05/03/2023
JP	AM	016-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- GARY -- MARKER		630-977-1868			05/15/2023
JP	AM	015-WKS PUBLIC & SERVICE WALKS Comments1: MIDWESTERN	20221466	495 TIMBER OAK LN	28		05/17/2023
JP	AM	016-WKS PUBLIC & SERVICE WALKS Comments1: MIDWESTERN		815-839-8175		05/19/2023	

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	_____	AM 017-EDA ENGINEERING - DRIVEWAY AP Comments1: MIDWESTERN 815-839-8175					05/19/2023
OFD	_____	014-HYD HYDRO TEST	20221472	3981 EVANS CT	60		05/01/2023
OFD	_____	014-HYD HYDRO TEST	20221473	3983 EVANS CT	60		05/01/2023
BC	_____	007-BSM BASEMENT FLOOR Comments1: CLAYTON 630-336-3678	20221500	837 ALEXANDRA LN	23		05/01/2023
BC	_____	AM 008-GAR GARAGE FLOOR Comments1: CLAYTON 630-336-3678					05/10/2023
BC	_____	AM 009-STP STOOP					05/10/2023
PR	_____	010-RFR ROUGH FRAMING Comments1: CLAYTON 630-336-3678					05/18/2023
PR	_____	011-REL ROUGH ELECTRICAL					05/18/2023
PR	_____	012-RMC ROUGH MECHANICAL					05/18/2023
PR	_____	013-PLR PLUMBING - ROUGH					05/18/2023
BC	_____	014-INS INSULATION Comments1: CLAYTON 630-336-3678					05/24/2023
GH	_____	AM 027-EPW ENGINEERING- PUBLIC WALK Comments1: PARTIAL -- MIDWESTERN 815-839-8175	20221503	3093 GRANDE TR	550		05/02/2023
GH	_____	028-WK SERVICE WALK					05/02/2023
BF	_____	PM 003-FIN FINAL INSPECTION Comments1: SOLAR -- KELSEY 779-875-7681	20221510	2092 KINGSMILL CT	158		05/15/2023
BF	_____	PM 004-FEL FINAL ELECTRIC Comments1: SOLAR					05/15/2023
GH	_____	002-PHF POST HOLE - FENCE Comments1: RICK 630-361-3567	20221511	103 E CENTER ST			05/22/2023
PR	_____	017-FIN FINAL INSPECTION Comments1: REMY 630-973-6699	20221521	2896 MCLELLAN BLVD	464		05/22/2023
PR	_____	018-FEL FINAL ELECTRIC					05/22/2023
PR	_____	019-FMC FINAL MECHANICAL					05/22/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	020-PLF PLUMBING - FINAL OSR READ					05/22/2023
ED	_____	021-EFL ENGINEERING - FINAL INSPE					05/24/2023
GH	_____ AM	007-BSM BASEMENT FLOOR	20221522	2637 KELLOGG CT	57	05/05/2023	
		Comments1: CANCELLED					
GH	_____ AM	008-GAR GARAGE FLOOR				05/05/2023	
		Comments1: CANCELED					
GH	_____ AM	009-STP STOOP				05/05/2023	
		Comments1: CANCELED					
GH	_____	010-STP STOOP					05/05/2023
		Comments1: FRONT STOOP ONLY					
GH	_____	011-GAR GARAGE FLOOR					05/08/2023
		Comments1: MIDWESTERN					
GH	_____	012-BSM BASEMENT FLOOR					05/08/2023
BF	_____	013-RFR ROUGH FRAMING					05/10/2023
		Comments1: ANDREW 331-431-7342 -- SEE INSPECTION RE					
		Comments2: PORT					
BF	_____	014-REL ROUGH ELECTRICAL					05/10/2023
BF	_____	015-RMC ROUGH MECHANICAL					05/10/2023
PBF	_____	016-PLR PLUMBING - ROUGH					05/10/2023
		Comments1: ANDREW 331-431-7342					
JP	_____ AM	017-INS INSULATION					05/15/2023
		Comments1: ANDREW 331-431-7342					
JP	_____ AM	018-WK SERVICE WALK					05/18/2023
		Comments1: MIDWESTERN 815-839-8175					
BF	_____ PM	001-FIN FINAL INSPECTION	20221524	742 GREENFIELD TURN	103		05/10/2023
		Comments1: SOLAR LOGAN 312-824-9031					
BF	_____ PM	002-FEL FINAL ELECTRIC					05/10/2023
		Comments1: ****REI FEES NEED TO BE PAID BEFORE REIN					
		Comments2: SPECTION SCHEDULED*****					
BF	_____ AM	001-FIN FINAL INSPECTION	20221543	901 OMAHA DR	23		05/09/2023
		Comments1: SOLAR -- EDDIE 773-450-5336 ****PLEASE					
		Comments2: COME TO THIS ADDRESS FIRST****					

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	002-FEL FINAL ELECTRIC					05/09/2023
JP	_____	003-PHF POST HOLE - FENCE Comments1: RUBY 630-912-2635	20221544	1738 JOHN ST			05/10/2023
JP	_____	004-FIN FINAL INSPECTION Comments1: DAN 630-912-2635				05/17/2023	
GH	_____	AM 001-FTG FOOTING Comments1: JUAN CARLOS 847-551-9066	20221546	398 SANTA MONICA ST	127		05/16/2023
GH	_____	PM 002-FOU FOUNDATION Comments1: OSCAR 847-551-9066					05/17/2023
GH	_____	AM 003-BKF BACKFILL Comments1: JUAN CARLOS 847-551-9066					05/22/2023
GH	_____	AM 001-FTG FOOTING Comments1: JUAN CARLOS 847-551-9066	20221547	396 SANTA MONICA ST	128		05/16/2023
GH	_____	PM 002-FOU FOUNDATION Comments1: OSCAR 847-551-9066					05/17/2023
GH	_____	AM 003-BKF BACKFILL Comments1: JUAN CARLOS 847-551-9066					05/22/2023
GH	_____	AM 001-FTG FOOTING Comments1: JUAN CARLOS 847-551-9066	20221548	394 SANTA MONICA ST	129		05/16/2023
GH	_____	PM 002-FOU FOUNDATION Comments1: OSCAR 847-551-9066					05/17/2023
GH	_____	AM 003-BKF BACKFILL Comments1: JUAN CARLOS 847-551-9066					05/22/2023
GH	_____	AM 001-FTG FOOTING Comments1: JUAN CARLOS 847-551-9066	20221549	392 SANTA MONICA ST	130		05/16/2023
GH	_____	PM 002-FOU FOUNDATION Comments1: OSCAR 847-551-9066					05/17/2023
GH	_____	AM 003-BKF BACKFILL Comments1: JUAN CARLOS 847-551-9066					05/22/2023
GH	_____	AM 001-FTG FOOTING Comments1: JUAN CARLOS 847-551-9066	20221550	390 SANTA MONICA ST	131		05/16/2023
GH	_____	PM 002-FOU FOUNDATION Comments1: OSCAR 847-551-9066					05/17/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 29

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	AM 003-BKF BACKFILL Comments1: JUAN CARLOS 847-551-9066					05/22/2023
GH	_____	AM 001-FTG FOOTING Comments1: JUAN CARLOS 847-551-9066	20221551	386 SANTA MONICA ST	132		05/16/2023
GH	_____	PM 002-FOU FOUNDATION Comments1: OSCAR 847-551-9066					05/17/2023
GH	_____	AM 003-BKF BACKFILL Comments1: JUAN CARLOS 847-551-9066					05/22/2023
GH	_____	AM 001-FTG FOOTING Comments1: JUAN CARLOS 847-551-9066	20221552	384 SANTA MONICA ST	133		05/16/2023
GH	_____	PM 002-FOU FOUNDATION Comments1: OSCAR 847-551-9066					05/17/2023
GH	_____	AM 003-BKF BACKFILL Comments1: JUAN CARLOS 847-551-9066					05/22/2023
GH	_____	AM 001-FTG FOOTING Comments1: JUAN CARLOS 847-551-9066	20221553	382 SANTA MONICA ST	134		05/16/2023
GH	_____	PM 002-FOU FOUNDATION Comments1: OSCAR 847-551-9066					05/17/2023
GH	_____	AM 003-BKF BACKFILL Comments1: JUAN CARLOS 847-551-9066					05/22/2023
GH	_____	PM 007-ELU ELECTRICAL - UNDERSLAB Comments1: TOM 312-608-3811	20221554	423 SAN DIEGO LN	135		05/17/2023
GH	_____	AM 008-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS 847-551-9066					05/19/2023
GH	_____	AM 009-GAR GARAGE FLOOR					05/19/2023
GH	_____	AM 010-STP STOOP Comments1: FRONT -- JUAN 847-551-9066					05/22/2023
GH	_____	PM 007-ELU ELECTRICAL - UNDERSLAB Comments1: TOM 312-608-3811	20221555	425 SAN DIEGO LN	136		05/17/2023
GH	_____	AM 008-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS 847-551-9066					05/19/2023
GH	_____	AM 009-GAR GARAGE FLOOR					05/19/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____ AM	010-STP STOOP Comments1: FRONT -- JUAN 847-551-9066					05/22/2023
GH	_____ PM	007-ELU ELECTRICAL - UNDERSLAB Comments1: TOM 312-608-3811	20221556	427 SAN DIEGO LN	137		05/17/2023
GH	_____ AM	008-GAR GARAGE FLOOR					05/19/2023
GH	_____ AM	009-PPS PRE-POUR, SLAB ON GRADE					05/19/2023
GH	_____ AM	010-STP STOOP Comments1: FRONT -- JUAN 847-551-9066					05/22/2023
GH	_____ PM	007-ELU ELECTRICAL - UNDERSLAB Comments1: TOM 312-608-3811	20221557	429 SAN DIEGO LN	138		05/17/2023
GH	_____ AM	008-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS 847-551-9066					05/19/2023
GH	_____ AM	009-GAR GARAGE FLOOR					05/19/2023
GH	_____ AM	010-STP STOOP Comments1: FRONT -- JUAN 847-551-9066					05/22/2023
GH	_____ PM	007-ELU ELECTRICAL - UNDERSLAB Comments1: TOM 312-608-3811	20221558	431 SAN DIEGO LN	139		05/17/2023
GH	_____ AM	008-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS 847-551-9066					05/19/2023
GH	_____ AM	009-GAR GARAGE FLOOR					05/19/2023
GH	_____ AM	010-STP STOOP Comments1: FRONT -- JUAN 847-551-9066					05/22/2023
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: ACTION 630-293-0475	20221559	432 SAN DIEGO LN	140		05/02/2023
GH	_____ PM	007-ELU ELECTRICAL - UNDERSLAB Comments1: TOM 312-608-3811					05/17/2023
GH	_____ AM	008-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS 847-551-9066					05/22/2023
GH	_____ AM	009-GAR GARAGE FLOOR					05/22/2023
GH	_____ AM	010-STP STOOP Comments1: FRONT -- JUAN 847-551-9066					05/22/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	011-PH POST HOLES / PILES					05/22/2023
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: ACTION 630-293-0475	20221560	430 SAN DIEGO LN	141		05/02/2023
GH	_____	PM 007-ELU ELECTRICAL - UNDERSLAB Comments1: TOM 312-608-3811					05/17/2023
GH	_____	AM 008-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS 847-551-9066					05/22/2023
GH	_____	AM 009-GAR GARAGE FLOOR					05/22/2023
GH	_____	AM 010-STP STOOP Comments1: FRONT -- JUAN 847-551-9066					05/22/2023
GH	_____	011-PH POST HOLES / PILES					05/22/2023
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: ACTION 630-293-0475	20221561	428 SAN DIEGO LN	142		05/02/2023
GH	_____	PM 007-ELU ELECTRICAL - UNDERSLAB Comments1: TOM 312-608-3811					05/17/2023
GH	_____	AM 008-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS 847-551-9066					05/22/2023
GH	_____	AM 009-GAR GARAGE FLOOR					05/22/2023
GH	_____	AM 010-STP STOOP Comments1: FRONT -- JUAN 847-551-9066					05/22/2023
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: ACTION 630-293-0475	20221562	426 SAN DIEGO LN	143		05/02/2023
GH	_____	PM 007-ELU ELECTRICAL - UNDERSLAB Comments1: TOM 312-608-3811					05/17/2023
GH	_____	AM 008-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS 847-551-9066					05/22/2023
GH	_____	AM 009-GAR GARAGE FLOOR					05/22/2023
GH	_____	AM 010-STP STOOP Comments1: FRONT -- JUAN 847-551-9066					05/22/2023
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: ACTION 630-293-0475	20221563	424 SAN DIEGO LN	144		05/02/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	PM 007-ELU ELECTRICAL - UNDERSLAB Comments1: TOM 312-608-3811					05/17/2023
GH	_____	AM 008-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS 847-551-9066					05/22/2023
GH	_____	AM 009-GAR GARAGE FLOOR					05/22/2023
GH	_____	AM 010-STP STOOP Comments1: FRONT -- JUAN 847-551-9066					05/22/2023
GH	_____	011-PH POST HOLES / PILES					05/22/2023
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: ACTION 630-293-0475	20221564	422 SAN DIEGO LN	145		05/02/2023
GH	_____	PM 007-ELU ELECTRICAL - UNDERSLAB Comments1: TOM 312-608-3811					05/17/2023
GH	_____	AM 008-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS 847-551-9066					05/22/2023
GH	_____	AM 009-GAR GARAGE FLOOR					05/22/2023
GH	_____	AM 010-STP STOOP Comments1: FRONT -- JUAN 847-551-9066					05/22/2023
GH	_____	011-PH POST HOLES / PILES					05/22/2023
GH	_____	PM 005-ELU ELECTRICAL - UNDERSLAB Comments1: TOM 312-608-3811	20221565	406 SAN DIEGO LN	146		05/17/2023
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: SANDY 293-0475					05/18/2023
GH	_____	AM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: OSCAR 847-551-9066 ALREADY POURED					05/31/2023
GH	_____	AM 008-GAR GARAGE FLOOR Comments1: ALREADY POURED					05/31/2023
GH	_____	PM 005-ELU ELECTRICAL - UNDERSLAB Comments1: TOM 312-608-3811	20221566	404 SAN DIEGO LN	147		05/17/2023
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: SANDY 630-293-0475					05/18/2023
GH	_____	AM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: OSCAR 847-551-9066 ALREADY POURED					05/31/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 33

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____ AM	008-GAR GARAGE FLOOR Comments1: ALREADY POURED					05/31/2023
GH	_____ PM	005-ELU ELECTRICAL - UNDERSLAB Comments1: TOM 312-608-3811	20221567	402 SAN DIEGO LN	148		05/17/2023
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: SANDY 630-293-0475					05/18/2023
GH	_____ AM	007-PPS PRE-POUR, SLAB ON GRADE Comments1: OSCAR 847-551-9066 ALREADY POURED					05/31/2023
GH	_____ AM	008-GAR GARAGE FLOOR Comments1: ALREADY POURED					05/31/2023
BF	_____ AM	002-FOU FOUNDATION Comments1: JUAN 847-551-9066	20221568	372 SANTA MONICA ST	149		05/09/2023
GH	_____ AM	003-BKF BACKFILL Comments1: JUAN 847-551-9066					05/16/2023
PBF	_____ AM	004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					05/17/2023
BF	_____ AM	005-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN 847-551-9066 CANCELED				05/30/2023	
BF	_____ AM	006-GAR GARAGE FLOOR Comments1: CANCELED				05/30/2023	
GH	_____ AM	007-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN 847-551-9066 NOT READY, UG PLUMBING Comments2: NOT INSTALLED					05/31/2023
GH	_____ AM	008-GAR GARAGE FLOOR Comments1: NOT READY				05/31/2023	
BF	_____ AM	002-FOU FOUNDATION Comments1: JUAN 847-551-9066	20221569	374 SANTA MONICA ST	150		05/09/2023
GH	_____ AM	003-BKF BACKFILL Comments1: JUAN 847-551-9066					05/16/2023
PBF	_____ AM	004-ESW ENGINEERING - SEWER / WAT					05/17/2023
BF	_____ AM	005-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN 847-551-9066 CANCELED				05/30/2023	
BF	_____ AM	006-GAR GARAGE FLOOR Comments1: CANCELED				05/30/2023	

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	AM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN 847-551-9066 NOT READY, UG PLUMBING Comments2: NOT INSTALLED					05/31/2023
GH	_____	AM 008-GAR GARAGE FLOOR Comments1: NOT READY					05/31/2023
BF	_____	AM 002-FOU FOUNDATION	20221570	376 SANTA MONICA ST	151		05/09/2023
GH	_____	AM 003-BKF BACKFILL Comments1: JUAN 847-551-9066					05/16/2023
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					05/17/2023
BF	_____	AM 005-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN 847-551-9066 CANCELED				05/30/2023	
BF	_____	AM 006-GAR GARAGE FLOOR Comments1: CANCELED				05/30/2023	
GH	_____	AM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN 847-551-9066 NOT READY, NO UG PLUMB Comments2: ING INSTALLED					05/31/2023
GH	_____	AM 008-GAR GARAGE FLOOR Comments1: NOT READY					05/31/2023
BF	_____	AM 002-FOU FOUNDATION Comments1: JUAN 847-551-9066	20221571	378 SANTA MONICA ST	152		05/09/2023
GH	_____	AM 003-BKF BACKFILL Comments1: JUAN 847-551-9066					05/16/2023
PBF	_____	AM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					05/17/2023
BF	_____	AM 005-PPS PRE-POUR, SLAB ON GRADE Comments1: CANCELED				05/30/2023	
BF	_____	AM 006-GAR GARAGE FLOOR Comments1: CANCELED				05/30/2023	
GH	_____	AM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN 847-551-9066 NOT READY, UG PLUMBING Comments2: NOT INSTALLED					05/31/2023
GH	_____	AM 008-GAR GARAGE FLOOR					05/31/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 35

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	PM 001-FTG FOOTING Comments1: OSCAR 847-551-9066	20221572	362 SANTA MONICA ST	153		05/02/2023
BF	_____	AM 002-FOU FOUNDATION Comments1: JUAN 847-551-9066					05/09/2023
GH	_____	AM 003-BKF BACKFILL Comments1: JUAN 847-551-9066					05/16/2023
PBF	_____	AM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					05/17/2023
BC	_____	PM 001-FTG FOOTING Comments1: OSCAR 847-551-9066	20221573	364 SANTA MONICA ST	154		05/02/2023
BF	_____	AM 002-FOU FOUNDATION Comments1: JUAN 847-551-9066					05/09/2023
GH	_____	AM 003-BKF BACKFILL Comments1: JUAN 847-551-9066					05/16/2023
PBF	_____	AM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					05/17/2023
BC	_____	PM 001-FTG FOOTING Comments1: OSCAR 847-551-9066	20221574	366 SANTA MONICA ST	155		05/02/2023
BF	_____	AM 002-FOU FOUNDATION Comments1: JUAN 847-551-9066					05/09/2023
GH	_____	AM 003-BKF BACKFILL Comments1: JUAN 847-551-9066					05/16/2023
PBF	_____	AM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					05/17/2023
BC	_____	PM 001-FTG FOOTING Comments1: OSCAR 847-551-9066	20221575	368 SANTA MONICA ST	156		05/02/2023
BF	_____	AM 002-FOU FOUNDATION Comments1: JUAN 847-551-9066					05/09/2023
GH	_____	AM 003-BKF BACKFILL Comments1: JUAN 847-551-9066					05/16/2023
PBF	_____	AM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					05/17/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	AM 001-FTG FOOTING Comments1: MW 815-839-8175	20221594	3038 GRANDE TR	539		05/24/2023
BC	_____	PM 002-FOU FOUNDATION Comments1: 815-839-8175 MIDWEST					05/25/2023
JP	_____	016-INS INSULATION Comments1: ANDREW 331-431-7342 SEE INSPECTION NOTES	20221595	2639 KELLOGG CT	56		05/02/2023
JP	_____	AM 017-WK SERVICE WALK Comments1: MIDWESTERN 815-839-8175					05/18/2023
BC	_____	AM 001-RFR ROUGH FRAMING Comments1: ADDITION -- DIANA 630-391-2032	20230001	402 CENTER PKWY	49		05/10/2023
BC	_____	AM 002-REL ROUGH ELECTRICAL					05/10/2023
BC	_____	003-RMC ROUGH MECHANICAL					05/10/2023
PBF	_____	AM 004-PLR PLUMBING - ROUGH Comments1: ADDITION -- DIANA 630-391-2032					05/10/2023
JP	_____	AM 016-WKS PUBLIC & SERVICE WALKS Comments1: MIDWESTERN 815-839-8175	20230003	652 TIMBER OAK LN	47		05/19/2023
GH	_____	015-WKS PUBLIC & SERVICE WALKS Comments1: CHRIS 224-358-1606	20230014	2769 BERRYWOOD LN	789		05/24/2023
GH	_____	015-WKS PUBLIC & SERVICE WALKS Comments1: CHRIS 224-358-1606	20230015	2773 BERRYWOOD LN	790		05/24/2023
BF	_____	011-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606	20230016	2602 SEELEY ST	752		05/01/2023
BF	_____	012-REL ROUGH ELECTRICAL					05/01/2023
BF	_____	013-RMC ROUGH MECHANICAL					05/01/2023
PBF	_____	014-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					05/01/2023
JP	_____	015-INS INSULATION Comments1: CHRIS 224-358-1606					05/03/2023
ED	_____	016-ADA ADA ACCESSIBLE WALK WAY	20230017	2601 SEELEY ST	835		05/25/2023
GH	_____	017-WKS PUBLIC & SERVICE WALKS Comments1: CHRIS 224-358-1606					05/24/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 37

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	_____ AM	010-STP STOOP Comments1: COMEX 847-551-9066	20230020	625 BRAEMORE LN	530		05/03/2023
BF	_____ PM	011-RFR ROUGH FRAMING Comments1: JEFF 847-456-8082					05/17/2023
BF	_____ PM	012-REL ROUGH ELECTRICAL					05/17/2023
BF	_____ PM	013-RMC ROUGH MECHANICAL					05/17/2023
PBF	_____ PM	014-PLR PLUMBING - ROUGH Comments1: JEFF 847-456-8082					05/17/2023
BC	_____	015-INS INSULATION Comments1: JEFF 847-456-8082					05/22/2023
JP	_____	008-GPL GREEN PLATE INSPECTION Comments1: JEFF 847-456-8082	20230021	2425 FAIRFIELD AVE	490		05/15/2023
JP	_____ AM	010-STP STOOP Comments1: JUAN CARLOS 847-551-9066	20230022	2334 RICHMOND AVE	478		05/18/2023
JP	_____ AM	011-PHD POST HOLE - DECK					05/18/2023
JP	_____ AM	010-STP STOOP Comments1: FR AND REAR - JUAN 847-551-9066	20230023	645 BRAEMORE LN	529		05/16/2023
BF	_____	011-RFR ROUGH FRAMING Comments1: JEFF 847-456-8082					05/25/2023
BF	_____	012-REL ROUGH ELECTRICAL					05/25/2023
BF	_____	013-RMC ROUGH MECHANICAL					05/25/2023
PBF	_____	014-PLR PLUMBING - ROUGH Comments1: JEFF 847-456-8082					05/25/2023
BF	_____	015-INS INSULATION Comments1: JEFF 847-456-8082					05/31/2023
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: JEFF 847-456-8082	20230024	522 COACH RD	409		05/11/2023
BC	_____	012-RFR ROUGH FRAMING Comments1: JEFF 847-456-8082					05/12/2023
BC	_____	013-REL ROUGH ELECTRICAL					05/12/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	014-RMC ROUGH MECHANICAL					05/12/2023
JP	_____	015-INS INSULATION Comments1: JEFF 847-456-8082					05/17/2023
BC	_____	011-RFR ROUGH FRAMING Comments1: JEFF 847-456-8082	20230025	510 COACH RD	410		05/03/2023
BC	_____	012-REL ROUGH ELECTRICAL					05/03/2023
BC	_____	013-RMC ROUGH MECHANICAL					05/03/2023
PBF	_____	014-PLR PLUMBING - ROUGH Comments1: JEFF 847-456-8082					05/03/2023
JP	_____	015-INS INSULATION Comments1: JEFF 847-456-8082					05/08/2023
JP	_____	AM 016-WKS PUBLIC & SERVICE WALKS Comments1: JUAN 847-551-9066					05/12/2023
ED	_____	017-ADA ADA ACCESSIBLE WALK WAY					05/12/2023
BC	_____	015-WKS PUBLIC & SERVICE WALKS Comments1: MIDWESTERN 815-839-8175	20230027	3031 GRANDE TR	531		05/22/2023
JP	_____	AM 016-PHD POST HOLE - DECK Comments1: MW 815-839-8175				05/26/2023	
BC	_____	013-RFR ROUGH FRAMING Comments1: AUSTIN 630-720-1287 FIREBLOCK BASEMENT W Comments2: ALLS	20230028	3096 GRANDE TR	549		05/03/2023
BC	_____	014-REL ROUGH ELECTRICAL					05/03/2023
BC	_____	015-RMC ROUGH MECHANICAL					05/03/2023
PBF	_____	016-PLR PLUMBING - ROUGH Comments1: AUSTIN 630-720-1287					05/03/2023
JP	_____	017-INS INSULATION Comments1: AUSTIN 630-720-1287					05/08/2023
BC	_____	018-REI REINSPECTION Comments1: ROUGH FRAMING AUSTIN 630-720-1287					05/04/2023
GH	_____	AM 019-WK SERVICE WALK Comments1: MW 815-839-8175					05/24/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF		PM 001-FIN FINAL INSPECTION Comments1: SOLAR ZACH 708-738-4094	20230050	2002 DEERPOINT LN			05/31/2023
BF		PM 002-FEL FINAL ELECTRIC Comments1: *****NEED REI FEE PAID BEFORE RESCHEDU Comments2: LING*****				05/31/2023	
JP		015-INS INSULATION Comments1: AUSTIN 630-720-1287	20230051	3029 GRANDE TR	532		05/03/2023
GH		016-REI REINSPECTION Comments1: AUSTIN 630-720-1287					05/01/2023
BC		017-WKS PUBLIC & SERVICE WALKS Comments1: MIDWESTERN 815-839-8175					05/22/2023
JP		018-PHD POST HOLE - DECK Comments1: MW 815-839-8175				05/26/2023	
GH		AM 016-WKS PUBLIC & SERVICE WALKS Comments1: MW 815-839-8175	20230052	3044 GRANDE TR	540		05/24/2023
ED		017-ADA ADA ACCESSIBLE WALK WAY					05/25/2023
JP		018-PHD POST HOLE - DECK Comments1: MW 815-839-8175				05/26/2023	
GH		AM 001-FTG FOOTING Comments1: MIDWESTERN 815-839-8175	20230053	2748 CURTIS CT	122		05/19/2023
BC		002-FOU FOUNDATION Comments1: MIDWESTERN 815-839-8175					05/22/2023
PBF		PM 003-WAT WATER Comments1: AL'S/LOUISE 630-492-7635					05/25/2023
BF		AM 004-BKF BACKFILL Comments1: MIDWESTERN 815-839-8175					05/30/2023
JP		005-GPL GREEN PLATE INSPECTION Comments1: ANDREW 331-431-7342	20230054	2738 ELLORY CT	133		05/01/2023
GH		AM 006-BSM BASEMENT FLOOR Comments1: MIDWESTERN 815-839-8175					05/17/2023
GH		AM 007-GAR GARAGE FLOOR Comments1: MIDWESTERN 815-839-8175					05/19/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 40

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	008-STP STOOP Comments1: FR AND R					05/19/2023
BF	_____	PM 009-RFR ROUGH FRAMING Comments1: ANDREW 331-431-7342 SEE INSPECTION REPOR Comments2: T					05/25/2023
BF	_____	PM 010-REL ROUGH ELECTRICAL					05/25/2023
BF	_____	PM 011-RMC ROUGH MECHANICAL					05/25/2023
PBF	_____	PM 012-PLR PLUMBING - ROUGH Comments1: ANDREW 331-431-7342					05/25/2023
BC	_____	013-INS INSULATION Comments1: ANDREW 331-431-7342					05/30/2023
GH	_____	009-GPL GREEN PLATE INSPECTION Comments1: JEFF 847-456-8082 MISSING ANCHOR BOLTS A Comments2: T GARAGE	20230058	534 COACH RD	408		05/22/2023
JP	_____	PM 008-GPL GREEN PLATE INSPECTION Comments1: JEFF 847-456-8082	20230059	2422 FAIRFIELD AVE	542		05/02/2023
BC	_____	004-BKF BACKFILL	20230068	2739 ELLORY CT	132		05/01/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: ANDREW 331-431-7342					05/05/2023
JP	_____	AM 006-GPL GREEN PLATE INSPECTION Comments1: NICK 630-988-0169					05/10/2023
GH	_____	AM 007-BSM BASEMENT FLOOR Comments1: MIDWESTERN 815-839-8175					05/17/2023
GH	_____	AM 008-GAR GARAGE FLOOR Comments1: MW 815-839-8175					05/24/2023
GH	_____	010-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606	20230095	2666 SEELEY ST	736		05/09/2023
GH	_____	011-REL ROUGH ELECTRICAL					05/09/2023
GH	_____	012-RMC ROUGH MECHANICAL					05/09/2023
PBF	_____	013-PLF PLUMBING - FINAL OSR READ Comments1: CHRIS 224-358-1606					05/09/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 41

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP		014-INS INSULATION Comments1: CHRIS 224-358-1606					05/12/2023
PBF		PM 003-WAT WATER Comments1: ALS 630-492-7635	20230097	3122 JETER CT	498		05/05/2023
PBF		PM 004-PLU PLUMBING - UNDERSLAB Comments1: IAN 630-445-2500					05/10/2023
JP		005-GPL GREEN PLATE INSPECTION Comments1: IAN 630-445-2500					05/15/2023
JP		PM 009-STP STOOP Comments1: FRONT AND REAR -- MIDWESTERN 815-839-817 Comments2: 5	20230099	3112 JETER CT	497		05/15/2023
GH		010-RFR ROUGH FRAMING Comments1: AUSTIN 630-720-1287 FIREBLOCKING					05/18/2023
GH		011-REL ROUGH ELECTRICAL					05/18/2023
GH		012-RMC ROUGH MECHANICAL					05/18/2023
PBF		013-PLR PLUMBING - ROUGH Comments1: AUSTIN 630-720-1287					05/18/2023
BC		014-INS INSULATION Comments1: AUSTIN 630-720-1287					05/22/2023
GH		AM 015-WK SERVICE WALK Comments1: MW 815-839-8175					05/24/2023
BC		AM 003-FTG FOOTING Comments1: MIDWESTERN 815-839-8175	20230100	721 ASH CT	12		05/03/2023
BF		PM 004-FOU FOUNDATION Comments1: MIDWESTERN 815-839-8175					05/11/2023
BC		AM 005-BKF BACKFILL Comments1: MW 815-839-8175					05/25/2023
PR		001-RFR ROUGH FRAMING Comments1: REMODEL -- BRAD 630-803-2787	20230101	2956 ELLSWORTH DR	361		05/19/2023
PR		002-REL ROUGH ELECTRICAL					05/19/2023
PR		003-RMC ROUGH MECHANICAL					05/19/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	004-PLR PLUMBING - ROUGH					05/19/2023
BC	_____	AM 001-FTG FOOTING Comments1: MIDWESTERN 815-839-8175	20230106	2751 CURTIS CT	120		05/01/2023
BC	_____	AM 002-FOU FOUNDATION Comments1: MIDWESTERN 815-839-8175					05/02/2023
GH	_____	PM 003-BKF BACKFILL Comments1: mw 815-839-8175					05/05/2023
PBF	_____	PM 004-WAT WATER Comments1: 630-492-7635 AL'S WORK NOT DONE					05/11/2023
PBF	_____	AM 005-WAT WATER Comments1: ALS 630-492-7635					05/15/2023
PBF	_____	AM 006-PLU PLUMBING - UNDERSLAB Comments1: NICK 630-988-0169					05/15/2023
JP	_____	AM 007-GPL GREEN PLATE INSPECTION Comments1: ANDREW 331-431-7342					05/16/2023
BC	_____	PM 008-BSM BASEMENT FLOOR Comments1: MW 815-839-8175					05/26/2023
BC	_____	PM 009-GAR GARAGE FLOOR					05/26/2023
GH	_____	AM 001-FTG FOOTING Comments1: MIDWESTERN 815-839-8175	20230107	2750 CURTIS CT	121		05/04/2023
GH	_____	PM 002-FOU FOUNDATION Comments1: MW 815-839-8175					05/05/2023
BC	_____	PM 003-BKF BACKFILL Comments1: MIDWESTERN 818-839-8175					05/10/2023
PBF	_____	PM 004-WAT WATER Comments1: 630-492-7635 AL'S WORK NOT DONE					05/11/2023
PBF	_____	AM 005-WAT WATER Comments1: ALS 630-492-7635					05/15/2023
PBF	_____	AM 006-PLU PLUMBING - UNDERSLAB Comments1: ANDREW 331-431-7342					05/18/2023
GH	_____	AM 007-BSM BASEMENT FLOOR Comments1: MW 815-839-8175					05/24/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 43

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	AM 008-GAR GARAGE FLOOR					05/24/2023
GH	_____	AM 009-STP STOOP Comments1: FRONT & REAR					05/24/2023
BC	_____	010-GPL GREEN PLATE INSPECTION Comments1: ANDREW 331-431-7342					05/25/2023
BC	_____	AM 001-FTG FOOTING Comments1: MIDWESTERN 815-839-8175	20230108	2746 CURTIS CT	123		05/12/2023
GH	_____	AM 002-FOU FOUNDATION Comments1: MIDWESTERN 815-839-8175					05/18/2023
PBF	_____	PM 003-WAT WATER Comments1: ALS 630-492-7635 -- CANCELED TOO LATE-- Comments2: REI FEE					05/22/2023
PBF	_____	PM 004-WAT WATER Comments1: ALS 630-492-7635					05/23/2023
GH	_____	AM 005-BKF BACKFILL Comments1: MW 815-839-8175					05/24/2023
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: ANDREW 331-431-7342					05/26/2023
BF	_____	AM 007-BSM BASEMENT FLOOR Comments1: MIDWESTERN 815-839-8175					05/30/2023
BF	_____	AM 008-GAR GARAGE FLOOR					05/30/2023
PR	_____	AM 009-GPL GREEN PLATE INSPECTION				05/31/2023	
BF	_____	AM 001-FIN FINAL INSPECTION Comments1: SOLAR JOSH 224-330-9458 -- REI FEE NEEDS Comments2: TO BE PAID BEFORE REINSPECT SCHEDULED	20230109	2956 ELLSWORTH DR	361		05/01/2023
BF	_____	AM 002-FEL FINAL ELECTRIC					05/01/2023
BF	_____	PM 003-REI REINSPECTION Comments1: SOLAR JOSH 224-330-9458					05/11/2023
BC	_____	002-FIN FINAL INSPECTION Comments1: CLEAN EDGE 630-364-0224 FIRE FOAM ALL TO Comments2: P PLATE PENETRATIONS	20230117	1954 CONEFLOWER CT	148		05/03/2023
BC	_____	003-FEL FINAL ELECTRIC Comments1: 2ND GROUND ROD MUST BE A MINIMUM OF 6FT Comments2: FROM IST ROD					05/03/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC		004-GPL GREEN PLATE INSPECTION Comments1: ADD ONE ACHOR BOLET AT BOTTOM PLATE EACH Comments2: SIDE OF GARAGE DOOR					05/03/2023
BC		005-REI REINSPECTION Comments1: RFR					05/05/2023
BC		006-REI REINSPECTION Comments1: REL					05/05/2023
BC		007-INS INSULATION					05/05/2023
JP		002-FIN FINAL INSPECTION Comments1: DAN 630-912-2635	20230118	1738 JOHN ST		05/17/2023	
BC		AM 004-BKF BACKFILL Comments1: JUAN 847-551-9066	20230119	2120 COUNTRY HILLS DR	452		05/01/2023
GH		AM 005-BKF BACKFILL Comments1: JUAN 847-551-9066					05/02/2023
PBF		PM 006-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					05/03/2023
PBF		007-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082					05/10/2023
BF		AM 008-GAR GARAGE FLOOR Comments1: JUAN 847-551-9066					05/11/2023
BF		AM 009-BSM BASEMENT FLOOR					05/11/2023
BC		AM 001-BND POOL BONDING Comments1: BILL 630-639-8506 IGP	20230120	1221 PATRICK CT	16		05/25/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: DAR 224-587-6429	20230139	363 BERTRAM DR	1109		05/09/2023
GH		AM 002-FOU FOUNDATION Comments1: JUAN 847-551-9066	20230154	2176 COUNTRY HILLS DR	454		05/02/2023
BC		PM 003-BKF BACKFILL Comments1: OSCAR 847-551-9066					05/05/2023
PBF		PM 004-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					05/15/2023
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082					05/19/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 45

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____ AM	006-BSM BASEMENT FLOOR Comments1: JUAN 847-551-9066					05/30/2023
BC	_____ AM	007-GAR GARAGE FLOOR					05/30/2023
GH	_____ AM	001-FTG FOOTING Comments1: JUAN 847-551-9066	20230155	2110 TREMONT AVE	461		05/05/2023
BF	_____ AM	002-FOU FOUNDATION Comments1: JUAN 847-551-9066					05/22/2023
BC	_____ AM	003-BKF BACKFILL Comments1: JUAN 847-551-9066					05/25/2023
PBF	_____ PM	004-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001				05/30/2023	
GH	_____ PM	002-FOU FOUNDATION Comments1: JUAN 847-551-9066	20230156	2154 TREMONT AVE	465		05/02/2023
BC	_____ PM	003-BKF BACKFILL Comments1: OSCAR 847-551-9066					05/05/2023
PBF	_____ PM	004-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					05/15/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082					05/19/2023
BC	_____ AM	006-BSM BASEMENT FLOOR Comments1: JUAN 847-551-9066					05/30/2023
BC	_____ AM	007-GAR GARAGE FLOOR					05/30/2023
GH	_____ AM	002-FOU FOUNDATION Comments1: JUAN 847-551-9066	20230157	2144 TREMONT AVE	464		05/04/2023
GH	_____ AM	003-BKF BACKFILL Comments1: OSCAR 847-551-9066					05/09/2023
PBF	_____ PM	004-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					05/15/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082					05/19/2023
GH	_____ AM	002-FOU FOUNDATION Comments1: OSCAR 847-551-9066	20230158	2134 TREMONT AVE	463		05/09/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF		AM 003-BKF BACKFILL Comments1: JUAN 847-551-9066					05/16/2023
PBF		PM 004-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					05/22/2023
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082				05/30/2023	
GH		AM 001-FTG FOOTING Comments1: JUAN 847-551-9066	20230159	2124 TREMONT AVE	462		05/05/2023
BF		AM 002-FOU FOUNDATION Comments1: JUAN 847-551-9066					05/11/2023
BF		AM 003-BKF BACKFILL Comments1: JUAN 847-551-9066					05/16/2023
PBF		PM 004-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					05/22/2023
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082				05/30/2023	
BF		AM 001-FTG FOOTING Comments1: JUAN 847-551-9066	20230160	2104 TREMONT AVE	460		05/15/2023
BF		AM 002-REI REINSPECTION Comments1: FOOTING JUAN 847-551-9066					05/16/2023
BC		AM 003-FOU FOUNDATION Comments1: JUAN 847-551-9066					05/24/2023
PBF		PM 004-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001				05/30/2023	
BC		AM 005-BKF BACKFILL Comments1: JUAN 847-551-9066					05/30/2023
BC		AM 004-BKF BACKFILL Comments1: JUAN 847-551-9066 (((CANCELED)))	20230161	2144 COUNTRY HILLS DR	453		05/01/2023
GH		AM 005-BKF BACKFILL Comments1: JUAN 847-551-9066					05/02/2023
PBF		PM 006-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					05/03/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF		007-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082					05/10/2023
BF	AM	008-GAR GARAGE FLOOR Comments1: JUAN 847-551-9066					05/11/2023
BF	AM	009-BSM BASEMENT FLOOR					05/11/2023
BC	PM	001-BND POOL BONDING Comments1: TERESA 630-917-5380	20230162	403 E BARBERRY CIR	157		05/22/2023
BC	PM	002-TRN TRENCH - (GAS, ELECTRIC,					05/22/2023
BF		012-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606	20230164	2662 SEELEY ST	737		05/26/2023
BF		013-REL ROUGH ELECTRICAL					05/26/2023
BF		014-RMC ROUGH MECHANICAL					05/26/2023
PBF		015-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					05/26/2023
BC		016-INS INSULATION Comments1: CHRIS 224-358-1606				05/31/2023	
BC		011-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606 SEE INSPECTION REPORT	20230165	2661 SEELEY ST	823		05/22/2023
BC		012-REL ROUGH ELECTRICAL					05/22/2023
BC		013-RMC ROUGH MECHANICAL					05/22/2023
PBF		014-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					05/22/2023
BC		015-INS INSULATION Comments1: CHRIS 224-358-1606					05/25/2023
BC		016-REI REINSPECTION Comments1: ROUGH FRAMING -- CHRIS 224-358-1606					05/25/2023
BC		017-REI REINSPECTION Comments1: ROUGH MECHANICAL					05/25/2023
GH		011-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606	20230166	2671 SEELEY ST	824		05/15/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	012-REL ROUGH ELECTRICAL					05/15/2023
GH	_____	013-RMC ROUGH MECHANICAL					05/15/2023
PBF	_____	014-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					05/15/2023
JP	_____	015-INS INSULATION Comments1: CHRIS 224-358-1606					05/17/2023
BC	_____	PM 009-RFR ROUGH FRAMING Comments1: IAN 630-445-2500	20230192	3088 GRANDE TR	547		05/12/2023
BC	_____	PM 010-REL ROUGH ELECTRICAL					05/12/2023
BC	_____	PM 011-RMC ROUGH MECHANICAL					05/12/2023
PBF	_____	AM 012-PLR PLUMBING - ROUGH Comments1: IAN 630-445-2500					05/15/2023
JP	_____	PM 013-STP STOOP Comments1: FRONT MIDWESTERN 815-839-8175					05/15/2023
JP	_____	014-INS INSULATION Comments1: AUSTIN 630-720-1287					05/17/2023
GH	_____	AM 015-WK SERVICE WALK Comments1: MW 815-839-8175					05/24/2023
BF	_____	PM 001-FIN FINAL INSPECTION Comments1: SOLAR ZACH 708-738-4094	20230194	406 W MADISON ST			05/16/2023
BF	_____	PM 002-FEL FINAL ELECTRIC Comments1: SOLAR ZACH 708-738-4094					05/16/2023
JP	_____	001-PPS PRE-POUR, SLAB ON GRADE	20230202	3133 MATLOCK DR	652		05/01/2023
PR	09:00	001-FTG FOOTING Comments1: TOM 319-939-7463	20230204	28 E SCHOOLHOUSE RD	1	05/17/2023	
PR	14:30	002-FOU FOUNDATION Comments1: TOM 319-939-7463				05/17/2023	
BC	_____	PM 002-FIN FINAL INSPECTION Comments1: AGP -----ALEX 630-688-3977 -- SEE INSPEC Comments2: TION REPORT	20230215	358 SUTTON ST	219		05/01/2023
BC	_____	PM 003-FIN FINAL INSPECTION Comments1: POOL -- ALEX 630-688-3977					05/26/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 49

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC		001-FTG FOOTING Comments1: M.W. 815-839-8175	20230217	2747 CURTIS CT	118		05/26/2023
BF		PM 002-FOU FOUNDATION Comments1: MIDWESTERN 815-839-8175				05/31/2023	
JP		AM 009-STP STOOP Comments1: FRONT -- MIDWESTERN 815-839-8175	20230218	3068 GRANDE TR	543		05/15/2023
GH		AM 010-WK SERVICE WALK Comments1: MW 815-839-8175					05/24/2023
BF		011-RFR ROUGH FRAMING Comments1: AUSTIN 630-720-1287 -- SEE INSPECTION RE Comments2: PORT					05/26/2023
BF		012-REL ROUGH ELECTRICAL					05/26/2023
BF		013-RMC ROUGH MECHANICAL					05/26/2023
PBF		014-PLR PLUMBING - ROUGH Comments1: AUSTIN 630-720-1287					05/26/2023
GH		AM 008-STP STOOP Comments1: FRONT AND BACK -- MW 815-839-8175 ADD S Comments2: TONE AT REAR STOOP	20230219	2641 KELLOGG CT	55		05/05/2023
BC		009-RFR ROUGH FRAMING Comments1: ANDREW 331-431-7342					05/11/2023
BC		010-REL ROUGH ELECTRICAL					05/11/2023
BC		011-RMC ROUGH MECHANICAL					05/11/2023
PBF		012-PLR PLUMBING - ROUGH Comments1: ANDREW 331-431-7342					05/11/2023
JP		AM 013-INS INSULATION Comments1: ANDREW 331-431-7342					05/16/2023
JP		AM 014-WK SERVICE WALK Comments1: MIDWESTERN 815-839-8175					05/18/2023
GH		AM 007-BSM BASEMENT FLOOR Comments1: MIDWESTERN 815-839-8175	20230220	2640 KELLOGG CT	47		05/03/2023
GH		008-RFR ROUGH FRAMING Comments1: ANDREW 331-431-7342					05/18/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH		009-REL ROUGH ELECTRICAL Comments1: MISSING LIGHT AT ATTIC ACCESS					05/18/2023
GH		010-RMC ROUGH MECHANICAL					05/18/2023
PBF		011-PLR PLUMBING - ROUGH Comments1: ANDREW 331-431-7342					05/18/2023
GH		012-INS INSULATION Comments1: ANDREW 331-431-7342					05/22/2023
JP	AM	013-WK SERVICE WALK Comments1: MIDWESTERN 815-839-8175					05/18/2023
GH	AM	014-REI REINSPECTION Comments1: REL -- NICK 630-988-0169					05/19/2023
BC	PM	001-FIN FINAL INSPECTION Comments1: TESLA CHARGER -- COLE	20230225	3977 SHOEGER DR	37		05/01/2023
BF		009-RFR ROUGH FRAMING Comments1: JEFF	20230229	791 WINDETT RIDGE RD	89		05/22/2023
BF		010-REL ROUGH ELECTRICAL					05/22/2023
BF		011-RMC ROUGH MECHANICAL					05/22/2023
PBF		012-PLR PLUMBING - ROUGH Comments1: JEFF 847-456-8082					05/22/2023
JP		013-INS INSULATION Comments1: JEFF 847-456-8082					05/25/2023
PBF		014-SUM SUMP Comments1: VERUNA					05/25/2023
JP	AM	010-STP STOOP Comments1: OSCAR 847-551-9066	20230230	801 WINDETT RIDGE RD	90		05/10/2023
BF		011-RFR ROUGH FRAMING Comments1: JEFF 847-456-8082				05/31/2023	
BF		012-REL ROUGH ELECTRICAL				05/31/2023	
BF		013-RMC ROUGH MECHANICAL				05/31/2023	
PBF		014-PLR PLUMBING - ROUGH Comments1: JEFF 847-456-8082					05/31/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 51

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	016-SUM SUMP					05/25/2023
JP	_____	008-GPL GREEN PLATE INSPECTION	20230231	821 WINDETT RIDGE RD	91		05/09/2023
		Comments1: JEFF 847-456-8082					
PBF	_____	005-PLU PLUMBING - UNDERSLAB	20230232	831 WINDETT RIDGE RD	92		05/01/2023
		Comments1: JEFF 847-456-8082					
BC	_____ AM	006-GAR GARAGE FLOOR					05/03/2023
		Comments1: JUAN 847-551-9066					
BC	_____ AM	007-BSM BASEMENT FLOOR					05/03/2023
PBF	_____	008-SUM SUMP					05/25/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB	20230233	841 WINDETT RIDGE RD	93		05/01/2023
		Comments1: JEFF 847-456-8082					
BC	_____	006-BSM BASEMENT FLOOR					05/03/2023
		Comments1: COMEX					
BC	_____	007-GAR GARAGE FLOOR					05/03/2023
PBF	_____	008-SUM SUMP					05/25/2023
GH	_____ AM	003-BKF BACKFILL	20230237	343 FONTANA DR	59		05/09/2023
		Comments1: KEN 630-546-0735 ALREADY BACKFILLED AT 8					
		Comments2: :10 AM					
PR	_____	004-FOU FOUNDATION					05/01/2023
		Comments1: KEN 630-546-0735					
BC	_____ PM	001-BND POOL BONDING	20230241	471 W SOMONAUK ST		05/31/2023	
		Comments1: ROB 630-746-0200					
BC	_____ PM	002-TRN TRENCH - (GAS, ELECTRIC,				05/31/2023	
PBF	_____ PM	004-ESW ENGINEERING - SEWER / WAT	20230245	861 WINDETT RIDGE RD	95		05/02/2023
		Comments1: CATHY 630-387-2001					
PBF	_____	005-PLU PLUMBING - UNDERSLAB					05/10/2023
		Comments1: JEFF 847-456-8082					
BF	_____ AM	006-BSM BASEMENT FLOOR					05/16/2023
		Comments1: JUAN 847-551-9066					
BF	_____ AM	007-GAR GARAGE FLOOR					05/16/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	AM 001-FTG FOOTING Comments1: JUAN 847-551-9066	20230246	881 WINDETT RIDGE RD	97		05/24/2023
JP	_____	008-GPL GREEN PLATE INSPECTION Comments1: JEFF 847-456-8082	20230247	834 WINDETT RIDGE RD	100		05/16/2023
BF	_____	AM 001-FTG FOOTING Comments1: JUAN 847-551-9066	20230248	871 WINDETT RIDGE RD	96		05/22/2023
GH	_____	AM 002-FOU FOUNDATION Comments1: JUAN 847-551-9066					05/31/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082	20230249	851 WINDETT RIDGE RD	94		05/01/2023
GH	_____	AM 006-BSM BASEMENT FLOOR Comments1: JUAN 847-551-9066					05/04/2023
GH	_____	AM 007-GAR GARAGE FLOOR					05/04/2023
PBF	_____	008-SUM SUMP					05/25/2023
BF	_____	AM 002-FOU FOUNDATION Comments1: CARLOS 847-551-9066	20230250	802 WINDETT RIDGE RD	102		05/16/2023
PBF	_____	PM 003-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					05/22/2023
BF	_____	AM 004-BKF BACKFILL Comments1: JUAN 847-551-9066					05/22/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082				05/30/2023	
BC	_____	AM 002-FOU FOUNDATION Comments1: JUAN 847-551-9066	20230251	822 WINDETT RIDGE RD	101		05/10/2023
BF	_____	AM 003-BKF BACKFILL Comments1: JUAN 847-551-9066					05/16/2023
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					05/22/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082				05/30/2023	
BC	_____	PM 002-BND POOL BONDING Comments1: ERIN 630-346-9808	20230252	1401 WHITE PINE CT	102		05/01/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 53

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF		003-FIN FINAL INSPECTION Comments1: ABOVE GROUND POOL FINAL- ERIN Comments2: 08	630-346-98				05/16/2023
JP		AM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO CHUY -- 630-330-7580	20230257	841 GREENFIELD TURN	48		05/10/2023
JP		001-PPS PRE-POUR, SLAB ON GRADE Comments1: FELIPE 815-992-7100, PATIO AND Comments2: ALK PASSED	20230259	2182 HEARTHSTONE AVE SERVICE W	437		05/05/2023
GH		AM 001-PHD POST HOLE - DECK Comments1: ADAM 630-486-2502	20230261	2326 HOBBS LN	142		05/31/2023
BC		001-FIN FINAL INSPECTION Comments1: WINDOWS SAMANTHA 603-521-0444	20230262	1607 COTTONWOOD TR	3		05/03/2023
BC		AM 002-REI REINSPECTION Comments1: ANDREA 815-690-3907	20230265	206 E WASHINGTON ST			05/23/2023
GH		001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- TRAVIS 630-688-4528	20230268	2885 ROOD ST	320		05/31/2023
BF		AM 001-PHD POST HOLE - DECK Comments1: ADAM 630-486-2502	20230270	2277 NORTHLAND LN	100		05/30/2023
BC		003-FIN FINAL INSPECTION Comments1: DECK -- ANDREW 630-709-4752	20230272	3053 GRANDE TR	558		05/02/2023
JP	14:00	001-PHF POST HOLE - FENCE Comments1: MONICA 630-327-7066	20230274	3082 GRANDE TR	546		05/05/2023
BC		002-FOU FOUNDATION Comments1: RYAN 630-465-6655	20230275	503 GAME FARM RD			05/04/2023
BC		AM 003-PPS PRE-POUR, SLAB ON GRADE Comments1: CRAWL SPACE -- GRANT 630-465-6655					05/09/2023
BC		AM 004-BKF BACKFILL					05/09/2023
BC		AM 005-GPL GREEN PLATE INSPECTION Comments1: ADDITION -- GRANT 630-465-6655					05/12/2023
BF		006-FTG FOOTING					05/15/2023
GH		007-FOU FOUNDATION Comments1: GRANT 630-465-6655					05/18/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 54

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	_____ AM	002-FIN FINAL INSPECTION Comments1: SHED TOM 630-222-2123	20230289	943 WESTERN LN	92		05/23/2023
BF	_____ AM	001-FIN FINAL INSPECTION Comments1: SOLAR -- PHILIP 518-859-6282	20230292	3138 JUSTICE DR	611		05/26/2023
BF	_____ AM	002-FEL FINAL ELECTRIC					05/26/2023
GH	_____ AM	004-GAR GARAGE FLOOR Comments1: CHRIS 224-358-1606 TAPE PVC	20230295	3810 BISSEL DR	1254		05/15/2023
GH	_____ AM	005-PPS PRE-POUR, SLAB ON GRADE					05/15/2023
GH	_____ AM	004-GAR GARAGE FLOOR Comments1: CHRIS 224-358-1606 TAPE PVC	20230296	3812 BISSEL DR	1253		05/15/2023
GH	_____ AM	005-PPS PRE-POUR, SLAB ON GRADE					05/15/2023
GH	_____ AM	004-GAR GARAGE FLOOR Comments1: CHRIS 224-358-1606 TAPE PVC	20230297	3820 BISSEL DR	1252		05/15/2023
GH	_____ AM	005-PPS PRE-POUR, SLAB ON GRADE					05/15/2023
GH	_____ AM	004-GAR GARAGE FLOOR Comments1: CHRIS 224/358-1606 TAPE PVC	20230298	3822 BISSEL DR	1251		05/15/2023
GH	_____ AM	005-BSM BASEMENT FLOOR					05/15/2023
JP	_____ AM	002-PPS PRE-POUR, SLAB ON GRADE	20230306	2223 FAIRFIELD AVE	368		05/09/2023
BC	_____	003-RFR ROUGH FRAMING Comments1: DECK -- CHRIS 630-330-8038					05/24/2023
JP	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO UPPER DECK 815-274-0043	20230309	4045 BRADY ST	10		05/02/2023
BC	_____	001-FTG FOOTING Comments1: JUAN 847-551-9066	20230312	1920 RAINTREE RD	4		05/26/2023
BC	_____	001-FTG FOOTING Comments1: JUAN 847-551-9066	20230313	2093 INGEMUNSON LN	147		05/26/2023
BF	_____ AM	001-FTG FOOTING Comments1: JUAN 847-551-9066	20230316	2212 COUNTRY HILLS DR	455		05/22/2023
BC	_____ PM	001-FTG FOOTING Comments1: JUAN 847-551-9066	20230317	2131 TREMONT AVE	456		05/26/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 55

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	_____	001-PHF POST HOLE - FENCE	20230319	15 CANNONBALL TR			05/01/2023
		Comments1: LUIS 331-300-9061					
JP	_____ AM	002-PHF POST HOLE - FENCE					05/05/2023
		Comments1: LUIS 331-575-0890					
BF	_____ AM	001-FIN FINAL INSPECTION	20230323	306 W WASHINGTON ST			05/01/2023
		Comments1: SOLAR -- JOSH 224-330-9458 ***PLEASE DO					
		Comments2: THIS ONE FIRST*****					
BF	_____ AM	002-FEL FINAL ELECTRIC					05/01/2023
BF	_____ AM	001-PHF POST HOLE - FENCE	20230325	202 CHURCH ST			05/30/2023
		Comments1: EARLY AM -- JOAQUIN 630-631-3616					
BC	_____ PM	003-REL ROUGH ELECTRICAL	20230327	3164 JUSTICE DR	605		05/02/2023
		Comments1: MATT 630-341-9057 REPLACE BREAKER #24 WI					
		Comments2: TH 20 AMP BREAKER -- REINSPECT AT FINAL					
BC	_____ PM	004-INS INSULATION					05/02/2023
PR	_____ AM	005-PLR PLUMBING - ROUGH					05/25/2023
		Comments1: MATT 630-341-9057					
JP	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE	20230336	4477 E MILLBROOK CIR	232		05/16/2023
		Comments1: CHUY 630-330-7580					
BC	_____ AM	001-FIN FINAL INSPECTION	20230340	1448 ASPEN LN	129		05/02/2023
		Comments1: HVAC -- MIKP 815-603-5838					
BC	_____ AM	002-FIN FINAL INSPECTION					05/02/2023
		Comments1: WATER HEATER					
GH	_____	001-FTG FOOTING	20230343	2655 SEELEY ST	822		05/01/2023
		Comments1: JEFF 630-330-6705					
BC	_____ PM	002-FOU FOUNDATION					05/04/2023
PBF	_____	003-PLU PLUMBING - UNDERSLAB					05/11/2023
		Comments1: CHRIS 224-358-1606					
BC	_____ AM	004-BKF BACKFILL					05/11/2023
		Comments1: JESUS 630-453-9281					
GH	_____	005-BSM BASEMENT FLOOR					05/18/2023
		Comments1: CHRIS 224-358-1606					
GH	_____	006-GAR GARAGE FLOOR					05/18/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 56

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	007-STP STOOP Comments1: REAR STOOP ONLY					05/18/2023
GH	_____	008-GPL GREEN PLATE INSPECTION Comments1: CHRIS 224-358-1606					05/22/2023
PBF	_____	PM 009-WSS WATER & STORM SEWER Comments1: TERRI 630-387-2001					05/23/2023
GH	_____	001-FTG FOOTING Comments1: JEFF 630-330-6705	20230344	2651 SEELEY ST	821		05/01/2023
BC	_____	AM 002-FOU FOUNDATION Comments1: JESUS 630-453-9281					05/10/2023
BC	_____	AM 003-BKF BACKFILL Comments1: JESUS 630-453-9281					05/12/2023
PBF	_____	004-PLU PLUMBING - UNDERSLAB Comments1: CHRIS 224-358-1606					05/17/2023
GH	_____	005-BSM BASEMENT FLOOR Comments1: CHRIS 224-358-1606					05/18/2023
GH	_____	006-GAR GARAGE FLOOR					05/18/2023
GH	_____	007-STP STOOP Comments1: REAR STOOP ONLY					05/18/2023
GH	_____	008-GPL GREEN PLATE INSPECTION Comments1: CHRIS 224-358-1606					05/22/2023
PBF	_____	PM 009-WSS WATER & STORM SEWER Comments1: TERRI-630-387-2001					05/23/2023
BC	_____	AM 001-FTG FOOTING Comments1: UPLAND 630-453-9281	20230345	2647 SEELEY ST	820		05/02/2023
BC	_____	AM 002-FOU FOUNDATION					05/11/2023
GH	_____	AM 003-BKF BACKFILL Comments1: JESUS 630-453-9281					05/17/2023
PBF	_____	PM 004-WSS WATER & STORM SEWER Comments1: TERRI-630-387-2001					05/23/2023
PBF	_____	AM 005-PLU PLUMBING - UNDERSLAB Comments1: CHRIS 224-358-1606					05/24/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 57

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	006-BSM BASEMENT FLOOR					05/25/2023
BC	_____	007-GAR GARAGE FLOOR					05/25/2023
GH	_____ AM	001-FTG FOOTING Comments1: JOSE 630-453-9281	20230346	2650 SEELEY ST	740		05/22/2023
BC	_____ AM	002-FOU FOUNDATION Comments1: JESUS 630-453-9281					05/25/2023
GH	_____ AM	001-FTG FOOTING Comments1: JOSE 630-453-9281	20230347	2646 SEELEY ST	741		05/23/2023
BF	_____ AM	002-FOU FOUNDATION Comments1: JESUS 630-453-9281					05/30/2023
GH	_____ AM	001-FTG FOOTING Comments1: MIDWESTERN 815-839-8175	20230356	3134 JETER CT	500		05/03/2023
BC	_____ PM	002-FOU FOUNDATION Comments1: MIDWESTERN 815-839-8175					05/04/2023
BC	_____ PM	003-BKF BACKFILL Comments1: MIDWESTERN 815-839-8175					05/10/2023
PBF	_____ AM	004-WAT WATER Comments1: 630-492-7635 AL'S					05/15/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: AUSTIN 630-720-1287					05/18/2023
GH	_____	006-GPL GREEN PLATE INSPECTION Comments1: JOE 224-575-0022					05/23/2023
GH	_____ AM	007-GAR GARAGE FLOOR Comments1: MW 815-839-8175				05/23/2023	
GH	_____ AM	008-BSM BASEMENT FLOOR				05/23/2023	
GH	_____	009-STP STOOP Comments1: FR AND R				05/23/2023	
BC	_____	001-FIN FINAL INSPECTION Comments1: SIGN -- VINCE 630-999-1616	20230365	1207 N BRIDGE ST			05/12/2023
BC	_____ AM	002-RFR ROUGH FRAMING Comments1: DECK -- CHRIS 630-330-8038	20230367	404 MEADOW ROSE LN	36		05/01/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 58

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC		003-FIN FINAL INSPECTION Comments1: DECK -- CHRIS 630-330-8038					05/24/2023
JP	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- MATT 630-605-7848	20230368	3485 RYAN DR	2		05/04/2023
JP	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- TIM 630-842-5007	20230370	2288 FAIRFAX WAY	501		05/16/2023
BC	_____ AM	001-FTG FOOTING Comments1: MIDWESTERN 815-839-8175	20230380	3088 JETER ST	571		05/11/2023
GH	_____ PM	002-FOU FOUNDATION Comments1: MIDWESTERN 815-839-8175					05/16/2023
PBF	_____ PM	003-WAT WATER Comments1: ALS 630-492-7635					05/18/2023
GH	_____ AM	004-BKF BACKFILL Comments1: MIDWESTERN 815-839-8175					05/19/2023
PBF	_____ AM	005-PLU PLUMBING - UNDERSLAB Comments1: FIRST THING, PLEASE-AUSTIN 630-720-1287					05/26/2023
BC	_____ AM	006-BSM BASEMENT FLOOR Comments1: MW 815-839-8175					05/26/2023
BC	_____ AM	007-GAR GARAGE FLOOR					05/26/2023
BC		008-GPL GREEN PLATE INSPECTION Comments1: AUSTIN 630-720-1287 -- SEE INSPECTION RE Comments2: PORT					05/30/2023
PR	_____ AM	006-FIN FINAL INSPECTION Comments1: BASEMENT -- MATT 630-273-1151	20230381	2688 LILAC WAY	380		05/30/2023
PR	_____ AM	007-FEL FINAL ELECTRIC					05/30/2023
PR	_____ AM	008-FMC FINAL MECHANICAL					05/30/2023
PR	_____ AM	009-PLF PLUMBING - FINAL OSR READ					05/30/2023
JP	_____ PM	001-PHF POST HOLE - FENCE Comments1: CLASSIC 630-551-3400	20230383	307 LIBERTY ST			05/04/2023
BF	_____ PM	001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- CHRIS 630-742-1304	20230385	501 ASHWORTH LN	519	05/31/2023	

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 59

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC		PM 001-FTG FOOTING Comments1: DAINN 708-289-8267	20230388	1477 WOOD SAGE AVE	19		05/24/2023
BC		002-REI REINSPECTION Comments1: FOOTING					05/25/2023
JP		AM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- BECKY 815-922-8587	20230391	524 WARBLER LN	358		05/15/2023
JP		001-PPS PRE-POUR, SLAB ON GRADE Comments1: CHUY 630-330-7580	20230395	3977 SHOEGER DR	37		05/24/2023
JP		001-PPS PRE-POUR, SLAB ON GRADE Comments1: JOHN 630-862-8053	20230398	3062 GRANDE TR	542		05/03/2023
GH	11:30	001-PHF POST HOLE - FENCE Comments1: CEDAR MOUNTAIN 224-220-1042	20230400	2797 BERRYWOOD LN	796		05/31/2023
JP	13:00	001-PHF POST HOLE - FENCE Comments1: MARIA 630-966-0209	20230401	2444 WILTON CT	131		05/26/2023
GH		AM 001-PHF POST HOLE - FENCE Comments1: JANE 630-742-2437	20230402	2010 SQUIRE CIR	200		05/17/2023
GH		AM 002-RFR ROUGH FRAMING Comments1: LEDGER BOARD VERTICAL RESTRAINTS NOT INS Comments2: TALLED, WILL CHECK AT ROUGH AND/OR FINAL					05/17/2023
BC		AM 001-FTG FOOTING Comments1: HUMMERA 630-523-2345	20230404	2077 HEARTHSTONE AVE	346		05/03/2023
BF		AM 002-RFR ROUGH FRAMING Comments1: COVERED PATIO HUMMERA 630-523-2343 PLEAS Comments2: E CALL WITH INSPECTION RESULTS					05/16/2023
BC		AM 003-FOU FOUNDATION Comments1: KEN 630-546-0735	20230408	384 FONTANA DR	52		05/02/2023
GH		004-BKF BACKFILL Comments1: KEN 630-546-0735 NOT READY, FOUNDATION F Comments2: ORMS STILL IN PLACE					05/16/2023
GH		005-BKF BACKFILL Comments1: KEN 630-546-0735					05/18/2023
JP	14:00	001-PHF POST HOLE - FENCE Comments1: MONICA 630-327-7066	20230414	3111 LAUREN DR	92		05/02/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 60

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP		AM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- UPPER DECK 815-274-0043	20230415	4043 BRADY ST	10		05/02/2023
JP	12:00	001-PHF POST HOLE - FENCE Comments1: JESSICA 815-726-1127	20230416	2868 OLD GLORY DR	275		05/25/2023
JP		AM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- CHUY 630-330-7580	20230417	2165 HEARTHSTONE AVE	428		05/02/2023
JP		PM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO CHUY 630-330-7580	20230418	1336 HAWK HOLLOW DR	291		05/19/2023
BC		AM 001-FTG FOOTING Comments1: ADDITION -- TREVOR 630-333-8519	20230419	864 HEARTLAND DR			05/09/2023
JP	13:00	001-PHF POST HOLE - FENCE Comments1: MARIA 630-809-4166	20230420	414 E SOMONAUK ST			05/12/2023
JP		AM 001-PHD POST HOLE - DECK Comments1: AARON 815-260-8412	20230422	2066 DUNBAR CT	95		05/23/2023
JP		PM 001-PHD POST HOLE - DECK Comments1: EDW 630-327-9875	20230426	2025 SQUIRE CIR	206	05/03/2023	
BC		AM 002-RFR ROUGH FRAMING Comments1: DECK -- ED 630-327-9875					05/05/2023
BC		PM 003-FIN FINAL INSPECTION Comments1: DECK -- ED 630-327-9875				05/31/2023	
BC		AM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO - CLEAN EDGE 630-364-0224	20230427	2485 ELLSWORTH CT	351		05/01/2023
BC		AM 002-PHD POST HOLE - DECK Comments1: GAZEBO					05/01/2023
PR		AM 003-RFR ROUGH FRAMING Comments1: PAVILLION -- CLEAN EDGE 630-364-0224					05/15/2023
PR		AM 004-REL ROUGH ELECTRICAL					05/15/2023
BC		AM 003-FIN FINAL INSPECTION Comments1: DECK -- CARMELLA 630-364-0224	20230428	2721 POTTER CT	142		05/05/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: JEFF 312-569-0259	20230430	708 E VETERANS PKWY			05/02/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ANNA 708-712-5105, 2nd story passed on 5 Comments2: /2 and 1st story passed on 5/3	20230431	401 BRUELL ST			05/03/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 61

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP		001-PHD POST HOLE - DECK Comments1: LAUREN 630-440-8479	20230432	2768 MCMURTRIE WAY	202		05/23/2023
BC		PM 002-RFR ROUGH FRAMING Comments1: DECK LAUREN 630-440-8499				05/31/2023	
JP		001-ROF ROOF UNDERLAYMENT ICE & W Comments1: JOSE 630-465-7459	20230440	205 A-D PORTAGE LN	A-D		05/10/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: JOSE 630-465-7459	20230443	242 A-D BARRETT DR	A-D		05/18/2023
JP		001-ROF ROOF UNDERLAYMENT ICE & W Comments1: JOSE 630-465-7459	20230445	210 A-F PORTAGE LN	A-F		05/10/2023
JP		003-ROF ROOF UNDERLAYMENT ICE & W Comments1: 5-3 AND 5-4	20230446	176 A-F WILLOUGHBY CT	A-F		05/04/2023
JP	10:00	001-PHF POST HOLE - FENCE Comments1: JAZLYN 224-220-1042	20230450	2001 SQUIRE CIR	203		05/02/2023
JP	10:00	001-PHF POST HOLE - FENCE Comments1: PARAMOUNT 630-406-8410	20230451	706 HEUSTIS ST			05/18/2023
JP	10:30	001-PHF POST HOLE - FENCE Comments1: CANDACE 630-406-8410 EXT 220	20230452	2996 ELLSWORTH DR	345		05/25/2023
JP		001-PPS PRE-POUR, SLAB ON GRADE Comments1: JOHN 630-868-8053	20230453	2286 CRYDER CT	437		05/26/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: CHILO 630-300-4436	20230454	308 COLTON ST		05/12/2023	
JP		PM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- CHRIS 630-742-1304	20230455	1702 CALLANDER TR	54		05/10/2023
BC		001-MIS MISCELLANEOUS Comments1: GAS LINE -- SAM 815-509-9822	20230460	611 RED TAIL CT	34		05/05/2023
JP	11:00	001-PHF POST HOLE - FENCE	20230464	503 KELLY AVE	16		05/01/2023
JP		AM 001-WK SERVICE WALK Comments1: VICTOR 630-788-0090	20230466	828 HEARTLAND DR	169		05/05/2023
PR		AM 001-RFR ROUGH FRAMING Comments1: BRIAN 630915-5367	20230467	407 E BARBERRY CIR	156		05/08/2023
PR		AM 002-REL ROUGH ELECTRICAL					05/08/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	AM 003-RMC ROUGH MECHANICAL					05/08/2023
PR	_____	AM 004-PLR PLUMBING - ROUGH					05/08/2023
PR	_____	AM 005-FIN FINAL INSPECTION Comments1: BRIAN 630-915-5367					05/25/2023
PR	_____	AM 006-FEL FINAL ELECTRIC					05/25/2023
PR	_____	AM 007-FMC FINAL MECHANICAL					05/25/2023
PR	_____	AM 008-PLF PLUMBING - FINAL OSR READ					05/25/2023
GH	10:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: RONNIE 773-647-0299	20230470	1378 SLATE DR	382		05/22/2023
BC	_____	AM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: CHUY 630-330-7580	20230471	2682 FAIRFAX WAY	263		05/30/2023
JP	14:00	001-PHF POST HOLE - FENCE Comments1: MONICA 630-327-7066	20230477	508 CENTER PKWY	6B		05/09/2023
JP	_____	001-PPS PRE-POUR, SLAB ON GRADE Comments1: CHUY 630-330-7580	20230478	655 BIRCHWOOD DR	145		05/24/2023
JP	11:30	001-PHF POST HOLE - FENCE Comments1: MARIA 630-809-4166	20230479	1164 WESTERN LN	73		05/09/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: JOE 630-456-8660	20230491	4392 E MILLBROOK CIR	267		05/02/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: CHARLENE 630-273-2476	20230493	2523 LYMAN LOOP	20		05/10/2023
GH	09:00	001-PHF POST HOLE - FENCE Comments1: GABE 252-360-9427 PARTIAL - 8 HOLES AT C Comments2: ORNERS AND RIGHT SIDE	20230494	112 W VAN EMMON ST			05/31/2023
JP	14:30	001-PHF POST HOLE - FENCE Comments1: MONICA 630-327-7066	20230495	1152 KATE DR	240		05/11/2023
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: A.R. 630-553-2344, some shingles already Comments2: secured. Contractor had photos in those Comments3: areas. They advised they would not shin Comments4: gle next time until inspection	20230498	107 W KENDALL DR			05/16/2023
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: TY 630-774-4270	20230502	1024 A JOHN ST	16		05/10/2023

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20230503	1024 B JOHN ST	16		05/10/2023
		Comments1: TY 630-774-4270					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230504	1081 AUBURN DR	95		05/16/2023
		Comments1: TY 630-774-4270, partial on 5/15 and par					
		Comments2: tial on 5/16 pass					
GH		001-ROF ROOF UNDERLAYMENT ICE & W	20230505	2393 TITUS DR	250		05/15/2023
		Comments1: TTLC - DID NOT CALL IN, DROVE BY AND SAW					
		Comments2: ROOF WORK SO DID INSPECTION					
GH	11:30	001-PHF POST HOLE - FENCE	20230508	512 W WASHINGTON ST			05/22/2023
		Comments1: MARIA 630-809-4166					
BF		AM 001-FIN FINAL INSPECTION	20230509	604 GREENFIELD TURN	82		05/09/2023
		Comments1: SOLAR -- EDDIE 773-450-5336					
BF		AM 002-FEL FINAL ELECTRIC					05/09/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230510	2279 EMERALD LN	52		05/04/2023
		Comments1: TTLC 815-630-7005					
BC	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230511	101 CLAREMONT CT	33		05/22/2023
		Comments1: DANIELLE 630-463-7663					
BC		001-BND POOL BONDING	20230512	203 E CENTER ST			05/23/2023
		Comments1: BRANDAN 630-688-0180					
BC		002-TRN TRENCH - (GAS, ELECTRIC,					05/23/2023
		Comments1: AGP					
JP		001-ROF ROOF UNDERLAYMENT ICE & W	20230522	4439 E MILLBROOK CIR	224		05/17/2023
		Comments1: JUSTIN 331-203-3914					
JP	12:30	002-ROF ROOF UNDERLAYMENT ICE & W	20230523	310 PARK ST			05/19/2023
		Comments1: JOHN 331-203-3914 NO PHONE CALL-- NOT DO					
		Comments2: NE***** REINSPECT FEE*****					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230524	435 SHADOW WOOD DR	50		05/03/2023
		Comments1: LIZ 630-631-7556					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230530	808 TERI LN	32		05/25/2023
		Comments1: CARRIE 630-844-2553 EXT 103					
JP	13:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230531	3385 RYAN DR	12		05/05/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230533	705 MILL ST			05/11/2023
		Comments1: DREW 630-881-3723, house was 3/4 shingle					
		Comments2: d. Able to see two rows ice and water sh					
		Comments3: ield on one side, had contractor remove					
		Comments4: portion of shingles to expose iw					

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP		001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- TRACY 630-300-8215	20230534	3029 MCLELLAN BLVD	559		05/23/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: JENNY 815-205-1500	20230535	997 HOMESTEAD DR	121		05/05/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: JENNY 815-205-1500	20230536	1153 TAUS CIR	110		05/10/2023
JP	13:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ACE 773-425-8449	20230537	581 OMAHA DR			05/11/2023
JP		001-PHF POST HOLE - FENCE	20230539	301 WALSH CIR	20		05/26/2023
BF		AM 001-FTG FOOTING Comments1: JUAN 847-551-9066	20230540	301 RYAN CT	204		05/15/2023
BF		AM 002-REI REINSPECTION Comments1: FOOTING -- JUAN 847-551-9066					05/16/2023
GH		AM 003-FOU FOUNDATION Comments1: COMEX 847-551-9066					05/19/2023
PBF		PM 004-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					05/24/2023
BC		005-BKF BACKFILL					05/25/2023
PBF		006-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082					05/31/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: LIZ 630-631-7556	20230543	2088 DEERPOINT LN	164		05/10/2023
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: A&B 815-786-3100	20230544	638 YELLOWSTONE LN	69		05/11/2023
JP		001-PHD POST HOLE - DECK Comments1: TOP NOTCH LISA 815-585-0798	20230545	344 POPLAR DR	95		05/24/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: PENNY 630-882-9244	20230548	418 W KENDALL DR			05/10/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: WISE GUYS 630-827-2019	20230549	1043 WESTERN LN	60		05/24/2023
BC	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: WISE GUY 630-827-2019	20230550	2007 SWITCHGRASS LN	141		05/25/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230551	2622 LILAC WAY	375		05/26/2023
JP	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE	20230553	2739 CRANSTON CIR	128		05/23/2023
		Comments1: PATIO -- KANDANDA 720-998-3936, window w					
		Comments2: ell is below level where concrete slab w					
		Comments3: ill be, contractor advised and will fix					
JP	_____	001-FIN FINAL INSPECTION	20230556	2904 GRANDE TR	91	05/10/2023	
		Comments1: ROOF -- DAWN 847-702-4700 -- DID NOT HAV					
		Comments2: E ICE AND WATER INSPECTION					
JP	09:00	002-ROF ROOF UNDERLAYMENT ICE & W					05/24/2023
JP	11:30	001-ROF ROOF UNDERLAYMENT ICE & W	20230557	2668 BURR ST	4		05/15/2023
		Comments1: REUBEN 815-630-7005					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230559	3185 LONGVIEW DR	48	05/12/2023	
		Comments1: ALICIA 224-293-2091					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230560	303 E SOMONAUK ST	15		05/26/2023
		Comments1: JASON 331-575-7705					
BC	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230561	1182 KATE DR			05/22/2023
		Comments1: PENNY 630-882-9244					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230562	1962 PRAIRIE ROSE LN	103		05/25/2023
		Comments1: 312-569-0259					
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20230564	564 W BARBERRY CIR			05/15/2023
		Comments1: KENNY 630-885-1028					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230566	1106 SUNSET AVE	50		05/26/2023
		Comments1: A&R 630-882-9111					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230567	451 WINTERBERRY DR	111		05/11/2023
		Comments1: AR ROOFING 630-554-3317					
BC	11:30	001-PHF POST HOLE - FENCE	20230568	1634 SHETLAND LN	45		05/30/2023
		Comments1: PERLA 708-316-9740					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230571	1232 DEERPATH DR	233		05/25/2023
		Comments1: PHILIP 630-514-6208					
BC	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230573	910 N BRIDGE ST			05/22/2023
		Comments1: PENNY 630-882-9244					
BF	_____ AM	001-FIN FINAL INSPECTION	20230575	505 S MAIN ST			05/26/2023
		Comments1: SOLAR -- ERIC 708-441-6311					

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	AM 002-FEL FINAL ELECTRIC					05/26/2023
JP	_____	AM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO --TOM 630-816-6930	20230576	472 WINTERBERRY DR	94		05/16/2023
BC	_____	AM 001-FTG FOOTING Comments1: CARMELLA 630-364-0224	20230577	1961 SUNNY DELL CT	92		05/26/2023
PR	_____	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: LOUIS	20230581	209 E KENDALL DR	19		05/15/2023
JP	_____	PM 001-PHF POST HOLE - FENCE Comments1: EARLY PM -- CLASSIC 630-551-3400	20230584	874 BLUESTEM DR	116		05/15/2023
BC	_____	AM 001-FTG FOOTING Comments1: JESUS 630-453-9281	20230585	2642 SEELEY ST	742		05/31/2023
BC	_____	AM 001-FTG FOOTING Comments1: JESUS 630-453-9281	20230586	2643 SEELEY ST	819	05/31/2023	
GH	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230587	301 E SOMONAUK ST	16		05/22/2023
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: PRESTON 630-842-1120	20230588	1182 HOMESTEAD DR	47		05/11/2023
JP	_____	002-FIN FINAL INSPECTION Comments1: ROOF -- PRESTON 630-842-1120					05/25/2023
JP	13:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: MAURICIO 630-746-3309	20230594	883 CANYON TR	120		05/24/2023
JP	_____	001-FIN FINAL INSPECTION Comments1: PAVER PATIO -- ANAYELI 630-465-3955	20230596	2777 CRANSTON CIR	137		05/23/2023
JP	_____	001-FIN FINAL INSPECTION Comments1: ALBERTO 630-457-8433	20230599	596 ALDER CT	42		05/26/2023
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ALPHA 630-923-2285	20230600	524 FAIRHAVEN DR	48		05/19/2023
JP	11:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: KYLE 630-202-7448	20230601	804 CARLY CT	31		05/17/2023
JP	10:30	002-ROF ROOF UNDERLAYMENT ICE & W Comments1: KYLE 630-202-7448					05/18/2023
JP	_____	001-FIN FINAL INSPECTION Comments1: BACK OF HOUSE -- ROOF, KELLY 630-816-906 Comments2: 3	20230605	105 E WASHINGTON ST			05/24/2023

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 67

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE	20230609	3495 RYAN DR	1		05/31/2023
		Comments1: PATIO-- MATT 630-605-7848					
JP	13:30	001-PHF POST HOLE - FENCE	20230610	2677 EMERALD LN	384		05/24/2023
		Comments1: MARIA 630-966-0209					
BC	09:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230613	217 LIESURE ST	119		05/31/2023
		Comments1: ALISSA 815-786-3100					
BC	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230614	569 KELLY AVE	6		05/25/2023
		Comments1: CHARLENE 630-273-2476					
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20230615	96 CROOKED CREEK DR	12		05/16/2023
		Comments1: 815-786-3100 A&B					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230616	439 NORWAY CIR	9		05/23/2023
		Comments1: ODANNY 312-569-0259					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230619	530 FAIRHAVEN DR	47		05/19/2023
		Comments1: ALPHA 630-923-2285					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230621	415 WALNUT ST			05/25/2023
		Comments1: KIM 630-553-2344					
JP	_____ AM	001-ROF ROOF UNDERLAYMENT ICE & W	20230622	2343 LAVENDER WAY	86		05/17/2023
		Comments1: JAKE 630-333-7292					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230627	106 E FOX ST			05/18/2023
		Comments1: LARRY 630-553-2743					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230628	102-104 E FOX ST			05/17/2023
		Comments1: LARRY					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230629	676 HAYDEN DR	68		05/24/2023
		Comments1: KIM 630-553-2344, SOUTH AND WEST SIDES P					
		Comments2: ASS, REMAINING INSP ON 5/25, North and W					
		Comments3: est pass-Insp complete					
GH	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE	20230630	541 W BARBERRY CIR	43		05/23/2023
		Comments1: PATIO DEBBIE 815-272-5752 FILL GAPS IN W					
		Comments2: IRE MESH, MAX RISE 7-3/4"					
PR	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230632	623 HAYDEN DR	74		05/30/2023
		Comments1: MICHELLE 815-735-7321					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230633	3345 RYAN DR	16		05/17/2023
		Comments1: ABRAHAM 773-425-8449					

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230635	210 LEISURE ST			05/17/2023
		Comments1: ABRAHAM 773-425-8449					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230640	2748 CRANSTON CIR	113		05/24/2023
BC	13:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230642	1173 TAUS CIR	112	05/31/2023	
		Comments1: CEDRIC 630-824-3683					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230643	118 CONOVER CT	9		05/24/2023
		Comments1: JOSEPH JAMES 331-575-7705, 1/2 COMPLETE					
		Comments2: - PASS, REMAINING INSP ON 5/25					
PR	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230644	109 W COUNTRYSIDE PKWY			05/30/2023
		Comments1: JASON 331-575-7705					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230645	115 ANDERSON CT	25		05/23/2023
		Comments1: ANGEL 630-618-6148					
GH	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230646	2524 MADDEN CT	12		05/23/2023
		Comments1: 630-850-0555					
BC	_____ AM	001-FTG FOOTING	20230650	3423 CALEDONIA DR	189		05/25/2023
		Comments1: JUAN 847-551-9066					
BC	_____ AM	002-FOU FOUNDATION				05/31/2023	
		Comments1: JUAN 847-551-9066					
BC	_____ AM	001-FTG FOOTING	20230652	3407 CALEDONIA DR	188		05/25/2023
		Comments1: JUAN 847-551-9066					
GH	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230658	1221 CLEARWATER DR	204		05/22/2023
		Comments1: RUEBEN 815-630-7005					
GH	14:30	001-PHF POST HOLE - FENCE	20230661	4527 MARQUETTE ST			05/31/2023
		Comments1: MONICA 630-554-0385					
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230665	1324 CHESTNUT LN	13		05/26/2023
		Comments1: CHARLENE 630-273-2476					
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230673	410 POPLAR DR		05/31/2023	
		Comments1: PEVE 630-605-8588					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230676	662 BIRCHWOOD DR	147		05/23/2023
		Comments1: REUBEN 815-630-7005					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230682	1356 SPRING ST	172		05/23/2023
		Comments1: REUBEN 815-630-7005					

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	13:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230689	307 E SOMONAUK ST			05/26/2023
		Comments1: AVA 773-425-8449					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230690	1163 TAUS CIR	111		05/24/2023
		Comments1: REUBEN 815-630-7005					
GH	_____ AM	001-ROF ROOF UNDERLAYMENT ICE & W	20230697	591 REDBUD DR	40		05/31/2023
		Comments1: JORDAN 847-466-0051					
GH	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230698	2772 HOBBS CT	148		05/31/2023
BC	_____ AM	001-ROF ROOF UNDERLAYMENT ICE & W	20230703	103 COLONIAL PKWY		05/31/2023	
		Comments1: 4 UNITS RICHARD 630-399-5834					
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230716	1138 GRACE DR	103		05/26/2023
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230732	594 ARROWHEAD DR	6		05/30/2023
BC	_____	002-ROF ROOF UNDERLAYMENT ICE & W				05/31/2023	
		Comments1: FRONT ONLY RUBIN 815-630-7005					

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
-----							
PERMIT TYPE SUMMARY:		ADA ADA ACCESSIBLE RAMP/WALK				1	
		ADD ADDITION				11	
		AGP ABOVE-GROUND POOL				12	
		BSM BASEMENT REMODEL				7	
		COM COMMERCIAL BUILDING				2	
		CRM COMMERCIAL REMODEL				4	
		DCK DECK				17	
		ESN ELECTRIC SIGN				1	
		EVS ELECTRIC VEHICLE CHARGING STAT				1	
		FNC FENCE				27	
		GAR GARAGE				6	
		GAZ GAZEBO				6	
		HVC HVAC UNIT/S				2	
		IGP IN-GROUND POOL				1	
		MSC MISCELLANEOUS				4	
		PTO PATIO / PAVERS				24	
		PVR PAVER				2	
		REM REMODEL				16	
		ROF ROOFING				83	
		RS ROOFING & SIDING				4	
		SDW SIDEWALK				1	
		SFA SINGLE-FAMILY ATTACHED				467	
		SFD SINGLE-FAMILY DETACHED				470	
		SHD SHED/ACCESSORY BUILDING				1	
		SOL SOLAR PANELS				21	
		WIN WINDOW REPLACEMENT				1	
INSPECTION SUMMARY:		ADA ADA ACCESSIBLE WALK WAY				7	
		BKF BACKFILL				45	
		BND POOL BONDING				5	
		BSM BASEMENT FLOOR				23	
		DMW DEMISING WALL				13	
		EDA ENGINEERING - DRIVEWAY APRON				2	
		EFL ENGINEERING - FINAL INSPECTION				25	
		ELS ELECTRIC SERVICE				6	
		ELU ELECTRICAL - UNDERSLAB				14	
		EPW ENGINEERING- PUBLIC WALK				14	
		ESW ENGINEERING - SEWER / WATER				22	
		FEL FINAL ELECTRIC				49	
		FIN FINAL INSPECTION				69	
		FMC FINAL MECHANICAL				37	
		FOU FOUNDATION				47	
		FTG FOOTING				46	
		GAR GARAGE FLOOR				59	
		GPL GREEN PLATE INSPECTION				21	
		HYD HYDRO TEST				2	
		INS INSULATION				43	

DATE: 06/01/2023  
 TIME: 09:50:44  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
		MIS MISCELLANEOUS				11	
		OCC OCCUPANCY INSPECTION				2	
		PH POST HOLES / PILES				4	
		PHD POST HOLE - DECK				12	
		PHF POST HOLE - FENCE				27	
		PLF PLUMBING - FINAL OSR READY				40	
		PLR PLUMBING - ROUGH				39	
		PLU PLUMBING - UNDERSLAB				34	
		PPS PRE-POUR, SLAB ON GRADE				82	
		REI REINSPECTION				26	
		REL ROUGH ELECTRICAL				40	
		RFR ROUGH FRAMING				46	
		RMC ROUGH MECHANICAL				38	
		ROF ROOF UNDERLAYMENT ICE & WATER				83	
		STP STOOP				49	
		SUM SUMP				5	
		TRN TRENCH - (GAS, ELECTRIC, ETC)				4	
		WAT WATER				10	
		WK SERVICE WALK				43	
		WKS PUBLIC & SERVICE WALKS				45	
		WSS WATER & STORM SEWER				3	
INSPECTOR SUMMARY:		BC BOB CREADEUR				206	
		BF B&F INSPECTOR CODE SERVICE				190	
		BKF BRISTOL KENDALL FIRE DEPT				1	
		ED ERIC DHUSE				39	
		GH GINA HASTINGS				356	
		JP JOHN PETRAGALLO				204	
		OFD OSWEGO MIRE MARSHAL				2	
		PBF PLUMBER				138	
		PR PETER RATOS				56	
STATUS SUMMARY:	A	PR				3	
	C	BC				18	
	C	BF				11	
	C	BKF				1	
	C	ED				18	
	C	GH				21	
	C	JP				13	
	C	PBF				8	
	C	PR				23	
	I	BC				184	
	I	BF				179	
	I	ED				9	
	I	GH				304	
	I	JP				184	

DATE: 06/01/2023  
TIME: 09:50:44  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 05/01/2023 TO 05/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
		I	OFD				
		I	PBF				
		I	PR				
		T	BC				
		T	ED				
		T	GH				
		T	JP				
		T	PBF				

REPORT SUMMARY: 1,192

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	086-FTG FOOTING Comments1: 5612 WHITETAIL RIDGE	10000001	COUNTY INSPECTIONS	0		06/12/2023
BC	_____	001-BND POOL BONDING	20200379	2432 FITZHUGH TURN	147		06/27/2023
BC	_____	002-FIN FINAL INSPECTION					06/27/2023
BC	_____	021-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO CLAYTON	20210316	835 ALEXANDRA LN	24		06/13/2023
JB	_____	020-REI REINSPECTION Comments1: EFL -- TEMP TO FINAL - FAILED FOR ALL SI Comments2: DEWALK SQUARES	20210579	3951 HAVENHILL CT	3029		06/02/2023
JB	_____	021-REI REINSPECTION Comments1: TEMP TO FINAL					06/15/2023
JB	_____	022-REI REINSPECTION Comments1: TEMP TO FINAL	20210580	3953 HAVENHILL CT			06/02/2023
JB	_____	023-REI REINSPECTION Comments1: TEMP TO FINAL					06/15/2023
JB	_____	022-REI REINSPECTION Comments1: TEMP TO FINAL	20210581	3955 HAVENHILL CT			06/02/2023
JB	_____	023-REI REINSPECTION Comments1: TEMP TO FINAL					06/15/2023
JB	_____	022-REI REINSPECTION Comments1: FINAL SITE	20210582	3957 HAVENHILL CT			06/02/2023
JB	_____	023-REI REINSPECTION Comments1: FINAL					06/15/2023
ED	_____	027-EFL ENGINEERING - FINAL INSPE	20220068	2735 ELLORY CT	131		06/14/2023
JB	_____	023-EFL ENGINEERING - FINAL INSPE	20220178	555 BRAEMORE LN	532		06/05/2023
JB	_____	024-EFL ENGINEERING - FINAL INSPE Comments1: 4 SQUARES AT DRIVEWAY-PITTED AND SCRAPED	20220180	525 BRAEMORE LN	533		06/05/2023
JB	_____	022-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL -- BBOX NOT KEYABLE	20220181	605 BRAEMORE LN	531		06/05/2023
JB	_____	023-REI REINSPECTION Comments1: TEMP TO FINAL					06/08/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 2

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
ED	_____	020-EFL ENGINEERING - FINAL	INSPE 20220327	2892 CRYDER WAY	440		06/14/2023
		Comments1: TEMP TO FINAL					
ED	_____	020-EFL ENGINEERING - FINAL	INSPE 20220380	1192 TAUS CIR	123		06/28/2023
JB	_____	024-EFL ENGINEERING - FINAL	INSPE 20220400	642 ASHWORTH LN	526		06/06/2023
		Comments1: 3 SQUARES AT DRIVEWAY					
JB	_____	025-EFL ENGINEERING - FINAL	INSPE 20220402	665 BRAEMORE LN	528		06/05/2023
		Comments1: TEMP TO FINAL -- 3 SQUARES AT DRIVEWAY					
JB	_____	024-EFL ENGINEERING - FINAL	INSPE 20220405	622 ASHWORTH LN	525		06/06/2023
		Comments1: 4 SQUARES AT DRIVEWAY					
ED	_____	022-EFL ENGINEERING - FINAL	INSPE 20220544	2718 POTTER CT	147		06/14/2023
BC	_____	003-FIN FINAL INSPECTION	20220647	2432 FITZHUGH TURN	147		06/27/2023
		Comments1: DECK JOE 8474898588					
ED	_____	018-EFL ENGINEERING - FINAL	INSPE 20220649	2346 RICHMOND AVE	479		06/21/2023
		Comments1: PUBLIC WALK - 3 SQUARES FAILED, MARKED W					
		Comments2: ITH PAINT, PROPERTY CORNERS FAILED					
GH	_____	019-FIN FINAL INSPECTION					06/20/2023
		Comments1: DARREN 224-470-9922					
GH	_____	020-FEL FINAL ELECTRIC					06/20/2023
GH	_____	021-FMC FINAL MECHANICAL					06/20/2023
PBF	_____	022-PLF PLUMBING - FINAL	OSR READ				06/20/2023
		Comments1: DARREN 224-470-9922					
ED	_____	023-REI REINSPECTION					06/23/2023
		Comments1: FINAL SITE FAILED 3 PUBLIC WALK SQUARES					
ED	_____	024-REI REINSPECTION					06/26/2023
		Comments1: EFL -- PER ED -- SIDEWALK IS FIXED					
BF	_____	018-FIN FINAL INSPECTION	20220651	2466 FAIRFIELD AVE	540		06/05/2023
		Comments1: JEFF 847-456-8082					
BF	_____	019-FEL FINAL ELECTRIC					06/05/2023
BF	_____	020-FMC FINAL MECHANICAL					06/05/2023
PBF	_____	021-PLF PLUMBING - FINAL	OSR READ				06/05/2023
		Comments1: JEFF 847-456-8082					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 3

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JB	_____	022-EFL ENGINEERING - FINAL INSPE					06/05/2023
		Comments1: BBOX NOT KEYABLE					
JB	_____	023-REI REINSPECTION				06/08/2023	
		Comments1: FINAL SITE					
BF	_____	019-FIN FINAL INSPECTION	20220656	2407 FAIRFIELD AVE	492		06/09/2023
		Comments1: DARREN 224-470-9922					
BF	_____	020-FEL FINAL ELECTRIC					06/09/2023
BF	_____	021-FMC FINAL MECHANICAL					06/09/2023
PBF	_____	022-PLF PLUMBING - FINAL OSR READ					06/09/2023
		Comments1: DARREN 224-470-9922					
JB	_____	023-EFL ENGINEERING - FINAL INSPE					06/09/2023
		Comments1: FINAL SITE					
JB	_____	025-EFL ENGINEERING - FINAL INSPE	20220657	662 ASHWORTH LN	527		06/06/2023
PR	_____	003-REI REINSPECTION	20220661	507 BUCKTHORN CT	76		06/02/2023
		Comments1: FINAL DECK --					
JP	_____	002-FIN FINAL INSPECTION	20220793	1849 ASTER DR	96		06/30/2023
		Comments1: FENCE -- APRIL 630-330-8362					
BC	_____	004-FIN FINAL INSPECTION	20220823	321 DRAYTON CT	54		06/14/2023
		Comments1: 630-699-2673					
BF	_____	AM 001-FIN FINAL INSPECTION	20220923	1538 SIENNA DR	76		06/19/2023
		Comments1: SOLAR BRIAN 331-701-6605 --					
BF	_____	AM 002-FEL FINAL ELECTRIC					06/19/2023
		Comments1: *****NEED REI FEE PAID BEFORE RE-SCHEDUL					
		Comments2: ING*****					
ED	_____	025-EFL ENGINEERING - FINAL INSPE	20220939	2720 POTTER CT	146		06/14/2023
JB	_____	028-EFL ENGINEERING - FINAL INSPE	20221048	596 ALDER CT	42		06/08/2023
		Comments1: TEMP TO FINAL					
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20221079	1141 MIDNIGHT PL	274		06/08/2023
		Comments1: PATIO BONNIE 630-417-8838					
JB	_____	023-EFL ENGINEERING - FINAL INSPE	20221175	291 BARRETT DR A	13-3		06/08/2023
		Comments1: SIDE WALK SQUARE					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JB	_____	023-EFL ENGINEERING - FINAL	INSPE 20221176	291 BARRETT DR B	13		06/08/2023
		Comments1: SIDE WALK SQUARE					
JB	_____	023-EFL ENGINEERING - FINAL	INSPE 20221177	291 BARRETT DR C	13		06/08/2023
		Comments1: SIDE WALK SQUARE					
JB	_____	023-EFL ENGINEERING - FINAL	INSPE 20221178	291 BARRETT DR D	13		06/08/2023
		Comments1: SIDE WALK SQUARE					
JB	_____	029-EFL ENGINEERING - FINAL	INSPE 20221179	271 BARRETT DR A	12		06/08/2023
JB	_____	028-EFL ENGINEERING - FINAL	INSPE 20221180	271 BARRETT DR B	12		06/08/2023
JB	_____	029-EFL ENGINEERING - FINAL	INSPE 20221181	271 BARRETT DR C	12		06/08/2023
JB	_____	028-EFL ENGINEERING - FINAL	INSPE 20221182	271 BARRETT DR D	12		06/08/2023
JB	_____	025-EFL ENGINEERING - FINAL	INSPE 20221199	2634 KELLOGG CT	44		06/07/2023
ED	_____	026-EFL ENGINEERING - FINAL	INSPE 20221203	3029 MCLELLAN BLVD	559		06/16/2023
		Comments1: TEMP TO FINAL					
GH	_____	PM 023-EPW ENGINEERING- PUBLIC WALK	20221224	3111 GRANDE TR	493		06/22/2023
		Comments1: MW ALREADY POURED, CLOSED HOME					
ED	_____	024-REI REINSPECTION				06/28/2023	
		Comments1: EFL -- TEMP TO FINAL					
ED	_____	025-EFL ENGINEERING - FINAL	INSPE				06/23/2023
		Comments1: FAILED B-BOX					
ED	_____	022-EFL ENGINEERING - FINAL	INSPE 20221250	3024 GRANDE TR	536		06/16/2023
		Comments1: TEMP TO FINAL					
JB	_____	016-EFL ENGINEERING - FINAL	INSPE 20221292	1091 AUBURN DR	93		06/09/2023
		Comments1: FINAL SITE -- WINDOW WELLS					
PR	_____	017-FIN FINAL INSPECTION					06/13/2023
		Comments1: DAVE					
PR	_____	018-FEL FINAL ELECTRIC					06/13/2023
PR	_____	019-FMC FINAL MECHANICAL					06/13/2023
PR	_____	020-PLF PLUMBING - FINAL	OSR READ				06/13/2023
BC	_____	001-TRN TRENCH - (GAS, ELECTRIC,	20221293	1879 WALSH DR	52		06/20/2023
		Comments1: KEVIN 708-214-1897					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	002-FIN FINAL INSPECTION				06/30/2023	
		Comments1: ABOVE GROUND POOL 708-214-1897 KEVIN					
BC	_____	003-BND POOL BONDING					06/30/2023
		Comments1: KEVIN 708-214-1897					
BF	_____	016-FIN FINAL INSPECTION	20221308	2670 SEELEY ST	735		06/01/2023
		Comments1: MIKE 224-340-5860					
BF	_____	017-FEL FINAL ELECTRIC					06/01/2023
BF	_____	018-FMC FINAL MECHANICAL					06/01/2023
PBF	_____	019-PLF PLUMBING - FINAL OSR READ					06/01/2023
		Comments1: MIKE 224-340-5860					
ED	_____	020-EFL ENGINEERING - FINAL INSPE					06/21/2023
ED	_____	020-EFL ENGINEERING - FINAL INSPE	20221309	2674 SEELEY ST	734		06/14/2023
		Comments1: FINAL SITE					
BC	_____	009-ELS ELECTRIC SERVICE	20221319	248A PORTAGE LN	134-3		06/28/2023
		Comments1: NORM 630-818-0404					
BC	_____	009-ELS ELECTRIC SERVICE	20221320	248B PORTAGE LN	133-3		06/28/2023
		Comments1: NICK 630-988-0169					
BC	_____	009-ELS ELECTRIC SERVICE	20221321	248C PORTAGE LN	132-3		06/28/2023
		Comments1: NORM 630-818-0404					
BC	_____	009-ELS ELECTRIC SERVICE	20221322	248D PORTAGE LN	131-3		06/28/2023
		Comments1: NORM 630-818-0404					
BC	_____	009-ELS ELECTRIC SERVICE	20221323	248E PORTAGE LN	130		06/28/2023
		Comments1: NORM 630-818-0404					
BC	_____	009-ELS ELECTRIC SERVICE	20221324	252A PORTAGE LN	124		06/13/2023
		Comments1: NORM					
BC	_____	010-ELS ELECTRIC SERVICE	20221325	252B PORTAGE LN	125		06/13/2023
		Comments1: NORM					
BC	_____	010-ELS ELECTRIC SERVICE	20221326	252C PORTAGE LN	126		06/13/2023
		Comments1: NORM					
BC	_____	010-ELS ELECTRIC SERVICE	20221327	252D PORTAGE LN	127		06/13/2023
		Comments1: NORM					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	010-ELS ELECTRIC SERVICE	20221328	252E PORTAGE LN	128		06/13/2023
		Comments1: NORM					
BC	_____	010-ELS ELECTRIC SERVICE	20221329	252F PORTAGE LN			06/13/2023
		Comments1: NORM					
BC	_____	AM 019-EPW ENGINEERING- PUBLIC WALK	20221334	264A PORTAGE LN	123		06/01/2023
BC	_____	AM 019-EPW ENGINEERING- PUBLIC WALK	20221335	264B PORTAGE LN	122		06/01/2023
BC	_____	AM 021-EPW ENGINEERING- PUBLIC WALK	20221336	264C PORTAGE LN	121		06/01/2023
BC	_____	019-EPW ENGINEERING- PUBLIC WALK	20221337	264D PORTAGE LN	120		06/01/2023
BC	_____	AM 020-EPW ENGINEERING- PUBLIC WALK	20221338	276A PORTAGE LN	115		06/01/2023
BF	_____	AM 021-FIN FINAL INSPECTION					06/21/2023
		Comments1: NORM 630-818-0404					
BF	_____	AM 022-FEL FINAL ELECTRIC					06/21/2023
BF	_____	AM 023-FMC FINAL MECHANICAL					06/21/2023
PBF	_____	AM 024-PLF PLUMBING - FINAL OSR READ					06/21/2023
		Comments1: NORM 630-818-0404					
ED	_____	025-EFL ENGINEERING - FINAL INSPE					06/29/2023
BC	_____	AM 020-EPW ENGINEERING- PUBLIC WALK	20221339	276B PORTAGE LN	116		06/01/2023
BF	_____	AM 021-FIN FINAL INSPECTION					06/21/2023
		Comments1: NORM 630-818-0404					
BF	_____	AM 022-FEL FINAL ELECTRIC					06/21/2023
BF	_____	AM 023-FMC FINAL MECHANICAL					06/21/2023
PBF	_____	AM 024-PLF PLUMBING - FINAL OSR READ					06/21/2023
		Comments1: NORM 630-818-0404					
ED	_____	025-EFL ENGINEERING - FINAL INSPE					06/29/2023
BC	_____	AM 020-EPW ENGINEERING- PUBLIC WALK	20221340	276C PORTAGE LN	117		06/01/2023
BF	_____	AM 021-FIN FINAL INSPECTION					06/21/2023
		Comments1: NORM 630-818-0404					
BF	_____	AM 022-FEL FINAL ELECTRIC					06/21/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	AM 023-FMC FINAL MECHANICAL					06/21/2023
PBF	_____	AM 024-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					06/21/2023
ED	_____	025-EFL ENGINEERING - FINAL INSPE					06/29/2023
BC	_____	AM 020-EPW ENGINEERING- PUBLIC WALK	20221341	276D PORTAGE LN	118		06/01/2023
BF	_____	AM 021-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					06/21/2023
BF	_____	AM 022-FEL FINAL ELECTRIC					06/21/2023
BF	_____	AM 023-FMC FINAL MECHANICAL					06/21/2023
PBF	_____	AM 024-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					06/21/2023
ED	_____	025-EFL ENGINEERING - FINAL INSPE					06/29/2023
BC	_____	AM 018-EPW ENGINEERING- PUBLIC WALK	20221342	276E PORTAGE LN	119		06/01/2023
BF	_____	AM 019-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					06/21/2023
BF	_____	AM 020-FEL FINAL ELECTRIC					06/21/2023
BF	_____	AM 021-FMC FINAL MECHANICAL					06/21/2023
PBF	_____	AM 022-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					06/21/2023
ED	_____	023-EFL ENGINEERING - FINAL INSPE					06/29/2023
JB	_____	023-EFL ENGINEERING - FINAL INSPE Comments1: SIDE WALK SQUARES	20221343	282A BARRETT DR	114		06/12/2023
JB	_____	023-EFL ENGINEERING - FINAL INSPE Comments1: SIDEWALK SQUARES	20221344	282B BARRETT DR	113		06/12/2023
JB	_____	023-EFL ENGINEERING - FINAL INSPE Comments1: SIDE WALK SQUARES	20221345	282C BARRETT DR	112		06/12/2023
JB	_____	023-EFL ENGINEERING - FINAL INSPE Comments1: SIDE WALK SQUARES AND BBOX NOT KEYABLE	20221346	282D BARRETT DR	111		06/12/2023
JB	_____	023-EFL ENGINEERING - FINAL INSPE Comments1: SIDEWALK SQUARES	20221347	282E BARRETT DR	110		06/12/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 8

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JB	_____	023-EFL ENGINEERING - FINAL INSPE	20221348	282F BARRETT DR	109		06/12/2023
		Comments1: SIDE WALK SQUARES					
GH	_____	014-EPW ENGINEERING- PUBLIC WALK	20221363	3788 BISSEL DR	127-5		06/02/2023
		Comments1: CHRIS					
GH	_____	015-EPW ENGINEERING- PUBLIC WALK	20221364	3776 BISSEL DR	128		06/02/2023
		Comments1: CHRIS					
BF	_____	016-FIN FINAL INSPECTION					06/12/2023
		Comments1: TIM 224-483-1848					
BF	_____	017-FEL FINAL ELECTRIC					06/12/2023
BF	_____	018-FMC FINAL MECHANICAL					06/12/2023
PBF	_____	019-PLF PLUMBING - FINAL OSR READ					06/12/2023
		Comments1: TIM 224-483-1848					
PR	_____	020-EFL ENGINEERING - FINAL INSPE					06/16/2023
BF	_____	AM 015-FIN FINAL INSPECTION	20221365	3778 BISSEL DR	128-2		06/19/2023
		Comments1: TIM 224-483-1848					
BF	_____	AM 016-FEL FINAL ELECTRIC					06/19/2023
BF	_____	AM 017-FMC FINAL MECHANICAL					06/19/2023
BF	_____	AM 018-PLF PLUMBING - FINAL OSR READ					06/19/2023
		Comments1: TIM 224-483-1848					
ED	_____	019-EFL ENGINEERING - FINAL INSPE					06/16/2023
BF	_____	AM 015-FIN FINAL INSPECTION	20221366	3782 BISSEL DR	128-3		06/19/2023
		Comments1: TIM 224-483-1848					
BF	_____	AM 016-FEL FINAL ELECTRIC					06/19/2023
BF	_____	AM 017-FMC FINAL MECHANICAL					06/19/2023
PBF	_____	AM 018-PLF PLUMBING - FINAL OSR READ					06/19/2023
		Comments1: TIM 224-483-1848					
PR	_____	019-EFL ENGINEERING - FINAL INSPE					06/16/2023
		Comments1: BBOX					
ED	_____	020-REI REINSPECTION					06/22/2023
		Comments1: FINAL SITE					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	015-EFL ENGINEERING - FINAL INSPE	20221367	3784 BISSEL DR	128-4		06/16/2023
BF	_____	016-FIN FINAL INSPECTION Comments1: TIM 224-483-1848					06/23/2023
BF	_____	017-FEL FINAL ELECTRIC					06/23/2023
BF	_____	018-FMC FINAL MECHANICAL					06/23/2023
PBF	_____	019-PLF PLUMBING - FINAL OSR READ Comments1: TIM 224-483-1848					06/23/2023
BF	_____	014-FIN FINAL INSPECTION Comments1: TIM 224-483-1848 GARAGE DOOR NEEDS TO BE Comments2: SELF CLOSING	20221368	3786 BISSEL DR	128-5		06/23/2023
BF	_____	015-FEL FINAL ELECTRIC					06/23/2023
BF	_____	016-FMC FINAL MECHANICAL					06/23/2023
PBF	_____	017-PLF PLUMBING - FINAL OSR READ Comments1: TIM 224-483-1848					06/23/2023
PR	_____	018-EFL ENGINEERING - FINAL INSPE					06/16/2023
JP	_____	AM 016-WKS PUBLIC & SERVICE WALKS Comments1: UPLAND	20221377	224A PORTAGE LN	140		06/21/2023
JP	_____	AM 017-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/21/2023
JP	_____	AM 016-WKS PUBLIC & SERVICE WALKS Comments1: UPLAND	20221378	224B PORTAGE LN	141		06/21/2023
JP	_____	AM 017-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/21/2023
JP	_____	AM 016-WKS PUBLIC & SERVICE WALKS Comments1: UPLAND	20221379	224C PORTAGE LN	142		06/21/2023
JP	_____	AM 017-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/21/2023
JP	_____	AM 016-WKS PUBLIC & SERVICE WALKS Comments1: UPLAND	20221380	224D PORTAGE LN	143		06/21/2023
JP	_____	AM 017-PPS PRE-POUR, SLAB ON GRADE					06/21/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 10

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	AM 017-WKS PUBLIC & SERVICE WALKS Comments1: UPLAND	20221381	236A PORTAGE LN	135		06/07/2023
BC	_____	AM 018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/07/2023
BF	_____	020-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					06/28/2023
BF	_____	021-FEL FINAL ELECTRIC					06/28/2023
BF	_____	022-FMC FINAL MECHANICAL					06/28/2023
PBF	_____	023-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					06/28/2023
ED	_____	024-EFL ENGINEERING - FINAL INSPE					06/29/2023
BC	_____	AM 017-WKS PUBLIC & SERVICE WALKS Comments1: UPLAND	20221382	236B PORTAGE LN	136		06/07/2023
BC	_____	AM 018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/07/2023
BF	_____	020-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					06/28/2023
BF	_____	021-FEL FINAL ELECTRIC					06/28/2023
BF	_____	022-FMC FINAL MECHANICAL					06/28/2023
PBF	_____	023-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					06/28/2023
ED	_____	024-EFL ENGINEERING - FINAL INSPE					06/29/2023
BC	_____	AM 017-WKS PUBLIC & SERVICE WALKS Comments1: UPLAND	20221383	236C PORTAGE LN	137		06/07/2023
BC	_____	AM 018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/07/2023
BF	_____	020-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					06/28/2023
BF	_____	021-FEL FINAL ELECTRIC					06/28/2023
BF	_____	022-FMC FINAL MECHANICAL					06/28/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	023-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					06/28/2023
ED	_____	024-EFL ENGINEERING - FINAL INSPE					06/29/2023
BC	_____	AM 017-WKS PUBLIC & SERVICE WALKS Comments1: UPLAND	20221384	236D PORTAGE LN	138		06/07/2023
BC	_____	AM 018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/07/2023
ED	_____	019-EFL ENGINEERING - FINAL INSPE					06/29/2023
BF	_____	020-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					06/28/2023
BF	_____	021-FEL FINAL ELECTRIC					06/28/2023
BF	_____	022-FMC FINAL MECHANICAL					06/28/2023
PBF	_____	023-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					06/28/2023
BC	_____	AM 017-WKS PUBLIC & SERVICE WALKS Comments1: UPLAND	20221385	236E PORTAGE LN	139		06/07/2023
BC	_____	AM 018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/07/2023
ED	_____	019-EFL ENGINEERING - FINAL INSPE					06/29/2023
BF	_____	020-FIN FINAL INSPECTION Comments1: NORM 630-818-0404					06/28/2023
BF	_____	021-FEL FINAL ELECTRIC					06/28/2023
BF	_____	022-FMC FINAL MECHANICAL					06/28/2023
PBF	_____	023-PLF PLUMBING - FINAL OSR READ Comments1: NORM 630-818-0404					06/28/2023
BF	_____	AM 008-GAR GARAGE FLOOR Comments1: COX CONSTRUCTION 630-536-4171	20221410	2903 CRYDER WAY	470		06/12/2023
BF	_____	PM 009-RFR ROUGH FRAMING Comments1: PM CHRIS 815-603-0589 SEE INSPECTION REP Comments2: ORT					06/20/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	PM 010-REL ROUGH ELECTRICAL					06/20/2023
		Comments1: SEE INSPECTION REPORT					
BF	_____	PM 011-RMC ROUGH MECHANICAL					06/20/2023
		Comments1: SEE INSPECTION REPORT					
PBF	_____	PM 012-PLR PLUMBING - ROUGH					06/20/2023
		Comments1: PM CHRIS 815-603-0589					
BF	_____	013-REI REINSPECTION					06/22/2023
		Comments1: ROUGH FRAME MECH ELEC - CHRIS 815-603-05					
		Comments2: 89 APPROVED AS NOTED					
JP	_____	014-INS INSULATION					06/30/2023
		Comments1: CHRIS 815-603-0589					
ED	_____	024-EFL ENGINEERING - FINAL INSPE	20221417	3032 GRANDE TR	538		06/16/2023
		Comments1: TEMP TO FINAL					
JB	_____	018-EFL ENGINEERING - FINAL INSPE	20221418	2636 KELLOGG CT	45		06/07/2023
BF	_____	019-FIN FINAL INSPECTION					06/08/2023
		Comments1: NICK 630-988-0169					
BF	_____	020-FEL FINAL ELECTRIC					06/08/2023
BF	_____	021-FMC FINAL MECHANICAL					06/08/2023
PBF	_____	022-PLF PLUMBING - FINAL OSR READ					06/08/2023
		Comments1: NICK 630-988-0169					
BF	_____	020-FIN FINAL INSPECTION	20221419	4865 W MILLBROOK CIR	155		06/01/2023
		Comments1: NICK 630-988-0169					
BF	_____	021-FEL FINAL ELECTRIC					06/01/2023
BF	_____	022-FMC FINAL MECHANICAL					06/01/2023
PBF	_____	023-PLF PLUMBING - FINAL OSR READ					06/01/2023
		Comments1: NICK 630-988-0169					
JB	_____	024-EFL ENGINEERING - FINAL INSPE					06/07/2023
BF	_____	016-DMW DEMISING WALL	20221436	221A PORTAGE LN	144		06/09/2023
		Comments1: NORM 630-818-0404					
BC	_____	017-MIS MISCELLANEOUS				06/21/2023	
		Comments1: CAULK -- FIRE BLOCKING -- NORM					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 13

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	AM 018-WKS PUBLIC & SERVICE WALKS Comments1: UPLAND					06/21/2023
BC	_____	AM 019-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/21/2023
GH	_____	020-RST FIRE OR DRAFT STOPPING Comments1: NORM 630-818-0404				06/27/2023	
BF	_____	016-DMW DEMISING WALL Comments1: NORM 630-818-0404	20221437	221B PORTAGE LN	145		06/09/2023
BC	_____	017-MIS MISCELLANEOUS Comments1: CAULK -- FIRE BLOCKING -- NORM				06/21/2023	
BC	_____	AM 018-WKS PUBLIC & SERVICE WALKS Comments1: UPLAND					06/21/2023
BC	_____	AM 019-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/21/2023
GH	_____	020-RST FIRE OR DRAFT STOPPING Comments1: NORM 630-818-0404					06/27/2023
BF	_____	016-DMW DEMISING WALL Comments1: NORM 630-818-0404	20221438	221C PORTAGE LN	146		06/09/2023
BC	_____	017-MIS MISCELLANEOUS Comments1: CAULK -- FIRE BLOCKING -- NORM				06/21/2023	
BC	_____	AM 018-WKS PUBLIC & SERVICE WALKS Comments1: UPLAND					06/21/2023
BC	_____	AM 019-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/21/2023
GH	_____	020-RST FIRE OR DRAFT STOPPING Comments1: NORM 630-818-0404					06/27/2023
BF	_____	016-DMW DEMISING WALL Comments1: NORM 630-818-0404	20221439	221D PORTAGE LN	147		06/09/2023
BC	_____	017-MIS MISCELLANEOUS Comments1: CAULK -- FIRE BLOCKING -- NORM				06/21/2023	
BC	_____	AM 018-WKS PUBLIC & SERVICE WALKS					06/21/2023
BC	_____	AM 019-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/21/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 14

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	020-RST FIRE OR DRAFT STOPPING Comments1: NORM 630-818-0404					06/27/2023
BF	_____	016-DMW DEMISING WALL Comments1: NORM 630-818-0404	20221440	221E PORTAGE LN	148		06/09/2023
BC	_____	017-MIS MISCELLANEOUS Comments1: CAULK -- FIRE BLOCKING -- NORM				06/21/2023	
BC	_____	AM 018-WKS PUBLIC & SERVICE WALKS					06/21/2023
BC	_____	AM 019-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/21/2023
GH	_____	020-RST FIRE OR DRAFT STOPPING Comments1: NORM 630-818-0404					06/27/2023
BF	_____	PM 012-RFR ROUGH FRAMING Comments1: NORM 630-818-0404	20221441	235A PORTAGE LN	149		06/07/2023
BF	_____	PM 013-REL ROUGH ELECTRICAL					06/07/2023
BF	_____	PM 014-RMC ROUGH MECHANICAL					06/07/2023
BF	_____	PM 015-GPL GREEN PLATE INSPECTION					06/07/2023
PBF	_____	PM 016-PLR PLUMBING - ROUGH Comments1: NORM 630-818-0404					06/07/2023
BF	_____	PM 017-INS INSULATION Comments1: NORM 630-818-0404					06/09/2023
BC	_____	018-DMW DEMISING WALL Comments1: NORM 630-818-0404					06/15/2023
BC	_____	PM 019-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- JOSE 630-465-1159					06/22/2023
BC	_____	PM 020-WKS PUBLIC & SERVICE WALKS					06/22/2023
BF	_____	PM 012-RFR ROUGH FRAMING Comments1: NORM 630-818-0404	20221442	235B PORTAGE LN	150		06/07/2023
BF	_____	PM 013-REL ROUGH ELECTRICAL					06/07/2023
BF	_____	PM 014-RMC ROUGH MECHANICAL					06/07/2023
BF	_____	PM 015-GPL GREEN PLATE INSPECTION					06/07/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 15

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	PM 016-PLR PLUMBING - ROUGH Comments1: NORM 630-818-0404					06/07/2023
BF	_____	PM 017-INS INSULATION Comments1: NORM 630-818-0404					06/09/2023
BC	_____	018-DMW DEMISING WALL Comments1: NORM					06/15/2023
BC	_____	PM 019-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- JOSE 630-465-1159					06/22/2023
BC	_____	PM 020-WKS PUBLIC & SERVICE WALKS					06/22/2023
BF	_____	PM 012-RFR ROUGH FRAMING Comments1: NORM 630-818-0404	20221443	235C PORTAGE LN	151		06/07/2023
BF	_____	PM 013-REL ROUGH ELECTRICAL					06/07/2023
BF	_____	PM 014-RMC ROUGH MECHANICAL					06/07/2023
BF	_____	PM 015-GPL GREEN PLATE INSPECTION					06/07/2023
PBF	_____	PM 016-PLR PLUMBING - ROUGH Comments1: NORM 630-818-0404					06/07/2023
BF	_____	PM 017-INS INSULATION Comments1: NORM 630-818-0404					06/09/2023
BC	_____	AM 018-DMW DEMISING WALL Comments1: NORM					06/20/2023
BC	_____	PM 019-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- JOSE 630-465-1159					06/22/2023
BC	_____	PM 020-WKS PUBLIC & SERVICE WALKS					06/22/2023
BF	_____	PM 012-RFR ROUGH FRAMING Comments1: NORM 630-818-0404	20221444	235D PORTAGE LN	152		06/07/2023
BF	_____	PM 013-REL ROUGH ELECTRICAL					06/07/2023
BF	_____	PM 014-RMC ROUGH MECHANICAL					06/07/2023
BF	_____	PM 015-GPL GREEN PLATE INSPECTION					06/07/2023
PBF	_____	PM 016-PLR PLUMBING - ROUGH Comments1: NORM 630-818-0404					06/07/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 16

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	PM 017-INS INSULATION Comments1: NORM 630-818-0404					06/09/2023
BC	_____	AM 018-DMW DEMISING WALL Comments1: NORM					06/20/2023
BC	_____	PM 019-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- JOSE 630-465-1159					06/22/2023
BC	_____	PM 020-WKS PUBLIC & SERVICE WALKS					06/22/2023
BC	_____	012-RFR ROUGH FRAMING Comments1: NORM	20221445	269A PORTAGE LN	153		06/15/2023
BC	_____	013-REL ROUGH ELECTRICAL					06/15/2023
BC	_____	014-RMC ROUGH MECHANICAL					06/15/2023
BC	_____	015-GPL GREEN PLATE INSPECTION					06/15/2023
PBF	_____	016-PLR PLUMBING - ROUGH Comments1: NORM 630-818-0404					06/15/2023
BC	_____	017-INS INSULATION Comments1: NORM					06/20/2023
BC	_____	018-DMW DEMISING WALL Comments1: NORM 630-818-0404					06/26/2023
GH	_____	AM 019-WKS PUBLIC & SERVICE WALKS					06/26/2023
GH	_____	020-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/26/2023
BC	_____	012-RFR ROUGH FRAMING Comments1: NORM	20221446	269B PORTAGE LN	154		06/15/2023
BC	_____	013-REL ROUGH ELECTRICAL					06/15/2023
BC	_____	014-RMC ROUGH MECHANICAL					06/15/2023
BC	_____	015-GPL GREEN PLATE INSPECTION					06/15/2023
PBF	_____	016-PLR PLUMBING - ROUGH Comments1: NORM 630-818-0404					06/15/2023
BC	_____	017-INS INSULATION Comments1: NORM					06/20/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 17

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	018-WKS PUBLIC & SERVICE WALKS					06/26/2023
GH	_____	019-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/26/2023
GH	_____	020-DMW DEMISING WALL Comments1: 630-818-0404					06/28/2023
GH	_____	012-RFR ROUGH FRAMING Comments1: NORM	20221447	269C PORTAGE LN	155		06/15/2023
GH	_____	013-REL ROUGH ELECTRICAL					06/15/2023
GH	_____	014-RMC ROUGH MECHANICAL					06/15/2023
GH	_____	015-GPL GREEN PLATE INSPECTION					06/15/2023
PBF	_____	016-PLR PLUMBING - ROUGH Comments1: NORM 630-818-0404					06/15/2023
BC	_____	017-INS INSULATION Comments1: NORM					06/20/2023
GH	_____	018-WKS PUBLIC & SERVICE WALKS					06/26/2023
GH	_____	019-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/26/2023
GH	_____	020-DMW DEMISING WALL					06/28/2023
GH	_____	012-RFR ROUGH FRAMING Comments1: NORM	20221448	269D PORTAGE LN	156		06/15/2023
GH	_____	013-REL ROUGH ELECTRICAL					06/15/2023
GH	_____	014-RMC ROUGH MECHANICAL					06/15/2023
GH	_____	015-GPL GREEN PLATE INSPECTION					06/15/2023
PBF	_____	016-PLR PLUMBING - ROUGH Comments1: NORMM 630-818-0404					06/15/2023
BC	_____	017-INS INSULATION					06/20/2023
BC	_____	018-DMW DEMISING WALL Comments1: NORM 630-818-0404					06/26/2023
GH	_____	019-WKS PUBLIC & SERVICE WALKS					06/26/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 18

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	020-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/26/2023
BF	_____	012-RFR ROUGH FRAMING Comments1: NORM 630-818-0404	20221449	279A PORTAGE LN	157		06/28/2023
BF	_____	013-REL ROUGH ELECTRICAL					06/28/2023
BF	_____	014-RMC ROUGH MECHANICAL					06/28/2023
GH	_____	015-GPL GREEN PLATE INSPECTION					06/28/2023
PBF	_____	016-PLR PLUMBING - ROUGH Comments1: NORM 630-818-0404					06/28/2023
BF	_____	012-RFR ROUGH FRAMING Comments1: NORM 630-818-0404	20221450	279B PORTAGE LN	158		06/28/2023
BF	_____	013-REL ROUGH ELECTRICAL					06/28/2023
BF	_____	014-RMC ROUGH MECHANICAL					06/28/2023
GH	_____	015-GPL GREEN PLATE INSPECTION					06/28/2023
PBF	_____	016-PLR PLUMBING - ROUGH Comments1: NORM 630-818-0404					06/28/2023
BF	_____	012-RFR ROUGH FRAMING Comments1: NORM 630-818-0404	20221451	279C PORTAGE LN	159		06/28/2023
BF	_____	013-REL ROUGH ELECTRICAL					06/28/2023
BF	_____	014-RMC ROUGH MECHANICAL					06/28/2023
GH	_____	015-GPL GREEN PLATE INSPECTION					06/28/2023
PBF	_____	016-PLR PLUMBING - ROUGH Comments1: NORM 630-818-0404					06/28/2023
BF	_____	012-RFR ROUGH FRAMING Comments1: NORM 630-818-0404	20221452	279D PORTAGE LN	160		06/28/2023
BF	_____	013-REL ROUGH ELECTRICAL					06/28/2023
BF	_____	014-RMC ROUGH MECHANICAL					06/28/2023
GH	_____	015-GPL GREEN PLATE INSPECTION					06/28/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	016-PLR PLUMBING - ROUGH					06/28/2023
		Comments1: NORM 630-818-0404					
BF	_____	012-RFR ROUGH FRAMING	20221453	279E PORTAGE LN	161		06/28/2023
		Comments1: NORM 630-818-0404					
BF	_____	013-REL ROUGH ELECTRICAL					06/28/2023
BF	_____	014-RMC ROUGH MECHANICAL					06/28/2023
GH	_____	015-GPL GREEN PLATE INSPECTION					06/28/2023
PBF	_____	016-PLR PLUMBING - ROUGH					06/28/2023
		Comments1: NORM 630-818-0404					
PR	_____	017-FIN FINAL INSPECTION	20221455	805 FREEMONT ST	44		06/13/2023
		Comments1: GARY					
PR	_____	018-FEL FINAL ELECTRIC					06/13/2023
PR	_____	019-FMC FINAL MECHANICAL					06/13/2023
PR	_____	020-PLR PLUMBING - ROUGH					06/13/2023
		Comments1: GARY 630-977-1868					
ED	_____	021-EFL ENGINEERING - FINAL INSPE					06/14/2023
BF	_____	PM 018-FIN FINAL INSPECTION	20221466	495 TIMBER OAK LN	28		06/27/2023
		Comments1: JASON 630-632-7433					
BF	_____	PM 019-FEL FINAL ELECTRIC					06/27/2023
BF	_____	PM 020-FMC FINAL MECHANICAL					06/27/2023
PBF	_____	PM 021-PLF PLUMBING - FINAL OSR READ					06/27/2023
		Comments1: JASON 630-632-7433					
ED	_____	022-EFL ENGINEERING - FINAL INSPE					06/28/2023
ED	_____	013-EFL ENGINEERING - FINAL INSPE	20221470	3977 EVANS CT	60		06/22/2023
ED	_____	013-EFL ENGINEERING - FINAL INSPE	20221471	3979 EVANS CT	60		06/22/2023
		Comments1: CANNOT KEY EXTENSION, NOT SECURE FELL OF					
		Comments2: F					
ED	_____	014-REI REINSPECTION					06/29/2023
		Comments1: BBOX -- STILL CANNOT KEY					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 20

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
ED	_____	015-EFL ENGINEERING - FINAL INSPE	20221472	3981 EVANS CT	60		06/22/2023
ED	_____	015-EFL ENGINEERING - FINAL INSPE	20221473	3983 EVANS CT	60		06/22/2023
BF	_____	AM 016-FIN FINAL INSPECTION	20221474	3967 EVANS CT	61		06/07/2023
		Comments1: ABBY 630-273-2528-SEE INSPECTION REPORT					
BF	_____	AM 017-FEL FINAL ELECTRIC					06/07/2023
		Comments1: SEE NSPECTION REPORT					
BF	_____	AM 018-FMC FINAL MECHANICAL					06/07/2023
PBF	_____	AM 019-PLF PLUMBING - FINAL OSR READ					06/07/2023
		Comments1: ABBY 630-273-2528					
BF	_____	020-REI REINSPECTION					06/08/2023
		Comments1: FINAL BUILDING AND ELECTRICAL ABBY 630-2					
		Comments2: 73-2528					
ED	_____	021-EFL ENGINEERING - FINAL INSPE					06/22/2023
ED	_____	016-EFL ENGINEERING - FINAL INSPE	20221475	3969 EVANS CT	61		06/22/2023
BF	_____	AM 017-FIN FINAL INSPECTION					06/28/2023
		Comments1: ABBY 630-273-2528					
BF	_____	AM 018-FEL FINAL ELECTRIC					06/28/2023
		Comments1: SECOND OUTLET IS REQUIRED IN GARAGE - 1					
		Comments2: FOR EACH CAR BAY					
BF	_____	AM 019-FMC FINAL MECHANICAL					06/28/2023
		Comments1: ABBY 630-273-2528					
PBF	_____	AM 020-PLF PLUMBING - FINAL OSR READ					06/28/2023
		Comments1: ABBY 630-273-2528					
BF	_____	PM 021-REI REINSPECTION					06/29/2023
		Comments1: FINAL ELECTRICAL -- ABBY 630-273-2528					
ED	_____	016-EFL ENGINEERING - FINAL INSPE	20221476	3971 EVANS CT	61		06/22/2023
ED	_____	016-EFL ENGINEERING - FINAL INSPE	20221477	3973 EVANS CT	61		06/22/2023
BF	_____	AM 017-FIN FINAL INSPECTION					06/26/2023
		Comments1: ABBY 630-273-2528					
BF	_____	AM 018-FEL FINAL ELECTRIC					06/26/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	AM 019-FMC FINAL MECHANICAL					06/26/2023
PBF	_____	AM 020-PLF PLUMBING - FINAL OSR READ Comments1: ABBY 630-273-2528					06/26/2023
BC	_____	AM 002-PPS PRE-POUR, SLAB ON GRADE Comments1: WILLIAM 708-373-3360	20221478	2259 FAIRFIELD AVE	371		06/09/2023
BF	_____	PM 003-FIN FINAL INSPECTION Comments1: SOLAR -- CHASE 573-453-8389	20221479	2841 ALDEN AVE	286		06/05/2023
BF	_____	PM 004-FEL FINAL ELECTRIC					06/05/2023
PBF	_____	AM 005-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					06/23/2023
BC	_____	015-PPS PRE-POUR, SLAB ON GRADE Comments1: CLAYTON 630-336-3678	20221500	837 ALEXANDRA LN	23		06/13/2023
PBF	_____	005-ESW ENGINEERING - SEWER / WAT Comments1: MIKE 815-210-3338	20221508	2841 ROOD ST	316		06/07/2023
GH	_____	AM 006-BSM BASEMENT FLOOR Comments1: PACO 630-536-4171					06/26/2023
GH	_____	AM 007-GAR GARAGE FLOOR					06/26/2023
GH	_____	008-STP STOOP Comments1: FRONT & REAR					06/26/2023
BC	_____	AM 009-ELS ELECTRIC SERVICE Comments1: CHRIS 815-603-0589					06/29/2023
JP	_____	003-FIN FINAL INSPECTION Comments1: FENCE RICK 630-361-3567	20221511	103 E CENTER ST		06/15/2023	
BC	_____	AM 019-EPW ENGINEERING- PUBLIC WALK Comments1: MW	20221522	2637 KELLOGG CT	57		06/07/2023
BF	_____	020-FIN FINAL INSPECTION Comments1: NICK 630-988-0169					06/22/2023
BF	_____	021-FEL FINAL ELECTRIC					06/22/2023
BF	_____	022-FMC FINAL MECHANICAL					06/22/2023
PBF	_____	023-PLF PLUMBING - FINAL OSR READ Comments1: NICK 630-988-0169					06/22/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 22

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
ED	_____	024-EFL ENGINEERING - FINAL INSPE					06/23/2023
		Comments1: FAILED PARKWAY TREE & B-BOX					
ED	_____	025-REI REINSPECTION					06/29/2023
ED	_____	026-REI REINSPECTION					06/29/2023
		Comments1: EFL					
PBF	_____	AM 004-WAT WATER	20221546	398 SANTA MONICA ST	127		06/05/2023
		Comments1: ALS					
PBF	_____	005-PLU PLUMBING - UNDERSLAB					06/29/2023
		Comments1: ACTION 630-293-0475					
PBF	_____	AM 004-WAT WATER	20221547	396 SANTA MONICA ST	128		06/05/2023
		Comments1: ALS					
PBF	_____	005-PLU PLUMBING - UNDERSLAB					06/29/2023
		Comments1: ACTION 630-293-0475					
PBF	_____	AM 004-WAT WATER	20221548	394 SANTA MONICA ST	129		06/05/2023
		Comments1: ALS					
PBF	_____	005-PLU PLUMBING - UNDERSLAB					06/29/2023
		Comments1: ACTION 630-293-0475					
PBF	_____	AM 004-WAT WATER	20221549	392 SANTA MONICA ST	130		06/05/2023
		Comments1: ALS					
PBF	_____	005-PLU PLUMBING - UNDERSLAB					06/29/2023
		Comments1: ACTION 630-293-0475					
PBF	_____	AM 004-WAT WATER	20221550	390 SANTA MONICA ST	131		06/05/2023
		Comments1: ALS					
PBF	_____	005-PLU PLUMBING - UNDERSLAB					06/29/2023
		Comments1: ACTION 630-293-0475					
PBF	_____	AM 004-WAT WATER	20221551	386 SANTA MONICA ST	132		06/05/2023
		Comments1: ALS					
PBF	_____	005-PLU PLUMBING - UNDERSLAB					06/27/2023
		Comments1: ACTION 630-293-0475					
PBF	_____	AM 004-WAT WATER	20221552	384 SANTA MONICA ST	133		06/05/2023
		Comments1: ALS					
PBF	_____	005-PLU PLUMBING - UNDERSLAB					06/27/2023
		Comments1: ACTION 630-293-0475					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 23

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	004-WAT WATER	20221553	382 SANTA MONICA ST	134		06/05/2023
		Comments1: ALS					
PBF	_____	005-PLU PLUMBING - UNDERSLAB					06/27/2023
		Comments1: ACTION 630-293-0475					
PBF	_____	009-PLU PLUMBING - UNDERSLAB	20221568	372 SANTA MONICA ST	149		06/08/2023
		Comments1: ACTION 630-293-0475					
BC	_____	010-ELU ELECTRICAL - UNDERSLAB					06/14/2023
		Comments1: JOHN 630-309-6556					
GH	_____	AM 011-PPS PRE-POUR, SLAB ON GRADE					06/21/2023
		Comments1: SLAB -- COMEX					
GH	_____	AM 012-GAR GARAGE FLOOR					06/21/2023
GH	_____	AM 013-STP STOOP					06/21/2023
GH	_____	014-PH POST HOLES / PILES					06/21/2023
PBF	_____	009-PLU PLUMBING - UNDERSLAB	20221569	374 SANTA MONICA ST	150		06/08/2023
		Comments1: ACTION 630-293-0475					
BC	_____	010-ELU ELECTRICAL - UNDERSLAB					06/14/2023
GH	_____	AM 011-PPS PRE-POUR, SLAB ON GRADE					06/21/2023
		Comments1: SLAB -- COMEX					
GH	_____	AM 012-GAR GARAGE FLOOR					06/21/2023
GH	_____	AM 013-STP STOOP					06/21/2023
PBF	_____	009-PLU PLUMBING - UNDERSLAB	20221570	376 SANTA MONICA ST	151		06/08/2023
		Comments1: ACTION 630-293-0475					
BC	_____	010-ELU ELECTRICAL - UNDERSLAB					06/14/2023
GH	_____	AM 011-PPS PRE-POUR, SLAB ON GRADE					06/21/2023
		Comments1: SLAB -- COMEX					
GH	_____	AM 012-GAR GARAGE FLOOR					06/21/2023
GH	_____	AM 013-STP STOOP					06/21/2023
PBF	_____	009-PLU PLUMBING - UNDERSLAB	20221571	378 SANTA MONICA ST	152		06/08/2023
		Comments1: ACTION 630-293-0475					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 24

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	010-ELU ELECTRICAL - UNDERSLAB					06/14/2023
GH	_____	AM 011-PPS PRE-POUR, SLAB ON GRADE Comments1: SLAB -- COMEX					06/21/2023
GH	_____	AM 012-GAR GARAGE FLOOR					06/21/2023
GH	_____	AM 013-STP STOOP					06/21/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: ACTION 630-293-0475	20221572	362 SANTA MONICA ST	153		06/08/2023
BC	_____	006-ELU ELECTRICAL - UNDERSLAB Comments1: JOHN 630-309-6556					06/14/2023
GH	_____	PM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: SLAB -- COMEX					06/21/2023
GH	_____	PM 008-GAR GARAGE FLOOR					06/21/2023
GH	_____	PM 009-STP STOOP					06/21/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: ACTION 630-293-0475	20221573	364 SANTA MONICA ST	154		06/08/2023
BC	_____	006-ELU ELECTRICAL - UNDERSLAB					06/14/2023
GH	_____	PM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: SLAB -- COMEX					06/21/2023
GH	_____	PM 008-GAR GARAGE FLOOR					06/21/2023
GH	_____	PM 009-STP STOOP					06/21/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: ACTION 630-293-0475	20221574	366 SANTA MONICA ST	155		06/08/2023
BC	_____	006-ELU ELECTRICAL - UNDERSLAB					06/14/2023
GH	_____	PM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: SLAB -- COMEX					06/21/2023
GH	_____	PM 008-GAR GARAGE FLOOR					06/21/2023
GH	_____	PM 009-STP STOOP					06/21/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: ACTION 630-293-0475	20221575	368 SANTA MONICA ST	156		06/08/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 25

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	006-ELU ELECTRICAL - UNDERSLAB					06/14/2023
GH	_____	PM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: SLAB -- COMEX					06/21/2023
GH	_____	PM 008-GAR GARAGE FLOOR					06/21/2023
GH	_____	PM 009-STP STOOP					06/21/2023
BF	_____	001-FTG FOOTING Comments1: JUAN 847-551-9066	20221576	397 SANTA MONICA ST	195		06/09/2023
GH	_____	002-FOU FOUNDATION Comments1: COMEX					06/15/2023
GH	_____	AM 003-BKF BACKFILL Comments1: COMEX					06/21/2023
PBF	_____	AM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					06/23/2023
BF	_____	001-FTG FOOTING Comments1: JUAN 847-551-9077	20221577	395 SANTA MONICA ST	196		06/09/2023
GH	_____	002-FOU FOUNDATION					06/15/2023
GH	_____	003-BKF BACKFILL Comments1: COMEX					06/21/2023
PBF	_____	AM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					06/23/2023
BF	_____	001-FTG FOOTING Comments1: JUAN 847-551-9077	20221578	393 SANTA MONICA ST	197		06/09/2023
GH	_____	002-FOU FOUNDATION					06/15/2023
GH	_____	AM 003-BKF BACKFILL Comments1: COMEX					06/21/2023
PBF	_____	AM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					06/23/2023
BF	_____	001-FTG FOOTING Comments1: JUAN 847-551-9077	20221579	391 SANTA MONICA ST	198		06/09/2023
GH	_____	002-FOU FOUNDATION					06/15/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 26

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	003-BKF BACKFILL Comments1: COMEX					06/21/2023
PBF	_____	AM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					06/23/2023
BF	_____	001-FTG FOOTING Comments1: JUAN 847-551-9077	20221580	389 SANTA MONICA ST	199		06/09/2023
GH	_____	002-FOU FOUNDATION					06/15/2023
GH	_____	AM 003-BKF BACKFILL Comments1: COMEX					06/21/2023
PBF	_____	AM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					06/23/2023
BF	_____	001-FTG FOOTING Comments1: JUAN 847-551-9077	20221581	387 SANTA MONICA ST	200		06/09/2023
GH	_____	002-FOU FOUNDATION					06/15/2023
GH	_____	003-BKF BACKFILL Comments1: COMEX					06/21/2023
PBF	_____	AM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					06/23/2023
BC	_____	AM 001-FTG FOOTING Comments1: JUAN 847-551-9066	20221582	373 SANTA MONICA ST	201		06/12/2023
BF	_____	AM 002-FOU FOUNDATION Comments1: JUAN					06/22/2023
BC	_____	AM 003-BKF BACKFILL Comments1: COMEX					06/27/2023
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					06/27/2023
BC	_____	AM 001-FTG FOOTING Comments1: JUAN 847-551-9066	20221583	371 SANTA MONICA ST	202		06/12/2023
BF	_____	AM 002-FOU FOUNDATION Comments1: JUAN					06/22/2023
BC	_____	AM 003-BKF BACKFILL Comments1: COMEX					06/27/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 27

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					06/27/2023
BC	_____	AM 001-FTG FOOTING Comments1: JUAN 847-551-9066	20221584	369 SANTA MONICA ST	203		06/12/2023
BF	_____	AM 002-FOU FOUNDATION Comments1: JUAN					06/22/2023
BC	_____	AM 003-BKF BACKFILL Comments1: COMEX					06/27/2023
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					06/27/2023
BC	_____	AM 001-FTG FOOTING Comments1: JUAN 847-551-9066	20221585	367 SANTA MONICA ST	204		06/12/2023
BF	_____	AM 002-FOU FOUNDATION Comments1: JUAN					06/22/2023
BC	_____	am 003-BKF BACKFILL Comments1: COMEX					06/27/2023
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					06/27/2023
BC	_____	AM 001-FTG FOOTING Comments1: JUAN 847-551-9066	20221586	365 SANTA MONICA ST	205		06/12/2023
BF	_____	AM 002-FOU FOUNDATION Comments1: JUAN					06/22/2023
BC	_____	AM 003-BKF BACKFILL Comments1: COMEX					06/27/2023
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					06/27/2023
BC	_____	AM 001-FTG FOOTING Comments1: JUAN 847-551-9066	20221587	363 SANTA MONICA ST	206		06/12/2023
BF	_____	AM 002-FOU FOUNDATION Comments1: JUAN					06/22/2023
BC	_____	AM 003-BKF BACKFILL Comments1: COMEX					06/27/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 28

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: ALS 630-492-7635					06/27/2023
BF	_____	AM 003-BKF BACKFILL Comments1: MIDWESTERN 815-839-8175	20221594	3038 GRANDE TR	539		06/01/2023
PR	_____	AM 004-WAT WATER Comments1: ALS					06/05/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: AUSTIN 630-720-1287					06/08/2023
BC	_____	PM 006-BSM BASEMENT FLOOR Comments1: MW					06/08/2023
BC	_____	PM 007-GAR GARAGE FLOOR					06/08/2023
BF	_____	008-GPL GREEN PLATE INSPECTION Comments1: AUSTIN 630-720-1287					06/09/2023
BC	_____	018-EPW ENGINEERING- PUBLIC WALK Comments1: MW	20221595	2639 KELLOGG CT	56		06/07/2023
BF	_____	019-FIN FINAL INSPECTION Comments1: NICK630-988-0169					06/23/2023
BF	_____	020-FEL FINAL ELECTRIC					06/23/2023
BF	_____	021-FMC FINAL MECHANICAL					06/23/2023
PBF	_____	022-PLF PLUMBING - FINAL OSR READ Comments1: NICK 630-988-0169					06/23/2023
ED	_____	023-EFL ENGINEERING - FINAL INSPE Comments1: FAILED PARKWAY TREE					06/23/2023
ED	_____	024-EFL ENGINEERING - FINAL INSPE					06/29/2023
BC	_____	PM 017-FIN FINAL INSPECTION Comments1: JASON 630-632-7433	20230003	652 TIMBER OAK LN	47		06/28/2023
BC	_____	PM 018-FEL FINAL ELECTRIC					06/28/2023
BC	_____	PM 019-FMC FINAL MECHANICAL					06/28/2023
PBF	_____	PM 020-PLF PLUMBING - FINAL OSR READ Comments1: JASON 630-632-7433					06/28/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 29

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
ED	_____	PM 021-EFL ENGINEERING - FINAL INSPE					06/28/2023
		Comments1: TREE AND PROPERTY CORNERS					
ED	_____	022-REI REINSPECTION					06/30/2023
		Comments1: EFL					
MT	_____	002-OCC OCCUPANCY INSPECTION	20230005	101 W HYDRAULIC ST			06/27/2023
		Comments1: PASSED -- PER EMAIL FROM MT					
GH	_____	016-FIN FINAL INSPECTION	20230014	2769 BERRYWOOD LN	789		06/16/2023
		Comments1: MIKE 224-340-5860					
GH	_____	017-FEL FINAL ELECTRIC					06/16/2023
GH	_____	018-FMC FINAL MECHANICAL					06/16/2023
PBF	_____	019-PLF PLUMBING - FINAL OSR READ					06/16/2023
		Comments1: MIKE 224-340-5860					
ED	_____	020-EFL ENGINEERING - FINAL INSPE					06/21/2023
BF	_____	016-FIN FINAL INSPECTION	20230015	2773 BERRYWOOD LN	790		06/01/2023
		Comments1: MIKE 224-340-5860					
BF	_____	017-FEL FINAL ELECTRIC					06/01/2023
BF	_____	018-FMC FINAL MECHANICAL					06/01/2023
PBF	_____	019-PLF PLUMBING - FINAL OSR READ					06/01/2023
		Comments1: MIKE 224-340-5860					
PBF	_____	AM 020-REI REINSPECTION					06/05/2023
		Comments1: FINAL PLUMBING -- MIKE 224-340-5860					
BF	_____	016-WKS PUBLIC & SERVICE WALKS	20230016	2602 SEELEY ST	752		06/09/2023
		Comments1: JOSE 630-465-1159 -- SEE INSPECTION REPO					
		Comments2: RT					
GH	_____	018-FIN FINAL INSPECTION	20230017	2601 SEELEY ST	835		06/16/2023
		Comments1: MIKE 224-340-5860					
GH	_____	019-FEL FINAL ELECTRIC					06/16/2023
GH	_____	020-FMC FINAL MECHANICAL					06/16/2023
PBF	_____	021-PLF PLUMBING - FINAL OSR READ					06/16/2023
		Comments1: MIKE 224-340-5860					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
ED	_____	022-EFL ENGINEERING - FINAL INSPE					06/21/2023
		Comments1: FAILED PROPERTY CORNERS					
ED	_____	023-REI REINSPECTION					06/27/2023
		Comments1: EFL					
BF	_____	AM 016-WK SERVICE WALK	20230020	625 BRAEMORE LN	530		06/19/2023
		Comments1: AM COMEX 847-551-9066					
JP	_____	PM 017-EPW ENGINEERING- PUBLIC WALK					06/26/2023
		Comments1: COMEX					
GH	_____	AM 009-STP STOOP	20230021	2425 FAIRFIELD AVE	490		06/01/2023
		Comments1: FRONT -- JUAN 847-551-9066					
GH	_____	AM 010-PHD POST HOLE - DECK					06/01/2023
GH	_____	AM 011-PPS PRE-POUR, SLAB ON GRADE					06/01/2023
		Comments1: PATIO					
GH	_____	012-RFR ROUGH FRAMING					06/20/2023
		Comments1: JEFF 847-456-8082					
GH	_____	013-REL ROUGH ELECTRICAL					06/20/2023
GH	_____	014-RMC ROUGH MECHANICAL					06/20/2023
PBF	_____	015-PLR PLUMBING - ROUGH					06/20/2023
		Comments1: JEFF 847-456-8082					
GH	_____	016-INS INSULATION					06/23/2023
		Comments1: JEFF					
PBF	_____	017-SUM SUMP					06/28/2023
		Comments1: VERUNA 630-387-2001					
BF	_____	012-RFR ROUGH FRAMING	20230022	2334 RICHMOND AVE	478		06/02/2023
		Comments1: JEFF 847-456-8082					
BF	_____	013-REL ROUGH ELECTRICAL					06/02/2023
BF	_____	014-RMC ROUGH MECHANICAL					06/02/2023
PBF	_____	015-PLR PLUMBING - ROUGH					06/02/2023
		Comments1: JEFF 847-456-8082					
GH	_____	016-INS INSULATION					06/07/2023
		Comments1: JEFF 847-456-8082					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 31

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	AM 017-WKS PUBLIC & SERVICE WALKS Comments1: AM COMEX 847-551-9066					06/19/2023
BF	_____	AM 016-WK SERVICE WALK Comments1: AM COMEX 847-551-9066	20230023	645 BRAEMORE LN	529		06/19/2023
GH	_____	AM 017-EPW ENGINEERING- PUBLIC WALK Comments1: COMEX					06/27/2023
GH	_____	AM 016-WKS PUBLIC & SERVICE WALKS Comments1: JUAN 847-551-9066	20230024	522 COACH RD	409		06/01/2023
BF	_____	017-FIN FINAL INSPECTION Comments1: AUSTIN 630-720-1287 -- SEE INSPECTION RE Comments2: PORT	20230027	3031 GRANDE TR	531		06/05/2023
BF	_____	018-FEL FINAL ELECTRIC					06/05/2023
BF	_____	019-FMC FINAL MECHANICAL					06/05/2023
PBF	_____	020-PLF PLUMBING - FINAL OSR READ Comments1: AUSTIN 630-720-1287					06/05/2023
BC	_____	021-REI REINSPECTION Comments1: FIN --AUSTIN					06/08/2023
ED	_____	022-EFL ENGINEERING - FINAL INSPE					06/22/2023
GH	_____	AM 020-EPW ENGINEERING- PUBLIC WALK Comments1: MW	20230028	3096 GRANDE TR	549		06/06/2023
BF	_____	021-FIN FINAL INSPECTION Comments1: AUSTIN 630-720-1287 NEED REAR STOOP, NO Comments2: ENERGY STICKER, SPACING AT RAILING AT BA Comments3: SEMENT STAIRS					06/21/2023
BF	_____	022-FEL FINAL ELECTRIC Comments1: BAD ARC FAULT IN PANELBOARD					06/21/2023
BF	_____	023-FMC FINAL MECHANICAL Comments1: SEAL DUCT AT FURNACE PLENUM					06/21/2023
PBF	_____	024-PLF PLUMBING - FINAL OSR READ Comments1: AUSTIN 630-720-1287					06/21/2023
BF	_____	025-REI REINSPECTION Comments1: BUILDING AUSTIN 630-720-1287					06/27/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 32

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	026-REI REINSPECTION					06/27/2023
		Comments1: ELECTRIC BAD ARC FAULT IN BREAKER					
BF	_____	027-REI REINSPECTION					06/27/2023
		Comments1: MECHANICAL					
BF	_____	PM 003-REI REINSPECTION	20230050	2002 DEERPOINT LN			06/14/2023
		Comments1: SOLAR ZACH 708-738-4094 FEES PAID					
BF	_____	019-FIN FINAL INSPECTION	20230051	3029 GRANDE TR	532		06/19/2023
		Comments1: AUSTIN 630-720-1287 - SEE INSPECTION REP					
		Comments2: ORT					
BF	_____	020-FEL FINAL ELECTRIC					06/19/2023
		Comments1: SEE INSPECTION REPORT					
BF	_____	021-FMC FINAL MECHANICAL					06/19/2023
PBF	_____	022-PLF PLUMBING - FINAL OSR READ					06/19/2023
		Comments1: AUSTIN 630-720-1287					
ED	_____	023-EFL ENGINEERING - FINAL INSPE					06/22/2023
		Comments1: BROKEN TOP AND CANNOT KEY B-BOX					
BC	_____	024-REI REINSPECTION					06/26/2023
		Comments1: BUILDING AUSTIN 630-720-1287					
BC	_____	025-REI REINSPECTION					06/26/2023
		Comments1: ELECTRICAL					
ED	_____	026-REI REINSPECTION					06/28/2023
		Comments1: FINAL SITE					
BF	_____	019-FIN FINAL INSPECTION	20230052	3044 GRANDE TR	540		06/13/2023
		Comments1: AUSTIN 630-720-1287					
BF	_____	020-FEL FINAL ELECTRIC					06/13/2023
		Comments1: LIGHT AT FRONT DOOR HANGING, 2 GFCI'S RI					
		Comments2: GHT OF STOVE HOT/GRD REV, OUTLET AT MICR					
		Comments3: O HOT/GRD REV, EXHAUST FAN IN MSTR NEEDS					
		Comments4: SWITCH					
BF	_____	021-FMC FINAL MECHANICAL					06/13/2023
PBF	_____	022-PLF PLUMBING - FINAL OSR READ					06/13/2023
		Comments1: AUSTIN 630-720-1287					
GH	_____	023-REI REINSPECTION					06/16/2023
		Comments1: FINAL ELECTRICAL -- AUSTIN					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 33

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
ED		024-EFL ENGINEERING - FINAL INSPE					06/22/2023
		Comments1: WITH BOND FOR SIDEWALK -- REINSPECTION R					
		Comments2: EQUURED					
PBF		005-PLU PLUMBING - UNDERSLAB	20230053	2748 CURTIS CT	122		06/01/2023
		Comments1: ANDREW 331-431-7342					
BC		AM 006-GAR GARAGE FLOOR					06/07/2023
		Comments1: MW					
BC		AM 007-BSM BASEMENT FLOOR					06/07/2023
BF		AM 008-GPL GREEN PLATE INSPECTION					06/08/2023
		Comments1: ANDREW 331-431-7342					
BC		AM 009-BSM BASEMENT FLOOR				06/08/2023	
		Comments1: MW					
BC		AM 010-GAR GARAGE FLOOR				06/08/2023	
BF		011-RFR ROUGH FRAMING					06/29/2023
		Comments1: ANDREW 331-431-7342					
BF		012-REL ROUGH ELECTRICAL					06/29/2023
BF		013-RMC ROUGH MECHANICAL					06/29/2023
PBF		014-PLR PLUMBING - ROUGH					06/29/2023
		Comments1: ANDREW 331-431-7342					
GH		AM 016-EPW ENGINEERING- PUBLIC WALK					06/29/2023
		Comments1: MW					
GH		AM 017-STP STOOP					06/29/2023
		Comments1: FRONT AND REAR -- MW					
GH		AM 014-WKS PUBLIC & SERVICE WALKS	20230054	2738 ELLORY CT	133		06/21/2023
		Comments1: MW					
GH		AM 010-STP STOOP	20230058	534 COACH RD	408		06/15/2023
		Comments1: FRONT AND REAR -- JUAN					
PBF		AM 011-SUM SUMP					06/23/2023
		Comments1: CATHY 630-387-2001					
GH		012-RFR ROUGH FRAMING					06/28/2023
		Comments1: JEFF 847-456-8082					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 34

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	013-REL ROUGH ELECTRICAL					06/28/2023
GH	_____	014-RMC ROUGH MECHANICAL					06/28/2023
PBF	_____	015-PLR PLUMBING - ROUGH Comments1: JEFF 847-456-8082					06/28/2023
GH	_____	AM 009-STP STOOP Comments1: FRONT AND REAR - JUAN 847-551-9066	20230059	2422 FAIRFIELD AVE	542		06/01/2023
BF	_____	010-RFR ROUGH FRAMING Comments1: JEFF 847-456-8082					06/08/2023
BF	_____	011-REL ROUGH ELECTRICAL					06/08/2023
BF	_____	012-RMC ROUGH MECHANICAL					06/08/2023
PBF	_____	013-PLR PLUMBING - ROUGH Comments1: JEFF 847-456-8082					06/08/2023
BF	_____	014-INS INSULATION Comments1: JEFF					06/13/2023
GH	_____	AM 015-WKS PUBLIC & SERVICE WALKS Comments1: JUAN --COMEX					06/22/2023
PBF	_____	016-SUM SUMP Comments1: CATHY 630-387-2001					06/27/2023
GH	_____	009-GPL GREEN PLATE INSPECTION Comments1: JEFF 847-456-8082	20230060	2469 FAIRFIELD AVE	487		06/06/2023
GH	_____	AM 010-STP STOOP Comments1: FRIONT -- JUAN -- COMEX					06/22/2023
GH	_____	AM 011-PHD POST HOLE - DECK					06/22/2023
GH	_____	012-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/22/2023
PBF	_____	AM 013-SUM SUMP Comments1: CATHY 630-387-2001					06/23/2023
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE Comments1: POOL SURROUND/DECK	20230063	1443 RUBY DR	352		06/22/2023
GH	_____	009-GPL GREEN PLATE INSPECTION Comments1: JEFF	20230064	2485 FAIRFIELD AVE	486		06/01/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 35

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	AM 010-STP STOOP Comments1: FRONT ONLY -- JUAN -- COMEX					06/22/2023
GH	_____	AM 011-PHD POST HOLE - DECK					06/22/2023
GH	_____	012-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/22/2023
PBF	_____	AM 013-SUM SUMP Comments1: CATHY 630-387-2001					06/23/2023
BC	_____	007-GPL GREEN PLATE INSPECTION Comments1: JEFF 847-456-8082	20230065	2164 TREMONT AVE	466		06/12/2023
BF	_____	009-RFR ROUGH FRAMING Comments1: ANDREW 331-431-7342 -- SEE INSPECTION RE Comments2: PORT	20230068	2739 ELLORY CT	132		06/01/2023
BF	_____	010-REL ROUGH ELECTRICAL					06/01/2023
BF	_____	011-RMC ROUGH MECHANICAL					06/01/2023
PBF	_____	012-PLR PLUMBING - ROUGH Comments1: ANDREW 331-431-7342					06/01/2023
GH	_____	013-INS INSULATION					06/05/2023
GH	_____	AM 014-WKS PUBLIC & SERVICE WALKS Comments1: MW					06/21/2023
GH	_____	AM 015-STP STOOP Comments1: REAR					06/21/2023
BC	_____	001-FIN FINAL INSPECTION Comments1: ROOF OVER PATIO -- CAROLINA 630-201-3276	20230073	10346 GALENA RD	2		06/01/2023
GH	_____	015-WKS PUBLIC & SERVICE WALKS Comments1: HORTON	20230095	2666 SEELEY ST	736		06/28/2023
GH	_____	AM 006-STP STOOP Comments1: FR & R	20230097	3122 JETER CT	498		06/05/2023
BF	_____	007-RFR ROUGH FRAMING Comments1: AUSTIN 630-720-1287 - SEE INSPECTION REP Comments2: ORT					06/09/2023
BF	_____	008-REL ROUGH ELECTRICAL					06/09/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 36

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	009-RMC ROUGH MECHANICAL					06/09/2023
PBF	_____	010-PLR PLUMBING - ROUGH Comments1: AUSTIN 630-720-1287					06/09/2023
BC	_____	011-REI REINSPECTION Comments1: ROUGH FRAMING - AUSTIN					06/12/2023
BF	_____	012-INS INSULATION Comments1: AUSTIN 630-720-1287					06/13/2023
GH	_____	PM 016-EPW ENGINEERING- PUBLIC WALK Comments1: MW	20230099	3112 JETER CT	497		06/22/2023
PBF	_____	PM 006-PLU PLUMBING - UNDERSLAB Comments1: JASON 630-632-7433	20230100	721 ASH CT	12		06/13/2023
BF	_____	AM 007-GPL GREEN PLATE INSPECTION Comments1: JASON 630-632-7433					06/12/2023
GH	_____	008-BSM BASEMENT FLOOR					06/28/2023
BC	_____	AM 009-GAR GARAGE FLOOR Comments1: MW					06/30/2023
BC	_____	AM 010-STP STOOP Comments1: FRONT					06/30/2023
BF	_____	010-RFR ROUGH FRAMING Comments1: ANDREW 331-431-7342	20230106	2751 CURTIS CT	120		06/12/2023
BF	_____	011-REL ROUGH ELECTRICAL					06/12/2023
BF	_____	012-RMC ROUGH MECHANICAL					06/12/2023
PBF	_____	013-PLR PLUMBING - ROUGH Comments1: ANDREW 331-431-7342					06/12/2023
JP	_____	AM 014-INS INSULATION Comments1: ANDREW 331-431-7342					06/14/2023
BF	_____	015-STP STOOP Comments1: FR AND R -- MW					06/08/2023
GH	_____	AM 016-WKS PUBLIC & SERVICE WALKS Comments1: MW					06/29/2023
BF	_____	011-RFR ROUGH FRAMING Comments1: ANDREW 331-431-7342	20230107	2750 CURTIS CT	121		06/20/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 37

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	012-REL ROUGH ELECTRICAL					06/20/2023
BF	_____	013-RMC ROUGH MECHANICAL					06/20/2023
PBF	_____	014-PLR PLUMBING - ROUGH Comments1: ANDREW 331-431-7342					06/20/2023
JP	_____	AM 015-INS INSULATION Comments1: ANDREW 331-431-7342					06/22/2023
GH	_____	AM 016-WKS PUBLIC & SERVICE WALKS Comments1: MW					06/29/2023
BF	_____	010-RFR ROUGH FRAMING Comments1: ANDREW 331-431-7342 PROVIDE STUD SHOE, P Comments2: ROVIDE ACCESS IN ATTIC AT GARAGE, PLYWOO Comments3: D IN ATTIC FOR INSULATION BLOCK ABOVE GA Comments4: RAGE WALL NEED TO BE ON GARAGE SIDE	20230108	2746 CURTIS CT	123		06/22/2023
BF	_____	011-REL ROUGH ELECTRICAL					06/22/2023
BF	_____	012-RMC ROUGH MECHANICAL					06/22/2023
PBF	_____	013-PLR PLUMBING - ROUGH Comments1: ANDREW 331-431-7342					06/22/2023
GH	_____	014-INS INSULATION Comments1: ANDREW 331-431-7342 NEED TO SEAL ALL LOW Comments2: VOLTAGE					06/26/2023
GH	_____	AM 015-STP STOOP Comments1: FRONT AND REAR MW					06/29/2023
GH	_____	010-GPL GREEN PLATE INSPECTION Comments1: JEFF	20230119	2120 COUNTRY HILLS DR	452		06/07/2023
GH	_____	AM 011-STP STOOP Comments1: FRONT AND REAR					06/27/2023
PBF	_____	012-SUM SUMP Comments1: VERUNA 630-387-2001					06/28/2023
PR	_____	007-RFR ROUGH FRAMING Comments1: CLAYTON	20230122	806 BRISTOL AVE	4		06/05/2023
PR	_____	008-REL ROUGH ELECTRICAL					06/05/2023
PR	_____	009-RMC ROUGH MECHANICAL					06/05/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	010-PLR PLUMBING - ROUGH					06/05/2023
BC	_____	011-INS INSULATION Comments1: CLAYTON 630-336-3678					06/09/2023
BC	_____	012-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO					06/14/2023
BC	_____	013-STP STOOP Comments1: FRONT ONLY					06/14/2023
BC	_____	014-GAR GARAGE FLOOR					06/14/2023
JP	_____	008-GPL GREEN PLATE INSPECTION Comments1: JEFF	20230154	2176 COUNTRY HILLS DR	454		06/16/2023
PBF	_____	AM 009-SUM SUMP Comments1: CATHY 630-387-2001					06/23/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082	20230155	2110 TREMONT AVE	461		06/09/2023
GH	_____	AM 006-BSM BASEMENT FLOOR Comments1: JUAN 847-551-9204					06/15/2023
GH	_____	AM 007-GAR GARAGE FLOOR					06/15/2023
PBF	_____	008-SUM SUMP Comments1: CATHY 630-387-2001					06/27/2023
JP	_____	008-GPL GREEN PLATE INSPECTION Comments1: JEFF	20230156	2154 TREMONT AVE	465		06/21/2023
GH	_____	AM 006-BSM BASEMENT FLOOR	20230157	2144 TREMONT AVE	464		06/01/2023
GH	_____	AM 007-GAR GARAGE FLOOR					06/01/2023
GH	_____	008-GPL GREEN PLATE INSPECTION Comments1: JEFF					06/26/2023
PBF	_____	009-SUM SUMP Comments1: VERUNA 630-387-2001					06/28/2023
GH	_____	AM 006-BSM BASEMENT FLOOR	20230158	2134 TREMONT AVE	463		06/01/2023
GH	_____	AM 007-GAR GARAGE FLOOR Comments1: SEE INSPECTION REPORT					06/01/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	008-SUM SUMP Comments1: VERUNA 630-387-2001					06/28/2023
PBF	_____	006-SUM SUMP Comments1: VERUNA 630-387-2001	20230159	2124 TREMONT AVE	462		06/28/2023
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082	20230160	2104 TREMONT AVE	460		06/09/2023
GH	_____	AM 007-BSM BASEMENT FLOOR Comments1: COMEX - JUAN					06/15/2023
GH	_____	AM 008-GAR GARAGE FLOOR Comments1: JUAN					06/15/2023
PBF	_____	009-SUM SUMP Comments1: CATHY 630-387-2001					06/27/2023
JP	_____	010-GPL GREEN PLATE INSPECTION	20230161	2144 COUNTRY HILLS DR	453		06/16/2023
PBF	_____	AM 011-SUM SUMP Comments1: CATHY 630-387-2001					06/19/2023
GH	_____	010-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606 SUPPORT BASEMENT STAI Comments2: RS	20230163	2658 SEELEY ST	738		06/06/2023
GH	_____	011-REL ROUGH ELECTRICAL					06/06/2023
GH	_____	012-RMC ROUGH MECHANICAL					06/06/2023
PBF	_____	013-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					06/06/2023
BF	_____	014-INS INSULATION Comments1: CHRIS 224-358-1606					06/08/2023
GH	_____	015-WKS PUBLIC & SERVICE WALKS					06/28/2023
GH	_____	017-WKS PUBLIC & SERVICE WALKS	20230164	2662 SEELEY ST	737		06/28/2023
GH	_____	018-WKS PUBLIC & SERVICE WALKS	20230165	2661 SEELEY ST	823		06/28/2023
BF	_____	016-WKS PUBLIC & SERVICE WALKS Comments1: JOSE 630-465-1159	20230166	2671 SEELEY ST	824		06/09/2023
GH	_____	008-GPL GREEN PLATE INSPECTION Comments1: JEFF	20230190	2096 COUNTRY HILLS DR	451		06/07/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 40

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH		AM 009-STP STOOP Comments1: FR AND REAR -- COMEX					06/27/2023
PBF		010-SUM SUMP Comments1: VERUNA 630-387-2001					06/28/2023
BF		010-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606	20230191	2654 SEELEY ST	739		06/13/2023
BF		011-REL ROUGH ELECTRICAL					06/13/2023
BF		012-RMC ROUGH MECHANICAL					06/13/2023
PBF		013-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					06/13/2023
JP		014-INS INSULATION Comments1: CHRIS 224-358-1606					06/15/2023
GH		015-WKS PUBLIC & SERVICE WALKS					06/28/2023
GH		AM 016-EPW ENGINEERING- PUBLIC WALK Comments1: MW	20230192	3088 GRANDE TR	547		06/06/2023
BC		017-FIN FINAL INSPECTION Comments1: 630-720-1287					06/30/2023
BC		018-FEL FINAL ELECTRIC					06/30/2023
BC		019-FME FINAL MECHANICAL					06/30/2023
PBF		020-PLF PLUMBING - FINAL OSR READ Comments1: 630-720-1287 AUSTIN					06/30/2023
GH	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: NICK 630-827-2019	20230193	903B FAWN RIDGE CT	30		06/05/2023
BF		008-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606	20230197	3804 BISSEL DR	126-2		06/07/2023
BF		009-REL ROUGH ELECTRICAL					06/07/2023
BF		010-RMC ROUGH MECHANICAL					06/07/2023
PBF		011-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					06/07/2023
BF		012-INS INSULATION Comments1: CHRIS 224-358-1606					06/12/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 41

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	AM 013-STP STOOP Comments1: FRONT					06/14/2023
GH	_____	008-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606	20230198	3802 BISSEL DR	126-1		06/06/2023
GH	_____	009-REL ROUGH ELECTRICAL					06/06/2023
GH	_____	010-RMC ROUGH MECHANICAL					06/06/2023
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					06/06/2023
GH	_____	012-INS INSULATION Comments1: CHRIS					06/07/2023
GH	_____	AM 013-STP STOOP Comments1: FRONT -- CHRIS					06/14/2023
BF	_____	008-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606	20230199	3806 BISSEL DR	126-3		06/13/2023
BF	_____	009-REL ROUGH ELECTRICAL					06/13/2023
BF	_____	010-RMC ROUGH MECHANICAL					06/13/2023
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: CHROS 224-358-1606					06/13/2023
GH	_____	AM 012-STP STOOP Comments1: FRONT					06/14/2023
JP	_____	013-INS INSULATION Comments1: CHRIS					06/15/2023
GH	_____	AM 008-STP STOOP Comments1: FRONT	20230200	3808 BISSEL DR	126-4		06/14/2023
BF	_____	009-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606 SEE INSPECTION REPORT					06/19/2023
BF	_____	010-REL ROUGH ELECTRICAL					06/19/2023
BF	_____	011-RMC ROUGH MECHANICAL					06/19/2023
PBF	_____	012-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					06/19/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 42

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	_____	013-INS INSULATION Comments1: CHRIS					06/22/2023
BC	08:30	001-FTG FOOTING Comments1: TOM 319-939-7463	20230204	28 E SCHOOLHOUSE RD	1		06/12/2023
BC	13:00	002-FOU FOUNDATION Comments1: TOM 319-939-7463					06/12/2023
PR	_____	003-PLU PLUMBING - UNDERSLAB Comments1: CHRIS 630-440-6914					06/22/2023
BC	_____	001-FIN FINAL INSPECTION Comments1: WINDOWS JIM 630-531-9480	20230207	434 E BARBERRY CIR	133		06/09/2023
GH	_____	AM 003-BKF BACKFILL Comments1: MW	20230217	2747 CURTIS CT	118		06/05/2023
PR	_____	AM 004-WAT WATER Comments1: ALS					06/05/2023
PBF	_____	AM 005-PLU PLUMBING - UNDERSLAB Comments1: ANDREW 331-431-7342					06/08/2023
BC	_____	AM 006-BSM BASEMENT FLOOR Comments1: MIDWESTERN 815-839-8175					06/12/2023
BC	_____	AM 007-GAR GARAGE FLOOR					06/12/2023
BC	_____	008-GPL GREEN PLATE INSPECTION Comments1: ANDREW 331-431-7342					06/14/2023
GH	_____	AM 009-STP STOOP Comments1: FRONT & REAR					06/29/2023
GH	_____	015-INS INSULATION Comments1: AUSTIN 630-720-1287	20230218	3068 GRANDE TR	543	06/01/2023	
GH	_____	016-WKS PUBLIC & SERVICE WALKS Comments1: MW					06/22/2023
BC	_____	015-EPW ENGINEERING- PUBLIC WALK Comments1: MW	20230219	2641 KELLOGG CT	55		06/07/2023
BF	_____	016-FIN FINAL INSPECTION Comments1: NICK 630-988-0169					06/30/2023
BF	_____	017-FEL FINAL ELECTRIC					06/30/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 43

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	018-FMC FINAL MECHANICAL					06/30/2023
PBF	_____	019-PLF PLUMBING - FINAL OSR READ					06/30/2023
		Comments1: NICK 630-988-0169					
ED	_____	020-EFL ENGINEERING - FINAL INSPE					06/29/2023
BF	_____	AM 015-EPW ENGINEERING- PUBLIC WALK	20230220	2640 KELLOGG CT	47		06/12/2023
		Comments1: MIDWESTERN 815-839-8175					
BF	_____	AM 015-WKS PUBLIC & SERVICE WALKS	20230229	791 WINDETT RIDGE RD	89		06/09/2023
		Comments1: JUAN 847-551-9066					
GH	_____	015-INS INSULATION	20230230	801 WINDETT RIDGE RD	90		06/05/2023
		Comments1: JEFF 847-456-8082					
BF	_____	AM 017-WKS PUBLIC & SERVICE WALKS					06/09/2023
		Comments1: JUAN 847-551-9066					
BF	_____	AM 009-STP STOOP	20230231	821 WINDETT RIDGE RD	91		06/01/2023
		Comments1: FRONT AND REAR -- JUAN 847-551-9066					
BF	_____	010-RFR ROUGH FRAMING					06/14/2023
		Comments1: JEFF 847-456-8082					
BF	_____	011-REL ROUGH ELECTRICAL					06/14/2023
BF	_____	012-RMC ROUGH MECHANICAL					06/14/2023
PBF	_____	013-PLR PLUMBING - ROUGH					06/14/2023
		Comments1: JEFF 847-456-8082					
JP	_____	014-INS INSULATION					06/19/2023
BC	_____	015-WKS PUBLIC & SERVICE WALKS					06/28/2023
		Comments1: COMEX					
GH	_____	009-GPL GREEN PLATE INSPECTION	20230232	831 WINDETT RIDGE RD	92		06/01/2023
GH	_____	AM 010-STP STOOP					06/27/2023
		Comments1: COM EX -- FRONT AND REAR					
GH	_____	009-GPL GREEN PLATE INSPECTION	20230233	841 WINDETT RIDGE RD	93		06/05/2023
		Comments1: JEFF					
GH	_____	AM 010-STP STOOP					06/27/2023
		Comments1: FRONT AND REAR -- COMEX					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 44

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	005-PLU PLUMBING - UNDERSLAB	20230237	343 FONTANA DR	59	06/08/2023	
		Comments1: TIM					
GH	_____	AM 006-BSM BASEMENT FLOOR					06/14/2023
		Comments1: KEN 630-546-0735					
GH	_____	AM 007-GAR GARAGE FLOOR					06/14/2023
PR	_____	008-RFR ROUGH FRAMING					06/15/2023
		Comments1: TIM					
PR	_____	009-REL ROUGH ELECTRICAL					06/15/2023
PR	_____	010-PLR PLUMBING - ROUGH					06/15/2023
GH	_____	011-STP STOOP					06/14/2023
		Comments1: FRONT AND REAR - RSS/KEN 630-564-0735					
PR	_____	012-INS INSULATION					06/20/2023
		Comments1: TIM					
PBF	_____	AM 008-SUM SUMP	20230245	861 WINDETT RIDGE RD	95		06/19/2023
		Comments1: CATHY 630-387-2001					
JP	_____	009-GPL GREEN PLATE INSPECTION					06/20/2023
		Comments1: JEFF					
GH	_____	AM 002-FOU FOUNDATION	20230246	881 WINDETT RIDGE RD	97		06/05/2023
		Comments1: JUAN 847-551-9066					
GH	_____	AM 003-BKF BACKFILL					06/07/2023
		Comments1: JUAN					
PBF	_____	AM 004-ESW ENGINEERING - SEWER / WAT					06/16/2023
		Comments1: CATHY 630-387-2001					
PBF	_____	005-PLU PLUMBING - UNDERSLAB					06/21/2023
		Comments1: JEFF 847-456-8082					
GH	_____	AM 006-BSM BASEMENT FLOOR					06/27/2023
		Comments1: COMEX					
GH	_____	AM 007-GAR GARAGE FLOOR					06/27/2023
BF	_____	AM 009-STP STOOP	20230247	834 WINDETT RIDGE RD	100		06/09/2023
		Comments1: JUAN 847-551-9066					
BF	_____	AM 010-PHD POST HOLE - DECK					06/09/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 45

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	AM 011-SUM SUMP					06/19/2023
		Comments1: CATHY 630-387-2001					
BF	_____	012-RFR ROUGH FRAMING					06/26/2023
		Comments1: JEFF 847-456-8082					
BF	_____	013-REL ROUGH ELECTRICAL					06/26/2023
BF	_____	014-RMC ROUGH MECHANICAL					06/26/2023
PBF	_____	015-PLR PLUMBING - ROUGH					06/26/2023
		Comments1: JEFF 847-456-8082					
JP	_____	016-INS INSULATION					06/30/2023
		Comments1: JEFF --LENNAR					
GH	_____	AM 003-BKF BACKFILL	20230248	871 WINDETT RIDGE RD	96		06/05/2023
		Comments1: JUAN 847-551-9066					
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT					06/16/2023
		Comments1: 630-387-2001 CATHY					
PBF	_____	005-PLU PLUMBING - UNDERSLAB					06/21/2023
		Comments1: JEFF 847-456-8082					
GH	_____	AM 006-BSM BASEMENT FLOOR					06/22/2023
		Comments1: JUAN -- COMEX					
GH	_____	AM 007-GAR GARAGE FLOOR					06/22/2023
BF	_____	009-GPL GREEN PLATE INSPECTION	20230249	851 WINDETT RIDGE RD	94		06/09/2023
		Comments1: JEFF 847-456-8082					
PBF	_____	PM 006-SUM SUMP	20230250	802 WINDETT RIDGE RD	102		06/22/2023
		Comments1: CATHY 630-387-2001					
BF	_____	006-BG BASEMENT AND GARAGE FLOOR	20230251	822 WINDETT RIDGE RD	101		06/13/2023
		Comments1: COMEX 847-551-9066					
PBF	_____	AM 007-SUM SUMP					06/19/2023
		Comments1: CATHY 630-387-2001					
BC	_____	002-RFR ROUGH FRAMING	20230261	2326 HOBBS LN	142		06/09/2023
		Comments1: ADAM 630-486-2502					
BC	_____	003-FIN FINAL INSPECTION					06/14/2023
		Comments1: ADAM DECK 630-486-2502					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 46

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	002-RFR ROUGH FRAMING	20230270	2277 NORTHLAND LN	100		06/05/2023
		Comments1: DECK -- ADAM 630-486-2502 -- SEE INSPECT					
		Comments2: ION REPORT					
BC	_____	001-FIN FINAL INSPECTION	20230271	1222 CANNONBALL TR	1		06/12/2023
		Comments1: PAVERS -- NANCY 309-267-4845					
BC	_____	AM 008-BKF BACKFILL	20230275	503 GAME FARM RD			06/15/2023
		Comments1: GARAGE -- GRANT 630-465-6655					
BC	_____	AM 009-PH POST HOLES / PILES					06/15/2023
BC	_____	010-EDA ENGINEERING - DRIVEWAY AP					06/27/2023
		Comments1: GRANT 630-465-6655 DRIVEWAY					
BC	_____	011-WK SERVICE WALK					06/27/2023
BC	_____	012-GAR GARAGE FLOOR					06/27/2023
BC	_____	AM 001-PPS PRE-POUR, SLAB ON GRADE	20230285	2789 BERRYWOOD LN	794		06/08/2023
		Comments1: KEVIN					
PR	_____	005-PLU PLUMBING - UNDERSLAB	20230293	974 S CARLY CIR	105		06/13/2023
		Comments1: DAVE					
GH	_____	AM 006-BSM BASEMENT FLOOR					06/23/2023
		Comments1: NORWOOD -- 630-904-2288					
GH	_____	001-PPS PRE-POUR, SLAB ON GRADE	20230299	2441 ANNA MARIA LN	706		06/01/2023
		Comments1: PATIO -- ANGEL 773-557-8020					
PR	_____	AM 005-PLU PLUMBING - UNDERSLAB	20230303	1031 BLACKBERRY SHORE LN	37		06/01/2023
		Comments1: DAVE					
BC	_____	AM 006-BSM BASEMENT FLOOR					06/13/2023
		Comments1: KEN 630-273-5932					
BC	_____	AM 004-FIN FINAL INSPECTION	20230306	2223 FAIRFIELD AVE	368		06/12/2023
		Comments1: FINAL DECK					
BC	_____	AM 002-FOU FOUNDATION	20230312	1920 RAINTREE RD	4		06/14/2023
		Comments1: COMEX					
PBF	_____	PM 003-ESW ENGINEERING - SEWER / WAT					06/19/2023
		Comments1: CATHY 630-387-2001					
BC	_____	AM 004-BKF BACKFILL					06/19/2023
		Comments1: COMEX					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 47

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082					06/28/2023
BC	_____	AM 006-BSM BASEMENT FLOOR Comments1: JUAN CARLOS					06/30/2023
BC	_____	AM 007-GAR GARAGE FLOOR					06/30/2023
BF	_____	002-FOU FOUNDATION Comments1: OSCAR 847-551-9066	20230313	2093 INGEMUNSON LN	147		06/13/2023
PBF	_____	PM 003-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					06/19/2023
BC	_____	AM 004-BKF BACKFILL Comments1: COMEX					06/19/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082					06/28/2023
PBF	_____	006-SUM SUMP Comments1: VERUNA 630-387-2001					06/28/2023
GH	_____	AM 001-FTG FOOTING Comments1: JUAN	20230314	511 COACH RD	411		06/02/2023
GH	_____	AM 002-FOU FOUNDATION Comments1: COMEX					06/27/2023
GH	_____	AM 001-FTG FOOTING Comments1: JUAN	20230315	520 WARBLER LN	360		06/02/2023
BC	_____	AM 002-FOU FOUNDATION Comments1: COMEX					06/21/2023
GH	_____	003-BKF BACKFILL					06/26/2023
GH	_____	AM 002-FOU FOUNDATION Comments1: JUAN	20230316	2212 COUNTRY HILLS DR	455		06/07/2023
BF	_____	003-BKF BACKFILL Comments1: OSCAR 847-551-9066					06/13/2023
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					06/14/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082					06/23/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 48

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF		006-SUM SUMP					06/28/2023
		Comments1: VERUNA 630-387-2001					
BF		AM 002-FOU FOUNDATION	20230317	2131 TREMONT AVE	456		06/08/2023
		Comments1: JUAN					
BF		AM 003-BKF BACKFILL					06/13/2023
		Comments1: OSCAR 847-551-9066					
PBF		PM 004-ESW ENGINEERING - SEWER / WAT					06/14/2023
		Comments1: CATHY 630-387-2001					
PBF		005-PLU PLUMBING - UNDERSLAB					06/23/2023
		Comments1: JEFF 847-456-8082					
BC		PM 006-BG BASEMENT AND GARAGE FLOOR					06/28/2023
		Comments1: COMEX					
BC		AM 006-FIN FINAL INSPECTION	20230324	507 W KENDALL DR			06/29/2023
		Comments1: DEBRA 815-228-2698					
BC		AM 007-FEL FINAL ELECTRIC					06/29/2023
BC		008-FMC FINAL MECHANICAL					06/29/2023
PBF		AM 009-PLF PLUMBING - FINAL OSR READ					06/29/2023
		Comments1: BEFORE NOON, PLEASE -- DEBRA 815-228-269					
		Comments2: 8 -- NO ONE WAS THERE					
BC		AM 010-OCC OCCUPANCY INSPECTION					06/29/2023
MT		AM 011-OCC OCCUPANCY INSPECTION					06/29/2023
		Comments1: FIRE MARSHAL					
BC		PM 012-REI REINSPECTION					06/30/2023
		Comments1: FINAL REINSPECTIONS					
BF		AM 006-REI REINSPECTION	20230327	3164 JUSTICE DR	605		06/09/2023
		Comments1: REINSPECT ROUGH PLUMBING ----MATT 630-34					
		Comments2: 1-9057					
BF		AM 007-FIN FINAL INSPECTION					06/16/2023
		Comments1: MATT 630-341-9057 NOT READY FOR FINAL IN					
		Comments2: SPECTION					
BF		AM 008-FEL FINAL ELECTRIC				06/16/2023	
		Comments1: NOT READY FOR FINAL INSPECTION					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 49

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	AM 009-RFR ROUGH FRAMING Comments1: MATT 630-341-9057					06/16/2023
GH	_____	010-STP STOOP Comments1: FRONT ONLY	20230343	2655 SEELEY ST	822		06/14/2023
GH	_____	011-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606 NEED REPORT FOR CRACK Comments2: ED TRUSS IN BACK BEDROOM					06/20/2023
GH	_____	012-REL ROUGH ELECTRICAL					06/20/2023
GH	_____	013-RMC ROUGH MECHANICAL					06/20/2023
PBF	_____	014-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					06/20/2023
JP	_____	015-INS INSULATION Comments1: CHRIS					06/22/2023
GH	_____	016-WKS PUBLIC & SERVICE WALKS					06/28/2023
GH	_____	010-STP STOOP Comments1: FRONT AND REAR -- CHRIS	20230344	2651 SEELEY ST	821		06/14/2023
GH	_____	011-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606					06/30/2023
GH	_____	012-REL ROUGH ELECTRICAL					06/30/2023
GH	_____	013-RMC ROUGH MECHANICAL					06/30/2023
PBF	_____	014-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					06/30/2023
BC	_____	008-GPL GREEN PLATE INSPECTION Comments1: CHRIS	20230345	2647 SEELEY ST	820		06/01/2023
GH	_____	009-STP STOOP Comments1: FRONT AND REAR -- CHRIS					06/27/2023
GH	_____	003-BKF BACKFILL Comments1: CHRIS	20230346	2650 SEELEY ST	740		06/02/2023
PBF	_____	PM 004-WSS WATER & STORM SEWER Comments1: TERRI 847-975-2512					06/02/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: CHRIS 224-358-1606					06/06/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 50

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	AM 006-BSM BASEMENT FLOOR Comments1: CHRIS 224-358-1606					06/14/2023
GH	_____	AM 007-GAR GARAGE FLOOR					06/14/2023
GH	_____	AM 008-STP STOOP Comments1: FR AND REAR					06/14/2023
BC	_____	009-GPL GREEN PLATE INSPECTION Comments1: CHRIS 224-358-1606					06/19/2023
PBF	_____	PM 003-WSS WATER & STORM SEWER Comments1: TERRI 847-975-2512	20230347	2646 SEELEY ST	741		06/02/2023
GH	_____	004-BKF BACKFILL Comments1: CHRIS					06/02/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: CHRIS 224-358-1606					06/06/2023
GH	_____	AM 006-BSM BASEMENT FLOOR Comments1: CHRIS 224-358- 1606					06/14/2023
GH	_____	AM 007-GAR GARAGE FLOOR Comments1: ADD REBAR PIN AT 3RD CAR GARAGE					06/14/2023
GH	_____	AM 008-STP STOOP Comments1: FRONT AND REAR					06/14/2023
JP	_____	009-GPL GREEN PLATE INSPECTION Comments1: CHRIS 224-358-1606					06/21/2023
BC	_____	AM 001-FTG FOOTING Comments1: MW	20230354	2742 CURTIS CT	125		06/15/2023
BC	_____	AM 002-FOU FOUNDATION Comments1: AM MIDWESTERN 815-839-8175					06/19/2023
PBF	_____	PM 003-WAT WATER Comments1: ALS 630-492-7635					06/22/2023
GH	_____	AM 004-BKF BACKFILL Comments1: MW					06/23/2023
PBF	_____	AM 005-PLU PLUMBING - UNDERSLAB Comments1: ANDREW 331-431-7342					06/30/2023
GH	_____	AM 001-FTG FOOTING Comments1: MW	20230355	2740 CURTIS CT	126		06/23/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC		002-FOU FOUNDATION Comments1: MW					06/26/2023
PBF		AM 003-WAT WATER Comments1: AL'S FAMILY 630-492-7635					06/29/2023
GH		AM 004-BKF BACKFILL Comments1: MW					06/29/2023
GH		AM 009-STP STOOP Comments1: FR AND R	20230356	3134 JETER CT	500		06/05/2023
BF		010-RFR ROUGH FRAMING Comments1: AUSTIN 630-720-1287 SEE INSPECTION REPOR Comments2: T					06/19/2023
BF		011-REL ROUGH ELECTRICAL Comments1: SEE INSPECTION REPORT					06/19/2023
BF		012-RMC ROUGH MECHANICAL					06/19/2023
PBF		013-PLR PLUMBING - ROUGH Comments1: AUSTIN 630-720-1287					06/19/2023
JP		014-INS INSULATION Comments1: AUSTIN 630-720-1287					06/21/2023
GH		AM 001-FTG FOOTING Comments1: MW	20230357	2642 KELLOGG CT	48		06/02/2023
BC		AM 002-FOU FOUNDATION Comments1: MW					06/07/2023
BF		AM 003-BKF BACKFILL Comments1: MIDWESTERN 815-839-8175				06/08/2023	
PBF		AM 004-WAT WATER Comments1: ALS 630-492-7635					06/09/2023
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: ANDREW 331-431-7342					06/14/2023
GH		AM 006-BSM BASEMENT FLOOR Comments1: MW					06/21/2023
GH		AM 007-GAR GARAGE FLOOR					06/21/2023
GH		008-GPL GREEN PLATE INSPECTION Comments1: ANDREW					06/22/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 52

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	PM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: ADAN 815-668-5381	20230359	2243 FAIRFAX WAY	377		06/07/2023
PR	_____	AM 004-FIN FINAL INSPECTION Comments1: JANICE 630-768-7121	20230373	807 FREEMONT ST	43		06/14/2023
PR	_____	AM 005-FEL FINAL ELECTRIC					06/14/2023
PR	_____	AM 006-PLF PLUMBING - FINAL OSR READ					06/14/2023
PBF	_____	PM 001-PLU PLUMBING - UNDERSLAB Comments1: EDWIN 312-975-0199	20230378	1500 SYCAMORE RD			06/05/2023
BF	_____	PM 002-ELU ELECTRICAL - UNDERSLAB Comments1: EDWIN 312-975-0199					06/05/2023
PBF	_____	003-REI REINSPECTION Comments1: UNDERGROUND PLUMBING -- LOCK BOX 2901 E Comments2: DWIN 312-975-0199					06/06/2023
PR	_____	AM 004-PPS PRE-POUR, SLAB ON GRADE Comments1: FIBER MESH -- EDWIN 312-975-0199					06/07/2023
PR	_____	AM 005-PPS PRE-POUR, SLAB ON GRADE Comments1: FIBER MESH -- OZZY 708-673-8410					06/13/2023
GH	_____	009-STP STOOP Comments1: FR AND REAR NOT READY-NO STONE	20230380	3088 JETER ST	571		06/05/2023
GH	_____	AM 010-STP STOOP Comments1: FR & REAR -- MW					06/06/2023
BC	_____	011-STP STOOP Comments1: REINSPECT					06/08/2023
BF	_____	012-RFR ROUGH FRAMING Comments1: AUSTIN 630-720-1287					06/23/2023
BF	_____	013-REL ROUGH ELECTRICAL					06/23/2023
BF	_____	014-RMC ROUGH MECHANICAL					06/23/2023
PBF	_____	015-PLR PLUMBING - ROUGH Comments1: AUSTIN 630-720-1287					06/23/2023
GH	_____	016-INS INSULATION Comments1: AUSTIN 630-720-1287					06/27/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 53

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC		001-FIN FINAL INSPECTION Comments1: WINDOWS -- ERIC 847-903-7579	20230387	4557 GARDINER AVE	1099		06/26/2023
BC		AM 003-FOU FOUNDATION Comments1: DAMON 708-289-8267	20230388	1477 WOOD SAGE AVE	19		06/13/2023
BC		AM 004-BKF BACKFILL Comments1: DAVE 708-289-8267 - BRACE WALLS BEFORE B Comments2: ACKFILLING					06/20/2023
BF		PM 001-FIN FINAL INSPECTION Comments1: SOLAR -- ZACH 708-738-4094	20230392	1009 INDEPENDENCE BLVD	7		06/08/2023
BF		PM 002-FEL FINAL ELECTRIC Comments1: REI FEES NEED TO BE PAID BEFORE RESCHEDU Comments2: LE					06/08/2023
BF		PM 003-REI REINSPECTION Comments1: BRIGHT PLANET ZACH 707-738-4094					06/29/2023
BC		AM 003-FIN FINAL INSPECTION Comments1: DECK -- RANDY 630-742-2435	20230402	2010 SQUIRE CIR	200		06/16/2023
PR		006-PLU PLUMBING - UNDERSLAB Comments1: TIM	20230408	384 FONTANA DR	52		06/20/2023
BC		PM 007-BGS BASEMENT GARAGE STOOPS Comments1: RACHELLE 630-546-0642					06/23/2023
GH		001-PHF POST HOLE - FENCE Comments1: CANDICE 630-406-8410	20230421	3340 SEELEY ST	730		06/06/2023
BC		PM 002-RFR ROUGH FRAMING Comments1: DECK -- ERIN 815-260-8412 -- SEE INSPECT Comments2: ION REPORT	20230422	2066 DUNBAR CT	95		06/19/2023
BC		PM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO GRANT 630-465-6655	20230424	2966 ELLSWORTH DR	358		06/13/2023
PR		005-FIN FINAL INSPECTION Comments1: PAVILLION -- CLEAN EDGE	20230427	2485 ELLSWORTH CT	351		06/06/2023
BC		PM 003-REI REINSPECTION Comments1: RFR DECK RE INSPECT	20230432	2768 MCMURTRIE WAY	202		06/01/2023
JP		AM 001-FIN FINAL INSPECTION Comments1: WINDOWS -- SAMANTHA 603-521-0446	20230437	388 BERTRAM DR	1032	06/27/2023	

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 54

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH		AM 001-FTG FOOTING Comments1: JUAN	20230438	891 WINDETT RIDGE RD	98		06/02/2023
BC		AM 002-FOU FOUNDATION Comments1: COMEX					06/14/2023
BC		AM 003-BKF BACKFILL Comments1: COMEX					06/19/2023
PBF		PM 004-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					06/22/2023
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082					06/28/2023
BC		006-BG BASEMENT AND GARAGE FLOOR Comments1: COMEX PM					06/28/2023
GH		PM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- GUS 331-717-8254	20230457	2736 ELLORY CT	134		06/01/2023
BC		001-PPS PRE-POUR, SLAB ON GRADE Comments1: ANDREW -- 779-230-8744 - PIN PATIO TO FO Comments2: UNDACTION TO PREVENT MOVEMENT	20230458	1647 SHETLAND LN	37		06/09/2023
BC		002-REI REINSPECTION Comments1: PATIO PPS					06/12/2023
PR		AM 001-BND POOL BONDING Comments1: DAN 815-258-8068	20230461	853 CANYON TR	117		06/05/2023
BC		PM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- KYLE 815-272-6886	20230465	2235 FAIRFIELD AVE	369		06/12/2023
BC	10:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ALICIA 708-227-8174	20230480	398 BERTRAM DR			06/01/2023
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ALICIA 708-227-8174	20230481	417 WALNUT ST			06/28/2023
GH		AM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- GREG 630-605-7848	20230483	521 MANCHESTER LN	393		06/26/2023
BF		PM 001-FIN FINAL INSPECTION Comments1: SOLAR -- DIEGO 773-742-6397 B&F WENT TOO Comments2: EARLY	20230485	207 WALSH CIR	44		06/15/2023
BF		PM 002-FEL FINAL ELECTRIC Comments1: B&F WENT TOO EARLY					06/15/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 55

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF		AM 003-FIN FINAL INSPECTION					06/20/2023
		Comments1: AM - SOLAR BLUE RAVEN/DIEGO 773-742-6397					
		Comments2: *****REI FEE BEFORE RE-SCHEDULE*****					
BF		AM 004-FEL FINAL ELECTRIC					06/20/2023
		Comments1: REI FEE BEFORE RESCHEDULE					
BF		AM 005-REI REINSPECTION					06/27/2023
		Comments1: SOLAR IKE 817-797-8017					
GH		001-FIN FINAL INSPECTION	20230487	116 BLACKBERRY CT			06/07/2023
		Comments1: SHED- DAVE 630-746-3783					
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230492	812 PARKSIDE LN	182		06/19/2023
		Comments1: EDGAR 224-587-6429					
GH		PM 002-PHF POST HOLE - FENCE	20230494	112 W VAN EMMON ST			06/05/2023
		Comments1: PARTIAL -- GABE BACK OF PROPERTY					
JP		PM 003-PHF POST HOLE - FENCE					06/15/2023
		Comments1: GABE					
JP		001-ROF ROOF UNDERLAYMENT ICE & W	20230496	407 SANDERS CT			06/20/2023
BC		AM 001-FIN FINAL INSPECTION	20230499	512 E MAIN ST	2		06/13/2023
		Comments1: VEHICLE CHARGING STATION -- SHANE 847-88					
		Comments2: 2-1888 EXT 109					
BC		001-PHF POST HOLE - FENCE	20230500	2286 CRYDER CT	437		06/07/2023
		Comments1: CLASSIC					
PR		PM 001-ABC ABOVE CEILING	20230501	524 E KENDALL DR	2		06/14/2023
		Comments1: FRANK 630-973-3537					
JP		001-ROF ROOF UNDERLAYMENT ICE & W	20230506	2441 SAGE CT	23		06/22/2023
		Comments1: RONNIE 773-647-0299					
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230507	1465 VIOLET CT	366		06/15/2023
		Comments1: RONNIE 773-647-0299					
BC		003-BND POOL BONDING	20230512	203 E CENTER ST			06/01/2023
		Comments1: BRENDAN 630-688-0180					
BC		PM 001-PPS PRE-POUR, SLAB ON GRADE	20230514	3089 GRANDE TR	551		06/26/2023
		Comments1: TRAVIS 630-688-4528					
JP	12:00	001-PPS PRE-POUR, SLAB ON GRADE	20230516	2001 RAINTREE RD	62		06/30/2023
		Comments1: TRAVIS PATIO 630-688-4528					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 56

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	AM 001-PHF POST HOLE - FENCE	20230521	3357 SEELEY ST	804		06/01/2023
		Comments1: CENTRAL -- SEE INSPECTION REPORT					
BF	_____	001-PPS PRE-POUR, SLAB ON GRADE	20230528	3165 JUSTICE DR	698		06/09/2023
		Comments1: JOHN 630-862-8053					
BC	_____	001-FIN FINAL INSPECTION	20230538	2199 HENNING LN	313		06/09/2023
		Comments1: WINDOWS					
GH	_____	AM 007-BSM BASEMENT FLOOR	20230540	301 RYAN CT	204		06/02/2023
		Comments1: JUAN					
GH	_____	AM 008-GAR GARAGE FLOOR					06/02/2023
GH	_____	009-GPL GREEN PLATE INSPECTION					06/05/2023
		Comments1: JEFF					
GH	_____	AM 010-STP STOOP					06/15/2023
		Comments1: COMEX F & R					
GH	_____	011-RFR ROUGH FRAMING					06/30/2023
		Comments1: JEFF 847-456-8082					
GH	_____	012-REL ROUGH ELECTRICAL					06/30/2023
GH	_____	013-RMC ROUGH MECHANICAL					06/30/2023
PBF	_____	014-PLR PLUMBING - ROUGH					06/30/2023
		Comments1: JEFF 847-456-8082					
GH	09:00	001-PHF POST HOLE - FENCE	20230541	2021 WHITEKIRK LN	74		06/01/2023
		Comments1: JO ANN 708-547-7555 -- SEE INSPECTION RE					
		Comments2: PORT					
GH	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230547	1447 SLATE CT	340		06/06/2023
		Comments1: RUBEN 8152055					
PR	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230558	108 W KENDALL DR	10		06/06/2023
		Comments1: ANGEL 630-618-6148					
GH	_____	AM 001-PHD POST HOLE - DECK	20230572	1912 WILD INDIGO LN	80		06/07/2023
		Comments1: JUAN 847-571-6804					
BC	_____	AM 002-FOU FOUNDATION	20230577	1961 SUNNY DELL CT	92		06/01/2023
BC	_____	AM 003-BKF BACKFILL					06/07/2023
		Comments1: CLEAN EDGE					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 57

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF		AM 004-PLU PLUMBING - UNDERSLAB Comments1: CLEAN EDGE 630-364-0224					06/12/2023
BC		AM 005-BSM BASEMENT FLOOR Comments1: CLEAN EDGE 630-364-0224					06/13/2023
PBF		AM 006-ESW ENGINEERING - SEWER / WAT Comments1: TONY 630-818-5662					06/12/2023
BC		007-GPL GREEN PLATE INSPECTION Comments1: CLEAN EDGE					06/20/2023
GH		001-ROF ROOF UNDERLAYMENT ICE & W Comments1: AMANDA 630-474-0458	20230578	2328 EMERALD LN	38		06/06/2023
BC	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: JJ 331-575-7705	20230580	649 HEARTLAND DR	74		06/19/2023
BC		001-TRN TRENCH - (GAS, ELECTRIC, Comments1: BILL 219-712-5021	20230583	404 MEADOWROSE LN	36		06/09/2023
BF		AM 002-FOU FOUNDATION Comments1: JESUS 630-453-9281	20230585	2642 SEELEY ST	742		06/09/2023
PBF		PM 003-ESW ENGINEERING - SEWER / WAT Comments1: TERRI 847-975-2512					06/14/2023
GH		004-BKF BACKFILL Comments1: CHRIS					06/14/2023
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: CHRIS 224-358-1606					06/26/2023
GH		006-BSM BASEMENT FLOOR Comments1: CHRIS 224-358-1606					06/27/2023
GH		007-GAR GARAGE FLOOR					06/27/2023
BF		AM 002-FOU FOUNDATION Comments1: CHRIS 224-358-1606	20230586	2643 SEELEY ST	819		06/12/2023
PBF		PM 003-ESW ENGINEERING - SEWER / WAT Comments1: TERRI 847-975-2512					06/14/2023
GH		004-BKF BACKFILL Comments1: CHRIS					06/14/2023
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: CHRIS 224-358-1606					06/26/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 58

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH		006-BSM BASEMENT FLOOR					06/27/2023
		Comments1: CHRIS 224-358-1606					
GH		007-GAR GARAGE FLOOR					06/27/2023
GH		008-GPL GREEN PLATE INSPECTION					06/29/2023
		Comments1: CHRIS					
JP		001-PPS PRE-POUR, SLAB ON GRADE	20230589	607 YELLOWSTONE LN	111		06/14/2023
		Comments1: JOHN 630-862-8053					
PR	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230591	2288 EMERALD LN	42		06/08/2023
		Comments1: RUBEN 815-630-7005 -- SENDING PICS					
BC		AM 001-BND POOL BONDING	20230597	636 WHITE OAK WAY	17		06/13/2023
		Comments1: JOHN 630-918-7665					
JP		AM 001-PH POST HOLES / PILES	20230598	2957 ELLSWORTH DR	405		06/23/2023
		Comments1: ROOF OVER PATIO -- DEANNA 630-337-0253					
BC	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230607	294 WALSH CIR	87		06/09/2023
		Comments1: TRISTIN 224-600-3511					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230608	225 WINDHAM CIR	43		06/16/2023
		Comments1: TRISTAN 224-600-3511					
JP		001-FIN FINAL INSPECTION	20230612	2007 RAINTREE RD	63		06/16/2023
		Comments1: WINDOWS -- SAMANTHA 603-521-0444					
PR		AM 001-EPW ENGINEERING- PUBLIC WALK	20230617	1652 N BEECHER RD	54		06/22/2023
		Comments1: TOM 331-201-5585					
PR		AM 002-ADA ADA ACCESSIBLE WALK WAY					06/22/2023
BC		AM 001-FTG FOOTING	20230618	3021 GRANDE TR	534		06/08/2023
		Comments1: MW					
GH		AM 002-FOU FOUNDATION					06/14/2023
		Comments1: MW					
PBF		AM 003-WAT WATER					06/19/2023
		Comments1: ALS 630-492-7635					
PBF		004-PLU PLUMBING - UNDERSLAB					06/21/2023
		Comments1: AUSTIN 630-720-1287					
GH		PM 005-BSM BASEMENT FLOOR					06/22/2023
		Comments1: MW					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 59

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	006-GAR GARAGE FLOOR					06/22/2023
GH	_____	AM 007-GPL GREEN PLATE INSPECTION					06/23/2023
PR	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230623	121 CLAREMONT CT	31		06/09/2023
		Comments1: SENDING PICS					
GH	_____	AM 001-FTG FOOTING	20230624	3067 JETER ST	576		06/14/2023
		Comments1: MW					
BC	_____	AM 002-FOU FOUNDATION					06/19/2023
		Comments1: AM MIDWESTERN 815-839-8175					
PBF	_____	PM 003-WAT WATER					06/21/2023
		Comments1: ALS 630-492-7635					
GH	_____	AM 004-BKF BACKFILL					06/23/2023
		Comments1: MW ALREADY BACKFILLED					
GH	_____	005-GPL GREEN PLATE INSPECTION					06/27/2023
		Comments1: AUSTIN					
PBF	_____	006-PLU PLUMBING - UNDERSLAB					06/27/2023
		Comments1: AUSTIN 630-720-1287					
GH	_____	007-REI REINSPECTION					06/27/2023
		Comments1: GREEN PLATE - NEED TO TIGHTEN NUT/WASHER					
		Comments2: ON BACK WALL					
BC	_____	008-BG BASEMENT AND GARAGE FLOOR					06/30/2023
BC	14:30	001-PHF POST HOLE - FENCE	20230634	1906 CANDLEBERRY LN	34		06/01/2023
		Comments1: CLASSIC					
BC	_____	AM 001-FTG FOOTING	20230638	2743 CURTIS CT	116		06/08/2023
		Comments1: MW					
BF	_____	AM 002-FOU FOUNDATION					06/12/2023
		Comments1: MIDWESTERN 815-839-8175					
PBF	_____	PM 003-WAT WATER					06/15/2023
		Comments1: ALS 630-492-7635 APPROVED AS NOTED - SEE					
		Comments2: INSPECTION REPORT					
BC	_____	AM 004-BKF BACKFILL					06/16/2023
		Comments1: MW					
GH	_____	AM 005-BSM BASEMENT FLOOR					06/21/2023
		Comments1: MW					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 60

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	AM 006-GAR GARAGE FLOOR					06/21/2023
		Comments1: MW					
PBF	_____	007-PLU PLUMBING - UNDERSLAB					06/22/2023
		Comments1: ANDREW 331-431-7342					
JP	_____	008-GPL GREEN PLATE INSPECTION					06/30/2023
		Comments1: ANDREW					
BC	_____	PM 001-FIN FINAL INSPECTION	20230639	1448 ASPEN LN	129		06/22/2023
		Comments1: NIKO 815-603-5838 NEEDS FIREBLOCKING					
BC	_____	PM 002-FEL FINAL ELECTRIC					06/22/2023
BC	_____	003-FMC FINAL MECHANICAL					06/22/2023
PR	_____	002-ROF ROOF UNDERLAYMENT ICE & W	20230642	1173 TAUS CIR	112		06/02/2023
		Comments1: CEDRIC 630-824-3683 PARTIAL					
JP	_____	001-FIN FINAL INSPECTION	20230648	2012 RAINTREE RD	82	06/30/2023	
		Comments1: PATIO DOOR -- JOHN 630-533-4658					
GH	_____	AM 001-PPS PRE-POUR, SLAB ON GRADE	20230649	579 BIRCHWOOD DR	139		06/05/2023
		Comments1: PATIO RICH 630-273-5932					
PBF	_____	PM 003-PLU PLUMBING - UNDERSLAB	20230650	3423 CALEDONIA DR	189		06/14/2023
		Comments1: JEFF 847-456-8082					
GH	_____	AM 004-BSM BASEMENT FLOOR					06/15/2023
		Comments1: JUAN 847-551-9066					
GH	_____	AM 005-GAR GARAGE FLOOR					06/15/2023
BC	_____	006-GPL GREEN PLATE INSPECTION					06/19/2023
		Comments1: DOMINIC					
BF	_____	AM 001-FTG FOOTING	20230651	3437 CALEDONIA DR	190		06/13/2023
		Comments1: JUAN CARLOS 847-551-9204					
GH	_____	AM 002-FOU FOUNDATION					06/15/2023
		Comments1: JUAN					
BC	_____	AM 003-BKF BACKFILL					06/22/2023
GH	_____	AM 002-FOU FOUNDATION	20230652	3407 CALEDONIA DR	188		06/02/2023
		Comments1: JUAN					
BF	_____	003-BKF BACKFILL					06/08/2023
		Comments1: JUAN 847-551-9066					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 61

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	PM 004-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082					06/14/2023
GH	_____	AM 005-BSM BASEMENT FLOOR Comments1: COMEX					06/15/2023
GH	_____	AM 006-GAR GARAGE FLOOR					06/15/2023
BC	_____	007-GPL GREEN PLATE INSPECTION Comments1: DOMINIC 224-833-2472					06/19/2023
GH	_____	AM 001-FTG FOOTING Comments1: MW	20230655	432 TIMBER OAK LN	38		06/05/2023
BF	_____	002-FOU FOUNDATION Comments1: MIDWESTERN 815-839-8175					06/09/2023
PBF	_____	PM 003-PLU PLUMBING - UNDERSLAB Comments1: JASON 630-632-7433					06/15/2023
BC	_____	004-BKF BACKFILL					06/16/2023
GH	_____	AM 005-BSM BASEMENT FLOOR Comments1: BASEMENT AND "CROSSPACE" MW					06/23/2023
GH	11:00	PM 006-GPL GREEN PLATE INSPECTION Comments1: JASON 630-632-7433 - AFTER 11					06/26/2023
BC	11:30	001-PHF POST HOLE - FENCE Comments1: JAZLYN 224-220-1042	20230660	2571 LYMAN LOOP	34		06/12/2023
BF	_____	PM 001-FTG FOOTING Comments1: JUAN CARLOS 847-551-9204	20230662	311 RYAN CT	205		06/13/2023
BC	_____	PM 002-FOU FOUNDATION Comments1: OSCAR					06/23/2023
GH	_____	AM 003-BKF BACKFILL Comments1: COMEX					06/29/2023
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					06/30/2023
BF	_____	PM 001-FTG FOOTING Comments1: JUAN CARLOS 847-551-9204	20230663	321 RYAN CT	206		06/13/2023
BC	_____	PM 002-FOU FOUNDATION Comments1: OSCAR					06/23/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	003-BKF BACKFILL Comments1: COMEX					06/29/2023
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: CATHY 630-387-2001					06/30/2023
BC	_____	AM 001-RFR ROUGH FRAMING Comments1: PETER 224-323-0485	20230664	2372 EMERALD LN	29		06/22/2023
BC	_____	AM 002-REL ROUGH ELECTRICAL					06/22/2023
BC	_____	AM 003-RMC ROUGH MECHANICAL					06/22/2023
BC	_____	PM 004-INS INSULATION Comments1: PETER 224-323-0485					06/29/2023
GH	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ANGEL 630-688-5671	20230666	2945 ELLSWORTH DR	409		06/05/2023
GH	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230667	1004 INDEPENDENCE BLVD			06/01/2023
GH	_____	001-FTG FOOTING Comments1: GAZEBO -- NANCY 630-664-0886	20230669	547 COACH RD	414		06/01/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: REUBEN	20230671	1542 ORCHID ST	199		06/27/2023
PR	_____	PM 001-ROF ROOF UNDERLAYMENT ICE & W Comments1: AMANDA 630-549-5434	20230672	2504 LYMAN LOOP	77		06/02/2023
PR	_____	AM 001-RFR ROUGH FRAMING Comments1: MIKE 630-917-4584	20230674	1427 CANNONBALL TR			06/15/2023
PR	_____	AM 002-REL ROUGH ELECTRICAL					06/15/2023
PR	_____	AM 003-RMC ROUGH MECHANICAL					06/15/2023
PR	_____	AM 004-PLR PLUMBING - ROUGH					06/15/2023
PR	_____	005-PLU PLUMBING - UNDERSLAB					06/15/2023
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230675	404 E SOMONAUK ST	24		06/01/2023
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: KIM 630-553-2344	20230678	703 E MAIN ST			06/27/2023
BC	11:30	001-PHF POST HOLE - FENCE Comments1: 815-834-1200	20230680	3021 MCLELLAN BLVD	561		06/08/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 63

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP		001-ROF ROOF UNDERLAYMENT ICE & W	20230681	213 DICKSON CT	21		06/28/2023
		Comments1: DIRK 630-899-9030, home was mostly shing Comments2: led on my arrival covering the I &W. Con Comments3: tractor took photos prior to shingling. Comments4: Passed with photos.					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230685	807 TERI LN			06/21/2023
		Comments1: AAA, ICE AND WATER INSTALLED, NO NEED FO Comments2: R SECOND DATE					
JP	11:00	002-ROF ROOF UNDERLAYMENT ICE & W				06/22/2023	
JP		PM 001-PHF POST HOLE - FENCE	20230686	2202 HIGH RIDGE LN	99		06/14/2023
		Comments1: CLASSIC					
GH		AM 001-PPS PRE-POUR, SLAB ON GRADE	20230688	2765 CROOKER DR	60		06/05/2023
		Comments1: PATIO -- 630-956-1205					
BC		001-ROF ROOF UNDERLAYMENT ICE & W	20230691	1561 ORCHID ST	192		06/09/2023
		Comments1: SENDING PICS					
GH		PM 001-WK SERVICE WALK	20230692	1423 WOODSAGE AVE	22		06/02/2023
		Comments1: -- MARCE 630-956-1205					
BC		001-TRN TRENCH - (GAS, ELECTRIC,	20230693	805 TERI LN			06/09/2023
		Comments1: BEV HERNANDEZ 630-687-4770					
BC		AM 002-BND POOL BONDING					06/13/2023
		Comments1: BEV					
JP		AM 001-PHD POST HOLE - DECK	20230696	305 W WASHINGTON ST			06/14/2023
		Comments1: VALERIE 630-776-6228					
BF		AM 001-FTG FOOTING	20230699	3453 CALEDONIA DR	191		06/13/2023
		Comments1: JUAN CARLOS 847-551-9204					
BC		AM 002-FOU FOUNDATION					06/19/2023
		Comments1: JUAN CARLOS 847-551-9204					
BC		AM 003-BKF BACKFILL					06/22/2023
		Comments1: JUAN					
PR	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230700	310 FAIRHAVEN DR	71		06/06/2023
		Comments1: JASON 331-575-7705					
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20230705	503 GAME FARM RD			06/27/2023
		Comments1: KYLE 630-202-7448					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	09:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230706	307 E WASHINGTON ST			06/07/2023
		Comments1: JERRY 312-401-6515					
JP	_____	001-PPS PRE-POUR, SLAB ON GRADE	20230708	1934 CONEFLOWER CT	147		06/14/2023
		Comments1: 630-330-7580					
JP	13:00	001-PHF POST HOLE - FENCE	20230713	2008 SWITCHGRASS LN	131		06/20/2023
		Comments1: ACOSTA 815-255-2132					
GH	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230714	311 BERTRAM DR	1086		06/06/2023
		Comments1: A&R 630-688-0567					
PR	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230715	4511 HARRISON ST	1126		06/09/2023
		Comments1: SENDING PICS					
BC	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230720	317 W KENDALL DR	5		06/26/2023
		Comments1: JASON 331-575-7705					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230721	2801 SILVER SPRINGS CT	241		06/21/2023
		Comments1: RENEE 630-923-2285					
PR	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230724	1638 SIENNA DR	56	06/12/2023	
		Comments1: SENDING PICS					
PR	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230729	211 GEORGEANNE ST			06/09/2023
		Comments1: SENDING PICS					
BC	09:30	001-ROF ROOF UNDERLAYMENT ICE & W	20230731	506 W FOX ST			06/07/2023
		Comments1: ODANNY 312-569-0259					
PR	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230733	1253 DEERPATH DR	262	06/09/2023	
		Comments1: SENDING PICS					
JP	_____ PM	001-PHD POST HOLE - DECK	20230734	542 HEARTLAND DR	184		06/16/2023
JP	_____ AM	001-FIN FINAL INSPECTION	20230735	1091 AUBURN DR	93		06/20/2023
		Comments1: PAVER PATIO -- GERARDO 630-553-0922					
JP	_____ AM	001-PHD POST HOLE - DECK	20230740	2644 KELLOGG CT	49		06/21/2023
		Comments1: MIKE 630-210-2780					
BC	_____	001-PHF POST HOLE - FENCE	20230741	103 E WASHINGTON ST			06/09/2023
		Comments1: CLASSIC 630-551-3400					
GH	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230743	1368 SPRING ST	218		06/01/2023
		Comments1: RUBEN 815-205-1500 PARTIAL - FRONT (EXCE					
		Comments2: PT 3RD CAR GARAGE)					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 65

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH		002-ROF ROOF UNDERLAYMENT ICE & W					06/02/2023
		Comments1: PARTIAL - 3RD CAR GARAGE & BACK OF HOUSE					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230744	2844 SILVER SPRINGS CT			06/26/2023
		Comments1: JUSTIN 331-203-3914					
PR	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230746	973 HOMESTEAD DR			06/02/2023
		Comments1: RUBEN 815-205-1500					
GH		AM 001-PPS PRE-POUR, SLAB ON GRADE	20230747	2922 ALDEN AVE	321		06/29/2023
		Comments1: PATIO GUS 331-717-8254					
JP		001-ROF ROOF UNDERLAYMENT ICE & W	20230750	205 SPRUCE CT	19		06/15/2023
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230751	105 W SOMONAUK ST			06/26/2023
		Comments1: A&B 815-786-3100					
GH	09:30	001-ROF ROOF UNDERLAYMENT ICE & W	20230752	2045 INGEMUNSON LN	152		06/07/2023
		Comments1: 312-569-0259 -- O'DANNY BOY					
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230754	1165 WHEATLAND CT			06/26/2023
		Comments1: AAA					
GH		AM 001-PPS PRE-POUR, SLAB ON GRADE	20230755	2988 ELLSWORTH DR	348		06/28/2023
		Comments1: CEMENTRIX 630-862-8053					
BC		AM 001-FTG FOOTING	20230757	4452 TAMPA DR	1970		06/20/2023
		Comments1: MW					
BC		AM 002-FOU FOUNDATION					06/22/2023
		Comments1: MW					
PBF		PM 003-ESW ENGINEERING - SEWER / WAT					06/27/2023
		Comments1: ALS 630-492-7635					
GH		004-BKF BACKFILL					06/29/2023
		Comments1: MW					
BC		001-FTG FOOTING	20230758	4439 TAMPA DR	1960		06/27/2023
		Comments1: MW					
BC		AM 001-RFR ROUGH FRAMING	20230767	3108 JUSTICE DR	624		06/29/2023
BC		AM 002-REL ROUGH ELECTRICAL					06/29/2023
		Comments1: MATRIX JIM 224-324-0813					
BC		003-RMC ROUGH MECHANICAL					06/29/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 66

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC		001-ROF ROOF UNDERLAYMENT ICE & W	20230770	374 TIMBALIER ST			06/09/2023
		Comments1: JOE 773-617-1707					
BF		AM 001-FIN FINAL INSPECTION	20230772	481 HONEYSUCKLE LN	154		06/29/2023
		Comments1: SOLAR ERIK 708-441-6311 CALL WHEN ON YOU					
		Comments2: R WAY					
BF		AM 002-FEL FINAL ELECTRIC					06/29/2023
BC		001-ROF ROOF UNDERLAYMENT ICE & W	20230779	1010 JOHN ST	10		06/08/2023
		Comments1: JOE 773-617-1707					
JP		PM 001-PPS PRE-POUR, SLAB ON GRADE	20230780	3056 GRANDE TR	541		06/15/2023
		Comments1: PATIO --TRAVIS					
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20230782	2698 LILAC WAY	381		06/30/2023
		Comments1: CITY WIDE					
PR	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230785	2856 CRANSTON CIR	94		06/06/2023
		Comments1: DAWN 847-702-4700					
PR		001-ROF ROOF UNDERLAYMENT ICE & W	20230786	102 CLAREMONT CT	34		06/01/2023
JP		PM 001-PHF POST HOLE - FENCE	20230788	2077 HEARTHSTONE AVE	346		06/28/2023
		Comments1: CLASSIC -- EARLY AFTERNOON.					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230789	903 A FAWN RIDGE CT			06/16/2023
		Comments1: JOSE 630-803-9205					
BC	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230792	2531 ALAN DALE LN	123		06/12/2023
		Comments1: VICTOR 630-538-5050					
JP		001-ROF ROOF UNDERLAYMENT ICE & W	20230794	108 E SOMONAUK ST			06/23/2023
		Comments1: DANIEL 630-276-8255					
JP		002-ROF ROOF UNDERLAYMENT ICE & W					06/23/2023
		Comments1: RETURNED WHEN ICE AND WATER WAS APPLIED					
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230795	3292 LAUREN DR	121		06/09/2023
		Comments1: PROVIDENT					
JP		AM 001-PPS PRE-POUR, SLAB ON GRADE	20230800	2375 FAIRFIELD AVE	495		06/14/2023
		Comments1: EARLY PATIO DOUG 815-693 2530					
JP		PM 001-PHF POST HOLE - FENCE	20230801	537 W BARBERRY CIR	42		06/14/2023
		Comments1: CLASSIC 630-551-3400					
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230803	709 BLUESTEM DR	25		06/09/2023
		Comments1: JOHN 708-262-0882					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 67

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	13:00	001-PHF POST HOLE - FENCE Comments1: MARIA 630-809-4166	20230805	3185 LONGVIEW DR	48		06/09/2023
PR	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: SENDING PICS	20230807	1222 DEERPATH DR			06/08/2023
PR	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: RUBEN SENDING PICS	20230808	1346 SPRING ST			06/08/2023
BC	_____ AM	001-FTG FOOTING Comments1: JUAN CARLOS	20230810	3383 CALEDONIA DR	185		06/16/2023
GH	_____ AM	002-FOU FOUNDATION Comments1: JUAN CARLOS 847-551-9204					06/30/2023
BF	_____ AM	001-FTG FOOTING Comments1: JUAN CARLOS 847-551-9204	20230811	3393 CALEDONIA DR	187		06/13/2023
BC	_____ AM	002-FOU FOUNDATION Comments1: JUAN CARLOS 847-551-9204					06/19/2023
BC	_____ AM	003-BKF BACKFILL Comments1: JUAN					06/22/2023
BC	_____ AM	001-FTG FOOTING Comments1: JUAN CARLOS	20230812	3387 CALEDONIA DR	186		06/16/2023
GH	_____ AM	002-FOU FOUNDATION Comments1: JUAN CARLOS 847-551-9204					06/30/2023
GH	_____ AM	001-FTG FOOTING Comments1: COMEX	20230813	3377 CALEDONIA DR	184		06/29/2023
GH	_____ AM	001-FTG FOOTING Comments1: CHRIS 815-603-0589	20230814	2933 CRYDER WAY	467		06/20/2023
BC	_____ AM	002-FOU FOUNDATION Comments1: PACO 630-536-4171					06/23/2023
PBF	_____ PM	004-ESW ENGINEERING - SEWER / WAT Comments1: MIKE 815-210-3338					06/30/2023
BF	_____ AM	001-FTG FOOTING Comments1: CHRIS 224-358-1606	20230815	2639 SEELEY ST	818		06/12/2023
GH	_____ AM	002-FOU FOUNDATION Comments1: CHRIS 224-358-1606					06/14/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 68

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC		003-BKF BACKFILL Comments1: CHRIS 224-358-1606					06/19/2023
PBF		PM 004-WSS WATER & STORM SEWER Comments1: TERRI 847-526-3788					06/21/2023
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: CHRIS 224-358-1606					06/26/2023
GH		AM 001-FTG FOOTING Comments1: CHRIS 224-358-1606	20230816	2635 SEELEY ST	817		06/14/2023
BC		AM 002-FOU FOUNDATION Comments1: JESUS					06/16/2023
PBF		PM 003-WSS WATER & STORM SEWER Comments1: TERRI 847-526-3788					06/21/2023
BC		AM 004-BKF BACKFILL Comments1: CHRIS 224-358-1606					06/22/2023
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: CHRIS 224-358-1606					06/26/2023
BF		AM 001-FTG FOOTING Comments1: MW	20230817	462 TIMBER OAK LN	39		06/23/2023
BC		001-FTG FOOTING Comments1: MW	20230819	3098 CONSTITUTION WAY	573		06/27/2023
BC		002-FOU FOUNDATION					06/30/2023
PR	13:00	001-ESW ENGINEERING - SEWER / WAT Comments1: ROCHELLE 630-546-0642	20230820	285 WINDHAM CIR	38		06/14/2023
PR	10:30	002-FTG FOOTING Comments1: RSS 630-546-0735					06/20/2023
BC	09:00	003-FOU FOUNDATION Comments1: 630-546-0735 KEN					06/29/2023
GH		001-ROF ROOF UNDERLAYMENT ICE & W Comments1: WADE 779-702-8167	20230821	2688 MCLELLAN BLVD	52		06/05/2023
BC	13:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ABRAHAN 773-425-8449	20230822	602 ARROWHEAD DR			06/07/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: AAA	20230823	225 WALSH CIR	41		06/29/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230824	406 BRUELL ST			06/15/2023
		Comments1: TOM 630-881-2613 SENDING PICS					
PR	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230825	304 BRUELL ST			06/15/2023
		Comments1: TOM 630-881-2613 SENDING PICS					
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230826	2544 LYMAN LOOP			06/19/2023
		Comments1: RUBEN 815-630-7005					
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230827	2776 CRANSTON CIR	105		06/08/2023
		Comments1: ARIANA 773-813-3447					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230828	109 PALMER CT			06/23/2023
		Comments1: JOSEPH JAMES, NOT READY, NO CREW ON SITE					
JP	_____	002-ROF ROOF UNDERLAYMENT ICE & W					06/30/2023
BC	_____ AM	001-ROF ROOF UNDERLAYMENT ICE & W	20230829	10323 RT 34			06/22/2023
		Comments1: ALISSA 815-786-3100					
BF	_____ AM	001-FIN FINAL INSPECTION	20230833	1609 CYPRESS LN	33		06/16/2023
		Comments1: SOLAR ERIK 708-441-6311					
BF	_____ AM	002-FEL FINAL ELECTRIC					06/16/2023
GH	_____ AM	001-FTG FOOTING	20230841	3373 CALEDONIA DR	183		06/29/2023
		Comments1: COMEX					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230849	3272 LAUREN DR	120		06/14/2023
		Comments1: 224-268-3486					
JP	13:00	001-PHF POST HOLE - FENCE	20230850	803 E MAIN ST	42		06/21/2023
		Comments1: MARIA 815-786-2070					
JP	11:00	001-PHF POST HOLE - FENCE	20230857	367 WESTWIND DR	36		06/23/2023
		Comments1: CLASSIC 630-551-3400					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230859	1127 GRACE DR	61		06/16/2023
		Comments1: ABC					
BF	_____ AM	001-FIN FINAL INSPECTION	20230860	401 HONEYSUCKLE LN	146		06/21/2023
		Comments1: SOLAR ERIC 708 441 6311					
BF	_____ AM	002-FEL FINAL ELECTRIC					06/21/2023
		Comments1: SOLAR ERIC 708 441 6311					
PR	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230861	122 STRAWBERRY LN	7		06/08/2023
		Comments1: SENDING PICS					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 70

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	_____	AM 001-PHD POST HOLE - DECK	20230862	241 WALSH CIR	36		06/16/2023
		Comments1: ROB 630-328-3994					
BC	_____	AM 002-RFR ROUGH FRAMING					06/27/2023
		Comments1: 630-328-3994 ROB					
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230865	2448 CATALPA TR	176		06/22/2023
		Comments1: ALL STORM KEN 630 885 1028					
PR	_____	AM 001-RFR ROUGH FRAMING	20230866	1443 CANNONBALL TR		06/23/2023	
		Comments1: WILLIAMS GROUP					
PR	_____	AM 002-REL ROUGH ELECTRICAL				06/23/2023	
PR	_____	AM 003-RMC ROUGH MECHANICAL				06/23/2023	
PR	_____	AM 004-PLR PLUMBING - ROUGH				06/23/2023	
JP	13:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230868	542 REDHORSE LN			06/14/2023
		Comments1: ABAHAN 773-425-8449					
PR	08:30	001-ROF ROOF UNDERLAYMENT ICE & W	20230869	801 ADRIAN ST			06/13/2023
		Comments1: SENDING PICS -- DANA 630-664-6793					
JP	_____	PM 001-PPS PRE-POUR, SLAB ON GRADE	20230870	2528 ANNA MARIA LN	595		06/15/2023
		Comments1: PATIO GUS 331-717-8254					
JP	11:30	001-ROF ROOF UNDERLAYMENT ICE & W	20230871	4234 E MILLBROOK CIR	286		06/14/2023
		Comments1: DAWN BOXER 847-702-4700					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230872	404 FREEMONT ST	24		06/21/2023
		Comments1: ABC					
JP	_____	AM 001-PPS PRE-POUR, SLAB ON GRADE	20230873	647 HAYDEN DR	72		06/20/2023
		Comments1: PATIO AND SIDEWALK -- CHUY					
PR	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230876	1122 SPRING ST	76		06/01/2023
		Comments1: RUBEN 815-630-7005 -- SENT PICS					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230878	579 BIRCHWOOD DR	139		06/14/2023
		Comments1: RUBEN 815-630-7005 -- SENDING PICS					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230881	513 FAIRHAVEN DR			06/21/2023
		Comments1: ABC					
BC	_____	AM 001-TRN TRENCH - (GAS, ELECTRIC,	20230882	383 TWINLEAF TR	81		06/13/2023
		Comments1: CRAIG 815-508-7988					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 71

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230891	554 REDHORSE LN			06/28/2023
		Comments1: KIM 630-553-2344					
JP	_____	002-ROF ROOF UNDERLAYMENT ICE & W					06/29/2023
PR	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20230892	402 JACKSON ST	A&B		06/16/2023
		Comments1: SENDING PICS 630-664-6793					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230896	2811 SILVER SPRINGS CT	244		06/20/2023
		Comments1: CHRIS 708-997-0909					
GH	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE	20230898	4527 MARQUETTE ST			06/23/2023
		Comments1: LUIS 630-667-6902					
PR	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230900	1352 SPRING ST			06/12/2023
		Comments1: RUBEN 815-630-7005					
JP	10:00	001-PHF POST HOLE - FENCE	20230902	1624 COTTONWOOD TR	21		06/27/2023
		Comments1: ANDRE 630-210-6203					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230903	2903 ALDEN AVE	295		06/22/2023
		Comments1: ALEX/J&E RESTORATIONS 331-220-4121					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230906	533 REDBUD DR	47		06/20/2023
		Comments1: DEMARIS 630-554-5030					
JP	10:30	001-PHF POST HOLE - FENCE	20230909	1888 WILD INDIGO LN	79		06/22/2023
		Comments1: CEDAR MILL 815-744-9390					
GH	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230912	4455 E MILLBROOK CIR	227		06/23/2023
		Comments1: MARTIN 630-997-4199					
GH	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230913	2820 SHERIDAN CT	201		06/23/2023
		Comments1: ABC					
JP	_____ AM	001-ROF ROOF UNDERLAYMENT ICE & W	20230919	1181 KATE DR	243		06/23/2023
		Comments1: CARMODY 630-383-1907					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230921	621 SUTTON ST	162		06/14/2023
		Comments1: JOHN 630-301-9550					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230928	109 W KENDALL DR	28		06/15/2023
		Comments1: ANGEL 630-618-6148					
BC	_____ PM	001-FTG FOOTING	20230929	101 W CENTER ST			06/26/2023
		Comments1: CLEAN EDGE 630-364-0224					
GH	_____ AM	001-FTG FOOTING	20230931	352 POPLAR DR	96		06/20/2023
		Comments1: LEE 630-443-7100					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230933	2732 CRANSTON CIR	118		06/21/2023
		Comments1: ABC					
PR	_____ PM	001-RFR ROUGH FRAMING	20230935	2435 SAGE CT	23		06/20/2023
		Comments1: CHRIS 630-688-0331					
PR	_____ PM	002-REL ROUGH ELECTRICAL					06/20/2023
PR	_____ PM	003-PLR PLUMBING - ROUGH					06/20/2023
PR	_____	004-RMC ROUGH MECHANICAL					06/20/2023
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230936	1426 ASPEN LN	118		06/30/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230937	3141 LAUREN DR	89		06/23/2023
		Comments1: JUSTIN 331-203-3914					
JP	_____ AM	001-PHD POST HOLE - DECK	20230944	88 CROOKED CREEK DR	10		06/22/2023
		Comments1: CLEAN EDGE					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230947	2947 OLD GLORY DR	254		06/21/2023
		Comments1: ARIANNA 773-812-3447					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230948	2268 EMERALD LN			06/27/2023
		Comments1: REUBEN, ROOF WAS MOSTLY SHINGLED WHEN I					
		Comments2: ARRIVED FOR INSPECTION					
GH	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230950	1327 SPRING ST	170		06/22/2023
		Comments1: GEORGE 317-340-2427					
JP	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE	20230951	508 BRAEMORE LN	535		06/23/2023
		Comments1: JUSTIN 331-643-8738					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230957	371 DRAYTON CT	59		06/26/2023
		Comments1: FRANK 630-640-8992					
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20230958	2701 NICKERSON CT	157		06/26/2023
		Comments1: PATIO CHUY					
JP	15:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230961	2828 SILVER SPRINGS CT	258		06/20/2023
		Comments1: ISRAEL 708-473-5719					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230962	855 PARKSIDE LN	196		06/21/2023
		Comments1: ISRAEL					
JP	14:30	001-ROF ROOF UNDERLAYMENT ICE & W	20230963	1182 TAUS CIR	124		06/21/2023
		Comments1: IRAEL 708-473-5719					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 73

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	_____	AM 001-PPS PRE-POUR, SLAB ON GRADE	20230964	2752 LILAC CT	330		06/20/2023
		Comments1: PATIO AND SIDEWALK RAY 630-251-8717					
BC	11:30	002-PPS PRE-POUR, SLAB ON GRADE					06/29/2023
		Comments1: STAIRS --					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230969	1202 MISTWOOD CT			06/23/2023
		Comments1: GEORGE 317-340-2427 NOT READY FOR INSPEC					
		Comments2: TION, INCOMPLETE					
JP	_____	002-ROF ROOF UNDERLAYMENT ICE & W					06/23/2023
		Comments1: COMPLETED ICE AND WATER					
BKF	_____	PM 001-OCC OCCUPANCY INSPECTION	20230971	1901 S BRIDGE ST		06/21/2023	
		Comments1: MIKE TORRENCE					
PR	_____	PM 002-OCC OCCUPANCY INSPECTION					06/21/2023
		Comments1: KEVIN 630-935-2142					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230973	2582 LYMAN LOOP			06/30/2023
		Comments1: 815-715-2337 JOSH/TITAN					
JP	13:00	001-PHF POST HOLE - FENCE	20230974	1902 WREN RD	1		06/21/2023
		Comments1: CEADR RUSTIC					
JP	_____	002-FIN FINAL INSPECTION					06/26/2023
		Comments1: FENCE JONELLE 630-803-9766					
GH	09:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230976	2033 INGEMUNSON LN	153		06/26/2023
		Comments1: EXTREME EXTERIORS 630-664-6793					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230983	1102 CLEARWATER DR			06/28/2023
		Comments1: ERIN 630-352-9506					
GH	_____	AM 001-PPS PRE-POUR, SLAB ON GRADE	20230984	2328 TITUS DR	235	06/23/2023	
		Comments1: KATIE 630-776-2206 FIRE PIT LESS THAN 20					
		Comments2: ' FROM HOUSE, CONTRACTOR WILL MOVE					
JP	_____	002-REI REINSPECTION					06/23/2023
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20230985	681 HAYDEN DR	70		06/27/2023
		Comments1: ERIN 630-352-9506					
JP	11:30	001-ROF ROOF UNDERLAYMENT ICE & W	20230987	848 HOMESTEAD DR			06/22/2023
		Comments1: GENERO 708-945-1375					
GH	_____	AM 001-FTG FOOTING	20230988	2638 SEELEY ST	743		06/30/2023
		Comments1: CHRIS					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 74

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH		AM 001-FTG FOOTING Comments1: CHRIS	20230989	2634 SEELEY ST	744		06/29/2023
JP		001-ROF ROOF UNDERLAYMENT ICE & W Comments1: WADE 779-702-8167	20230993	703 S MAIN ST			06/20/2023
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: VINYL TECH GARY 630-818-7427	20230995	903 HAYDEN DR	129	06/29/2023	
BC	10:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: JOHN 630-301-9550	20230996	2462 WYTHE PL	12		06/23/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ABC 3312033914	20231000	2824 SHERIDAN CT	200		06/28/2023
BC		AM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: 2 PATIOS KYLE 630-391-0013	20231002	1943 WILD INDIGO LN	7		06/28/2023
JP		001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ERIN 630-352-9506	20231005	1021 INDEPENDENCE BLVD	1		06/28/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: REUBEN	20231006	1812 COUNTRY HILLS DR	19		06/20/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: WADE 779-702-8167	20231008	1271 DEERPATH DR	261		06/23/2023
BC		001-PHD POST HOLE - DECK Comments1: BRENDAN 630-688-0180	20231009	203 E CENTER ST			06/27/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: DIRK 630-899-9030	20231012	1425 CHESTNUT CT	73		06/22/2023
GH	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: REUBEN	20231013	1325 SPRING ST	169		06/22/2023
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: DANA 630-664-6793	20231014	2532 LYMAN LOOP	72		06/29/2023
BC		AM 001-PHD POST HOLE - DECK Comments1: AARON CLEAN EDGE 6304701107	20231015	26 GAWNE LN			06/27/2023
JP		001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ERIN 630-352-9506	20231020	669 HAYDEN DR	71		06/27/2023
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20231021	803 MCHUGH RD			06/26/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231023	1152 SPRING ST	73		06/26/2023

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 75

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	11:30	002-ROF ROOF UNDERLAYMENT ICE & W					06/27/2023
JP	10:30	003-ROF ROOF UNDERLAYMENT ICE & W					06/28/2023
JP	_____ AM	001-ROF ROOF UNDERLAYMENT ICE & W	20231026	2825 SHERIDAN CT	207		06/27/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231028	1997 SWITCHGRASS LN	142		06/27/2023
		Comments1: NICK 630-827-2019, CONTRACTOR WAS REUSIN					
		Comments2: G PREVIOUSLY INSTALLED I&W BARRIER.					
JP	_____	002-ROF ROOF UNDERLAYMENT ICE & W					06/27/2023
		Comments1: RE-INPSECTION					
BC	_____ PM	001-ROF ROOF UNDERLAYMENT ICE & W	20231036	505 BLAINE ST			06/23/2023
		Comments1: ORLANDO 630-809-8910					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231039	1262 TAUS CIR	120		06/28/2023
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231041	2723 CRANSTON CIR	125		06/23/2023
		Comments1: DAWN -- BOXER					
JP	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE	20231046	2362 RICHMOND AVE	480		06/30/2023
		Comments1: PATIO == NORWOOD -- 630-904-2288					
BC	14:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231052	664 WHITE OAK WAY	3		06/27/2023
GH	_____	001-PPS PRE-POUR, SLAB ON GRADE	20231065	3155 JUSTICE DR	695		06/28/2023
		Comments1: TRAVIS 630-688-4528					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231072	348 TIMBALIER ST	1005		06/28/2023
		Comments1: KIM 630-971-1589					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231083	343 TIMBALIER ST	1014	06/29/2023	
		Comments1: COMPANY DID NOT SCHEDULE I&W INSP AND CO					
		Comments2: MPLETED ROOF. PHOTOS SENT. PASSED W/ PHO					
		Comments3: TOS					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231091	1201 KATE DR	244	06/28/2023	
		Comments1: JASON 630-720-0855					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231094	1308 SPRING ST	186		06/27/2023
GH	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231101	3395 RYAN DRIVE	11	06/29/2023	
		Comments1: A&B 815-786-3100 ** 6/29/23 CANCELLED**					
JP	11:45	001-ROF ROOF UNDERLAYMENT ICE & W	20231105	4242 E MILLBROOK CIR	285		06/30/2023
		Comments1: DAWN 847-702-4700					

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20231114	1991 BANBURY AVE	30		06/28/2023
		Comments1: RAMON TOP Q 630-808-9302					
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231122	862 OMAHA	32		06/30/2023
		Comments1: 331-575-7705 JASON/JOSEPH JAMES					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231126	2826 SHERIDAN CT	199		06/29/2023
		Comments1: JR 708-690-8423					

DATE: 07/03/2023  
 TIME: 08:17:49  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
-----------	------	--------------------	--------	---------	-----	-------------	------------

PERMIT TYPE SUMMARY:							
	ADD	ADDITION					7
	AGP	ABOVE-GROUND POOL					11
	BDO	COMMERCIAL BUILD-OUT					16
	BSM	BASEMENT REMODEL					21
	COM	COMMERCIAL BUILDING					3
	CRM	COMMERCIAL REMODEL					7
	DCK	DECK					19
	EVS	ELECTRIC VEHICLE CHARGING STAT					1
	FNC	FENCE					23
	GAZ	GAZEBO					1
	IGP	IN-GROUND POOL					2
	MSC	MISCELLANEOUS					3
	P&W	PATIO AND SERVICE WALK					4
	PRG	PERGOLA					1
	PTO	PATIO / PAVERS					28
	PVR	PAVER					3
	REP	REPAIR					2
	ROF	ROOFING					131
	RS	ROOFING & SIDING					9
	SFA	SINGLE-FAMILY ATTACHED					412
	SFD	SINGLE-FAMILY DETACHED					586
	SHD	SHED/ACCESSORY BUILDING					1
	SOL	SOLAR PANELS					20
	SWK	PRIVATE SIDEWALK					1
	TNT	TEMPORARY TENT					2
	WIN	WINDOW REPLACEMENT					6

INSPECTION SUMMARY:							
	ABC	ABOVE CEILING					1
	ADA	ADA ACCESSIBLE WALK WAY					1
	BG	BASEMENT AND GARAGE FLOOR					4
	BGS	BASEMENT GARAGE STOOPS					1
	BKF	BACKFILL					44
	BND	POOL BONDING					6
	BSM	BASEMENT FLOOR					28
	DMW	DEMISING WALL					13
	EDA	ENGINEERING - DRIVEWAY APRON					1
	EFL	ENGINEERING - FINAL INSPECTION					75
	ELS	ELECTRIC SERVICE					12
	ELU	ELECTRICAL - UNDERSLAB					9
	EPW	ENGINEERING- PUBLIC WALK					23
	ESW	ENGINEERING - SEWER / WATER					29
	FEL	FINAL ELECTRIC					51
	FIN	FINAL INSPECTION					73
	FMC	FINAL MECHANICAL					40
	FME	FINAL MECHANICAL					1
	FOU	FOUNDATION					46
	FTG	FOOTING					46

DATE: 07/03/2023  
 TIME: 08:17:49  
 ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
 CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
		GAR GARAGE FLOOR				35	
		GPL GREEN PLATE INSPECTION				43	
		INS INSULATION				33	
		MIS MISCELLANEOUS				5	
		OCC OCCUPANCY INSPECTION				5	
		PH POST HOLES / PILES				3	
		PHD POST HOLE - DECK				12	
		PHF POST HOLE - FENCE				20	
		PLF PLUMBING - FINAL OSR READY				40	
		PLR PLUMBING - ROUGH				43	
		PLU PLUMBING - UNDERSLAB				51	
		PPS PRE-POUR, SLAB ON GRADE				71	
		REI REINSPECTION				43	
		REL ROUGH ELECTRICAL				44	
		RFR ROUGH FRAMING				49	
		RMC ROUGH MECHANICAL				43	
		ROF ROOF UNDERLAYMENT ICE & WATER				139	
		RST FIRE OR DRAFT STOPPING				5	
		STP STOOP				43	
		SUM SUMP				20	
		TRN TRENCH - (GAS, ELECTRIC, ETC)				4	
		WAT WATER				16	
		WK SERVICE WALK				4	
		WKS PUBLIC & SERVICE WALKS				41	
		WSS WATER & STORM SEWER				4	

INSPECTOR SUMMARY:	PERMIT	INSPECTOR	COUNT
	BC	BOB CREADEUR	267
	BF	B&F INSPECTOR CODE SERVICE	270
	BKF	BRISTOL KENDALL FIRE DEPT	1
	ED	ERIC DHUSE	53
	GH	GINA HASTINGS	286
	JB	JON BAUER	38
	JP	JOHN PETRAGALLO	137
	MT	MICHAEL TORRENCE	2
	PBF	PLUMBER	188
	PR	PETER RATOS	78

STATUS SUMMARY:	PERMIT	INSPECTOR	COUNT
	A	BC	1
	A	PR	3
	C	BC	41
	C	BF	86
	C	ED	41
	C	GH	20
	C	JB	31
	C	JP	3
	C	PBF	30

DATE: 07/03/2023  
TIME: 08:17:49  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 06/01/2023 TO 06/30/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
		C	PR		5		
		I	BC		225		
		I	BF		181		
		I	BKF		1		
		I	ED		10		
		I	GH		265		
		I	JB		3		
		I	JP		134		
		I	MT		2		
		I	PBF		157		
		I	PR		70		
		T	BF		3		
		T	ED		2		
		T	GH		1		
		T	JB		4		
		T	PBF		1		

REPORT SUMMARY:

1,320

DATE: 08/01/2023  
TIME: 08:08:15  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JB	-----	022-EFL ENGINEERING - FINAL INSPE	20211161	2710 NICKERSON CT	167		07/21/2023
PR	-----	013-ELS ELECTRIC SERVICE Comments1: JORDAN 630-450-4679	20220112	8710 RT 71			07/10/2023
BC	-----	AM 001-FIN FINAL INSPECTION Comments1: HVAC -- JENISE 630-229-7753	20220173	1084 HAMPTON LN	259		07/28/2023
ED	-----	025-REI REINSPECTION Comments1: TEMP TO FINAL	20220180	525 BRAEMORE LN	533		07/07/2023
ED	-----	025-REI REINSPECTION Comments1: EFL -- TEMP TO FINAL	20220400	642 ASHWORTH LN	526		07/07/2023
ED	-----	023-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL	20220401	608 BRAEMORE LN	537		07/06/2023
ED	-----	024-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL	20220403	538 BRAEMORE LN	536		07/06/2023
ED	-----	024-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL	20220404	668 BRAEMORE LN	539		07/06/2023
ED	-----	025-REI REINSPECTION Comments1: 4 SIDEWALK SQUARES AT DRIVEWAY	20220405	622 ASHWORTH LN	525		07/07/2023
ED	-----	022-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL	20220406	2456 RICHMOND AVE	483		07/06/2023
ED	-----	024-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL	20220409	648 BRAEMORE LN	538		07/06/2023
PR	-----	AM 011-ELS ELECTRIC SERVICE Comments1: ARCO AT BRIGHT FARMS TEMP ELEC 630-640-9 Comments2: 301	20220474	1555 W CORNEILS RD			07/24/2023
JB	-----	023-EFL ENGINEERING - FINAL INSPE	20220477	2705 NICKERSON CT	159		07/21/2023
ED	-----	022-REI REINSPECTION Comments1: PROPERTY CORNERS	20220650	2444 FAIRFIELD AVE	541	07/06/2023	
BF	-----	018-FIN FINAL INSPECTION Comments1: JEFF 847-456-8082	20220652	2312 RICHMOND AVE	477		07/05/2023
BF	-----	019-FEL FINAL ELECTRIC					07/05/2023
BF	-----	020-FMC FINAL MECHANICAL					07/05/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	021-PLF PLUMBING - FINAL OSR READ Comments1: JEFF 847-456-8082					07/05/2023
ED	_____	022-EFL ENGINEERING - FINAL INSPE					07/05/2023
JB	_____	021-EFL ENGINEERING - FINAL INSPE	20220655	2724 POTTER CT	144		07/21/2023
JB	_____	018-EFL ENGINEERING - FINAL INSPE	20220714	2404 RICHMOND AVE	481		07/20/2023
BF	_____	AM 019-FIN FINAL INSPECTION Comments1: JEFF 847-456-8082					07/24/2023
BF	_____	AM 020-FEL FINAL ELECTRIC					07/24/2023
BF	_____	AM 021-FMC FINAL MECHANICAL					07/24/2023
PBF	_____	AM 022-PLF PLUMBING - FINAL OSR READ Comments1: JEFFERY.LEADER@LENNAR.COM					07/24/2023
JP	_____	010-FIN FINAL INSPECTION Comments1: PAUL 630-774-0091	20220737	2273 CRYDER CT	434	07/12/2023	
ED	_____	024-EFL ENGINEERING - FINAL INSPE	20220816	2437 FAIRFIELD AVE	489		07/07/2023
ED	_____	026-REI REINSPECTION Comments1: TEMP TO FINL	20220883	2646 KELLOGG CT	50		07/13/2023
ED	_____	022-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL	20220884	2649 KELLOGG CT	51		07/13/2023
ED	_____	024-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL	20221133	2647 KELLOGG CT	52		07/13/2023
ED	_____	024-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL	20221141	2088 COUNTRY HILLS DR	450		07/06/2023
GH	_____	001-FIN FINAL INSPECTION Comments1: PAVERS AT DRIVEWAY SEAN BEAN 630-605-524 Comments2: 9 CAPS ON WALL NOT SECURED/GLUED	20221156	1869 COLUMBINE DR	72		07/24/2023
ED	_____	025-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FNL SITE	20221201	2645 KELLOGG CT	53		07/13/2023
JB	_____	022-REI REINSPECTION Comments1: FINL SITE B-BOX BENT, CANNOT KEY	20221274	2729 ELLORY CT	128		07/19/2023
JP	10:30	002-PHF POST HOLE - FENCE Comments1: PARAMOUNT	20221283	3963 SHOEGER DR	34		07/14/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____ AM	010-WK SERVICE WALK	20221319	248A PORTAGE LN	134-3		07/18/2023
		Comments1: JOSE					
GH	_____ AM	010-WK SERVICE WALK	20221320	248B PORTAGE LN	133-3		07/18/2023
GH	_____ AM	010-WK SERVICE WALK	20221321	248C PORTAGE LN	132-3		07/18/2023
GH	_____ AM	010-WK SERVICE WALK	20221322	248D PORTAGE LN	131-3		07/18/2023
GH	_____ AM	010-WK SERVICE WALK	20221323	248E PORTAGE LN	130		07/18/2023
GH	_____ AM	010-WK SERVICE WALK	20221324	252A PORTAGE LN	124		07/18/2023
BF	_____	011-RFR ROUGH FRAMING					07/24/2023
		Comments1: NORM 630-818-0404					
BF	_____	012-REL ROUGH ELECTRICAL					07/24/2023
BF	_____	013-RMC ROUGH MECHANICAL					07/24/2023
PBF	_____	014-PLR PLUMBING - ROUGH					07/24/2023
		Comments1: NHOLMSTROM@WMRYAN.COM					
BC	_____	015-INS INSULATION					07/27/2023
GH	_____ AM	011-WK SERVICE WALK	20221325	252B PORTAGE LN	125		07/18/2023
BF	_____	012-RFR ROUGH FRAMING					07/24/2023
		Comments1: NHOLMSTROM@WMRYAN.COM					
BF	_____	013-REL ROUGH ELECTRICAL					07/24/2023
BF	_____	014-RMC ROUGH MECHANICAL					07/24/2023
PBF	_____	015-PLR PLUMBING - ROUGH					07/24/2023
		Comments1: NHOLMSTROM@WMRYAN.COM					
BC	_____	016-INS INSULATION					07/27/2023
GH	_____ AM	011-WK SERVICE WALK	20221326	252C PORTAGE LN	126		07/18/2023
BF	_____	012-RFR ROUGH FRAMING					07/24/2023
		Comments1: NORM ANCHOR STEEL COLUMN IN GARAGE					
BF	_____	013-REL ROUGH ELECTRICAL					07/24/2023
BF	_____	014-RMC ROUGH MECHANICAL					07/24/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	015-PLR PLUMBING - ROUGH Comments1: NHOLMSTROM@WMRYAN.COM					07/24/2023
GH	_____	016-INS INSULATION Comments1: NORM 630-818-0404					07/31/2023
GH	_____ AM	011-WK SERVICE WALK	20221327	252D PORTAGE LN	127		07/18/2023
BF	_____	012-RFR ROUGH FRAMING Comments1: NORM FIRE STOP CEILING AT MASTER BATH VA Comments2: NITY					07/25/2023
BF	_____	013-REL ROUGH ELECTRICAL					07/25/2023
BF	_____	014-RMC ROUGH MECHANICAL					07/25/2023
PBF	_____	015-PLR PLUMBING - ROUGH Comments1: NHOLMSTROM@WMRYAN.COM					07/25/2023
GH	_____	016-INS INSULATION Comments1: NORM 630-818-0404					07/31/2023
GH	_____ AM	011-WK SERVICE WALK	20221328	252E PORTAGE LN	128		07/18/2023
BF	_____	012-RFR ROUGH FRAMING Comments1: NORM 630-818-0404 FIRE STOP CEILING LEFT Comments2: OF FRONT DOOR					07/25/2023
BF	_____	013-REL ROUGH ELECTRICAL					07/25/2023
BF	_____	014-RMC ROUGH MECHANICAL					07/25/2023
PBF	_____	015-PLR PLUMBING - ROUGH Comments1: NHOLMSTROM@WMRYAN.COM					07/25/2023
GH	_____	016-INS INSULATION Comments1: NORM 630-818-0404					07/31/2023
GH	_____ AM	011-WK SERVICE WALK	20221329	252F PORTAGE LN			07/18/2023
BF	_____	012-RFR ROUGH FRAMING Comments1: NORM 630-818-0404 FIRE STOP CEILING IN P Comments2: OWDER RM					07/25/2023
BF	_____	013-REL ROUGH ELECTRICAL					07/25/2023
BF	_____	014-RMC ROUGH MECHANICAL Comments1: DRYER VENT NOT VENTED TO OUTSIDE				07/25/2023	

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	015-PLR PLUMBING - ROUGH Comments1: NHOLMSTROM@WMRYAN.COM					07/25/2023
GH	_____	016-INS INSULATION Comments1: NORM 630-818-0404					07/31/2023
BF	_____	020-FIN FINAL INSPECTION Comments1: NHOLMSTROM@WMRYAN.COM	20221334	264A PORTAGE LN	123		07/27/2023
BF	_____	021-FEL FINAL ELECTRIC					07/27/2023
BF	_____	022-FMC FINAL MECHANICAL					07/27/2023
PBF	_____	023-PLF PLUMBING - FINAL OSR READ Comments1: NHOLMSTROM@WMRYAN.COM				07/27/2023	
ED	_____	024-EFL ENGINEERING - FINAL INSPE					07/27/2023
BF	_____	020-FIN FINAL INSPECTION Comments1: NHOLMSTROM@WMRYAN.COM	20221335	264B PORTAGE LN	122		07/27/2023
BF	_____	021-FEL FINAL ELECTRIC					07/27/2023
BF	_____	022-FMC FINAL MECHANICAL					07/27/2023
PBF	_____	023-PLF PLUMBING - FINAL OSR READ Comments1: NHOLMSTROM@WMRYAN.COM				07/27/2023	
ED	_____	024-EFL ENGINEERING - FINAL INSPE					07/27/2023
BF	_____	022-FIN FINAL INSPECTION Comments1: NHOLMSTROM@WMRYAN.COM	20221336	264C PORTAGE LN	121		07/27/2023
BF	_____	023-FEL FINAL ELECTRIC					07/27/2023
BF	_____	024-FMC FINAL MECHANICAL					07/27/2023
PBF	_____	025-PLF PLUMBING - FINAL OSR READ Comments1: NHOLMSTROM@WMRYAN.COM				07/27/2023	
ED	_____	026-EFL ENGINEERING - FINAL INSPE					07/27/2023
BF	_____	020-FIN FINAL INSPECTION Comments1: NHOLMSTROM@WMRYAN.COM	20221337	264D PORTAGE LN	120		07/27/2023
BF	_____	021-FEL FINAL ELECTRIC					07/27/2023
BF	_____	022-FMC FINAL MECHANICAL					07/27/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	023-PLF PLUMBING - FINAL OSR READ Comments1: NHOLMSTROM@WMRYAN.COM					07/27/2023
PBF	_____	AM 024-REI REINSPECTION Comments1: FINAL PLUMBING -- NHOLMSTROM@WMRYAN.COM				07/28/2023	
ED	_____	025-EFL ENGINEERING - FINAL INSPE					07/27/2023
GH	_____	014-WK SERVICE WALK Comments1: TIM/MIKE NOT READY	20221359	3798 BISSEL DR	127-1		07/03/2023
BF	_____	015-FIN FINAL INSPECTION Comments1: TIM 224-483-1848					07/06/2023
BF	_____	016-FEL FINAL ELECTRIC					07/06/2023
BF	_____	017-FMC FINAL MECHANICAL					07/06/2023
PBF	_____	018-PLF PLUMBING - FINAL OSR READ Comments1: TIM 224-483-1848					07/06/2023
GH	_____	019-WK SERVICE WALK					07/05/2023
PR	_____	020-EFL ENGINEERING - FINAL INSPE					07/17/2023
GH	_____	014-WK SERVICE WALK Comments1: TIM/MIKE NOT READY	20221360	3796 BISSEL DR	127-2		07/03/2023
BF	_____	015-FIN FINAL INSPECTION Comments1: TIM 224-483-1848					07/06/2023
BF	_____	016-FEL FINAL ELECTRIC					07/06/2023
BF	_____	017-FMC FINAL MECHANICAL					07/06/2023
PBF	_____	018-PLF PLUMBING - FINAL OSR READ Comments1: TIM 224-483-1848					07/06/2023
GH	_____	019-WK SERVICE WALK					07/05/2023
PR	_____	020-EFL ENGINEERING - FINAL INSPE					07/17/2023
GH	_____	014-WK SERVICE WALK Comments1: TIM-MIKE NOT READY	20221361	3794 BISSEL DR	127-3	07/03/2023	
GH	_____	015-WK SERVICE WALK					07/05/2023
BF	_____	016-FIN FINAL INSPECTION Comments1: TIM 224-483-1848					07/14/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	-----	017-FEL FINAL ELECTRIC					07/14/2023
BF	-----	018-FMC FINAL MECHANICAL					07/14/2023
PBF	-----	019-PLF PLUMBING - FINAL OSR READ Comments1: TIM 224-483-1848					07/14/2023
PR	-----	020-EFL ENGINEERING - FINAL INSPE					07/17/2023
GH	-----	014-WK SERVICE WALK Comments1: TIM/MIKE NOT READY	20221362	3792 BISSEL DR	127-4		07/03/2023
GH	-----	015-WK SERVICE WALK					07/05/2023
BF	-----	016-FIN FINAL INSPECTION Comments1: TIM 224-483-1848					07/14/2023
BF	-----	017-FEL FINAL ELECTRIC					07/14/2023
BF	-----	018-FMC FINAL MECHANICAL					07/14/2023
PBF	-----	019-PLF PLUMBING - FINAL OSR READ Comments1: TIM 224-483-1848					07/14/2023
PR	-----	020-EFL ENGINEERING - FINAL INSPE					07/17/2023
GH	-----	015-WK SERVICE WALK Comments1: TIM/MIKE NOT READY	20221363	3788 BISSEL DR	127-5		07/03/2023
GH	-----	016-WK SERVICE WALK					07/05/2023
BC	-----	017-FIN FINAL INSPECTION Comments1: TIM 224-483-1848 TDELANEY@DRHORTON.COM					07/26/2023
BC	-----	018-FEL FINAL ELECTRIC					07/26/2023
BC	-----	019-FME FINAL MECHANICAL					07/26/2023
PBF	-----	020-PLF PLUMBING - FINAL OSR READ Comments1: TIM 224-483-1848 TDELANEY@DRHORTON.COM				07/26/2023	
PR	-----	002-PLU PLUMBING - UNDERSLAB Comments1: DAVE 815-757-3474	20221376	220 S BRIDGE ST			07/20/2023
PR	-----	003-REL ROUGH ELECTRICAL Comments1: WILLMAN - 630-648-4152 - VAULT				07/28/2023	
PR	-----	AM 004-RFR ROUGH FRAMING Comments1: JOHN 630-675-7843				07/28/2023	

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	018-FIN FINAL INSPECTION Comments1: NORM 630-818-1414	20221377	224A PORTAGE LN	140		07/26/2023
BF	_____	019-FEL FINAL ELECTRIC					07/26/2023
BF	_____	020-FMC FINAL MECHANICAL					07/26/2023
PBF	_____	021-PLF PLUMBING - FINAL OSR READ Comments1: NHOLMSTROM@WMRYAN.COM					07/26/2023
ED	_____	022-EFL ENGINEERING - FINAL INSPE					07/27/2023
BF	_____	018-FIN FINAL INSPECTION Comments1: NORM 630-818-0404	20221378	224B PORTAGE LN	141		07/26/2023
BF	_____	019-FEL FINAL ELECTRIC					07/26/2023
BF	_____	020-FMC FINAL MECHANICAL					07/26/2023
PBF	_____	021-PLF PLUMBING - FINAL OSR READ Comments1: NHOLMSTROM@WMRYAN.COM					07/26/2023
ED	_____	022-EFL ENGINEERING - FINAL INSPE					07/27/2023
BF	_____	018-FIN FINAL INSPECTION Comments1: NORM 630-818-0404	20221379	224C PORTAGE LN	142		07/26/2023
BF	_____	019-FEL FINAL ELECTRIC					07/26/2023
BF	_____	020-FMC FINAL MECHANICAL					07/26/2023
PBF	_____	021-PLF PLUMBING - FINAL OSR READ Comments1: NHOLMSTROM@WMRYAN.COM					07/26/2023
ED	_____	022-EFL ENGINEERING - FINAL INSPE					07/27/2023
BF	_____	018-FIN FINAL INSPECTION Comments1: NORM 630-818-0404	20221380	224D PORTAGE LN	143		07/26/2023
BF	_____	019-FEL FINAL ELECTRIC					07/26/2023
BF	_____	020-FMC FINAL MECHANICAL					07/26/2023
PBF	_____	021-PLF PLUMBING - FINAL OSR READ Comments1: NHOLMSTROM@WMRYAN.COM					07/26/2023
ED	_____	022-EFL ENGINEERING - FINAL INSPE					07/27/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	021-FIN FINAL INSPECTION Comments1: NORM 630-818-0404	20221436	221A PORTAGE LN	144	07/31/2023	
BF	_____	022-FEL FINAL ELECTRIC				07/31/2023	
BF	_____	023-FMC FINAL MECHANICAL				07/31/2023	
PBF	_____	024-PLF PLUMBING - FINAL OSR READ Comments1: NHOLMSTROM@WMRYAN.COM				07/31/2023	
ED	_____	025-EFL ENGINEERING - FINAL INSPE					07/27/2023
BF	_____	021-FIN FINAL INSPECTION Comments1: NORM 630-818-0404	20221437	221B PORTAGE LN	145	07/31/2023	
BF	_____	022-FEL FINAL ELECTRIC				07/31/2023	
BF	_____	023-FMC FINAL MECHANICAL				07/31/2023	
PBF	_____	024-PLF PLUMBING - FINAL OSR READ Comments1: NHOLMSTROM@WMRYAN.COM				07/31/2023	
ED	_____	025-EFL ENGINEERING - FINAL INSPE					07/27/2023
BF	_____	021-FIN FINAL INSPECTION Comments1: NORM 630-818-0404	20221438	221C PORTAGE LN	146	07/31/2023	
BF	_____	022-FEL FINAL ELECTRIC				07/31/2023	
BF	_____	023-FMC FINAL MECHANICAL				07/31/2023	
PBF	_____	024-PLF PLUMBING - FINAL OSR READ Comments1: NHOLMSTROM@WMRYAN.COM				07/31/2023	
ED	_____	025-EFL ENGINEERING - FINAL INSPE					07/27/2023
BF	_____	021-FIN FINAL INSPECTION Comments1: NORM 630-818-0404	20221439	221D PORTAGE LN	147	07/31/2023	
BF	_____	022-FEL FINAL ELECTRIC				07/31/2023	
BF	_____	023-FMC FINAL MECHANICAL				07/31/2023	
PBF	_____	024-PLF PLUMBING - FINAL OSR READ Comments1: NHOLMSTROM@WMRYAN.COM				07/31/2023	
ED	_____	025-EFL ENGINEERING - FINAL INSPE					07/27/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	021-FIN FINAL INSPECTION Comments1: NORM 630-818-0404	20221440	221E PORTAGE LN	148	07/31/2023	
BF	_____	022-FEL FINAL ELECTRIC				07/31/2023	
BF	_____	023-FMC FINAL MECHANICAL				07/31/2023	
PBF	_____	024-PLF PLUMBING - FINAL OSR READ Comments1: NHOLMSTROM@WMRYAN.COM				07/31/2023	
ED	_____	025-EFL ENGINEERING - FINAL INSPE					07/27/2023
GH	_____ PM	021-RST FIRE OR DRAFT STOPPING Comments1: NORM	20221441	235A PORTAGE LN	149		07/11/2023
GH	_____ PM	021-RST FIRE OR DRAFT STOPPING Comments1: NORM	20221442	235B PORTAGE LN	150		07/11/2023
GH	_____ PM	021-RST FIRE OR DRAFT STOPPING Comments1: NORM	20221443	235C PORTAGE LN	151		07/11/2023
GH	_____ PM	021-RST FIRE OR DRAFT STOPPING Comments1: NORM	20221444	235D PORTAGE LN	152		07/11/2023
GH	_____ AM	021-RST FIRE OR DRAFT STOPPING Comments1: NORM	20221445	269A PORTAGE LN	153		07/19/2023
GH	_____ AM	021-RST FIRE OR DRAFT STOPPING	20221446	269B PORTAGE LN	154		07/19/2023
GH	_____ AM	021-RST FIRE OR DRAFT STOPPING	20221447	269C PORTAGE LN	155		07/19/2023
GH	_____ AM	021-RST FIRE OR DRAFT STOPPING	20221448	269D PORTAGE LN	156		07/19/2023
GH	_____	017-INS INSULATION	20221449	279A PORTAGE LN	157		07/03/2023
BC	_____ AM	018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- JOSE					07/10/2023
BC	_____ AM	019-WKS PUBLIC & SERVICE WALKS					07/10/2023
GH	_____ PM	020-DMW DEMISING WALL Comments1: NORM					07/10/2023
BC	_____	021-RST FIRE OR DRAFT STOPPING Comments1: NORM					07/25/2023
GH	_____	017-INS INSULATION	20221450	279B PORTAGE LN	158		07/03/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____ AM	018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO JOSE					07/10/2023
BC	_____ AM	019-WKS PUBLIC & SERVICE WALKS					07/10/2023
GH	_____ PM	020-DMW DEMISING WALL Comments1: NORM					07/10/2023
BC	_____	021-RST FIRE OR DRAFT STOPPING					07/25/2023
GH	_____	017-INS INSULATION	20221451	279C PORTAGE LN	159		07/03/2023
BC	_____ AM	018-PPS PRE-POUR, SLAB ON GRADE Comments1: JOSE					07/10/2023
BC	_____ AM	019-WKS PUBLIC & SERVICE WALKS					07/10/2023
GH	_____ PM	020-DMW DEMISING WALL Comments1: NORM					07/10/2023
BC	_____	021-RST FIRE OR DRAFT STOPPING					07/25/2023
GH	_____	017-INS INSULATION	20221452	279D PORTAGE LN	160		07/03/2023
BC	_____ AM	018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- JOSE					07/10/2023
BC	_____ AM	019-WKS PUBLIC & SERVICE WALKS					07/10/2023
GH	_____ PM	020-DMW DEMISING WALL Comments1: NORM					07/10/2023
GH	_____	017-INS INSULATION	20221453	279E PORTAGE LN	161		07/03/2023
BC	_____ AM	018-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- JOSE					07/10/2023
BC	_____ AM	019-WKS PUBLIC & SERVICE WALKS					07/10/2023
GH	_____ PM	020-DMW DEMISING WALL Comments1: NORM					07/10/2023
BF	_____ AM	014-FIN FINAL INSPECTION Comments1: JGARCIA@ABBYINTERIORSOLUTION.COM Comments2: 3-2528	20221470	3977 EVANS CT 630-27	60		07/17/2023
BF	_____ AM	015-FEL FINAL ELECTRIC					07/17/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	-----	AM 016-FMC FINAL MECHANICAL					07/17/2023
PBF	-----	AM 017-PLF PLUMBING - FINAL OSR READ Comments1: JGARCIA@ABBYINTERIORSOLUTION.COM Comments2: 3-2528	630-27				07/17/2023
ED	-----	015-REI REINSPECTION Comments1: SITE REINSPECT -- B-BOX	20221471	3979 EVANS CT	60		07/26/2023
BF	-----	AM 016-FIN FINAL INSPECTION Comments1: ABBY 630-273-2528					07/26/2023
BF	-----	AM 017-FEL FINAL ELECTRIC					07/26/2023
BF	-----	AM 018-FMC FINAL MECHANICAL					07/26/2023
PBF	-----	AM 019-PLF PLUMBING - FINAL OSR READ Comments1: JGARCIA@ABBYINTERSOLUTION.COM					07/26/2023
BF	-----	AM 016-FIN FINAL INSPECTION Comments1: ABBY 630-273-2528	20221473	3983 EVANS CT	60		07/18/2023
BF	-----	AM 017-FEL FINAL ELECTRIC					07/18/2023
BF	-----	AM 018-FMC FINAL MECHANICAL					07/18/2023
PBF	-----	AM 019-PLF PLUMBING - FINAL OSR READ Comments1: ABBY 630-273-2528					07/18/2023
BF	-----	017-FIN FINAL INSPECTION Comments1: ABBY 630 273 2528	20221476	3971 EVANS CT	61		07/07/2023
BF	-----	018-FEL FINAL ELECTRIC					07/07/2023
BF	-----	019-FME FINAL MECHANICAL					07/07/2023
PBF	-----	020-PLF PLUMBING - FINAL OSR READ Comments1: ABBY 630 273 2528 PROVIDE PROPER FROST P Comments2: ROOF/ANTI SYPHIN HOSE BIBS					07/07/2023
BC	-----	016-WKS PUBLIC & SERVICE WALKS	20221500	837 ALEXANDRA LN	23		07/05/2023
PR	-----	017-FIN FINAL INSPECTION Comments1: CLAYTON					07/18/2023
PR	-----	018-FEL FINAL ELECTRIC					07/18/2023
PR	-----	019-FMC FINAL MECHANICAL					07/18/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	-----	020-PLF PLUMBING - FINAL OSR READ					07/18/2023
PR	-----	022-EFL ENGINEERING - FINAL INSPE					07/18/2023
ED	-----	023-EFL ENGINEERING - FINAL INSPE					07/28/2023
BF	-----	PM 003-REI REINSPECTION Comments1: SOLAR -- LOGAN 312-824-9031	20221524	742 GREENFIELD TURN	103		07/12/2023
BC	-----	AM 006-ELU ELECTRICAL - UNDERSLAB	20221546	398 SANTA MONICA ST	127		07/17/2023
GH	-----	PM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS					07/19/2023
GH	-----	PM 008-GAR GARAGE FLOOR					07/20/2023
BC	-----	AM 006-ELU ELECTRICAL - UNDERSLAB	20221547	396 SANTA MONICA ST	128		07/17/2023
GH	-----	PM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS					07/19/2023
GH	-----	PM 008-GAR GARAGE FLOOR					07/20/2023
BC	-----	AM 006-ELU ELECTRICAL - UNDERSLAB	20221548	394 SANTA MONICA ST	129		07/17/2023
GH	-----	PM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS					07/19/2023
GH	-----	PM 008-GAR GARAGE FLOOR					07/20/2023
BC	-----	AM 006-ELU ELECTRICAL - UNDERSLAB	20221549	392 SANTA MONICA ST	130		07/17/2023
GH	-----	PM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS					07/19/2023
GH	-----	PM 008-GAR GARAGE FLOOR					07/20/2023
BC	-----	AM 006-ELU ELECTRICAL - UNDERSLAB Comments1: JOHN 630-309-6556	20221550	390 SANTA MONICA ST	131		07/17/2023
GH	-----	PM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS					07/19/2023
GH	-----	PM 008-GAR GARAGE FLOOR					07/20/2023
BC	-----	AM 006-ELU ELECTRICAL - UNDERSLAB	20221551	386 SANTA MONICA ST	132		07/17/2023
GH	-----	PM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS					07/19/2023

DATE: 08/01/2023  
TIME: 08:08:15  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	-----	AM 008-GAR GARAGE FLOOR					07/20/2023
BC	-----	AM 006-ELU ELECTRICAL - UNDERSLAB	20221552	384 SANTA MONICA ST	133		07/17/2023
GH	-----	PM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS					07/19/2023
GH	-----	AM 008-GAR GARAGE FLOOR					07/20/2023
BC	-----	AM 006-ELU ELECTRICAL - UNDERSLAB Comments1: JOHN 630-309-6556	20221553	382 SANTA MONICA ST	134		07/17/2023
GH	-----	PM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: JUAN CARLOS					07/19/2023
GH	-----	AM 008-GAR GARAGE FLOOR					07/20/2023
PBF	-----	011-PLR PLUMBING - ROUGH Comments1: ACTION 630-293-0475	20221554	423 SAN DIEGO LN	135		07/10/2023
PBF	-----	012-PLR PLUMBING - ROUGH Comments1: SANDY@WEGETINTOOURWORK.COM					07/19/2023
BC	-----	013-RMC ROUGH MECHANICAL Comments1: JOHN 630-309-6556					07/20/2023
PBF	-----	011-PLR PLUMBING - ROUGH Comments1: ACTION 630-293-0475	20221555	425 SAN DIEGO LN	136		07/10/2023
PBF	-----	012-PLR PLUMBING - ROUGH Comments1: ANDY@WEGETINTOOURWORK.COM					07/19/2023
BC	-----	013-RMC ROUGH MECHANICAL Comments1: JOHN CUFF 630-309-6556					07/20/2023
PBF	-----	011-PLR PLUMBING - ROUGH Comments1: ANDY@WEGETINTOOURWORK.COM	20221556	427 SAN DIEGO LN	137		07/19/2023
BC	-----	012-RMC ROUGH MECHANICAL					07/20/2023
PBF	-----	011-PLR PLUMBING - ROUGH Comments1: ANDY@WEGETINTOOURWORK.COM	20221557	429 SAN DIEGO LN	138		07/19/2023
PBF	-----	011-PLR PLUMBING - ROUGH Comments1: ANDY@WEGETINTOOURWORK.COM	20221558	431 SAN DIEGO LN	139		07/19/2023
PBF	-----	005-PLU PLUMBING - UNDERSLAB Comments1: SANDY@WEGETINTOOURWORK.COM	20221576	397 SANTA MONICA ST	195		07/25/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: SANDY@WEGETINTOOURWORK.COM	20221577	395 SANTA MONICA ST	196		07/25/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: SANDY@WEGETINTOOURWORK.COM	20221578	393 SANTA MONICA ST	197		07/25/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: SANDY@WEGETINTOOURWORK.COM	20221579	391 SANTA MONICA ST	198		07/25/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: SANDY@WEGETINTOOURWORK.COM	20221580	389 SANTA MONICA ST	199		07/25/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: SANDY@WEGETINTOOURWORK.COM	20221581	387 SANTA MONICA ST	200		07/25/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: SANDY@WEGETINTOOURWORK.COM	20221582	373 SANTA MONICA ST	201	07/31/2023	
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: SANDY@WEGETINTOOURWORK.COM	20221583	371 SANTA MONICA ST	202	07/31/2023	
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: SANDY@WEGETINTOOURWORK.COM	20221584	369 SANTA MONICA ST	203	07/31/2023	
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: SANDY@WEGETINTOOURWORK.COM	20221585	367 SANTA MONICA ST	204	07/31/2023	
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: SANDY@WEGETINTOOURWORK.COM	20221586	365 SANTA MONICA ST	205	07/31/2023	
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: SANDY@WEGETINTOOURWORK.COM	20221587	363 SANTA MONICA ST	206	07/31/2023	
BC	_____	009-RFR ROUGH FRAMING Comments1: AUSTIN 630-720-1287	20221594	3038 GRANDE TR	539		07/07/2023
BC	_____	010-REL ROUGH ELECTRICAL					07/07/2023
BC	_____	011-RMC ROUGH MECHANICAL					07/07/2023
PBF	_____	012-PLR PLUMBING - ROUGH Comments1: AUSTIN 630-720-1287					07/07/2023
GH	_____	013-STP STOOP					07/07/2023
GH	_____	014-INS INSULATION Comments1: AUSTIN					07/11/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____ AM	015-PHD POST HOLE - DECK					07/25/2023
		Comments1: MW 3 POST HOLES					
PR	_____ AM	001-OCC OCCUPANCY INSPECTION	20230005	101 W HYDRAULIC ST			07/03/2023
		Comments1: MIKE					
ED	_____	021-EFL ENGINEERING - FINAL INSPE	20230015	2773 BERRYWOOD LN	790		07/27/2023
BF	_____	017-FIN FINAL INSPECTION	20230016	2602 SEELEY ST	752		07/20/2023
		Comments1: MTFOY@DRHORTON.COM					
BF	_____	018-FEL FINAL ELECTRIC					07/20/2023
BF	_____	019-FMC FINAL MECHANICAL					07/20/2023
PBF	_____	020-PLF PLUMBING - FINAL OSR READ					07/20/2021
		Comments1: MTFOY@DRHORTON.COM					
PR	_____	021-EFL ENGINEERING - FINAL INSPE					07/20/2023
BF	_____	018-FIN FINAL INSPECTION	20230020	625 BRAEMORE LN	530		07/20/2023
		Comments1: DARREN 224-470-9922					
BF	_____	019-FEL FINAL ELECTRIC					07/20/2023
BF	_____	020-FMC FINAL MECHANICAL					07/20/2023
PBF	_____	021-PLF PLUMBING - FINAL OSR READ					07/20/2023
		Comments1: DARREN.OHANLON@LENNAR.COM					
JB	_____	022-EFL ENGINEERING - FINAL INSPE					07/20/2023
BC	_____ AM	018-WKS PUBLIC & SERVICE WALKS	20230021	2425 FAIRFIELD AVE	490		07/14/2023
		Comments1: COMEX					
BF	_____	018-FIN FINAL INSPECTION	20230023	645 BRAEMORE LN	529	07/31/2023	
		Comments1: DARREN 224-470-9922					
BF	_____	019-FEL FINAL ELECTRIC				07/31/2023	
BF	_____	020-FMC FINAL MECHANICAL				07/31/2023	
PBF	_____	021-PLF PLUMBING - FINAL OSR READ				07/31/2023	
		Comments1: DARREN.OHANLON@LENNAR.COM					
BF	_____	017-FIN FINAL INSPECTION	20230024	522 COACH RD	409		07/17/2023
		Comments1: 224-470-9922 darren.ohanlon@lennar.com					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE	
BF	-----	018-FEL FINAL ELECTRIC					07/17/2023	
BF	-----	019-FMC FINAL MECHANICAL					07/17/2023	
PBF	-----	020-PLF PLUMBING - FINAL OSR READ					07/17/2023	
		Comments1: 224-470-9922 darren.ohanlon@lennar.com						
JB	-----	021-EFL ENGINEERING - FINAL INSPE					07/19/2023	
BC	-----	022-REI REINSPECTION					07/19/2023	
		Comments1: FINAL ELECTRIC -- DARREN 224-470-9922						
BF	-----	018-FIN FINAL INSPECTION	20230025	510 COACH RD	410		07/10/2023	
		Comments1: DARREN 224-470-9922						
BF	-----	019-FEL FINAL ELECTRIC					07/10/2023	
BF	-----	020-FMC FINAL MECHANICAL					07/10/2023	
PBF	-----	021-PLF PLUMBING - FINAL OSR READ					07/10/2023	
		Comments1: DARREN 224-470-9922						
ED	-----	022-EFL ENGINEERING - FINAL INSPE					07/07/2023	
ED	-----	028-EFL ENGINEERING - FINAL INSPE	20230028	3096 GRANDE TR	549		07/05/2023	
		Comments1: 1 SQUARE OF PUBLIC WALK SOUTH PROPERTY L						
		Comments2: INE						
BF	-----	029-REI REINSPECTION					07/05/2023	
		Comments1: FINAL ELECTRIC -- AUSTIN 630-720-1287						
ED	-----	030-REI REINSPECTION					07/26/2023	
		Comments1: EFL						
GH	-----	AM 001-FTG FOOTING	20230029	313 SANTA MONICA ST	174		07/19/2023	
BC	-----	AM 002-FOU FOUNDATION					07/26/2023	
		Comments1: COMEX						
GH	-----	AM 001-FTG FOOTING	20230030	311 SANTA MONICA ST	175		07/19/2023	
BC	-----	AM 002-FOU FOUNDATION					07/26/2023	
GH	-----	AM 001-FTG FOOTING	20230031	309 SANTA MONICA ST	176		07/19/2023	
BC	-----	AM 002-FOU FOUNDATION					07/26/2023	
GH	-----	AM 001-FTG FOOTING	20230032	307 SANTA MONICA ST	177		07/19/2023	

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	AM 002-FOU FOUNDATION					07/26/2023
GH	_____	AM 001-FTG FOOTING	20230033	305 SANTA MONICA ST	178		07/19/2023
BC	_____	AM 002-FOU FOUNDATION					07/26/2023
GH	_____	AM 001-FTG FOOTING Comments1: JUAN CARLOS	20230034	321 SANTA MONICA ST	216		07/19/2023
GH	_____	PM 002-FOU FOUNDATION Comments1: COMEX 847-551-9066					07/21/2023
GH	_____	AM 001-FTG FOOTING Comments1: JUAN CARLOS	20230035	319 SANTA MONICA ST	217		07/19/2023
GH	_____	PM 002-FOU FOUNDATION					07/21/2023
GH	_____	001-FTG FOOTING	20230036	317 SANTA MONICA ST	218		07/19/2023
GH	_____	PM 002-FOU FOUNDATION					07/21/2023
GH	_____	AM 001-FTG FOOTING	20230037	315 SANTA MONICA ST	219		07/19/2023
GH	_____	PM 002-FOU FOUNDATION					07/21/2023
GH	_____	AM 001-FTG FOOTING	20230038	333 SANTA MONICA ST	212		07/19/2023
GH	_____	AM 002-FOU FOUNDATION					07/20/2023
GH	_____	AM 001-FTG FOOTING	20230039	331 SANTA MONICA ST	213		07/19/2023
GH	_____	AM 002-FOU FOUNDATION					07/20/2023
GH	_____	AM 001-FTG FOOTING	20230040	329 SANTA MONICA ST	214		07/19/2023
GH	_____	002-FOU FOUNDATION					07/20/2023
GH	_____	AM 001-FTG FOOTING	20230041	327 SANTA MONICA ST	215		07/19/2023
GH	_____	AM 002-FOU FOUNDATION Comments1: OSCAR					07/20/2023
ED	_____	025-EFL ENGINEERING - FINAL INSPE Comments1: TEMP TO FINAL	20230052	3044 GRANDE TR	540		07/26/2023
JP	_____	AM 015-INS INSULATION Comments1: ANDREW	20230053	2748 CURTIS CT	122		07/05/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	018-REI REINSPECTION Comments1: ROUGH FRAMING -- ANDREW 331-431-7342					07/03/2023
GH	_____	AM 019-WK SERVICE WALK Comments1: MW					07/07/2023
GH	_____	015-FIN FINAL INSPECTION Comments1: 630-988-0169 nlaporta@nvrinc.com	20230054	2738 ELLORY CT	133		07/17/2023
GH	_____	016-FEL FINAL ELECTRIC					07/17/2023
GH	_____	017-FMC FINAL MECHANICAL					07/17/2023
PBF	_____	018-PLF PLUMBING - FINAL OSR READ Comments1: 630-988-0169 nlaporta@nvrinc.com					07/17/2023
JB	_____	019-EFL ENGINEERING - FINAL INSPE Comments1: 4 SQUARES AT DRIVE NEED TO BE REPLACED, Comments2: SHARED PROPERTY PIN WITH 2739 MISSING					07/19/2023
ED	_____	020-REI REINSPECTION Comments1: FINAL ENGINEERING					07/26/2023
JP	_____	016-INS INSULATION Comments1: JEFF	20230058	534 COACH RD	408		07/05/2023
BC	_____	AM 017-WKS PUBLIC & SERVICE WALKS Comments1: COMEX					07/14/2023
BF	_____	014-RFR ROUGH FRAMING Comments1: jeffrey.leader@lennar.com Comments2: -8082	20230060	2469 FAIRFIELD AVE 847-456	487		07/17/2023
BF	_____	015-REL ROUGH ELECTRICAL					07/17/2023
BF	_____	016-RMC ROUGH MECHANICAL					07/17/2023
PBF	_____	017-PLR PLUMBING - ROUGH Comments1: jeffrey.leader@lennar.com 847-456-8082					07/17/2023
JP	_____	018-INS INSULATION Comments1: JEFF 847-456-8082					07/20/2023
GH	_____	AM 019-WKS PUBLIC & SERVICE WALKS Comments1: COMEX					07/26/2023
BC	_____	003-FIN FINAL INSPECTION Comments1: KRISTINA 630-334-9651	20230063	1443 RUBY DR	352		07/11/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	014-RFR ROUGH FRAMING Comments1: JEFF 847-456-8082	20230064	2485 FAIRFIELD AVE	486		07/07/2023
BF	_____	015-REL ROUGH ELECTRICAL					07/07/2023
BF	_____	016-RMC ROUGH MECHANICAL					07/07/2023
PBF	_____	017-PLR PLUMBING - ROUGH Comments1: JEFF 847-456-8082					07/07/2023
JP	_____	018-INS INSULATION Comments1: JEFF					07/12/2023
BC	_____	019-WKS PUBLIC & SERVICE WALKS Comments1: JUAN CARLOS					07/19/2023
ED	_____	020-ADA ADA ACCESSIBLE WALK WAY					07/26/2023
ED	_____	021-ADA ADA ACCESSIBLE WALK WAY Comments1: LOT 486 --- 2485 Fairfield Ave (23-0064) Comments2: COMEX 847-551-9066					07/27/2023
BF	_____	008-RFR ROUGH FRAMING Comments1: JEFF 847-456-8082	20230065	2164 TREMONT AVE	466		07/21/2023
BF	_____	009-REL ROUGH ELECTRICAL					07/21/2023
BF	_____	010-RMC ROUGH MECHANICAL					07/21/2023
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: JEFF 847-456-8082					07/21/2023
GH	_____	012-INS INSULATION Comments1: JEFF 847-456-8082					07/26/2023
BC	_____	AM 013-STP STOOP Comments1: FRONT AND BACK					07/14/2023
BF	_____	016-FIN FINAL INSPECTION Comments1: NICK 630-988-0169 FIRESTOP HOLE IN FLOOR Comments2: ABOVE WATER HEATER IN BASEMENT	20230068	2739 ELLORY CT	132		07/18/2023
BF	_____	017-FEL FINAL ELECTRIC					07/18/2023
BF	_____	018-FMC FINAL MECHANICAL Comments1: ANCHOR 1/2" GAS LINE FEEDING OVEN IN BAS Comments2: EMENT					07/18/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	019-PLF PLUMBING - FINAL OSR READ Comments1: NICK 630-988-0169					07/18/2023
JB	_____	020-EFL ENGINEERING - FINAL INSPE Comments1: 4 SQUARES AT DRIVE NEED TO BE REPLACED, Comments2: SHARED PROPERTY PIN WITH 2738 IS MISSING					07/19/2023
GH	_____ AM	021-REI REINSPECTION Comments1: FINAL FRAMNG NICK 630-988-0169					07/20/2023
GH	_____ AM	022-REI REINSPECTION Comments1: FINAL MECHANICAL					07/20/2023
ED	_____	023-REI REINSPECTION Comments1: FINAL ENGINEERING					07/26/2023
GH	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: RONNIE 773-0299 BACK ONLY	20230074	2721 LILAC CT	324		07/06/2023
GH	_____	002-ROF ROOF UNDERLAYMENT ICE & W Comments1: RONNIE 773-647-0299 FRONT ONLY					07/07/2023
BC	_____ PM	005-FIN FINAL INSPECTION Comments1: CAROLYN 630-933-9323	20230077	2881 OLD GLORY DR	245		07/11/2023
BC	_____ PM	006-FEL FINAL ELECTRIC					07/11/2023
BC	_____ PM	007-FMC FINAL MECHANICAL					07/11/2023
PBF	_____ PM	008-PLF PLUMBING - FINAL OSR READ Comments1: CAROLYN 630-933-9323					07/11/2023
BC	_____	001-FIN FINAL INSPECTION Comments1: SIGN -- VINCE 630-999-1616	20230084	54 W COUNTRYSIDE PKWY	C		07/03/2023
BF	_____	016-FIN FINAL INSPECTION Comments1: MIKE 224-340-5860	20230095	2666 SEELEY ST	736		07/10/2023
BF	_____	017-FEL FINAL ELECTRIC					07/10/2023
BF	_____	018-FMC FINAL MECHANICAL					07/10/2023
PBF	_____	019-PLF PLUMBING - FINAL OSR READ Comments1: MIKE 224-340-5860					07/10/2023
ED	_____	020-EFL ENGINEERING - FINAL INSPE					07/12/2023
JB	_____	021-REI REINSPECTION Comments1: EFL					07/13/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____ AM	013-WKS PUBLIC & SERVICE WALKS	20230097	3122 JETER CT	498		07/18/2023
		Comments1: MW					
JB	_____	017-EFL ENGINEERING - FINAL INSPE	20230099	3112 JETER CT	497		07/20/2023
BC	_____	018-FIN FINAL INSPECTION					07/25/2023
		Comments1: AUSTIN 630-720-1287					
BC	_____	019-FEL FINAL ELECTRIC					07/25/2023
BC	_____	020-FMC FINAL MECHANICAL					07/25/2023
PBF	_____	021-PLF PLUMBING - FINAL OSR READ					07/25/2023
		Comments1: ASUSONG@NVRINC.COM					
PBF	_____ AM	011-ESW ENGINEERING - SEWER / WAT	20230100	721 ASH CT	12		07/20/2023
		Comments1: JWNINGER@WINNINGEREXCAVATING.COM					
PR	_____ AM	005-FIN FINAL INSPECTION	20230101	2956 ELLSWORTH DR	361		07/07/2023
		Comments1: BRAD 630-803-2787					
PR	_____ AM	006-FEL FINAL ELECTRIC					07/07/2023
PR	_____ AM	007-FMC FINAL MECHANICAL					07/07/2023
PR	_____ AM	008-PLF PLUMBING - FINAL OSR READ					07/07/2023
GH	_____ AM	016-WK SERVICE WALK	20230108	2746 CURTIS CT	123		07/07/2023
		Comments1: MW					
JP	_____ AM	017-EPW ENGINEERING- PUBLIC WALK					07/14/2023
		Comments1: MW					
BF	_____	013-RFR ROUGH FRAMING	20230119	2120 COUNTRY HILLS DR	452		07/19/2023
		Comments1: JEFF 847-456-8082 APPROVED AS NOTED: PRO					
		Comments2: VIDE INTERNAL BRACING IN ATTIC AT MARKED					
		Comments3: LOCATIONS					
BF	_____	014-REL ROUGH ELECTRICAL					07/19/2023
BF	_____	015-RMC ROUGH MECHANICAL					07/19/2023
PBF	_____	016-PLR PLUMBING - ROUGH					07/19/2023
		Comments1: JEFF 847-456-8082					
GH	_____	017-INS INSULATION					07/24/2023
		Comments1: JEFF					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	-----	015-EPW ENGINEERING- PUBLIC WALK	20230122	806 BRISTOL AVE	4		07/27/2023
BC	-----	016-EDA ENGINEERING - DRIVEWAY AP Comments1: DRIVEWAY AND APRON					07/27/2023
BC	-----	009-GPL GREEN PLATE INSPECTION Comments1: JEFF	20230155	2110 TREMONT AVE	461		07/18/2023
BC	-----	AM 009-STP STOOP Comments1: FRONT AND BACK -- COMEX	20230156	2154 TREMONT AVE	465		07/14/2023
JP	-----	009-GPL GREEN PLATE INSPECTION Comments1: JEFFREY	20230158	2134 TREMONT AVE	463		07/07/2023
GH	-----	007-GPL GREEN PLATE INSPECTION Comments1: JEFF LEADER 847-456-8082 JEFFREY.LEADER Comments2: @LENNAR.COM	20230159	2124 TREMONT AVE	462		07/17/2023
GH	-----	010-GPL GREEN PLATE INSPECTION	20230160	2104 TREMONT AVE	460		07/26/2023
BF	-----	018-FIN FINAL INSPECTION Comments1: MIKE 224-340-5860 SEE INSPECTION TICKET	20230164	2662 SEELEY ST	737		07/19/2023
BF	-----	019-FEL FINAL ELECTRIC					07/19/2023
BF	-----	020-FMC FINAL MECHANICAL Comments1: SEE INSPECTION TICKET					07/19/2023
PBF	-----	021-PLF PLUMBING - FINAL OSR READ Comments1: MIKE 224-340-5860					07/19/2023
ED	-----	022-EFL ENGINEERING - FINAL INSPE Comments1: NEED SURVEY! 1 SQUARE EAST OF DRIVE NEED Comments2: S TO BE REPLACED					07/26/2023
BC	-----	023-REI REINSPECTION Comments1: BUILDING REINSPECTION					07/25/2023
BC	-----	024-REI REINSPECTION Comments1: MECHANICAL REINSPECTION					07/25/2023
GH	-----	017-FIN FINAL INSPECTION Comments1: 224-340-5860 MTFoy@drhorton.com	20230166	2671 SEELEY ST	824		07/17/2023
GH	-----	018-FEL FINAL ELECTRIC					07/17/2023
GH	-----	019-FMC FINAL MECHANICAL					07/17/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	020-PLF PLUMBING - FINAL OSR READ Comments1: 224-340-5860 MTFoy@drhorton.com					07/17/2023
JB	_____	021-EFL ENGINEERING - FINAL INSPE Comments1: COULD NOT INSPECT ALL SIDEWALKS, COVERED Comments2: IN MUD FROM RUN OFF TO PARKWAY, PARKWAY Comments3: HAS MULTIPLE SMALL PILES OF GRAVEL					07/19/2023
ED	_____	022-REI REINSPECTION					07/26/2023
PBF	_____	PM 001-PLU PLUMBING - UNDERSLAB Comments1: ABBYINTERIORSOLUTION.COM	20230178	3938 PRESTON DR	12	07/28/2023	
BC	_____	PM 002-PPS PRE-POUR, SLAB ON GRADE Comments1: ABBY 630-273-2528					07/28/2023
PBF	_____	PM 001-PLU PLUMBING - UNDERSLAB Comments1: ABBYINTERIORSOLUTION.COM	20230179	3942 PRESTON DR	12	07/28/2023	
BC	_____	PM 002-PPS PRE-POUR, SLAB ON GRADE Comments1: ABBY					07/28/2023
PBF	_____	PM 001-PLU PLUMBING - UNDERSLAB Comments1: ABBYINTERIORSOLUTION.COM	20230180	3944 PRESTON DR	12	07/28/2023	
BC	_____	PM 002-PPS PRE-POUR, SLAB ON GRADE					07/28/2023
PBF	_____	PM 001-PLU PLUMBING - UNDERSLAB Comments1: JGARCIA@ABBYINTERIORSOLUTION.COM	20230181	3946 PRESTON DR	12	07/28/2023	
BC	_____	PM 002-PPS PRE-POUR, SLAB ON GRADE Comments1: ABBY					07/28/2023
BF	_____	011-RFR ROUGH FRAMING Comments1: JEFF 847-456-8082	20230190	2096 COUNTRY HILLS DR	451		07/13/2023
BF	_____	012-REL ROUGH ELECTRICAL					07/13/2023
BF	_____	013-RMC ROUGH MECHANICAL					07/13/2023
PBF	_____	014-PLR PLUMBING - ROUGH Comments1: JEFF 847-456-8082					07/13/2023
BC	_____	015-INS INSULATION Comments1: JEFF					07/18/2023
GH	_____	AM 016-WKS PUBLIC & SERVICE WALKS Comments1: COMEX					07/26/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
ED	-----	021-EFL ENGINEERING - FINAL INSPE	20230192	3088 GRANDE TR	547		07/05/2023
BC	-----	AM 014-WK SERVICE WALK	20230197	3804 BISSEL DR	126-2		07/10/2023
BC	-----	AM 014-WK SERVICE WALK	20230198	3802 BISSEL DR	126-1		07/10/2023
GH	-----	015-EPW ENGINEERING- PUBLIC WALK Comments1: CHRIS					07/11/2023
BC	-----	AM 014-WK SERVICE WALK	20230199	3806 BISSEL DR	126-3		07/10/2023
BC	-----	AM 014-WK SERVICE WALK	20230200	3808 BISSEL DR	126-4		07/10/2023
BC	-----	004-RFR ROUGH FRAMING Comments1: TOM 319-939-7463 PLANS REUIRE SIMPSON JO Comments2: IST HANGERS DIFF THAN INSTALLED, ADD STU Comments3: D GUARDS, PLANS MUST BE ONSITE	20230204	28 E SCHOOLHOUSE RD	1		07/03/2023
BC	-----	AM 005-REI REINSPECTION Comments1: FRAMING -- TOM 319-939-7463					07/17/2023
PBF	-----	AM 006-PLR PLUMBING - ROUGH Comments1: CHRIS 630-440-6914, ALLCITYPLUMBINGINC@G Comments2: MAIL.COM					07/21/2023
BC	-----	007-REL ROUGH ELECTRICAL Comments1: BRIAN 815-632-7892					07/24/2023
GH	-----	AM 010-WK SERVICE WALK Comments1: MW	20230217	2747 CURTIS CT	118		07/07/2023
GH	-----	011-RFR ROUGH FRAMING Comments1: ANDREW 331-431-7342					07/11/2023
GH	-----	012-REL ROUGH ELECTRICAL					07/11/2023
GH	-----	013-RMC ROUGH MECHANICAL					07/11/2023
PBF	-----	014-PLR PLUMBING - ROUGH Comments1: ANDREW 331-431-7342					07/11/2023
GH	-----	AM 015-INS INSULATION Comments1: ANDREW					07/13/2023
GH	-----	016-REI REINSPECTION Comments1: FRAMING					07/13/2023
BC	-----	017-FIN FINAL INSPECTION Comments1: AUTIN 630-720-1287	20230218	3068 GRANDE TR	543		07/21/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	-----	018-FEL FINAL ELECTRIC					07/21/2023
BC	-----	019-FMC FINAL MECHANICAL					07/21/2023
PBF	-----	020-PLF PLUMBING - FINAL OSR READ Comments1: ASUSONG@NVRINC.COM					07/21/2023
JB	-----	021-EFL ENGINEERING - FINAL INSPE Comments1: TWO SIDEWALK SQUARES HEAVED IN DRIVEWAY					07/20/2023
BF	-----	016-FIN FINAL INSPECTION Comments1: NICK 630-988-0169	20230220	2640 KELLOGG CT	47		07/06/2023
BF	-----	017-FEL FINAL ELECTRIC					07/06/2023
BF	-----	018-FMC FINAL MECHANICAL					07/06/2023
PBF	-----	019-PLF PLUMBING - FINAL OSR READ Comments1: NICK 630-988-0169					07/06/2023
ED	-----	020-EFL ENGINEERING - FINAL INSPE					07/05/2023
BC	-----	016-FIN FINAL INSPECTION Comments1: DARREN 224-470-9922	20230229	791 WINDETT RIDGE RD	89	07/31/2023	
BC	-----	017-FEL FINAL ELECTRIC				07/31/2023	
BC	-----	018-FMC FINAL MECHANICAL				07/31/2023	
PBF	-----	019-PLF PLUMBING - FINAL OSR READ Comments1: DARREN.OHANLON@LENNAR.COM				07/31/2023	
BC	-----	011-RFR ROUGH FRAMING Comments1: JEFF 847-456-8082	20230232	831 WINDETT RIDGE RD	92		07/12/2023
BC	-----	012-REL ROUGH ELECTRICAL					07/12/2023
BC	-----	013-RMC ROUGH MECHANICAL					07/12/2023
PBF	-----	014-PLR PLUMBING - ROUGH Comments1: JEFF 847-456-8082					07/12/2023
JP	-----	015-INS INSULATION Comments1: JEFF					07/17/2023
JP	-----	AM 016-WKS PUBLIC & SERVICE WALKS Comments1: COMEX					07/26/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	011-RFR ROUGH FRAMING Comments1: JEFF 847-456-8082 AD STUDS UNDER GERDER Comments2: AT CEILING OF FOYER BOTH SIDES & FIRE ST Comments3: OP ONE SIDE BLOCK TOP PLATE, PROVIDE STU Comments4: D SHOE AT KIT WINDOW	20230233	841 WINDETT RIDGE RD	93	07/25/2023	
BF	_____	012-REL ROUGH ELECTRICAL					07/25/2023
BF	_____	013-RMC ROUGH MECHANICAL					07/25/2023
PBF	_____	014-PLR PLUMBING - ROUGH Comments1: JEFF 847-456-8082					07/25/2023
BC	_____	015-INS INSULATION Comments1: JEFF					07/28/2023
JP	11:00	013-EPW ENGINEERING- PUBLIC WALK Comments1: KEN 630-546-0735	20230237	343 FONTANA DR	59		07/10/2023
BC	_____ AM	003-FIN FINAL INSPECTION Comments1: AGP -- KYRA 630-809-5439	20230241	471 W SOMONAUK ST			07/18/2023
GH	_____ AM	001-FTG FOOTING Comments1: MW	20230244	3082 JETER ST	570		07/20/2023
GH	_____	002-FOU FOUNDATION Comments1: MW					07/24/2023
GH	_____ AM	003-BKF BACKFILL Comments1: MW					07/26/2023
BF	_____	004-WAT WATER					07/28/2023
BC	_____ AM	010-STP STOOP Comments1: FRONT AND BACK -- COMEX	20230245	861 WINDETT RIDGE RD	95		07/14/2023
BC	_____	011-RFR ROUGH FRAMING Comments1: JEFF 847-456-8082					07/31/2023
BC	_____	012-REL ROUGH ELECTRICAL					07/31/2023
BC	_____	013-RMC ROUGH MECHANICAL					07/31/2023
PBF	_____	014-PLR PLUMBING - ROUGH Comments1: JEFFREY.LEADER@LENNAR.COM				07/31/2023	
BC	_____ AM	017-WKS PUBLIC & SERVICE WALKS Comments1: COMEX	20230247	834 WINDETT RIDGE RD	100		07/14/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____ PM	008-GPL GREEN PLATE INSPECTION	20230248	871 WINDETT RIDGE RD	96	07/31/2023	
		Comments1: JEFFREY					
BC	_____ AM	010-STP STOOP	20230249	851 WINDETT RIDGE RD	94		07/14/2023
		Comments1: FRONT AND BACK -- COMEX					
GH	_____	011-RFR ROUGH FRAMING					07/27/2023
		Comments1: JEFF 847-456-8082 ANCHOR BOLT MISSING AT					
		Comments2: GARAGE					
GH	_____	012-REL ROUGH ELECTRICAL					07/27/2023
GH	_____	013-RMC ROUGH MECHANICAL					07/27/2023
		Comments1: TAPE ALL EXHAUST FANS 2ND FLOOR					
PBF	_____	014-PLR PLUMBING - ROUGH				07/27/2023	
		Comments1: JEFFREY.LEADER@LENNAR.COM					
JP	_____ PM	007-GPL GREEN PLATE INSPECTION	20230250	802 WINDETT RIDGE RD	102		07/11/2023
		Comments1: JEFF					
JP	_____ PM	008-GPL GREEN PLATE INSPECTION	20230251	822 WINDETT RIDGE RD	101		07/10/2023
		Comments1: JEFF					
PR	_____	001-FIN FINAL INSPECTION	20230266	105 W FOX ST			07/24/2023
		Comments1: KENDALL CO ACCESSORY BLDG DEMO 847-346-9					
		Comments2: 503					
BC	_____	004-REI REINSPECTION	20230272	3053 GRANDE TR	558		07/18/2023
		Comments1: FINAL DECK -- ANDREW					
PR	_____	007-RFR ROUGH FRAMING	20230293	974 S CARLY CIR	105		07/21/2023
		Comments1: DAVE 630-878-5792					
PR	_____	008-REL ROUGH ELECTRICAL					07/21/2023
PR	_____	009-RMC ROUGH MECHANICAL					07/21/2023
PR	_____	010-PLR PLUMBING - ROUGH					07/21/2023
GH	_____	011-INS INSULATION					07/26/2023
		Comments1: DAVE					
GH	_____	008-STP STOOP	20230295	3810 BISSEL DR	1254		07/05/2023
		Comments1: JOSE					
BF	_____	009-RFR ROUGH FRAMING					07/18/2023
		Comments1: CHRIS 224-358-1606					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	-----	010-REL ROUGH ELECTRICAL					07/18/2023
BF	-----	011-RMC ROUGH MECHANICAL					07/18/2023
PBF	-----	012-PLR PLUMBING - ROUGH Comments1: Cwthompson@drhorton.com					07/18/2023
BC	-----	013-INS INSULATION Comments1: Chris Thompson <CWThompson@drhorton.com> Comments2: 224-358-1606					07/21/2023
GH	-----	008-STP STOOP	20230296	3812 BISSEL DR	1253		07/05/2023
BF	-----	009-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606					07/14/2023
BF	-----	010-REL ROUGH ELECTRICAL					07/14/2023
BF	-----	011-RMC ROUGH MECHANICAL					07/14/2023
PBF	-----	012-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					07/14/2023
BC	-----	013-INS INSULATION Comments1: CHRIS 224-358-1606					07/18/2023
GH	-----	008-STP STOOP Comments1: JOSE	20230297	3820 BISSEL DR	1252		07/05/2023
GH	-----	009-RFR ROUGH FRAMING Comments1: CHRIS 224-358-1606					07/12/2023
GH	-----	010-REL ROUGH ELECTRICAL					07/12/2023
GH	-----	011-RMC ROUGH MECHANICAL					07/12/2023
PBF	-----	012-PLR PLUMBING - ROUGH Comments1: CHRIS 224-358-1606					07/12/2023
JP	-----	013-INS INSULATION Comments1: CHRIS 224-358-1606					07/14/2023
BF	-----	008-RFR ROUGH FRAMING Comments1: MIKE 224-340-5860 UNIT ALREADY INSULATED Comments2: , COULD NOT INSPECT	20230298	3822 BISSEL DR	1251		07/05/2023
BF	-----	009-REL ROUGH ELECTRICAL Comments1: UNIT ALREADY INSULATED, COULD NOT INSPEC Comments2: T					07/05/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	-----	010-RMC ROUGH MECHANICAL					07/05/2023
PBF	-----	011-PLR PLUMBING - ROUGH Comments1: MIKE 224-340-5860 UNIT ALREADY INSULATED Comments2: , COULD NOT INSPECT					07/05/2023
JP	-----	012-INS INSULATION Comments1: MIKE/TIM PLUMBING BUMP OUT IN GARAGE NEE Comments2: DS FIRE FOAM AT TOP, FRONT DOOR NEEDS SE Comments3: ALING					07/07/2023
GH	-----	013-STP STOOP					07/05/2023
BC	-----	014-REI REINSPECTION Comments1: ROUGH BUILDING -- CHRIS					07/11/2023
BC	-----	015-REI REINSPECTION Comments1: ROUGH ELECTRICAL					07/11/2023
BC	-----	016-REI REINSPECTION Comments1: ROUGH MECHANICAL					07/11/2023
PBF	-----	017-REI REINSPECTION Comments1: ROUGH PLUMBING -- CHRIS 224-358-1606					07/11/2023
PR	-----	007-RFR ROUGH FRAMING Comments1: DAVE -- MCCUE	20230303	1031 BLACKBERRY SHORE LN	37		07/07/2023
PR	-----	008-REL ROUGH ELECTRICAL					07/07/2023
PR	-----	009-RMC ROUGH MECHANICAL					07/07/2023
PR	-----	010-PLR PLUMBING - ROUGH					07/07/2023
BC	-----	011-GAR GARAGE FLOOR Comments1: RICH 630-273-5932					07/19/2023
BC	-----	012-STP STOOP Comments1: FRONT AND BACK					07/19/2023
GH	-----	013-INS INSULATION					07/24/2023
BF	-----	AM 001-FIN FINAL INSPECTION Comments1: SOLAR LOGAN 312-824-9031	20230304	3141 LAUREN DR	89		07/12/2023
BF	-----	AM 002-FEL FINAL ELECTRIC Comments1: SOLAR 312-824-9031					07/12/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____ AM	007-BSM BASEMENT FLOOR	20230313	2093 INGEMUNSON LN	147		07/03/2023
		Comments1: JUAN					
BC	_____ AM	008-GAR GARAGE FLOOR					07/03/2023
BC	_____ PM	003-BKF BACKFILL	20230314	511 COACH RD	411		07/06/2023
		Comments1: COMEX					
PBF	_____ PM	004-ESW ENGINEERING - SEWER / WAT					07/07/2023
		Comments1: CATHY 630-387-2001					
PBF	_____	005-PLU PLUMBING - UNDERSLAB					07/11/2023
		Comments1: JEFF 847-456-8082					
GH	_____ AM	006-BG BASEMENT AND GARAGE FLOOR					07/17/2023
		Comments1: COMEX					
PBF	_____ PM	004-ESW ENGINEERING - SEWER / WAT	20230315	520 WARBLER LN	360		07/07/2023
		Comments1: CATHY 630-387-2001					
PBF	_____	005-PLU PLUMBING - UNDERSLAB					07/11/2023
		Comments1: JEFF 847-456-8082					
GH	_____ AM	006-BG BASEMENT AND GARAGE FLOOR					07/17/2023
		Comments1: COMEX					
BF	_____ AM	007-BSM BASEMENT FLOOR	20230316	2212 COUNTRY HILLS DR	455		07/11/2023
		Comments1: COMEX					
BF	_____ AM	008-GAR GARAGE FLOOR					07/11/2023
PR	_____ AM	013-PLF PLUMBING - FINAL OSR READ	20230324	507 W KENDALL DR			07/03/2023
		Comments1: DEBRA					
BF	_____ AM	010-FIN FINAL INSPECTION	20230327	3164 JUSTICE DR	605		07/25/2023
		Comments1: BASEMENT -- MATT 630-341-9057					
BF	_____ AM	011-FEL FINAL ELECTRIC					07/25/2023
BF	_____ AM	012-FMC FINAL MECHANICAL					07/25/2023
PBF	_____ AM	013-PLF PLUMBING - FINAL OSR READ					07/25/2023
		Comments1: MATT 630-341-9057					
GH	_____	015-INS INSULATION	20230344	2651 SEELEY ST	821		07/06/2023
		Comments1: TIM/MIKE					
JP	_____	016-WKS PUBLIC & SERVICE WALKS					07/19/2023
		Comments1: CHRIS					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE	
BF	_____	010-RFR ROUGH FRAMING	20230345	2647 SEELEY ST	820		07/14/2023	
		Comments1: CHRIS 224-358-1606 -- SEE INSPECTION REP						
		Comments2: ORT						
BF	_____	011-REL ROUGH ELECTRICAL					07/14/2023	
		Comments1: SEE INSPECTION REPORT						
BF	_____	012-RMC ROUGH MECHANICAL					07/14/2023	
		Comments1: SEE INSPECTION REPORT						
PBF	_____	013-PLR PLUMBING - ROUGH					07/14/2023	
		Comments1: CHRIS 224-358-1606						
JP	_____	014-INS INSULATION					07/19/2023	
		Comments1: CHRIS						
GH	_____	010-RFR ROUGH FRAMING	20230346	2650 SEELEY ST	740		07/21/2023	
		Comments1: Chris Thompson <CWThompson@drhorton.com>						
		Comments2: 224-358-1606						
GH	_____	011-REL ROUGH ELECTRICAL					07/21/2023	
GH	_____	012-RMC ROUGH MECHANICAL					07/21/2023	
PBF	_____	013-PLR PLUMBING - ROUGH					07/21/2023	
		Comments1: Chris Thompson <CWThompson@drhorton.com>						
		Comments2: 224-358-1606						
JP	_____ AM	014-INS INSULATION					07/26/2023	
		Comments1: CHRIS						
BF	_____	010-RFR ROUGH FRAMING	20230347	2646 SEELEY ST	741		07/26/2023	
		Comments1: CHRIS 224-358-1606 STEEL COLUMN IN GARAG						
		Comments2: E NEEDS TO BE ANCHORED, FIRESTOP SOFFIT						
		Comments3: IN GARAGE						
BF	_____	011-REL ROUGH ELECTRICAL					07/26/2023	
BF	_____	012-RMC ROUGH MECHANICAL					07/26/2023	
PBF	_____	013-PLR PLUMBING - ROUGH				07/26/2023		
		Comments1: CWTOMPSON@DRHORTON.COM						
JP	_____	014-INS INSULATION					07/28/2023	
GH	_____ AM	015-REI REINSPECTION				07/31/2023		
		Comments1: ROUGH ELECTRIC -- CHRIS						

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____ AM	006-BSM BASEMENT FLOOR	20230354	2742 CURTIS CT	125		07/07/2023
		Comments1: MW					
GH	_____ AM	007-GAR GARAGE FLOOR					07/07/2023
GH	_____	008-GPL GREEN PLATE INSPECTION					07/07/2023
		Comments1: ANDREW					
GH	_____ PM	009-PHD POST HOLE - DECK					07/25/2023
		Comments1: MW CUT SUMP LINE WHEN DIGGING POST HOLES					
PBF	_____ AM	005-PLU PLUMBING - UNDERSLAB	20230355	2740 CURTIS CT	126		07/06/2023
		Comments1: ANDREW 331-431-7342					
GH	_____ AM	006-BSM BASEMENT FLOOR					07/11/2023
		Comments1: MW					
GH	_____ AM	007-GAR GARAGE FLOOR					07/11/2023
GH	_____	008-GPL GREEN PLATE INSPECTION					07/11/2023
		Comments1: ANDREW					
GH	_____ AM	015-WKS PUBLIC & SERVICE WALKS	20230356	3134 JETER CT	500		07/18/2023
		Comments1: MW					
BF	_____	009-RFR ROUGH FRAMING	20230357	2642 KELLOGG CT	48		07/19/2023
		Comments1: ANDREW 331-431-7342					
BF	_____	010-REL ROUGH ELECTRICAL					07/19/2023
BF	_____	011-RMC ROUGH MECHANICAL					07/19/2023
PBF	_____	012-PLR PLUMBING - ROUGH					07/19/2023
		Comments1: AMEEKS@NVRINC.COM					
GH	_____	013-INS INSULATION					07/21/2023
		Comments1: ANDREW 331-431-7342					
GH	_____ AM	014-PHD POST HOLE - DECK					07/25/2023
		Comments1: MW					
JP	_____ AM	015-STP STOOP					07/26/2023
		Comments1: FRONT					
JP	_____ AM	016-EPW ENGINEERING- PUBLIC WALK					07/26/2023
BC	_____ PM	001-TRN TRENCH - (GAS, ELECTRIC,	20230360	1173 TAUS CIR	112	07/07/2023	
		Comments1: IN GROUND POOL JENNIFER 708-289-6271 BON					
		Comments2: DING & ELECTRIC					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	-----	002-BND POOL BONDING					07/07/2023
BC	-----	AM 003-BND POOL BONDING Comments1: JENNIFER 708-289-6271				07/21/2023	
PR	-----	PM 001-PLR PLUMBING - ROUGH Comments1: CALL 45 MINUTES BEFORE --	20230376	208 W VAN EMMON ST			07/11/2023
PR	-----	PM 006-RFR ROUGH FRAMING Comments1: EDWIN 312-975-0199	20230378	1500 SYCAMORE RD			07/10/2023
PR	-----	PM 007-REL ROUGH ELECTRICAL					07/10/2023
PR	-----	PM 008-RMC ROUGH MECHANICAL					07/10/2023
PR	-----	PM 009-PLR PLUMBING - ROUGH					07/10/2023
GH	-----	AM 017-WK SERVICE WALK Comments1: MW	20230380	3088 JETER ST	571		07/20/2023
PBF	-----	AM 005-PLU PLUMBING - UNDERSLAB	20230388	1477 WOODSAGE AVE	19		07/20/2023
PBF	-----	AM 006-ESW ENGINEERING - SEWER / WAT					07/20/2023
BC	-----	AM 007-BSM BASEMENT FLOOR Comments1: DAMON 708-289-8267					07/31/2023
PR	-----	008-FIN FINAL INSPECTION Comments1: TIM	20230408	384 FONTANA DR	52		07/17/2023
PR	-----	009-FEL FINAL ELECTRIC					07/17/2023
PR	-----	010-FMC FINAL MECHANICAL					07/17/2023
PR	-----	011-PLF PLUMBING - FINAL OSR READ					07/17/2023
JP	-----	PM 013-INS INSULATION Comments1: TIM 630-878-5291					07/20/2023
BC	-----	AM 004-FIN FINAL INSPECTION Comments1: 630-440-8479 LAUREN	20230432	2768 MCMURTRIE WAY	202		07/05/2023
JP	-----	001-PHF POST HOLE - FENCE Comments1: DAN 815-258-8068	20230462	853 CANYON TR	117		07/10/2023
JP	-----	PM 004-FIN FINAL INSPECTION Comments1: GABE 252-360-9427	20230494	112 W VAN EMMON ST			07/19/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	001-FIN FINAL INSPECTION Comments1: SIGN -- VINCE	20230497	2645 N BRIDGE ST			07/03/2023
GH	12:00	001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- TRAVIS	20230517	3127 MATLOCK DR	651		07/17/2023
JP	_____	002-FIN FINAL INSPECTION	20230522	4439 E MILLBROOK CIR	224		07/28/2023
GH	_____ AM	001-FTG FOOTING Comments1: MW	20230526	2749 CURTIS CT	119		07/03/2023
GH	_____ AM	002-FOU FOUNDATION Comments1: MW					07/10/2023
BF	_____ AM	003-BKF BACKFILL Comments1: MIDWESTERN 815-839-8175					07/14/2023
PBF	_____ PM	004-WAT WATER Comments1: AL'S FAM 630-492-7635					07/17/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: AUSTIN 630 720 1287 ASUSONG@NVRINC.COM					07/21/2023
GH	_____ AM	006-PPS PRE-POUR, SLAB ON GRADE Comments1: MW SLAB					07/25/2023
GH	_____	007-GAR GARAGE FLOOR					07/25/2023
GH	_____	001-FTG FOOTING Comments1: MW	20230527	3072 GRANDE TR	544		07/07/2023
GH	_____ AM	002-FOU FOUNDATION Comments1: MW					07/11/2023
PBF	_____ PM	003-WAT WATER Comments1: AL'S FAM 630-492-7635					07/17/2023
BC	_____	004-BKF BACKFILL Comments1: MW					07/19/2023
GH	_____ AM	005-BSM BASEMENT FLOOR Comments1: MW					07/24/2023
GH	_____	006-GAR GARAGE FLOOR					07/24/2023
PBF	_____	007-PLU PLUMBING - UNDERSLAB					07/21/2023
BC	_____	015-INS INSULATION Comments1: JEFF 847-456-8082	20230540	301 RYAN CT	204		07/07/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC		002-PHD POST HOLE - DECK Comments1: CHANGE OF STAIR PLAN, ADD'TL POSTHOLES	20230545	344 POPLAR DR	95		07/05/2023
BC		AM 003-RFR ROUGH FRAMING Comments1: LISA 815-585-0798					07/14/2023
JP		002-FIN FINAL INSPECTION Comments1: ROOF	20230561	1182 KATE DR			07/03/2023
BC		AM 002-RFR ROUGH FRAMING Comments1: DECK -- JUAN 847-571-6804	20230572	1912 WILD INDIGO LN	80		07/31/2023
JP		009-ROF ROOF UNDERLAYMENT ICE & W Comments1: PICTURES OF ICE AND WATER SENDING ON SAT Comments2: URDAY	20230577	1961 SUNNY DELL CT	92		07/10/2023
BC		AM 010-GAR GARAGE FLOOR Comments1: CLEAN EDGE 630-364-0224					07/19/2023
BC		011-STP STOOP					07/19/2023
BC		012-INS INSULATION Comments1: CLEAN EDGE 630-364-0224					07/26/2023
PR		013-RFR ROUGH FRAMING Comments1: CLEAN EDGE 630-364-0224					07/21/2023
PR		014-REL ROUGH ELECTRICAL					07/21/2023
PR		015-RMC ROUGH MECHANICAL					07/21/2023
PR		016-PLR PLUMBING - ROUGH					07/21/2023
GH		008-GPL GREEN PLATE INSPECTION Comments1: CHRIS	20230585	2642 SEELEY ST	742		07/03/2023
JP		009-STP STOOP Comments1: FRONT AND BACK					07/19/2023
JP		009-STP STOOP Comments1: FRONT AND BACK	20230586	2643 SEELEY ST	819		07/19/2023
BC		AM 002-RFR ROUGH FRAMING Comments1: JUSTIN 815-979-8972	20230598	2957 ELLSWORTH DR	405		07/26/2023
BC		AM 003-FIN FINAL INSPECTION					07/26/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230603	1285 SPRING ST	162		07/25/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	-----	002-ROF ROOF UNDERLAYMENT ICE & W					07/27/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230604	482 BIRCHWOOD DR	161		07/28/2023
		Comments1: JOSEPH JAMES 331-575-7705 ON ARRIVAL FO					
		Comments2: R INSP NO CREW ON SITE					
JP	-----	002-REI REINSPECTION					07/31/2023
JP	-----	008-STP STOOP	20230618	3021 GRANDE TR	534		07/20/2023
		Comments1: FRONT AND BACK -- MW					
BC	-----	009-RFR ROUGH FRAMING					07/21/2023
		Comments1: AUSTIN 630 720 1287 ASUSONG@NVRINC.COM					
BC	-----	010-REL ROUGH ELECTRICAL					07/21/2023
		Comments1: AUSTIN 630 720 1287 ASUSONG@NVRINC.COM					
BC	-----	011-RMC ROUGH MECHANICAL					07/21/2023
		Comments1: AUSTIN 630 720 1287 ASUSONG@NVRINC.COM					
PBF	-----	012-PLR PLUMBING - ROUGH					07/21/2023
		Comments1: AUSTIN 630 720 1287 ASUSONG@NVRINC.COM					
GH	-----	013-INS INSULATION					07/25/2023
		Comments1: AUSTIN					
GH	-----	001-FTG FOOTING	20230625	2744 CURTIS ST	124		07/27/2023
JP	13:00	001-PHF POST HOLE - FENCE	20230631	3028 GRANDE TR	537		07/14/2023
		Comments1: MARIA/IDEAL 630-966-0209					
BF	-----	009-RFR ROUGH FRAMING	20230638	2743 CURTIS CT	116		07/25/2023
		Comments1: ANDREW 630-445-2500					
BF	-----	010-REL ROUGH ELECTRICAL					07/25/2023
BF	-----	011-RMC ROUGH MECHANICAL					07/25/2023
PBF	-----	012-PLR PLUMBING - ROUGH					07/25/2023
		Comments1: AMEEKS@NVRINC.COM					
GH	-----	AM 013-INS INSULATION					07/27/2023
		Comments1: ANDREW					
BC	11:30	001-PHF POST HOLE - FENCE	20230641	2806 BERRYWOOD LN	827		07/06/2023
		Comments1: PERLA 708-316-9740					
GH	-----	AM 008-STP STOOP	20230650	3423 CALEDONIA DR	189		07/06/2023
		Comments1: FRONT AND REAR - COMEX					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____ PM	014-ESW ENGINEERING - SEWER / WAT Comments1: CATHYHMDCONST@GMAIL.COM					07/25/2023
PBF	_____	004-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082	20230651	3437 CALEDONIA DR	190		07/03/2023
GH	_____	005-GPL GREEN PLATE INSPECTION Comments1: JEFF/LENNAR 847-456-8082 ADD 2 ANCHOR BO Comments2: LTS NORTH WALL					07/05/2023
GH	_____	006-GAR GARAGE FLOOR Comments1: COMEX					07/05/2023
GH	_____ AM	007-BSM BASEMENT FLOOR					07/05/2023
PBF	_____ PM	008-ESW ENGINEERING - SEWER / WAT Comments1: CATHYHMDCONST@GMAIL.COM				07/25/2023	
PBF	_____ PM	009-REI REINSPECTION Comments1: SEWER AND WATER CATHYHMDCONST@GMAIL.COM				07/26/2023	
GH	_____ AM	008-STP STOOP Comments1: FRONT AND REAR -- COMEX	20230652	3407 CALEDONIA DR	188		07/06/2023
GH	_____	009-RFR ROUGH FRAMING Comments1: JEFF 847-456-8082 NEED TRUSS REPORT FROM Comments2: ENGINEER				07/31/2023	
GH	_____	010-REL ROUGH ELECTRICAL					08/31/2023
GH	_____	011-RMC ROUGH MECHANICAL					07/31/2023
PBF	_____	012-PLR PLUMBING - ROUGH Comments1: JEFFREY.LEADER@LENNAR.COM				07/31/2023	
PBF	_____ PM	014-ESW ENGINEERING - SEWER / WAT Comments1: CATHYHMDCONST@GMAIL.COM					07/25/2023
BC	_____ AM	001-FTG FOOTING Comments1: MW	20230653	2661 GOULD CT	64		07/19/2023
GH	_____ PM	002-FOU FOUNDATION Comments1: MW					07/21/2023
GH	_____ PM	003-BKF BACKFILL Comments1: MW					07/25/2023
PBF	_____ AM	004-WAT WATER					07/26/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____ AM	005-PLU PLUMBING - UNDERSLAB				07/28/2023	
		Comments1: AMEEKS@NVRINC.COM					
GH	_____ PM	006-BG BASEMENT AND GARAGE FLOOR					07/31/2023
		Comments1: MW					
GH	_____	001-FTG FOOTING	20230654	2734 ELLORY CT	135		07/11/2023
		Comments1: MW					
BC	_____ AM	002-FOU FOUNDATION					07/19/2023
		Comments1: MW					
PBF	_____ PM	003-WAT WATER					07/25/2023
		Comments1: FAMILYSEWEROFFICE@YAHOO.COM					
GH	_____ AM	004-BKF BACKFILL					07/25/2023
		Comments1: MW					
PBF	_____ AM	005-PLU PLUMBING - UNDERSLAB				07/28/2023	
		Comments1: AMEEKS@NVRINC.COM					
GH	_____ PM	006-BG BASEMENT AND GARAGE FLOOR					07/31/2023
		Comments1: MW					
PBF	_____ AM	007-ESW ENGINEERING - SEWER / WAT	20230655	432 TIMBER OAK LN	38		07/20/2023
		Comments1: JWWINNINGER@WINNINGEREXCAVATING.COM					
GH	_____ AM	008-GAR GARAGE FLOOR					07/28/2023
		Comments1: MW					
GH	_____ AM	009-STP STOOP					07/28/2023
		Comments1: MW					
BC	_____ AM	014-STP STOOP					07/31/2023
		Comments1: MW REAR STOOP					
JP	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE	20230657	3146 MATLOCK DR	672		07/11/2023
		Comments1: SHED SLAB JOEL 630-281-0555					
PBF	_____	005-PLU PLUMBING - UNDERSLAB	20230662	311 RYAN CT	205		07/14/2023
		Comments1: JEFF 847-456-8082					
GH	_____	006-GPL GREEN PLATE INSPECTION					07/18/2023
		Comments1: JEFF					
GH	_____ AM	007-BG BASEMENT AND GARAGE FLOOR					07/19/2023
		Comments1: OSCAR 847-551-9066					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	005-PLU PLUMBING - UNDERSLAB	20230663	321 RYAN CT	206		07/14/2023
		Comments1: JEFF 847-456-8082					
GH	_____	006-GPL GREEN PLATE INSPECTION					07/18/2023
		Comments1: JEFF					
GH	_____ AM	007-BG BASEMENT AND GARAGE FLOOR					07/19/2023
		Comments1: OSCAR 847-551-9066					
BC	_____ AM	005-FIN FINAL INSPECTION	20230664	2372 EMERALD LN	29		07/19/2023
		Comments1: PETER 224-323-0485					
BC	_____ AM	006-FEL FINAL ELECTRIC					07/19/2023
BC	_____ AM	007-FMC FINAL MECHANICAL					07/19/2023
JP	_____	002-FIN FINAL INSPECTION	20230666	2945 ELLSWORTH DR	409		07/26/2023
		Comments1: ROOF					
JP	_____	002-FIN FINAL INSPECTION	20230672	2504 LYMAN LOOP	77		07/27/2023
		Comments1: ROOF					
PR	_____ AM	006-FIN FINAL INSPECTION	20230674	1427 CANNONBALL TR			07/26/2023
		Comments1: WILLIAMS GROUP					
PR	_____ AM	007-FEL FINAL ELECTRIC					07/26/2023
PR	_____ AM	008-FMC FINAL MECHANICAL					07/26/2023
PR	_____ AM	009-PLF PLUMBING - FINAL OSR READ					07/26/2023
PR	_____ AM	010-OCC OCCUPANCY INSPECTION					07/26/2023
JP	_____ AM	001-PHF POST HOLE - FENCE	20230679	2782 HOBBS CT	147		07/25/2023
		Comments1: GABE 630-406-8410					
PBF	_____	004-PLU PLUMBING - UNDERSLAB	20230699	3453 CALEDONIA DR	191		07/03/2023
		Comments1: JEFF 847-456-8082					
GH	_____	005-GPL GREEN PLATE INSPECTION					07/05/2023
		Comments1: JEFF					
GH	_____ AM	007-GAR GARAGE FLOOR					07/05/2023
		Comments1: COMEX					
GH	_____ AM	008-BSM BASEMENT FLOOR					07/05/2023
PBF	_____ PM	009-ESW ENGINEERING - SEWER / WAT				07/26/2023	
		Comments1: CATHYHMDCONST@GMAIL.COM					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	001-FIN FINAL INSPECTION	20230722	101 S BRIDGE			07/13/2023
		Comments1: SIGN -- JON 331-431-7871					
BC	_____ AM	001-PHF POST HOLE - FENCE	20230723	105 E SPRING ST			07/19/2023
		Comments1: MIKE 847-529-1443					
BC	_____ AM	002-WK SERVICE WALK					07/19/2023
GH	10:30	001-PHF POST HOLE - FENCE	20230725	2375 FAIRFIELD AVE	495		07/26/2023
		Comments1: CANDICE 630-406-8410 EXT 220					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230726	248 BURNETT ST	1228		07/03/2023
		Comments1: NEWHO					
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230727	186 BURNETT ST	1239		07/19/2023
		Comments1: EDGAR 224-587-6429					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230728	412 E MAIN ST			07/31/2023
BC	_____ AM	002-RFR ROUGH FRAMING	20230734	542 HEARTLAND DR	184		07/06/2023
		Comments1: DECK -- ANDREW 815-238-9269					
BC	_____ AM	002-RFR ROUGH FRAMING	20230740	2644 KELLOGG CT	49		07/11/2023
		Comments1: MIKE 630-210-2780					
BC	_____	003-FIN FINAL INSPECTION					07/24/2023
		Comments1: DECK					
JP	_____	001-PPS PRE-POUR, SLAB ON GRADE	20230756	603 GREENFIELD TURN	79		07/17/2023
		Comments1: PATIO					
PBF	_____ AM	005-PLU PLUMBING - UNDERSLAB	20230757	4452 TAMPA DR	1970		07/05/2023
		Comments1: RYAN/JOE 224-575-0022					
JP	_____	006-GPL GREEN PLATE INSPECTION					07/06/2023
		Comments1: JOE 224-575-0022					
BC	_____ AM	007-GAR GARAGE FLOOR					07/06/2023
		Comments1: MW					
BC	_____ AM	008-BSM BASEMENT FLOOR					07/06/2023
BC	_____	009-ELS ELECTRIC SERVICE					07/17/2023
		Comments1: JOE					
GH	_____	010-STP STOOP					07/21/2023
		Comments1: FRONT & REAR					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____ AM	002-BKF BACKFILL	20230758	4439 TAMPA DR	1960		07/06/2023
		Comments1: MW					
PBF	_____ PM	003-ESW ENGINEERING - SEWER / WAT					07/06/2023
		Comments1: MW					
PBF	_____	004-PLU PLUMBING - UNDERSLAB					07/12/2023
		Comments1: JOE 224-575-0022					
BC	_____ PM	005-GPL GREEN PLATE INSPECTION					07/14/2023
		Comments1: JOE 224-575-0022					
BC	_____ PM	006-BGS BASEMENT GARAGE STOOPS					07/14/2023
		Comments1: MIDWESTERN 815-839-8175					
BC	_____	007-ELS ELECTRIC SERVICE					07/17/2023
		Comments1: JOE					
BC	_____ AM	001-FTG FOOTING	20230759	4453 TAMPA DR	1963		07/06/2023
		Comments1: MW					
BC	_____	002-FOU FOUNDATION					07/10/2023
PBF	_____ PM	003-ESW ENGINEERING - SEWER / WAT					07/13/2023
		Comments1: AL'S FAMILY 630-492-7635					
BC	_____ PM	004-BKF BACKFILL					07/14/2023
		Comments1: MW 815-839-8175 -- SEE INSPECTION REPORT					
PBF	_____	005-PLU PLUMBING - UNDERSLAB					07/19/2023
		Comments1: JOEMANUE@NVRINC.COM					
GH	_____	006-GPL GREEN PLATE INSPECTION					07/20/2023
		Comments1: JOE					
GH	_____ AM	007-BGS BASEMENT GARAGE STOOPS				07/21/2023	
GH	_____ AM	001-FTG FOOTING	20230760	4463 TAMPA DR	1965		07/11/2023
		Comments1: MW					
GH	_____ AM	002-FOU FOUNDATION					07/18/2023
		Comments1: MW					
PBF	_____ PM	003-ESW ENGINEERING - SEWER / WAT					07/21/2023
		Comments1: FAMILYSEWEROFFICE@YAHOO.COM 630-492-7					
		Comments2: 635					
GH	_____ PM	004-BKF BACKFILL					07/21/2023
		Comments1: JOE E/Ryan 224-575-0022 Emanuel, Josep					
		Comments2: h <joemanue@nvrinc.com>					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: JOEMANUE@NVRINC.COM					07/26/2023
GH	_____	006-GPL GREEN PLATE INSPECTION Comments1: JOE					07/28/2023
GH	_____ AM	007-BGS BASEMENT GARAGE STOOPS Comments1: MW					07/31/2023
GH	_____ PM	001-FTG FOOTING Comments1: MW	20230761	4458 TAMPA DR	1969		07/18/2023
GH	_____	002-FOU FOUNDATION					07/21/2023
BC	_____ AM	003-BKF BACKFILL Comments1: MW					07/26/2023
PBF	_____ AM	004-ESW ENGINEERING - SEWER / WAT Comments1: FAMILYSEWEROFFICE@YAHOO.COM					07/26/2023
GH	_____ AM	001-FTG FOOTING	20230763	2648 GOULD CT	59		07/24/2023
GH	_____	002-FOU FOUNDATION Comments1: MW					07/25/2023
GH	_____ AM	003-BKF BACKFILL Comments1: MW					07/31/2023
BC	_____ AM	004-INS INSULATION Comments1: JIM 224-324-0816	20230767	3108 JUSTICE DR	624		07/07/2023
PR	_____ AM	001-RFR ROUGH FRAMING Comments1: BASEMENT -- PETER 224-323-0485	20230768	575 COACH RD	417		07/05/2023
PR	_____ AM	002-REL ROUGH ELECTRICAL					07/05/2023
PR	_____ AM	003-RMC ROUGH MECHANICAL					07/05/2023
PR	_____ AM	004-PLR PLUMBING - ROUGH					07/05/2023
BC	_____ PM	005-INS INSULATION Comments1: BASEMENT FINISH JIM/MATRIX 224-324-0813				07/11/2023	
JP	_____	001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO 847-612-9950	20230774	3063 GRANDE TR	556		07/20/2023
JP	_____	002-FIN FINAL INSPECTION	20230786	102 CLAREMONT CT	34		07/26/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	11:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: BOXER DAWN 847-702-4700	20230787	2778 GAINS CT	189		07/31/2023
BC	10:00	001-FIN FINAL INSPECTION Comments1: WINDOWS -- SAMANTHA 603-521-0444	20230790	2001 RAINTREE RD	62		07/18/2023
JP	10:45	001-PHF POST HOLE - FENCE Comments1: PARAMOUNT 630-406-8410 X 220	20230802	1407 WHITE PINE CT			07/07/2023
JP	_____ AM	001-PHD POST HOLE - DECK Comments1: DERRICK 630-878-9539	20230804	2531 ALAN DALE LN	123		07/11/2023
BC	_____	002-RFR ROUGH FRAMING Comments1: DECK					07/19/2023
BC	_____ AM	003-FIN FINAL INSPECTION Comments1: DECK -- DERRICK 630-878-9539					07/27/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: REUBEN 815-630-7005	20230809	2452 EMERALD LN			07/18/2023
GH	_____ AM	003-BKF BACKFILL Comments1: COMEX	20230810	3383 CALEDONIA DR	185		07/06/2023
PBF	_____	004-PLU PLUMBING - UNDERSLAB Comments1: jeffrey.leader@lennar.com					07/20/2023
PBF	_____ PM	005-ESW ENGINEERING - SEWER / WAT Comments1: CATHYHMDCONST@GMAIL.COM					07/24/2023
GH	_____ PM	006-BG BASEMENT AND GARAGE FLOOR Comments1: COMEX					07/24/2023
PBF	_____	004-PLU PLUMBING - UNDERSLAB Comments1: JEFF 847-456-8082	20230811	3393 CALEDONIA DR	187		07/03/2023
BC	_____ AM	005-BSM BASEMENT FLOOR Comments1: COMEX					07/07/2023
BC	_____ AM	006-GAR GARAGE FLOOR					07/07/2023
PBF	_____ PM	007-ESW ENGINEERING - SEWER / WAT Comments1: CATHYHMDCONST@GMAIL.COM					07/24/2023
GH	_____ AM	003-BKF BACKFILL Comments1: COMEX	20230812	3387 CALEDONIA DR	186		07/06/2023
PBF	_____	004-PLU PLUMBING - UNDERSLAB Comments1: jeffrey.leader@lennar.com					07/20/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____ PM	005-ESW ENGINEERING - SEWER / WAT Comments1: CATHYHMDCONST@GMAIL.COM					07/24/2023
GH	_____ PM	006-BG BASEMENT AND GARAGE FLOOR Comments1: COMEX					07/24/2023
GH	_____ AM	002-FOU FOUNDATION Comments1: COMEX	20230813	3377 CALEDONIA DR	184		07/10/2023
BF	_____ AM	003-BKF BACKFILL Comments1: COMEX 847-551-9204					07/14/2023
PBF	_____	004-PLU PLUMBING - UNDERSLAB Comments1: jeffrey.leader@lennar.com					07/20/2023
PBF	_____ PM	005-ESW ENGINEERING - SEWER / WAT Comments1: CATHYMDCONST@GMAIL.COM					07/24/2023
GH	_____ AM	006-BG BASEMENT AND GARAGE FLOOR Comments1: COMEX					07/26/2023
GH	13:00	003-BKF BACKFILL Comments1: COX 630-536-4171	20230814	2933 CRYDER WAY	467		07/03/2023
BC	_____	006-GPL GREEN PLATE INSPECTION Comments1: CHRIS	20230815	2639 SEELEY ST	818		07/14/2023
GH	_____	006-GPL GREEN PLATE INSPECTION Comments1: Chris Thompson <CWThompson@drhorton.com> Comments2: 224-358-1606	20230816	2635 SEELEY ST	817		07/21/2023
BF	_____ AM	002-FOU FOUNDATION Comments1: MW	20230817	462 TIMBER OAK LN	39		07/07/2023
BF	_____ AM	003-BKF BACKFILL Comments1: MIDWESTERN 815-839-8175					07/14/2023
PBF	_____ AM	004-ESW ENGINEERING - SEWER / WAT Comments1: JWNINGER@WINNINGEREXCAVATING.COM					07/20/2023
PBF	_____ AM	005-PLU PLUMBING - UNDERSLAB Comments1: JASON 630-632-7433					07/21/2023
GH	_____ AM	006-BSM BASEMENT FLOOR Comments1: MW					07/26/2023
GH	10:30	001-FTG FOOTING Comments1: COX 630-536-4171	20230818	2853 ROOD ST	317		07/05/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	12:00	002-FOU FOUNDATION Comments1: MONICA 630-536-4171					07/07/2023
BF	-----	003-BKF BACKFILL Comments1: COX CONST PACO 630-536-4171					07/14/2023
GH	-----	003-BKF BACKFILL Comments1: MW	20230819	3098 CONSTITUTION WAY	573		07/07/2023
PBF	-----	PM 004-WAT WATER Comments1: ALS 630-492-7635					07/07/2023
GH	-----	AM 005-GPL GREEN PLATE INSPECTION Comments1: ASUSONG@NVRINC.COM					07/18/2023
PBF	-----	PM 006-PLU PLUMBING - UNDERSLAB Comments1: ASUSONG@NVRINC.COM					07/17/2023
GH	-----	AM 007-BG BASEMENT AND GARAGE FLOOR Comments1: MW					07/18/2023
BC	-----	004-BKF BACKFILL Comments1: RSS/KEN 630-546-0735	20230820	285 WINDHAM CIR	38		07/06/2023
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: NESTOR -- 630-632-3150	20230830	1952 PRAIRIE ROSE LN	102		07/28/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: CARRIE 630-844-2553 X103	20230831	2808 OWEN CT	175		07/20/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230832	2629 LILAC WAY	313		07/24/2023
BC	10:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: CARMODY	20230836	478 HONEYSUCKLE LN	160		07/13/2023
GH	-----	AM 001-FTG FOOTING Comments1: COMEX 847-551-9204	20230838	3357 CALEDONIA DR	180		07/28/2023
BF	-----	AM 001-FTG FOOTING Comments1: COMEX	20230839	3363 CALEDONIA DR	181		07/13/2023
BC	-----	AM 002-FOU FOUNDATION Comments1: COMEX					07/17/2023
GH	-----	AM 003-BKF BACKFILL Comments1: JUAN CARLOS					07/19/2023
PBF	-----	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: CATHYHMDCONST@GMAIL.COM				07/26/2023	

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: JEFFREY.LEADER@LENNAR.COM				07/27/2023	
GH		PM 006-BG BASEMENT AND GARAGE FLOOR Comments1: COMEX					07/28/2023
BF		AM 001-FTG FOOTING Comments1: COMEX	20230840	3367 CALEDONIA DR	182		07/13/2023
BC		PM 002-FOU FOUNDATION Comments1: COMEX					07/14/2023
BF		PM 003-BKF BACKFILL Comments1: COMEX 847-551-9204					07/18/2023
PBF		PM 004-ESW ENGINEERING - SEWER / WAT Comments1: CATHYHMDCONST@GMAIL.COM					07/26/2023
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: JEFFREY.LEADER@LENNAR.COM				07/27/2023	
GH		PM 006-BG BASEMENT AND GARAGE FLOOR Comments1: COMEX					07/28/2023
GH		AM 002-FOU FOUNDATION Comments1: COMEX	20230841	3373 CALEDONIA DR	183		07/06/2023
GH		003-BKF BACKFILL Comments1: COMEX					07/11/2023
PBF		004-PLU PLUMBING - UNDERSLAB Comments1: jeffrey.leader@lennar.com					07/20/2023
GH		AM 005-BG BASEMENT AND GARAGE FLOOR Comments1: COMEX					07/24/2023
PBF		PM 006-ESW ENGINEERING - SEWER / WAT Comments1: CATHYHMDCONST@GMAIL.COM					07/25/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: EDGAR 224-587-6429	20230846	567 PARKSIDE LN	99		07/21/2023
GH	11:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: 224-587-6429 LUCERO	20230847	4679 PLYMOUTH AVE	1027		07/03/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: EDGAR 224-587-6429	20230848	1104 REDWOOD DR	51		07/21/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230851	218 HILLCREST AVE.	13		07/10/2023
		Comments1: CARMOODY					
BF	_____ AM	001-FIN FINAL INSPECTION	20230854	579 PARKSIDE LN	100		07/14/2023
		Comments1: SOLAR-- DAVE 224-474-2058					
BF	_____ AM	002-FEL FINAL ELECTRIC					07/14/2023
PR	_____ AM	005-FIN FINAL INSPECTION	20230866	1443 CANNONBALL TR			07/26/2023
		Comments1: WILLIAMS GROUP					
PR	_____ AM	006-FEL FINAL ELECTRIC					07/26/2023
PR	_____ AM	007-FMC FINAL MECHANICAL					07/26/2023
PR	_____ AM	008-PLF PLUMBING - FINAL OSR READ					07/26/2023
PR	_____ AM	009-OCC OCCUPANCY INSPECTION					07/26/2023
JP	_____	002-FIN FINAL INSPECTION	20230871	4234 E MILLBROOK CIR	286		07/28/2023
		Comments1: ROOF					
BC	_____ AM	001-PHD POST HOLE - DECK	20230874	284 BALTRUSOL CT	139		07/18/2023
		Comments1: TOM -- 630-244-2390					
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230875	308 RYAN CT	73		07/31/2023
		Comments1: RYAN 815-483-9640 -- BACK					
JP	13:00	001-PHF POST HOLE - FENCE	20230880	363 PENSACOLA ST	1147		07/07/2023
		Comments1: MIGUEL 630-401-1883					
JP	11:30	001-ROF ROOF UNDERLAYMENT ICE & W	20230890	804 E MAIN ST			07/11/2023
		Comments1: KIM 630-553-2344 PARTIAL BACK OF ROOF PA					
		Comments2: SS					
BC	10:00	002-ROF ROOF UNDERLAYMENT ICE & W					07/13/2023
		Comments1: PARTIAL -- FRONT					
JP	_____	003-ROF ROOF UNDERLAYMENT ICE & W					07/14/2023
		Comments1: PARTIAL - SIDE					
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230893	2353 SUMAC DR	23		07/11/2023
JP	_____	002-FIN FINAL INSPECTION	20230902	1624 COTTONWOOD TR	21		07/06/2023
		Comments1: FENCE ANDY 630-210-6203					
BC	_____	001-FIN FINAL INSPECTION	20230905	278 WALSH CIR	89		07/18/2023
		Comments1: WINDOWS -- RANDY					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____ AM	001-FIN FINAL INSPECTION	20230908	122 STRAWBERRY LN		07/07/2023	
		Comments1: SOLAR KEITH 630-362-5980	CANCELLED				
BF	_____ AM	002-FEL FINAL ELECTRIC				07/07/2023	
		Comments1: SOLAR KEITH 630-362-5980	CANCELLED				
BF	_____ PM	003-FIN FINAL INSPECTION					07/10/2023
		Comments1: SOLAR KEITH 630-362-5980	PANELS AND CAR				
		Comments2: CHARGER					
BF	_____ PM	004-FEL FINAL ELECTRIC					07/10/2023
		Comments1: SOLAR KEITH 630-362-5980					
JP	_____	002-FIN FINAL INSPECTION	20230912	4455 E MILLBROOK CIR	227		07/28/2023
		Comments1: ROOF					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230914	421 WALNUT ST			07/18/2023
		Comments1: JASON					
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230916	1131 KATE DR			07/03/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230918	2435 SAGE CT	23		07/06/2023
		Comments1: 630-854-7957					
JP	_____	002-FIN FINAL INSPECTION					07/27/2023
		Comments1: ROOF -- RANDY 630-854-7957					
JP	_____	002-FIN FINAL INSPECTION	20230919	1181 KATE DR	243		07/03/2023
GH	_____ AM	001-FTG FOOTING	20230922	4446 TAMPA DR	1971		07/25/2023
		Comments1: MW					
_____	_____ PM	002-FOU FOUNDATION				07/26/2023	
		Comments1: MW -- CANCELED					
BC	_____ AM	003-FOU FOUNDATION					07/27/2023
JP	_____ PM	001-PPS PRE-POUR, SLAB ON GRADE	20230927	2064 DEERPOINT LN	162		07/06/2023
		Comments1: PATIO -- CHUY 630-380-7580					
BC	_____ AM	002-RFR ROUGH FRAMING	20230931	352 POPLAR DR	96		07/05/2023
		Comments1: TIMBERBUILT 630-443-7100					
BC	_____ AM	003-REL ROUGH ELECTRICAL					07/05/2023
BC	_____ AM	004-INS INSULATION					07/10/2023
		Comments1: SUNROOM LEE 630-443-7100					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	13:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230932	827 GREENFIELD TURN	51		07/06/2023
		Comments1: LUCERO 224-587-6429					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230939	746 JOHN ST	2		07/07/2023
		Comments1: A&B 815-786-3100					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230940	4478 SARASOTA AVE	1040		07/07/2023
		Comments1: ALISSA 815-786-3100					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230941	734 JOHN ST	2		07/07/2023
		Comments1: A&B 815-786-3100					
BF	_____ AM	001-FIN FINAL INSPECTION	20230949	508 BLAINE ST			07/21/2023
		Comments1: JUAN SOLAR 609-459-2201					
BF	_____ AM	002-FEL FINAL ELECTRIC					07/21/2023
		Comments1: JUAN SOLAR 609-459-2201 PROVIDE SECOND G					
		Comments2: ROUND ROD AT METER **REINSPECTION FEE RE					
		Comments3: QUIRED**					
BF	_____ AM	003-REI REINSPECTION				07/31/2023	
		Comments1: SOLAR -- JUAN 609-459-2201					
GH	_____ AM	001-FTG FOOTING	20230955	431 NORWAY CIR	88		07/17/2023
		Comments1: GARAGE -- CHUY					
BC	_____ AM	002-FOU FOUNDATION					07/20/2023
		Comments1: CHUY 630-330-7580					
BC	_____ AM	003-RFR ROUGH FRAMING					07/27/2023
		Comments1: MATT 630-273-1151					
BC	_____ AM	004-REL ROUGH ELECTRICAL					07/27/2023
PBF	_____ AM	005-PLR PLUMBING - ROUGH					07/27/2023
BC	_____ AM	006-INS INSULATION					07/31/2023
		Comments1: KITCHEN REMODEL -- MATT 630-273-1151					
BC	_____	007-GAR GARAGE FLOOR					07/28/2023
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230956	607 STATE ST			07/05/2023
		Comments1: JASON -- JJ					
GH	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE	20230959	303 WOODWORTH ST			07/18/2023
		Comments1: CHUY PORCH AND SERVICE WALK					
JP	_____ AM	002-PPS PRE-POUR, SLAB ON GRADE					07/19/2023
		Comments1: PUBLIC WALK AND APRON -- CHUY					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____	003-PPS PRE-POUR, SLAB ON GRADE Comments1: DRIVEWAY - NO APRON					07/18/2023
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: A&B 815-786-3100	20230960	1302 CLEARWATER DR	251		07/11/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ACE --	20230967	339 BERTRAM DR	1125		07/11/2023
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: PASSED WITH PHOTOS	20230970	461 OMAHA DR			07/07/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20230975	208 BURNETT ST			07/28/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: EDGAR 224-587-6429 -- *****SENDING PICS Comments2: ON SATURDAY**** EMAILED PHOTOS RECEIV Comments3: ED	20230977	591 PARKSIDE LN			07/24/2023
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: PARTIAL	20230978	1101 KATE DR			07/06/2023
JP	_____	002-ROF ROOF UNDERLAYMENT ICE & W					07/07/2023
JP	_____ AM	001-PHD POST HOLE - DECK Comments1: ADAM 630-486-2502	20230980	1274 HAWK HOLLOW DR			07/25/2023
JP	_____	002-ROF ROOF UNDERLAYMENT ICE & W	20230981	1505 CORAL DR			07/19/2023
JP	_____	003-FIN FINAL INSPECTION Comments1: FINAL INPS					07/27/2023
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- CHUY	20230982	624 RED TAIL CT	28		07/31/2023
BC	_____ AM	002-FOU FOUNDATION Comments1: UPLAND 630-465-2021	20230988	2638 SEELEY ST	743		07/10/2023
BF	_____ AM	003-BKF BACKFILL Comments1: CW					07/13/2023
PBF	_____ PM	004-ESW ENGINEERING - SEWER / WAT Comments1: TERRI@HOLIDAYCONSTRUCTION.COM					07/18/2023
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: Chris Thompson <CWThompson@drhorton.com>					07/21/2023
GH	_____ PM	006-BSM BASEMENT FLOOR					07/21/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	-----	007-GAR GARAGE FLOOR					07/21/2023
GH	-----	008-GPL GREEN PLATE INSPECTION Comments1: CHRIS					07/26/2023
BC	-----	002-FOU FOUNDATION Comments1: UPLAND	20230989	2634 SEELEY ST	744		07/06/2023
BC	-----	AM 003-BKF BACKFILL Comments1: UPLAND 630-465-2021					07/10/2023
PBF	-----	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: TERRI@HOLIDAYCONSTRUCTION.COM					07/18/2023
PBF	-----	005-PLU PLUMBING - UNDERSLAB Comments1: Chris Thompson <CWThompson@drhorton.com>					07/21/2023
GH	-----	PM 006-BSM BASEMENT FLOOR					07/21/2023
GH	-----	007-GAR GARAGE FLOOR					07/21/2023
JP	09:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: FOUR SEASONS	20230991	503 E MAIN ST			07/31/2023
BC	-----	AM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- ENRIQUE 630-301-1387	20230992	2034 INGEMUNSON LN	141		07/06/2023
BC	-----	001-TRN TRENCH - (GAS, ELECTRIC, Comments1: STEVEN 630-800-5526	20230994	2871 ALDEN AVE	292		07/21/2023
JP	11:30	002-ROF ROOF UNDERLAYMENT ICE & W Comments1: GARY/VINYL TECH 630-818-7427 PHOTOS SENT	20230995	903 HAYDEN DR	129		07/06/2023
GH	-----	AM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO JASON 630-877-7918 NEED TO ADD W Comments2: INDOV WELL EXTENSION	20230999	4491 SARASOTA AVE	1153		07/24/2023
BC	-----	PM 001-BND POOL BONDING Comments1: BRIAN 720-641-6934	20231007	2398 IROQUOIS LN	34		07/12/2023
BC	-----	PM 002-TRN TRENCH - (GAS, ELECTRIC,					07/12/2023
BC	-----	PM 003-FIN FINAL INSPECTION Comments1: AGP					07/12/2023
BC	-----	AM 004-REI REINSPECTION Comments1: POOL BONDING -- BRIAN 720-641-6934					07/20/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____ AM	005-REI REINSPECTION					07/20/2023
		Comments1: TRENCH					
BC	_____ AM	006-REI REINSPECTION					07/20/2023
		Comments1: FINAL AGP					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231010	2842 KETCHUM CT	212		07/10/2023
		Comments1: ZACH 331-442-3312					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231011	2829 SILVER SPRINGS CT	247		07/10/2023
		Comments1: ANGELA 224-623-9346					
PR	_____ AM	002-RFR ROUGH FRAMING	20231015	26 GAWNE LN			07/06/2023
		Comments1: DECK -- CLEAN EDGE					
BC	_____	003-FIN FINAL INSPECTION					07/24/2023
		Comments1: DECK -- CLEAN EDGE POST TO BEAM THRU BOL					
		Comments2: TS NOT TIGHT, ON ONE POST THE THRU BOLTS					
		Comments3: ARE TOO SHORT					
BC	_____	004-REI REINSPECTION					07/26/2023
		Comments1: DECK					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231022	1379 SPRING ST	253		07/14/2023
		Comments1: CARMOODY					
GH	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231024	4534 MARQUETTE ST	1218		07/19/2023
BC	11:30	001-ROF ROOF UNDERLAYMENT ICE & W	20231027	441 HAZELTINE WAY	12		07/06/2023
		Comments1: ALL IN ONE 847-989-7857					
BC	13:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231029	204 CENTER PKWY			07/13/2023
		Comments1: ABC 331-203-3914					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231030	206 WALNUT ST			07/18/2023
		Comments1: ABC					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231031	114 NADEN CT	70		07/17/2023
		Comments1: ABC					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231032	202 NADEN CT	0		07/17/2023
		Comments1: ABC					
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231035	2691 BURR ST	90		07/11/2023
		Comments1: JERRY 312-401-6515 CONTRACTOR CALLED FOR					
		Comments2: INSPECTION WITHOUT HAVING SCHEDULED INS					
		Comments3: P					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	_____	002-FIN FINAL INSPECTION Comments1: ROOF -- RANDY 630-854-7957					07/27/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231038	1462 RUBY DR	355		07/25/2023
JP	_____	002-FIN FINAL INSPECTION	20231041	2723 CRANSTON CIR	125		07/26/2023
GH	_____	001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- TRAVIS 630-688-4528	20231042	2798 BERRYWOOD LN	829		07/12/2023
JP	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- GREG	20231043	502 ASHWORTH LN	520		07/14/2023
BF	_____ AM	001-FIN FINAL INSPECTION Comments1: SOLAR -- ERIK 708-441-6311	20231047	2356 SUMAC DR	9		07/20/2023
BF	_____ AM	002-FEL FINAL ELECTRIC					07/20/2023
GH	_____	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: LIZ 630-631-7556	20231048	4474 SARASOTA AVE	1041		07/18/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: PLATINUM EVAN 630-973-0448	20231049	769 GREENFIELD TURN			07/03/2023
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: JASON JOSEPH JAMES 331-575-7705	20231050	531 BIRCHWOOD DR	133		07/10/2023
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: CONTRACTOR REQUESTED TO PROVIDE PHOTOS F Comments2: OR I&W ON SATURDAY BUILD. NO PHOTOS SENT Comments3: .	20231051	401 W MADISON ST			07/06/2023
JP	_____	002-ROF ROOF UNDERLAYMENT ICE & W Comments1: RE-INSPECTION. PHOTOS WERE SENT AND PASS Comments2: ED					07/07/2023
JP	_____	002-FIN FINAL INSPECTION Comments1: ROOF -- 815-722-7400	20231052	664 WHITE OAK WAY	3		07/20/2023
GH	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231053	2782 GOLDENROD DR	255		07/13/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ACE 773-887-4228	20231056	1587 SIENNA DR	84		07/28/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: 773-647-0299 PARTIAL INSP BACK OF ROOF	20231059	2076 SWITCHGRASS LN			07/11/2023
GH	_____	002-ROF ROOF UNDERLAYMENT ICE & W Comments1: PARTIAL - GARAGE AND FRONT LEFT SIDE OF Comments2: MAIN ROOF					07/13/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	-----	003-ROF ROOF UNDERLAYMENT ICE & W					07/14/2023
JP	08:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: RONNIE 773-647-0290	20231061	731 GREENFIELD TURN			07/18/2023
BC	-----	001-PTO PREPOUR BASE FOR PATIO Comments1: TRAVIS 630-688-4528	20231064	1019B JOHN ST			07/27/2023
BC	-----	001-BND POOL BONDING Comments1: BILL/PARADISE POOLS 630-639-8506	20231068	821 GREENFIELD TURN	52		07/19/2023
GH	13:00	001-PHF POST HOLE - FENCE Comments1: CARLA 815-460-3449	20231069	2453 WILTON CT	129		07/13/2023
GH	-----	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: EDSON 630-995-2525	20231071	354 TIMBALIER ST	1004		07/13/2023
BC	-----	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: 708-854-6029	20231073	655 WHITE OAK WAY	7		07/13/2023
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: REUBEN	20231074	1001 HOMESTEAD DR	122		07/03/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: WILL 630-439-7479	20231077	552 BIRCHWOOD DR	156		07/24/2023
GH	----- AM	001-FTG FOOTING Comments1: MW	20231078	3128 JETER CT	499		07/26/2023
GH	-----	002-FOU FOUNDATION					07/27/2023
GH	----- PM	001-FTG FOOTING Comments1: MW	20231079	424 MONTEREY ST	2021		07/31/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: 630-850-3374, EXT 110	20231084	4552 HARRISON ST	1118		07/10/2023
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: 630-850-3374, EXT 110	20231085	2285 CRYDER CT	435		07/10/2023
JP	----- PM	001-PHD POST HOLE - DECK Comments1: MIKE 630-936-0492	20231090	691 WINDETT RIDGE RD	83		07/03/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: JASON 630-720-0855	20231091	1201 KATE DR	244		07/06/2023
GH	10:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: CARMOODY	20231092	2734 GOLDENROD DR	248		07/13/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____ AM	001-PLU PLUMBING - UNDERSLAB	20231096	472-482 E VETERANS PKWY			07/20/2023
		Comments1: JOSH 630-930-3792					
PR	_____ PM	002-RFR ROUGH FRAMING					07/26/2023
		Comments1: JOSH 630-930-3792					
PR	_____ PM	003-REL ROUGH ELECTRICAL					07/26/2023
PR	_____ PM	004-PLR PLUMBING - ROUGH					07/26/2023
BF	_____ AM	001-FIN FINAL INSPECTION	20231097	1410 ASPEN LN			07/21/2023
		Comments1: SOLAR -- PHIL 518-859-6282					
BF	_____ AM	002-FEL FINAL ELECTRIC					07/21/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231100	1152 GRACE DR	106		07/17/2023
		Comments1: ABC					
GH	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231101	3395 RYAN DRIVE	11		07/06/2023
		Comments1: A&B 815-786-3100 ** 6/29/23 CANCELLED**					
JP	_____	002-FIN FINAL INSPECTION	20231105	4242 E MILLBROOK CIR	285		07/28/2023
		Comments1: ROOF -- PRESTON 630-842-1120					
GH	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231106	412 W KENDALL DR	5		07/13/2023
		Comments1: JASON					
BF	_____ AM	001-FIN FINAL INSPECTION	20231107	2986 ELLSWORTH DR	349		07/11/2023
		Comments1: SOLAR ERIK 7084416311					
BF	_____ AM	002-FEL FINAL ELECTRIC					07/11/2023
		Comments1: SOLAR ERIK 7084416311					
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231108	1076 HOMESTEAD DR	36		07/18/2023
		Comments1: JASON -- 331-575-7705					
JP	_____	002-ROF ROOF UNDERLAYMENT ICE & W					07/19/2023
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231109	416 W KENDALL DR	3		07/31/2023
		Comments1: JOSEPH JAMES					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231113	1313 E SPRING ST	165		07/06/2023
		Comments1: LUKE THE EDGE 406 410 0659					
JP	_____	001-PHF POST HOLE - FENCE	20231117	2606 BURR ST	16		07/19/2023
		Comments1: CEDAR MOUNTAIN					
JP	_____	001-FIN FINAL INSPECTION	20231119	533 BLUESTEM DR	17		07/17/2023
		Comments1: NO ICE/WATER WAS DONE. JOSE 630-383-987					
		Comments2: 9					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	09:30	001-ROF ROOF UNDERLAYMENT ICE & W	20231120	2563 MADDEN CT	9		07/03/2023
		Comments1: 630-675-8858, NOT READY FOR INSPECTION, Comments2: NO CREW ON SITE					
JP	_____ AM	002-ROF ROOF UNDERLAYMENT ICE & W					07/06/2023
		Comments1: TOM 630-675-8858					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231121	1122 KATE DR			07/06/2023
		Comments1: JASON 331-575-7705					
JP	13:00	001-PHF POST HOLE - FENCE	20231123	2798 BERRYWOOD LN	829		07/21/2023
		Comments1: IDEAL FENCE					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231124	542 BIRCHWOOD DR	157		07/06/2023
		Comments1: REUBEN					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231125	2326 LAVENDER WAY	98		07/06/2023
		Comments1: REUBEN					
JP	11:30	001-PHF POST HOLE - FENCE	20231129	210 JOHNSON ST	35		07/14/2023
		Comments1: JAZLYN 224-220-1042					
JP	_____	002-FIN FINAL INSPECTION					07/20/2023
		Comments1: LANCE 732-600-6060 LATCHES ON BOTH GATES Comments2: DO NOT FULLY ENGAGE ALLOWING GATES TO B Comments3: E PUSHED OPEN					
JP	_____	003-REI REINSPECTION				07/27/2023	
		Comments1: FINAL FENCE					
JP	_____	004-REI REINSPECTION					07/27/2023
		Comments1: REINSPECTION FOR FINAL FENCE LATCHES ENG Comments2: AGE					
GH	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231131	1124 HOMESTEAD DR	41		07/13/2023
		Comments1: ONLY ONE ROW XOCHI 630-562-6565 REIN Comments2: SPECTION FEE REQUIRED					
GH	_____	002-REI REINSPECTION					07/13/2023
		Comments1: I&W REINSPECTION					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231132	304 MILL ST	5		07/10/2023
		Comments1: TOM 847-305-2566 CREW DID NOT SHOW FOR J Comments2: OB AND DID NOT CANCEL, INSP FAILED					
JP	_____	002-ROF ROOF UNDERLAYMENT ICE & W					07/11/2023
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231133	4254 E MILLBROOK CIR	283		07/25/2023
		Comments1: DAWN 847-702-4700					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	13:00	001-PHF POST HOLE - FENCE Comments1: CARLA CEDAR RUSTIC	20231135	2951 ELLSWORTH DR	407		07/20/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ABRAHAN 773-425-8449	20231136	3365 RYAN DR	14		07/07/2023
JP	11:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: FERNANDO 630-615-8540	20231139	514 W FOX ST			07/11/2023
JP	08:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: LUKE 406-410-0659	20231140	509 BLAINE ST			07/20/2023
GH	-----	001-ROF ROOF UNDERLAYMENT ICE & W	20231142	2793 GAINS CT	193		07/06/2023
JP	-----	002-FIN FINAL INSPECTION Comments1: ROOF					07/28/2023
JP	----- PM	001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO CHRISTINA 331-551-4454	20231149	2305 FAIRFIELD AVE	500		07/14/2023
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: TOP QUALITY	20231150	2334 TITUS DR	236		07/11/2023
JP	-----	002-FIN FINAL INSPECTION Comments1: ROOF					07/27/2023
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: REUBEN	20231152	736 ARROWHEAD DR	13		07/06/2023
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: LINDA 630-520-0576	20231153	2789 GAINS CT	192		07/17/2023
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: RAMON 630-808-9302	20231154	2786 GAINS CT	187		07/10/2023
JP	-----	002-FIN FINAL INSPECTION					07/28/2023
GH	----- AM	001-FTG FOOTING Comments1: CHRIS	20231155	2607 SEELEY ST	814		07/28/2023
GH	----- AM	001-FTG FOOTING	20231156	2630 SEELEY ST	745		07/27/2023
GH	----- AM	001-FTG FOOTING Comments1: UPLAND 630-465-2021	20231157	2627 SEELEY ST	815		07/21/2023
GH	----- AM	002-FOU FOUNDATION					07/27/2023
GH	-----	003-BKF BACKFILL Comments1: CHRIS					07/31/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH	_____ AM	001-FTG FOOTING Comments1: UPLAND 630-465-2021	20231158	2631 SEELEY ST	816		07/21/2023
GH	_____ PM	002-FOU FOUNDATION Comments1: CHRIS					07/28/2023
GH	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO EDUARDO 815-678-6362	20231159	382 TIMBALIER ST	998		07/28/2023
JP	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- MATT 708-860-1014	20231160	962 CANYON TRAIL CT	45		07/11/2023
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: TOM 847-305-2566	20231163	212 BURNETT ST	1231		07/25/2023
GH	_____	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: 708-854-6029	20231165	502 BIRCHWOOD DR	159		07/13/2023
GH	11:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ABC 331-203-3914	20231167	1005 S MAIN ST			07/13/2023
BC	13:00	001-PPS PRE-POUR, SLAB ON GRADE Comments1: STAN 708-724-2747	20231169	602 COACH RD	402		07/13/2023
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ADVOCATE STEPHANIE 224-324-9271	20231170	505 W FOX RD			07/10/2023
JP	_____ AM	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: TOM 630-222-3367 PARTIAL INSP COMPLETED Comments2: DUE TO IMPENDING RAIN, SIDES OF HOME PAS Comments3: S I&W, BACK OF ROOF WILL BE INSP W PHOTO Comments4: S. FRONT TBA	20231171	909 CANYON TR	126		07/11/2023
BC	12:00	002-ROF ROOF UNDERLAYMENT ICE & W Comments1: TOM 630-222-3367					07/13/2023
JP	13:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: JOHN 630-927-1007	20231172	210 W KENDALL DR	6		07/17/2023
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: EJ 630-943-6449	20231175	410 WINTERBERRY DR	101		07/24/2023
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: ALPHA 1 EXTERIORS	20231176	408 WINTERBERRY DR	102		07/21/2023
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: EJ 630-943-6449	20231177	406 WINTERBERRY DR	103		07/18/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	_____	002-ROF ROOF UNDERLAYMENT ICE & W Comments1: EJ 630-943-6449					07/19/2023
BC	_____	AM 001-OCC OCCUPANCY INSPECTION Comments1: FREDYS 630-720-5011	20231178	1411 CANNONBALL TR			07/28/2023
JP	_____	PM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO -- JUAN 630-675-8810	20231179	2275 FAIRFAX WAY	374		07/11/2023
BC	_____	001-FIN FINAL INSPECTION Comments1: GAZEBO 312-343-4835	20231180	2922 ALDEN AVE	321		07/24/2023
JP	_____	AM 001-PHD POST HOLE - DECK Comments1: CLEAN EDGE	20231181	2685 FAIRFAX WAY	260		07/26/2023
GH	_____	AM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: PATIO AND WALK, GUS 331-717-8254	20231182	1782 CALLANDER TR	66		07/10/2023
BC	_____	PM 002-BND POOL BONDING	20231183	2332 WINTERTHUR GREEN	179		07/17/2023
BC	_____	PM 003-TRN TRENCH - (GAS, ELECTRIC,					07/17/2023
JP	11:30	001-PHF POST HOLE - FENCE Comments1: CEDAR MOUNTAIN	20231184	3360 SEELEY ST	725	07/28/2023	
BC	10:30	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: BRANDON 847-707-3401	20231188	302 TWINLEAF TR	74		07/18/2023
GH	_____	AM 001-FTG FOOTING Comments1: COMEX 847-551-9204	20231192	3392 CALEDONIA DR	179		07/28/2023
JP	09:00	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: VANESSA 719-203-6786	20231194	1302 EVERGREEN LN	144		07/20/2023
JP	_____	AM 001-PHD POST HOLE - DECK Comments1: EVELIN 630-605-5420 NO INSP ON POST HOLE Comments2: S AS THEY WERE FILLED AND DECK BUILT. HO Comments3: MEOWNER STATED HOLES AT 34". TOLD TO RED Comments4: IG HOLES FOR RE-INSPECTION.	20231196	2748 CRANSTON CIR	113		07/17/2023
JP	_____	002-REI REINSPECTION Comments1: EVELYIN 630-605-5420 DECK					07/21/2023
BC	_____	003-RFR ROUGH FRAMING Comments1: DECK EVELYN 630-605-5420					07/24/2023
BC	_____	004-FIN FINAL INSPECTION					07/24/2023

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231207	2745 CRANSTON CIR	129		07/17/2023
		Comments1: STEPHANIE 224-324-9271					
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W	20231209	4208 E MILLBROOK CIR	290		07/07/2023
JP	-----	002-FIN FINAL INSPECTION					07/28/2023
		Comments1: ROOF BERRY BOXER 630-842-1220					
BC	10:00	001-PHF POST HOLE - FENCE	20231216	541 ASHWORTH LN	517		07/28/2023
		Comments1: CEDAT MOUNTAIN, ARRIVED FOR INSP, NO CRE					
		Comments2: W PRESENT					
BC	-----	002-PHF POST HOLE - FENCE					07/31/2023
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W	20231217	504 FREEMONT ST	10		07/19/2023
		Comments1: REUBEN					
JP	----- AM	001-PPS PRE-POUR, SLAB ON GRADE	20231219	2711 PHELPS CT	266		07/26/2023
		Comments1: PATIO---CHUY					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231220	1562 CRIMSON LN		07/31/2023	
		Comments1: JOSEPH JAMES					
JP	-----	002-REI REINSPECTION					07/31/2023
GH	11:30	001-PHF POST HOLE - FENCE	20231221	532 WINDETT RIDGE RD	171		07/13/2023
		Comments1: JAZLYN 224-220-1042					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231222	903 MCHUGH RD			07/17/2023
		Comments1: STEPHANIE 224-324-9271					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231223	1405 ASPEN LN	92		07/14/2023
		Comments1: JUAN 773-485-9236					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231224	565 W BARBERRY CIR			07/21/2023
		Comments1: JOSH--TITAN					
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W	20231228	308 N BRIDGE ST			07/17/2023
		Comments1: O'DANNY BOY					
JP	09:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231229	762 ARROWHEAD DR	15		07/27/2023
		Comments1: JUSTIN / ABC 331-203-3914 *****NEEDS T					
		Comments2: O PAY REI FEE BEFORE RESCEDULING ON ARRI					
		Comments3: VAL FOR INSPECTION, NO CREW PRESENT AND					
		Comments4: JOB NOT CANCELLED - FAIL					
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W	20231231	219 DICKSON CT	24		07/17/2023
		Comments1: O'DANNY BOY					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20231233	2112 NORTHLAND LN	82		07/18/2023
		Comments1: A&B EXTERIORS -- 815-786-3100					
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W	20231236	761 OMAHA DR	16		07/18/2023
		Comments1: TTLC					
JP	11:00	001-PHF POST HOLE - FENCE	20231239	1313 WILLOW WAY			07/31/2023
		Comments1: NORTHWEST CEDAR -- 815-836-8731					
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W	20231242	302 BLAINE ST	5		07/19/2023
		Comments1: KAREN 630-264-1533					
GH	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231243	4484 SARASOTA AVE	1039		07/18/2023
		Comments1: REUBEN					
JP	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231252	3246 BOOMBAH BLVD	139		07/18/2023
		Comments1: PORTER 815-993-0116					
JP	-----	002-FIN FINAL INSPECTION					07/24/2023
		Comments1: ROOF FINAL					
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W	20231259	2824 OWEN CT	173		07/24/2023
		Comments1: ALL IN ONE					
JP	11:30	001-ROF ROOF UNDERLAYMENT ICE & W	20231264	2401 ANNA MARIA LN	703		07/18/2023
		Comments1: 630-742-5736					
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W	20231265	2847 KETCHUM CT	220		07/25/2023
BC	----- PM	001-PPS PRE-POUR, SLAB ON GRADE	20231266	506 HEUSTIS ST			07/18/2023
		Comments1: GARAGE -- SERGIO					
JP	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231267	3228 BOOMBAH BLVD	137		07/21/2023
		Comments1: ACE					
JP	----- PM	001-PHD POST HOLE - DECK	20231270	502 WINDETT RIDGE RD	175		07/28/2023
		Comments1: CHRIS 630-330-8038					
JP	----- PM	002-PPS PRE-POUR, SLAB ON GRADE					07/28/2023
		Comments1: PATIO 630-330-8038 CHRIS					
GH	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231273	2511 EMERALD LN			07/27/2023
		Comments1: JOSEPH JAMES					
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W	20231276	365 SHADOW WOOD DR	123	07/27/2023	
BC	-----	001-RFR ROUGH FRAMING	20231281	371 GARDEN CIR	13		07/20/2023
		Comments1: STAIRS					

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231304	632 BIRCHWOOD DR	150		07/21/2023
		Comments1: REUBEN					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231321	305 E KENDALL DR	24		07/24/2023
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20231322	149 CLAREMONT CT	27		07/26/2023
		Comments1: TOP QUALITY RAMON 630-808-9302					
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20231325	2458 WYTHE PL	13		07/21/2023
		Comments1: JOHN RIZZO 630-301-9550					
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20231328	622 SUTTON ST	163		07/24/2023
		Comments1: JOHN 630-301-9550					
BC	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE	20231331	1162 CODY CT	16		07/25/2023
		Comments1: PAD FOR HOT TUB SONIA 630-551-2561					
BC	_____ AM	002-PH POST HOLES / PILES					07/25/2023
		Comments1: GAZEBO, SONIA 630-551-2561					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231332	4449 E MILLBROOK CIR	226		07/27/2023
		Comments1: LIV 630-631-7556					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231333	601 OMAHA DR	8		07/31/2023
JP	11:00	001-PHF POST HOLE - FENCE	20231335	1887 WALSH DR	48		07/28/2023
		Comments1: CEDAR MOUNTAIN					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231342	831 HALEY CT	110	07/27/2023	
		Comments1: REUBEN CANCELED					
JP	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231352	853 PRAIRIE CROSSING DR	173		07/24/2023
PR	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20231355	425 WINTERBERRY DR	108		07/31/2023
JP	09:30	001-ROF ROOF UNDERLAYMENT ICE & W	20231362	328 DRAYTON CT	50		07/25/2023
		Comments1: MARCU 630-248-0918					
JP	09:30	002-ROF ROOF UNDERLAYMENT ICE & W				07/26/2023	
JP	09:00	003-ROF ROOF UNDERLAYMENT ICE & W					07/27/2023
		Comments1: INSP 2 WAS RAINED OUT, ONLY 2 INSP CONDU					
		Comments2: CTED					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231369	310 E VAN EMMON ST		07/31/2023	
		Comments1: ADVANCED ROOFING					
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231387	1095 AUBURN DR	92		07/31/2023
		Comments1: REUBEN					

DATE: 08/01/2023  
TIME: 08:08:15  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE	
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W	20231395	2332 HOBBS LN	141		07/25/2023	
		Comments1: PERMIT APPLIED FOR, BUT FEE NOT PAID. NO						
		Comments2: T ISSUED. CONTRACTOR PAID FEE, I&W INSP						
		Comments3: TOOK PLACE						
JP	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20231401	1281 CLEARWATER DR	210		07/31/2023	
		Comments1: REUBEN						
JP	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20231415	2508 SUMAC DR	61		07/31/2023	
		Comments1: KEN						
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W	20231416	605 TERI LN		07/28/2023		
		Comments1: 630-885-1008 KENNY ALL STORM SOLUTIONS -						
		Comments2: - CANCELED--						
JP	-----	001-ROF ROOF UNDERLAYMENT ICE & W	20231451	1736 JOHN ST	180		07/31/2023	
		Comments1: ASHLEY, RE-ROOF COMPLETED PRIOR TO THIS						
		Comments2: DATE W/O INSPECTION. UNABLE TO PERFORM I						
		Comments3: &W INSP. FAIL						

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
-----							
PERMIT TYPE SUMMARY:		ADD ADDITION				11	
		AGP ABOVE-GROUND POOL				9	
		BDO COMMERCIAL BUILD-OUT				19	
		BSM BASEMENT REMODEL				13	
		CCO COMMERCIAL OCCUPANCY PERMIT				1	
		COM COMMERCIAL BUILDING				4	
		CON CONCRETE PAD				1	
		CRM COMMERCIAL REMODEL				4	
		DCK DECK				26	
		DML DEMOLITION				1	
		DRV DRIVEWAY				4	
		ESN ELECTRIC SIGN				1	
		FNC FENCE				26	
		FOU FOUNDATION				1	
		GAZ GAZEBO				1	
		HVC HVAC UNIT/S				1	
		IGP IN-GROUND POOL				5	
		MSC MISCELLANEOUS				2	
		P&W PATIO AND SERVICE WALK				1	
		PTO PATIO / PAVERS				16	
		PVR PAVER				2	
		REM REMODEL				9	
		ROF ROOFING				168	
		RS ROOFING & SIDING				5	
		SFA SINGLE-FAMILY ATTACHED				302	
		SFD SINGLE-FAMILY DETACHED				469	
		SGN SIGN				2	
		SHD SHED/ACCESSORY BUILDING				1	
		SOL SOLAR PANELS				18	
		WIN WINDOW REPLACEMENT				2	
INSPECTION SUMMARY:		ADA ADA ACCESSIBLE WALK WAY				2	
		BG BASEMENT AND GARAGE FLOOR				13	
		BGS BASEMENT GARAGE STOOPS				3	
		BKF BACKFILL				25	
		BND POOL BONDING				5	
		BSM BASEMENT FLOOR				13	
		DMW DEMISING WALL				5	
		EDA ENGINEERING - DRIVEWAY APRON				1	
		EFL ENGINEERING - FINAL INSPECTION				50	
		ELS ELECTRIC SERVICE				4	
		ELU ELECTRICAL - UNDERSLAB				8	
		EPW ENGINEERING- PUBLIC WALK				5	
		ESW ENGINEERING - SEWER / WATER				23	
		FEL FINAL ELECTRIC				54	
		FIN FINAL INSPECTION				96	
		FMC FINAL MECHANICAL				44	

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
		FME FINAL MECHANICAL				2	
		FOU FOUNDATION				36	
		FTG FOOTING				36	
		GAR GARAGE FLOOR				24	
		GPL GREEN PLATE INSPECTION				22	
		INS INSULATION				42	
		OCC OCCUPANCY INSPECTION				4	
		PH POST HOLES / PILES				1	
		PHD POST HOLE - DECK				11	
		PHF POST HOLE - FENCE				20	
		PLF PLUMBING - FINAL OSR READY				46	
		PLR PLUMBING - ROUGH				44	
		PLU PLUMBING - UNDERSLAB				45	
		PPS PRE-POUR, SLAB ON GRADE				41	
		PTO PREPOUR BASE FOR PATIO				1	
		REI REINSPECTION				41	
		REL ROUGH ELECTRICAL				38	
		RFR ROUGH FRAMING				47	
		RMC ROUGH MECHANICAL				36	
		ROF ROOF UNDERLAYMENT ICE & WATER				150	
		RST FIRE OR DRAFT STOPPING				11	
		STP STOOP				20	
		TRN TRENCH - (GAS, ELECTRIC, ETC)				4	
		WAT WATER				6	
		WK SERVICE WALK				30	
		WKS PUBLIC & SERVICE WALKS				16	

INSPECTOR SUMMARY:

						1	
BC		BOB CREADEUR				206	
BF		B&F INSPECTOR CODE SERVICE				187	
ED		ERIC DHUSE				45	
GH		GINA HASTINGS				256	
JB		JON BAUER				13	
JP		JOHN PETRAGALLO				203	
PBF		PLUMBER				152	
PR		PETER RATOS				62	

STATUS SUMMARY:

C	BC					35	
C	BF					62	
C	ED					27	
C	GH					21	
C	JB					11	
C	JP					31	
C	PBF					20	
C	PR					11	
I						1	

DATE: 08/01/2023  
TIME: 08:08:15  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 07/01/2023 TO 07/31/2023

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
		I	BC		169		
		I	BF		122		
		I	ED		16		
		I	GH		235		
		I	JB		1		
		I	JP		172		
		I	PBF		131		
		I	PR		51		
		T	BC		2		
		T	BF		3		
		T	ED		2		
		T	JB		1		
		T	PBF		1		

REPORT SUMMARY:

1,125



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #3

Tracking Number

EDC 2023-33

### Agenda Item Summary Memo

**Title:** Property Maintenance Reports for May – July 2023

**Meeting and Date:** Economic Development Committee – September 5, 2023

**Synopsis:** \_\_\_\_\_  
\_\_\_\_\_

#### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Informational

**Council Action Requested:** None

**Submitted by:** Pete Ratos Community Development  
Name Department

#### Agenda Item Notes:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# Memorandum

To: Economic Development Committee  
From: Pete Ratos, Code Official  
CC: Bart Olson, Krysti Barksdale-Noble, Jori Behland  
Date June 1, 2023  
Subject: May Property Maintenance

---

## Property Maintenance Report May 2023

There was 1 case heard in May 2023.

**5/1/2023**

N 3716

1602 N Bridge St

Permits Required

Liabe \$3,500



# Case Report

05/01/2023 - 05/31/2023

Case #	Case Date	ADDRESS OF COMPLAINT	TYPE OF VIOLATION	STATUS	VIOLATION LETTER SENT	FOLLOW UP STATUS	CITATION ISSUED	DATE OF HEARING	POSTED	FINDINGS	PUBLIC WORKS TO MOW
20230107	5/31/2023	105 N CONOVER CT	NO PERMIT	CLOSED		COMPLIANT					
20230105	5/30/2023	1336 E SPRING ST	WORKING WITHOUT PERMIT	CLOSED		COMPLIANT					
20230104	5/25/2023	S/E Corner of Rt 34/Sycamore Rd	Grass/Weeds Height	CLOSED		COMPLIANT					
20230103	5/25/2023	2858 Old Glory	Grass/Weeds Height	IN VIOLATION							
20230102	5/25/2023	107 E Orange	Dead Tree	CLOSED		COMPLIANT					
20230101	5/23/2023	1231 Clearwater Dr	Grass/Weeds Height	CLOSED		COMPLIANT					
20230100	5/23/2023	522 Windett Ridge	Grass/Weeds Height	CLOSED		COMPLIANT					
20230099	5/23/2023	905 Stony Creek	Grass/Weeds Height								
20230098	5/23/2023	212 Windham Cir	Grass/Weeds Height	CLOSED		COMPLIANT					
20230097	5/18/2023	301 Jackson St	Grass/Weeds Height	CLOSED		COMPLIANT					
20230096	5/18/2023	2465 Justice Ct	Grass/Weeds Height	CLOSED		COMPLIANT					
20230095	5/18/2023	322 Sutton	Grass/Weeds Height	CLOSED		COMPLIANT					
20230094	5/18/2023	256 Walsh Dr	Permit Required	IN VIOLATION							
20230093	5/17/2023	2094 Grande Trail	Roof Covering Requirements	IN VIOLATION							
20230092	5/17/2023	758 Hayden	Encroachment of Landscaping	COMPLIANT							
20230091	5/17/2023	1222 Marketplace Drive	Grass/Weeds Height	CLOSED		COMPLIANT					
20230090	5/17/2023	212 E Somonauk St	Grass/Weeds Height	CLOSED		COMPLIANT					
20230089	5/16/2023	216A Hillcrest	Grass/Weeds Height	CLOSED		COMPLIANT					
20230088	5/16/2023	807 Adrian St	Grass/Weeds Height	CLOSED		COMPLIANT					
20230087	5/16/2023	3195 Longview	Grass/Weeds Height	CLOSED		COMPLIANT					
20230086	5/16/2023	2450 Sage Ct	Grass/Weeds Height	CLOSED		COMPLIANT					
20230085	5/11/2023	307 Liberty St	Fencing Standards	CLOSED		COMPLIANT					
20230083	5/11/2023	2205 Lavender Way	Grass/Weeds Height	CLOSED		COMPLIANT					
20230082	5/10/2023	102 W Fox	Grass/Weeds Height	CLOSED		COMPLIANT					
20230081	5/10/2023	1085 Auburn	Grass/Weeds Height	CLOSED		COMPLIANT					
20230080	5/8/2023	1155 N Bridge St; Yorkville	Noxious Odor	CLOSED		COMPLIANT					
20230079	5/8/2023	507 W Madison Ct	Garbage/Junk	CLOSED		COMPLIANT					
20230078	5/8/2023	555 Bluestem	Nuisance Issues	CLOSED			5/19/2023	6/19/2023	5/9/2023	IN VIOLATION	yes
20230077	5/8/2023	407 Adams	Exterior Structure Issues	TO BE INSPECTED							
20230076	5/8/2023	102 Blackberry Ln	Junk/Refuse/Illegal Parking	COMPLIANT							
20230075	5/8/2023	229 B Hillcrest	Grass/Weeds Height	CLOSED		COMPLIANT					
20230074	5/5/2023	511 Madison Ct	Refuse	CLOSED		COMPLIANT					
20230073	5/5/2023	4536 Gardiner	Garbage/Debris	CLOSED		COMPLIANT					
20230072	5/5/2023	300 Blk Pensacola St	Traffic Issue	CLOSED							
20230071	5/3/2023	710 Heustis St	Junk/Debris	CLOSED		COMPLIANT					
20230070	5/3/2023	404 Meadow Rose Ln	Permit Required	CLOSED		COMPLIANT					

Total Records: 36

7/25/2023



# Memorandum

To: Economic Development Committee  
From: Pete Ratos, Code Official  
CC: Bart Olson, Krysti Barksdale-Noble, Jori Behland  
Date July 3, 2023  
Subject: June Property Maintenance

---

## Property Maintenance Report June 2023

There was 1 case heard in June 2023.

**6/19/2023**

N 3717

555 Bluestem Dr

Certain Weeds

Liabe \$500



# Case Report

06/01/2023 - 06/30/2023

Case #	Case Date	ADDRESS OF COMPLAINT	TYPE OF VIOLATION	STATUS	VIOLATION LETTER SENT	FOLLOW UP STATUS	CITATION ISSUED	DATE OF HEARING	POSTED	FINDINGS	PUBLIC WORKS TO MOW
20230176	6/29/2023	4432 TAMPA	Watering Outside of Allowed Hours	CLOSED							
20230175	6/29/2023	1406 Aspen	Grass/Weeds Height	CLOSED		COMPLIANT					
20230174	6/26/2023	4432 TAMPA	WATERING RESTRICTIONS	CLOSED		COMPLIANT					
20230173	6/23/2023	3168 Boombah	Watering Restrictions	CLOSED		COMPLIANT					
20230172	6/23/2023	2288 Fairfax	Watering Restrictions	CLOSED		COMPLIANT					
20230171	6/22/2023	1222 Marketplace Dr	Grass/Weeds Height	CLOSED		COMPLIANT					
20230170	6/22/2023	3028 GRANDE TRAIL	WATERING RESTRICTIONS	CLOSED		COMPLIANT					
20230169	6/22/2023	3340 SEELEY ST	WATERING RESTRICTIONS	CLOSED		COMPLIANT					
20230168	6/22/2023	501 Parkside Ln	Watering Outside of Allowed Hours	CLOSED		COMPLIANT					
20230167	6/22/2023	432 Windett Ridge	Commencing Work Without Permit - Pool	CLOSED		COMPLIANT					
20230166	6/22/2023	432 Windett Ridge	Commencing Work Without Permit - Fence	CLOSED		COMPLIANT					
20230165	6/22/2023	3138 Boombah	Watering Restrictions	CLOSED		COMPLIANT					
20230164	6/21/2023	2222 FAIRFAX	WATERING RESTRICTIONS	CLOSED		COMPLIANT					
20230163	6/21/2023	502 ASHWORTH	WATERING RESTRICTIONS	CLOSED		COMPLIANT					
20230161	6/21/2023	3025 MCLELLAN	WATERING RESTRICTIONS	CLOSED		COMPLIANT					
20230160	6/21/2023	3425 RYAN CT	WATERING RESTRICTIONS	CLOSED		COMPLIANT					
20230159	6/21/2023	1294 MISTWOOD CT	WATERING RESTRICTIONS	CLOSED		COMPLIANT					
20230158	6/21/2023	2349 Fairfield	Watering Restrictions	CLOSED		COMPLIANT					
20230157	6/21/2023	2088 Country Hills	Watering Restrictions	IN VIOLATION			6/21/2023	7/31/2023			
20230156	6/21/2023	201 Garden	Permit Required - Backyard Chickens	CLOSED		COMPLIANT					
20230155	6/21/2023	455 Parkside	Watering Restrictions	CLOSED		COMPLIANT					
20230154	6/21/2023	521 Ashworth	Watering Restrictions	CLOSED		COMPLIANT					
20230153	6/20/2023	504 Poplar Dr	Watering Outside of Allowed Hours	CLOSED		COMPLIANT					

20230152	6/20/2023	376 Windham Cir	Watering Outside of Allowed Hours	CLOSED		COMPLIANT					
20230151	6/20/2023	238 Windham Cir	Watering Outside of Allowed Hours	CLOSED		COMPLIANT					
20230150	6/20/2023	2674 Patriot Ct	Watering Outside of Allowed Hours	CLOSED		COMPLIANT					
20230149	6/20/2023	2068 Squire Cir	Watering Outside of Allowed Hours	CLOSED		COMPLIANT					
20230148	6/20/2023	2066 Squire Cir	Watering Outside of Allowed Hours	CLOSED		COMPLIANT					
20230147	6/16/2023	3093 Grande Trail	Watering Restrictions	CLOSED		COMPLIANT					
20230146	6/16/2023	2222 Fairfax	Watering Restriction	CLOSED		COMPLIANT					
20230145	6/16/2023	502 Ashworth	Watering Restrictions	CLOSED		COMPLIANT					
20230144	6/16/2023	1207 Evergreen Ln	Commencing Work W/O Permit	IN VIOLATION							
20230143	6/16/2023	1206 Evergreen Ln	Commencing Work W/O Permit	IN VIOLATION	6/23/2023						
20230142	6/16/2023	246 Walsh Cir	Obstructing Public Way - Dumping in Roadway	CLOSED		COMPLIANT					
20230141	6/16/2023	246 Walsh Cir	Commencing Work W/O Permit	CLOSED		COMPLIANT					
20230140	6/16/2023	2349 Fairfield Ave	Watering Restrictions	CLOSED		COMPLIANT					
20230139	6/15/2023	1901-1965 Bridge St	Dead Tree	IN VIOLATION							
20230138	6/15/2023	Caledonia Subdivision	Construction Noise	CLOSED		COMPLIANT					
20230137	6/15/2023	1983 Prairie Rose	Debris in Parkway	CLOSED		COMPLIANT					
20230136	6/15/2023	3124 Matlock	Watering Restrictions	CLOSED		COMPLIANT					
20230135	6/14/2023	2928 Old Glory Dr	Watering Outside of Allowed Hours	CLOSED		COMPLIANT					
20230134	6/14/2023	1538 Sienna Dr	Watering Restrictions	CLOSED		COMPLIANT					
20230133	6/13/2023	15 Cannonball Trail	Sight-Line Violation	CLOSED		COMPLIANT					
20230132	6/13/2023	502 W Kendall	Dead Tree	CLOSED		COMPLIANT					
20230131	6/7/2023	Evans Court	Construction Debris	CLOSED		COMPLIANT					
20230130	6/7/2023	968 & 972 Hayden Dr	Weeds	CLOSED		COMPLIANT					
20230129	6/7/2023	1443 Ruby Dr	Potential Tampering with City Water	CLOSED		COMPLIANT					
20230128	6/6/2023	2954 Old Glory Dr	Watering Outside of Allowed Hours	CLOSED		COMPLIANT					
20230127	6/6/2023	2948 Old Glory Dr	Weed Height	CLOSED		COMPLIANT			6/7/2023		
20230126	6/6/2023	2962 Old Glory Ln	Dumping & Weed Height	TO BE INSPECTED							
20230125	6/5/2023	Bristol Bay	Lack of Silt Fencing/Protection of Storm Sewers	CLOSED		COMPLIANT					
20230124	6/5/2023	Rosenwinckel	Weed Height	CLOSED		COMPLIANT					
20230123	6/5/2023	Sutton St & Fairfax Way	Dumping - Fire Pit & Couch	DUPLICATE							
20230122	6/5/2023	Sutton St & Fairfax Way	Dumping - Fire Pit & Couch	CLOSED		COMPLIANT					

20230121	6/5/2023	504 Heustis St	Weed Height	CLOSED		COMPLIANT					
20230120	6/5/2023	Blackberry Shore & Cannonball Tr	Sight Line Obstruction	CLOSED		COMPLIANT					
20230119	6/2/2023	Heustis and Washington	Large Rock on Corner	CLOSED							
20230118	6/2/2023	502 Huestis St	Grass/Weed Height/Decaying Grass	CLOSED		COMPLIANT					
20230117	6/2/2023	2774 Goldenrod Drive	Weeds along Fence Line	CLOSED		COMPLIANT					
20230116	6/2/2023	328 Bertram Dr	Watering Outside of Allowed Hours	CLOSED		COMPLIANT					
20230115	6/2/2023	2397 Sumac Dr	Working without a Permit	IN VIOLATION							
20230114	6/2/2023	Gardiner Ave	Trash/Debris	CLOSED		COMPLIANT					
20230113	6/1/2023	508 Heustis St	Fallen Tree	CLOSED		COMPLIANT					
20230112	6/1/2023	Liberty Street Vacant lot/Behind 410 E	Grass/Weeds Height	CLOSED		COMPLIANT		6/1/2023		YES	
20230111	6/1/2023	103 E Main St	Debris	CLOSED	6/2/2023	COMPLIANT					
20230110	6/1/2023	983 S. Carly Cir	Grass/Weeds Height	CLOSED		COMPLIANT		6/1/2023			
20230109	6/1/2023	1023 S. Carly Cir	Grass/Weeds Height	CLOSED		COMPLIANT		6/1/2023			
20230108	6/1/2023	906 N. Carly Cir	Grass/Weeds Height	CLOSED		COMPLIANT		6/1/2023			

Total Records: 68

7/25/2023



# Memorandum

To: Economic Development Committee  
From: Pete Ratos, Code Official  
CC: Bart Olson, Krysti Barksdale-Noble, Jori Behland  
Date August 1, 2023  
Subject: July Property Maintenance

---

## Property Maintenance Report July 2023

There was 1 case heard in July 2023.

**7/31/2023**

N 6326

2088 Country Hills Dr

Water Conservation Ordinance Not Liable



# Case Report

07/01/2023 - 07/31/2023

Case #	Case Date	ADDRESS OF COMPLAINT	TYPE OF VIOLATION	STATUS	VIOLATION LETTER SENT	FOLLOW UP STATUS	CITATION ISSUED	DATE OF HEARING	POSTED	FINDINGS	PUBLIC WORKS TO MOW
20230204	7/31/2023	2726 Ellory Ct	Watering Outside of Allowed Hours	IN VIOLATION							
20230203	7/27/2023	501 Ashworth Ln	Watering Outside of Allowed Hours	IN VIOLATION							
20230202	7/27/2023	2682 SEELEY ST	WATERING RESTRICTIONS	IN VIOLATION							
20230201	7/27/2023	2781 BERRYWOOD LN	WATERING RESTRICTIONS	IN VIOLATION							
20230200	7/27/2023	2773 BERRYWOOD LN	WATERING RESTRICTIONS	IN VIOLATION							
20230199	7/27/2023	2769 BERRYWOOD	WATERING RESTRICTIONS	IN VIOLATION							
20230198	7/26/2023	256 Walsh Dr	Agricultural Animals - Turkeys	IN VIOLATION							
20230197	7/20/2023	506 W Madison	Drainage	CLOSED		COMPLIANT					
20230196	7/20/2023	710 Heustis	Blocking Public Way - Sidewalk	CLOSED		COMPLIANT					
20230195	7/19/2023	2093 SQUIRE CIRCLE	WATER RESTRICTIONS	CLOSED		COMPLIANT					
20230194	7/19/2023	706-708 S Bridge	Grass/Weeds Height	CLOSED		COMPLIANT					
20230193	7/19/2023	1253 Deerpath	Pool Safety	CLOSED		COMPLIANT					
20230192	7/14/2023	885 Auburn	Grass/Weeds Height	IN VIOLATION							
20230191	7/14/2023	713B Clover Ct	Grass/Weeds Height	CLOSED		COMPLIANT					
20230190	7/14/2023	208 W Van Emmon	Grass/Weeds Height	CLOSED		COMPLIANT					
20230189	7/14/2023	641 Windett Ridge	Watering Restrictions	CLOSED		COMPLIANT					
20230188	7/13/2023	2349 Fairfield Ave	Grass & Weeds	CLOSED		COMPLIANT					
20230187	7/12/2023	409A Elm St	Home Occupation/Kennel	CLOSED		COMPLIANT					
20230186	7/11/2023	2431 Anna Maria	Permit Required	CLOSED		COMPLIANT					
20230185	7/11/2023	Ryan Court	Littering	CLOSED		COMPLIANT					
20230184	7/10/2023	2382 Emerald Ln	Trash/Debris	CLOSED		COMPLIANT					
20230183	7/10/2023	2976 Old Glory Dr	Grass/Weeds Height	CLOSED		COMPLIANT					
20230182	7/6/2023	2962 Old Glory Dr	Grass/Weeds Height	IN VIOLATION							
20230181	7/6/2023	LOT 3 KENDALL MARKETPLACE LOT 52	Grass/Weeds Height	CLOSED		COMPLIANT					
20230180	7/6/2023	871 Purcell	Grass/Weeds Height	CLOSED		COMPLIANT					

20230179	7/6/2023	504 Heustis	Grass/Weeds Height	CLOSED		COMPLIANT					
20230178	7/6/2023	502 Heustis	Grass/Weeds Height	CLOSED		COMPLIANT					
20230177	7/5/2023	2002 Squire	Grass/Weeds Height	CLOSED		COMPLIANT					

Total Records: 28

8/1/2023



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #4

Tracking Number

EDC 2023-34

### Agenda Item Summary Memo

**Title:** Economic Development Reports for June – August 2023

**Meeting and Date:** Economic Development Committee – September 5, 2023

**Synopsis:** \_\_\_\_\_  
\_\_\_\_\_

#### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Informational

**Council Action Requested:** None

**Submitted by:** Bart Olson Administration  
Name Department

#### Agenda Item Notes:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



651 Prairie Pointe Drive • Yorkville, Illinois • 60560  
Phone 630-553-0843 • Mobile 630-209-7151

Monthly Report – August 2023 EDC Meeting of the United City of Yorkville

#### June and July 2023 Activity New Development:

- **EarthWise Pet and Groom Bar – 472 E Veterans Parkway:** Yorkville residents **Josh and Sarah Lopez**, are the local owners of EarthWise Pet and Groom Bar. They will occupy 3,635 square feet of this center, which is located immediately east of Chipotle. EarthWise Pet promotes wellness by offering only high-quality foods and products. The passionate nutrition team at EarthWise Pet ensures that pet parents can feel good about any product they pick from their shelves. Their Certified Pet Dietitians will be available to advise customers on their pet's specific nutrition needs. Private self-wash rooms will be available, and the in-store Groom Bar Spa will pamper pups. **Josh and Sarah** look forward to serving the pets in our community because, after all, pets are family. They plan to open in October 2023.
- **Steps for Kids - 507 W. Kendall Drive, Suite 4 – Yorkville Medical Building:** **Debra Johnson**, owner of Steps for Kids, opened her business in Yorkville in 2010 in 1,800 square feet at 1555 Sycamore, in the Fox Hill Center. She expanded in 2018 at the Fox Hill Center to 3,300 square feet with a move to 1581 Sycamore. Debra's business has seen steady growth, and she has relocated and expanded her business to the Yorkville Medical building, as of July 1<sup>st</sup>, 2023. Steps for Kids now operates from 4,875 square feet, in the new location. Steps for Kids, began with one employee, Debra herself. They now have 6 full-time employees, and 5 part-time employees, and are proud to offer a full benefit package for full-time, and professional development benefits for part-time employees. Currently, Steps for Kids is actively recruiting for 3 more full time positions. This business offers direct therapy services such as occupational, physical, speech, and feeding, as well as counseling services. Debra worked **Harriett Parker** from **Waubonsee's SBDC** <https://www.waubonseeSBDC>, and **Bill Papp** from **The Fox Valley Entrepreneurship Center** <https://www.fvec.org> on an ongoing basis, during the growth of her business.
- **Flame Kabob Grill – 1411 Cannonball Trail - Town Crossing Plaza:** This new business opened on July 16<sup>th</sup>, 2023. This space was formerly the home to Jay's Seafood. "Flame Kabob" is new ownership, and they offer various kabob plates and bowls, gyros, burgers and other options. They have opened to great reviews.
- **Fox Valley Occupational Health – 54 W. Countryside Pkwy, Suite D:** **Jason Sterchi** has opened a new business within his existing chiropractic clinic. Through this new business, Jason now offers DOT Physicals, Drug Testing, Pre-Employment Services, DNA Testing, and Alcohol Testing.
- **QuikTrip – Located at the northeast corner of Routes 47 and 71:** This is the new developer/business who has this property under contract. While the property has been rezoned to B3, QuikTrip is beginning the process to have their site plan, and "special use" approved. QuikTrip is new to Illinois, but NOT a new company. It is a privately held company that was founded in 1958 and is based in Tulsa, Oklahoma. QuikTrip has grown to more than a \$11 billion company, with more than 900 stores in 14 states. They have over 24,000 employees nationwide. Opening of Yorkville's QuikTrip is slotted for summer of 2024.

#### June and July 2023 Previously Reported Updates:

- **Ice Cream Place – 1439 Cannonball Trail – Town Crossing Plaza:** Owner **Areli Perez** has decided to expand her business. This business currently operates in 1,500 square feet. They will be expanding into the 1,050 square feet space immediately adjacent to the north. They are creating a party room, and will offer new ice cream selections. The space is anticipated to open in August 2023.
- **Behavioral Perspective Therapy 'BPI' – 1427 Cannonball Trail - Town Crossing Plaza:** BPI provides services for children with autism and special abilities including ABA Therapy. They are leasing 3,000 square feet, and plan to open in August of 2023. BPI has served the Kendall County area since 2014, and has 7 locations in Illinois
- **Little Loaf Bakehouse – 101 Center Street:** Yorkville resident and 2014 YHS Graduate **Bailey Knapp**, is opening Little Loaf Bakehouse at 101 W. Center Street, later this summer. Little Loaf Bakehouse will be an upscale French/ American bakehouse with the focus on pastries and coffee for the morning rush, and eventually offering a small plate menu for lunch and dinner. Cocktails will be available, and items will be offered for carry out or dine in. They will also offer pre-ordering for large orders of pastries or for cakes and breads, and wholesale prices will be offered to businesses who have standing accounts. Opening is targeted for late summer 2023.
- **Scooter's Coffee - 28 E. Schoolhouse - Cozy Corner Development (SE corner of Route 47 & Route 126):** Construction is nearly completed. John, Jason and Hope Huff (J&J Investments) purchased the property in Dec 2022. This family has extensive experience in building and developing, and their company the "Midwest Brew Crew". The goal is to have the new location open in September 2023. Hiring has begun for this new location.
- **Fox Valley Orthopedics – 1500 Sycamore Road:** FVO has begun interior construction of 11,600 square feet of space at 1500 Sycamore Road. This space has never been occupied, since the building was originally built in the mid 2000's. Fox Valley Orthopedics is dedicated to the communities they serve, and are eager to bring this full-service orthopedic practice to Yorkville. Their goal is to be open in late 2023.
- **The VAULT: 220 S Bridge Street – Downtown Yorkville:** This former home to Paradise Cove, is going through a major transformation to become a new dining establishment called "The Vault". Yorkville restaurateurs and owners **Denise & Mike Siddon**, are developing a new concept at the location. Opening is planned for summer 2023. Additional information will be forthcoming.
- **Station One Smokehouse – 524 E. Kendall – Kendall Crossing:** Family-owned, family-friendly, central Texas-style barbecue restaurant will open at Kendall Crossing. Construction is well underway. There are two additions that are being built onto the building, at this time. The 700 square foot east addition, is being built to house the smokers for the business. The 1,500 square foot west addition, and will become a "three seasons room" for customer seating. The opening will take place in late summer 2023. Learn more about award winning Station One Smokehouse at [www.stationonesmokehouse.com](http://www.stationonesmokehouse.com)
- **Gerber Collison & Glass - 1203 N. Bridge Street:** Gerber has submitted necessary plans and has applied for the permits to demo the existing building, and build an entirely new facility. It will take approximately 10 months to complete the project. Opening is planned for summer 2024.
- **Fox Republic Brewing – 101 W. Hydraulic - Riverside Plaza - Downtown Yorkville:** opened on July 18<sup>th</sup>, 2023.
- **Continue working with a variety of other potential business owners.** There are a variety of parties doing due diligence on space to lease and buildings and land to purchase. Information will be forthcoming.

Respectfully submitted,  
Lynn Dubajic Kellogg  
651 Prairie Pointe Drive  
Yorkville, IL 60560  
[lynn@dkllc.com](mailto:lynn@dkllc.com)  
630-209-7151 cell



651 Prairie Pointe Drive • Yorkville, Illinois • 60560  
Phone 630-209-7151

Monthly Report – September 2023 EDC Meeting of the United City of Yorkville

**August 2023 Activity New Development:**

- **Gilded Permanent Jewelry Studio – 54 W. Countryside Parkway:** Kaitlyn Johnson, Yorkville High School graduate Class of 2010, has opened a location within “Mod Stitch Co”. Permanent jewelry is clasplless, waterproof, long-lasting, low maintenance, and custom fitted to your body. These bracelets, anklets and necklaces are painlessly welded together. Birthstones and charms are also available. Kaitlyn offers appointments at her studio, through her website. <http://gildedpermanentjewelry.as.me>
- **Parkview Christian Academy – 7481 Mill Road:** Parkview is opening a new primary center this fall. It will house pre-K through first grade. There will be 12 classrooms, and 25 acres of land. This building was formerly “Loving Arms Childcare Center”. Parkview’s other locations are their “Lower Campus” which is located at 201 Center Street, and serves 2<sup>nd</sup> through 6<sup>th</sup> grades; and their “Upper Campus” which is located at 202 E. Countryside, and serves 7<sup>th</sup> through 12<sup>th</sup> grades.
- **Salon Mudita – 111 W. Madison – Downtown Yorkville:** Yorkville’s newest salon, with a vintage retro theme, will open on September 1<sup>st</sup>. Owner, Monique Koehler, is opening a full-service salon, and will also offer extensions, facial waxing and formal styling. Monique has 10+ years of experience in the industry, and will also be teaching at Hair Professionals Career College in Oswego this year. The salon will offer appointments Tuesday through Saturday. The word “mudita” means “the joy you feel when others are happy”, and that is how the stylist feels when their clients are happy after a service. Additional information and appointments are available, through the website <http://salonmudita.glossgenius.com>
- **The Giovanna Group - Keller Williams Infinity – 105 E. Spring Street:** Owner Giovanna Schmieder has opened a new full-service real estate office providing services for buyers, sellers, rentals, retirement, investment and commercial properties. The office is open 7 days a week from 9AM to 5PM, and is always available by appointment.
- **Automotive Mechanic Shop – Lot 1 Fountain Village – Eleno Silva,** the owner of Martini Banquets, has purchased the lot immediately south of Ground Effects on Route 47. He is building a new single tenant 5,800 square foot building that will be the home to an auto mechanic shop. The name of the business will be disclosed at a late time. Construction will begin shortly, and the business will open in 2024.

**August 2023 Previously Reported Updates:**

- **EarthWise Pet and Groom Bar – 472 E Veterans Parkway:** Yorkville residents **Josh and Sarah Lopez**, are the local owners of EarthWise Pet and Groom Bar. They will occupy 3,635 square feet of this center, which is located immediately east of Chipotle. EarthWise Pet promotes wellness by offering only high-quality foods and products. The passionate nutrition team at EarthWise Pet ensures that pet parents can feel good about any product they pick from their shelves. Their Certified Pet Dietitians will be available to advise customers on their pet’s specific nutrition needs. Private self-wash rooms will be available, and the in-store Groom Bar Spa will pamper pups. **Josh and Sarah** look forward to serving the pets in our community because, after all, pets are family. They plan to open in October 2023.
- **Ice Cream Place – 1439 Cannonball Trail – Town Crossing Plaza:** Owner **Areli Perez** has decided to expand her business. This business currently operates in 1,500 square feet. They will be expanding into the 1,050 square feet space immediately adjacent to the north. They are creating a party room, and will offer new ice cream selections. The space is anticipated to open in late summer 2023.
- **Behavioral Perspective Therapy ‘BPI’– 1427 Cannonball Trail - Town Crossing Plaza:** BPI provides services for children with autism and special abilities including ABA Therapy. They are leasing 3,000 square feet, opened on August 14<sup>th</sup>, 2023. BPI has served the Kendall County area since 2014, and has 7 locations in Illinois.
- **Little Loaf Bakehouse – 101 Center Street:** Yorkville resident and 2014 YHS Graduate **Bailey Knapp**, is opening Little Loaf Bakehouse at 101 W. Center Street, later this summer. Little Loaf Bakehouse will be an upscale French/ American bakehouse with the focus on pastries and coffee for the morning rush, and eventually offering a small plate menu for lunch and dinner. Cocktails will be available, and items will be offered for carry out or dine in. They will also offer pre-ordering for large orders of pastries or for cakes and breads, and wholesale prices will be offered to businesses who have standing accounts. Opening is targeted for October 2023.
- **Scooter’s Coffee - 28 E. Schoolhouse - Cozy Corner Development (SE corner of Route 47 & Route 126):** Construction is nearly completed. John, Jason and Hope Huff (J&J Investments) purchased the property in Dec 2022. This family has extensive experience in building and developing, and their company the “Midwest Brew Crew”. The goal is to have the new location open in early September 2023. Hiring has begun for this new location.
- **Fox Valley Orthopedics – 1500 Sycamore Road:** FVO has begun interior construction of 11,600 square feet of space at 1500 Sycamore Road. This space has never been occupied, since the building was originally built in the mid 2000’s. Fox Valley Orthopedics is dedicated to the communities they serve, and are eager to bring this full-service orthopedic practice to Yorkville. Their goal is to be open in late 2023.
- **The VAULT: 220 S Bridge Street – Downtown Yorkville:** This former home to Paradise Cove, is going through a major transformation to become a new dining establishment called “The Vault”. Yorkville restaurateurs and owners **Denise & Mike Siddon**, are developing a new concept at the location. Opening is planned for September 2023. Hiring has begun for this new location.
- **Station One Smokehouse – 524 E. Kendall – Kendall Crossing:** Family-owned, family-friendly, central Texas-style barbecue restaurant will open at Kendall Crossing. Construction is well underway. There are two additions that are being built onto the building, at this time. The 700 square foot east addition, is being built to house the smokers for the business. The 1,500 square foot west addition, and will become a “three seasons room” for customer seating. The opening will take place in fall 2023. Learn more about award winning Station One Smokehouse at [www.stationonesmokehouse.com](http://www.stationonesmokehouse.com)
- **QuikTrip – Located at the northeast corner of Routes 47 and 71:** This is the new developer/business who has this property under contract. While the property has been rezoned to B3, QuikTrip is beginning the process to have their site plan, and “special use” approved. QuikTrip is new to Illinois, but NOT a new company. It is a privately held company that was founded in 1958 and is based in Tulsa, Oklahoma. QuikTrip has grown to more than an \$11 billion company, with more than 900 stores in 14 states. They have over 24,000 employees nationwide. Opening of Yorkville’s QuikTrip is slotted for summer of 2024
- **Gerber Collison & Glass - 1203 N. Bridge Street:** Gerber has submitted necessary plans and has applied for the permits to demo the existing building, and build an entirely new facility. It will take approximately 10 months to complete the project. Opening is planned for summer 2024. **Special thank you to “Gerber” for working with both BKFD (fire), and the Kendall County SRT Team (police). Both have been able to utilized the building prior to demo, for training.**
- **Continue working with a variety of other potential business owners.** There are a variety of parties doing due diligence on space to lease and buildings and land to purchase. Information will be forthcoming.

Respectfully submitted,  
Lynn Dubajic Kellogg  
651 Prairie Pointe Drive  
Yorkville, IL 60560  
[lynn@dlkllc.com](mailto:lynn@dlkllc.com)  
630-209-7151



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input checked="" type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #5

Tracking Number

EDC 2023-35

**Agenda Item Summary Memo**

**Title:** QuikTrip Convenience Store and Gas Station (Special Use)

**Meeting and Date:** Economic Development Committee – September 5, 2023

**Synopsis:** Proposed fuel station & convenience store development at the NEC of IL 47 & IL 71.

**Council Action Previously Taken:**

Date of Action: CC – 8/23/22 Action Taken: Approval of a Rezoning, Special Use & Sign Variance for Graham's

Item Number: PZC 2022-08 & EDC 2022-47

**Type of Vote Required:** Majority

**Council Action Requested:** Vote

**Submitted by:** Krysti J. Barksdale-Noble Community Development  
Name Department

**Agenda Item Notes:**

---

---

---

---

---

---



# Memorandum

To: Economic Development Committee  
 From: Krysti J. Barksdale-Noble, Community Development Director  
 CC: Bart Olson, City Administrator  
 Brad Sanderson, City Engineer, EEI  
 Date: August 22, 2023  
 Subject: **PZC 2023-08 QuikTrip Gasoline (Special Use)**  
 107 E. Stagecoach Trl. - Proposed New Fuel Station & Convenience Store

## SUMMARY:

The petitioner, Ali Bukhres, on behalf of QuikTrip Corporation, petitioner/contract purchaser, has filed an application with the United City of Yorkville, Kendall County, Illinois requesting special use permit authorization for a gasoline service station with accessory convenience store, pursuant to Section 10-6-0 of the Yorkville City Code. The real property consists of two (2) parcels totaling approximately 5.51 acres and is located at the northeast corner of State Route 47 (Bridge Street) and State Route 71 (Stagecoach Trail) intersection.

## PROPERTY INFORMATION:

This property is currently improved with various detached metal structures on a gravel foundation utilized for industrial/farming storage and truck related services, which will be demolished upon development of the fuel station, as illustrated in the aerial image to the right.

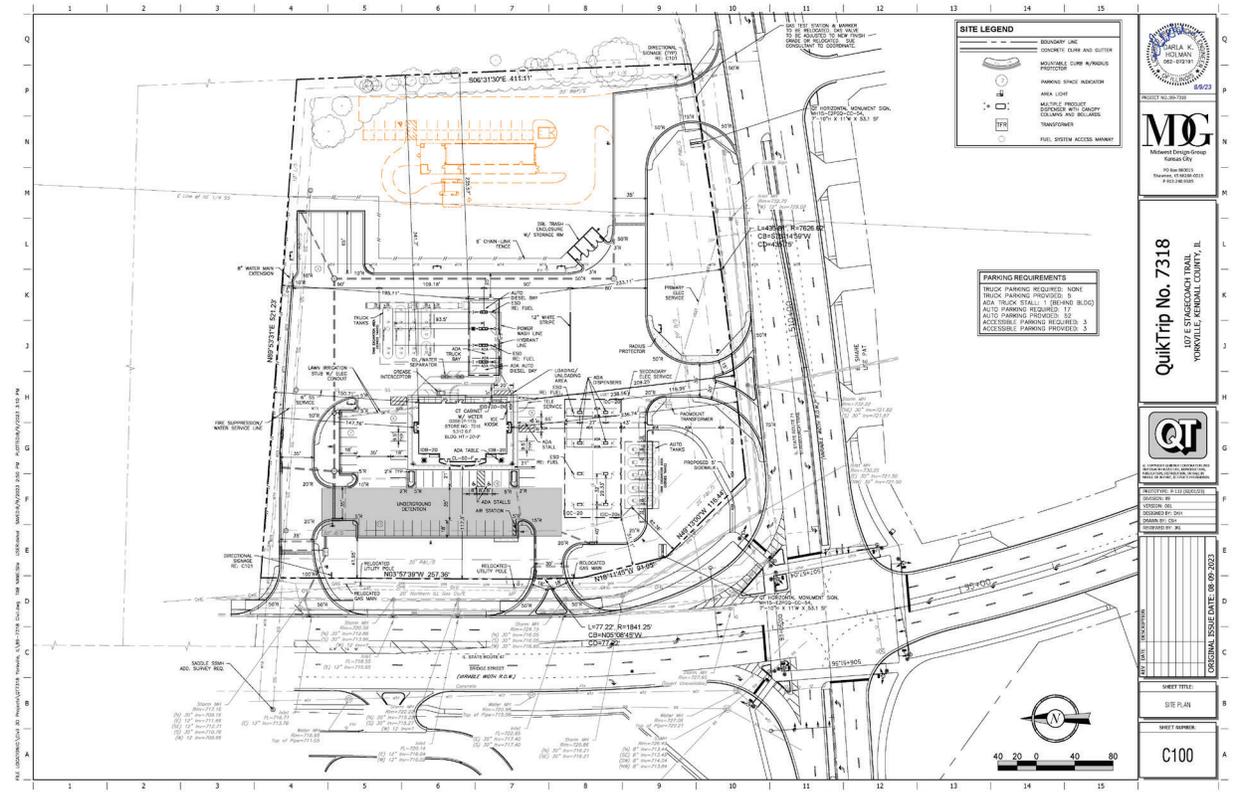
The property was recently rezoned from M-1 Manufacturing to B-3 General Business District as part of the former Graham's C Store Development proposal. The following table depicts the current immediate surrounding properties' zoning and land uses:



Zoning		Land Use
North	B3- SU (Unincorporated Kendall County)	Kendall County Highway Department
South	B-3 General Business District	Silver Dollar Restaurant All Season Motel Transportation Land Use (IL Route 71)
East	M-1 Limited Manufacturing District	Undeveloped Agricultural Land
West	B-3 Business District	Transportation Land Use (IL Route 47) Fountain Village Commercial Development

**PROJECT DESCRIPTION:**

The QuikTrip Corporation is an American based chain of convenience stores based in Tulsa, Oklahoma. With its recent expansion into the Chicagoland area, the property at 107 E. Stagecoach Trail will offer fuel for automobiles and commercial/industrial trucks, a retail store, and made-fresh-to-order food services. The fueling stations and an approximately 5,300 square foot convenience store will be located on the 4.28-acre parcel (PIN #05-05-400-050), abutting State Route 47 (Bridge Street) to the west and State Route 71 to the south. The second parcel (PIN 05-04-300-031), approximately 1.23-acres, is currently not proposed to be developed, but may be utilized in the future for a car wash facility. Required on-site detention for the site is proposed to be located underground, beneath the parking area.



**SITE PLAN:**

The proposed combined 5.51-acre site plan was reviewed by various City departments and outside agencies to ensure compliance with applicable ordinances, regulations, and standards with regard to building setbacks, parking/parking setbacks, circulation/access roads, stormwater management/utilities and signage. Below are the summaries of those reviews.

*Bulk Regulations*

The petitioner has depicted the following property’s building setback locations:

BUILDING SETBACK	REQUIRED MINIMUM	PROPOSED SETBACK
Interior Side Yard (North)	20 feet	+/- 150’ (C Store) +/- 190’ (Gas Pump Canopy)
Front Yard (West/IL 47)	50 feet	+/- 117’ (C Store)
Corner Side Yard (South/IL 71)	30 feet	+/- 236’ (C Store) +/- 62’ (Gas Pump Canopy)
Rear Yard (East)	20 feet	+/- 341’ (C Store) +/- 235’ (Gas Pump Canopy)

The maximum building height in the B-3 District is 80 feet. The overall height of the convenience store is approximately 20 feet to the top of the cornice and 16 feet to the top of the masonry. Per Section 10-2-3, building height is measured at the mean height between the eaves and ridge. The gas pump canopies have a maximum height of about 18 feet. The maximum lot coverage for the B-3 General Business District including all impervious surfaces is 80 percent. As stated on the site data table, the proposed impervious lot coverage for the gas station site is ~54% (2.9-acres or 129,462 sq. ft.). Therefore, the petitioner meets all bulk regulations according to the submitted materials. Upon future development of the car wash facility, verification will be made that it meets the maximum lot coverage, as well.

*Parking and Loading*

According to the data table on the Site Plans submitted, there are 52 total parking stalls provided for the convenience store, including three (3) ADA handicapped accessible space. Per Section 10-16-3 of the Yorkville Zoning Code, the total required minimum parking needed for the commercial convenience store is 17 spaces, which is exceeded by the 52 on-site spaces provided. The typical stall and drive aisle dimensions meet the minimum zoning standards.

Due to the overall gross floor area of the C-Store, the petitioner is not required to locate a loading berth as designated in Section 10-16-9. The petitioner has indicated most convenience store deliveries will occur via box trucks which can be easily accommodated onsite within an area to the rear of the building without interfering with onsite traffic and parking.

The petitioner meets the required parking lot setback of 20 feet from arterial roadways (IL Rte. 47 and IL Rte. 71), per Section 10-7-1 of the Zoning Ordinance, as indicated below:

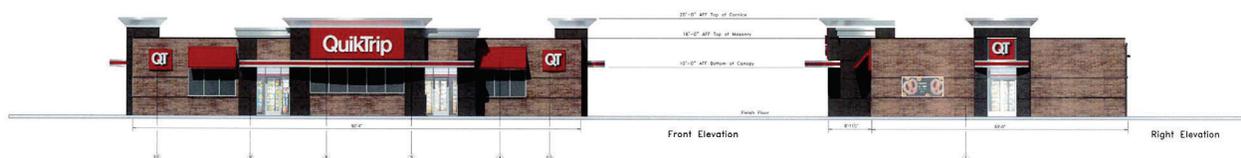
PARKING LOT SETBACK	REQUIRED MINIMUM	PROPOSED PARKING LOT SETBACK
IL Rte. 47 – West (Arterial)	20'	+/- 40'
IL Rte. 71- South (Arterial)	20'	+/- 120'

*Appearance Code*

The petitioner has submitted elevations and renderings which illustrate that the project will comply with the City’s Appearance Code (Section 8-15-5):

Criteria for Appearance of the City Code, new non-residential structures shall have at least fifty percent (50%) of the total building constructed of masonry products or precast concrete incorporated as follows:

- i. Front Façade: At least 50% shall incorporate masonry products or precast concrete.
- ii. Any other facade that abuts a street shall incorporate masonry products or precast concrete.





**Signage**

The petitioner has not provided elevations of proposed ground monument signage on the site plan but has indicated two (2) monument signs will be located on the site. One at the northeast corner of IL Rte. 47 & L Rte. 71 and another at the southeast corner of the site facing IL Rte. 71. However, the proposed overall heights of the signs are 7'-10" and overall sign area is approximately 53 square feet, which meets the current sign regulations.

**Driveways**

Per Section 10-16-3-D of the Yorkville Zoning Ordinance, nonresidential driveways shall be a minimum of two hundred feet (200') when from the driveway edge to the nearest intersecting street right of way line. The proposed driveways/access points meet this standard. However, Illinois Department of Transportation (IDOT) permits are needed for the connections to Illinois Routes 71 and 47. The City Engineer has requested to review the written comments from IDOT on the acceptance of the location of the entrances be provided by the petitioner.

**Lighting**

A photometric plan has been provided of the proposed light standards to be installed within the parking lot area. Maximum illumination at the property line shall not exceed 0.1 foot-candle and no glare shall spill onto adjacent properties or rights of way. Any lighting used to illuminate off-street parking areas shall be directed away from residential properties and public highways in such a way as not to create a nuisance. The City of Yorkville promotes the "dark sky" concept therefore, lighting fixtures should be full cutoff, and the use of wall packs on buildings should be minimized.

**Truck Turning Template**

A vehicle tracking template demonstrating the maneuverability of standard sized semitrucks within the site layout has been provided. The plans illustrate semitrucks adequately entering and existing the site from IL Routes 47 and 71 to access the diesel fuel pumps in the rear of the property. There does not appear to be any issues with semitruck and passenger vehicle conflicts, as additional semitruck parking is provided in the northeast corner of the site, away from the convenience store and gasoline pumps.

**Sidewalks/Share Paths**

Currently, no sidewalks are located along IL Rte. 47 and IL Rte. 71. All future sidewalks along IL Rte. 71 will occur as part of future IDOT roadway improvements. Additionally, a future shared path is proposed along IL Rte. 47 as part of IDOT roadway improvements. The petitioner will provide an asphalt path connection to the gas station development.

**COMPREHENSIVE PLAN:**

The 2016 Comprehensive Plan designates this for Destination Commercial (DC). This land use is designated for small to medium scale auto-oriented commercial uses, such as retail centers and restaurants located near residential areas. Additionally, this land use should have landscaping treatments between

front parking lots and rights-of-way as well as containing high quality signage which is scaled appropriately. Therefore, the proposed use is consistent with the designated future land use plan.

**ENGINEERING/LANDSCAPE PLAN REVIEW:**

The City Engineer has reviewed the plans and continues to work with the petitioner in updating the plans as comments are given. All requests made will be required as a condition of the special use request.

**STAFF COMMENTS:**

Staff is seeking input and comments from the Economic Development Committee. The proposed special use is scheduled for a public hearing on October 11, 2023 before the Planning and Zoning Commission (PZC). A recommendation will be forwarded to the City Council for consideration at the October 24, 2023 regularly scheduled meeting, if all requested materials are submitted and comments from the public and commissioners are addressed. Staff will be available to answer any question the Economic Development Committee may have at Tuesday night's meeting.

**ATTACHMENTS:**

1. Petitioner Application
2. Overall Site Plan prepared by Midwest Design Group, dated 08-09-2023 (Sheet C010)
3. Demolition Plan prepared by Midwest Design Group, dated 08-09-2023 (Sheet C030)
4. Site Plan prepared by Midwest Design Group, dated 08-09-2023 (Sheet C100)
5. Signage Plan prepared by Midwest Design Group, dates 08-09-2023 (Sheet C101)
6. Vehicle Tracking Plan prepared by Midwest Design Group, dated 08-09-2023 (Sheet C102)
7. Grading Plan prepared by Midwest Design Group, dated 08-09-2023 (Sheet C110)
8. Preliminary Storm Sewer Plan prepared by Midwest Design Group, dated 08-09-2023 (Sheet C120)
9. Landscape Plan prepared by Midwest Design Group, dated 08-09-2023 (Sheet L100)
10. Tree Preservation Plan prepared by Midwest Design Group, dated 08-09-23 (Sheet C031)
11. Photometric Site Plan prepared by Midwest Design Group, dated 08-09-23 (Sheet C160)
12. ALTA/NSPS Land Title Survey prepared by Farnsworth Group, date plotted 03/29/2023
13. Building and Canopy Elevations (3 pages) prepared by QuikTrip dated 05.26.23
14. QuikTrip Corporation business profile
15. QuikTrip Environmental Sustainability Review 2019
16. Plan Council Memo dated August 8, 2023
17. Letter from EEI dated August 7, 2023
18. Letter from EEI dated August 2, 2023
19. Letter from EEI dated June 28, 2023



United City of Yorkville  
 800 Game Farm Road  
 Yorkville, Illinois, 60560  
 Telephone: 630-553-4350  
 Fax: 630-553-7575  
 Website: www.yorkville.il.us

# APPLICATION FOR SPECIAL USE

## INTENT AND PURPOSE

The purpose of the zoning code is based upon the authority of the City to divide its land into districts by use, bulk, and structures, in a substantially uniform manner. It is recognized that while some uses are permitted under the zoning code to keep uniformity, a case-by-case analysis must be conducted for certain permitted uses to discover the impact of those uses on neighboring land. In these cases a special use must be granted.

This packet explains the process to successfully submit and complete an Application for Special Use. It includes a detailed description of the process, outlines required submittal materials, and contains the application for special use.

For a complete explanation of what is legally required throughout the Special Use process, please refer to "Title 10, Chapter 4, Section 9: Special Uses" of the Yorkville, Illinois City Code.

## APPLICATION PROCEDURE

### STEP

# 1

### APPLICATION SUBMITTAL

#### SUBMIT APPLICATION, FEES, AND PLANS TO THE COMMUNITY DEVELOPMENT DEPT.

The following must be submitted:

- One (1) original signed and notarized application.
- Legal description of the property in Microsoft Word.
- Three (3) copies each of the exhibits, proposed drawings, location map, and site plan. All exhibits and plans must be an appropriate size for all details and descriptions to be legible.
- Appropriate application and filing fee. Checks may be written to the United City of Yorkville.
- Signed Applicant Deposit Account/Acknowledgment of Financial Responsibility form.
- One (1) electronic copy (PDF) of all materials submitted including application and exhibits.

Within one (1) week of submittal, the Community Development Department will determine if the application is complete or if additional information is needed. An incomplete submittal could delay the scheduling of the project.

The petitioner is responsible for payment of recording fees and public hearing costs, including written transcripts of the public hearing and outside consultant costs (i.e. legal review, land planner, zoning coordinator, environmental, etc.). The petitioner will be required to establish a deposit account with the City to cover these fees.

Once a submitted and complete, Community Development staff will provide a tentative schedule of meetings as well as all needed documents for the process.

### STEP

# 2

### PLAN COUNCIL

#### MEETS ON THE 2ND & 4TH THURSDAY OF THE MONTH

The petitioner must present the proposed request to the Plan Council. The members of the Council include the Community Development Director, City Engineer, the Building Department Official, the Public Works Director, the Director of Parks and Recreation, a Fire Department Representative, and a Police Department Representative. This meeting is held to provide the petitioner with guidance from all City staff departments to ensure the petitioner is aware of all requirements and regulations for their development. Upon recommendation by the Plan Council, the petitioner will move forward to the Economic Development Committee.



United City of Yorkville  
 800 Game Farm Road  
 Yorkville, Illinois, 60560  
 Telephone: 630-553-4350  
 Fax: 630-553-7575  
 Website: www.yorkville.il.us

# APPLICATION FOR SPECIAL USE

## STEP 3

### ECONOMIC DEVELOPMENT COMMITTEE

#### MEETS ON THE 1ST TUESDAY OF THE MONTH

The petitioner must present the proposed plan to the Economic Development Committee. The committee consists of four alderman who will provide feedback to the petitioner regarding their request. This feedback allows the petitioner to gather comments and concerns prior to full City Council considerations. It also allows the City Council members to review the request prior to its arrival at City Council.

## STEP 4

### PLANNING & ZONING COMMISSION

#### MEETS ON THE 2ND WEDNESDAY OF THE MONTH

The petitioner will attend and present their request at a public hearing conducted by the Planning and Zoning Commission. The Planning and Zoning Commission will conduct a public hearing on the request, take public comments, discuss the request, and make a recommendation to City Council. No special use shall be recommended by the Planning and Zoning Commission unless it follows the standards set forth in City's Zoning Ordinance.

The petitioner is responsible for sending certified public hearing notices to adjacent property owners within five hundred (500) feet of the subject property no less than fifteen (15) days and no more than thirty (30) days prior to the public hearing date. The public hearing notice will be drafted by the City as well as published in a local newspaper. Additionally, a public hearing notice sign must be placed on the property no less than fifteen (15) days prior to the public hearing.

A certified affidavit must be filed by the petitioner with the Community Development Department containing the names, addresses and permanent parcel numbers of all parties that were notified. The Certified Mailing Affidavit form is attached to this document.

## STEP 5

### CITY COUNCIL

#### MEETS ON THE 2ND & 4TH TUESDAY OF THE MONTH

The petitioner will attend the City Council meeting where the recommendation of the special use will be considered. City Council will make the final approval of the special use. If approved, City staff will have a drafted ordinance to be signed by the Council and must be recorded with the County Clerk before any further steps may be taken by the petitioner.

## SUMMARY OF RESPONSIBILITIES

Below is a summary breakdown of what will be required by the petitioner and what will be completed by the City:

#### PETITIONER

- Signed and Notarized Application
- Required Plans, Exhibits, and Fees
- Certified Mailing of Public Notice
- Signed Certified Affidavit of Mailings
- Attendance at All Meetings

#### CITY STAFF

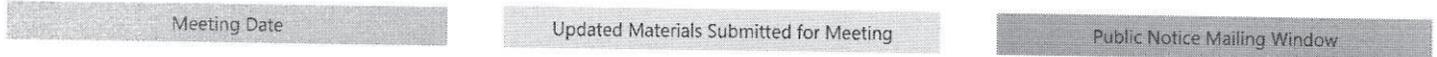
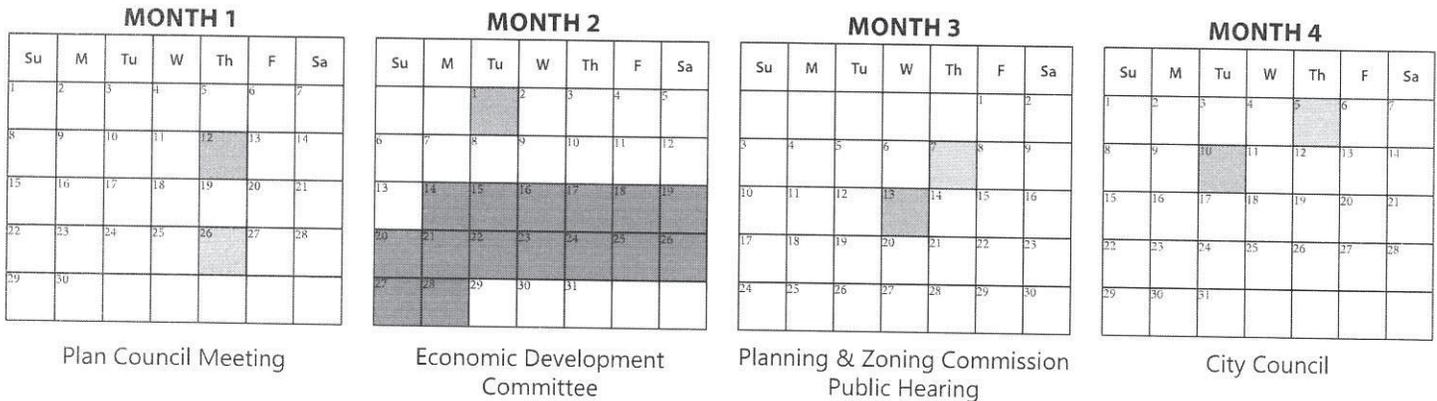
- Detailed Schedule After Complete Submission
- Public Hearing Notice Language
- Posting of the Public Notice in a Local Newspaper
- Public Hearing Sign Application
- Draft Ordinance & Signatures for Recording



United City of Yorkville  
 800 Game Farm Road  
 Yorkville, Illinois, 60560  
 Telephone: 630-553-4350  
 Fax: 630-553-7575  
 Website: www.yorkville.il.us

# APPLICATION FOR SPECIAL USE

## SAMPLE MEETING SCHEDULE



This is a sample of what a schedule may look like after submission. The Step 1 Submission must be completed before the Plan Council Meeting can be scheduled. This timeline represents an ideal schedule. Throughout the review process, there may be requests or changes to the submission requested by the committees which may delay the meeting schedule. As illustrated, there is a small amount of time between meeting dates and the deadline for updated materials to be submitted for review. Depending on the complexity and nature of the request, this timeline may be extended to give the petitioner and staff enough time to review requested updates to the submission.

## DORMANT APPLICATIONS

The Community Development Director shall determine if an application meets or fails to meet the submission requirements. If the Director determines that the application is incomplete it will become dormant under these circumstances:

- The applicant has been notified of such deficiencies and has not responded or provided a time line for completing the application within ninety (90) days from the time of notification.
- The applicant has not responded in writing to a request for information or documentation from the initial planning and zoning commission review within six (6) months from the date of that request.
- The applicant has not responded to a request for legal or engineering deposit replenishment for city incurred costs and fees within ninety (90) days from the date of the request.

If the Community Development Director has sent the required notice and the applicant has not withdrawn their application or brought it into compliance, then the director shall terminate the application. After termination, the application shall not be reconsidered except after the filing of a completely new application.

Withdrawal or termination of an application shall not affect the applicant's responsibility for payment of any costs and fees, or any other outstanding debt owed to the city. The balance of any funds deposited with the city that is not needed to pay for costs and fees shall be returned to the applicant. (Ord. 2011-34, 7-26-2011)



United City of Yorkville  
 800 Game Farm Road  
 Yorkville, Illinois, 60560  
 Telephone: 630-553-4350  
 Fax: 630-553-7575  
 Website: www.yorkville.il.us

# APPLICATION FOR SPECIAL USE

INVOICE & WORKSHEET PETITION APPLICATION			
<b>CONCEPT PLAN REVIEW</b>	<input type="checkbox"/> Engineering Plan Review deposit	\$500.00	Total: \$ 500.00
<b>AMENDMENT</b>	<input type="checkbox"/> Annexation \$500.00 <input checked="" type="checkbox"/> Plan \$500.00 <input type="checkbox"/> Plat \$500.00 <input type="checkbox"/> P.U.D. \$500.00		Total: \$ 500.00
<b>ANNEXATION</b>	<input type="checkbox"/> \$250.00 + \$10 per acre for each acre over 5 acres		Total: \$
$\underline{\hspace{2cm}} - 5 = \underline{\hspace{2cm}} \times \$10 = \underline{\hspace{2cm}} + \$250 = \$ \underline{\hspace{2cm}}$ <p style="text-align: center;"># of Acres                      Acres over 5                      Amount for Extra Acres                      Total Amount</p>			
<b>REZONING</b>	<input type="checkbox"/> \$200.00 + \$10 per acre for each acre over 5 acres		Total: \$
<i>If annexing and rezoning, charge only 1 per acre fee; if rezoning to a PUD, charge PUD Development Fee - not Rezoning Fee</i>			
$\underline{\hspace{2cm}} - 5 = \underline{\hspace{2cm}} \times \$10 = \underline{\hspace{2cm}} + \$200 = \$ \underline{\hspace{2cm}}$ <p style="text-align: center;"># of Acres                      Acres over 5                      Amount for Extra Acres                      Total Amount</p>			
<b>SPECIAL USE</b>	<input checked="" type="checkbox"/> \$250.00 + \$10 per acre for each acre over 5 acres		Total: \$ 256.00
$\underline{5.507} - 5 = \underline{.507} \times \$10 = \underline{6.00} + \$250 = \$ \underline{256.00}$ <p style="text-align: center;"># of Acres                      Acres over 5                      Amount for Extra Acres                      Total Amount</p>			
<b>ZONING VARIANCE</b>	<input type="checkbox"/> \$85.00 + \$500.00 outside consultants deposit		Total: \$
<b>PRELIMINARY PLAN FEE</b>	<input checked="" type="checkbox"/> \$500.00		Total: \$ 500.00
<b>PUD FEE</b>	<input type="checkbox"/> \$500.00		Total: \$
<b>FINAL PLAT FEE</b>	<input type="checkbox"/> \$500.00		Total: \$
<b>ENGINEERING PLAN REVIEW DEPOSIT</b>	<input type="checkbox"/> Less than 1 acre \$5,000.00 <input checked="" type="checkbox"/> Over 1 acre, less than 10 acres \$10,000.00 <input type="checkbox"/> Over 10 acres, less than 40 acres \$15,000.00 <input type="checkbox"/> Over 40 acres, less than 100 acres \$20,000.00 <input type="checkbox"/> Over 100 acres \$25,000.00		Total: \$ 10,000.00
<b>OUTSIDE CONSULTANTS DEPOSIT</b>	<i>Legal, land planner, zoning coordinator, environmental services</i> For Annexation, Subdivision, Rezoning, and Special Use: <input type="checkbox"/> Less than 2 acres \$1,000.00 <input checked="" type="checkbox"/> Over 2 acres, less than 10 acres \$2,500.00 <input type="checkbox"/> Over 10 acres \$5,000.00		Total: \$ 2,500.00
<b>TOTAL AMOUNT DUE:</b>			\$14,256.00



United City of Yorkville  
800 Game Farm Road  
Yorkville, Illinois, 60560  
Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: www.yorkville.il.us

# APPLICATION FOR SPECIAL USE

DATE:	PZC NUMBER:	DEVELOPMENT NAME: QuikTrip Store 7318	
<b>PETITIONER INFORMATION</b>			
NAME: Ali Bukhres		COMPANY: QuikTrip Corporation	
MAILING ADDRESS: Main Street Promenade, 50 South Main Street, Suite 200			
CITY, STATE, ZIP: Naperville, IL, 60540		TELEPHONE: <input checked="" type="radio"/> BUSINESS <input type="radio"/> HOME 918-284-9456	
EMAIL: abukhres@QuikTrip.com		FAX: 918-994-3558	
<b>PROPERTY INFORMATION</b>			
NAME OF HOLDER OF LEGAL TITLE: Mackin Land Company, LLC			
IF LEGAL TITLE IS HELD BY A LAND TRUST, LIST THE NAMES OF ALL HOLDERS OF ANY BENEFICIAL INTEREST THEREIN:			
PROPERTY STREET ADDRESS: 107 East Stagecoach Trail, Yorkville, IL 60560			
DESCRIPTION OF PROPERTY'S PHYSICAL LOCATION: NEC of Illinois-47 and Stagecoach Trail			
CURRENT ZONING CLASSIFICATION: M-1		COMPREHENSIVE PLAN FUTURE LAND USE DESIGNATION: Destination Comm	
REQUESTED SPECIAL USE: Convenience store with fuel sales			
<b>ZONING AND LAND USE OF SURROUNDING PROPERTIES</b>			
NORTH: N/A Office/Highway Department			
EAST: M-1 Vacant			
SOUTH: B-3 Resturant/Hotel			
WEST: B-3 Walgreens			
<b>KENDALL COUNTY PARCEL IDENTIFICATION NUMBER(S)</b>			
05-05-400-050			
05-04-300-031			





United City of Yorkville  
800 Game Farm Road  
Yorkville, Illinois, 60560  
Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: [www.yorkville.il.us](http://www.yorkville.il.us)

# APPLICATION FOR SPECIAL USE

## SPECIAL USE STANDARDS

PLEASE STATE HOW THE ESTABLISHMENT, MAINTENANCE OR OPERATION OF THE SPECIAL USE WILL NOT BE UNREASONABLY DETRIMENTAL TO OR ENDANGER THE PUBLIC HEALTH, SAFETY, MORALS, COMFORT OR GENERAL WELFARE:

The establishment will affect the City and the citizens public health, safety, morals and general welfare in a positive manner. QuikTrip maintains an internal facility support staff that ensures the proper maintenance is completed inside and outside of the establishment to ensure that we are a good neighbor and positively contribute to the City. Our employees come from the community in which we serve and because of that QuikTrip invests in the community through donations, volunteer work and programs dedicated to helping employees with scholarships, child care and other great programs. QuikTrip invests heavily into employee and customer safety by providing high quality video cameras that are monitored 24 hours a day by a staff of highly trained employees

PLEASE STATE HOW THE SPECIAL USE WILL NOT BE INJURIOUS TO THE USE AND ENJOYMENT OF OTHER PROPERTY IN THE IMMEDIATE VICINITY FOR THE PURPOSE ALREADY PERMITTED, NOR SUBSTANTIALLY DIMINISH AND IMPAIR PROPERTY VALUES WITHIN THE NEIGHBORHOOD:

The special use permit will not impact the surrounding properties in any negative way. The special use for fuel sales will impact the surrounding properties in a positive way by establishing a convenient location for food and fuel that will provide a valuable service to their customers and employees within the immediate area.

PLEASE STATE HOW THE ESTABLISHMENT OF THE SPECIAL USE WILL NOT IMPEDE THE NORMAL AND ORDERLY DEVELOPMENT AND IMPROVEMENT OF SURROUNDING PROPERTY FOR USES PERMITTED IN THE DISTRICT:

The special use will not impede the normal/orderly development or improvement of the surrounding properties. This will also be a more convenient route for any improvements or developments in the surrounding area. QuikTrip operates and maintains its facilities in a first-class manner, which helps to establish a high baseline for the development of the corridor.

PLEASE STATE HOW ADEQUATE UTILITIES, ACCESS ROADS, DRAINAGE OR OTHER NECESSARY FACILITIES HAVE BEEN OR ARE BEING PROVIDED:

Adequate utilities, access roads, drainage, and other necessary facilities are provided. QuikTrip will meet all governing authority applicable codes and ordinances for utilities management and storm-water run-off, which will present a substantial improvement over current conditions. Additionally, the vacant manufacturing use will be demolished and replaced with an aesthetically pleasing building that will meet city code and provide additional services for the community.



United City of Yorkville  
 800 Game Farm Road  
 Yorkville, Illinois, 60560  
 Telephone: 630-553-4350  
 Fax: 630-553-7575  
 Website: www.yorkville.il.us

# APPLICATION FOR SPECIAL USE

## SPECIAL USE STANDARDS

PLEASE STATE HOW ADEQUATE MEASURES HAVE BEEN OR WILL BE TAKEN TO PROVIDE INGRESS OR EGRESS SO DESIGNED AS TO MINIMIZE TRAFFIC CONGESTION IN THE PUBLIC STREETS:

Adequate measures have been taken to provide ingress/egress design to minimize traffic congestion in public streets. We have been diligently working with IDOT, and our Civil/Traffic Engineers to ensure that each ingress and egress route provides ample room for cars and trucks to minimize congestion on public streets.

PLEASE STATE HOW THE SPECIAL USE SHALL IN ALL OTHER RESPECTS CONFORM TO THE APPLICABLE REGULATIONS OF THE DISTRICT IN WHICH IT IS LOCATED, EXCEPT AS SUCH REGULATIONS MAY IN EACH INSTANCE BE MODIFIED BY THE CITY COUNCIL PURSUANT TO THE RECOMMENDATIONS OF THE PLANNING AND ZONING COMMISSION:

The special use for fuel sales conforms to the applicable land use regulations of the district and does not violate any other applicable law, ordinance or regulation. QuikTrip welcomes any additional feedback from the Village to address any remaining discrepancies from the city Code.

## AGREEMENT

I VERIFY THAT ALL THE INFORMATION IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE. I UNDERSTAND AND ACCEPT ALL REQUIREMENTS AND FEES AS OUTLINED AS WELL AS ANY INCURRED ADMINISTRATIVE AND PLANNING CONSULTANT FEES WHICH MUST BE CURRENT BEFORE THIS PROJECT CAN PROCEED TO THE NEXT SCHEDULED COMMITTEE MEETING.

I UNDERSTAND ALL OF THE INFORMATION PRESENTED IN THIS DOCUMENT AND UNDERSTAND THAT IF AN APPLICATION BECOMES DORMANT IT IS THROUGH MY OWN FAULT AND I MUST THEREFORE FOLLOW THE REQUIREMENTS OUTLINED ABOVE.

*[Handwritten Signature]*

PETITIONER SIGNATURE

6-7-2023

DATE

OWNER HEREBY AUTHORIZES THE PETITIONER TO PURSUE THE APPROPRIATE ENTITLEMENTS ON THE PROPERTY.

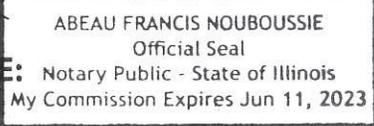
*[Handwritten Signature]*

OWNER SIGNATURE

6-7-2023

DATE

**THIS APPLICATION MUST BE NOTARIZED PLEASE NOTARIZE HERE:**



State of IL County of COOK  
 The foregoing instrument was acknowledged before me  
 this 07th day of JUNE, 2023  
 by ALI FRAG BUKHRES / MICHAEL  
OMALLEY GRAHAM Notary Public  
 My Commission Expires JUNE 11 - 2023

Description of Property

That part of the Southwest Quarter of Section 4 and part of the Southeast Quarter of Section 5, Township 36 North, Range 7 East of the Third Principal Meridian, described as follows: Commencing at the Northeast Corner of the Northeast Quarter of said Section 5, thence south 89 degree 40 minutes 05 seconds west along the North Line of said Northeast Quarter, 655.52 feet to the tangent Center Line of Illinois State Route No. 47 extended from the South; thence south 1 degree 44 minutes 07 seconds east along said tangent Center line and said tangent Center Line extended 3511.16 feet; thence north 89 degree 29 minutes 40 seconds east 548.60 feet (this point hereinafter referred to as point "A"); thence south 89 degree 29 minutes 40 seconds west along the last described course 548.60 feet to the Center Line of Illinois State Route No. 47 aforesaid; thence south 1 degree 44 minutes 07 seconds east along said Center Line 920.01 feet to a point on said Center Line 4431.17 feet south of the North Line of said Section 5, as measured along said tangent Center Line and said tangent Center Line extended, for the Point of Beginning; thence south 87 degree 56 minutes 07 seconds east 593.08 feet to a line drawn south 4 degree 21 minutes 07 seconds east from said Point A; thence south 4 degree 21 minutes 07 seconds east along said line 482.85 feet to the Center Line of Illinois State Route No. 71; thence westerly along said Center Line 589.32 feet to the Center Line of said Illinois State Route No. 47; thence Northerly along the Center Line of said Route 47, 596.73 feet to the Point of Beginning, Kendall Township, Kendall County, Illinois,

(1) Excepting therefrom land conveyed to the People of the State of Illinois by Warranty Deed Recorded June 15, 2017 as Document No. 201700009111,

And

(2) Excepting therefrom land conveyed to the State of Illinois Department of Transportation by Warranty Deed Recorded March 17, 2011 as Document No. 20110004835.

JOHN JOSEPH DOMANTAY  
235 WALSH CIR  
YORKVILLE, IL, 60560

COSMOPOLITAN BANK & TRUST  
2271 PALMER CIR  
NAPERVILLE, IL, 60564

COUNTY OF KENDALL  
OPEN SPACE - BEHIND HWY SHED  
111 W FOX ST  
YORKVILLE, IL, 60560

FOX VALLEY FARM PARTNERSHIP  
% JOEL MONTALBANO  
418 ARLINGTON PL  
CHICAGO, IL, 60614

RICHARD & LEOKADIA MARCINIAK  
29 WALNUT DR  
YORKVILLE, IL, 60560

YORKVILLE ROUTE 71 MACKIN LAND COMPANY LLC  
ATTN MICHAEL O GRAHAM  
39109 N US 41  
WADSWORTH, IL, 60083

RDK VENTURES LLC  
PO BOX 347  
4080 W JONATHAN MOORE PIKE  
COLUMBUS, IN, 47201

YORKVILLE ROUTE 71 MACKIN LAND COMPANY LLC  
ATTN MICHAEL O GRAHAM  
39109 N US 41  
WADSWORTH, IL, 60083

FOX VALLEY FARM PARTNERSHIP  
% JOEL MONTALBANO  
418 ARLINGTON PL  
CHICAGO, IL, 60614

PHERKAD LLC  
% NEAL GERBER & EISENBERG LLP  
2 N LASALLE ST STE 1700  
CHICAGO, IL, 60602

RICHARD & LIDIA MARCINIAK  
29 WALNUT DR  
YORKVILLE, IL, 60560

FE KISSELOFF ARISS  
231 WALSH CIR  
YORKVILLE, IL, 60560

MCDONALDS CORPORATION  
C/O SCHMITT YORKVILLE LLC  
1975 W DOWNER PL STE 302  
AURORA, IL, 60506

YORKVILLE HOLDINGS INC  
1905 MARKETVIEW DR STE 315  
YORKVILLE, IL, 60560

YORKVILLE TOMMY HUGHES MACKIN LAND COMPANY LLC  
% MICHAEL GRAHAM  
39109 N US HWY 41  
WADSWORTH, IL, 60083

ADEM ADEMI  
13411 SPRING HILL DR  
WINNEBAGO, IL, 61088

% RICK D MARTINEZ F & R VENTURES LLC  
70 WOODLAND DR  
P.O. BOX  
YORKVILLE, IL, 60560

TOM & RITA R KLEEFISCH  
8 WALNUT DR  
YORKVILLE, IL, 60560

BILL ANEST FAMILY LIMITED PARTNERSHIP  
31366 N HWY 45  
LIBERTYVILLE, IL, 60048

JOHN M & JANET L WARNECKE  
16 WALNUT DR  
YORKVILLE, IL, 60560

% PARKWAY BANK & TRUST CO PB & J XII LLC  
4800 N HARLEM AVE  
HARWOOD HEIGHTS, IL, 60706

COUNTY OF KENDALL  
HIGHWAY DEPT SHED  
111 W FOX ST  
YORKVILLE, IL, 60560

RDK VENTURES LLC  
PO BOX 347  
4080 W JONATHAN MOORE PIKE  
COLUMBUS, IN, 47201

COUNTY OF KENDALL  
HIGHWAY DEPT & SALT DOME  
111 W FOX ST  
YORKVILLE, IL, 60560

LUTHER & KISHA D HALL  
239 WALSH CIR  
YORKVILLE, IL, 60560

% MAXIMUM PROPERTY MANAGEMENT FOX HIGHLANDS COMMUNITY ASSOCIATION  
P O BOX 1094  
2178 MUIRFIELD CT  
YORKVILLE, IL, 60560

MUKUND & KALA PATEL  
104 E STAGECOACH TRL  
YORKVILLE, IL, 60560

COUNTY OF KENDALL  
OPEN SPACE - BEHIND HWY DEPT ON RT 47  
111 W FOX ST  
YORKVILLE, IL, 60560



United City of Yorkville  
 800 Game Farm Road  
 Yorkville, Illinois, 60560  
 Telephone: 630-553-4350  
 Fax: 630-553-7575  
 Website: www.yorkville.il.us

# APPLICANT DEPOSIT ACCOUNT/ ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY

PROJECT NUMBER:	FUND ACCOUNT NUMBER:	PROPERTY ADDRESS: 107 E Stagecoach
-----------------	----------------------	------------------------------------

**PETITIONER DEPOSIT ACCOUNT FUND:**

It is the policy of the United City of Yorkville to require any petitioner seeking approval on a project or entitlement request to establish a Petitioner Deposit Account Fund to cover all actual expenses occurred as a result of processing such applications and requests. Typical requests requiring the establishment of a Petitioner Deposit Account Fund include, but are not limited to, plan review of development approvals/engineering permits. Deposit account funds may also be used to cover costs for services related to legal fees, engineering and other plan reviews, processing of other governmental applications, recording fees and other outside coordination and consulting fees. Each fund account is established with an initial deposit based upon the estimated cost for services provided in the **INVOICE & WORKSHEET PETITION APPLICATION**. This initial deposit is drawn against to pay for these services related to the project or request. Periodically throughout the project review/approval process, the Financially Responsible Party will receive an invoice reflecting the charges made against the account. At any time the balance of the fund account fall below ten percent (10%) of the original deposit amount, the Financially Responsible Party will receive an invoice requesting additional funds equal to one-hundred percent (100%) of the initial deposit if subsequent reviews/fees related to the project are required. In the event that a deposit account is not immediately replenished, review by the administrative staff, consultants, boards and commissions may be suspended until the account is fully replenished. If additional funds remain in the deposit account at the completion of the project, the city will refund the balance to the Financially Responsible Party. A written request must be submitted by the Financially Responsible Party to the city by the 15th of the month in order for the refund check to be processed and distributed by the 15th of the following month. All refund checks will be made payable to the Financially Responsible Party and mailed to the address provided when the account was established.

**ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY**

NAME: Ali Bukhres	COMPANY: QuikTrip Corporation
MAILING ADDRESS: Main Street Promenade, 50 South Main Street, Suite 200	
CITY, STATE, ZIP: Naperville, IL, 60540	TELEPHONE: 918-284-9456
EMAIL: abukhres@quiktrip.com	FAX: 918-994-3558

**FINANCIALLY RESPONSIBLE PARTY:**

I acknowledge and understand that as the Financially Responsible Party, expenses may exceed the estimated initial deposit and, when requested by the United City of Yorkville, I will provide additional funds to maintain the required account balance. Further, the sale or other disposition of the property does not relieve the individual or Company/Corporation of their obligation to maintain a positive balance in the fund account, unless the United City of Yorkville approves a Change of Responsible Party and transfer of funds. Should the account go into deficit, all City work may stop until the requested replenishment deposit is received.

Ali Bukhres	Real Estate Project Manager
PRINT NAME	TITLE
	6-7-2023
SIGNATURE*	DATE

*\*The name of the individual and the person who signs this declaration must be the same. If a corporation is listed, a corporate officer must sign the declaration (President, Vice-President, Chairman, Secretary or Treasurer)*

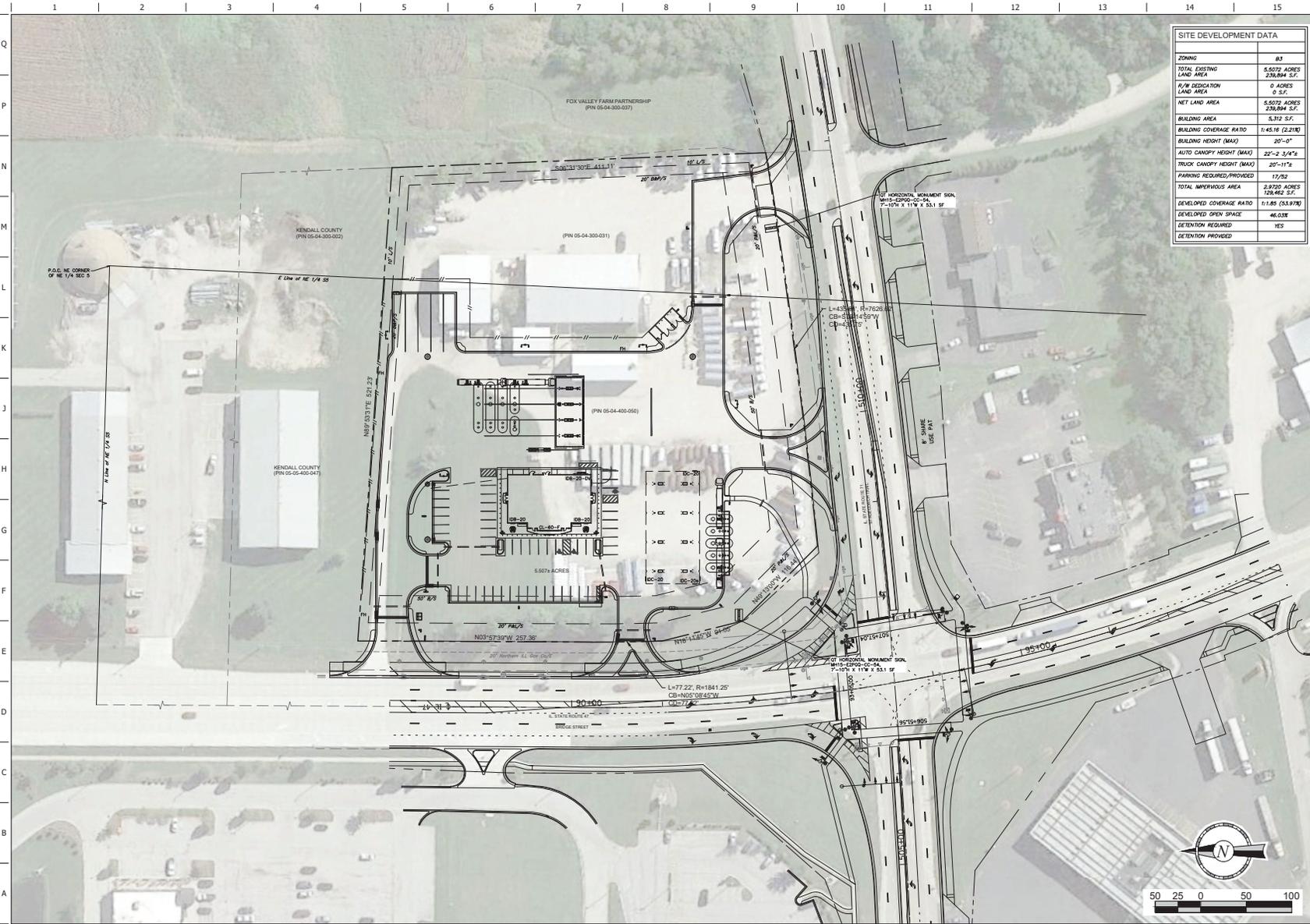
**INITIAL ENGINEERING/LEGAL DEPOSIT TOTALS**

ENGINEERING DEPOSITS:	LEGAL DEPOSITS:
Up to one (1) acre	Less than two (2) acres
Over one (1) acre, but less than ten (10) acres	Over two (2) acres, but less than ten (10) acres
Over ten (10) acres, but less than forty (40) acres	Over ten (10) acres
Over forty (40) acres, but less than one hundred (100)	
In excess of one hundred (100.00) acres	

\$5,000
\$10,000
\$15,000
\$20,000
\$25,000

\$1,000
\$2,500
\$5,000

FILE LOCATION: C:\GIS\_30\Projects\QT7318\Yorkville\_IL\VP-7318\_Civil.dwg 1/8 NAME: Overall Site Plan US: 8/26/2023 2:50 PM PLOT DATE: 8/26/2023 3:10 PM  
 SHEET: 001



SITE DEVELOPMENT DATA	
ZONING	817
TOTAL EXISTING LAND AREA	5,507± ACRES 236,894 S.F.
P/R DESIGNATION LAND AREA	0 ACRES 0 S.F.
NET LAND AREA	5,507± ACRES 236,894 S.F.
BUILDING AREA	5,312 S.F.
BUILDING COVERAGE RATIO	1:45.16 (2.31%)
BUILDING HEIGHT (MAX)	20'-0"
AUTO CANOPY HEIGHT (MAX)	22'-2 3/4"
TRUCK CANOPY HEIGHT (MAX)	20'-11"
PARKING REQUIRED/PROVIDED	17/52
TOTAL IMPERVIOUS AREA	2,970± ACRES 129,462 S.F.
DEVELOPED COVERAGE RATIO	0:1.85 (3.91%)
DEVELOPED OPEN SPACE	46.03%
DETENTION REQUIRED	YES
DETENTION PROVIDED	



**QuitTrip No. 7318**  
 107 E STAGECOACH TRAIL  
 YORKVILLE, KENDALL COUNTY, IL

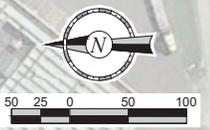


PROJECT NO.	P-113 (02/01/23)
DIVISION	89
VERSION	001
DESIGNED BY	DKH
DRAWN BY	CSH
REVIEWED BY	JKL

REV	DATE	DESCRIPTION

SHEET TITLE:  
**OVERALL SITE PLAN**

SHEET NUMBER:  
**C010**

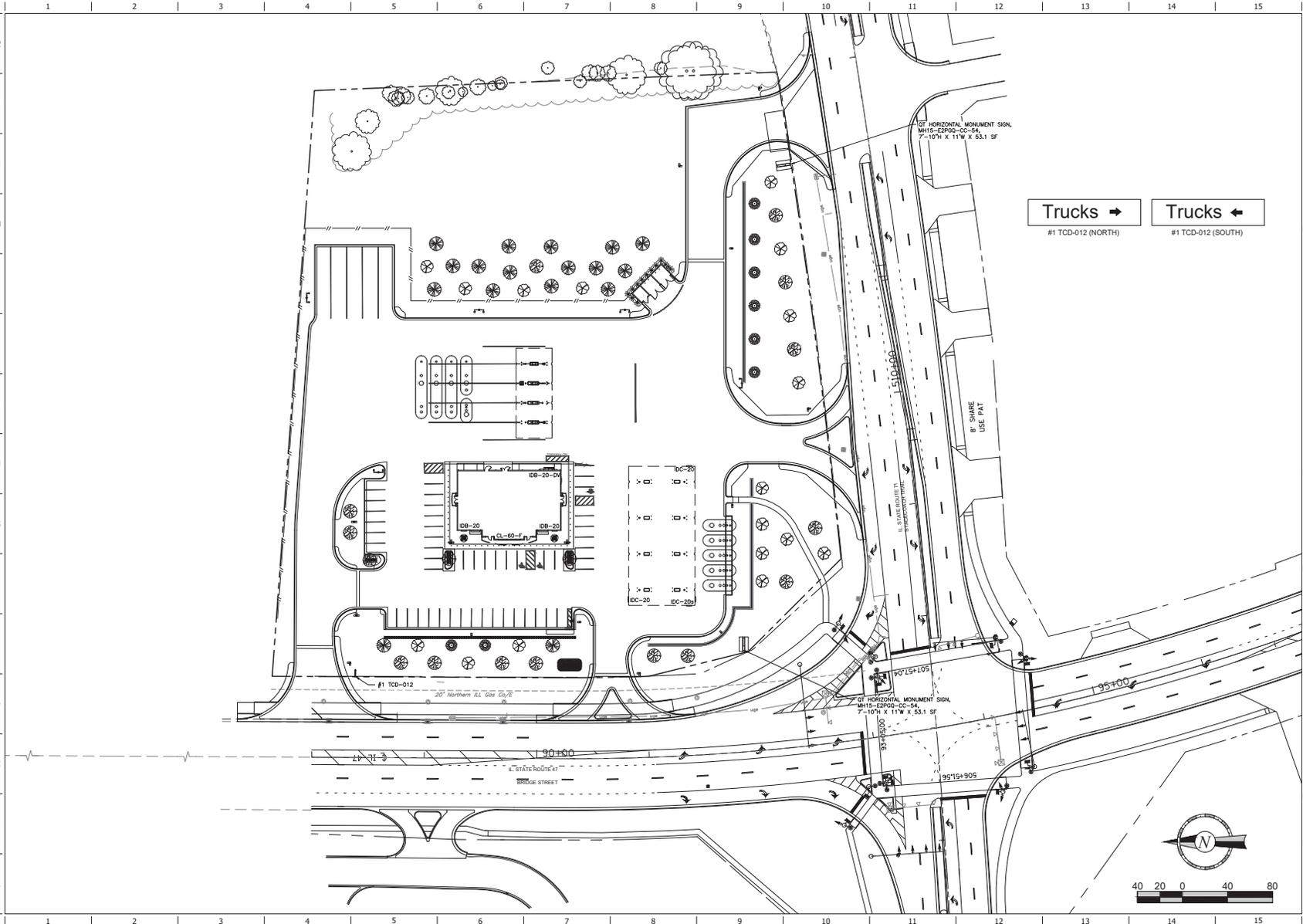








FILE LOCATION: C:\\_30 Projects\QT7318 Yorkville, IL\BP-7318 Civil.dwg USER: jkholman DATE: 8/2/2023 3:10 PM



PROJECT NO: 09-7318  
**MG**  
 Midwest Design Group  
 Kansas City  
 PO Box 802015  
 Shawnee, KS 66208-0015  
 P 913.248.9385

**QuikTrip No. 7318**  
 107 E STAGECOACH TRAIL  
 YORKVILLE, KENDALL COUNTY, IL

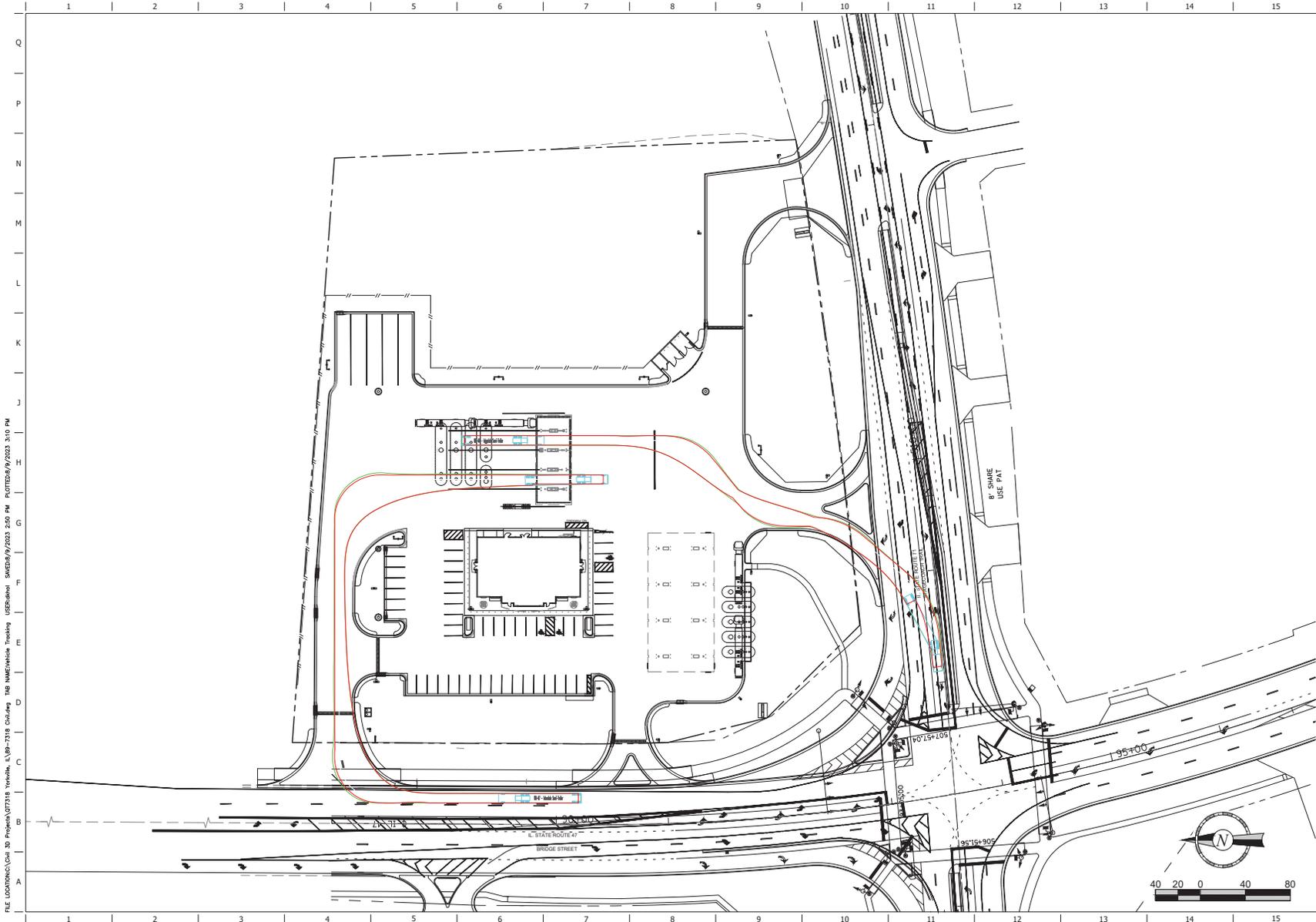


© COPYRIGHT QUIKTRIP CORPORATION 2005  
 ALL RIGHTS RESERVED. REPRODUCTION,  
 PUBLICATION, DISTRIBUTION, OR SALE IN  
 WHOLE OR IN PART IS STRICTLY PROHIBITED.

PROJECT NO: 09-7318 (02/01/23)  
 DIVISION: 09  
 VERSION: 001  
 DESIGNED BY: DKH  
 DRAWN BY: CSH  
 REVIEWED BY: JKL

REV	DATE	DESCRIPTION

SHEET TITLE:  
 SIGNAGE PLAN  
 SHEET NUMBER:  
**C101**



FILE LOCATION: C:\\_30 Projects\QT7318 Yorkville, IL\WP-7318\_Civil.dwg 148 NAME:Vehicle Tracking USER:skahal SWEDAS/9/2023 2:50 PM RUTEDAS/9/2023 3:10 PM



PROJECT NO. 09-7318  
**MG**  
 Midwest Design Group  
 Kansas City  
 PO Box 802015  
 Shawnee, KS 66206-0015  
 P 913.248.9385

**QuikTrip No. 7318**  
 107 E STAGECOACH TRAIL  
 YORKVILLE, KENDALL COUNTY, IL



© COPYRIGHT QUIKTRIP CORPORATION 2003  
 ALL RIGHTS RESERVED. REPRODUCTION,  
 PUBLICATION, DISTRIBUTION, OR SALE IN  
 WHOLE OR IN PART IS STRICTLY PROHIBITED.

PROJECT NO. P-113 (02/01/23)

DIVISION: 89

VERSION: 001

DESIGNED BY: DKH

DRAWN BY: CSH

REVIEWED BY: JKL

REV	DATE	DESCRIPTION

SHEET TITLE:

VEHICLE TRACKING (WB-67)

SHEET NUMBER:

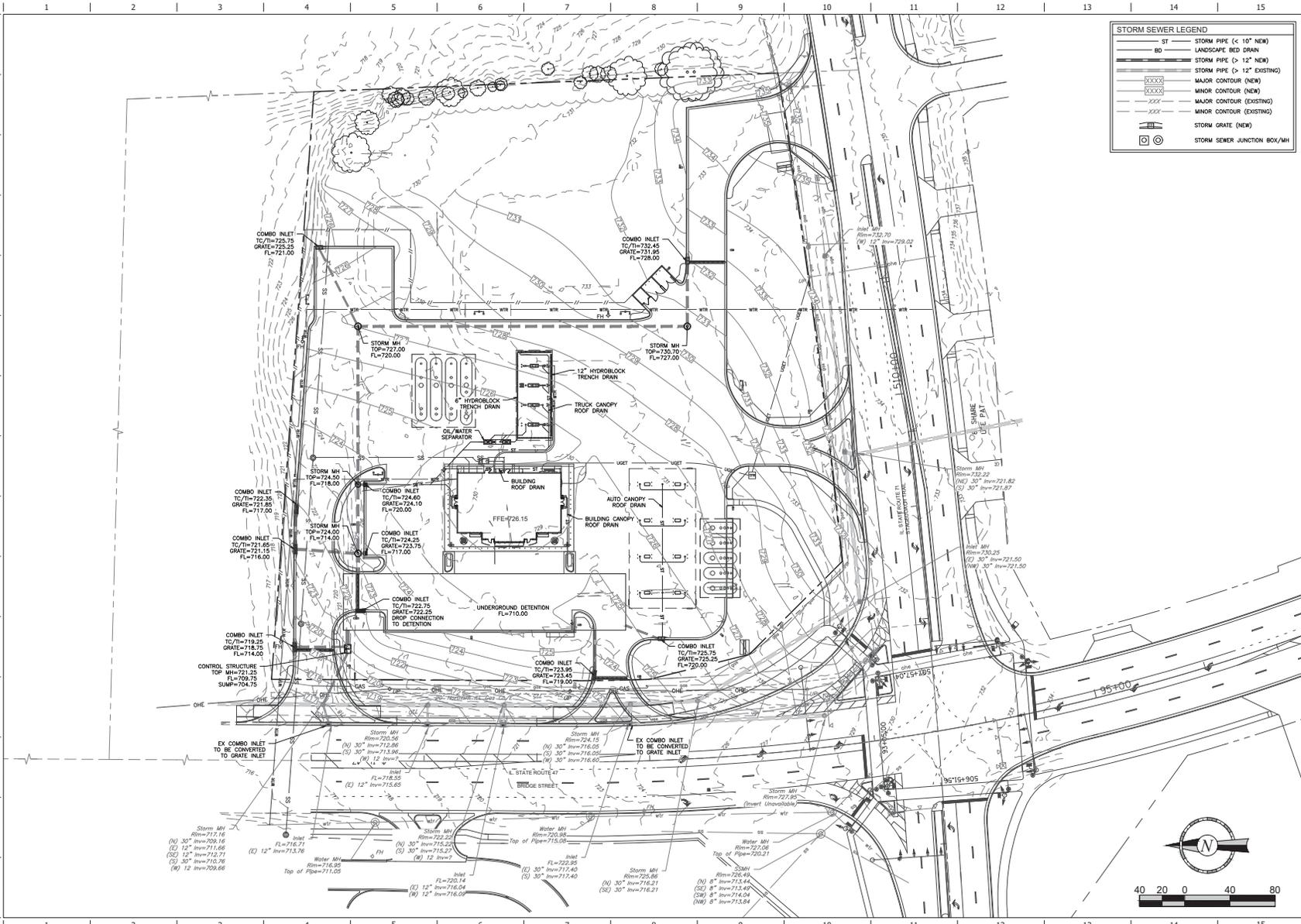
**C102**

ORIGINAL ISSUE DATE: 08-09-2023





FILE LOCATION: C:\na\_30 Projects\QT7318 Yorkville\_L\WP-7318 Civil.dwg USER: dkh SW: 8/9/2023 2:50 PM PLOT DATE: 8/9/2023 3:10 PM



**STORM SEWER LEGEND**

- ST - STORM PIPE (< 10" NEW)
- BD - LANDSCAPE BED DRAIN
- - STORM PIPE (> 12" NEW)
- - - - STORM PIPE (> 12" EXISTING)
- - MAJOR CONTOUR (NEW)
- - MINOR CONTOUR (NEW)
- - MAJOR CONTOUR (EXISTING)
- - MINOR CONTOUR (EXISTING)
- - STORM GRATE (NEW)
- ⊕ - STORM SEWER JUNCTION BOX/MH

**DARLA K. HOLMAN**  
DES-072191  
8/9/23  
PROJECT NO. 7318

**MG**  
Midwest Design Group  
Kansas City  
PO Box 802035  
Shawnee, KS 66208-0035  
P 913.248.9385

**QuitTrip No. 7318**  
107 E STAGECOACH TRAIL  
YORKVILLE, KENDALL COUNTY, IL

**QT**

© COPYRIGHT QUITRIP CORPORATION 2005  
NO WARRANTIES OR REPRESENTATIONS  
PUBLICATION, DISTRIBUTION, OR SALE IN  
WHOLE OR PART IS STRICTLY PROHIBITED.

PROJECT NO. 7318 (02/01/23)  
DIVISION: SS  
VERSION: 001  
DESIGNED BY: DKH  
DRAWN BY: CSH  
REVIEWED BY: JKL

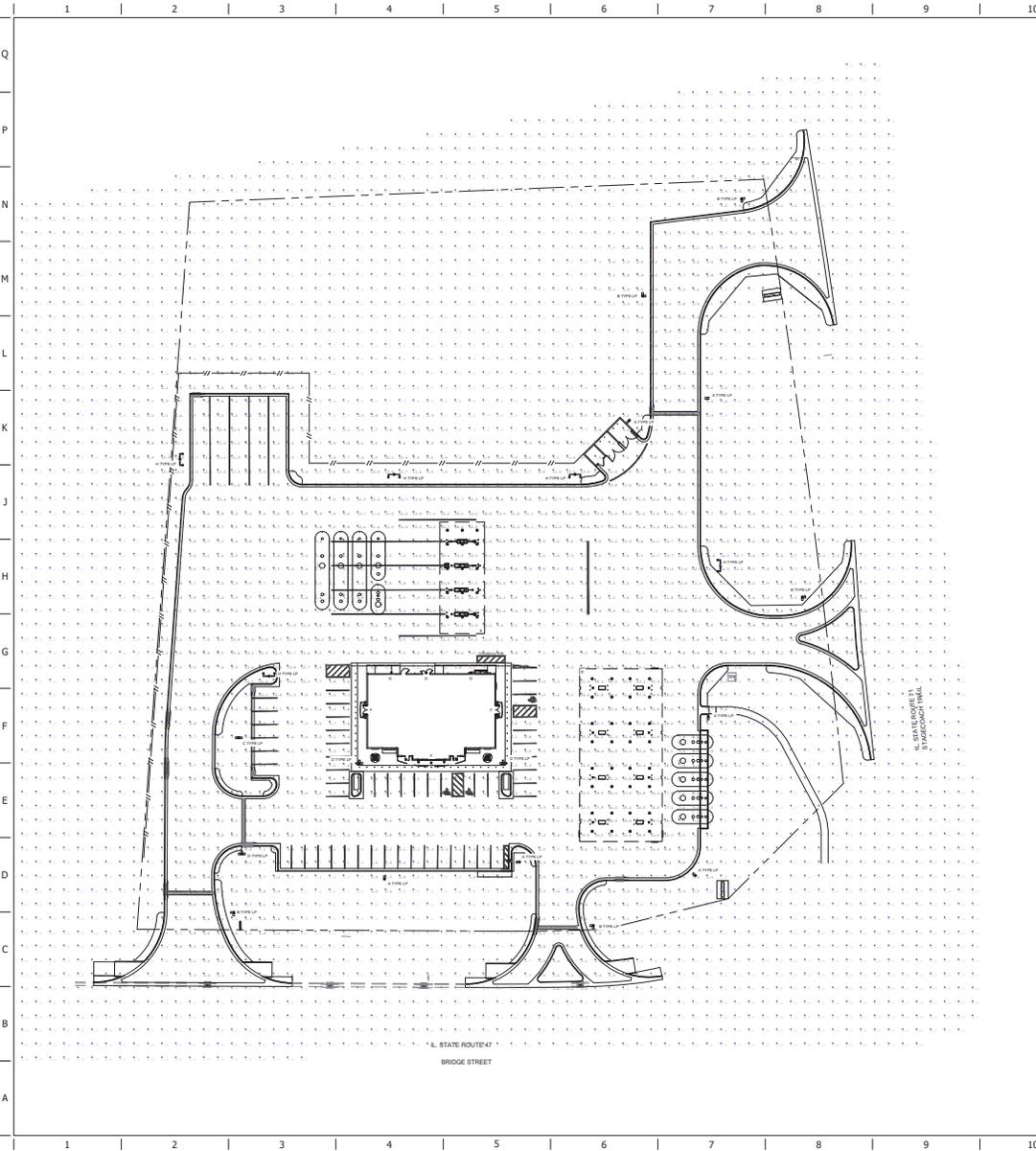
REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 08-09-2023

SHEET TITLE:  
**PRELIMINARY STORM SEWER PLAN**

SHEET NUMBER:  
**C120**

FILE LOCATION: C:\s3\Projects\QT7318\Yorkville\_L\VP-7318\Photometric\ 148 NAME: Photometric US: E:\s3\Projects\QT7318\Yorkville\_L\VP-7318\Photometric\ SW: 08-09-2023 2:51 PM PLOT DATE: 09/20/2023 3:11 PM



LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QTY	ARRANGEMENT	MOUNTING HEIGHT	LUMENS PER LAMP	LLF	DESCRIPTION	TOTAL WATTS
	A	06	SINGLE	22'	12,591	0.50	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
	B	05	2 @ 90°	22'	12,591	0.50	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
	C	01	2 @ 180°	22'	12,591	0.50	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
	D	03	3 @ 90°	22'	12,591	0.50	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
	E	47	SINGLE	15' TO 19'	12,793	0.35	SCV-LED-13L-SC-40	83.6
	F	09	SINGLE	10' TO 12'	6,041	0.35	XSPS-S-LED-VHO-NW-DFL	48.7
	G	03	SINGLE	12'	6,275	0.50	XWM-3-LED-06-40	54.0
	H	05	DOUBLE	35'	67,023	0.50	MRL-LED-65L-SIL-FT-40-70-CRI	592

LOW VOLTAGE POLES - 0

QUIKTRIP SPECIFIED DRAWING

PROJECT NO. 09-7318



QuikTrip No. 7318  
107 E STAGECOACH TRAIL  
YORKVILLE, KENDALL COUNTY, IL



© COPYRIGHT QUIKTRIP CORPORATION 2008  
BY THE PHOTOMETRIC ENGINEERING CORPORATION  
PUBLICATION, DISTRIBUTION, OR SALE IN  
WHOLE OR IN PART IS STRICTLY PROHIBITED.

PROJECT NO. P-113 (02/01/23)  
DIVISION: 89  
VERSION: 001  
DESIGNED BY: DKH  
DRAWN BY: CSH  
REVIEWED BY: JKL

REV	DATE	DESCRIPTION

SHEET TITLE:

PHOTOMETRIC SITE PLAN

SHEET NUMBER:

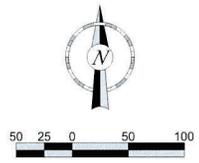
C160

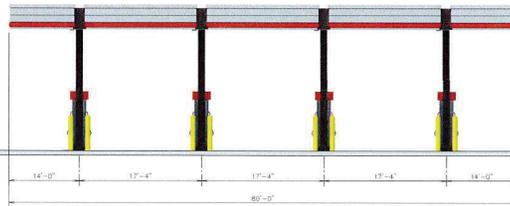
ORIGINAL ISSUE DATE: 08-09-2023



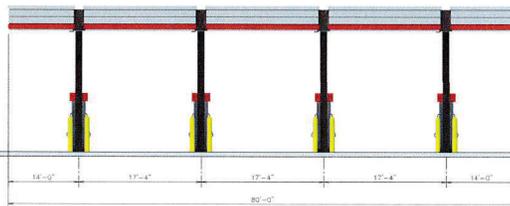


LEGEND	
	Water
	Electric
	Fiber Optic
	Gas
	Sanitary Sewer
	Telephone
	Water
	Storm (Under 12")
	Storm (Over 12")

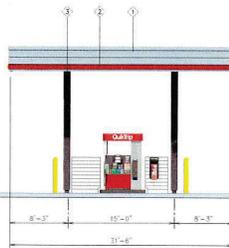




Front Elevation

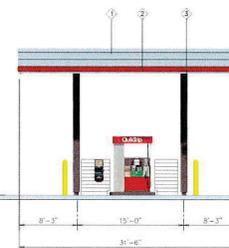


Rear Elevation



Left Elevation

19'-6" Min./24'-6" Max.  
 Max Top of canopy  
 16'-0" Min./21'-0" Max.  
 Max Bottom of canopy



Right Elevation



**QuikTrip.**

4705 South 128th East Ave.  
 Tulsa, OK 74134-7000  
 P.O. Box 3475  
 Tulsa, OK 74101-3475  
 (918) 615-7700

Store # 7318 3 Bay Diesel Canopy

Address: IL 47 & IL 71

City, State: Yorkville, IL

Serial # 89-7318-DV03

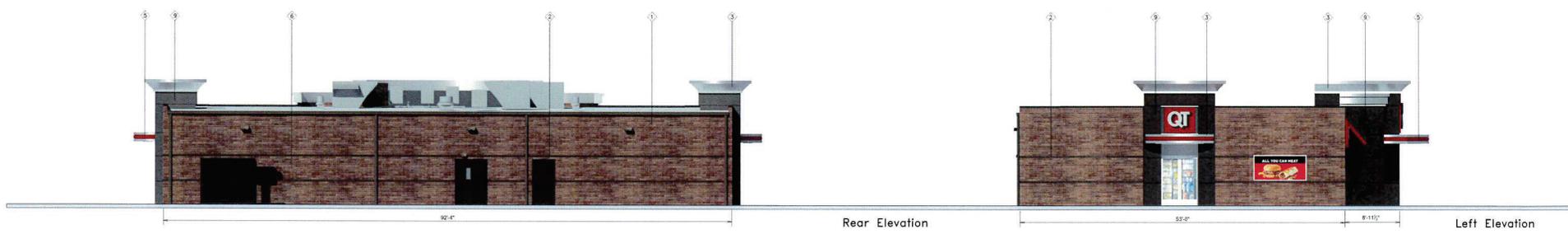
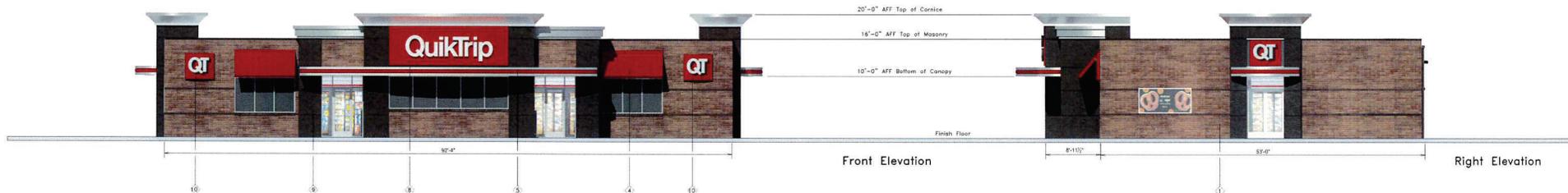
Scale: 1/8"=1'-0"  
 Issue Date: 05.26.23

Drawn By: BP

Rev/Notes:

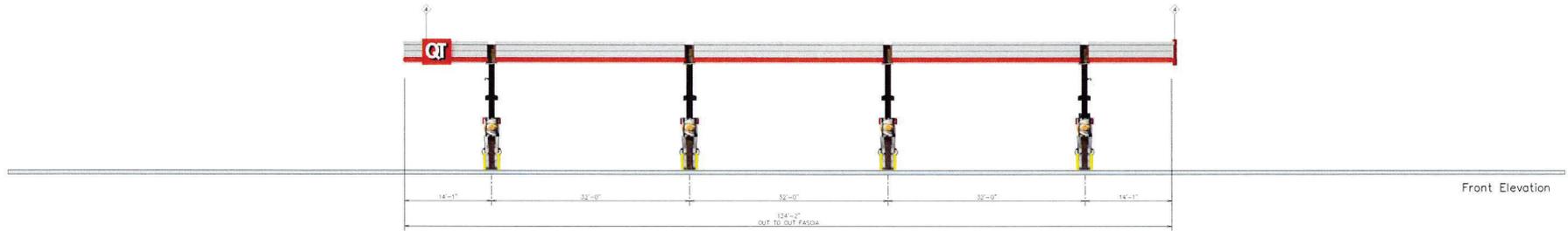
COPYRIGHT (C) 2011 QUIKTRIP CORPORATION DESIGN PATENTS  
 QUIKTRIP PLANS ARE THE EXCLUSIVE PROPERTY OF QUIKTRIP CORPORATION, TULSA, OKLAHOMA. THESE PLANS ARE PROTECTED IN THEIR ENTIRETY BY DOMESTIC AND INTERNATIONAL COPYRIGHT AND PATENT STATUTES. ANY UNAUTHORIZED USE, REPRODUCTION, PUBLICATION, DISTRIBUTION OR SALE IN WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

Q	FINISH	MANUFACTURER	SPECIFICATION
1	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
2	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
3	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
4	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
5	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
6	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
7	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
8	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
9	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
10	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
11	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
12	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
13	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
14	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
15	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
16	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
17	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
18	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
19	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP
20	BRUSHED ALUMINUM	TRUCKLINE	FLATTOP

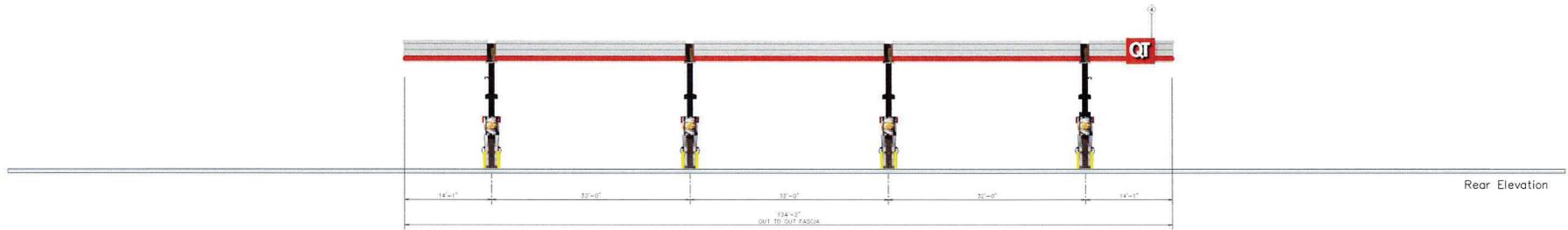


 <b>QuikTrip.</b> 4705 South 139th East Ave. Tulsa, OK 74134-7008 P.O. Box 3475 Tulsa, OK 74101-3475 (918) 615-7700	Store # <b>7318</b>	Gen3SE	Address: <b>IL 47 &amp; IL 71</b>	City, State: <b>Yorkville, IL</b>	<table border="1"> <thead> <tr> <th>#</th> <th>FINISH</th> <th>MANUFACTURER</th> <th>SPECIFICATION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>BRONZESTONE</td> <td>INTERSTATE BRICK</td> <td>ATLAS STRUCTURAL BRICK</td> </tr> <tr> <td>2</td> <td>MIDGRIFF</td> <td>INTERSTATE BRICK</td> <td>ATLAS STRUCTURAL BRICK</td> </tr> <tr> <td>3</td> <td>BRUSHED ALUMINUM</td> <td>REYNOLDBOND</td> <td>PASCO</td> </tr> <tr> <td>4</td> <td>RED POLYCARBONATE</td> <td>EVERWYN VILLAMUS</td> <td>STANDARD SEAM AWNINGS</td> </tr> <tr> <td>5</td> <td>QT SIGN</td> <td>ALLEN INDUSTRIES</td> <td>ILLUMINATED BAND</td> </tr> <tr> <td>6</td> <td>QT SIGN</td> <td>EVERWYN VILLAMUS</td> <td>RED SIGN</td> </tr> <tr> <td>7</td> <td>BLACK</td> <td>ALL COLOR FABRICS</td> <td>POLYPROPYLENE MESH</td> </tr> <tr> <td>8</td> <td>COLOR</td> <td>ALLEN INDUSTRIES</td> <td>SIGNAGE</td> </tr> <tr> <td>9</td> <td>GRANITE</td> <td>ALLEN INDUSTRIES</td> <td>ASSOCIATE</td> </tr> <tr> <td>10</td> <td>ISS-30</td> <td>ALLEN INDUSTRIES</td> <td>ILLUMINATED SIGNAGE</td> </tr> </tbody> </table>	#	FINISH	MANUFACTURER	SPECIFICATION	1	BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK	2	MIDGRIFF	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK	3	BRUSHED ALUMINUM	REYNOLDBOND	PASCO	4	RED POLYCARBONATE	EVERWYN VILLAMUS	STANDARD SEAM AWNINGS	5	QT SIGN	ALLEN INDUSTRIES	ILLUMINATED BAND	6	QT SIGN	EVERWYN VILLAMUS	RED SIGN	7	BLACK	ALL COLOR FABRICS	POLYPROPYLENE MESH	8	COLOR	ALLEN INDUSTRIES	SIGNAGE	9	GRANITE	ALLEN INDUSTRIES	ASSOCIATE	10	ISS-30	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE
	#	FINISH	MANUFACTURER	SPECIFICATION																																													
1	BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK																																														
2	MIDGRIFF	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK																																														
3	BRUSHED ALUMINUM	REYNOLDBOND	PASCO																																														
4	RED POLYCARBONATE	EVERWYN VILLAMUS	STANDARD SEAM AWNINGS																																														
5	QT SIGN	ALLEN INDUSTRIES	ILLUMINATED BAND																																														
6	QT SIGN	EVERWYN VILLAMUS	RED SIGN																																														
7	BLACK	ALL COLOR FABRICS	POLYPROPYLENE MESH																																														
8	COLOR	ALLEN INDUSTRIES	SIGNAGE																																														
9	GRANITE	ALLEN INDUSTRIES	ASSOCIATE																																														
10	ISS-30	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE																																														
Serial # <b>89-7318 Gen3SE</b>	Scale: <b>1/16" = 1'-0"</b>	Issue Date: <b>5-26-2023</b>	Drawn By:	Rev/Notes:																																													

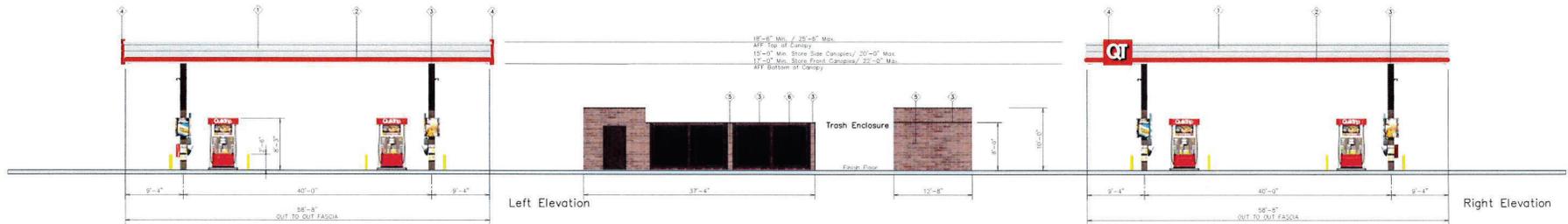
COPYRIGHT © 2011 QUIKTRIP CORPORATION. DESIGN PATENTS QUIKTRIP PLANS ARE THE EXCLUSIVE PROPERTY OF QUIKTRIP CORPORATION, TULSA, OKLAHOMA. THESE PLANS ARE PROTECTED IN THEIR ENTIRETY BY DOMESTIC AND INTERNATIONAL COPYRIGHT AND PATENT STATUTES. ANY UNAUTHORIZED USE, REPRODUCTION, PUBLICATION, DISTRIBUTION OR SALE IN WHOLE OR IN PART, IS STRICTLY FORBIDDEN.



Front Elevation



Rear Elevation



Left Elevation

Right Elevation



**QuikTrip.**

4705 South 129th East Ave.  
Tulsa, OK 74134-7008  
P.O. Box 3475  
Tulsa, OK 74101-3475  
(918) 815-7700

Store # 7318 Double Stack 8 Canopy Elevations

Address:

IL 47 & IL 71

City, State:

Yorkville, IL

Serial #

89-7318-GD08

Scale:

1/8"=1'-0"

Issue Date:

05.26.23

Drawn By:

BP

Rev/Notes:

COPYRIGHT © 2011 QUIKTRIP CORPORATION. DESIGN PATENTS QUIKTRIP PLANS ARE THE EXCLUSIVE PROPERTY OF QUIKTRIP CORPORATION, TULSA, OKLAHOMA. THESE PLANS ARE PROTECTED IN THEIR ENTIRETY BY DOMESTIC AND INTERNATIONAL COPYRIGHT AND PATENT STATUTES. ANY UNAUTHORIZED USE, REPRODUCTION, PUBLICATION, DISTRIBUTION OR SALE IN WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

Q	FINISH	MANUFACTURER	SPECIFICATION
1	TRIPOLIC ALUMINUM	ALUMINUM	ALUMINUM
2	TRIPOLIC ALUMINUM	ALUMINUM	ALUMINUM
3	TRIPOLIC ALUMINUM	ALUMINUM	ALUMINUM
4	TRIPOLIC ALUMINUM	ALUMINUM	ALUMINUM
5	TRIPOLIC ALUMINUM	ALUMINUM	ALUMINUM
6	TRIPOLIC ALUMINUM	ALUMINUM	ALUMINUM
7	TRIPOLIC ALUMINUM	ALUMINUM	ALUMINUM
8	TRIPOLIC ALUMINUM	ALUMINUM	ALUMINUM



---

# made-fresh-to-order



## More Than a Gas Station

For decades people have looked to QuikTrip for an on-the-go snack or sandwich. In 2007, our mission to captivate our customers with fresh food began when we opened our own bakeries and commissaries, making it feasible to deliver fresh food daily to our stores.

In 2010, we blazed a new trail into fresh food by adding state-of-the-art kitchens to our stores featuring made-to-order food and drinks such as pizza and subs.

The concept has been so successful that all QuikTrip stores feature a full-service kitchen. Download the QT app today and discover why we're more than a gas station.

*"I will go out of my way to get gas here, so why not have some great food at the same time?"  
— Kansas City customer*

---

---

# our most valued asset

## Hire the Best To Be the Best

QuikTrip employees are our most valued asset.

In 1958, our founder knew that success hinged on the success of his employees. That is still the case today; our leaders provide the training and mentoring needed that empowers our people to grow and succeed.

It's no wonder that many people make lifetime careers out of what they initially thought would be part-time jobs. The contributions of our hard-working, dedicated employees are rewarded with the **best wages** in the industry, **great benefits**, and **promotions** from within.

To learn more about career opportunities for your community, visit [quiktrip.com](http://quiktrip.com).

*"I frequently visit this location and I want to give the store a 100% on their employees—every time I visit. All the employees are polite, happy, and helpful. As a customer, I really appreciate that. Thanks so much."  
— Des Moines customer*



---

# committed to security



## Security That Leaves Nothing To Chance

Providing a great work environment, serving our customers and being a welcome community partner starts with exceptional security. Each store has multiple alarm points and digital video surveillance that is monitored constantly at our centralized, high-tech Security Operations Center.

Our store design also contributes to our excellent safety record, with time-delay safes accessible only by armored car service, elevated check-out areas, low-profile merchandise shelves, large windows, and warm lights inside and out. In addition, many of our officer-friendly stores provide space for substations for local law enforcement agencies.

Bottom line: our stores don't just look and feel safe—they are safe.

*"QuikTrip's commitment to the safety of their employees and customers is not only well known by the community, it is deeply appreciated by every deputy in Tulsa County."*

*— Tulsa County Sheriff's Department*

---

---

# the details set us apart

## Head and Shoulders Above the Rest

We own and operate each and every QuikTrip store, and that guarantees you'll have the same great experience each and every time you come to QuikTrip. It starts as you arrive; our clean parking lots and beautiful landscaping invite you inside to friendly greetings and impeccable interiors.

We take pride in knowing that you can count on fresh coffee, clean restrooms, great food and well-groomed employees.

So, whether you're on a road trip or on your way home, you'll know what to expect when you stop at QT.

*"I love the service at QuikTrip. I work for the postal service so I come in and out of the store all day. The employees are very polite and friendly. The restrooms are always clean, and the service is always fast. I've never had a problem, and I just wanted to say thanks to all the employees."*

*— St. Louis customer*



---

# guaranteed gasoline



## **Satisfaction Guaranteed**

QuikTrip doesn't just talk about quality, we guarantee it. We promise to refund your money if you're not completely satisfied. We take our gasoline promise even further. If your car has a fuel-related problem, simply have your certified mechanic complete and sign our service report, and we'll pay for the repair.

All grades of QuikTrip gasoline meet the "Top Tier" standard for fuel set by General Motors, Audi, Volkswagen, BMW, Honda, and Toyota. Just one more thing you can absolutely count on at QuikTrip.

To learn more about Top Tier rated gasoline visit [www.toptiergas.com](http://www.toptiergas.com).

Designed to protect the environment, our underground fuel systems are monitored around the clock from our central help desk, and lead the industry in safety and ingenuity.

With a broad selection of fuel grades and our unconditional guarantee, it's no wonder America drives over 120 million miles each day on QuikTrip gasoline.

*"I travel a lot, rent a lot of cars, and buy a lot of gas. Your stores have the best quality, best prices, best service, friendly helpful employees, many pumps, no long waits, and free air – which is a big plus for me."*

*— Dallas customer*

---

---

# an **asset** to our neighbors

## For Your Convenience

To keep our stores and your neighborhoods looking great, each store has an annual budget of \$108,000 for maintenance and landscaping.

Our extraordinarily high expectations for our facilities and each customer's experience is the driving force behind why we do things ourselves, the QuikTrip way.

A few examples? We could never be satisfied with waiting for an outside contractor to repair a register or soda fountain. Instead, we employ over 200 technicians that are dedicated to making repairs within 24 hours.

And, our centralized Information Technology department writes our own software and keeps our technology ahead of the curve.

We closely manage all of our operational processes. It's the best way to ensure that every one of our 800-plus stores looks, feels and performs like a QuikTrip.

*"When I speak to others about QuikTrip, I hate to use the term 'convenience store' for fear that they simply will not understand what I'm talking about. As you well know, QuikTrip is far and away, several notches above their competitors. It's hard to put into words, but I often say, 'If Heaven has convenience stores, they'll be QuikTrips.'"*

*— North Carolina customer*



---

# willing and able



## Helping the Communities We Call Home

An exciting aspect about being one of *Forbes'* largest private American companies is the far-reaching impact we're able to make in our communities. Each store generates an average of \$1.3 million in annual local and state taxes. Moreover, we donate 5% of our annual net profits to charitable organizations.

Caring for each other and our neighbors, QuikTrip employees are inherently generous with their resources, time and talents. Opportunities to volunteer are available and encouraged for everyone, and many of our managers and executives serve on the boards of non-profit agencies throughout our communities.

Among the organizations we support are United Way, Safe Place, local food banks, schools, and Folds of Honor, a non-profit whose mission is providing educational scholarships to the military families of those who have been killed or disabled while on active duty.

It's one more way we take our role as a good neighbor seriously.

*"While getting gas, we saw the Folds of Honor brochure in the display by the pumps. My wife and I were VERY impressed by this. We are military parents. Our youngest is a CW3 with 12 years in the Army. Our oldest son was an E-8 (Master Sergeant) with 18 plus years in the Marines. He died May 9, 2009, on active duty. This kind of support means a lot to all military families. Thank you for your support."*

— North Carolina customer



---

# lead by example

## Raising the Bar

Every day at QuikTrip we are challenged and empowered by our Core Values:

*Be the Best*

*Focus Long-term*

*Do What's Right For QT*

*Never Be Satisfied*

*Do the Right Thing*

"Employees know when management is sincere and can be trusted to do what's right. QuikTrip culture relies on that trust."<sup>1</sup>

Our success in the C-store industry has as much to do with developing leaders as it does creating a positive retail experience. Our commitment to promote from within creates hopes and dreams for our people and their families, thereby creating a loyal and dedicated workforce.

"... employees are motivated the most by pride in a job well done and receiving feedback that reveals that somebody cares."<sup>2</sup>

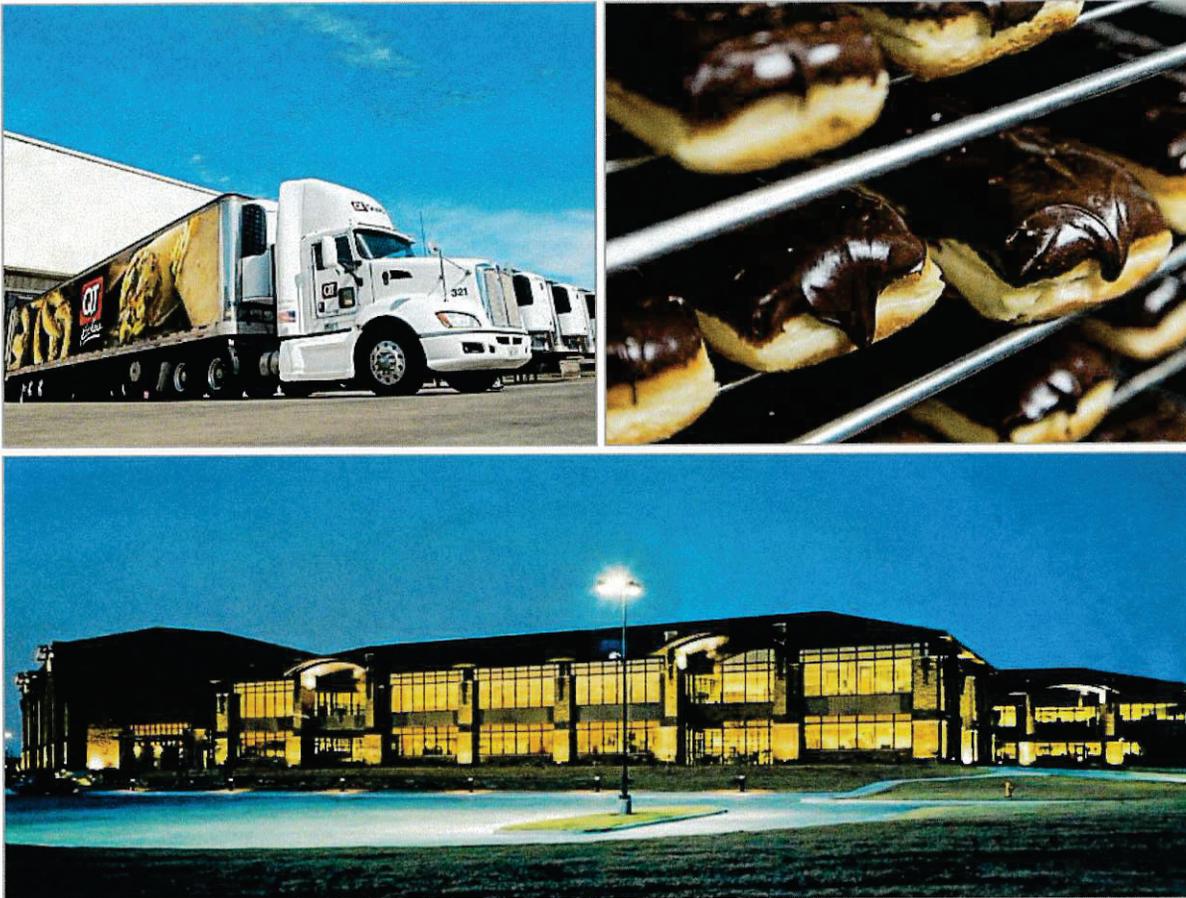
1. Chester Cadieux, *From Lucky to Smart: Leadership Lessons from QuikTrip* (Self-Published 2008), 2.

2. *Ibid.*, 148.



---

*If you're not taking care of customers, you'd better be taking care of the people who are!*



#### **Behind the Scenes**

Operating stores to our standard of excellence in twelve states requires stellar store employees and a battalion of dedicated and talented people in supporting roles.

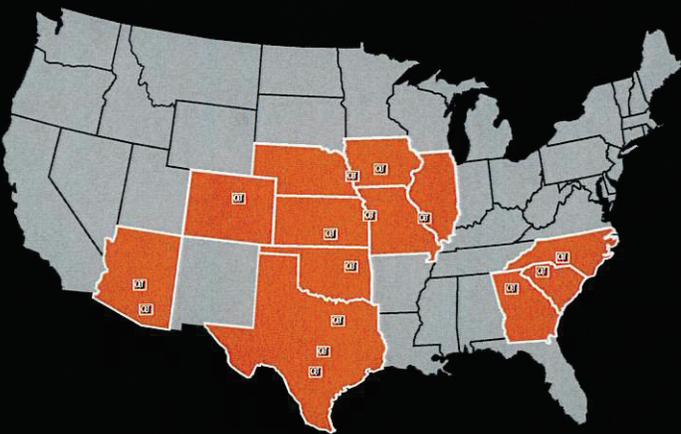
The most visible example is the over 1,800 folks that work in our warehouses, bakeries and commissaries. Teams working at QT Distribution coordinate and transport well over three million items each week. And in our bakeries and commissaries, guys and gals work tirelessly to prepare fresh pastries which are delivered to our stores each day.

Additionally, over 1,400 people work in various positions ranging from accountants, to engineers, to human resource specialists.

Providing both front-line and behind-the-scenes employees with opportunities to grow and succeed is our mission.

We're proud of our people, each and every one.

---



## QuikTrip. Metro Markets

*Tulsa*

*Dallas/Ft. Worth*

*Austin*

*San Antonio*

*Phoenix*

*Tucson*

*Kansas City*

*Des Moines*

*Omaha*

*Wichita*

*St. Louis*

*Atlanta*

*Charlotte*

*Greenville*

*Denver*

[quiktrip.com](http://quiktrip.com)



# WATER

## CONSERVING WATER IS THE RIGHT THING TO DO

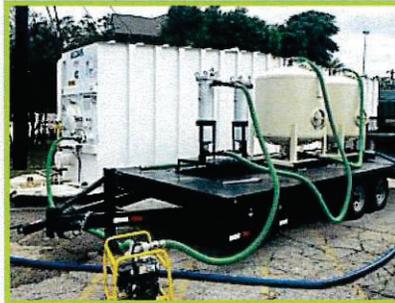
QuikTrip uses smart water controllers at over 500 facilities to minimize the water required to irrigate landscaped areas at those facilities. The smart water controller uses a weather station to adjust for changes in temperature and rainfall. The data is recorded and available for central reporting and control.

The change from simple timers to smart controllers resulted in a 35% reduction in water use. That saves 100 million watering gallons and \$580,000 annually.

## STORM WATER MANAGEMENT

Each QuikTrip site with stormwater concerns, from either QuikTrip's or a local jurisdiction's perspective, is designed to mitigate negative impacts to the area. This is done in a variety of ways, utilizing engineered structures both in green

spaces and underground. QT has over 700 individual structures that are designed specifically to either treat, retain, or direct stormwater. These devices can help protect surrounding properties from flooding in high rain events, and mitigate any potential petroleum from leaving QT property.

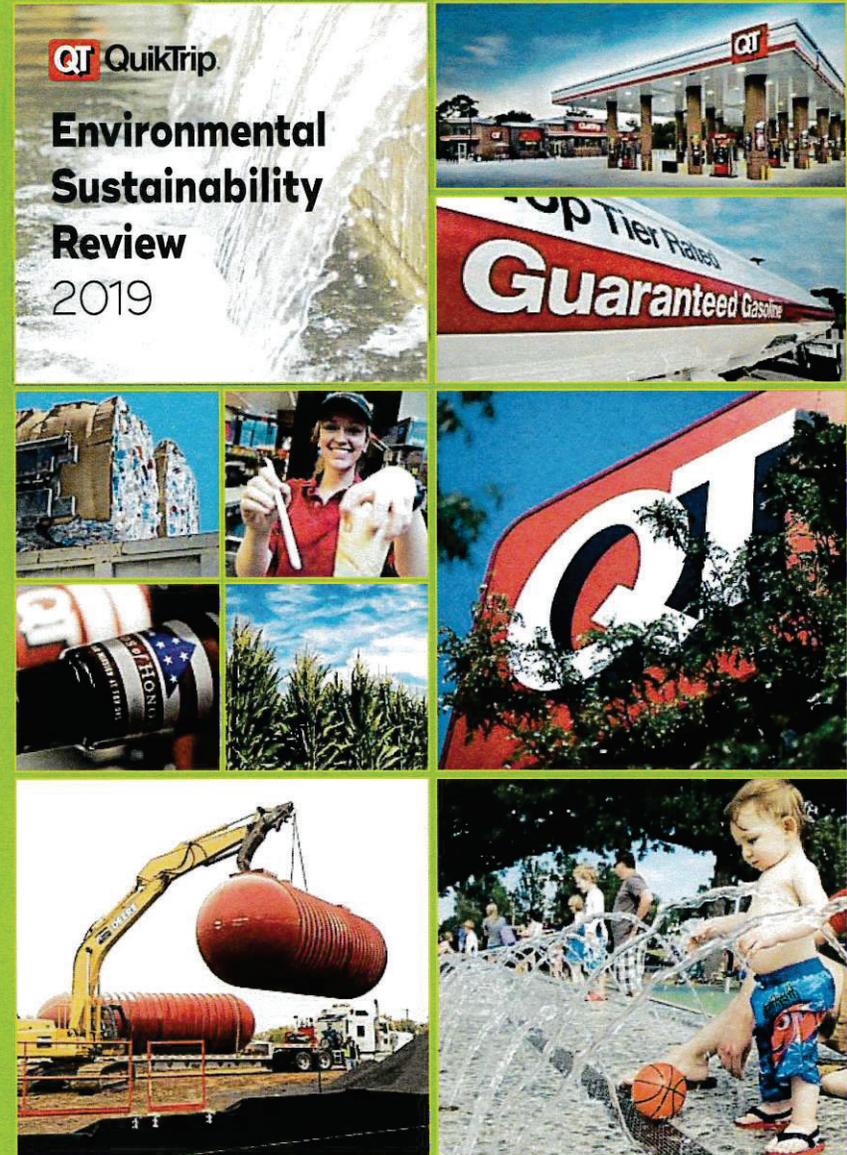


Carbon filter trailer used to treat contaminated groundwater before being discharged into the storm sewer system.

Protecting the environment and conserving natural resources are not just ambitious ideals at QuikTrip, but concepts we put into regular practice that seamlessly align with our Core Values. Sustainability is ingrained into the design, development, and operation of our stores, distribution centers, and kitchens and is often above and beyond the requirements set forth by local, state, and federal laws and regulations.

**Focusing Long-Term and Never Being Satisfied** are fundamental principles which exemplify QuikTrip's commitment to innovate and continuously improve processes – including our sustainability program. QuikTrip has been serving customers and investing in communities for more than 60 years, and the best is yet to come!

Damon Wright  
Engineering & Environmental Manager



At QuikTrip, environmental sustainability is interwoven into our everyday business decisions and practices. From the manner our store development teams design and build each store, to the way our store employees operate a nationwide network of 800+ stores, there are scores of examples demonstrating QT's corporate responsibility to protect the environment while conserving natural resources. This report communicates to our employees, customers, and the communities we serve the various sustainable initiatives driven by QT's mission and vision.

We corporately exercise pragmatic approaches that promote the success of our employees and sustain the community both economically and environmentally. My hope is that through increased transparency of normal day-to-day practices, our employees and community partners better understand the positive impacts we make and can be proud that QT sincerely cares about their future.

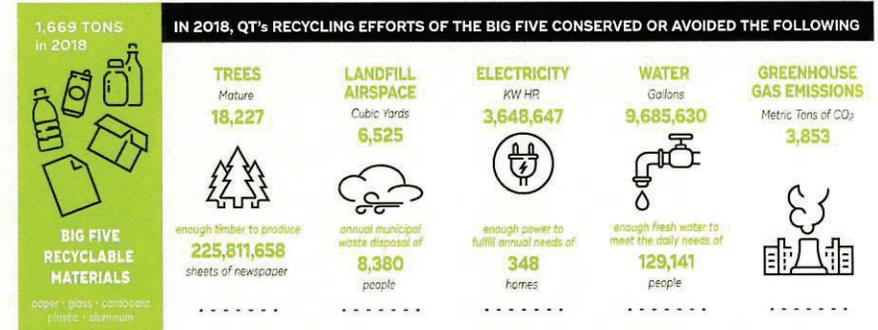
Damon Wright  
Engineering & Environmental Manager

# QUIKTRIP

## QUIKTRIP'S CORE VALUES

- Be the Best
- Never Be Satisfied
- Focus Long-Term
- Do What's Right for QuikTrip
- Do the Right Thing

# WASTE CONSERVATION



From recycling cardboard packaging in Arizona to complete waste stream separation in Tulsa, waste recycling occurs at hundreds of QuikTrip stores spanning across multiple divisions.

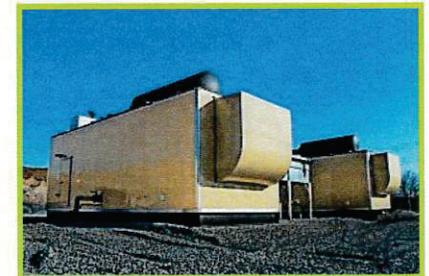
### QuikTrip Strives To Repurpose Building Materials

Upon the closure of each QuikTrip site, our inventory of reusable building materials and equipment is either sent to another store for reuse or is sold. Items include refrigeration units, cabinets, countertops, checkstands, gasoline dispensers, and various pieces of equipment. This "dequip" process helps divert demolition debris bound for disposal at the landfill and preserves resources through reuse.

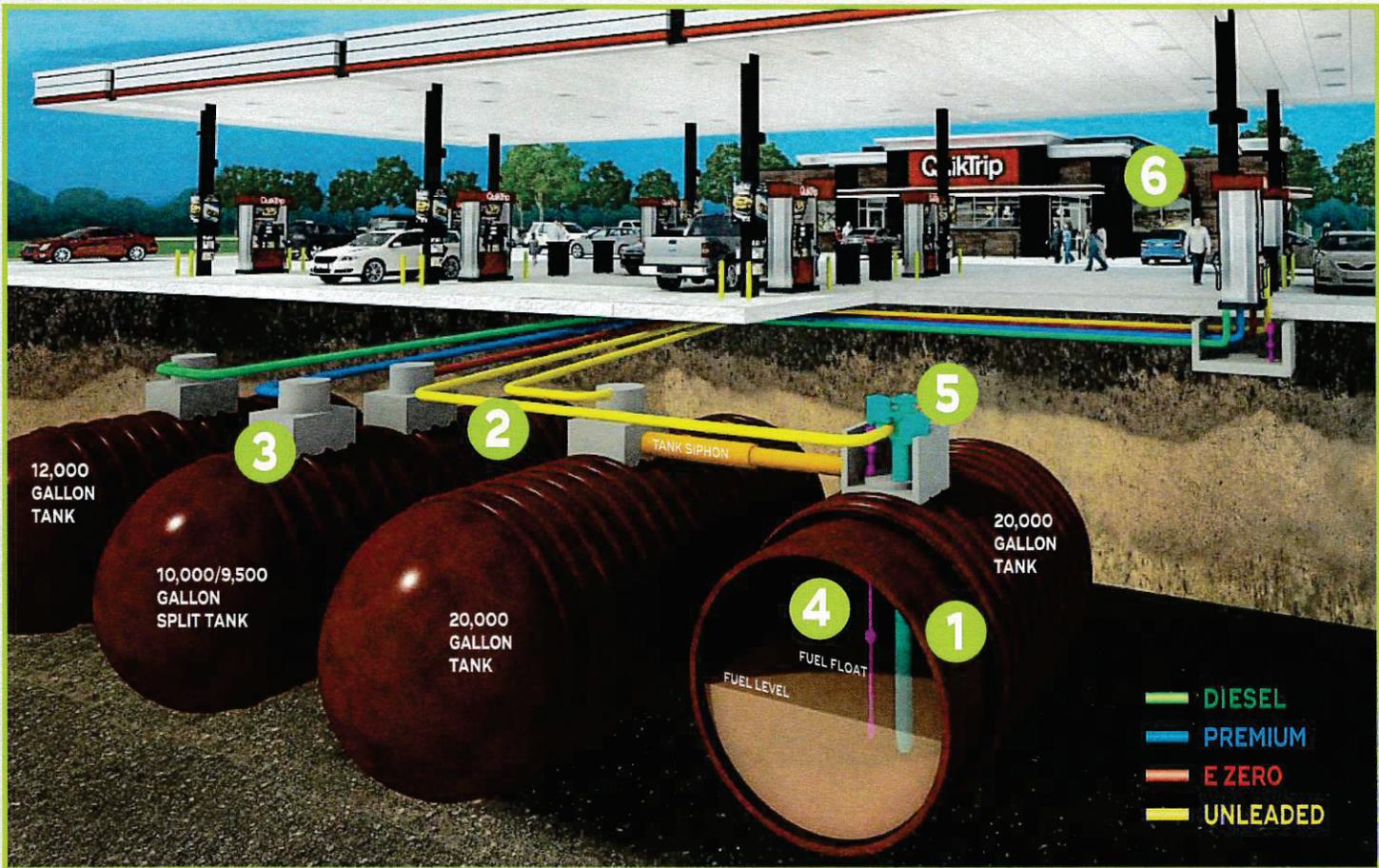
During site redevelopment, QuikTrip looks to implement best construction management practices by balancing site grades for less haul-off, and reusing concrete, excavated soils and rock, and minimally impacted soils. These practices help minimize waste streams leaving the site along with saving fuel and reducing emissions from trucks and material sent to landfills for disposal.



All trash generated at QT stores in Tulsa is sent to a materials recycling facility (MRF) where plastic, glass, metal, cardboard, and paper products are separated for recycling.



Non-recyclable trash residue from the MRF is sent to American Environmental Landfill where methane gas is captured from decomposing waste. This methane gas powers generators delivering electricity to a power plant serving a nearby community of 20,000 people.



- 1** DOUBLE-WALL FIBERGLASS TANKS WITH LEAK SENSORS


- 2** DOUBLE-WALL, FIBERGLASS PIPE


- 3** TRANSITION AND DISPENSER SUMPS WITH SENSORS


- 4** AUTOMATIC TANK GAUGES (ATG PROBE)


- 5** VARIABLE SPEED SUBMERSIBLE TURBINE PUMPS


- 6** TANK GAUGE MONITORING SYSTEM LOCATED IN STORE



# FUEL

## STATE-OF-THE-ART FUEL SYSTEM

- QuikTrip's cutting-edge fuel system includes several redundant leak prevention and monitoring systems. This system is designed with state-of-the-art interstitially monitored double-walled fiberglass piping installed to minimize joints. Additionally, underground sumps equipped with liquid sensors and a duplicative leak detection monitoring system are used to identify potential leaks in real time.
- The graphic representation provided on this page is a cross-sectional view of the QT fuel system, which is considered the gold-standard in our industry for protecting the environment while providing the finest quality fuel to our customers.

## TOP TIER™ GASOLINE

- QuikTrip customers receive higher detergent additives compared to non-Top Tier retailers offering only the minimum EPA required detergent. Top Tier additives help prevent the buildup of harmful engine deposits which may reduce fuel economy and optimal engine performance. QuikTrip Gasoline is guaranteed not to harm engines.

## RENEWABLE FUELS

- QuikTrip's fuel offer includes renewable fuels in the form of ethanol blended gasoline and biodiesel. These safer, cleaner-burning fuels significantly reduce carbon emissions and the dependency on fossil fuels.

# REDEVELOPMENT

Over half of the sites redeveloped by QuikTrip have had some form of pre-existing environmental contamination. Through store-development processes, QuikTrip makes continuous efforts to properly manage existing contamination, which in turn helps to reduce potential impacts to human health and the environment.

- QuikTrip has remediated and redeveloped scores of contaminated properties through new store development. Working with state environmental regulatory agencies through their respective Brownfield or Voluntary Cleanup Programs, soil and groundwater have been cleaned up through extensive site characterization, risk evaluation, and contaminant removal activities.

The following scenarios are recent examples of QuikTrip's commitment to reducing environmental impact and holding true to our Core Value of **Doing the Right Thing.**

## BROWNFIELD REVITALIZATION

- **Store #1045** – Partnering with the North Carolina Department of Environmental Quality, QuikTrip transformed a site contaminated with metals and petroleum where a former cotton gin, scrap metal junkyard, and lumberyard existed dating back to the late 1800's.
- **Store #1140** – Partnering with the South Carolina Department of Health and Environmental Control and the Environmental Protection Agency, QuikTrip remediated a site contaminated with pesticides, petroleum, and metals where a former auto body repair shop previously operated (see photos below).



Before



After

# ENERGY CONSERVATION

CONSERVING ENERGY IS THE RIGHT THING TO DO

- The current QuikTrip store is 100% LED outside and 95% LED inside, and we're currently examining ways to retrofit older stores to LED.
- QuikTrip changed the refrigeration spec on new stores from individual rooftop units to a comprehensive rack spec in 2015 and gained a 20% reduction in energy use.

- QuikTrip currently uses a Building Management System in all of our facilities to monitor, alarm, and control: lighting, heating/cooling, refrigeration, cooler-door anti sweats, and exhaust fans.

The energy savings paid for the new system within two years, but the real value was the visibility into our systems. We remotely monitor equipment performance, and quickly react to issues creating even more energy savings.

## QUIKTRIP'S STRATEGIC ENERGY PLAN

**43,857,000 KW Hours Saved Annually**  
Equivalent to **30,305 Metric Tons of CO<sub>2</sub>**

### EMCS

- Installed Energy Management Control Systems in all QT stores.

### REFRIGERATION

- High-efficiency fan motors for walk-in coolers
- High-efficiency compressors for fan motors

### LIGHTING

- LED lights: walk-in coolers, gas canopies, bathrooms, and signs
- Neon red stripe on gas canopies to LED
- Retrofit store fluorescent lighting from 32W to 28W
- Retrofit warehouses and commissaires to high-efficiency fluorescent lighting.
- Change specification for exterior lights from 400W to 320W.

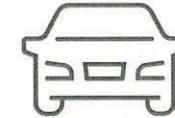


**QT's energy savings initiatives significantly reduces the Company's carbon footprint. The reduction in carbon dioxide is equivalent to:**



**CARBON SEQUESTERED BY:**  
6,462 acres of pine forest  
777,051 tree seedlings  
300 acres of deforestation

or



**CO<sub>2</sub> EMISSIONS FROM:**  
5,942 passenger vehicles  
3,397,422 gallons of gasoline

or



**ANNUAL CO<sub>2</sub> EMISSIONS FROM:**  
Electricity used by 3,678 homes  
Energy used by 2,575 homes



# Engineering Enterprises, Inc.

August 7, 2023

Ms. Krysti Barksdale-Noble  
Community Development Director  
United City of Yorkville  
651 Prairie Pointe Dr.  
Yorkville, IL 60560

**Re: QuikTrip Gas Station & Convenience Store  
2<sup>nd</sup> Submittal - Landscape Plan Review  
United City of Yorkville**

Dear Krysti:

We have reviewed the following items for the above referenced project:

- Preliminary Engineering Plans (9 Sheets) dated July 14, 2023, and prepared by Midwest Design Group

Our review of these plans and reports are to generally determine their compliance with local ordinances and whether the improvements will conform to existing local systems and equipment. This review and our comments do not relieve the designer from his duties to conform to all required codes, regulations, and acceptable standards of engineering practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review, we cannot and do not assume responsibility for design errors or omissions in the plans. As such, we offer the following comments:

The comments in the attached review letter from the City's landscaping consultant must be addressed and a revised landscaping plan submitted with Final Engineering plans.

If you have any questions or require additional information, please contact our office.

Respectfully Submitted,

ENGINEERING ENTERPRISES, INC.

Bradley P. Sanderson, P.E.  
Chief Operating Officer / President

BPS/tnp/pgw2

pc: Mr. Bart Olson, City Administrator (via email)  
Ms. Erin Willrett, Assistant City Administrator (via email)  
Mr. Eric Dhuse, Director of Public Works (via email)  
Mr. Pete Ratos, Building Department (via email)  
Ms. Dee Weinert, Admin Assistant (via email)  
Ms. Jori Behland, City Clerk (via email)  
Mr. Cyrus McMains, YBSD (via email)  
Mr. Ali Bukhres, QuikTrip (via email)  
TNP, PGW2, EEI (Via e-mail)

\\Milkyway\EEI\_Storage\Docs\Public\Yorkville\2023\YO2325-DR QuikTrip Gas Station and Convenience Store\Development\Final Engineering and Plat\Docs\Review and Response Letters\lcoyReview03 Preliminary Landscape.doc

# *Hey and Associates, Inc.*

Engineering, Ecology and Landscape Architecture

*MILWAUKEE, WISCONSIN*

*8755 W. HIGGINS ROAD, SUITE 853*

*CHICAGO, ILLINOIS 60631*

*PHONE (773) 693-9200*

*FAX (773) 693-9200*

*Volo, ILLINOIS*

August 4, 2023

Pamela Whitfield, PE, CFM  
Senior Project Engineer II  
Engineering Enterprises, Inc.  
52 Wheeler Road  
Sugar Grove, IL 60554

Project No.: 21-0275 U

Re: Landscape Plan Review  
QuickTrip Gas Station & Convenience Store (YO2325)  
107 E. Stagecoach Trail

Dear Pamela:

We have completed our second landscape plan review of the proposed QuikTrip Gas Station & Convenience Store located at 107 E. Stagecoach Trail in Yorkville.

## **Landscape Plan – NOT RECOMMENDED FOR APPROVAL**

For reasons described below, this landscape plan is not recommended for approval at this time. A response letter from the petitioner which addresses all review comments should be provided with their next submittal.

### **REVIEW COMMENTS**

Comments must be addressed before landscape plan approval can be recommended. If there are any changes to the proposed project, additional comments may be provided. Please note that the requirements of each section are in addition to the requirements of all other sections of the ordinance (i.e., trees and other plant materials cannot be “double counted” to meet multiple requirements).

### **Parkway Landscaping**

PREVIOUS COMMENTS ADDRESSED.

### **Perimeter Landscaping**

This site does not abut residential property, so therefore perimeter landscaping requirements do not apply.

### **Parking Lot Landscaping**

PREVIOUS COMMENTS ADDRESSED.

### **Lot Landscaping**

PREVIOUS COMMENTS ADDRESSED

### **Stormwater Storage Basin Landscaping**

No stormwater storage basin was found on the plans; therefore, these requirements are not applicable.

### **Tree Preservation**

PREVIOUS COMMENTS PARTIALLY ADDRESSED. A Tree Preservation Plan has been added to the plan set but required replacement trees have not been provided. Tree replacement may be required as detailed in the Ordinance. Based upon the Existing Tree Removal Summary table provided on the Tree Preservation Plan, a total of 49 replacement trees are required. Replacement trees are in addition to those trees required by other sections of the ordinance.

The Demolition Plan and Tree Preservation Plan graphically depict all existing trees, including those to be preserved, with an X in the center. Symbology should be revised to more clearly graphically represent which trees are to be removed and which are to remain to avoid confusion (i.e., different symbols for trees to be removed and preserved).

### **General Standards**

PREVIOUS COMMENTS PARTIALLY ADDRESSED.

Honeylocust (19 of 51 shade trees = 37%) still does not meet diversity requirements (max 33% of the total amount of required trees not of same genus).

### **SUMMARY**

This review was based upon the following documents, pursuant to requirements of the City's Landscape Ordinance.

- Landscape Plan, sheet L100, prepared by Midwest Design Group Kansas City, dated 07-14-2023
- Demolition Plan, sheet C030, prepared by Midwest Design Group Kansas City, dated 07-14-2023
- Tree reservation Plan, sheet C031, prepared by Midwest Design Group Kansas City, dated 07-14-2023
- Response to comments, 7 pages, no author, not dated

Let us know if there are any questions or comments.

Sincerely,



Tim Pollowy, PLA, ASLA  
Senior Landscape Architect



August 2, 2023

Ms. Krysti Barksdale-Noble  
Community Development Director  
United City of Yorkville  
651 Prairie Pointe Dr.  
Yorkville, IL 60560

**Re: QuikTrip Gas Station & Convenience Store  
Special Use Request – 2<sup>nd</sup> Submittal  
United City of Yorkville**

Dear Krysti:

We have reviewed the following items for the above referenced project:

- Preliminary Engineering Plans (9 Sheets) dated July 14, 2023, and prepared by Midwest Design Group

Our review of these plans and reports are to generally determine their compliance with local ordinances and whether the improvements will conform to existing local systems and equipment. This review and our comments do not relieve the designer from his duties to conform to all required codes, regulations, and acceptable standards of engineering practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review, we cannot and do not assume responsibility for design errors or omissions in the plans. As such, we offer the following comments:

## General

1. The following permits may be required during final engineering and should be provided to the City when obtained. The City and EEI should be copied on all correspondence with the agencies.
  - YBSD approval is needed for the connection of the proposed sanitary lines to the existing sanitary sewer.
  - IEPA permit may be needed for the sanitary sewer service depending on the use and calculated flow from the development.
  - IEPA NPDES General Construction Permit is required. The Notice of Intent must be filed with IEPA 30 days prior to start of construction.
  - Stormwater permit application in accordance with the Yorkville Storm Water Management Ordinance (Kendall Countywide Ordinance)
  - IDOT permits are needed for the connections to Illinois Routes 71 and 47.

2. The following will need to be submitted with Final Engineering Plans:
  - a. Truck turning exhibits for emergency vehicles.
  - b. Photometric plan.
  - c. An engineer's estimate needs to be provided and must include all public improvements within the ROW including utility connections and all soil erosion and sediment control items. This cost estimate will be used to determine the construction guarantee amount. In addition, a cost estimate needs to be provided for all site improvements which will be used to calculate the building permit fees.
  - d. See the attached Checklist for additional information needed at final engineering.

**Preliminary Engineering Plans**

3. A preliminary stormwater report should be provided.
4. Comments from IDOT on the acceptance of the location of the entrances should be provided.
5. The water main should be extended to the eastern property line for future extension.
6. Comments on the landscape plan shall be forthcoming.

If you have any questions or require additional information, please contact our office.

Respectfully Submitted,

ENGINEERING ENTERPRISES, INC.



Bradley P. Sanderson, P.E.  
Chief Operating Officer / President

BPS/tnp/pgw2

pc: Mr. Bart Olson, City Administrator (via email)  
Ms. Erin Willrett, Assistant City Administrator (via email)  
Mr. Eric Dhuse, Director of Public Works (via email)  
Mr. Pete Ratos, Building Department (via email)  
Ms. Dee Weinert, Admin Assistant (via email)  
Ms. Jori Behland, City Clerk (via email)  
Mr. Cyrus McMains, YBSD (via email)  
Mr. Ali Bukhres, QuikTrip (via email)  
TNP, PGW2, EEI (Via e-mail)



## UNITED CITY OF YORKVILLE

### GENERAL CHECKLIST FOR COMMERCIAL SITE PLANS/SINGLE LOT DEVELOPMENTS (EXTERNAL USE ONLY)

- Professional engineer signature and seal on drawings and calculations
- Location map and address, J.U.L.I.E. note included on plans
- Benchmarks based on NAVD 88 datum
- Existing utilities and topography to be provided
  - ✓ Existing elevations and contours shown at 1' intervals
- Compliance with subdivision grading plan (if applicable) and/or provide proposed grading plan
  - ✓ Proposed elevations and contours at 1' intervals
  - ✓ Indicate building top of foundation (2 ft. above H.W.L.)
  - ✓ Storm water drainage - safe outlet available and adequate conveyance provided
- Flood plain or flood way requirements to be addressed, if necessary
- Stormwater management
  - ✓ Per Kendall County/Yorkville stormwater management ordinance
  - ✓ Apply for storm water permit, if necessary
- Provide stormwater pollution prevention (SWPP) plan
  - ✓ Apply for NOI permit, if necessary
  - ✓ Note that receipt of NPDES permit required prior to construction
- Provide typical pavement sections
- Pavement markings and signage
- Entrance detail
- Handicap ramp detail (use IDOT standard)
- Show water service and include City standard details and notes
- Show sanitary service with inspection manhole and include YBSD standard notes
- Apply for appropriate IEPA permits – water and sanitary, if necessary
- Provide easements, if necessary
- Provide landscape plan
- Provide photometric plan
- Compliance with zoning code
- Performance guarantee for public improvements
- Overall cost estimate for all site improvements – for building permit fees



June 28, 2023

Ms. Krysti Barksdale-Noble  
Community Development Director  
United City of Yorkville  
651 Prairie Pointe Dr.  
Yorkville, IL 60560

**Re: QuikTrip Gas Station & Convenience Store  
Special Use Request – 1<sup>st</sup> Submittal  
United City of Yorkville**

Dear Krysti:

We have reviewed the following items for the above referenced project:

- Preliminary Engineering Plans (8 Sheets) dated May 22, 2023, and prepared by Midwest Design Group.
- ALTA /NSPS Land Title Survey
- Application for Special Use
- Other supporting documentation

Our review of these plans and reports are to generally determine their compliance with local ordinances and whether the improvements will conform to existing local systems and equipment. This review and our comments do not relieve the designer from his duties to conform to all required codes, regulations, and acceptable standards of engineering practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review, we cannot and do not assume responsibility for design errors or omissions in the plans. As such, we offer the following comments:

## **General**

1. The following permits may be required during final engineering and should be provided to the City when obtained. The City and EEI should be copied on all correspondence with the agencies.
  - YBSD approval is needed for the connection of the proposed sanitary lines to the existing sanitary sewer.
  - IEPA permit may be needed for the sanitary sewer service depending on the use and calculated flow from the development.
  - IEPA NPDES General Construction Permit is required. The Notice of Intent must be filed with IEPA 30 days prior to start of construction.

- Stormwater permit application in accordance with the Yorkville Storm Water Management Ordinance (Kendall Countywide Ordinance)
  - IDOT permits are needed for the connections to Illinois Routes 71 and 47.
2. The following will need to be submitted with Final Engineering Plans:
    - a. Truck turning exhibits for emergency vehicles
    - b. Photometric plan
    - c. An engineer's estimate needs to be provided and must include all public improvements within the ROW including utility connections and all soil erosion and sediment control items. This cost estimate will be used to determine the construction guarantee amount. In addition, a cost estimate needs to be provided for all site improvements which will be used to calculate the building permit fees.
    - d. See the attached Checklist for additional information needed at final engineering.
  3. A preliminary stormwater report should be provided.

### Preliminary Engineering Plans

#### **C010 – Overall Site Plan**

4. IDOT has planned reconstruction of the Illinois Route 71 and Illinois Route 47 intersection. These proposed improvements should be incorporated into the plans. Contact IDOT for the latest plans.
5. Improvements to Illinois Route 71 and Illinois Route 47 as directed by IDOT for the proposed site shall be shown. The engineer or developer should provide all correspondence with IDOT as it relates to the proposed road connections.
6. Add a data table noting the planned parking spaces.

#### **C100 – Site Plan**

7. The water main should be extended to the eastern property line for future extension.
8. IDOT's intersection improvements include construction of a shared-use path. The proposed sidewalk should be extended to the west to connect to the future shared-use path. Contact IDOT for the latest plans.
9. Consider making the westernmost driveway off IL-71 right-in/right-out only to prevent traffic backup into the intersection.

#### **C102 – Vehicle Tracking (WB-67)**

10. The WB-67 should be shown entering and exiting the site as well as maneuvering through the site to the fuel pumps.

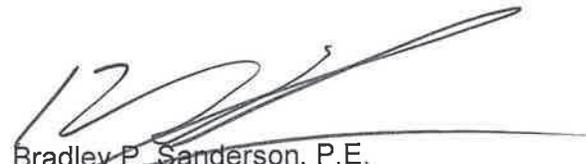
**L100 – Landscape Plan**

11. The comments in the attached review letter from the City's landscaping consultant must be addressed and a revised landscaping plan submitted.

If you have any questions or require additional information, please contact our office.

Respectfully Submitted,

ENGINEERING ENTERPRISES, INC.



Bradley P. Sanderson, P.E.  
Chief Operating Officer / President

BPS/tnp/pgw2

pc: Mr. Bart Olson, City Administrator (via email)  
Ms. Erin Willrett, Assistant City Administrator (via email)  
Mr. Jason Engberg, Senior Planner (via email)  
Mr. Eric Dhuse, Director of Public Works (via email)  
Mr. Pete Ratos, Building Department (via email)  
Ms. Dee Weinert, Admin Assistant (via email)  
Ms. Jori Behland, City Clerk (via email)  
Mr. Cyrus McMains, YBSD (via email)  
Mr. Ali Bukhres, QuikTrip (via email)  
TNP, PGW2, EEI (Via e-mail)

# *Hey and Associates, Inc.*

Engineering, Ecology and Landscape Architecture

*MILWAUKEE, WISCONSIN*

*8755 W. HIGGINS ROAD, SUITE 853*

*CHICAGO, ILLINOIS 60631*

*PHONE (773) 693-9200*

*FAX (773) 693-9200*

*Volo, ILLINOIS*

June 27, 2023

Pamela Whitfield, PE, CFM  
Senior Project Engineer II  
Engineering Enterprises, Inc.  
52 Wheeler Road  
Sugar Grove, IL 60554

Project No.: 21-0275 U

Re: Landscape Plan Review  
QuickTrip Gas Station & Convenience Store (YO2325)  
107 E. Stagecoach Trail

Dear Pamela:

We have completed our first landscape plan review of the proposed QuikTrip Gas Station & Convenience Store located at 107 E. Stagecoach Trail in Yorkville.

## **Landscape Plan – NOT RECOMMENDED FOR APPROVAL**

For reasons described below, this landscape plan is not recommended for approval at this time. A response letter from the petitioner which addresses all review comments should be provided with their next submittal.

### **REVIEW COMMENTS**

Comments must be addressed before landscape plan approval can be recommended. If there are any changes to the proposed project, additional comments may be provided. Please note that the requirements of each section are in addition to the requirements of all other sections of the ordinance (i.e., trees and other plant materials cannot be “double counted” to meet multiple requirements).

### **Parkway Landscaping**

Parkway trees are required along IL Route 47/Bridge Street and IL Route 71 Stagecoach Trail. A minimum of one tree per 50 linear feet of frontage is required. Therefore, 18 parkway trees are required. If utilities are a concern, it appears adequate space exists for them to be planted set back closer to the paved area on site.

### **Perimeter Landscaping**

This site does not abut residential property, so therefore perimeter landscaping requirements do not apply.

### **Parking Lot Landscaping**

Interior: One tree is required for every 20 parking spaces. Therefore, three trees are required. Also, the plans should specify that all interior parking lot shade trees be limbed to a height of not less than eight feet to ensure proper visibility within the parking lot.

Perimeter: When a parking lot is adjacent to a public right-of-way, a landscape buffer yard shall be provided the width of the required parking setback or 30', whichever is less; the buffer yard shall consist of one shade tree, one evergreen tree, and 33 shrubs per 100 linear feet. Therefore, 455' of landscape buffer yard is required along IL Route 47/Bridge Street and 200' of buffer yard is required along IL Route 71/Stagecoach Trail.

### **Lot Landscaping**

The petitioner's calculations on the plan indicate 24 shade trees and 180 shrubs are required based upon lot size. These plantings are in addition to all other requirements (i.e., plantings cannot be double counted).

### **Stormwater Storage Basin Landscaping**

No stormwater storage basin was found on the plans; therefore, these requirements are not applicable.

### **Tree Preservation**

Tree Preservation standards apply to all development parcels greater than five acres in area; therefore, these requirements are applicable to this site. A tree survey showing the location of all trees four inches and greater including botanical name, common name, size, and condition/health will be required. Tree replacement may be required as detailed in the Ordinance.

The Demolition Plan indicates all existing trees on site, including those that appear to lie outside of the limits of construction, are to be removed. It is recommended that the petitioner considers preserving existing healthy, quality trees where possible. Preserved trees may be counted toward landscape requirements (e.g., Lot Landscaping) as per section 8-12-3 G. of the Ordinance.

### **General Standards**

The Landscape Schedule should be revised to reflect the minimum size of plan materials specified in the ordinance.

1. Shade trees: 2.5" caliper
2. Evergreen trees: 8' tall
3. Ornamental trees: 6' tall
4. Shrubs: 24" tall

Willow Oak is more of a southern species and not planted in NE IL. Another species should be specified.

Oak and Honeylocust do not meet diversity requirements (max 33% of the total amount of required trees not of same genus).

The landscape plan should identify the location, quantity, size, and type (both botanical and common names) of all existing landscaping to be preserved and removed, and all proposed landscaping.

**SUMMARY**

This review was based upon the following documents, pursuant to requirements of the City's Landscape Ordinance.

- Landscape Plan, sheet L100, prepared by Midwest Design Group Kansas City, dated 5/22/23
- Demolition Plan, sheet C030, prepared by Midwest Design Group Kansas City, dated 5/22/2023

Let us know if there are any questions or comments.

Sincerely,

A handwritten signature in black ink that reads "Tim Pollowy". The signature is written in a cursive, flowing style.

Tim Pollowy, PLA, ASLA  
Senior Landscape Architect



## UNITED CITY OF YORKVILLE

### GENERAL CHECKLIST FOR COMMERCIAL SITE PLANS/SINGLE LOT DEVELOPMENTS (EXTERNAL USE ONLY)

- Professional engineer signature and seal on drawings and calculations
- Location map and address, J.U.L.I.E. note included on plans
- Benchmarks based on NAVD 88 datum
- Existing utilities and topography to be provided
  - ✓ Existing elevations and contours shown at 1' intervals
- Compliance with subdivision grading plan (if applicable) and/or provide proposed grading plan
  - ✓ Proposed elevations and contours at 1' intervals
  - ✓ Indicate building top of foundation (2 ft. above H.W.L.)
  - ✓ Storm water drainage - safe outlet available and adequate conveyance provided
- Flood plain or flood way requirements to be addressed, if necessary
- Stormwater management
  - ✓ Per Kendall County/Yorkville stormwater management ordinance
  - ✓ Apply for storm water permit, if necessary
- Provide stormwater pollution prevention (SWPP) plan
  - ✓ Apply for NOI permit, if necessary
  - ✓ Note that receipt of NPDES permit required prior to construction
- Provide typical pavement sections
- Pavement markings and signage
- Entrance detail
- Handicap ramp detail (use IDOT standard)
- Show water service and include City standard details and notes
- Show sanitary service with inspection manhole and include YBSD standard notes
- Apply for appropriate IEPA permits – water and sanitary, if necessary
- Provide easements, if necessary
- Provide landscape plan
- Provide photometric plan
- Compliance with zoning code
- Performance guarantee for public improvements
- Overall cost estimate for all site improvements – for building permit fees



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #6

Tracking Number

EDC 2023-36

### Agenda Item Summary Memo

**Title:** Unified Development Ordinance – Project Update

**Meeting and Date:** Economic Development Committee – September 5, 2023

**Synopsis:** Proposed draft Unified Development Ordinance (UDO)

#### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** None

**Council Action Requested:** Informational

**Submitted by:** Krysti J. Barksdale-Noble Community Development  
Name Department

#### Agenda Item Notes:

---

---

---

---

---

---



# Memorandum

To: Economic Development Committee  
From: Krysti J. Barksdale-Noble, Community Development Director  
CC: Bart Olson, City Administrator  
Date: August 29, 2023  
Subject: **Unified Development Ordinance**  
Chapter Review of Proposed Unified Development Ordinance

---

## **PROJECT BACKGROUND:**

In March 2019, the City initiated the Unified Development Ordinance (UDO) project which began the process of taking various existing City ordinances and combining them into a cohesive, single-reference, graphic-based document. The City ordinances that are being reviewed, updated, and merged are:

1. Zoning Ordinance (originally adopted 1974, amended 2014)
2. Subdivision Control Ordinance and Standard Specifications for Improvements (adopted 2004)
3. Landscape Ordinance (adopted 2009)
4. Appearance Code (adopted 2005)

The City retained a planning consultant, Houseal Lavigne Associates, to draft the new UDO and conduct the review process with an appointed Advisory Committee. Additionally, the City hired EnCode Plus to take the finished version of the code and create a unique online user-friendly version of the ordinance.

In 2019, Houseal Lavigne conducted an initial assessment of the City's ordinances, focus group interviews with local stakeholders, discussions with department heads, and drafted a diagnostic memo to evaluate what changes need to be made according to recommendations from the 2016 Comprehensive Plan. Due to the COVID-19 pandemic, the project was put on a one-year hiatus from May 2020 to May 2021. Prior to the project's hiatus, the UDO Advisory Committee met three (3) previous times to discuss the project and review materials from Houseal Lavigne. The materials included a project overview, diagnostic memo, and a review of Chapter 3 revisions. The comments and insights given at these meetings help in forming a code that is fit for Yorkville.

After restarting the project in the summer of 2021, the advisory committee was reduced from nine (9) members to five (5) due to a lack of quorum which resulted in cancelled meetings. Since that time, Houseal Lavigne drafted new Chapters of the UDO and the Advisory Committee has reviewed the materials and provided comments and recommendations for revisions. In all, the Advisory Committee met 15 times and held an open house for the public to review and provide feedback on the draft of the proposed changes on August 31, 2023.

A public hearing for formal consideration of the UDO by the Planning and Zoning Commission (PZC) is scheduled for Wednesday, September 13, 2023.

## **CHAPTER REVIEWS:**

As the Advisory Committee moved towards the final review and recommendation of the Unified Development Ordinance (UDO), there have been several rounds of material review conducted by staff and the committee. The following sections give an overview and description of the types of changes proposed to be made to the City's current ordinances:

## CHAPTER 1. GENERAL PROVISIONS

### Chapter Elements

Outlines the authority, applicability, intent, purpose, interpretation, and scope of regulations of the Unified Development Ordinance (UDO).

### Major Revisions

- Effective date of the Unified Development Ordinance (UDO) will be January 1, 2024.

### Minor Updates

- Title, including the adoption of the Zoning District map, now will be referred to as the “United City of Yorkville Unified Development Ordinance”.
- When other ordinances or regulations regarding use of land, buildings, or bulk of buildings conflict, the more restrictive shall govern.
- When regulations of this title conflict with existing agreements (i.e., PUDs, Development agreements, etc.) are more restrictive, the existing agreement shall govern.
- Added “Severability” clause which states if any provision of this title is deemed invalid by a court of competent jurisdiction, it shall not affect the application of the provisions to other buildings, structures or parcel of land not included in the judgement.

## CHAPTER 2. DEFINITIONS

### Chapter Elements

Complete list of definitions of the terms referenced throughout the Unified Development Ordinance (UDO).

### Major Revisions

- Structures vs. building are now clearly defined (gazebo/ pergola = structure, pool house or detached garage = building)
- Artisan manufacturing is a new use.
- Auto sales & services was clearly defined to address sales occurring completely “enclosed” in a building or structure (e.g., Carvana) or “open sales” on lots.
- Data Center, Refrigerated Warehouse (Cold Storage), and Battery Storage Use definitions added.
- Term “family home” has been replaced with “dwelling unit” throughout.
- Net Floor Area (Floor Area, Net) was added in reference to parking requirements.
- Professional Services and Offices definition was amended to remove language that required such professional services to have a license.
- Animal Hospital and veterinarians are now defined separately.
- Tents are now defined as a temporary use.
- Vehicle Charging Stations are now defined.
- Public Storage facilities and temporary storage units at residences (e.g., PODs) are defined separately.
- Density is now referred to as “Gross Density”.
- Group Home definition has been removed, as it is now considered the same as any other residential use.

- Building Line was removed since setbacks are defined to identify the limits of where the primary structure can be located in a parcel.
- New definition for “grain elevator” specifies that “grain bin/silo” is included.

#### Minor Updates

- Group definitions by alphabet per section of Chapter 2 (e.g., “A” Definitions), rather than just in alphabetical order under a single section.

## **CHAPTER 3. DISTRICT STANDARDS**

#### Chapter Elements

Establishing Districts; Purpose of Districts; Bulk and Dimensional Standards; Permitted Obstructions; and Permitted and Special Uses.

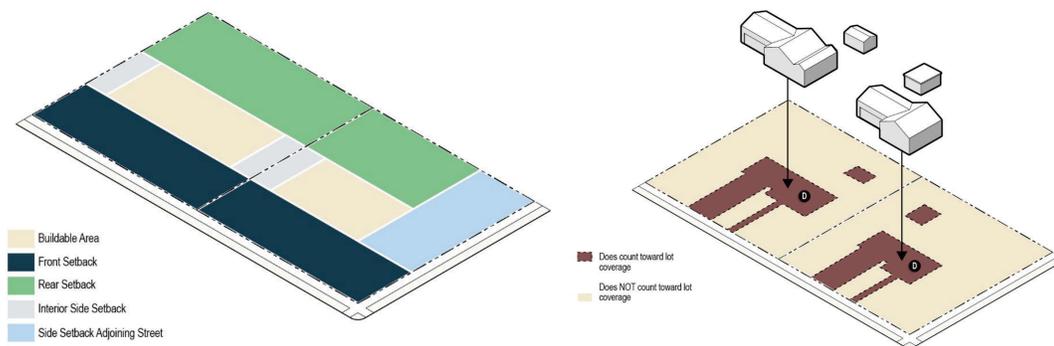
#### Major Revisions

- Combining and streamlining similar zoning districts
  - Reduced number of zoning districts from fifteen (15) to fourteen (14).
  - Eliminated the E-1 Estate Residential District, O-Office District, and B-4 District due to underutilization or uses that can be accommodated in other existing zoning districts.
  - B-1 Local Business District will be consistent w
  - Repurposed the B-2 Retail Commerce Business District for a mixed-use district, as the properties of the current B-2 District are indistinguishable from B-1 or B-3 Districts.
  - Combined the current OS-1 Open Space (Passive) and OS-1 Open Space (Active) into a single OS Open Space District.
  - Created a new PI Public Institutional District to better accommodate institutional and civic uses throughout the city.
  - Creation of the Downtown Overlay District to coincide with the adopted form-based code regulations.
- Creation of a new Zoning Map (see attached)
- Modifying some bulk regulations to address the proposed consolidated zoning districts.
  - Reduced lot size for B-1 District from 10,000 square feet to 8,000 square feet to absorb the O-District and select B-2 designated parcels that are located in close proximity of residential neighborhoods and are of a scale and intensity most appropriate for neighborhood-oriented businesses.
  - Eliminated the minimum lot size requirement for the B-2 Retail Commerce District (10,000 square feet to 0) to which compromises the downtown overlay district and future PUD District designated for a transit-oriented development. Also, this eliminates the district’s non-conforming parcels.
- Adjustment of Permitted and Special Uses
  - Massage establishments are special uses
  - Identified “outdoor self-storage facilities” as special uses in the M-1 and M-2 Districts.
  - Allowed indoor single-building climate-controlled self-storage facilities as permitted uses in the B-3, M-1, and M-2 Districts.
  - Modernized uses to include: “Commercial Entertainment Indoor/Outdoor” such as spectator sports, gymnastics, and outdoor golf driving ranges; Artisan Manufacturing in the business districts; and vehicle charging stations in all districts.
  - Allowed semi-truck repair, truck trailer sales/rental as a special use in the B-3 District.
- Identified Accessory Dwelling Units (ADU) as permitted uses in certain residential districts and Accessory Commercial Units (ACU) as special uses in certain residential districts.

- Created a new category and regulations for Temporary Uses such as “storage of roadway construction materials and equipment” and “portable outdoor storage containers” (i.e., PODS).
- Replaced Floor Area Ratio (FAR) with Maximum Lot Coverage.

### Minor Updates

- Adjustments to Permitted Yard Obstructions
  - Permit uncovered front porches to extend from three (3) feet to five (5) feet into the required front yard.
  - Landscaping has been added as a “permitted obstruction” in all required yards with a note that landscaping within dedicated stormwater overflow routes may be limited or restricted, per the approval of the City Engineer.
- Added graphics to clearly visualize concepts such as lot widths, setbacks, lot coverage, and building height.



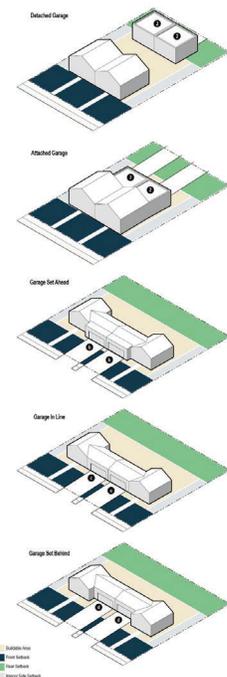
## CHAPTER 4. USE STANDARDS

### Chapter Elements

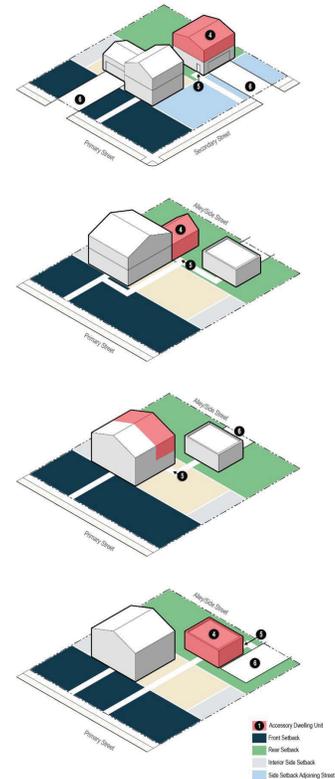
Standards for agricultural, residential, commercial, vehicle, industrial, transportation, alternative energy, cannabis, institutional, accessory, and temporary land uses.

### Major Revisions

- Created residential appearance standards for duplex, townhome, and multi-dwelling units
  - Garage placement for duplexes, townhomes, and multi-unit dwelling developments
- Regulations for commercial entertainment uses which are currently unregulated.
  - Golf course and driving range regulations and netting requirements.
- Redefining industrial use standards
  - Added regulations for artisan manufacturing uses.
- Additional regulations in regard to solar and wind farms
- Allow private alleys for future development
- Instead of maximum townhome units, regulate the maximum length
- Standards for Accessory Dwelling Units (ADUs) and Accessory Commercial Units (ACUs).

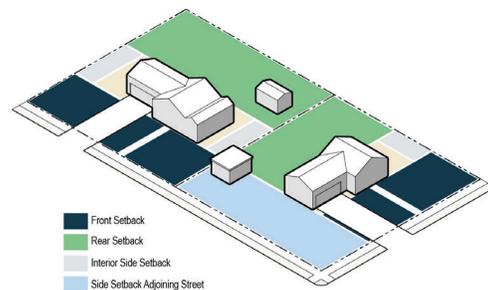
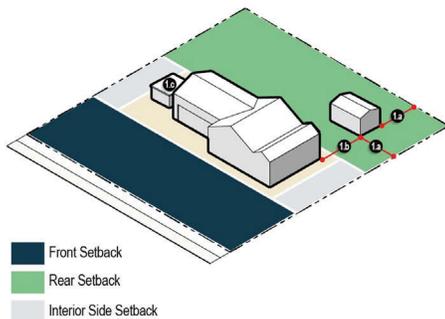


- Regulates size, location, number, parking, and appearance of ADUs and ACUs.
- Prohibits ADU's and ACU's from having separate water meters, mailboxes, and trash containers from the primary owner to address concerns of these units being utilized as rental properties.
- Regulations for outdoor displays on commercial and manufacturing districts.
  - Location on site, type, size, distance from adjacent residentially zoned parcels, vision clearance requirements, and maintenance.
- Clearly defines Temporary Use Standards and regulations
  - Formerly titled "Seasonal Uses" which regulated uses such as mobile food/retail vendors, sidewalk cafes, and parklets.
  - Regulations now includes uses such as "Storage of Roadway Construction Materials" and "Portable Outdoor Storage Devices".



Minor Updates

- Recategorized telecommunication tower and antennae uses under "Institutional, Public, and Utility Use Standards"
- Illustrations provided to visualize locations of permanent and temporary accessory uses on lots.



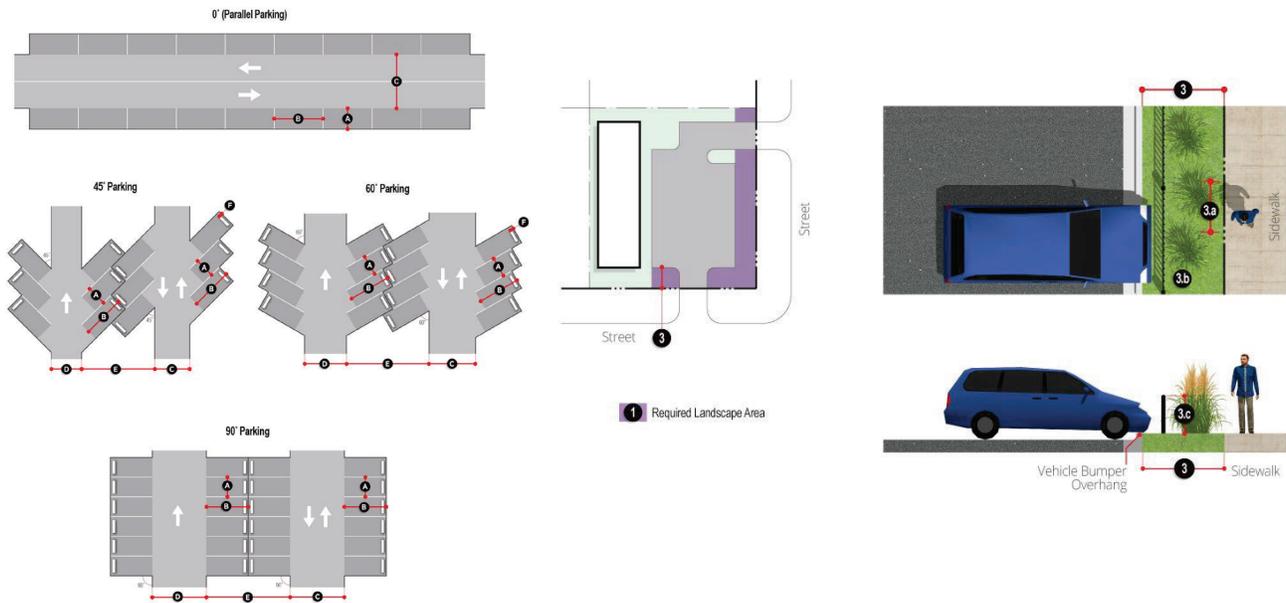
**CHAPTER 5. DEVELOPMENT STANDARDS**

Chapter Elements

Off-street parking standards; landscaping and screening standards; fencing standards; and outdoor lighting standards.

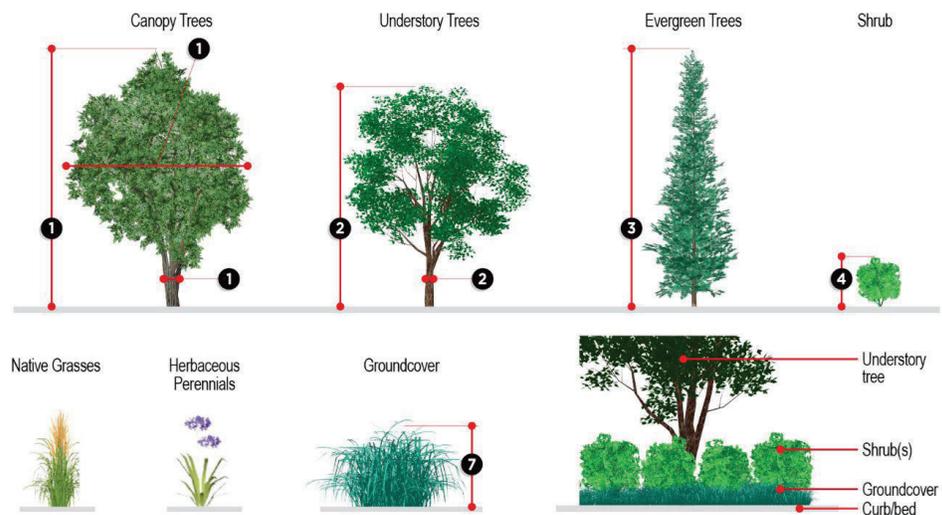
Major Revisions

- Parking Regulations
  - Dimensions of parking stalls and a variety of angles and driveway widths updated
  - Compact vehicle/motorcycle parking spaces for parking areas of more than ten (10) spaces up to 5% can be provided.



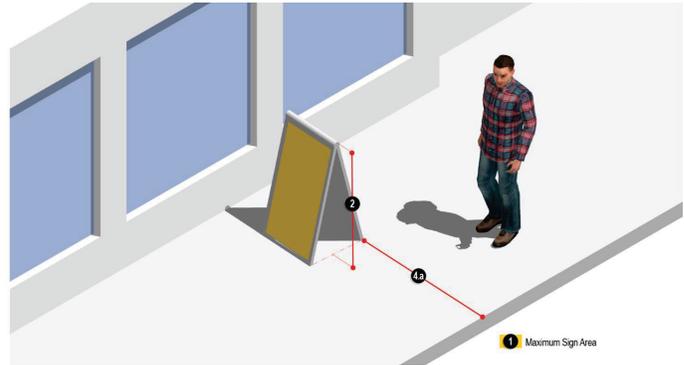
- Specifications for exact materials for off-street parking was revised to comply with the City of Yorkville’s Standard Specifications requirements which will be now codified as an appendix to the UDO.
- Fee-In-Lieu of Off-Street Parking: An applicant may request to pay a fee-in-lieu of the off-street parking required in this Section. The City will allocate the fee to construct and maintain public parking facilities.
  - All requests are subject to a maximum of 20% of the required parking and requires City Council approval.
  - Cost estimate of an average parking space will be provided by the developer and verified by the City Engineer.
  - Fee must be paid prior to issuance of building permit.
- Parking lot threshold for providing landscaped islands has been revised to ten (10) or more contiguous spaces in a row.
- Cross Access regulations
  - Facilitates internal vehicular access between adjoining developments, encouraging shared parking, and minimizing access points along streets for new multi-unit, nonresidential, and mixed-use developments, or redevelopments.
- Updated categories and table of land uses with parking standards
  - Such new parking standards included: Commercial Entertainment Uses, Energy Industrial uses, and Medical and Adult Cannabis Uses.
- Reserved Parking Space Standards
  - Curbside Pickup
    - Maximum 5% can be reserved for curbside pickup
    - May reduce the minimum number of parking spots required by one (1) space per parking spot reserved for curbside pickup.
  - Ride Share Pickup and Drop Off
    - Maximum 5% can be reserved for ride share pick up and drop off.
    - Must be located on the side or rear of the principal building, away from the main building entrance.
    - May reduce the minimum number of parking spaces required by 0.5 spaces per parking space reserved for ride share pickup and drop off.

- Electric Vehicle Charging Stations
  - Requires one (1) EV charging station per every fifty (50) parking station for any parking structure or parking area serving a multiunit use.
- Allowed Reductions to Required Parking
  - Pedestrian Access provided – 10% reduction
  - Public Parking Lots provided – 10% reduction
  - On-Street Parking available – Up to 2 spaces can be reduced for residential and 0.5 spaces can be reduced for nonresidential.
- New Pedestrian Circulation Standards
  - Requires on-site pedestrian circulation that is ADA compliant
  - Must be marked and connect to all building on site and to vehicle and bicycle parking spaces.
  - Must connect building entrances to adjacent public rights-of-way along direct routes.
  - Provide connections to existing and future planned trails.
- Completely new and detailed landscape ordinance standards
  - New Building foundation landscaping zone requires five (5) square feet of landscaping area per linear foot of building frontage facing the front and exterior side yards and shall be dispersed along the building foundation as approved by the Zoning Administrator.
  - The ground covering required for parking lot landscaping states “the surface area of every parking area island and median shall be planted with a mix of rocks, plant material, or other materials approved by the Zoning Administrator.”
  - Fee-in-lieu options have been added for tree replacement and parking space requirements as follows:
    - Fee-In-Lieu of Tree Replacement Standards: A fee may be provided in lieu of replacement of trees of preservation of existing trees. These fees will be based upon wholesale pricing for a 2.5-to-3-inch tree. Money collected from the fee in lieu option shall be deposited into a Tree Bank to be used towards tree replacement and plantings throughout the City.
  - Landscape regulations now encourages new commercial developments to not use sod but seek alternatives for groundcover (such as seeding lots) for water conservation best management practices.
  - Added new Transition Zone Types for landscaping buffer areas between incompatible uses.
    - Creates four (4) transition zones which requires a different combination of elements including setback distances of separation, planting types, solid fencing, green walls, vegetated stormwater management areas, living ground cover, or turf based upon the intensity of adjacent uses.

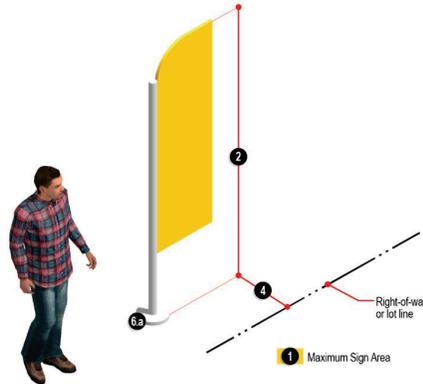




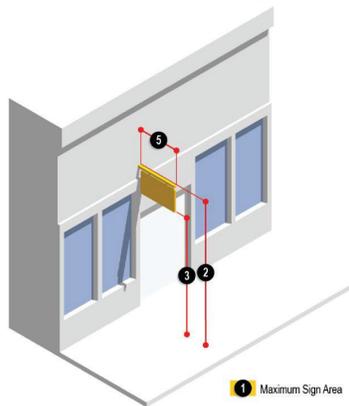
- Expand material list for monument signs
  - Created a two-tiered sign material classification
    - Base Quality Materials (stone veneer, fiber cement, wood, EIFs, precast panels)
    - High Quality Materials (Masonry, Natural Stone, Steel/wrought iron)
      - The higher quality the sign material, the larger the sign area permitted.
      - Single Tenant Monument signs for base quality signs are 32 square feet and high-quality signs are 48 square feet.
- A-Frame/Sandwich Board Signs
  - One (1) sign allowed.
  - Maximum sign area of 8 square feet and maximum height of 4 feet.
  - Allowed in the Downtown Overlay District to be located in the public right-of-way up to 750 feet from the entrance of the associated business.
  - May be displayed during the operating hours of the use the sign is associated.
- Post and Yard Signs are now allowed in the B-2 (Downtown Overlay) District.
  - Yard signs are allowed 16 square feet, but up to 32 square feet on parcels having frontage along a major arterial roadway.
  - One (1) yard sign displayed for a period up to 72 hours shall be exempt.
  - Maximum of two (2) yard signs may be displayed at any given time. However, during 60 days before and 15 days after an election, an unlimited number of signs may be displayed.
- Landscape Requirements
  - New landscaping regulations for monument sign bases require a minimum area of 0.5 square feet per square footage of the sign area (i.e., 32 square foot sign = 16 square feet of sign base landscaping).
  - Landscape areas shall be planted with one (1) shrub or native grass, per every 3 square feet of required landscape area.
  - Required shrubs and native grasses shall be approved by the Zoning Administrator as a landscape plan.
- Temporary Signs
  - Maximum of two (2) temporary signs may be displayed per lot at any given time, with the exception of feather signs.
  - Updated temporary sign standards to permit larger banners for larger establishments.
  - Banner signs have a maximum duration of 90 days per calendar year and one (1) wall mounted banner sign per tenant for all signs or one (1) ground-mounted banner sign per frontage for single tenant buildings.
    - Wall-mounted banners in residential districts, B-1, B-2, A-1, OS, and PI districts are allowed a maximum of 10% of the total area of the face of the wall it will be affixed.
    - Wall-mounted banners in the B-3, M-1, and M-2 districts are allowed a maximum of 7.5% of the total area of the face of the wall it will be affixed.
    - Ground-mounted banner signs are allowed up to 32 square feet.



- Feather signs have a maximum area of 26 square feet vs. no current size regulations.



- Multi-tenant buildings are allowed one (1) flag per business, 25 feet apart.
- Nonresidential post sign area permitted a maximum area of 32 square feet and residential post sign are permitted a maximum of 6 square feet.
- Regulations revised to state “cold air inflatables signs shall not be installed below or interfere with any electrical conductors, phone conductors, CATV conductors, fire alarm conductors or any other similar installations”.
- A projecting sign and wall sign may be displayed on the same building frontage. A projecting sign and an awning or canopy sign shall not be displayed on the same building frontage.
  - Projecting signs are permitted a maximum area of 16 square feet.

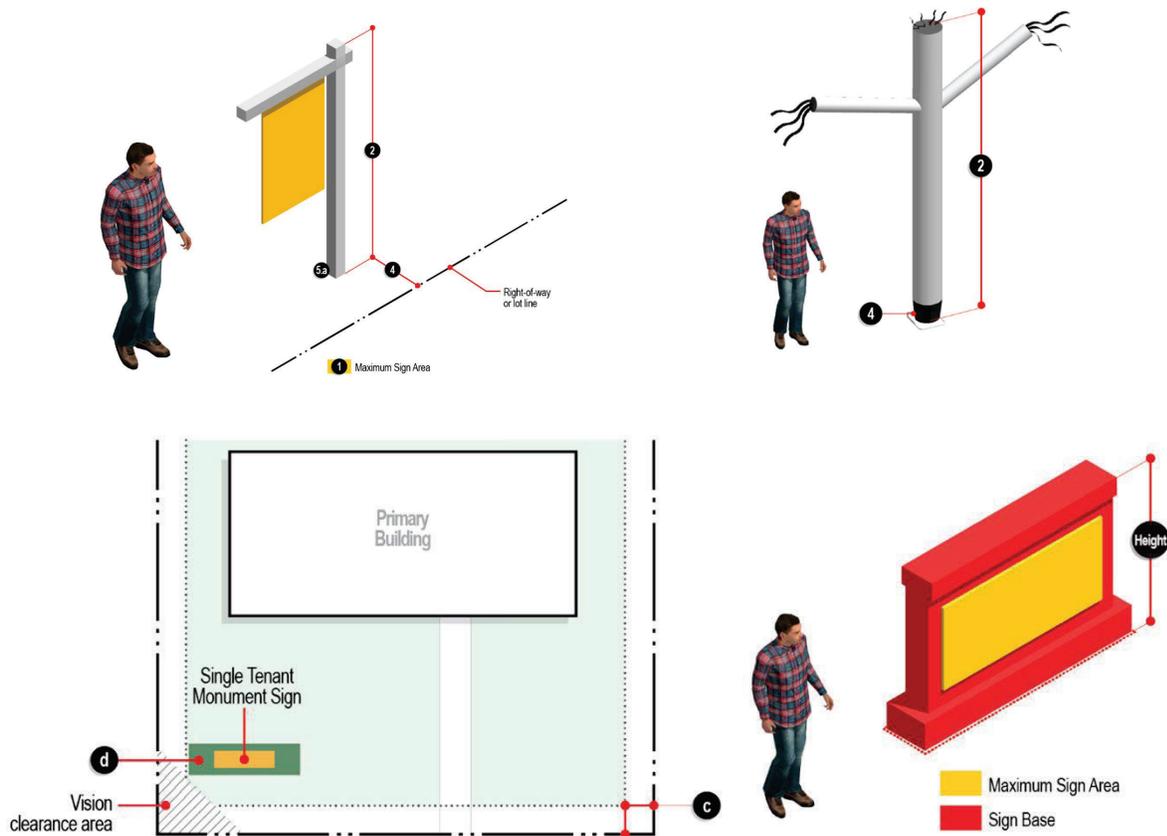


- Electronic Message Boards are revised to allow 80% of the message board available for electronic message and are not permitted as electronic message board signs as wall mounted signs.
- Comprehensive Sign Plan
  - Provides an alternative procedure under which signs can be designed, constructed, and erected. The objective of the comprehensive sign plan is to encourage a higher level of design than is possible under the regular sign regulations.
  - Approved by the Zoning Administrator based upon set conditions related to placement, quantity, and size (however, cannot exceed the sign area or height for the district).
  - Zoning Administrator can approve, approve with conditions, or deny comprehensive sign plan.
  - Applicant can appeal the denial within 30 days to the Planning and Zoning Commission who will have final determination.

### Minor Updates

- Created a list of permitted sign types by district table vs. a list.

- Updated graphics provided to illustrate the various sign types, measurements, and locations of the permitted signs.



## CHAPTER 7. SUBDIVISION STANDARDS

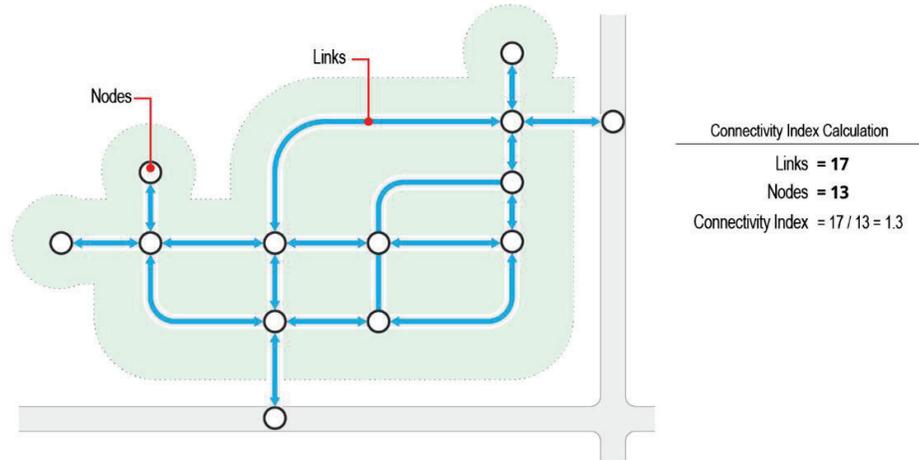
### Chapter Elements

Lots; street design and improvements; circulation and connectivity standards; easements; water/sewer and stormwater regulations; cluster development; anti-monotony standards; and park and school land dedication.

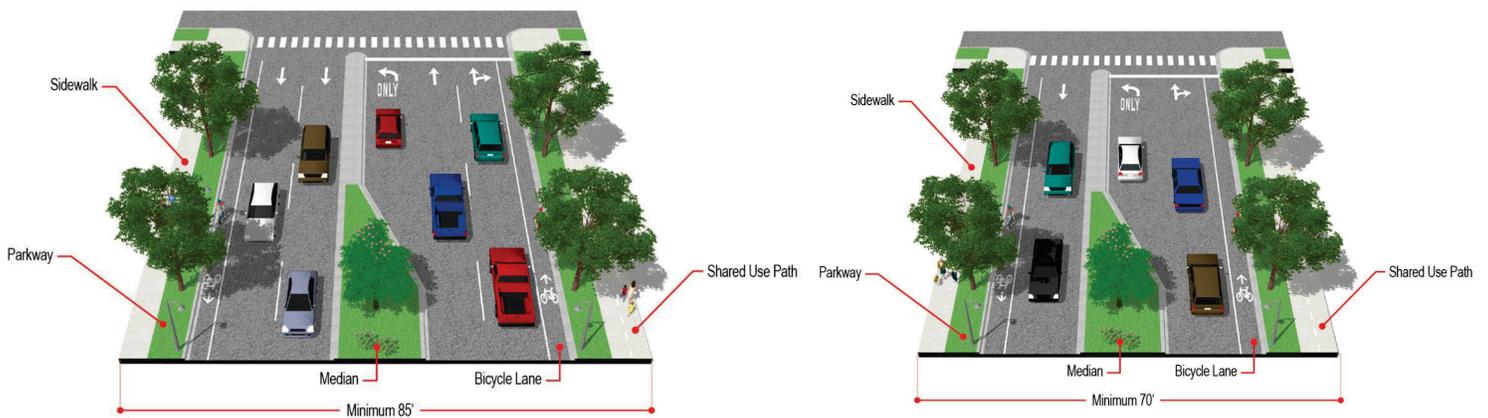
### Major Revisions

- Lots
  - Lot orientation has been revised to state “where appropriate, lot orientation along an east-west longitudinal axis is recommended for increased energy efficiency for potential solar panels.”
  - Double Frontage Lots are discouraged, but when necessary due to topography and limited access, double frontage lots shall provide suitable screening with a transition yard or be subdivided and utilized as an outlet.
- Streets:
  - Block length shall not exceed 1,320, but 800 feet or less block lengths are encouraged.
    - New “Connectivity Index Calculation” implemented which determines the adequacy of street layout design.

- Ratio of number of streets to intersections (streets ÷ intersections). Subdivisions should have a minimum index of 1.2.



- Street stubs shall conform to the City’s adopted version of the International Fire Code.
- Right-of-Way width has been tiered based upon street type depending on various amenities offered such as sidewalks, shared use path, parkway, bicycle lane, on-street parking and/or median.
  - Arterial 85 ft.
  - Collector 70 ft.
  - Local Nonresidential 80 ft.
  - Local Residential 66 ft.
- Required Street Design Elements
  - Depending on the type of street, elements may include sidewalks, shared use path, parkway, bicycle lane, shared bicycle and vehicle lanes, on-street parking and medians.



- Easements are to be centered on the rear or side lot lines, unless otherwise approved by the City Council.
- All alleys are to be privately maintained.
- Water, Sewer, and Stormwater

- Codifying requirements for looped, double fed water systems and the extension of the utilities to the boundaries of the development.
- Cluster Development
  - Permitted for environmentally sensitive developments (wetland, flood zone, etc.) within the R-1, R-2 and R-2D residential districts as a Planned Unit Development (PUD).
  - A density bonus may be approved up to 30% of the maximum density approved by the district and dimensional standards (yard setbacks) may be reduced up to 30% if sensitive nature features are preserved (e.g., native landscapes, mature tree stands, prime farmland, critical habitat, etc.)

Zoning District	Maximum Density	Potential Density Bonus
R-1	3.63 dwelling units/acre	4.71 dwelling units/acre
R-2	4.36 dwelling units/acre	5.66 dwelling units/acre
R-2D	2.90 dwelling units/acre	3.77 dwelling units/acre

- Anti-Monotony Standards
  - Additional specifics have been provided related to roof pitch and slope, dimensions of front wall, shape of front elevation silhouette, location of windows on front elevation, location of garage doors and exterior cladding materials on front elevation, such as:
    - Depth of horizontal siding, brick facing, vertical siding, stone facing, stucco/staccato board and trim and color change.
    - When material changes are made for purposes of anti-monotony standards the change must occur throughout the front façade or elevation for a minimum of one story in height.

## CHAPTER 8. UDO REVIEW AND APPROVAL PROCESS

### Chapter Elements

Procedures, processes, and administrative authorities for special uses, planned unit developments, variations, appeals, map and text amendments, and annexations.

### Major Revisions

- Administration Authorities codified for: Zoning Administrator, Zoning Officer, Plan Council, Economic Development Committee, and Planning and Zoning Commission to reflect actual duties performed and to ensure they do not conflict with duties listed in other titles of the City Code.
- Administration Review and Action codified regarding:
  - General Application Requirements
  - Permits, Certificates, and Administrative Review
  - Boards/Commission General Review and Action Procedures
  - Subdivision Procedures
  - Planned Unit Development process
  - Variations
  - Appeals
  - Text & Map Amendments
  - Annexations
  - Economic Incentive/Development Agreements

- Addition of a “Community Meeting” held by the developer with the area/neighborhood property owners explaining the purpose of the requested special use, subdivision, PUD, rezoning, and/or annexation, may be recommended by City Staff depending on the nature of the development.
- Planned Unit Development (PUD) can must justify site development allowances (increased density, modified/reduced bulk standards, etc.) if one of the following standards is met:
  - Landscape Conservation and Visual Enhancement
  - Sustainable Design
  - Public Gathering Space
  - Placemaking
  - Universal Design
  - High Quality Building Materials
  - Age-targeted Development
  - Affordability
  - Provision of a Public School
  - Provision of a Regional Park
  - Funding or Construction of Public Roadways
  - Regional Utility Improvements



Minor Updates

- Continue to have the Planning and Zoning Commission (PZC) make final decisions regarding Appeals to Zoning Administrator, however staff to notify City Council for informational purposes.
- Illustrative flow charts provided to guide the public through the approval process meeting steps.

**CHAPTER 9. NONCONFORMING BUILDINGS, STRUCTURES, AND USES**

Chapter Elements

Regulations for the continuous, elimination and exemptions of nonconforming uses and structures.

Major Revisions

None

Minor Updates

- Establishes new effective date for any lawfully constructed building or use of land that shall be considered legal nonconforming and may be continued as January 1, 2024.

**“SMART CODE” WEB PORTAL**

The final component of the Unified Development Ordinance (UDO) is the creation of a digital “smart code” web portal. Once the UDO is codified, the code will be transformed from a static word on paper

into a dynamic, interactive, and fully-featured platform with features such as embedded high-resolution images in text and tables; hover look-up tool for defined terms within the website; quick tables and links to view commonly referenced standards such as parking, landscaping, permitted uses; development calculators; and GIS integration. The “Smart Code” web portal is also designed to be user-friendly, easy to update and compatible with our current digital codification company, Municode. A link to the draft Smart Code is found here: <https://online.encodeplus.com/regs/yorkville-il/index.aspx>

## Current Code

### CHAPTER 4 - ZONING ADMINISTRATION AND ENFORCEMENT

#### 10-4-1 - Organization:

A. Implementing and administering: The primary responsibility for implementing and administering this title is hereby vested in the following bodies:

1. Zoning Administrator;
2. Zoning Officer;
3. Plan Council;
4. Plan Commission;
5. Zoning Board of Appeals;
6. City Council.

B. Authority and administrative functions: This chapter shall first set out the authority of each of the designated administrative bodies, and then describe the procedures and substantive standards with respect to the following administrative functions:

1. Issuance of building permits and certificate of occupancies;
2. Plan review;
3. Variations;
4. Appeals;
5. Special uses;
6. Amendments;
7. Annexations;
8. Fees and penalties.

(Ord. 2014-73, 11-25-2014)

#### 10-4-2 - Administration:

A. Zoning administrator: The Director of the Department of Community Development shall be the Zoning Administrator. Acting in this capacity, the Director of the Department of Community Development shall administer the provisions of this title.

B. Duties: The Zoning Administrator is duly appointed and shall enforce the zoning regulations in addition thereto, and in furtherance of such authority, shall:

1. Identify all nonconforming structures and uses;
2. Forward to the Plan Commission applications for amendments to the zoning title text or map, special uses and county mile and one-half reviews;
3. Forward to the Zoning Board of Appeals applications for appeals and variances;
4. Forward applications, site plans and related information to the Plan Council in all cases which require plan review as defined in section 10-4-4 of this chapter, and as required in specific zoning districts under the provisions of this title;
5. Interpret the zoning regulations when questions arise, including:
  - a. Determine which uses though not contained by name in a zoning district list of permitted uses, are of the same general character and permit their establishment;
  - b. Determine the parking or loading class of a use which is not contained by name in a parking or loading class;
6. Maintain permanent and current records of the zoning ordinance, including, but not limited to, all maps, amendments, variations, appeals, and publications thereof;
7. Assist in providing public information relative to all matter pertaining to this title and open records for public inspection, as deemed required by law;
8. Initiate, direct and review, from time to time, a study of the provisions of this title and administrative record of variances and appeals, and make reports of their recommendations to the City Administrator and the appropriate Board or Commission;
9. Administer the comprehensive plan and make interpretations of provisions which pertain to building and site design taking into consideration such factors as contextual appropriateness, consistency with the city's general policies, and community need or benefit;
10. Delegate other duties as may be placed upon him/her by this title.

(Ord. 2014-73, 11-25-2014)

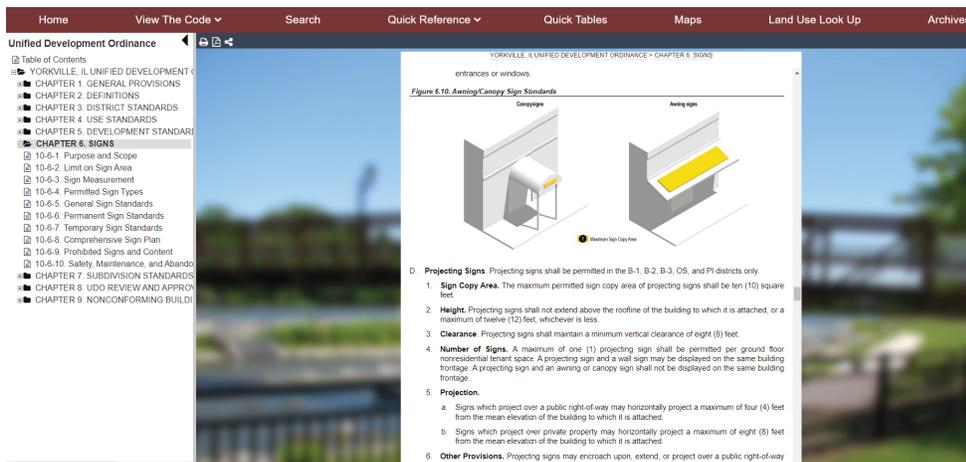
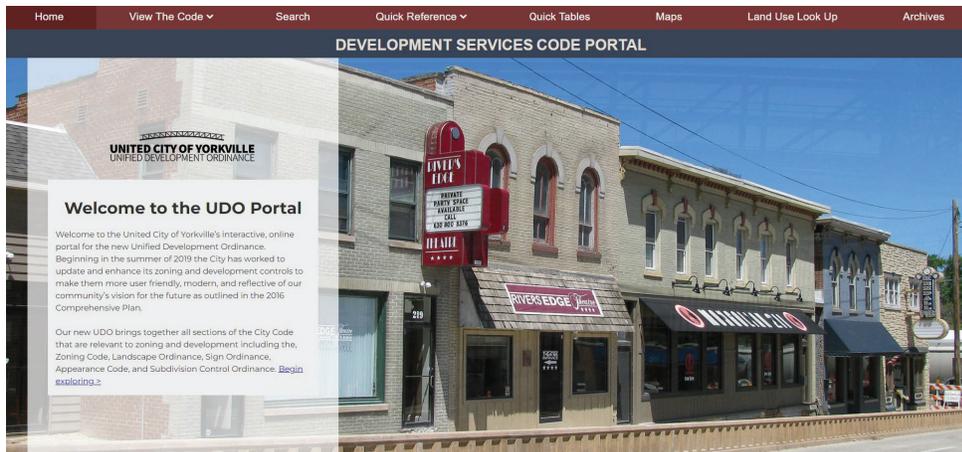
#### 10-4-3 - Enforcement:

A. Zoning Officer: The Chief Building Code Official, hereinafter referred to as the "officer", is designated as the Zoning Officer of the City.

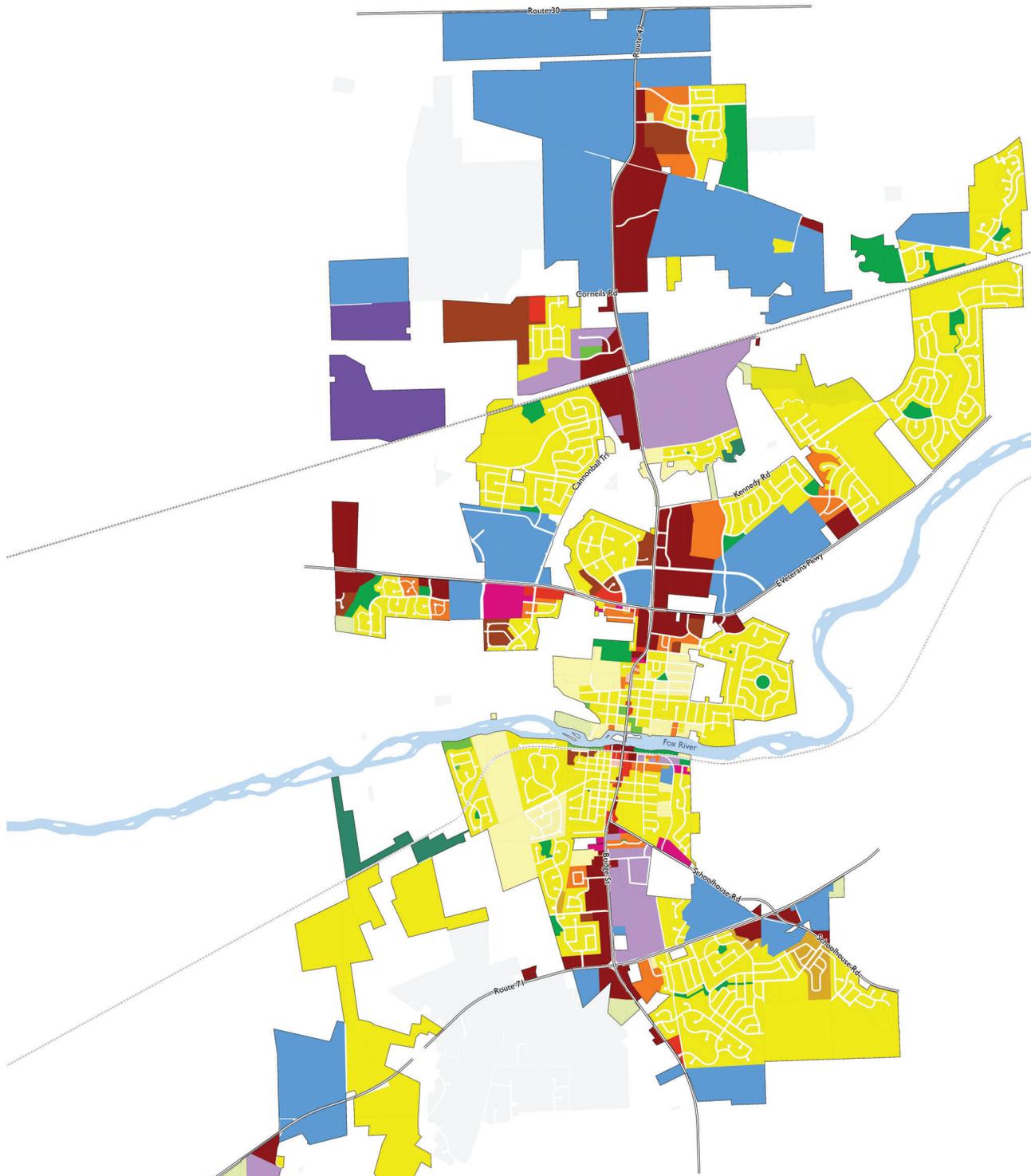
B. Duties: The Zoning Officer shall, with the exception of interpretations unless otherwise authorized, be responsible for enforcing this title. Said officer shall have the power and shall see that the provisions of this title are properly enforced and in furtherance of such authority, shall:

1. Issue all certificates of use and occupancy and maintain records thereof;

## Future Code



# Existing Zoning Map

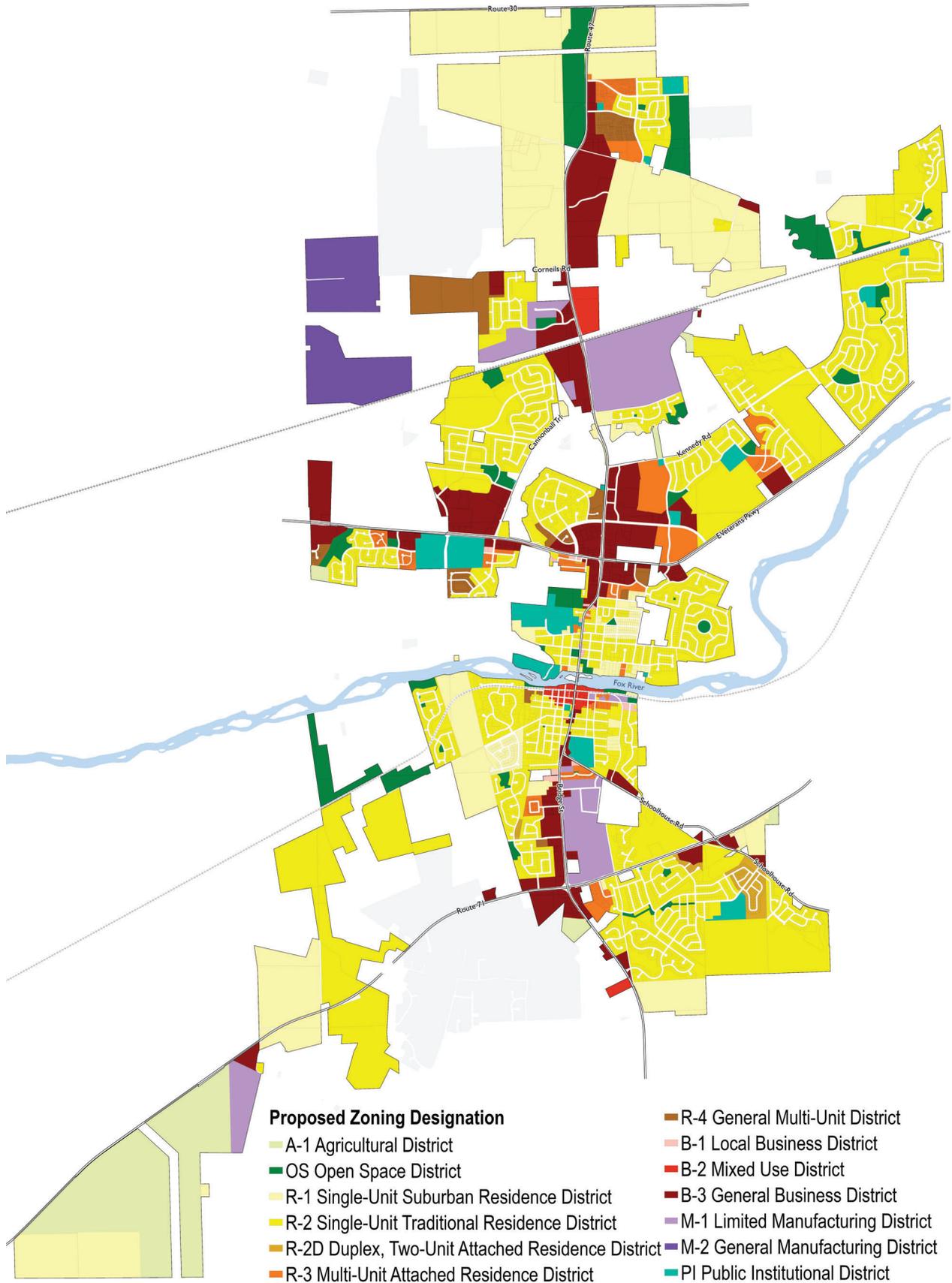


**Existing Zoning Designation**

- A-1 Agricultural District
- B-1 Local Business District
- B-2 Mixed Use District
- B-3 General Business District
- E-1 Estate Residential District
- M-1 Limited Manufacturing District
- M-2 General Manufacturing District
- O Office District

- OS-1 Open Space (Passive)
- OS-2 Open Space (Active)
- Forest Preserve
- R-1 Single-Family Suburban Residence District
- R-2 Single-Family Traditional Residence District
- R-2D Two-Family Attached Residence District
- R-3 Multi-Family Attached Residence District
- R-4 General Multi-Family Residence District
- Planned Unit Development

# Proposed Zoning Map





## United City of Yorkville

651 Prairie Pointe Drive  
Yorkville, Illinois 60560  
Telephone: 630-553-4350  
[www.yorkville.il.us](http://www.yorkville.il.us)

# UNIFIED DEVELOPMENT ORDINANCE ADVISORY COMMITTEE AGENDA

Thursday, August 31, 2023  
7:00 PM

Yorkville City Hall Council Chambers  
651 Prairie Pointe Drive

Meeting Called to Order: 7:00 p.m.

Roll Call:

Establishment of Quorum

Previous meeting minutes: July 20, 2023

Citizen's Comments:

---

1. Introduction
2. Review of Materials
  - a. Final Review of Revised Chapters 1-9
  - b. Preview of Smart Code website
    - i. <https://online.encodeplus.com/regs/yorkville-il/index.aspx>
3. Committee Comments and Questions
4. Adjournment

**MINUTES OF UNIFIED DEVELOPMENT ORDINANCE  
ADVISORY COMMITTEE MEETING**

Thursday, July 20, 2023 6:30pm  
City Hall Council Chambers  
651 Prairie Pointe Drive, Yorkville, IL

**Meeting Called to Order**

The meeting was called to order at 6:35pm by Chairman Chris Funkhouser and a quorum was established.

**Roll Call & Establishment of Quorum**

**Committee Members:**

Chris Funkhouser-Chairman/Alderman, Deborah Horaz-PZC Member, Dan Transier-Alderman,  
David Schultz-HR Green

Absent: Jeff Olson

**Others Present:**

Krysti Barksdale-Noble, Community Development Director, Lynn Dubajic Kellogg, City Consultant,  
Mike Krempski, Molly Krempski, Brynn Krempski, David Guss

**Previous Meeting Minutes** February 23, 2022

The minutes were approved as presented.

**Citizens Comments** None

**1. INTRODUCTION:**

Ms. Noble gave an overview of the UDO process. It started over 3 years ago, but due to the pandemic, the meetings took a 1-year pause. Tonight's meeting is a culmination of all the proposed revisions. She compiled a Power Point presentation and drafted a memo that covers all the issues discussed including chapters/topics discussed at each meeting, comments from the committee members, consultant's response to the comments and staff comments.

**2. REVIEW OF MATERIALS**

**a. Second Review of Revised Chapters 1-9**

Ms. Noble began the discussion of each slide of the Power Point presentation.

**Purpose of UDO Process**

The purpose of the UDO is to have all the development codes in one document and increase the ease of use. Visuals and smart codes were added and common complaints/issues were addressed.

**Process**

The consultant, Houseal Lavigne, started in 2019 and along with staff, they revised previous drafts of the code. The committee and consultant reviewed individual chapters and revisions were made. Another meeting will be held in August, an open house at the end of August and a Public Hearing/adoption process in September.

## Layout

There are 9 chapters in the code addressing general provisions, definitions, all standards and review/approval procedures and non-conforming buildings. In addition, there are appendices of the downtown overlay district.

### **Chapter 1: General Provisions**

This chapter addresses authority, interpretation and scope of regulations. The committee discussed an effective date for the revised code and it was decided it should be January 1, 2024.

### **Chapter 2: Definitions**

All definitions are now in one section and by hovering over a definition, the meaning will appear via SmartCode. There is a request for additional industrial uses, for definitions for refrigerated warehouse and battery uses. A text amendment is being drafted and is scheduled for these meetings: EDC, PZC and City Council and if approved, it will be effective prior to January 1.

### **Chapter 3: District Standards**

New zoning districts added are R-2-A, P-I. Consolidated districts are O-S and B-2 and removed were E-1 and B-4. Bulk regulations were updated along with permitted and special use tables. New uses were added to the code also. The committee also discussed R-2-A for age-restricted developments and suggested square footage and setbacks for these facilities. Density for all zoning districts was considered and the committee was OK with updated density and square footage for R-1 and R-2.

### **Chapter 4: Use Standards**

This establishes standards for specific uses. Topics discussed were Accessory Dwelling Units (ADU), driveways and entrances for them along with building materials and development standards. Accessory commercial uses must go through a special use process

### **Chapter 5: Development Standards**

This chapter contains standards for off-street parking, landscaping, screening, outdoor lighting. Discussed were curbside pick-up/rideshare spots, electric vehicle charging station, “fee in lieu of” regulations (regarding tree replacement), “off-street parking in lieu of,” parking pads and landscaping regulations.

Discussion Point: Should landscaping regulations prohibit new commercial developments from using sod in order to address water conservation? It was decided that language would say the city “encourages” minimal sod in new development.

### **Chapter 6: Sign Standards**

Ms. Noble noted that due to a court case, the city cannot regulate sign content, only the type of sign and size. Size of murals was considered as well as a possible permit process for them.

Discussion points: “Should murals be regulated similar to wall signs” and are murals wall signs or art? Ms. Noble asked if the committee wants to confine the mural regulations to the downtown overlay or to other businesses. It was decided to add language for “structures”. Ms. Kellogg said some businesses not in the downtown wish to have a mural.

Sandwich board signs are allowed again in the downtown area and committee members discussed placement, regulations and number of signs allowed. Language was also added that cold air inflatables should not be located near electrical wires.

### **Chapter 7: Subdivision Standards**

This chapter covers how developments are planned, more graphics were added, includes bike paths, walking paths, etc. Other items in this chapter are: private alleys would be permitted which allows entrances in the back,

a density bonus for cluster developments if the development can show a benefit or conservation feature, anti-monotony standards, street connectivity between cul-de-sacs (which was rejected by the committee) and block length. Language will be added saying “shorter blocks will be encouraged” for more connectivity.

Discussion point: If density is changed, we need to consider density for cluster developments.

### **Chapter 8: Review & Approval Procedures:**

An option to have the developer schedule a meeting with the public prior to Public Hearings was considered. This could help resolve issues before the matter is moved further along. These meetings could be recommended by staff, but staff would not be involved in any aspect of the meetings. Staff sees benefits of the meetings for PUD's, rezonings and special uses and should be held a minimum of 15 days prior to the Public Hearing. This chapter also delineates who has the responsibilities, especially for permitting and authority.

### **Chapter 9 Non-Conforming Building Structures and Uses**

This chapter did not change from the original document.

#### Next Steps

The final steering meeting will be held August 24<sup>th</sup>, public open house on August 31<sup>st</sup>, PZC on September 13 and done by September 26. Public outreach will start soon via a wide range of media.

This concluded the review of the PowerPoint presentation.

### **3. COMMITTEE COMMENTS AND QUESTIONS:**

1. Ms. Dubajic Kellogg made the following suggestions: use the term “professional services offices” as a catch-all and add another category called “personal care services” and define them both. Also define medical clinic better, such as dentist, chiropractor, etc. She sees a need for a new category of self-storage facilities since many are now climate-controlled and enclosed in a single building that looks like office buildings, but keep the self-storage garage-like structures as Special Use in Manufacturing Districts. The climate control single building could be in the Business districts B-2 or B-3 and be outright permitted, said Ms. Noble. Storage facilities are not desired in the downtown area. Ms. Dubajic also requested a definition for commercial laboratories—those not connected with hospitals or a university.
2. Chairman Funkhouser does not favor the removal of the word “family” to be replaced by “dwelling” throughout the document.
3. Ms. Horaz does not favor the small lot sizes.
4. Regarding roof height measurements: Mr. Funkhouser said that by measuring from the mid-point of hip/gable/gambrel roofs, it restricts ability to have higher pitch, higher quality roofs.
5. Discussion on front yard setbacks, open porches: a covered porch shall be designated as non-enclosed. It was decided on a 5' front yard setback for a non-enclosed porch.
6. Labels are not matched with images on the solar farms category, consultant will rectify.
7. Alternative energy: Mr. Funkhouser would like to remove rotary blade from residential, replace with vertical helix.
8. Stacking car wash: Mr. Funkhouser asked if 5 stackings per stall entrance are necessary. Ms. Noble said there should not be a line into the public way. Committee OK with 5 stacking.

9. Parking Stall dimensions: Mr. Funkhouser said the code now calls for 18' of depth, but should have 20 feet as vehicles are getting bigger. Ms. Horaz commented that in condo parking lots, there are more complaints about the close parking/dents, resulting in disagreements among people. Those spots are proposed to be 9 foot wide in the revised UDO. Any new development would have the wider spots unless a PUD forced otherwise. Mr. Funkhouser is OK with 7.5 feet for compact cars, but parallel spots should be 9 feet.
10. Window signage: Anyone with current window signage will be grandfathered. Decals do not require permits.
11. On-street parking illustrations: some dimensions disconnect 20-23 feet; chart and graphic not aligned.
12. Population Projection Charts: Need source for chart and who created report.
13. Yard Signs: Proposing maximum area of 4 sq. ft., and unlimited number, signs allowed 60 days in advance, but not more than 15 days past any elections. Campaign signs not always 4 sq. ft., reservations about more than 2 at one time in yard, people sometimes put election signs on other's yard. Don't want huge signs in residential, but people put larger signs and staff will have to enforce. Suggestion for maximum 4 sq. ft. for residential and remainder up to 32 sq. ft.? Ms. Noble proposed to do 4 sq. ft. for residential except facing major arterial, then up to 32 sq. ft. Mr. Transier said pushback will come from people who want to place signs, not whose yards it's in.
14. Ms. Horaz said 12 replacement trees are too many, so Mr. Funkhouser is suggesting a "cash in lieu of" or credit the trees to another location.
15. Ms. Horaz: need 2 spots for garage parking, not 1.
16. Smart Code calculator will not be on the city website until August 7<sup>th</sup> and it will be live for the next UDO meeting. People can comment on the website.
17. Currently, all townhomes, duplexes, multi unit have 1 parking space per unit, if a 2-car garage, need 2 spaces in driveway. Also, not all homes have a garage. Alderman Transier said it would be hard to convince developers today to build a 2-car garage with the lots proposed. Dave Schultz would like 2 surface spaces also. Need guest parking for attached products except single family attached and duplexes, use a .25% ratio. For detached products, need 1 parking space

#### **4. Adjournment**

There was no further business and the meeting adjourned at 9:47pm.

Minutes respectfully submitted by Marlys Young, Minute Taker



# Memorandum

To: Unified Development Advisory Committee  
From: Krysti J. Barksdale-Noble, Community Development Director  
CC: Bart Olson, City Administrator  
Date: August 11, 2023  
Subject: **Unified Development Ordinance**  
FINAL Chapter Review of Proposed Revisions & Items for Discussion

---

## **SUMMARY:**

This cover memo provides a summation of the attached final revisions proposed for the Unified Development Ordinance (UDO). The final revisions include comments from the previous Advisory Committee meeting, recent input from the 8-8-23 City Council meeting, and additional feedback from the City Attorney and currently proposed text amendments.

## **CHAPTER REVIEWS:**

The sections below give a brief description of the types of changes proposed to be made to the City's current ordinances. The bullet points in red are staff comments and may require further discussion from the Advisory Committee:

### **CHAPTER 1. GENERAL PROVISIONS**

#### Chapter Elements

Outlining the authority, applicability, intent, purpose, interpretation, and scope of regulations of the Unified Development Ordinance (UDO).

#### Advisory Committee Comments

July 20, 2023 meeting:

- Effective Date of UDO was agreed to be January 1, 2024

#### Staff Comments

- No additional revisions.

### **CHAPTER 2. DEFINITIONS**

#### Chapter Elements

Complete list of definitions of the terms referenced throughout the Unified Development Ordinance (UDO).

#### Advisory Committee Comments

July 20, 2023 meeting:

- Additional definitions added:
  - Refrigerated Warehouse (Cold Storage) and Battery Uses
  - Professional Care Services (beauty, microblading, hair, nail salons, etc.) separate from Professional Services/Offices.
  - Research and Commercial Laboratory definitions; Medical Clinics – definition to be more specific.

- Create separate definition for Public Storage “single building climate-controlled building” vs “Outdoor Self Storage”
- Revised definition of “native species” to state noninvasive ornamentals.

Consultant Revisions

- Revisions made as recommended by Advisory Committee.

Staff Comments

- No additional revisions.

## CHAPTER 3. DISTRICT STANDARDS

Chapter Elements

Establishing Districts; Purpose of Districts; Bulk and Dimensional Standards; Permitted Obstructions; and Permitted and Special Uses.

Advisory Committee Comments

July 20, 2023 meeting:

- Proposed R2A District should not be age-restricted and minimum lot size should be 6,000 sf and minimum lot width is 60 ft wide.
- Proposed R-1 and R-2 Districts minimum lot size and lot widths should be revised
  - R-1 12,000 sq. ft. and 80 ft. lot width
  - R-2 10,000 sq. ft. and 70 ft. lot width
- Proposed “Single-Building Climate Controlled” public storage facilities be permitted only in B-3 District, but not within the Downtown Overly District.
- “Outdoor Public Storage Facilities” be permitted only in M-1 and M-2 as special uses.
- Measurement of roof height for gable, hip and gambrel be revised to top of rafters, not mid-point.
- Open porches in required front yards should allow for non-enclosed covered porches, including stairs.

City Council Comments

- **Per the discussion at the City Council meeting on August 8, 2023, staff was directed to keep the current bulk regulations for the R-1 and R-2 zoning districts (i.e., minimum lot size and minimum lot width).**
- **Per the discussion at the City Council meeting on August 8, 2023, staff was directed to remove the proposed R-2A Zoning District in its entirety.**

Consultant Revisions

- Revisions made as directed by the City Council regarding R-1, R-2 and R-2A.
- All other revisions made as recommended by the Advisory Committee.
- Additionally, per a request from the Economic Development Consultant, “Salvage Yards” have been added back as a special use in the M-2 District.

Staff Comments

- No additional revisions.

## CHAPTER 4. USE STANDARDS

### Chapter Elements

Standards for agricultural, residential, commercial, vehicle, industrial, transportation, alternative energy, cannabis, institutional, accessory, and temporary land uses.

### Advisory Committee Comments

July 20, 2023

- Detached accessory dwelling units on corner lots should not be allowed to have a separate driveway access.
- Attached accessory dwelling units should be allowed to have separate exterior entrances.
- Accessory dwelling units and accessory commercial units should not have separate mailboxes, water meters and trash bins.
- Alternative Energy – Only helix style roof mounted wind energy systems be allowed on residential roofs rather than fan style.

### Consultant Revisions

- Revisions made as recommended by Advisory Committee.

### Staff Comments

- No additional revisions.

## CHAPTER 5. DEVELOPMENT STANDARDS

### Chapter Elements

Off-street parking standards; landscaping and screening standards; fencing standards; and outdoor lighting standards.

### Advisory Committee Comments

July 20, 2023 meeting:

- Landscaping regulations should encourage, but not prohibit, new commercial development from using sod.
- Clarify that electrical vehicle charging stations shall be counted by the number of spaces rather than the number of chargers (i.e., if required to provide 10 charging stations, they have to dedicate 10 spaces not double count for dual chargers per station).
- Tree replacement fee-in-lieu should be based upon cost of tree and installation, not just cost of tree.
- Note that native species shall mean non-invasive ornamentals.
- Parking stall dimensions should be 18' length only with a 2-foot overhang, but 20 feet otherwise.
- Compact parking shall remain a width of 7.5 feet except when parallel parking is used. Also, compact parking should be located away from typical parking to avoid door conflicts.
- Multi-unit dwellings should be required to provide guest parking.
  - Condos and Apartments must provide 0.25 spaces per unit for guest parking.

### Consultant Revisions

- Revisions made as recommended by Advisory Committee.

Staff Comments

- **UNRESOLVED:** Should the minimum off street parking requirements, exclusive of garage space, be one (1) for all residential development or should it be one (1) for multi-unit and two (2) for single-unit dwellings?

## CHAPTER 6. SIGN STANDARDS

Chapter Elements

Purpose of standards; Measurements, permitted signs, temporary sign standards, general sign standards, prohibited signs, and maintenance standards

Advisory Committee Comments

July 20, 2023:

- Murals should be regulated similar to wall signs.
  - Must require a building permit.
  - Permitted to cover 70% of all non-primary façade of buildings.
  - Permitted to cover 70% of the entire surface of a structure.
- Downtown “A” frame signs permitted in public right of way should be regulated as follows:
  - Only 1 per business
  - Sign must be located within 750 feet of business location

Consultant Revisions

- Revisions made as recommended by Advisory Committee.

Staff Comments

- **UNRESOLVED:** Yard Signs on residential parcels - Suggest increasing sign size from 4 sq. ft. to 16 sq. ft. and allow up to 32 sq. ft. for those residential parcels that have frontage along a major arterial (IL 47, IL 71, IL 126, and US 34)?
- **MURALS:** Per local business owner, suggests increasing the permitted area to cover for murals to 80%.

## CHAPTER 7. SUBDIVISION STANDARDS

Chapter Elements

Off-street parking standards; landscaping and screening standards; fencing standards; and outdoor lighting standards.

Advisory Committee Comments

July 20, 2023 meeting:

- Block lengths/Connectivity.
  - Keep 1,320 maximum length and encourage lengths of 800 feet or less. Remove bonuses for shorter block lengths.
- Eliminate pedestrian and bicycle connections for cul-de-sacs in its entirety.
- Cluster Development Density
  - Keep density as proposed.
  - Add to Density Bonus:
    - Cul-de-sac reduction/block length reduction
- Anti-Monotony Standards

- Reduce the separation of similar houses from three (3) to two (2).
- Park and Recreation Standards
  - Must provide and cite source of numbers. Ehlers Study? What year?

Consultant Revisions

- Revisions made as recommended by Advisory Committee.

Staff Comments

- **CLUSTER DEVELOPMENT:** Staff recommends Cluster Development be allowed as proposed, but as part of the Planned Unit Development, per feedback from City Council.

**CHAPTER 8. UDO REVIEW AND APPROVAL PROCESS**

Chapter Elements

Procedures, processes, and administrative authorities for special uses, planned unit developments, variations, appeals, map and text amendments, and annexations.

Advisory Committee Comments

July 20, 2023:

- City should require a neighborhood meeting by developer prior to public hearing.
  - Require for all PUDs, Special Uses and Rezoning (not for variances)
  - Notification of neighborhood meeting by developer via non-certified mail to all owners within 250 feet of property.
  - Meeting must be held a minimum of 15 days prior to public hearing.

Consultant Revisions

- Revisions not made as recommended by Advisory Committee.

Staff Comments

- Per review by the City’s Attorney of the proposed changes for required neighborhood meetings conducted by the developer outside of the regulated public hearing process, there may be added liability to the City and responsibility for ensuring the accuracy and timeliness of the notices, and possibly providing space for the meeting. The recommendation is to keep the “neighborhood meeting” as a recommendation by staff.

**CHAPTER 9. NONCONFORMING BUILDINGS, STRUCTURES, AND USES**

Chapter Elements

Regulations for the continuous, elimination and exemptions of nonconforming uses and structures.

Advisory Committee Comments

None

Consultant Revisions

None

Staff Comments

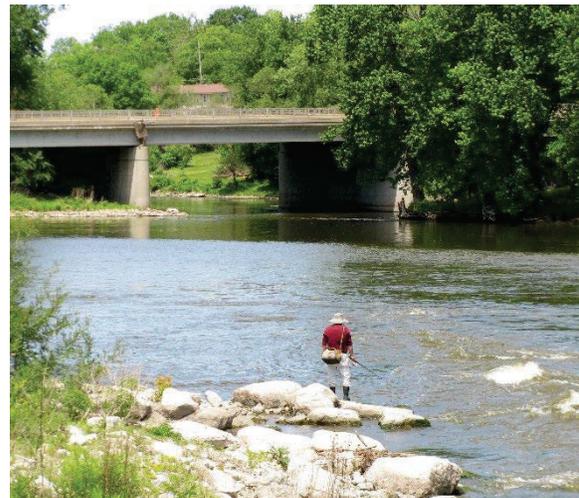
None

City of Yorkville

# Unified Development Ordinance

DRAFT FOR REVIEW ONLY

August 16<sup>th</sup>, 2023



<b>Table of Contents</b>	<b>Page</b>
Chapter 1. General Provisions	1
Chapter 2. Definitions	4
Chapter 3. District Standards	30
Chapter 4. Use Standards	47
Chapter 5. Development Standards	94
Chapter 6. Sign Standards	137
Chapter 7. Subdivision Standards	162
Chapter 8. UDO Review and Approval Procedures	181
Chapter 9. Nonconforming Buildings, Structures, and Uses	216

# Chapter 1. General Provisions

10-1-1. Title..... 1  
10-1-2. Authority ..... 1  
10-1-3. Applicability..... 1  
10-1-4. Intent and Purpose ..... 1  
10-1-5. Interpretation and Severability..... 2  
10-1-6. Scope of Regulations ..... 3  
10-1-7. Severability ..... 3

## 10-1-1. Title

- A. This title, including the zoning district map made a part hereof and all amendments hereto, shall be known, cited and referred to as the United City of Yorkville Unified Development Ordinance.

## 10-1-2. Authority

- A. This Unified Development Ordinance is adopted pursuant to the powers granted and the limitations imposed by Illinois State law.

## 10-1-3. Applicability

- A. Unless otherwise expressly exempt, the Unified Development Ordinance applies to all land uses, structures, buildings, and development within the City's corporate boundaries and extending beyond the corporate limits as allowed by Illinois State law.

## 10-1-4. Intent and Purpose

- A. This title is adopted with the intent to set forth regulations and standards for the following purposes:
  1. To promote and protect the public health, safety, morals, comfort and general welfare of the people;
  2. To divide the City into zoning districts regulating the location, erection, construction, reconstruction, alteration and use of buildings, structures and land for residence, business and manufacturing and other specified uses;
  3. To protect the character and the stability of the residential, business and manufacturing areas within the City and to promote the orderly and beneficial development of such areas;
  4. To provide adequate light, air, privacy and convenience of access to property;
  5. To regulate the intensity of use of lot areas, and to determine the area of open spaces surrounding buildings necessary to provide adequate light and air to protect the public health;
  6. To establish building lines and the location of buildings designed for residential, business, manufacturing or other uses within such areas;

7. To fix reasonable standards to which buildings or structures shall conform therein;
8. To prohibit uses, buildings or structures incompatible with the character of development or intended uses within specified zoning districts;
9. To prevent additions to, or alteration or remodeling of certain existing nonconforming buildings imposed hereunder;
10. To limit congestion in the public streets and protect the public health, safety, convenience and general welfare by providing for the off-street parking of motor vehicles and the loading and unloading of commercial vehicles;
11. To protect against fire, explosion, noxious fumes and other hazards in the interest of the public health, safety, comfort and general welfare;
12. To prevent the overcrowding of land and undue concentration of structures, so far as is possible and appropriate in each district, by regulating the use and bulk of buildings in relation to the land surrounding them;
13. To conserve the taxable value of land and buildings throughout the City;
14. To encourage innovative and low impact development techniques through the reduction of stormwater runoff, minimizing erosion control and preserving existing natural drainage systems in connection with the development of land;
15. To promote pedestrian circulation through a well designed system of shared use trails which allows access to local and regional destinations;
16. To promote, preserve and enhance those buildings and structures within certain areas of the City that are of historical importance;
17. To promote and regulate the use of alternative and renewable energy solutions;
18. To ensure the objectives of the comprehensive plan are considered;
19. To provide for the gradual elimination of nonconforming uses of land, buildings and structures which are adversely affecting the character and value of desirable development in each district;
20. To define and limit the powers and duties of the administrative officers and bodies as provided herein;
21. To prescribe penalties for the violation of the provisions of the zoning ordinance, or of any amendment thereto; and
22. To ensure the provisions of public improvements governing the subdivision and platting of land; street and roadway standards; availability of utilities; and schools and park development are applied to all properties within the city's corporate limits.

### 10-1-5. Interpretation and Severability

- A. **Minimum Requirements.** The provisions of this title shall be held to be the minimum requirements for the promotion of public health, safety, morals, and welfare.
- B. **Relationship With Other Laws.** Where the conditions imposed by any provisions of this title upon the use of land or buildings or upon the bulk of buildings are either more restrictive or less restrictive than comparable conditions imposed by any other provisions of this title or other law, ordinance, resolution, rule or regulation of any kind, the regulations which are more restrictive (or which impose higher standards or requirements) shall govern.
- C. **Existing Agreements.** This title is not intended to abrogate any easement, covenant or any other private agreement; provided, that where the regulations of this title are more restrictive (or impose higher standards or requirements) than such easements, covenants or other private agreements, the requirements of this title shall govern.

### 10-1-6. Scope of Regulations

- A. **Changes in Structures or Use.** Except as may otherwise be provided in Chapter 9 of this title, all buildings erected hereinafter, all uses of land or buildings established hereafter, all structural or relocation of existing buildings occurring hereafter, and all enlargements of or additions to existing uses occurring hereafter shall be subject to all regulations of this title which are applicable to the zoning districts in which such buildings, uses or land shall be located.
- B. **Nonconforming Buildings, Structures and Uses.** Any lawful building, structure or use existing at the effective date hereof, January 1, 2024, may be continued, even though such building, structure or use does not conform to the provisions hereof for the district in which it is located, and whenever a district shall be changed hereafter, the then existing lawful use may be continued, subject to the provisions of Chapter 9 of this title.
- C. **Building Permits.** When a building permit for a building or structure has been issued in accordance with law prior to the effective date hereof, January 1, 2024, and provided that construction is begun within six (6) months of such effective date and diligently prosecuted to completion, said building or structure may be completed in accordance with the approved plans on the basis of which the building permit has been issued, and further may, upon completion, be occupied under a certificate of occupancy by the use for which originally designated, subject thereafter to the provisions of Chapter 9 of this title.
- D. **Existing Special Uses.** Where a use is classified as a Special Use under this title, and exists as a permitted use at the effective date hereof, January 1, 2024, it shall be considered as a legal Special Use without further action of the City Council or the Zoning Administrator.

### 10-1-7. Severability

- A. **Severability.** If any court of competent jurisdiction shall adjudge invalid the application of any provision of this title, or any amendment hereto, to a particular building, structure or parcel of land, such judgment shall not affect the application of said provision to any other building, structure or parcel of land not specifically included in said judgment.

## Chapter 2. Definitions

10-2-1. "A" Definitions .....	1
10-2-2. "B" Definitions .....	4
10-2-3. "C" Definitions .....	5
10-2-4. "D" Definitions .....	7
10-2-5. "E" Definitions .....	9
10-2-6. "F" Definitions .....	10
10-2-7. "G" Definitions .....	12
10-2-8. "H" Definitions .....	12
10-2-9. "I" Definitions .....	13
10-2-10. "J" Definitions .....	13
10-2-11. "K" Definitions .....	13
10-2-12. "L" Definitions .....	13
10-2-13. "M" Definitions .....	15
10-2-14. "N" Definitions .....	16
10-2-15. "O" Definitions .....	16
10-2-16. "P" Definitions .....	17
10-2-17. "Q" Definitions .....	19
10-2-18. "R" Definitions .....	19
10-2-19. "S" Definitions .....	20
10-2-20. "T" Definitions .....	24
10-2-21. "U" Definitions .....	25
10-2-22. "V" Definitions .....	25
10-2-23. "W" Definitions .....	26
10-2-24. "X" Definitions .....	26
10-2-25. "Y" Definitions .....	26
10-2-26. "Z" Definitions .....	26

### 10-2-1. "A" Definitions

- A. **Abutting:** To have a common property line or zoning district.
- B. **Accessory Commercial Unit:** Activities that are secondary to a principal use in the residential use category as established in this title. Accessory Commercial Units have use-specific standards that apply to ensure they will not deter from the

character or livability of the surrounding neighborhood, that they remain subordinate to the residential use, and that the residential viability of the dwelling is maintained.

- C. **Accessory Building:** A subordinate building attached to or detached from the principal building or use, but located on the same zoning lot. Accessory buildings shall have a permanent foundation and include garages and storage sheds.
- D. **Accessory Structure, Permanent:** A subordinate structure located on the same lot as a principal building or use and intended to be permanently affixed to the ground on the property. Permanent accessory structures are structures that do not have permanent foundations and include pools, gazebos, and sheds, and attached accessory structures such as a three-season room, covered porch, or roofed patio.
- E. **Accessory Structure, Temporary:** A subordinate structure located on the same lot as a principal building or use and not intended to be permanently affixed to the ground on the property. Temporary accessory structures shall not have permanent foundations and shall include structures used for construction purposes, roadside stands, and other accessory structures established for a limited duration.
- F. **Accessory Use:** A use on the same lot with, and a nature customarily incidental and subordinate to, the principal use or structure.
- G. **Acre:** A measure of land containing forty-three thousand five hundred sixty (43,560) square feet.
- H. **Addition:** An expansion of the principal or accessory building that is indistinguishable from the original building and utilizes the heating, cooling, electrical and plumbing systems from the original construction and has been incorporated into the original building thermal envelope. Any attached permanent accessory structure such as a three-season room, covered porch or roofed patio that does not have heating, ventilation or air-conditioned systems or enclosed by glass is not considered a building addition.
- I. **Adult Day Care:** A program of services provided for functionally-impaired adults who do not require 24-hour institutional care, and yet who are in need of an adult day care program directed toward maintaining physical and mental health, and should be a structured, comprehensive program providing a variety of health, social, and related support services in a protective setting for a period of time less than twenty-four (24) hours.
- J. **Adult Use:** A striptease club or pornographic movie theatre whose business is the commercial sale, dissemination, or distribution of sexually explicit material, shows, or other exhibitions or (ii) an adult bookstore or adult video store in which twenty-five (25) percent or more of its stock-in-trade, books, magazines, and films for sale, exhibition, or viewing on-premises are sexually explicit material.
- K. **Aggregate Materials Extraction:** A use involving on-site extraction of surface or subsurface mineral products or natural resources. Typical uses are quarries, borrow pits, sand and gravel operation, mining, and soil mining.
- L. **Agricultural Use:** The employment of land for the primary purpose of raising, harvesting, and selling crops, or feeding (including grazing), breeding, managing, selling, or producing livestock, poultry, furbearing animals or honeybees, or by dairying and the sale of dairy products, by any other horticultural, floricultural or viticulture use, by animal husbandry, or by any combination thereof. It also includes the current employment of land for the primary purpose of obtaining a profit by stabling or training equines including, but not limited to, providing riding lessons, training clinics and schooling shows.
- M. **Airport:** Any area of land designated, set aside, used, or intended for use, for the landing and takeoff of passenger or commercial aircraft, and any appurtenant areas and uses such as airport buildings or other airport facilities, including approach zones.
- N. **Alcoholic Beverage:** Any beverage that is the product of distillation of fermented liquids, whether rectified or diluted, whatever may be the origin thereof, and includes synthetic ethyl alcohol but does not include denatured alcohol or wood alcohol.

- O. **Alley:** A private right-of-way primarily designed to serve as secondary access to the side or rear of properties whose principal frontage is on another street.
- P. **Alternative Tower Structure:** Manmade trees, clock towers, bell steeples, light poles and similar alternative design mounting structures that camouflage or conceal the presence of antennas and towers.
- Q. **Amusement Park:** A commercially operated park with a predominance of outdoor games and activities for entertainment, including motorized rides, water slides, miniature golf, batting cages, accessory food service, and similar activities.
- R. **Animal Hospital:** Any building, or portion thereof, designed or used for the medical or surgical care, observation or treatment of domestic animals for an overnight duration or longer.
- S. **Antenna:** Communications equipment that transmits or receives electromagnetic radio signals used in the provision of any type of wireless communications services not including small wireless facilities.
- T. **Antenna Structures:** Those structures which include the radiating and/or receiving system, its supporting structures (see definition of tower), and any appurtenance mounted thereon as defined by the Federal Communications Commission or any successor agency.
- U. **Apiary:** The place where one (1) or more bee colonies are kept.
- V. **Artisan Manufacturing:** The production and assembly of finished products or component parts, typically by hand, and including design, processing, fabrication, assembly, treatment, and packaging of finished products, and incidental storage, on-site retail sale, and distribution of the associated goods. Artisan manufacturing may include but is not limited to food and bakery products, non-alcoholic beverages, printmaking, leather products, jewelry and clothing/apparel, metal work, woodwork, furniture and glass or ceramic production.
- W. **Art Gallery/Art Studio:** An establishment engaged in the sale or exhibit of art works such as paintings, sculpture, macrame, knitted goods, stitchery, or pottery. Art studios are may also be engaged in the creations of such art works and often offer instruction in their creation.
- X. **Assembly, Production, Manufacturing, Testing, Repairing, or Processing, Light:** An industrial facility at which all operations (with the exception of loading operations): Are conducted entirely within an enclosed building; not potentially associated with nuisances such as odor, noise, heat, vibration, and radiation which are detectable at the property line; and do not pose a significant safety hazard (such as danger of explosion).
- Y. **Assembly, Production, Manufacturing, Testing, Repairing, or Processing, Heavy:** An industrial facility at which all operations (with the exception of loading operations): Are conducted entirely within an enclosed building and which generate odor, noise, heat, vibration, and radiation which are detectable at the property line; but do not pose a significant safety hazard (such as danger of explosion).
- Z. **Attention-Getting Device:** Any flag(s), streamer, spinner, pennant, light, balloon, continuous string of pennants, or fringe, or similar device or ornamentation used primarily for the purpose of attracting attention for promotion or advertising a business or commercial activity which is visible by the general public from any public right-of-way or public area.
- AA. **Auction House:** A structure, area, or areas within a building used for the public sale of goods, wares, merchandise, or equipment to the highest bidder.
- BB. **Automobile Parts/Accessories Sales:** A retail establishment dedicated to the sale of automobile components, parts, and accessories but not including on-site repair or maintenance of automobiles.
- CC. **Automobile Rental:** Leasing or renting of automobiles, motorcycles and light trucks and vans, including incidental parking and servicing of vehicles for rent or lease. This definition excludes commercial truck and trailer rental.

- DD. **Automobile Repair:** Engine rebuilding or major reconditioning of worn or damaged motor vehicles or trailers; collision service, including body, frame or fender straightening or repair and painting of vehicles including incidental repairs, replacement of parts, and motor service to automobiles. Automobile repair excludes repair to semi-trucks.
- EE. **Automobile Sales and Service, Enclosed:** An establishment engaged in the sale of automobiles where all operations take place entirely within an enclosed showroom in a primary building.
- FF. **Automobile Sales and Service, Open Sales Lot:** An establishment engaged in the sale of automobiles where some operations, including but not limited the display of vehicles for sale take place outside of an enclosed building.

## 10-2-2. “B” Definitions

- A. **Bakery, Wholesale:** A bakery in which there is permitted the production and/or wholesaling of baked goods, excluding retail bakery.
- B. **Bank:** A building for the custody, loan, or exchange of money, for the extension of credit and for facilitating the transmission of funds. This definition includes credit unions, savings and loan facilities, payday loans, personal loan agencies.
- C. **Basement:** That portion of a building that is partly or completely below grade.
- D. **Battery Uses:** A use that enables battery manufacturing, charging, recycling, warehousing, storage, and related uses. This may also include uses that derive energy from renewable sources, such as wind and solar power, to be collected, stored, and then released for later use to an electric grid, power plant or private user.
- E. **Bed and Breakfast Inn:** A private, owner/operator occupied residence with guestrooms, providing overnight accommodations and a morning meal for compensation to transients/travelers. A bed and breakfast inn is operated primarily as a business.
- F. **Blacksmith or Welding Shop:** Shops where lathes, presses, grinders, shapers, and other wood- and metal-working machines are used such as blacksmith, tinsmith, welding, and sheet metal shops; plumbing, heating, and electrical repair shops; and overhaul shops.
- G. **Block:** A tract of land bounded by streets or, in lieu of a street or streets, by public parks, cemeteries, railroad rights-of-way, bulkhead lines or shorelines of waterways or corporate boundary lines of municipalities.
- H. **Boat Sales and Rental:** A marine retail sales and service use in which boats are rented or sold.
- I. **Boat Storage:** A facility where boats are stored including indoor and outdoor.
- J. **Brewery/Winery/Distillery:** An establishment primarily engaged in brewing fermented malt beverages including beer, ale, malt liquors, and nonalcoholic beer (brewery), manufacturing and bottling wine on the premises (winery), or manufacturing, by distillation, intoxicating spirits on the premises (distillery) but not including on-premises consumption by patrons.
- K. **Brewpub:** A restaurant-brewery that brews beer primarily for sale in the restaurant and/or bar and is dispensed directly from the brewery’s storage tanks. Total production capacity shall not exceed one-hundred fifty-five thousand (155,000) gallons per calendar year.
- L. **Buffer:** A strip of land, including landscaping, berms, walls, and fences, that is located between land uses of different character and is intended to physically and visually separate one use area from another and mitigate visual and other off-site impacts.
- M. **Building:** Any structure with substantial walls and roof having a permanent foundation on the land and entirely separated on all sides from any other structure by space or by walls in which there are not communicating doors, windows, or openings; and which is designed or intended for the shelter, enclosure or protection of persons, animals or chattels.

- N. **Building, Detached:** A building surrounded by open space and not sharing a common wall with another building on the same zoning lot.
- O. **Building Height:** The vertical distance measured from the sidewalk level or its equivalent established grade opposite the middle of the front of the building to the highest point of the roof in the case of a flat roof; to the deck line of a mansard roof; and to the mean height level between eaves and the ridge of a gable, hip or gambrel roof; provided, that where buildings are set back from the street line, the height of the building may be measured from the average elevation of the finished lot grade at the front of the building.
- P. **Building Material Sales:** Establishments or places of business primarily engaged in retail or wholesale sale, from the premises, of materials used in the construction of buildings or other structures.
- Q. **Building Mounted Solar Energy System:** A solar energy collection system that is structurally mounted to the roof of a building or other permitted structure, including limited accessory equipment associated with system which may be ground mounted. It is installed parallel to the roof with a few inches gap.
- R. **Building Mounted Wind Energy System:** A wind turbine that is structurally mounted to the roof of a principal building, including limited accessory equipment associated with the system which may be ground mounted.
- S. **Building, Nonconforming:** Any building which does not conform to the regulations of this title including but not limited to the required yards, lot coverage, height and setbacks, minimum required spacing between buildings on a single lot, and minimum required usable open space for the district in which such building is located.
- T. **Building, Principal:** A non-accessory building in which the principal use of the zoning lot on which it is located is conducted.
- U. **Building Setback Line:** A parallel line across a lot or parcel of land, establishing the minimum open space to be provided between the line of a building or structure, and the lot line of the lot or parcel.
- V. **Building, Temporary:** Any building not designed to be permanently located in the place where it is, or where it is intended to be placed or affixed.
- W. **Bulk:** The term used to describe the size and mutual relationships of buildings and other structures, as to size, height, coverage, shape, location of exterior walls in relation to lot lines, to the centerlines of the streets, to other walls of the same buildings, and to other buildings or structures, and to all open spaces relating to the building or structure.
- X. **Bumper Overhang:** The part of a motor vehicle which extends beyond the wheelbase in the front and rear of the vehicle.
- Y. **Business:** Any occupation, employment, or enterprise wherein merchandise is exhibited or sold, or which occupies time, attention, labor, and materials, or where services are offered for compensation.

### 10-2-3. "C" Definitions

- A. **Campground:** Any area that is occupied or intended or designed or improved for occupancy by transients using recreational vehicles, travel trailers, and/or tents.
- B. **Carport:** An automobile shelter with two (2) or more sides open.
- C. **Car Wash:** The primary or secondary use of a site for washing and cleaning of passenger vehicles, commercial vehicles, recreational vehicles, or other light duty equipment.
- D. **Casino and Off-Track Betting Establishment:** An establishment intended to deal, operate, carry on, conduct, maintain, or expose for play any game, sports book, parimutuel, or any other form of wagering.

- E. **Cemetery:** Land used or dedicated to the interment of human or animal remains or cremated remains, including mausoleums, necessary sales, and maintenance facilities. Mortuaries shall be included when operating within the boundary of such cemetery.
- F. **City:** The United City of Yorkville or the City of Yorkville.
- G. **City Council:** The City Council of the City of Yorkville.
- H. **College, University, or Junior College:** A private or public college or technical institution which provides full-time or part-time education beyond high school that grants Associate, Baccalaureate, or higher degrees.
- I. **Commercial Entertainment, Indoor:** Commercial indoor recreation facilities are conducted entirely indoors for commercial purposes, with or without seating for spectators, and providing accommodations for a variety of individual, organized, or franchised sports, including wrestling, gymnastics, basketball, soccer, tennis, volleyball, racquetball, handball, bowling, indoor golf driving ranges, skating, and ice skating.
- J. **Commercial Entertainment, Outdoor:** Commercial outdoor recreation facilities are conducted entirely outdoor for commercial purposes, with or without seating for spectators, and providing accommodations for a variety of individual, organized, or franchised sports, including wrestling, basketball, soccer, tennis, volleyball, racquetball, handball, outdoor golf driving ranges, skating, and ice skating.
- K. **Commercial Feeding of Fish, Poultry, Livestock:** A land use or facility used for the confined feeding operation for fish, poultry, swine, or livestock.
- L. **Commercial Laboratory:** A laboratory, that performs analyses or tests for third parties for a fee or other compensation and provides chemical analyses, analytical results, or other test data to the department.
- M. **Commercial/Trade School:** A school established to provide for the teaching of industrial, clerical, managerial, artistic skills or alternative education. This definition applies to schools that are owned and operated privately for profit or not for profit. Such schools may not contain an auditorium, gymnasium, or any other sort of recreational facilities.
- N. **Community Garden:** A site on which residents collectively manage a garden for a shared benefit.
- O. **Communications Use:** Any principal use that facilitates the origination, creation, transmission, emission, storage-retrieval, or reception of signs, signals, writing, images, sounds, or intelligence of any nature, by wire, optical, or other excluding radio and television towers as defined in this UDO.
- P. **Conforming Building or Structure:** A building or structure which:
  - 1. Complies with all the current regulations of this title or of any amendment hereto governing bulk of the district in which the building or structure is located; and
  - 2. Is designed or intended for a permitted or special use as allowed in the district in which it is located.
- Q. **Contractor Facility With Outdoor Storage:** A general contractor or builder engaged in the construction of buildings, either residences or commercial structures as well as heavy construction contractors engaged in activities such as paving, highway construction, and utility construction, which include the outdoor storage of equipment on-site.
- R. **Court:** An open unoccupied space, other than a yard, on the same lot with a building or group of buildings and which is bounded on two (2) or more sides by such building or buildings.
- S. **Crosswalk:** A strip of land ten (10) feet or more in width, dedicated to public use, which is reserved across a block to provide pedestrian access to adjacent areas, and may include utilities, where necessary.
- T. **Cul-De-Sac:** A street having only one (1) outlet, and an appropriate terminal for the reversal of traffic movement, without the need to back up.

- U. **Cultivation of Nonfood Crops and Seeds Used of Cellulosic Biofuels Production:** The cultivation of crops and seeds not intended for the eventual consumption of food, but rather for the use of the production of biofuels.
- V. **Cannabis Craft Grower:** A facility operated by an organization or business that is licensed by the Department of Agriculture to cultivate, dry, cure, and package cannabis and perform other necessary activities to make cannabis available for sale at a dispensing organization or use at a processing organization. A craft grower may contain up to five-thousand (5,000) square feet of canopy space on its premises for plants in the flowering state. A craft grower may share premises with a processing organization or a dispensing organization, or both, provided each licensee stores currency and cannabis or cannabis-infused products in a separate secured vault to which the other licensee does not have access or all licensees sharing a vault share more than fifty (50) percent of the same ownership as allowed by the Cannabis Regulation and Tax Act (410 ILCS 705/1 et seq.) and regulations promulgated thereunder.
- W. **Cannabis Cultivation Center:** A facility operated by an organization or business that is licensed by the Department of Agriculture to cultivate, process, transport (unless otherwise limited by this Act), and perform other necessary activities to provide cannabis and cannabis-infused products to cannabis business establishments as allowed by the Cannabis Regulation and Tax Act (410 ILCS 705/1 et seq.) and regulations promulgated thereunder.
- X. **Cannabis Dispensing Organization:** A facility operated by an organization or business that is licensed by the department of financial and professional regulation to acquire cannabis from a state-licensed cultivation center, craft grower, processing organization, or another dispensary for the purpose of selling or dispensing cannabis, cannabis-infused products, cannabis seeds, paraphernalia, or related supplies to purchasers or to qualified registered medical cannabis patients and caregivers as allowed by the Cannabis Regulation and Tax Act (410 ILCS 705/1 et seq.) and regulations promulgated thereunder.
- Y. **Cannabis Infuser Organization:** A facility operated by an organization or business licensed by the state department of agriculture to directly incorporate cannabis or cannabis concentrate into a product formulation to produce a cannabis-infused product, as allowed by the Cannabis Regulation and Tax Act (410 ILCS 705/1 et seq.) and regulations promulgated thereunder.
- Z. **Cannabis Processing Organization:** A facility operated by an organization or business that is licensed by the Department of Agriculture to either extract constituent chemicals or compounds to produce cannabis concentrate or incorporate cannabis or cannabis concentrate into a product formulation to produce a cannabis product as allowed by the Cannabis Regulation and Tax Act (410 ILCS 705/1 et seq.) and regulations promulgated thereunder.
- AA. **Cannabis Transporting Organization:** An organization or business that is licensed by the Department of Agriculture to transport cannabis or cannabis-infused product on behalf of a cannabis business establishment or a community college licensed under the Community College Cannabis Vocational Training Pilot Program.

#### 10-2-4. “D” Definitions

- A. **Daycare Facility:** Any childcare facility licensed by the State Department of Children and Family Services (DCFS) which regularly provides daycare for less than twenty-four (24) hours per day for more than three (3) children under the age of twelve (12) in a facility other than a home, 225 ILCS 10/2.09.
- B. **Daycare, In-Home:** Any in home childcare service licensed by the State Department of Children and Family Services (DCFS) which regularly provides care for less than twenty-four (24) hours per day for more than three (3) and up to a maximum of twelve (12) children under the age of twelve (12) in a home. The term does not include facilities which receive only children from a single household, 225 ILCS 10/2.09.
- C. **Daycare Facility, Part-Day:** Any facility licensed by the State Department of Children and Family Services (DCFS) and which is conducted by a church, religious organization or social service agency in which individual children are provided care, on an intermittent basis, for up to ten (10) hours per seven (7) day week. Any facility which provides intermittent care for up to ten (10) hours per seven (7) day week shall not provide such care for more than eight (8) hours in any given day during the seven (7) day week. Any facility which provides intermittent care for up to ten (10) hours per seven (7) day week shall provide at least one (1) caregiver per twenty (20) children, 225 ILCS 10/2.10.

- D. **Data Center:** A facility comprised of networked computers, storage systems, and computing infrastructure which organizations use to assemble, process, store and disseminate data. Cryptocurrency centers, which use networked computers, storage systems, and computing infrastructure to manage the flow of digital or virtual currencies, shall be included in the definition.
- E. **Dead End Street:** A street having only one (1) outlet.
- F. **Density, Gross:** A ratio of the total number of dwelling units on a site, divided by the acreage of the site, to include streets, schools, parks, etc., expressed as dwelling units per acre.
- G. **Development:** Any manmade change to real estate, including:
  - 1. Preparation of a plat of subdivision;
  - 2. Construction, reconstruction, or placement of a building or any addition to a building;
  - 3. Installation of a manufactured home on a site, preparing a site for a manufactured home, or installing a travel trailer on a site for more than one hundred eighty (180) days;
  - 4. Construction of roads, bridges, or similar projects;
  - 5. Redevelopment of a site;
  - 6. Filling, dredging, grading, clearing, excavating, paving, or other nonagricultural alterations of the ground surface;
  - 7. Storage of materials, or deposit of solid or liquid waste;
  - 8. Any other activity that might alter the magnitude, frequency, deviation, direction, or velocity of stormwater flows from a property.
- H. **District:** A delineated section or part of the unincorporated portion of the City in which bulk, density, and use specific standards established in Chapter 4 apply.
- I. **Domesticated Hens:** All life stages of the subspecies of the species Gallus Domesticus which are kept in an enclosure in the rear or side yard of a residentially zoned property as permitted and regulated in this title.
- J. **Drive-Through:** A business or establishment which provides all or some of its services through a building opening or pickup window to its patrons who remain in their vehicles.
- K. **Driveway:** A paved or unpaved private roadway providing vehicular access between the right-of-way of the street and a parking space, garage, dwelling or other structure.
- L. **Dry Cleaning Plant:** An establishment used for cleaning fabrics, textiles, wearing apparel, or articles of any sort by immersion and agitation, or by immersions only, in volatile solvents including, but not by way of limitation, solvents of the petroleum distillate type, and/or the chlorinated hydrocarbon type, and the processes incidental thereto.
- M. **Dry Cleaning Establishment:** An establishment or business maintained for the pickup and delivery of dry cleaning and/or laundry without the maintenance or operation of any laundry or dry-clean-ing equipment or machinery on the premises.
- N. **Dwelling:** A building or portion thereof, but not including a house trailer or mobile home, designed or used exclusively for residential occupancy, including single-unit dwellings, duplex dwellings, townhomes and multi-unit dwellings, but not including hotels, motels, boarding or lodging houses.
- O. **Dwelling, Accessory:** A dwelling that is an accessory use to a single-unit dwelling and that provides, independent of the principal single-unit dwelling:
  - 1. A separate entrance that allows ingress and egress from the exterior of the property; and

- 2. Areas used for bathing, cooking, and sleeping.
- P. **Dwelling, Duplex:** A building designed or altered to provide dwelling units for occupancy by two (2) families within a single structure on separate lots, each of which has independent living quarters with direct access to the outside.
- Q. **Dwelling, Group:** A group of two (2) or more single-unit, duplex, townhome and/or multi-unit dwellings occupying a parcel of land under a single ownership and having a yard or court in common, excluding hotels and motels.
- R. **Dwelling, Multi-Unit:** A building or portion thereof, designed or altered for occupancy by two (2) or more household living independently of each other within a single or attached structure on one (1) lot, which may or may not share common entrances or other spaces and includes apartments, group homes, and condominiums.
- S. **Dwelling, Single-Unit:** A dwelling unit designed exclusively for use and occupancy by one (1) household which is detached from any other dwelling unit and surrounded on all sides by open space on the same lot.
- T. **Dwelling, Townhouse:** A single-unit dwelling unit constructed in a group of three (3) or more attached units on separate lots in which each unit extends from foundation to roof and with a yard or public way on at least two (2) sides.
- U. **Dwelling Unit:** A housing unit providing complete independent living facilities for one (1) or more persons, including permanent provisions for living, sleeping, eating, cooking and sanitation.

### 10-2-5. "E" Definitions

- A. **Easement:** A grant by a property owner for the use of a parcel of land by the general public, a corporation, or a certain person or persons for a specific purpose or purposes.
- B. **Efficiency Unit:** A dwelling unit consisting of one (1) principal room, exclusive of bathroom, kitchen, hallway, closets or dining alcove, directly off the principal room.
- C. **Electric Substation:** An assemblage of equipment and appurtenant facilities designed for voltage transformation, or voltage control of electricity in amounts of 115,000 volts or more.
- D. **Enclosed:** A building separated on all sides from the adjacent open space, or from other buildings or other structures, by a permanent roof and by exterior walls or party walls, pierced only by windows and normal entrance or exit doors.
- E. **Entertainment Production Studios:** A theater, audience area for motion pictures and television studios or other similar uses.
- F. **Erect:** The act of placing or affixing a component of a structure upon the ground or upon another such component.
- G. **Establishment, Business:** A separate place of business having the following three (3) characteristics:
  - 1. The ownership and management of all operations conducted within such establishment is separate and distinct from the ownership and management of operations conducted within other establishments on the same or adjacent zoning lots.
  - 2. Direct public access to such "business establishment" is separate and distinct from direct access to any other "business establishment".
  - 3. There is no direct public access from within such establishment to any other such establishment.
  - 4. When adjacent places of business lack any one (1) of the characteristics with respect to one another, they shall then be considered as a single "business establishment" for the purpose of this title.

## 10-2-6. "F" Definitions

- A. **FAA:** The Federal Aviation Administration.
- B. **FCC:** The Federal Communications Commission.
- C. **Farming/Cultivation:** The cultivation of berries, flowers, fruits, grains, herbs, mushrooms, nuts, ornamental plants, seedlings, or vegetables for use on-site or sale or distribution on-site or off-site.
- D. **Fence:** A structure, including gates, or tree or shrub hedge which is a barrier and used as a boundary or means of protection or confinement.
- E. **Fence, Open:** A fence which has over its entirety at least fifty (50) percent of the surface area in open space as viewed at right angles from the fence; except, that the required open space in louver type fences may be viewed from any angle.
- F. **Fence, Solid:** A fence which conceals from view, from adjoining properties, streets or alleys, activities conducted behind it.
- G. **Filtration Plant:** A facility that works to filter and purify water by removing chemicals, hazardous materials, and toxic matters from a water source.
- H. **Financial Institutions and Services:** A financial institution, or bank, is a structure that is open to the public and engaged in deposit banking, and that performs closely related functions such as making loans, investments, and fiduciary activities.
- I. **Fire Station:** A building used for the storage and maintenance of fire-fighting equipment.
- J. **Floodplain:** See Title 8, Chapter 7 of this Code.
- K. **Floor Area, Gross:** The sum of the gross horizontal areas of the all building floors, including the basement floor, measured from the exterior faces of the exterior walls or from the centerlines of walls separating two (2) buildings. The floor area shall also include the horizontal areas on each floor devoted to:
  - 1. Elevator shafts and stairwells.
  - 2. Mechanical equipment, except if located on the roof, when either open or enclosed, i.e., bulkheads, water tanks and cooling towers.
  - 3. Habitable attic space as permitted by the building code.
  - 4. Interior balconies and mezzanines.
  - 5. Enclosed porches.
  - 6. Accessory uses.
  - 7. The floor area of structures used for bulk storage of materials, i.e., grain elevators and petroleum tanks, shall also be included in the floor area and such floor area shall be determined on the basis of the height of such structures with one (1) floor for each ten (10) feet of structure height and if such structure measures less than ten (10) feet but not less than five (5) feet over such floor height intervals, it shall be construed to have an additional floor. The horizontal area in each floor of a building devoted to off-street parking and off-street loading facilities shall not be included in the "floor area".
  - 8. Floor area when prescribed as the basis of measurement for off-street parking spaces and off-street loading spaces for any use shall be the sum of the gross horizontal area of the several floors of the building, excluding areas used for accessory off-street parking facilities and the horizontal areas to the basement floors that are devoted exclusively to uses accessory to the operation of the entire building. All horizontal dimensions shall be taken from the exterior of the walls.

- L. **Floor Area, Net:** The sum of the gross horizontal areas of the all building floors, including the basement floor, measured from the exterior faces of the exterior walls or from the centerlines of walls separating two (2) buildings. The "floor area" shall not include the horizontal areas on each floor devoted to:
  - 1. Elevator shafts and stairwells.
  - 2. Mechanical equipment, except if located on the roof, when either open or enclosed, i.e., bulkheads, water tanks and cooling towers.
  - 3. Habitable attic space as permitted by the building code.
  - 4. Interior balconies and mezzanines.
  - 5. Enclosed porches.
  - 6. Accessory uses.
  - 7. The floor area of structures used for bulk storage of materials, i.e., grain elevators and petroleum tanks, shall also be included in the floor area and such floor area shall be determined on the basis of the height of such structures with one (1) floor for each ten (10) feet of structure height and if such structure measures less than ten (10) feet but not less than five (5) feet over such floor height intervals, it shall be construed to have an additional floor. The horizontal area in each floor of a building devoted to off-street parking and off-street loading facilities shall not be included in the "floor area".
  - 8. Floor area when prescribed as the basis of measurement for off-street parking spaces and off-street loading spaces for any use shall be the sum of the gross horizontal area of the several floors of the building, excluding areas used for accessory off-street parking facilities and the horizontal areas to the basement floors that are devoted exclusively to uses accessory to the operation of the entire building. All horizontal dimensions shall be taken from the exterior of the walls.
- M. **Foot-Candle:** A unit of illumination, equivalent to the illumination at all points which are one (1) foot distant from a uniform point source of one (1) candlepower.
- N. **Forestation:** The cultivation or keeping of existing mature trees as a principal use.
- O. **Freestanding Solar Energy System, Accessory Use:** A solar energy collection system and associated mounting hardware that is affixed to or placed upon the ground including but not limited to fixed, passive, or active tracking racking systems, constructed as the accessory use on a parcel, and not intended for the distribution and sale to a third party off-site.
- P. **Freestanding Solar Energy System, Principal Use:** A single solar energy collection system and associated mounting hardware that is affixed to or placed upon the ground including but not limited to fixed, passive, or active tracking racking systems, constructed as the principal use on an individual parcel, intended to serve consumers located off the parcel.
- Q. **Freestanding Wind Energy System, Accessory Use:** A wind turbine that is that is affixed to or placed upon the ground on a parcel with an existing principal use, to which the wind energy system is accessory and provides electricity to and not intended for the sale and distribution off-site.
- R. **Freestanding Wind Energy System, Principal Use:** A wind turbine that is that is affixed to or placed upon the ground on a parcel as the parcel's principal use but which does not distribute and sell energy to customers off-site.
- S. **Frequency:** The number of oscillations per second in a sound wave, measuring the pitch of the resulting sound.
- T. **Frontage:** The property on one (1) side of a street, between two (2) intersecting streets (crossing or terminating), measured along the line of the street; or, with a dead end street, all property abutting one (1) side of such street, measured from the nearest intersecting street and the end of the dead end street.

- U. **Frontage Street:** A public or private marginal access roadway, generally paralleling and contiguous to a street or highway, and designed to promote safety by eliminating unlimited ingress and egress to such street or highway by providing points of ingress and egress at relatively uniform spaced intervals.
- V. **Funeral Home/Mortuary/Crematorium:** A building used for the preparation of the deceased for burial and display of the deceased and rituals connected therewith before burial or cremation. A funeral home, as defined for purposes of this code, includes a funeral chapel.

### 10-2-7. “G” Definitions

- A. **Garage, Bus or Truck:** Any building used or intended to be used for the storage of three (3) or more passenger motor buses or motor coaches used in public transportation, excluding school buses.
- B. **Garage, Private:** An accessory building or an accessory portion of the principal building which is intended for and used to store the private passenger vehicles of the family or families resident upon the premises, and in which no business, service or industry connected directly or indirectly with automotive vehicles is carried on.
- C. **Gasoline Service Station:** A place where gasoline, stored only in underground tanks, kerosene, lubricating oil or grease, for operation of automobiles, are offered for sale directly to the public on the premises, and including minor accessories and the services of automobiles, mechanical or manual washing of automobiles, but not including major automobile repairs. Gasoline service stations shall not include sale or storage of automobiles or trailers (new or used).
- D. **Golf Course, Miniature:** A novelty version of golf played with a putter and golf ball on a miniature course, typically theme oriented with artificial playing surfaces and including obstacles such as bridges and tunnels.
- E. **Golf Course:** A facility providing a private or public golf recreation area designed for regulation play along with accessory golf support facilities including golf related retail sales, restaurant, golf driving range but excluding miniature golf.
- F. **Golf Driving Range:** An area equipped with distance markers, clubs, balls and tees for practicing golf drives and putting which may include incidental retail sales and food services, but excludes miniature golf.
- G. **Grain Elevator and Storage:** A building designed to stockpile or store grain. Grain silos, which are vertical buildings, typically circular, used for the storage of grain, as well as grain elevators, which are used to convey grain to the top of a silo or storage building shall be included.
- H. **Grade:** The established grade of the street or sidewalk. Where no such grade has been established, the grade shall be the elevation of the sidewalk at the property line. Where no sidewalks exist, the grade shall be the average elevation of the street adjacent to the property line. Except in cases of unusual topographic conditions, as determined by the Zoning Administrator or their designee, grade shall be the average elevation of the finished surface of the ground adjoining the exterior walls of a building at the base of a structure based upon any technical advice that the Zoning Administrator or their designee deems necessary.

### 10-2-8. “H” Definitions

- A. **Health and Fitness Club/Center:** A facility which provides for individual or group exercise activities. Programs may include, but are not limited to aerobics, calisthenics, weight training, running, swimming, court games, studio lessons and all types of instructional classes related to physical fitness. Health and fitness clubs/centers may offer a variety of recreational and fitness amenities such as weightlifting machines, free weights, swimming pools, gymnasiums, studios, sport courts, shower and changing areas and may include incidental uses such as childcare facilities, food services, saunas, and pro shops oriented towards customers during their use of the club/center.
- B. **Heavy Machinery and Equipment Sales Rental:** An establishment engaged in the sale or rental of equipment, dump trucks, tractor and trailer rigs, and similar vehicles not ordinarily used for personal transportation.

- C. **Height:** When referring to a tower or other structure, the distance measured from the finished grade of the parcel to the highest point on the tower or other structure, including the base pad and antenna structures.
- D. **Home Occupation:** An accessory use of a residential dwelling unit which complies with the requirements of Section 10-4-15(F) of this title.
- E. **Hospital:** An institution devoted primarily to the maintenance and operation of facilities for the diagnosis, treatment, or care, for not less than twenty-four (24) hours in any week, of three (3) or more nonrelated individuals suffering from illness, disease, injury, deformity, or other abnormal physical conditions. The term "hospital", as used in this title, does not apply to institutions operating solely for the treatment of mentally ill or chemically dependent persons, or other types of cases necessitating restraint of patients, and the term "hospital" shall not be used for convalescent, nursing, shelter, or boarding homes.
- F. **Hotel:** An establishment containing lodging accommodations designed for use by temporary guests in which access to guest rooms is through a common entryway or lobby. Facilities provided may include maid service, laundering of linen used on the premises, telephone and secretarial or desk service, restaurants, cocktail lounges, meeting rooms and ancillary retail uses, provided access to such uses are from the exterior of the principal use.
- G. **Household:** All the people that occupy a single dwelling unit regardless of their relationship to one another.

### 10-2-9. "I" Definitions

- A. **Improvements:** All facilities constructed or erected by a subdivider within a subdivision, to permit and facilitate the use of lots or blocks for a principal residential, business, or manufacturing purpose.
- B. **Interlocking Standard Parking Spaces:** A configuration of off-street parking in columns in which the parking spaces in each individual column are angled to create an interlocking pattern with the angled off-street parking spaces in the adjoining column.
- C. **Invasive Species:** An invasive species means any species non-native to the ecosystems of northeast Illinois whose introduction will or may cause economic or environmental harm to the function of the natural ecosystem.

### 10-2-10. "J" Definitions

RESERVE

### 10-2-11. "K" Definitions

- A. **Kennel, Commercial or Private Dog Kennel:** Any lot or premises or portion thereof on which more than four (4) dogs, cats, and other household domestic animals, over four (4) months of age, are kept for sale, or on which more than two (2) such animals are boarded for compensation.

### 10-2-12. "L" Definitions

- A. **Laboratory, Commercial:** A place devoted to experimental study such as testing and analyzing. Manufacturing assembly or packaging of products is not included within this definition.
- B. **Land Banking:** Land that is part of a single lot or development that is set aside or reserved for a later approved use or development.
- C. **Land Improvement:** All required on-site and off-site subdivision improvements including, but not limited to, any sanitary sewage system, water distribution system, storm drainage systems, public utility systems, sidewalk systems, public or private streets, street lighting, street signs, grading and drainageway facilities, pedestrian ways, and retention and detention basins.
- D. **Library:** A public facility for the use, but not sale, of literary, musical, artistic, or reference materials.

- E. **Liquor Store:** A business engaged primarily in the retail sale of beer, wine, spirits or other alcoholic beverages for off-premise consumption.
- F. **Loading and Unloading Space, Off-Street:** An open, hard surfaced area of land other than a street or public way, the principal use of which is for the standing, loading and unloading of motor vehicles, tractors and trailers to avoid undue interference with public streets and alleys. Such space shall not be less than ten (10) feet in width, twenty-five (25) feet in length and fourteen (14) feet in height, exclusive of access aisles and maneuvering space.
- G. **Lookout Basement:** A story having more than one-half ( $\frac{1}{2}$ ) of its height below the curb level or below the highest level of the adjoining grade. A lookout basement shall not be counted as a story for the purposes of height measurement.
- H. **Lot:** A portion of a subdivision or other parcel of land, intended for transfer of ownership, or for building developments.
- I. **Lot Area:** The area of a horizontal plane bounded by the front, side and rear lot lines.
- J. **Lot, Corner:** A lot situated at the junction of and abutting on two (2) or more intersecting streets; or a lot at the point of deflection in alignment of a single street, the interior angle of which is one hundred thirty-five (135) degrees or less.
- K. **Lot Coverage:** The area of a zoning lot occupied by the principal building or buildings, accessory buildings and all other impervious areas such as driveways, roads, sidewalks, parking lots and structures, and any area of concrete or asphalt.
- L. **Lot Depth:** The distance between the midpoint of the front lot line and the midpoint of the rear lot line.
- M. **Lot, Double Frontage:** A lot, two (2) opposite lot lines of which abut upon streets which are more or less parallel.
- N. **Lot, Flag:** A lot not fronting or abutting a public roadway and where access to the public roadway is limited to a narrow driveway or strip of land between abutting lots, thereby not meeting the minimum lot frontage requirements.
- O. **Lot Frontage:** The front of a lot shall be that boundary of a lot along a public or private street; for a corner lot, the front shall be the narrowest side of the lot fronting upon a street; provided that the owner may orient the building toward either street but once frontage is established it shall be maintained.
- P. **Lot, Interior:** A lot other than a corner lot or reversed corner lot.
- Q. **Lot Line:** A property boundary line of any lot held in single or separate ownership; except, that where any portion of the lot extends into the abutting street or alley, the lot line shall be deemed to be the street or alley line.
- R. **Lot Line, Front:** A lot line which abuts a street shall be the front lot line. For corner lots, the narrowest side of the lot fronting upon a street shall be considered the front of the lot; provided that the owner may orient the building toward either street but once frontage is established it shall be maintained.
- S. **Lot Line, Interior:** A side lot line common with another lot.
- T. **Lot Line, Rear:** The rear lot line is the lot line or lot lines most nearly parallel to and more remote from the front lot line.
- U. **Lot line, Side:** Lot lines other than front or rear lot lines are side lot lines.
- V. **Lot of Record:** A lot which is a part of a subdivision or a parcel of land described by deed and where both the map and the deed were recorded in the Office of the County Recorder.
- W. **Lot, Reversed Corner:** A corner lot, the rear of which abuts upon the side of another lot, whether across an alley or not.
- X. **Lot, Through:** A lot having frontage on two (2) parallel or approximately parallel streets, and which is not a corner lot. On a through lot, both street lines shall be deemed front lot lines.
- Y. **Lot Width:** The mean horizontal distance between the side lot lines measured within the lot boundaries, or the minimum distance between the side lot lines within the buildable area.

- Z. **Lot, Zoning:** A plot of ground made up of one (1) or more contiguous parcels which are under single ownership and may be occupied by a use, building or buildings, including the yards and open spaces required by this title.

### 10-2-13. "M" Definitions

- A. **Manufacturer, Firearms and Ammunition:** Any person or entity in: a) the business of transporting, shipping and receiving firearms and ammunition for the purpose of sale or distribution, b) selling firearms at wholesale or retail, c) repairing firearms or making or fitting special barrels, stocks or trigger mechanisms to firearms and operating under the provisions of the applicable local, state and federal licenses.
- B. **Manufacturing:** An establishment, the principal use of which is manufacturing, fabricating, processing, assembly, repairing, storing, cleaning, servicing or testing of materials, goods or products.
- C. **Massage Establishment:** Any establishment having a source of income or compensation derived from the practice of "massage" as defined in section 10 of the Massage Licensing Act, 225 ILCS 57/10 and which has a fixed place of business where any person, firm, association or corporation engages in or carries on any of the activities defined in [title 3](#), chapter 9, "Massage Establishments", of this Code.
- D. **Medical Clinic / Office:** An establishment where patients are admitted for study and treatment by two (2) or more licensed physicians, dentists, psychologists, or similar professional healthcare practitioners and their professional associates. The term shall include but not be limited to offices of physicians, chiropractors, dentists, and acupuncturists.
- E. **Microbrewery/Microwinery:** A combination retail, wholesale, and/or small-scale artisan manufacturing business that brews, ferments, processes, packages, distributes, and serves either beer or wine for sale on- or off-site. A microbrewery shall produce no more than one-hundred fifty-five thousand (155,000) gallons of beer per year for sale on the premises for either on-premises or off-premises consumption. These facilities may include an ancillary tasting room and retail component in which guests/customers may sample and purchase the product. Off-site distribution of the beverages shall be consistent with state law.
- F. **Microdistillery:** A small scale artisan manufacturing business that blends, ferments, processes, packages, distributes and serves alcoholic spirits on and off the premises and produces no more than fifteen thousand (15,000) gallons per calendar year on-site. The microdistillery facility may include an ancillary tasting room and retail component in which guests/customers may sample and purchase the product. Off-site distribution of the alcoholic beverages shall be consistent with state law.
- G. **Mobile Food Vendor Vehicles and Retail Vendor Vehicles:** A motorized vehicle used to conduct a mobile food preparer business, a mobile food dispenser, or mobile desserts vendor business.
- H. **Mobile Home:** A manufactured home structure transportable in one (1) or more sections, which in the traveling mode is eight (8) body feet or more in width and forty (40) body feet or more in length or when erected on-site is three hundred twenty (320) square feet or more and which is built on a permanent chassis and designed to be used as a dwelling unit with or without a permanent foundation when connected to the required utilities, and includes the plumbing, heating, air conditioning and electrical systems that may be contained therein; except that such term shall include any structure that meets all the requirements of this definition except the size requirements and with respect to which the manufacturer voluntarily files a certification required by the Secretary (HUD) and complies with the standards established under this title. For manufactured homes built prior to June 15, 1976, a label certifying compliance to the standard for mobile homes, NFPA 501, in effect at the time of manufacture is required.
- I. **Mobile Home Park:** A lot, parcel or tract of land developed with facilities for accommodating two (2) or more mobile homes, provided each mobile home contains a kitchen, flush toilet and shower or bath; and such park shall be for use only by nontransient dwellers remaining continuously for more than one (1) month, whether a charge is made. It shall not include a sales lot in which automobiles or unoccupied mobile homes or other trailers are parked for the purpose of inspection or sale, except mobile homes located on a site in the mobile home park which are occupied or vacant for not more than ninety (90) days after occupancy may be sold or offered for sale.

- J. **Modular Construction:** A structure not built on-site, but which is placed on a permanent foundation and meets building code requirements.
- K. **Motel:** A building or group of buildings on the same lot containing guest units consisting of individual sleeping quarters, detached or in connecting rows, with or without cooking facilities, for short-term rental, in which each guest unit is accessed through the building's exterior rather than through a common lobby.
- L. **Motor Freight Terminal:** A building in which freight, brought to said building by motor truck, is assembled and sorted for routing in intrastate and interstate shipment by motor truck.
- M. **Motor Vehicle:** A passenger automobile/vehicle, truck, truck trailer, trailer or semitrailer propelled or drawn by mechanical power.

### 10-2-14. "N" Definitions

- A. **Native Species:** A plant or animal species that originates from the ecosystems of northeast Illinois. Non-invasive species of ornamental plants shall be included within the definition for the purposes of this UDO.
- B. **Newspaper Publishing:** An establishment in which the principal business consists of duplicating and printing services of newspapers using photocopy, blueprint, or offset printing equipment, including publishing, binding, and engraving.
- C. **Nonconforming Use:** Any building, structure or land lawfully occupied by use or lawfully established which does not conform to the current regulations of the zoning ordinance.
- D. **No-Impact Antenna and Towers:** A tower or antenna which is either: a) virtually invisible to the casual observer, such as an antenna behind louvers on a building, or inside a steeple or similar structure, or b) camouflaged so as to blend in with its surroundings to such an extent that it is no more obtrusive to the casual observer than the structure on which it is: 1) placed, such as a rooftop, lighting standard, or existing tower, or 2) replacing, such as a school athletic field light standard.
- E. **Noxious Matter:** Material which is capable of causing injury to living organisms by chemical reaction or is capable of causing detrimental effects upon the physical, social or economic well-being of human beings.
- F. **Nursery/Greenhouse:** Retail business whose principal activity is the selling of plants and having outdoor storage, growing and/or display of plants.

### 10-2-15. "O" Definitions

- A. **Odorous Matter:** Any material that produces an olfactory response among human beings.
- B. **Office:** A place, such as a building, room, or suite, in which services, clerical work, professional duties or the like are carried out.
- C. **Open Space:** Ground area of a lot, landscaping and recreational facilities may qualify as open space provided that it is an area unobstructed from the ground to the sky and which:
  1. Is not devoted to public or private roadways or driveways and off-street parking and loading;
  2. Is accessible and available only to occupants of dwelling units on the premises, except balconies;
  3. Is not covered by buildings, except not more than five (5) percent of the required open space may be recreational facilities enclosed within a building for the use of occupants of the dwelling units on the premises;
  4. Has not less than ten (10) feet its narrowest dimension between either a lot line and an area not qualifying as usable open space; and
  5. Is developed, landscaped, and maintained suitable for pedestrian, recreational and leisure use.

- D. **Outdoor Displays:** Areas where the majority of items for sale to the general public are displayed outdoors, such as garden nurseries, vehicle and equipment sales lots, mobile home sales, play equipment sales and other similar uses.
- E. **Outdoor Music Venue:** A property where sound equipment is used to amplify sound that is not fully enclosed by permanent, solid walls or roof.
- F. **Outline Lighting:** An arrangement of incandescent lamps or electric discharge tubing that outlines or calls attention to certain features of a building or sign including but not limited to its shape not to include temporary holiday decor.

## 10-2-16. “P” Definitions

- A. **Parapet:** An architectural feature of a building where that portion of an exterior wall extends above the roof deck.
- B. **Parcel:** Shall refer broadly to a lot, tract, or any other piece of land.
- C. **Park:** An area open to the general public and reserved for recreational, educational, or scenic purposes.
- D. **Parking Area or Lot:** An open, hard-surfaced area, designed, arranged and made available for the storage of private passenger automobiles only of occupants of the building or buildings for which the parking area is developed and is accessory.
- E. **Parking Space:** Space within a public or private parking area designed in conformance with Section 10-5-1(E) of this title, exclusive of access drives, or aisles, ramps, columns or office and work areas, for the storage of one (1) passenger automobile or commercial vehicle under one and one-half (1½) tons' capacity.
- F. **Parking Structure:** An attached or detached structure that is fully or partially enclosed with one (1) or more levels and is used exclusively for the parking or storage of motor vehicles. This does not include private one-story garages for single-, two-, or multi-unit residential uses. Parking structures may either be above or below grade.
- G. **Parkway:** A strip of land situated within the dedicated street right-of-way, either located between the roadway and right-of-way line, or a median located between the roadways.
- H. **Pawnbroker/Pawnshop:** Any person who lends money on deposit or pledge of personal property, or deals in the purchase of personal property on condition of selling the same back at a stipulated price, or who publicly displays at his or her place of business the sign generally used by pawnbrokers to denote the pawnbroker's business, or who publicly displays a sign which indicates, in substance, a business on the premises which "loans money for personal property, or deposit or pledge". The business of a pawnbroker shall not include the lending of money on deposit or pledge of title to property.
- I. **Place of Worship/Assembly:** A building, together with its accessory buildings and uses, where persons regularly assemble for religious purposes and related social events and which building and accessory buildings and uses are maintained and controlled by a religious body organized to sustain religious ceremonies and purposes.
- J. **Plan Council:** The Plan Council of the City of Yorkville.
- K. **Planning and Zoning Commission:** The Planning and Zoning Commission of the City of Yorkville.
- L. **Plan, Concept:** A tentative map or drawing which indicates the subdivider's proposed layout of a subdivision, including a site plan indicating existing off-site roadway connections.
- M. **Plan, Final:** The final engineering plan, map or drawing, plus all accompanying information required by this title.
- N. **Plan, Preliminary:** The preliminary engineering plan, map, or drawing, plus all accompanying information required by this title.
- O. **Plat:** A subdivision as it is represented as a formal document by drawing and writing.

- P. **Plat, Final:** The final map drawing or chart, on which the subdivider's layout of a subdivision is presented to the City Council for approval, and which, if approved, will be submitted to the County Recorder for recording.
- Q. **Plat, Preliminary:** A tentative map or drawing, which indicates the subdivider's proposed layout of a subdivision, including all proposed improvements.
- R. **Playground:** An area open to the public for recreational use primarily for children.
- S. **Police Station:** Protection centers operated by a governmental agency, including administrative offices, storage of equipment, temporary detention facilities, and the open or enclosed parking of patrol vehicles, excluding correctional institutions.
- T. **Porch:** A roofed over structure, projecting out from the wall or walls of a main structure and commonly open to the weather in part.
- U. **Portable Outdoor Storage Device:** Any item designed and used as follows: a container which is delivered to a property, which is filled with household items or other nontrash materials, and which the container and its contents are subsequently transported to another location.
- V. **Post Office:** A facility that contains service windows for mailing packages and letters, post office boxes, offices, vehicle storage areas, and sorting and distribution facilities for mail.
- W. **Preexisting Towers or Antennas:** Existing towers and existing antennas which predated this title, shall not be required to meet the requirements of this chapter other than the requirements of Section 10-4-14(A)(2)(f), (A)(2)(h), and (A)(2)(r) of this chapter. All preexisting towers and antennas shall be subject to the tower and antenna administrative fee.
- X. **Prepared Food Service Establishment:** An establishment that makes prepared food available for sale to the general public for immediate consumption on or off the premises.
- Y. **Preschool:** A school for children primarily between the ages of three (3) and five (5), providing preparation for elementary school.
- Z. **Principal Use:** The main use of land or buildings as distinguished from a subordinate or accessory use.
- AA. **Professional Care Services:** Establishments which provide individual services on a frequent or recurrent basis to the consumer at the site of the business. The term shall include, but shall not be limited to, beauty salons, hair salons, microblading, nail salons, and similar establishments.
- BB. **Professional Services/Offices:** A business which is engaged in the processing, manipulation, or application of business information or professional expertise. The use shall include but not be limited to professional offices for nonprofit organizations, accounting, insurance, investment services, computer services, architecture, engineering, legal services, real estate services.
- CC. **Public Open Space:** Any publicly owned open area, including, but not limited to, the following: parks, playgrounds, forest preserves, beaches, waterways, parkways and streets.
- DD. **Storage, Indoor Single-Building Climate Controlled:** A facility consisting of a single building where individual self-contained units are leased or rented to the general public for dead storage and where the individual storage units are accessed from the interior of the building.
- EE. **Storage, Outdoor Self-Storage:** A facility consisting of a building or group of buildings in which individual self-contained units are leased or rented to the general public for storage and where the individual storage units are accessed from the exterior of the building.
- FF. **Public Utility:** Any person, firm, corporation or municipal department duly authorized to furnish, under public regulation, to the public, electricity, gas, steam, telephone, sewers, transportation or water.

GG. **Public Utility Facility (other):** A public utility as defined in this UDO engaged activities other than electric substations or distribution centers, gas regulation centers, and underground gas holder stations.

## 10-2-17. "Q" Definitions

RESERVE

## 10-2-18. "R" Definitions

- A. **Railroad Passenger Station:** A facility for the boarding of passengers and related ticketing sales and offices.
- B. **Railroad Repair Shop, Maintenance Building, and Switching Yard:** The use of land, buildings and structures for equipment and supplies related to the repair of rail railroad facilities or an area used for the storing and switching of freight and passenger rolling stock.
- C. **Railroad Right-of-Way:** A strip of land with tracks and auxiliary facilities for track operation, but not including depot loading platforms, stations, train sheds, warehouses, car shops, car yards, locomotive shops, water towers, etc.
- D. **Radio and Television Towers, Commercial:** Any structure that is designed and constructed primarily for the purpose of supporting one (1) or more antennas for commercial radio or television purposes, including self-supporting lattice towers, guyed towers, or monopole towers. The term includes the structure and any support thereto.
- E. **Recreation Center:** A building or structure used as a place of recreation, generally open to the public and designed to accommodate and serve significant segments of the community.
- F. **Recreational Camp, Private:** An establishment consisting of permanent buildings used periodically by an association of persons where seasonal accommodations for recreational purposes are provided only to the members of such association and not to anyone who may apply.
- G. **Recreational Vehicle Sales and Service:** An establishment engaged in the sale of recreational vehicles, including motorhomes and pickup campers, travel trailers, tent trailers, and similar vehicles that are designed and constructed for permit sleeping or housekeeping in an outdoor or an showroom enclosed in a primary building.
- H. **Recreational Vehicle, Trailer, and Boat Parking:** A site intended for the semi-permanent parking of recreational vehicles, trailers, or boats.
- I. **Refrigerated Warehouse (Cold Storage):** A facility which is artificially or mechanically cooled in order to maintain the integrity and quality of perishable goods.
- J. **Refuse:** All waste products resulting from human habitation, except sewage.
- K. **Research Laboratory:** A building or group of buildings in which are located facilities for scientific research, investigation, testing or experimentation, but not facilities for the manufacture or sale of products, except as incidental to the main purpose of the laboratory.
- L. **Restaurant:** An establishment whose food is available to the general public typically for consumption on the premises. The term may include fast food restaurants in which food is available through drive-throughs as defined in this UDO, has a limited menu of items consisting of prepackaged or quickly prepared items; where food is ordered and picked up at a counter with no table service provided; where food is served in a limited dine-in area; or which is usually part of a chain or franchise establishment. The term may also include fast casual dining with one or more of the following characteristics; a limited menu items are made to order and are prepared only upon request; food is either ordered and picked up at a counter or served at the patron's table in a limited dine in area; and is usually part of a chain or franchise establishment.
- M. **Residence:** The act or condition of residing or dwelling in a place.
- N. **Retail Store:** A building or portion of a building providing area for the selling of new or used goods, wares, and merchandise directly to the consumer for whom the goods are furnished.

- O. **Riding Academies With Stables:** An establishment including associated stables where horses are boarded and cared for, and where instruction in riding, jumping, and showing is offered, and where horses may be hired for riding.
- P. **Right-of-Way:** A strip of land occupied or intended to be occupied by a road, crosswalk, railroad, electric transmission line, oil or gas pipeline, water main, sanitary or storm sewer main, or for another special use. The usage of the term "right-of-way" for land platting purposes in the United City of Yorkville shall mean that every right-of-way hereafter established and shown on a final recorded plat is to be separate and distinct from the lots or parcels adjoining such right-of-way, and not included within the dimensions or areas of such lots or parcels. Rights-of-way intended for roads, crosswalks, water mains, sanitary sewers, storm drains, or any other use involving maintenance by a public agency shall be dedicated to public use by the maker of the plat on which such right-of-way is established.
- Q. **Riding Academy:** An establishment where horses are boarded and cared for, and where instruction in riding, jumping, and showing is offered, and where horses may be hired for riding.
- R. **Roadside Stand:** A temporary structure which is used solely for the display or sale of farm produce and related materials. No roadside stand shall be more than three hundred (300) square feet in ground area and there shall be no more than one (1) roadside stand on any one (1) premises.
- S. **Roadway:** That portion of a street which is used or intended to be used for the travel of motor vehicles.

### 10-2-19. "S" Definitions

- A. **Salvage Yard.** Any location whose primary use is where waste or scrap materials are stored, bought, sold, accumulated, exchanged, packaged, disassembled, or handled, including but not limited to materials such as scrap metals, paper, rags, tires, and bottles.
- B. **Sanitary Landfill:** A lot or part thereof used primarily for the disposal by abandonment, dumping, burial, burning, or other means and for whatever purpose, of garbage, sewage, trash, refuse, junk, discarded machinery, vehicles, or parts thereof, or nontoxic waste material of any kind.
- C. **School, Public or Private:** Elementary, high school or college, public or private, or nonprofit junior college, college or university, other than trade, commercial and business schools, including instructional and recreational uses, with or without living quarters, dining rooms, restaurants, heating plants and other incidental facilities for students, teachers and employees. These schools typically contain an auditorium, gymnasium, cafeteria, or other recreational facilities.
- C. **Senior Housing, Dependent:** A building or collection of buildings, of any building type, containing dwelling units for senior adults or persons with disabilities. Dependent senior housing includes on-site support services and amenities assisted by staff. The daily amenities and services provided in dependent senior housing include meals, day care, personal care, medical support, nursing or therapy, and any service to the senior adult or disabled population of the community that is an ancillary part of one of these operations. Support services may be located either in the same structure as the dwelling units or in a structure physically separated from the dependent living dwelling units.
- D. **Senior Housing, Independent:** A building or collection of buildings, of any building type, containing dwelling units for senior adults or persons with disabilities. Independent senior housing may include on-site support services such as meal preparation and service, day care, nursing or therapy, or any service to the senior adult or disabled population of the community that is an ancillary part of one of these operations. Support services may be located either in the same structure as the dwelling units or in a structure physically separated from the independent living dwelling units.
- E. **Semi-Truck:** A tractor unit which is used to tow or move semi-trailers. A semi-truck typically has two (2) or three (3) axles and is built for hauling large amounts of products, goods, and heavy machinery.
- F. **Semi-Truck Repair:** Engine rebuilding or major reconditioning of worn or damaged semi-trucks; collision service, including body, frame or fender straightening or repair and painting including incidentals repairs, replacement of parts and motor service to semi-trucks.

- G. **Service Drive:** A public street, generally paralleling and contiguous to a main traveled way, primarily designed to promote safety by eliminating promiscuous ingress and egress to the right-of-way, and providing safe and orderly points of access at fairly uniformly spaced intervals.
- H. **Setback:** The minimum distance maintained between a street right-of-way and the nearest supporting member of any structure on the lot, except where otherwise regulated in this title.
- I. **Setback, Established:** When forty (40) percent or more of the lots fronting on one (1) side of a street within a block are improved, the average of all the existing front setbacks of such improved lots shall be the "established setback" for determining the depth of the minimum required front setbacks for the remainder of the lots along such street frontage, as regulated in this title.
- J. **Setback Line, Building:** See definition of building setback line.
- K. **Sewage Disposal System, Central:** A system of sanitary sewers, serving ten (10) or more lots that discharge either into an interceptor sewer or an approved sewage treatment plant.
- L. **Sewage Disposal System, Individual:** A sewage disposal system, or any other sewage treatment device approved by the Kendall County Department of Public Health, and servicing only one (1) lot.
- M. **Sewage Treatment Plant:** A facility which operates a sewerage system and sewage treatment facilities that collect, treat, and disposal of human waste.
- N. **Shooting Gallery/Gun Range, Indoor:** An enclosed facility, public or private, specifically for the purpose of providing a place in which to discharge various types of firearms, shoot air guns and/or archery equipment at designated targets and designed to contain all projectiles fired within the confines of the building. Auxiliary training and instructional classroom facilities may also be provided, as well as ancillary retail sales of firearms, ammunition, and associated products upon proof of applicable local, state, and federal licensure.
- O. **Short-Term Rental:** A home occupation of a single-unit dwelling that is used as a primary residence by owners or renters, or a portion of such a dwelling unit that is rented for less than thirty (30) days at a time to transients and temporary guests.
- P. **Sidewalk:** That portion of street or crosswalk way, paved or otherwise surfaced, intended for pedestrian use only.
- Q. **Sign:** Any identification, illustration, means of communication, or device, illuminated or non-illuminated, that is visible from any public place or is located on private property and exposed to the public and that is intended to direct attention, advertise, announce, communicate, declare, demonstrate, or display a particular use, product, service, idea, interest, or message.
- R. **Sign Area.** Sign area shall apply to single-tenant monument signs, multi-tenant monument signs, on-site traffic directional signs, a-frame/sandwich board signs, and/or yard signs only. Sign area shall be computed by means of the smallest square, rectangle, circle, triangle or combination thereof that shall encompass the extreme limits of the sign copy area and the sign base area. Sign area shall not include any supporting framework, bracing, decorative fence, or wall when such fence or wall otherwise meets UDO regulations and is clearly incidental to the display itself. A double faced sign shall count as a single sign. Sign area for wall signs on buildings with multiple exterior walls shall be calculated as provided in Section 10-6-3(B).
- S. **Sign, Awning/Canopy:** A sign wholly supported by a canopy projecting from a building or an extended roof or pitched roof and which does not extend above the mean height level of the roof of the building.
- T. **Sign, A-Frame/Sandwich Board:** An advertising or business ground sign constructed in such a manner as to form an "A" or a tent-like shape, hinged or not hinged at the top; each angular face held at an appropriate distance by a supporting member.
- U. **Sign, Cold Air Inflatable:** A sign designed to be airborne and tethered to the ground, a vehicle or any other structure and shall include balloons and any other inflatable advertising device.

- V. **Sign, Feather:** A flexible or rigid pole to which one side of a flexible fabric, generally in the shape of a feather or similar shape, is attached, and which upon which temporary sign copy is displayed. Such banners are also known and sold under names which include, but are not limited to, "quill sign," "banana banner," "blade banner," "flutter banner," "flutter flag," "bowflag," "teardrop banners," and others. The definition includes functionally similar display devices.
- W. **Sign, Banner:** A temporary advertising sign which is not attached to a permanently mounted backing. Banner signs may be ground-mounted or wall-mounted.
- X. **Sign, Billboard:** Any sign advertising a land use, business, product or service, not located or available upon the premises whereon the sign is located.
- Y. **Sign, Feather:** A flexible or rigid pole to which one side of a flexible fabric, generally in the shape of a feather or similar shape, is attached, and which upon which temporary sign copy is displayed. Such banners are also known and sold under names which include, but are not limited to, "quill sign," "banana banner," "blade banner," "flutter banner," "flutter flag," "bowflag," "teardrop banners," and others. The definition includes functionally similar display devices.
- Z. **Sign, Monument:** A freestanding sign in which the entire bottom is in contact with or close to the ground.
- AA. **Sign, On-Site Traffic Directional:** A sign on a lot that directs the movement or placement of pedestrian or vehicular traffic with or without reference to, or inclusion of, the name of a product sold or service performed on the lot or in a building, structure or business enterprise occupying the same.
- BB. **Sign, Post:** A temporary sign, the face of which is affixed to a post installed on the ground.
- CC. **Sign, Projecting:** A sign that projects perpendicular from a building more than twelve (12) inches from the building's supporting wall.
- DD. **Sign, Roof:** A sign which is affixed to a roof, extended roof, pitched roof or canopy and which extends above the mean height of the roof.
- EE. **Sign, Wall:** A sign affixed to a building wall which does not project horizontally more than twelve (12) inches from the wall nor extend above the height of the wall.
- FF. **Sign, Window:** A sign which is applied or attached to the exterior of a window, or applied to, attached to, or located within one (1) foot of the interior of a window, which can be seen through the window from the exterior of the structure.
- GG. **Sign, Yard:** A temporary portable sign constructed of paper, vinyl, plastic, wood, metal or other comparable material, and designed or intended to be displayed for a short period of time.
- HH. **Skating Rink:** An establishment that provides facilities for participant skating.
- II. **Small Wireless Facility:** A wireless facility that meets both of the following qualifications: a) each antenna is located inside an enclosure of no more than six (6) cubic feet in volume or, in the case of an antenna that has exposed elements, the antenna and all of its exposed elements could fit within an imaginary enclosure of no more than six (6) cubic feet; and b) all other wireless equipment attached directly to a utility pole associated with the facility is cumulatively no more than twenty-five (25) cubic feet in volume. The following types of associated ancillary equipment are not included in the calculation of equipment volume: electric meter, concealment elements, telecommunications demarcation box, ground-based enclosures, grounding equipment, power transfer switch, cut-off switch, and vertical cable runs for the connection of power and other services. Small wireless facilities are permitted uses if they are collocated in right-of-way in any zoning district or outside rights-of-way in property zoned exclusively for commercial or industrial use.
- JJ. **Smoke:** Small gas borne particles other than water that form a visible plume in the air.
- KK. **Solar Farm:** An installation that includes a large number of solar panels arranged contiguously on a parcel for the collection of solar energy and intended for the sale and distribution of electricity to customers located off-site.

- LL. **Solid Waste Disposal Site:** A facility for the purpose of treating, compacting, composting, storing, or disposing of solid waste.
- MM. **Stable/Paddocks:** A building and grounds which are designed, arranged, used or intended to be used for the storage, boarding or breeding of horses, including accessory uses which may include riding and horsemanship instructions and the hire of riding horses.
- NN. **Stacking Requirements:** The specified number of cars that must be accommodated in a reservoir space while awaiting ingress or egress to specified business or service establishments.
- OO. **Stadium:** Any facility, building, corral, arena, or structure of any kind designed for use as either a sports facility (including animal sports, i.e., rodeos, horseraces, etc.), entertainment facility, whether for profit or not, where activities are to be undertaken generally for the entertainment of others. Said description includes ball fields, when any type of structure is involved, skating rinks, racetracks, football or soccer fields, softball fields, gymnasiums, swimming facilities, music halls, theaters, stages or any other type of field or facility.
- PP. **Storage of Roadway Construction Materials and Equipment:** A facility that stores any equipment which is used in connection with the construction, alteration, excavation or repair of a building or of real property, including, but not limited to front loaders, trailers, cranes, plows, bulldozers and other similar equipment.
- QQ. **Story:** That portion of a building included between the surface of any floor and the surface of the floor above it, or if there is no floor above, then the space between the floor and ceiling next above it. Any portion of a story exceeding fourteen (14) feet in height shall be considered as an additional story for each fourteen (14) feet or fraction thereof.
- RR. **Story, Half:** That portion of a building under a gable, hip or mansard roof, the wall plates of which on at least two (2) opposite exterior walls are not more than four and one-half (4½) feet above the finished floor of each story. In the case of single-unit dwellings, duplex dwellings and multi-unit dwellings less than three (3) stories in height, a half story in a sloping roof shall not be counted as a story for the purpose of this title. In the case of multi-unit dwellings three (3) or more stories in height, a half story shall be counted as a story.
- SS. **Street:** A public or private right-of-way which affords a primary means of access to abutting properties, whether designated as a street, avenue, highway, road, boulevard, lane, throughway, or however otherwise designated, but excepting driveways to buildings.
- TT. **Street, Collector:** A street that collects and distributes traffic, primarily within residential areas. This street carries between two thousand five hundred (2,500) and twelve thousand (12,000) ADT.
- UU. **Street, Estate Residential:** A street of limited continuity, used for access to abutting rural residential properties and local needs of a neighborhood. This street carries less than one thousand (1,000) ADT.
- VV. **Street or Alley Line:** A line separating an abutting lot, piece or parcel from a street. The street line shall be the back of the curb where curbing exists or the edge of the street pavement if no curb is present.
- WW. **Street, Local Residential:** A street of limited continuity, used primarily for access to abutting rural residential properties and local needs of a neighborhood. This street carries less than one thousand (1,000) ADT.
- XX. **Street, Major Collector:** A street that serves as a main traffic thoroughfare, both within and outside of the City, carrying heavy volumes of traffic. This street carries more than two thousand five hundred (2,500) ADT.
- YY. **Street, Minor Collector:** A street that collects and distributes traffic within intensively developed areas, and is used primarily for internal trips within the planning area. This street carries between one thousand (1,000) and two thousand five hundred (2,500) ADT.
- ZZ. **Street Width:** The shortest distance between the backs of the curb or edge of pavement of a roadway.

- AAA. **Structural Alterations:** Any change other than incidental repairs which would prolong the life of the supporting members of a building or structure such as bearing walls, columns, beams and girders.
- BBB. **Structure:** Anything constructed or erected which requires at least semi-permanent location on the ground or is attached to something having location on the ground.
- CCC. **Subdivider:** Any person or corporation or duly authorized agent who undertakes the "subdivision" or "development" of land as defined herein. Also referred to as developer.
- DDD. **Subdivision:** A described tract of land which is to be or has been divided into two (2) or more lots or parcels. The term subdivision includes resubdivision and, where it is appropriate to the context, relates to the process of subdividing or to the land subdivided.
- EEE. **Swimming Pool, Indoor:** A structure, whether designed to hold water more than thirty (30) inches deep to be used for recreational purposes and entirely enclosed within a building.

## 10-2-20. "T" Definitions

- A. **Tattoo and Body Piercing Establishments:** Any establishment which performs or provides services for tattooing and/or body piercing as defined in title 3, Chapter 10 of this Code.
- B. **Tavern – Nightclub or Lounge:** A building where liquors are sold to be consumed on the premises, but not including restaurants where the principal business is serving food.
- C. **Tent:** A structure, enclosure, or shelter constructed of fabric or other pliable material supported by any manner except by air or the contents protected by the material. The horizontal area covered by the fabric or other pliable material shall be considered building floor area. Tents shall be considered detached accessory structures.
- D. **Temporary and Seasonal Uses.** A use intended for a limited duration on a site as allowed through the temporary use permit process in Section 10-8-3 (F) or a use which is associated with a holiday or special event, or which is accessory to a permitted use and transitory in nature
- E. **Temporary Use Permit.** A permit for a Temporary Use designated in this UDO which is to be established for a fixed period of time, with the intent to discontinue such use upon the expiration of that timeframe.
- F. **Terrace, Open:** A level and rather narrow plane or platform which, for the purpose of this title, is located adjacent to one (1) or more faces of the principal structure and which is constructed not more than four feet (4') in height above the average level of the adjoining ground.
- G. **Theater, Live Performance:** A building used for dramatic, operatic, music, or other live performance purposes for which attendees are charged admission an admission fee to view.
- H. **Theater, Motion Picture:** A building used for the display of motion pictures for which attendees are charged an admission fee to view.
- I. **Title:** Reference to "title" herein shall be construed to be the Yorkville Unified Development Ordinance.
- J. **Tower:** Any structure that is designed and constructed primarily for the purpose of supporting one (1) or more antennas for telephone, radio and similar communications purposes, including self-supporting lattice towers, guyed towers, or monopole towers. The term includes radio and television transmission towers, microwave towers, common carrier towers, cellular telephone towers, alternative tower structures, and the like. The term includes the structure and any support thereto.
- K. **Trailer:** A vehicle without motive power, designed to be towed by another vehicle but not designed for human occupancy and which may include a utility trailer, boat trailer, camping trailer, travel trailer, horse trailer or cargo trailer.

- L. **Treatment Center:** One (1) or more buildings designed and used for the medical and surgical diagnosis and treatment. This definition excludes hospitals and nursing homes.
- M. **Tree Root Zone:** Area of the ground around the base of the tree measured from the trunk to five (5) feet beyond the outer base of the branching system.
- N. **Truck and Trailer Sales/Rental:** Leasing or renting of trucks and trailers, including incidental parking and servicing of vehicles for rent or lease.
- O. **Truck, Truck-Tractor, Truck Trailer, Car Trailer or Bus Storage Yard:** A site intended for the semi-permanent storage of trucks, truck-tractors, truck trailers, car trailers, buses, and other similar vehicles. motor freight terminals shall not be included.
- P. **Turnaround:** An area at the closed end of a street or parking lot, within which vehicles may reverse their direction.

### 10-2-21. “U” Definitions

- A. **Underground Dog Fences:** A fence constructed beneath the site’s natural grade constructed solely to prevent household pets from leaving the property.
- B. **Unified Development Ordinance, City of Yorkville:** The Unified Development Ordinance of the City of Yorkville as established in this title including the Zoning District Map as amended.
- C. **Use:** The purpose for which land or a building thereon is designed, arranged or intended, or for which it is occupied or maintained, let or leased.
- D. **Use, Lawful:** The use of any building, structure or land that conforms with all of the regulations of this title and which conforms with all of the codes, ordinances and other legal requirements as existing when the structure or land is being examined.
- E. **Use, Nonconforming:** See definition of *Nonconforming use*.
- F. **Use, Permitted:** Any use which is or may be lawfully established in a particular district or districts, provided it conforms with all requirements, regulations, and when applicable, performance standards of this title for the district in which such use is located.
- G. **Use, Principal:** The dominant use of land or buildings as distinguished from a subordinate or accessory use.
- H. **Use, Special:** A use that has unusual operational, physical or other characteristics that may be different from those of the predominant permitted uses in a district, but which is a use that complements and is otherwise, or can be made, compatible with the intended overall development within a district. Compliance with special standards not necessarily applicable to other permitted or conditional uses in the district shall be required as regulated in this title.

### 10-2-22. “V” Definitions

- A. **Vacant Land:** A lot or parcel of land on which no improvements or structures have been constructed or actively used for any land use purpose.
- B. **Variation:** A limited relief from the requirements of this title granted to a particular property in an instance in which the strict application of the requirements would create a practical difficulty or particular hardship prohibiting the use of the property in a manner otherwise allowed under this title. Such limited relief shall not change the underlying zoning of the subject property.
- C. **Vehicle Charging Station:** A permitted accessory use serving another principal use that is located in a parking structure or parking lot and used for the charging of electric motor vehicles. The vehicle charging station shall not result in the reduction of parking spaces to less than what is required to serve the principal use.

- D. **Veterinary Clinic:** An establishment for the care and treatment of the diseases and injuries of animals and where animals may be boarded only during their convalescence.

**10-2-23. “W” Definitions**

- A. **Wholesaling and Warehousing:** A structure, part thereof, or an area used principally for the storage of goods and merchandise for wholesale or distribution, excluding bulk storage of materials that are inflammable or explosive or that present hazards.
- B. **Wetlands:** As defined by the Illinois Department of Natural Resources.
- C. **Wind Farm:** An installation including a cluster of wind turbines on one parcel for the collection of wind energy and sale of electricity to customers located off-site.

**10-2-24. "X" Definitions**

RESERVE

**10-2-25. “Y” Definitions**

- A. **Yard:** An open area on a lot which is unobstructed from its lowest level to the sky, except as otherwise provided in this title.
- B. **Yard, Corner Side:** A yard adjoining a street line which is bounded by the front lot line and rear lot line, and is opposite the interior side yard.
- C. **Yard, Front:** A yard extending along the full width of a front lot line between the side lot lines and has a depth between the front lot line and the front yard line.
- D. **Yard, Interior Side:** A side yard which adjoins another lot or an alley separating such side yard from another lot.
- E. **Yard Line:** A line in a lot that is parallel to the lot line along which the applicable yard extends and which is not nearer to such lot line at any point than the required depth or width of the applicable yard. A building, structure or other obstruction shall not encroach into the area between the "yard line" and such adjacent lot line, except for such permitted obstructions in yards as are set forth in Section 10-3-11 of this chapter.
- F. **Yard, Rear:** A yard extending along the width of the rear lot line between the side lot lines, and from the rear lot line to the rear yard line in depth.
- G. **Yard, Side:** A yard extending along the length of a side lot line between the rear yard line and front yard line, from the side yard line to the side lot line in width.

**10-2-26. “Z” Definitions**

- A. **Zone:** A "district", as defined in this section.
- B. **Zoning Administrator:** The designated City of Yorkville staff person(s) in the Community Development Department designated to undertake the administration and interpretation of this UDO, including but not limited to the Community Development Director.
- C. **Zoning Officer:** The Building Code Official shall be the Zoning Officer and be responsible for enforcing this Title, including the responsibilities defined in Section 10-8-1(B).

# Chapter 3. District Standards

10-3-1. Establishment of District ..... 1

10-3-2. District Map and Boundaries ..... 2

10-3-3. Zoning of Streets, Alleys, Public Ways, Waterways, and Railroad Rights-of-Way ..... 2

10-3-4. Zoning of Annexed Land ..... 2

10-3-5. Purpose of Residential Districts ..... 3

10-3-6. Purpose of Business and Manufacturing Districts ..... 4

10-3-7. Purpose of Open Space and Institutional Districts ..... 5

10-3-8. Overlay Districts ..... 5

10-3-9. Bulk and Dimensional Standards ..... 6

10-3-10. Calculating Bulk and Dimensional Standards ..... 7

10-3-11. Permitted Yard Setback Obstructions ..... 10

10-3-12. Permitted and Special Uses ..... 11

## 10-3-1. Establishment of District

A. For the purpose and provisions of this title, Yorkville is organized into thirteen (13) base districts and one (1) overlay district.

**B. Residential Districts.**

1. R-1 Single-Unit Suburban Residence District
2. R-2 Single-Unit Traditional Residence District
3. R-2D Duplex, Two-Unit Attached Residence District
4. R-3 Multi-Unit Attached Residence District
5. R-4 General Multi-Unit Residence District

**C. Business and Manufacturing Districts.**

1. B-1 Local Business District
2. B-2 Mixed Use District
3. B-3 General Business District
4. M-1 Limited Manufacturing District
5. M-2 General Manufacturing District

**D. Institutional and Open Space Districts.**

1. PI Public Institutional District
2. A-1 Agricultural District
3. OS Open Space District

**E. Overlay Districts.**

1. D-O Downtown Overlay District

**10-3-2. District Map and Boundaries**

- A. **Zoning Map.** The boundaries of the zoning districts designated in Section 10-3-1 of this chapter are hereby established as shown on the latest edition of the map entitled "Zoning Map: The United City Of Yorkville", which said map shall have the same force and effect as if the zoning map, together with all notations, references and other information shown on the zoning map, were fully set forth and described in this title.
- B. **District Boundaries.** When uncertainty exists with respect to the boundaries of the various districts shown on the zoning map, the following rules shall apply:
1. District boundary lines are either the centerlines of railroads, highways, streets, alleys or easements or the boundary lines of sections, quarter sections, divisions of sections, tracts or lots, or such lines extended or otherwise indicated.
  2. In areas not subdivided into lots and blocks, wherever a district is indicated as a strip adjacent to and paralleling a street or highway, the depth of such strips shall be in accordance with the dimensions shown on the map measured at right angles from the centerline of the street or highway, and the length of frontage shall be in accordance with dimensions shown on the map from section, quarter sections or division lines, or centerlines of streets, highways or railroad rights of way unless otherwise indicated.
  3. Where a lot held under single ownership and of record on the effective date hereof is divided by a district boundary line, the entire lot shall be construed to be within the less restricted district; provided, that this construction shall not apply if it increases the lot width of the lot by more than twenty-five (25) feet.

**10-3-3. Zoning of Streets, Alleys, Public Ways, Waterways, and Railroad Rights-of-Way**

All streets, alleys, public ways, waterways, and railroad rights-of-way, if not otherwise specifically designated, shall be deemed to be in the same zone as the property immediately abutting upon such alleys, streets, public ways, or waterways and railroad rights-of-way. Where the centerline of a street, alley, public way, waterway, or railroad right-of-way serves as a district boundary, the zoning of such areas, unless otherwise specifically designated, shall be deemed to be the same as that of the abutting property up to such centerline.

**10-3-4. Zoning of Annexed Land**

Any territory or land annexed to the city after the adoption of this title shall automatically, upon such annexation, be classified within the R-1 Single-Unit Suburban Residential District and be subject to all conditions and regulations applicable to land in such district until such land is subsequently rezoned.

### 10-3-5. Purpose of Residential Districts

- A. **General Purpose of Residential Districts.** Residential zoning districts are established, designed, and intended to provide a comfortable, healthy, safe, and pleasant environment in which to live and shall:
1. Provide appropriately located areas for residential development that are consistent with the Comprehensive Plan, as amended; and
  2. Ensure adequate light, air, privacy, and open space for residents; and
  3. Provide for a variety of neighborhoods with a range of housing types with varying characters and patterns of development; and
  4. Protect neighborhoods from the harmful effects of excessive noise, traffic congestion, and other potential adverse impacts; and
  5. Provide amenities while protecting residents from incompatible uses and activities.
- B. **R-1 Single-Unit Suburban Residence District.** The R-1, single-unit suburban residence zoning designation is intended to create a spacious suburban residential neighborhood. To protect the character of the district, permitted uses are limited to single-unit detached housing yet accommodate other compatible and complementary cultural, religious, educational, and public uses.
- C. **R-2 Single-Unit Traditional Residence District.** The R-2, single-unit traditional residence zoning designation is intended to accommodate smaller, more conventional suburban residential neighborhoods. The primary permitted uses are single-unit detached housing in addition to compatible and complementary cultural, religious, educational, and public uses.
- D. **R-2D Duplex, Two-Unit Attached Residence District.** The R-2D, duplex, two-unit attached residence zoning designation is intended for moderate density duplex dwelling structures. This district is primarily located off of a major thoroughfare or as a transitional land use adjacent to single-unit residences. Therefore, the R-2D, duplex district is intended to accommodate single-unit attached dwelling structures of a size and character that are compatible with the surrounding single-unit detached residential districts and adjacent to commercial, office and retail space.
- E. **R-3 Multi-Unit Attached Residence District.** The R-3, multi-unit attached residence zoning designation is intended for moderate density residential developments near commercial areas and transportation corridors, and to promote economically mixed housing developments and the provision of a range housing types including multi-unit buildings such as duplexes or townhomes.
- F. **R-4 General Multi-Unit Residence District.** The R-4, general multi-unit residence zoning designation is intended for moderate to high density multi-unit buildings and complexes. This district may accommodate other compatible and complementary cultural, religious, educational, and public uses.

### 10-3-6. Purpose of Business and Manufacturing Districts

- A. **General Purpose of Business and Manufacturing Districts.** Business and Manufacturing Districts are established, designed, and intended to provide a comfortable, healthy, safe, and pleasant environment in which to work, shop, dine, recreate, and shall:
1. Accommodate retail, commercial, service, and mixed uses needed by Yorkville residents, businesses, visitors, and workers; and
  2. Maintain and enhance the City's economic base and provide employment opportunities, shopping, entertainment, restaurant, service and other nonresidential uses close to where people live and work; and
  3. Create suitable environments for various types of business and manufacturing uses and protect them from the adverse effects of incompatible uses; and
  4. Allow flexibility to encourage redevelopment and positive improvements to existing uses; and
  5. Help ensure that the appearance and operational impacts of business and manufacturing developments do not adversely affect the character of the areas in which they are located.
- B. **B-1 Local Business District.** The B-1, local business district zoning designation is intended for the location of commercial and professional facilities that are especially useful in proximity to residential areas. The district is designed to provide convenient shopping and services that meet the needs and enhance the quality of life for surrounding residential neighborhoods. This district also encourages dwelling units located above the first floor of a permitted use to create mixed use buildings.
- C. **B-2 Mixed-Use Business District.** The B-2, mixed-use business zoning designation is intended to accommodate pedestrian oriented mixed-use corridors and districts with a range of business, service, office, and residential uses including the Downtown.
- D. **B-3 General Business District.** The B-3, general business district zoning designation is intended for the location of a broad range of commercial uses, including small-scale and large-scale businesses. These uses are usually oriented toward automobile access and visibility; therefore, they are typically set along major arterial roads. The businesses in this district are meant to serve regional as well as local customers. This district also encourages dwelling units located above the first floor of a permitted use to create mixed use buildings.
- E. **M-1 Limited Manufacturing District.** The M-1 limited manufacturing district zoning designation is intended to provide for the location of a broad range of warehousing, manufacturing, and industrial uses of minimal environmental impact. The intensity and impact of uses shall be controlled through the special use permitting process to ensure compatibility with adjacent land uses through the minimization of off-site impacts. Related uses such as indoor event or recreation conversions or employee supporting educational, service or limited commercial uses may also be appropriate.
- F. **M-2 General Manufacturing District.** The M-2 general manufacturing district zoning designation is intended to provide for the location of manufacturing, industrial, and related uses that have greater off-site impacts than those in the M-1 limited manufacturing district. The district is intended to ensure the compatibility of the manufacturing and industrial uses with surrounding residential and commercial uses and to minimize off-site impacts such as noise, traffic, and visual qualities.

### 10-3-7. Purpose of Open Space and Institutional Districts

- A. **A-1 Agricultural District.** The A-1, Agricultural district zoning designation is intended to accommodate areas where the conditions are best suited for agricultural pursuits or where essential community facilities or utilities do not yet or are not reasonably expected to serve the property.
- B. **OS Open Space District.** The OS, open space district designation is intended to govern the use of city owned green space and park land in the city of Yorkville. This zoning district shall apply to all existing and newly annexed land currently used or intended for use as open space, recreational areas, and parks identified in Yorkville's park and recreation master plan. These regulations are also intended to provide for the protection, conservation and utilization of high quality natural resources; preservation of wildlife habitats; creation of scenic vistas; provision of public gathering areas or facilities for safe and accessible outdoor space; connectivity between other green infrastructure via bike and hiking trails and paths; and to maintain or establish appropriate buffers between differing land use types or intensities.
- C. **PI Public Institutional District.** The PI, Public Institutional district zoning designation is intended to provide for the location of properties used or operated by a public entity or private institution. The purpose of the PI District is to recognize that public and institutional facilities provide necessary services to the community.

### 10-3-8. Overlay Districts

- A. All provisions of this title, to the extent that they do not conflict with the standards delineated in this section, shall remain in full force and effect for all properties subject to the provisions of this section.
- B. The standards found in this section shall be used by property owners, developers, City staff members, the Planning and Zoning Commission and the City Council during the design and review of development and redevelopment proposals within the overlay districts. These standards and criteria complement and add to those contained within the City's Comprehensive Plan, as amended, Yorkville Downtown Overlay District Form-Based Code, this title and other land use regulations.
- C. **D-O Downtown Overlay District.** The D-O, Downtown Overlay district designation is intended to guide the development of a mix of uses and a pedestrian oriented environment, to provide for a mix of housing types for people of all ages and lifestyles, and to achieve development that is appropriate in scale and intensity for the overlay district and adjacent neighborhoods.

### 10-3-9. Bulk and Dimensional Standards

A. Table 10-3-9(A) Bulk and Dimensional Standards establishes the requirements applicable to the development or use of a lot in a given district.

Zone	Min. Lot Size	Min. Lot Size per DU (For Single-Unit Attached Uses)	Maximum Density (For Multi-Unit Uses)	Min. Lot Width	Max. Lot Coverage	Setbacks			Max. Building Height	Dwelling Unit Max. Height
						Min. Front	Min. Side* <sup>5</sup>	Min. Rear <sup>5</sup>		
A-1	-	-	-	-	-	100' <sup>1</sup>	50'	-	80' <sup>3</sup>	30'
R-1	18,000 sq. ft.	-	-	100'	50%	40'	15' (40')	50'	30'	30'
R-2	12,000 sq. ft.	-	-	80'	45%	30'	10' (30')	40'	30'	30'
R-2D	15,000 sq. ft.	9,000 sq.ft.	-	100'	50%	30'	10' (30')	30'	30'	30'
R-3	9,000 sq. ft. <sup>2</sup>	7,000 sq.ft.	5 dwelling units/acre <sup>2</sup>	70' (90' for attached units)	70%	30'	10' (20')	30'	80'	30'
R-4	15,000 sq. ft. <sup>2</sup>	5,000 sq.ft.	8 dwelling units/acre	70' (90' for attached units)	70%	30'	12' or 60% of building height (20')	40'	80'	40'
B-1	8,000 sq. ft.	-	-	-	80%	30'	20'	20'	80'	-
B-2	-	-	-	-	85%	0'	-	20'	80'	-
B-3	10,000 sq. ft.	-	-	-	80%	50'	20' (30') <sup>4</sup>	20'	80'	-
M-1	-	-	-	-	85%	25'	Min. 10% of lot and max. 20'	-	-	-
M-2	-	-	-	-	85%	25'	Min. 10% of lot and max. 20'	-	-	-
PI	-	-	-	-	85%	25'	20' (25')	20'	80'	-
OS	-	-	-	-	-	30'	10'	20'	80'	-

**Notes:**

\* Dimensions within ( ) = requirement for side yards adjoining a street.

1. 200 feet along Illinois Routes 34, 47, 71 and 126.

2. Nonresidential principal uses shall have a minimum lot size of 15,000 square feet and 100 foot width. A one-story structure shall have a minimum of 1,200 square feet and a two-story structure shall have a minimum of 1,400 square feet of livable space.

3. 100 foot structure height shall be allowed for silos on sites with agricultural uses.

4. Parking lots in the B-3 district located adjacent to an arterial roadway, as defined in the city's comprehensive plan, must maintain a minimum setback of 20 feet from the property line and 10 feet from nonarterial roadways.

5. The minimum setback required may be less than the width of the transition yard required by use as specified in Section 10-5-3(F)(3), in which instance, the more stringent width required by the transition yard shall apply.

B. Minimum building separations in the R-3 District shall be as detailed in Table 10-3-9(B) below.

Table 10-3-9(B) Building Separation Requirements in R-3	
Separation Type	Requirement
Side to side	20 feet
Side to rear	40 feet
Rear to rear	60 feet
Front to side	50 feet
Front to front	50 feet
Rear to front	100 feet

### 10-3-10. Calculating Bulk and Dimensional Standards

A. **Lot Width.** Minimum lot width shall be measured at the required front yard setback line.

Figure 3.1. Lot Width

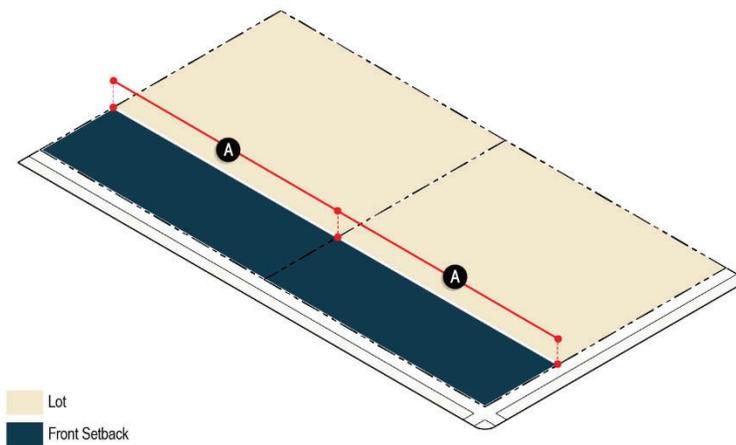
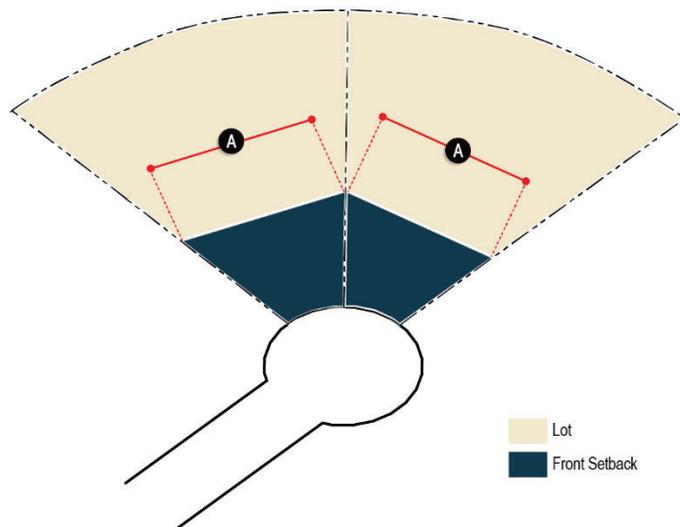
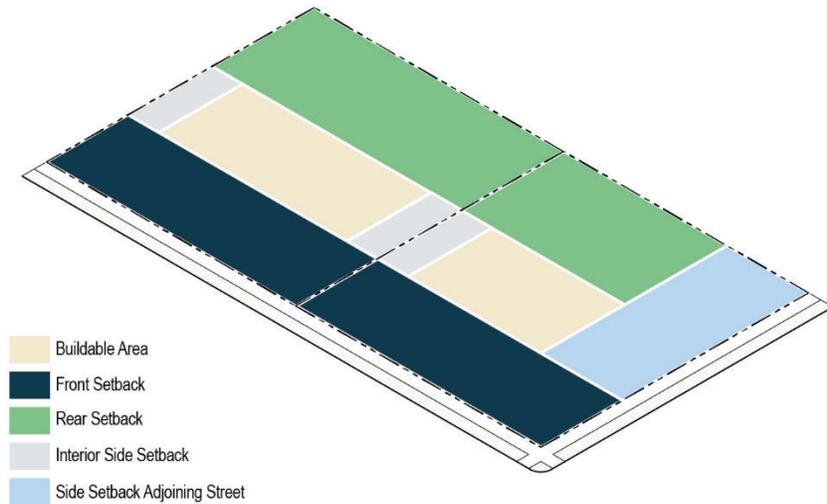


Figure 3.2. Lot Width For Lots Abutting a Cul-De-Sac



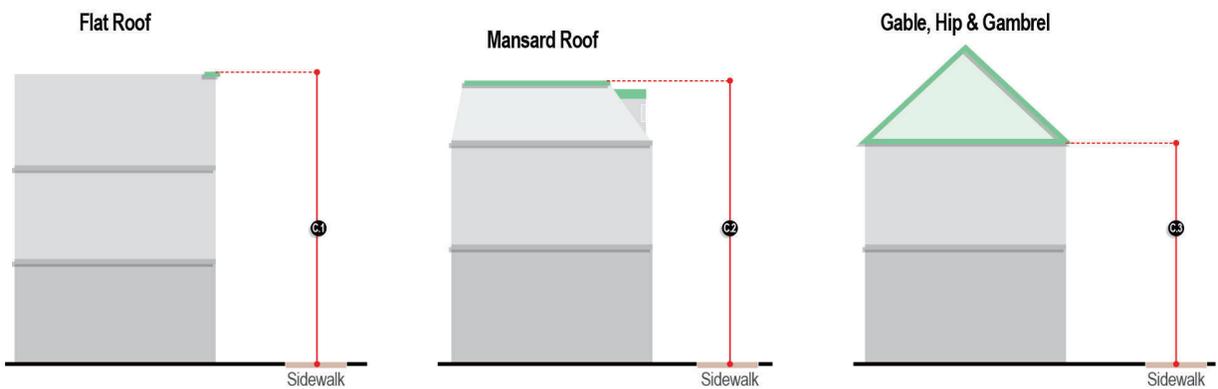
- B. **Setbacks.** A required setback shall be measured by the shortest distance between the applicable lot line and nearest point of the principal use or building or any required yards or fences, except any building features specified in section 10-3-11, which shall not be subject to required setbacks.

Figure 3.3. Setbacks



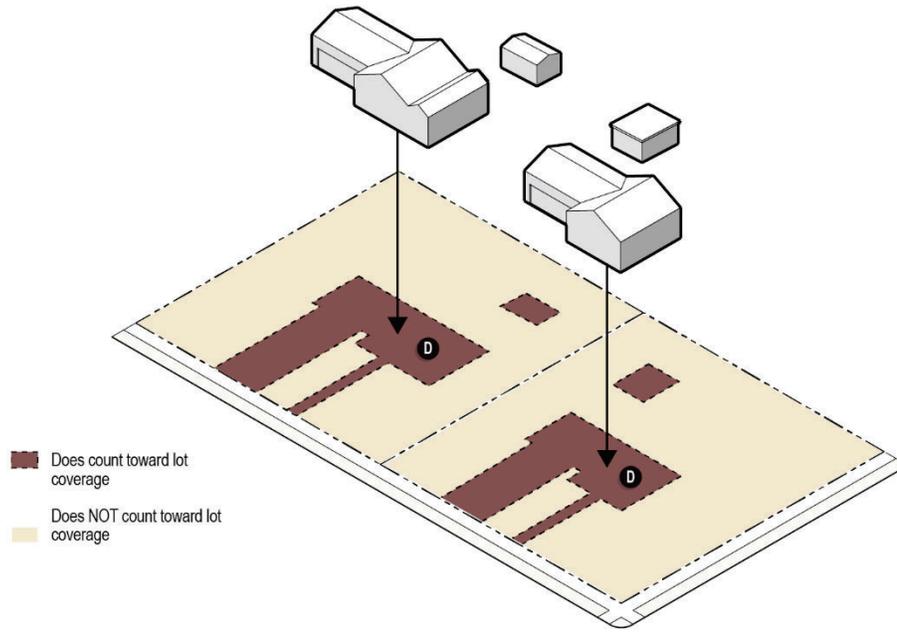
- C. **Height.** Building and dwelling unit height shall be the vertical distance measured from the sidewalk level or its equivalent established grade opposite the middle of the front of the building to the:
1. *Flat Roof:* highest point of the roof,
  2. *Mansard Roof:* deck line of roof, or
  3. *Gable, Hip, or Gambrel Roof:* lowest point at which the rafters meet the top of the exterior wall.

Figure 3.4. Height



- D. **Lot Coverage.** Lot coverage shall be that portion of the lot occupied by the principal building or buildings, accessory buildings, and all other impervious areas such as driveways, roads, sidewalks, parking lots and structures, and any area of concrete asphalt.

**Figure 3.5. Lot Coverage**



### 10-3-11. Permitted Yard Setback Obstructions

Every part of a required yard setback shall be open and unobstructed from finished grade upward, except as specified in Table 10-3-11 below or as allowed for accessory buildings and structures as detailed in Section 10-4-15(A).

Table 10-3-11 Permitted Yard Setback Obstructions					
Permitted Obstruction	Required Yards				Regulation
	All	Front	Side	Rear	
<i>Permanent Structures</i>					
Accessory Structures	P	P	P	P	Shall maintain a minimum distance of 5 feet from
Arbors and trellises	P	P	P	P	-
Awnings and canopies	P	P	P	P	Must adjoin a principal structure and may project 3 feet into required yard.
Balconies and breezeways	-	-	-	P	May project 3 feet into the required yard.
Chimneys	P	P	P	P	May project 18 inches into the required yard.
Enclosed, attached or detached off-street parking	-	-	-	P	-
Flagpoles	P	P	P	P	-
Landscaping	P	P	P	P	Landscaping obstructions within dedicated stormwater overflow routes may be limited or restricted, per the approval of the City Engineer.
One-story bay windows	P	P	P	P	May project 3 feet or less into the required yard.
Open porches	P	-	-	-	May project 5 feet into the yard.
Open terraces and decks	P	P	P	P	Shall not project over 4 feet above the average level of the adjoining ground but not including a permanently roofed over terrace or porch.
Ornamental light standards	-	P	P	-	-
Overhanging eaves and gutters	-	P	P	P	May project 3 feet or less into the yard. May project into a required side yard for a distance not exceeding 40 percent of the required yard width.
Steps	P	P	P	P	Steps 4 feet or less above grade which are necessary for access to zoning lot from a street or alley.
<i>Temporary Structures</i>					
Air conditioning units	-	-	P	P	May project for a distance not exceeding 10 percent of the required yard width, but in no case exceeding 12 inches.
Recreational equipment	-	-	-	P	-
Temporary accessory structures	P	P	P	P	-

### 10-3-12. Permitted and Special Uses

- A. The following key shall be used in the interpretation of Table 10-3-12(B) Permitted and Special Uses below.
1. **Permitted Uses.** Uses which are marked as “P” in the tables shall be allowed subject to all applicable regulations of this title.
  2. **Special Uses.** Uses which are marked as “S” in the tables shall be allowed upon the approval of a special use permit, as detailed in Section 10-8-5 of this title.
  3. **Temporary Uses.** Uses which are marked as “T” in the tables shall be allowed upon the approval of a temporary use permit, as detailed in Section 10-8-3(F) of this title.
  4. **Prohibited Uses.** Uses which are marked as “-” shall be prohibited in the respective district unless it is otherwise expressly allowed by other regulations of this title.
  5. **Uses Not Listed.** If a proposed use is not listed in the tables, the Zoning Administrator shall determine if the use is substantially similar to a use listed in the tables. If it is, the use shall be treated in the same manner as the substantially similar use. If not, the use shall be regarded as prohibited.
  6. **Additional Regulation.** If a use has use specific standards, they are referenced in this column. Use specific standards shall apply to permitted and special uses.
- B. Table 10-3-12(B) Permitted and Special Uses establishes the allowed uses in the City’s zoning districts.

Table 10-3-12(B) Permitted and Special Uses														
Use Category	Additional Regulation	Zoning Districts												
		Ag	Open Space	Residential					Business			Mfg.		Inst.
		A-1	OS	R-1	R-2	R-2D	R-3	R-4	B-1	B-2	B-3	M-1	M-2	PI
<i>Agricultural Uses</i>		A-1	OS	R-1	R-2	R-2D	R-3	R-4	B-1	B-2	B-3	M-1	M-2	PI
Agricultural uses		P	S	-	-	-	-	-	-	-	-	-	-	P
Apiaries	10-4-1(A)	P	P	-	-	-	-	-	-	-	-	-	-	P
Commercial feeding of fish, poultry, livestock		S	-	-	-	-	-	-	-	-	-	-	-	-
Cultivation of nonfood crops and seeds used of cellulosic biofuels production		P	-	-	-	-	-	-	-	-	-	-	-	-
Farming /Cultivation		P	T	-	-	-	-	-	-	-	-	-	-	-
Forestation		P	-	-	-	-	-	-	-	-	-	-	-	-
Grain elevators and storage		P	-	-	-	-	-	-	-	-	-	-	-	-
Nursery/greenhouses		S	-	-	-	-	-	-	-	-	P	P	P	P
Recreational camp - private		S	S	-	-	-	-	-	-	-	-	-	-	-
Riding academies with stables		S	-	-	-	-	-	-	-	-	-	-	-	-
Roadside stand		P	-	-	-	-	-	-	-	-	-	-	-	-
Stables or paddocks		P	-	-	-	-	-	-	-	-	-	-	-	-
<i>Residential Uses</i>		A-1	OS	R-1	R-2	R-2D	R-3	R-4	B-1	B-2	B-3	M-1	M-2	PI
Dwelling, duplex	10-4-2(A)	-	-	-	-	P	P	P	-	-	-	-	-	-
Dwelling, multi-unit	10-4-2(B)	-	-	-	-	-	P	P	P	S	S	-	-	-
Dwelling, single-unit		P	-	P	P	P	P	P	-	-	-	-	-	-

DRAFT FOR REVIEW

Table 10-3-12(B) Permitted and Special Uses														
Use Category	Additional Regulation	Zoning Districts												
		Ag	Open Space	Residential					Business			Mfg.		Inst.
		A-1	OS	R-1	R-2	R-2D	R-3	R-4	B-1	B-2	B-3	M-1	M-2	PI
Dwelling, townhouse	10-4-2(C)	-	-	-	-	-	P	P	-	-	-	-	-	-
Mobile home park	10-4-2(D)	-	-	-	-	-	S	S	-	-	-	-	-	-
Senior housing, dependent		S	-	S	S	S	S	S	P	P	-	-	-	P
Senior housing, independent		S	-	P	P	P	P	P	P	P	-	-	-	P
<b>Lodging Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Bed and breakfast inn		S	-	S	-	-	-	-	S	P	P	-	-	-
Hotel/Motel		-	-	-	-	-	-	-	-	P	P	-	-	-
Short-term rental	10-4-3(A)	-	-	P	P	P	P	P	-	-	-	-	-	-
<b>Commercial Retail Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Adult uses	10-4-4(A)	-	-	-	-	-	-	-	-	-	-	S	S	S
Building material sales		-	-	-	-	-	-	-	-	P	P	P	P	-
Liquor store		-	-	-	-	-	-	-	P	P	P	-	-	-
Pawnbrokers/pawnshops		-	-	-	-	-	-	-	P	P	P	S	-	-
Retail store, general - less than one (1) acre		-	-	-	-	-	-	-	P	P	P	S	-	-
Retail store, general greater than one (1) acre		-	-	-	-	-	-	-	-	-	P	-	-	-
<b>Commercial Service Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Adult daycare facility		-	-	S	S	S	S	-	P	P	P	S	S	S
Animal hospital		S	-	-	-	-	-	-	-	-	P	S	-	-
Art galleries/art studio		-	-	-	-	-	-	-	-	P	P	P	-	P
Auction house		P	-	-	-	-	-	-	-	-	-	-	-	-
Bank		-	-	-	-	-	-	-	P	P	P	-	-	S
Campground		S	S	-	-	-	-	-	-	S	S	-	-	-
Commercial laboratory		-	-	-	-	-	-	-	P	P	P	P	-	-
Commercial/trade school		-	-	-	-	-	-	-	P	P	P	S	-	-
Daycare facility		-	-	S	S	S	S	-	P	P	P	S	S	S
Dry Cleaning Establishment		-	-	-	-	-	-	-	P	P	P	-	-	-
Entertainment production studios		-	-	-	-	-	-	-	P	P	P	P	-	-
Financial institutions and services		-	-	-	-	-	-	-	P	P	P	-	-	-
Funeral home/mortuary/crematorium		-	-	-	-	-	-	-	P	P	P	-	-	-
Health and fitness club/center		-	-	-	-	-	-	-	-	P	P	P	-	-
Indoor shooting gallery/range	10-4-5(A)	-	-	-	-	-	-	-	S	S	S	S	S	-
Kennel, commercial or private dog kennels		S	-	-	-	-	-	-	-	-	P	S	-	-
Massage establishment	3-9	-	-	-	-	-	-	-	S	S	S	-	-	-

DRAFT FOR REVIEW

Table 10-3-12(B) Permitted and Special Uses														
Use Category	Additional Regulation	Zoning Districts												
		Ag	Open Space	Residential					Business			Mfg.		Inst.
		A-1	OS	R-1	R-2	R-2D	R-3	R-4	B-1	B-2	B-3	M-1	M-2	PI
Casino and Off track betting (OTB) establishments		-	-	-	-	-	-	-	-	S	S	-	-	-
Professional care services		-	-	-	-	-	-	-	P	P	P	-	-	-
Professional services/offices		-	-	-	-	-	-	-	P	P	P	-	-	-
Storage, single-building climate controlled		-	-	-	-	-	-	-	-	-	P	P	P	-
Storage, outdoor self-storage	10-4-5(B)	-	-	-	-	-	-	-	-	-	-	S	S	-
Tattoo and body piercing establishment	3-10	-	-	-	-	-	-	-	P	P	P	P	P	-
Veterinary clinic		-	-	-	-	-	-	-	-	P	P	S	S	-
<b>Commercial Entertainment Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Amusement park		S	S	-	-	-	-	-	-	-	S	S	S	S
Commercial entertainment, indoor		-	-	-	-	-	-	-	T	P	P	S	S	P
Commercial entertainment, outdoor	10-4-6(A)	-	-	-	-	-	-	-	S	S	S	S	S	P
Community / Recreation center		-	-	-	S	S	S	S	P	P	P	S	S	P
Golf course, miniature		S	-	-	-	-	-	-	-	-	P	-	-	-
Golf course	10-4-6(B)	S	-	P	P	P	P	P	-	-	-	-	-	-
Golf driving range		S	-	-	-	-	-	-	-	P	P	S	-	-
Indoor Event/Recreation Conversion		-	-	-	-	-	-	-	-	-	P	P	P	P
Outdoor music venues		-	-	-	-	-	-	-	S	S	S	S	-	-
Skating rink		-	-	-	-	-	-	-	-	P	P	S	S	-
Stadium		-	-	-	-	-	-	-	-	-	S	S	-	P
Swimming pool - indoor		-	P	-	-	-	-	-	P	P	P	S	-	P
Theater, live performance		-	-	-	-	-	-	-	P	P	P	-	-	-
Theater, motion picture		-	-	-	-	-	-	-	P	P	P	-	-	-
<b>Eating and Drinking Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Brewery/Winery/Distillery tasting room		-	-	-	-	-	-	-	P	P	P	P	P	-
Brewpub	10-4-7(A)	-	-	-	-	-	-	-	P	P	P	P	P	-
Microbrewery	10-4-7(B)(1)	-	-	-	-	-	-	-	P	P	P	P	P	-
Microdistillery/Microwinery	10-4-7(B)(2)	-	-	-	-	-	-	-	P	P	P	P	P	-
Prepared Food Service Establishment		-	-	-	-	-	-	-	P	P	P	-	-	-
Restaurant		-	-	-	-	-	-	-	P	P	P	-	-	-
Tavern - nightclub or lounge		-	-	-	-	-	-	-	P	P	P	-	-	-
<b>Medical Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Hospital		S	-	S	S	S	S	S	P	P	P	-	-	P
Medical clinic / office		-	-	-	-	-	-	-	P	P	P	-	-	-

DRAFT FOR REVIEW

Table 10-3-12(B) Permitted and Special Uses														
Use Category	Additional Regulation	Zoning Districts												
		Ag	Open Space	Residential					Business			Mfg.		Inst.
		A-1	OS	R-1	R-2	R-2D	R-3	R-4	B-1	B-2	B-3	M-1	M-2	PI
Treatment center		-	-	-	-	-	-	-	P	P	P	-	-	-
<i>Vehicle Related Uses</i>		<i>A-1</i>	<i>OS</i>	<i>R-1</i>	<i>R-2</i>	<i>R-2D</i>	<i>R-3</i>	<i>R-4</i>	<i>B-1</i>	<i>B-2</i>	<i>B-3</i>	<i>M-1</i>	<i>M-2</i>	<i>PI</i>
Automobile parts/accessories sales		-	-	-	-	-	-	-	-	P	P	-	-	-
Automobile rental	10-4-9(A)	-	-	-	-	-	-	-	-	P	P	-	-	-
Automobile repair		-	-	-	-	-	-	-	-	-	P	P	P	-
Automobile sales and service, enclosed	10-4-9(A)	-	-	-	-	-	-	-	-	-	P	P	P	-
Automobile sales and service, open sales lot	10-4-9(A)	-	-	-	-	-	-	-	-	-	S	S	S	-
Boat sales and rental	10-4-9(A)	-	S	-	-	-	-	-	P	P	P	P	-	P
Boat storage	10-4-9(B)	-	S	-	-	-	-	-	S	S	S	P	P	P
Car wash		-	-	-	-	-	-	-	-	-	P	P	P	-
Gasoline service station		-	-	-	-	-	-	-	-	S	S	S	S	-
Heavy machinery and equipment rental		-	-	-	-	-	-	-	-	S	P	P	P	-
Recreational vehicle sales and service	10-4-9(A)	-	-	-	-	-	-	-	-	-	P	P	P	-
Semi-truck repair		-	-	-	-	-	-	-	-	-	S	P	P	-
Truck and trailer sales/rental	10-4-9(A)	-	-	-	-	-	-	-	-	-	S	P	P	-
Truck, truck-tractor, truck trailer, car trailer or bus storage yard - not include motor freight terminal		-	-	-	-	-	-	-	-	-	S	P	P	-
<i>Energy Industrial Uses</i>		<i>A-1</i>	<i>OS</i>	<i>R-1</i>	<i>R-2</i>	<i>R-2D</i>	<i>R-3</i>	<i>R-4</i>	<i>B-1</i>	<i>B-2</i>	<i>B-3</i>	<i>M-1</i>	<i>M-2</i>	<i>PI</i>
Battery Uses		-	-	-	-	-	-	-	-	-	-	P	P	-
Data Center		-	-	-	-	-	-	-	-	-	-	P	P	-
Refrigerated Warehouse (Cold Storage)		-	-	-	-	-	-	-	-	-	-	P	P	-
<i>Industrial Uses</i>		<i>A-1</i>	<i>OS</i>	<i>R-1</i>	<i>R-2</i>	<i>R-2D</i>	<i>R-3</i>	<i>R-4</i>	<i>B-1</i>	<i>B-2</i>	<i>B-3</i>	<i>M-1</i>	<i>M-2</i>	<i>PI</i>
Aggregate materials extraction, processing and site reclamation (stone and gravel quarries)		-	-	-	-	-	-	-	-	-	-	-	S	-
Artisan manufacturing	10-4-11(A)	-	-	-	-	-	-	-	P	P	P	S	-	-
Assembly, production, manufacturing, testing, repairing, or processing, light	10-4-11(B)	-	-	-	-	-	-	-	-	-	S	P	-	-
Assembly, production, manufacturing, testing, repairing, or processing, heavy	10-4-11(B)	-	-	-	-	-	-	-	-	-	-	P	P	-
Bakery (wholesale)		-	-	-	-	-	-	-	S	S	S	P	P	-
Blacksmith or welding shop		S	-	-	-	-	-	-	-	-	P	P	P	-
Brewery/winery/distillery		-	-	-	-	-	-	-	S	S	P	P	P	-
Contractor facilities with outdoor storage		-	-	-	-	-	-	-	-	-	S	P	P	-

DRAFT FOR REVIEW

Table 10-3-12(B) Permitted and Special Uses														
Use Category	Additional Regulation	Zoning Districts												
		Ag	Open Space	Residential					Business			Mfg.		Inst.
		A-1	OS	R-1	R-2	R-2D	R-3	R-4	B-1	B-2	B-3	M-1	M-2	PI
Dry cleaning plant		-	-	-	-	-	-	-	-	-	-	S	S	-
Manufacturer / sales of firearms and ammunition		-	-	-	-	-	-	-	-	-	-	P	P	-
Newspaper publishing		-	-	-	-	-	-	-	-	P	P	P	P	P
Research laboratories		-	-	-	-	-	-	-	-	-	-	P	P	-
Salvage Yards		-	-	-	-	-	-	-	-	-	-	-	S	-
Wholesaling and warehousing - local cartage express facilities - including motor freight terminal		-	-	-	-	-	-	-	-	-	-	P	P	-
<b>Transportation Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Airport		S	-	-	-	-	-	-	-	-	-	S	S	S
Bus or truck garage		-	-	-	-	-	-	-	-	-	-	P	P	-
Bus or truck storage yard		-	-	-	-	-	-	-	-	-	-	P	P	-
Motor freight terminals		-	-	-	-	-	-	-	-	-	-	S	S	S
Railroad passenger station		S	-	S	S	S	S	S	S	S	S	S	S	S
Railroad repair shops, maintenance buildings and switching yards		S	-	S	S	S	S	S	S	S	S	S	S	S
<b>Alternative Energy Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Solar farm	10-4-13(B)	S	S	-	-	-	-	-	-	-	-	S	S	S
Building mounted solar energy systems	10-4-13(C)	P	-	P	P	P	P	P	P	P	P	P	P	P
Freestanding solar energy systems - accessory use	10-4-13(D)	P	P	P	P	P	P	P	P	P	P	P	P	P
Freestanding solar energy systems - principal use	10-4-13(E)	S	S	S	S	S	S	S	S	S	S	S	S	S
Wind farm	10-4-13(F)	S	-	-	-	-	-	-	-	-	-	S	S	S
Building mounted wind energy system	10-4-13(G)	P	P	P	P	P	P	P	P	P	P	P	P	P
Freestanding wind energy system - accessory use	10-4-13(H)	P	P	P	P	P	P	P	P	P	P	P	P	P
Freestanding wind energy system - principal use	10-4-13(I)	S	S	S	S	-	-	-	-	-	-	S	S	S
<b>Medical and Adult Use Cannabis Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Cannabis Craft Grower	10-4-14(B)	S	-	-	-	-	-	-	-	-	-	S	S	-
Cannabis Cultivation Center	10-4-14(C)	S	-	-	-	-	-	-	-	-	-	S	S	-
Cannabis Dispensing Organization	10-4-14(D)	-	-	-	-	-	-	-	-	-	S	S	S	-
Cannabis Infuser Organization	10-4-14(E)	-	-	-	-	-	-	-	-	-	S	S	S	-
Cannabis Processing Organization	10-4-14(F)	-	-	-	-	-	-	-	-	-	-	S	S	-

DRAFT FOR REVIEW

Table 10-3-12(B) Permitted and Special Uses														
Use Category	Additional Regulation	Zoning Districts												
		Ag	Open Space	Residential					Business			Mfg.		Inst.
		A-1	OS	R-1	R-2	R-2D	R-3	R-4	B-1	B-2	B-3	M-1	M-2	PI
Cannabis Transporting Organization	10-4-14(G)	-	-	-	-	-	-	-	-	-	-	S	S	-
<i>Institutional, Public, and Utility Uses</i>		<i>A-1</i>	<i>OS</i>	<i>R-1</i>	<i>R-2</i>	<i>R-2D</i>	<i>R-3</i>	<i>R-4</i>	<i>B-1</i>	<i>B-2</i>	<i>B-3</i>	<i>M-1</i>	<i>M-2</i>	<i>PI</i>
Antennae and Antennae Structures (other)		P	P	P	P	P	P	P	P	P	P	P	P	P
Antennae and Antennae Structures (For Radio or Television Transmission)		S	S	S	S	S	S	S	S	S	S	S	S	S
Cemetery		S	S	S	S	S	S	S	-	-	-	-	-	P
College, university or junior college		S	-	S	S	S	S	S	P	P	P	-	-	P
Communications use		S	-	-	-	-	-	-	-	-	-	-	-	P
Electric substation		S	S	S	S	S	S	S	P	P	P	P	P	P
Filtration plant		S	-	S	S	S	S	S	-	-	-	P	P	P
Fire station		P	-	P	P	P	P	P	P	P	P	P	P	P
Library		-	-	P	P	P	P	P	P	P	P	-	-	P
Parks		P	P	P	P	P	P	P	P	P	P	P	P	P
Place of worship/assembly		S	-	S	S	S	S	S	P	P	P	S	S	P
Playground		-	P	P	P	P	P	P	P	P	P	-	-	P
Police station		P	-	P	P	P	P	P	P	P	P	P	P	P
Post office		-	-	-	-	-	-	-	P	P	P	-	-	P
Preschool		-	-	P	P	P	P	P	-	-	-	-	-	-
Public utility - electric substations and distribution centers, gas regulation centers and underground gas holder stations		S	S	-	-	-	-	-	-	-	-	P	P	P
Public utility facilities (other)		S	-	P	P	P	P	P	-	-	-	P	P	P
Radio and television towers - commercial	10-4-15(A)	P	-	-	-	-	-	-	P	P	P	P	P	S
Sanitary landfill		S	-	-	-	-	-	-	-	-	-	S	S	S
School, public or private		-	-	P	P	P	P	P	-	-	-	S	S	P
Sewage treatment plant		-	-	S	S	S	S	S	-	-	-	P	P	P
Solid waste disposal site		-	-	-	-	-	-	-	S	S	S	P	P	P
Towers		P	-	-	-	-	-	-	P	P	P	P	P	-
Utility company maintenance yard		-	-	-	-	-	-	-	-	-	-	P	P	P
Utility service yard or garage		-	-	-	-	-	-	-	-	-	-	P	P	P
<i>Accessory Uses</i>		<i>A-1</i>	<i>OS</i>	<i>R-1</i>	<i>R-2</i>	<i>R-2D</i>	<i>R-3</i>	<i>R-4</i>	<i>B-1</i>	<i>B-2</i>	<i>B-3</i>	<i>M-1</i>	<i>M-2</i>	<i>PI</i>
Accessory Building	10-4-16(A)	P	P	P	P	P	P	P	P	P	P	P	P	P
Accessory Commercial Unit	10-4-16(B)	S	-	S	S	S	S	-	-	-	-	-	-	-
Accessory Structures, Permanent	10-4-16(A)	P	P	P	P	P	P	P	P	P	P	P	P	P

DRAFT FOR REVIEW

Table 10-3-12(B) Permitted and Special Uses														
Use Category	Additional Regulation	Zoning Districts												
		Ag	Open Space	Residential					Business			Mfg.		Inst.
		A-1	OS	R-1	R-2	R-2D	R-3	R-4	B-1	B-2	B-3	M-1	M-2	PI
Antennae and Antennae Structures (other)	10-4-15(A)	P	P	P	P	P	P	P	P	P	P	P	P	P
Antennae and Antennae Structures (For Radio or Television Transmission)	10-4-15(A)	P	P	P	P	P	P	P	P	P	P	P	P	P
Community Garden		P	P	P	P	P	P	P	P	P	P	P	P	P
Daycare Facility, Part-Day		-	-	P	P	P	P	-	P	P	P	P	P	P
Domesticated Hens	8-19	-	-	P	P	-	-	-	-	-	-	-	-	-
Drive Throughs	10-4-16(D)	-	-	-	-	-	-	-	P	P	P	-	-	-
Dwelling, accessory	10-4-16(E)	P	-	P	P	P	P	-	-	-	-	-	-	-
Recreational vehicle, trailer, and boat parking	10-4-16(F)	P	P	P	P	P	P	-	-	-	-	-	-	-
Home occupations	10-4-16(G)	P	-	P	P	P	P	P	-	P	-	-	-	-
Outdoor displays	10-4-16(H)	P	P	-	-	-	-	-	P	P	P	P	P	-
Towers	10-4-15(A)	P	-	P	P	-	-	-	P	P	P	P	P	-
Vehicle Charging Stations		P	P	P	P	P	P	P	P	P	P	P	P	-
<i>Temporary Uses</i>		<i>A-1</i>	<i>OS</i>	<i>R-1</i>	<i>R-2</i>	<i>R-2D</i>	<i>R-3</i>	<i>R-4</i>	<i>B-1</i>	<i>B-2</i>	<i>B-3</i>	<i>M-1</i>	<i>M-2</i>	<i>PI</i>
Accessory Structures, Temporary	10-4-17(A)	T	T	T	T	T	T	T	T	T	T	T	T	T
Mobile food vendor vehicles and retail vendor vehicles	10-4-17(B)	T	T	T	T	T	T	T	T	T	T	T	T	T
Storage of roadway construction materials and equipment	10-4-17(C)	T	T	T	T	T	T	T	T	T	T	T	T	T
Portable Outdoor Storage Device	10-4-17(D)	T	T	T	T	T	T	T	T	T	T	T	T	T
Temporary and seasonal uses	10-4-17(E)	-	-	-	-	-	-	-	T	T	T	-	-	-
Tents		T	T	T	T	T	T	T	T	T	T	T	T	T

## Chapter 4. Use Standards

10-4-1. Agricultural Use Standards.....	1
10-4-2. Residential Use Standards.....	2
10-4-3. Lodging Use Standards.....	6
10-4-4. Commercial Retail Use Standards.....	6
10-4-5. Commercial Service Use Standards.....	7
10-4-6. Commercial Entertainment Use Standards.....	7
10-4-7. Eating and Drinking Use Standards.....	8
10-4-8. Medical Use Standards.....	8
10-4-9. Vehicle Related Use Standards.....	8
10-4-10. Energy Industrial Uses.....	9
10-4-11. Industrial Use Standards.....	9
10-4-12. Transportation Use Standards.....	9
10-4-13. Alternative Energy Use Standards.....	10
10-4-14. Medical and Adult Use Cannabis Use Standards.....	21
10-4-15. Institutional, Public, and Utility Use Standards.....	23
10-4-16. Accessory Use Standards.....	32
10-4-17. Temporary Use Standards.....	40

### 10-4-1. Agricultural Use Standards

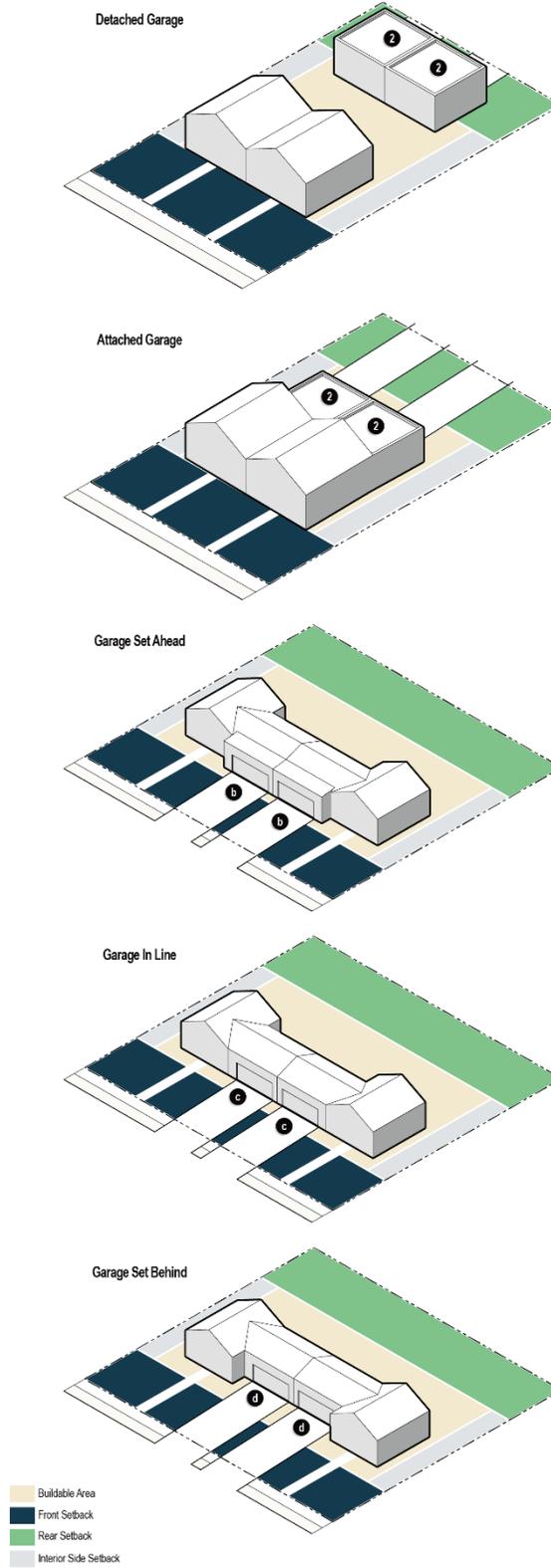
- A. **Apiary.** Apiaries shall be subject to the applicable provisions of Title 8, Chapter 18 of the City of Yorkville Code of Ordinances.

## 10-4-2. Residential Use Standards

### A. Dwelling, Duplex.

1. The main entrances to a duplex shall face the primary street.
2. A minimum of one (1) of the parking spaces, as required in Section 10-5-1(H) of this Title, shall be provided in an attached or detached garage. Attached garages are encouraged to be located on rear or side façades. If attached garages are located on the primary façade they shall comply with the following standards.
  - a. Setback a minimum of twenty-five (25) feet from the street right-of-way or the required front yard setback, whichever is greater.
  - b. **Garage Set Ahead.**
    - (1) The garage may be set ahead a maximum of five (5) feet from the front façade of the home, inclusive of porches, bay windows, or other minor projections.
    - (2) If the garage is set ahead from the front façade of the home, as detailed in (a) above, it shall not exceed forty-five (45) percent of the façade's total width.
  - c. **Garage In Line.** If the garage is in line with the front façade of the home, exclusive of porches, bay windows, or other minor projections, it shall not exceed fifty (50) percent of the façade's total width.
  - d. **Garage Set Behind.**
    - (1) The garage may be set behind the front façade of the home, exclusive of porches, bay windows, or other minor projections, a minimum of one (1) foot.
    - (2) If the garage is set behind the front façade of the home, as detailed in (a) above, it shall not exceed fifty-five (55) percent of the façade's total width.

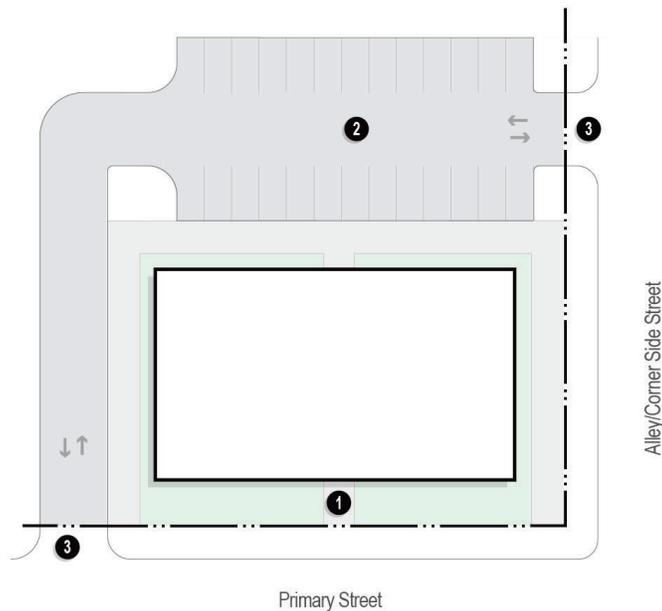
Figure 4.1. Duplex Dwelling Standards



**B. Dwelling, Multi-Unit.**

1. The main entrance to a multi-unit dwelling shall face the primary perimeter or internal street, unless otherwise allowed in subsection (5) below.
2. All off-street parking shall be located to the side or rear of the primary building. Off-street parking located to the side of the primary building shall be set back a minimum of one (1) foot from the front elevation of the primary building.
3. A maximum of one (1) curb cut shall be permitted per street frontage unless otherwise recommended by the Public Works Director and approved by the Planning and Zoning Commission.
4. Service areas, dumpsters, utilities and the required nonvegetative screening thereof shall not be visible from rights-of-way.
5. **Multi-Building Developments.** Developments with multiple multi-unit dwelling buildings shall meet the following additional standards.
  - a. The primary façade shall include a building entrance and be oriented towards the following (listed in priority order). Primary façades shall not be oriented towards off-street parking lots, garages, or carports.
    - (1) Perimeter Streets,
    - (2) Internal Streets,
    - (3) Parks or other common open space, or
    - (4) Secondary internal streets.

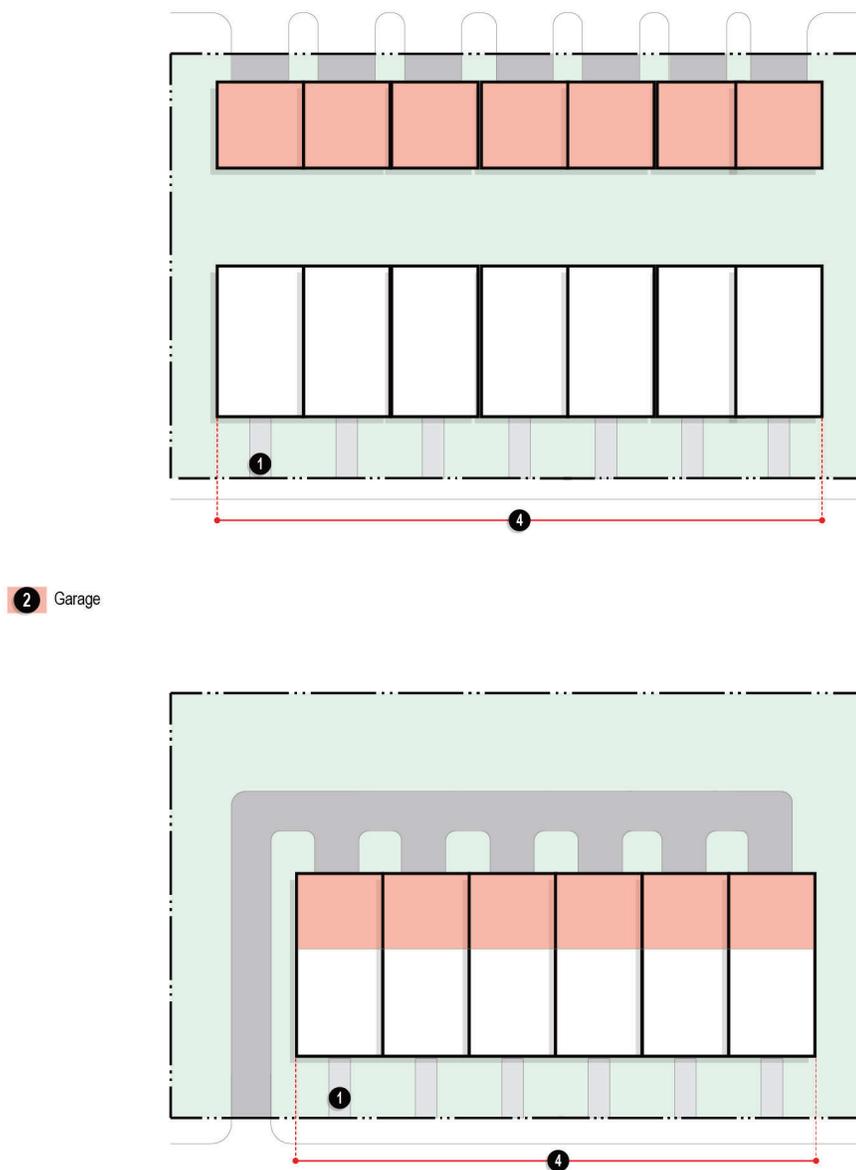
**Figure 4.2. Multi-Unit Dwelling Standards**



C. Dwelling, Townhouse.

1. The entrance to a townhouse shall face the primary public street unless otherwise approved.
2. A minimum of one (1) of the parking spaces, as required in Section 10-5-1(H) of this UDO, shall be provided in an attached or detached garage.
3. Attached garages shall be located on rear or side façades unless otherwise approved.
4. A maximum width of a townhome cluster shall be two hundred (200) lineal feet.
5. The siting of the townhouse units in a cluster shall be staggered in order to define street edges, entry points, and public gathering spaces.

Figure 3.3. Townhouse Dwelling Standards



D. **Mobile Home Park.**

1. The minimum site size shall be ten (10) acres.

### 10-4-3. Lodging Use Standards

- A. **Short-Term Rental.** Short-term rentals shall be subject to the hotel tax provisions established in Title 3, Chapter 1, Section 3-2-7 of the City of Yorkville Code of Ordinances.

### 10-4-4. Commercial Retail Use Standards

A. **Adult Uses.**

1. **Limitations on Adult Uses.**

- a. *Distance from another existing adult use:* An adult use shall not be allowed within five hundred (500) feet of another preexisting adult use.
- b. *Distance from zoning districts:* An adult use shall not be located within seven hundred (700) feet of any zoning district which is zoned for single-unit suburban residence district (R-1), single-unit traditional residence district (R-2), , two-unit attached residence district (R-2D), multi-unit attached residence district (R-3), general multi-unit residence district (R-4), local business district (B-1), mixed use district (B-2), general business district (B-3), agricultural district (A-1).
- c. *Distance from school or place of worship:* An adult use shall not be located within five hundred (500) feet of a preexisting school or place of worship.
- d. *Distance from business selling alcoholic beverages and cannabis dispensaries:* An adult use shall not be located in a building which contains another business that sells or dispenses in some manner alcoholic beverages or Cannabis Dispensing Organization as defined in this UDO.
- e. *Arterial roadways:* Adult uses which are located next to an arterial roadway, as defined in the City's comprehensive plan, must provide a twenty-five (25) foot setback from any property line.
- f. *Nonarterial roadways:* Adult uses which are located next to a nonarterial roadway, as defined in the City's comprehensive plan, must provide a ten (10) foot setback from the side and rear property lines and shall provide a twenty-five (25) foot setback from the front property line.
- g. *Traffic study:* A traffic study may be required as part of the special use permit approval process.

2. **Measurement of Distance.** For the purposes of this Section, measurements shall be made in a straight line, without regard to intervening structures or objects, from the property line of the lot or parcel containing the adult use to the property line of the lot or parcel containing the nearest adult use, school, place of worship, cannabis dispensary, or district zone for residential use.

3. **Exterior Signage and Display.** No adult use shall be conducted in any manner that permits the observation of any material, depicting, describing, or relating to "specified sexual activities", "specified anatomical areas" or otherwise deemed to be obscene by display, decoration, sign, show window, or other opening from any public way or from any property not licensed as an adult use.

4. **Display of License and Permit.** Every licensee (per Chapter 11 Section 3-11-5 of the City of Yorkville Code of Ordinances) shall display a valid license in a conspicuous place within the adult use business so that same may be readily seen by persons entering the premises.

5. **Employment of Persons Under the Age of Eighteen (18) Prohibited.** It shall be unlawful for any adult use licensee or their manager or employee to employ in any capacity within the adult business any person who is not at least eighteen (18) years of age.
6. **Hours of Operation.** All areas within the premises of an adult use business shall be cleared of customers and secured from customers and the public in general during the time when not permitted open for operation, and no person, other than the licensee or their employees or agents, shall be permitted within the area of such premises during such hours as listed below:
  - a. *Monday through Saturday:* 7:00am to 1:00am the next day
  - b. *Sunday:* 11:00am to 1:00am the next day
7. **Violation and Penalty.** Each day of violation of the requirements of this Section shall constitute a separate and punishable offense.

### **10-4-5. Commercial Service Use Standards**

#### **A. Indoor Shooting Gallery/Gun Range.**

1. When located in a multiple-tenant building, shall only be located in an end unit and with the gallery/range not adjacent to an adjoining unit.
2. The minimum building setback for indoor shooting gallery/gun range facilities shall be fifty (50) feet from any property line that abuts a residentially zoned property.
3. The retail operations of any indoor shooting gallery/gun ranges shall occupy not more than twenty-five (25) percent of the total floor area.

#### **B. Storage, Outdoor Self-Storage.**

1. All storage facilities shall be in completely enclosed buildings or structures when located in a Manufacturing Zoning District or when located within one hundred fifty (150) feet of a property in a Residential Zoning District.
2. There shall be a minimum of twenty (20) feet between buildings.
3. Truck and storage pod rentals are permitted accessory uses.

### **10-4-6. Commercial Entertainment Use Standards**

#### **A. Commercial Entertainment, Outdoor.**

1. All golf course and driving range perimeters shall be fully enclosed in netting not less than thirty-two (32) feet in height, with the maximum height to be established in the Special Use process as specified in Section 10-8-5.
2. The netting shall be at least ninety (90) percent transparent.

#### **B. Golf Course.**

1. Regulation size golf courses are permitted provided that no clubhouse or accessory building shall be nearer than five hundred (500) feet to any dwelling on an adjacent zoning lot, with the exception of golf courses in the A-1 District where the minimum separation requirement shall be three hundred (300) feet.

## 10-4-7. Eating and Drinking Use Standards

### A. Brewpub.

1. Brewpubs operations will be ancillary to a restaurant or eating establishment, and the brewing component of the facility shall be no more than twenty-five (25) percent of the total floor area. If off-premises consumption is allowed, all sales must be in a sealed container with a total maximum production of one hundred fifty-five thousand (155,000) gallons per calendar year inclusive of on-premises and off-premises.

### B. Microbrewery/Microwinery/Microdistillery

#### 1. Microbreweries.

- a. Microbreweries, where if off-premises consumption is allowed, all sales must be in a hand capped, sealed container with a total maximum production of one hundred fifty-five thousand (155,000) gallons per calendar year inclusive of on-premises and off-premises sales.
- b. Microbrewery operations will be ancillary to a restaurant or eating establishment, and the brewing component of the facility shall be no more than twenty-five (25) percent of the total floor area.

#### 2. Microdistilleries and Microwineries.

- a. Outdoor storage of equipment, production waste or product for microdistilleries and microwineries is strictly prohibited when located in a business district. However, outdoor storage of spent grains or grapes may be permitted to be stored outdoors in appropriate silos or containers in the manufacturing districts, provided the storage is screened from public view. Screening may be with fencing, landscaping, or a combination of both.
- b. All microdistilleries and microwineries located in business districts must have off-street or rear accessible loading and unloading facilities.
- c. Microdistilleries or microwineries located in business districts must include an ancillary tasting room with a minimum of one hundred fifty (150) square feet. Retail sales of the product from a microdistillery or microwinery are permitted on-site and shall be consistent with state and City laws.

## 10-4-8. Medical Use Standards

RESERVE

## 10-4-9. Vehicle Related Use Standards

### A. Automobile Rental; Automobile Sales and Service/Open Sales Lot; Boat Sales and Rental; Recreational Vehicle Sales and Rental; and Truck and Trailer Sales/Rental.

1. Open sales and rental lots shall be exempt from the landscape spacing requirements for the parking area perimeter zone and instead may cluster required landscape elements in order to preserve views to goods offered for sale.
2. Outdoor facilities shall be enclosed by an opaque fence or wall a minimum six (6) feet in height.

## **10-4-10. Energy Industrial Uses**

RESERVE

## **10-4-11. Industrial Use Standards**

### **A. Artisan Manufacturing.**

1. Gross floor area shall not exceed ten thousand (10,000) square feet.
2. Outdoor storage and/or outdoor operations or activities shall be prohibited.
3. Retail sales of goods manufactured on-site shall be permitted but shall be limited to twenty-five (25) percent of the total area of the building.
4. A maximum of one (1) residential unit shall be permitted as a special use, but shall be limited to the upper floor or to the rear of the artisan manufacturing use and shall not exceed twenty five (25) percent of the gross floor area.

### **B. Assembly, Production, Manufacturing, Testing, Repairing, or Processing.**

1. All related activity shall take place within completely enclosed buildings unless otherwise specified.
2. Within one hundred fifty (150) feet of a residentially zoned property or a property in the B-1, B-2, or PI Districts, all storage shall be in completely enclosed buildings or structures.
3. Storage not located within one hundred (150) feet of a residentially zoned property or a property in the B-1, B-2, or PI Districts may be open to the sky but shall be enclosed by solid walls or fences (including solid doors or gates thereto) with a minimum height of eight (8) feet. In no case shall the solid walls or fences be lower in height than the enclosed storage.
4. Solid fences or walls enclosing storage shall be meet the building foundation landscape requirements per Section 10-5-3(C).

## **10-4-12. Transportation Use Standards**

RESERVE

## 10-4-13. Alternative Energy Use Standards

### A. General Requirements for all Alternative Energy Uses.

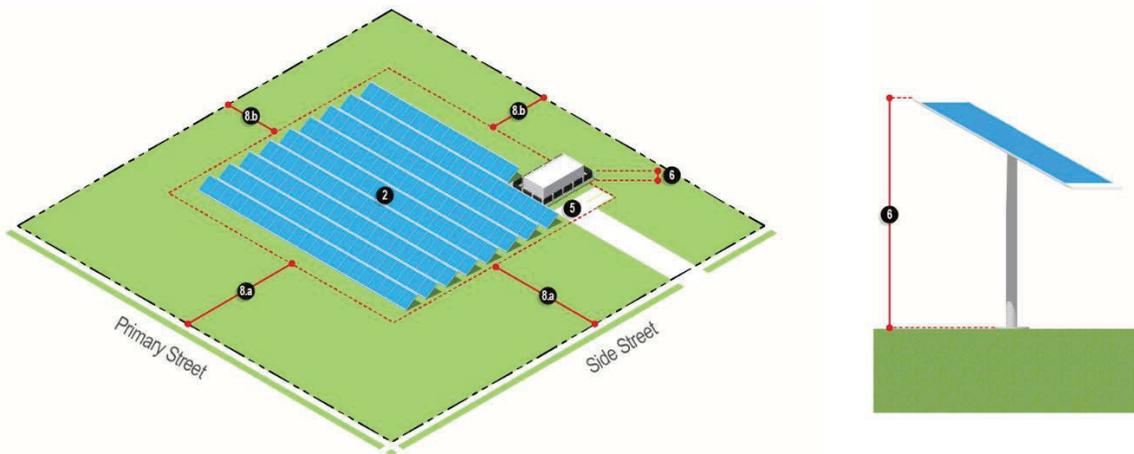
1. **Applicability.** The provisions of this Section are to establish zoning parameters by which solar and wind energy systems may be installed in the City. Additional renewable energy solutions not mentioned herein may be authorized subject to compliance with the applicable codes and standards of the City.
2. **Use.** Alternative energy systems shall be an accessory to the principal permitted use of a site.
3. **Abandoned Systems.** All alternative energy systems inactive or inoperable for twelve (12) continuous months shall be deemed abandoned. If the system is deemed abandoned, the owner is required to repair or remove the system from the property at the owner's expense within ninety (90) days after notice from the City. If the owner does not comply with said notice, the Building Code Official shall enforce this as a violation of the Yorkville Zoning Ordinance.
4. **Signage.** No attention getting device is permitted on any alternative energy system. One (1) sign shall be permitted to indicate the emergency contact information of the property owner or operator. Said sign shall not exceed two (2) square feet in size. Graphics, colors, corporate logos, and text on wind energy systems located within business or manufacturing zoned properties are permitted, subject to the discretion of the City Council.
5. **Safety.** All wind energy systems shall be equipped with manual and/or automatic controls and mechanical brakes to limit rotation of blades to prevent uncontrolled rotation.
6. **Lighting.** Alternative energy systems shall not be illuminated, except as required by the FAA or those used in commercial applications such as streetlights.
7. **Shadow Flicker.** No habitable portion of an existing adjacent structure shall be subject to shadow flicker from a wind turbine. Shadow flicker onto an adjacent roof and/or exterior wall which does not contain any windows, doors, and like openings shall be acceptable. If shadow flicker occurs, the operation of the wind turbine shall cease during those times which cause the shadow flicker.
8. **Screening.** There shall be no required mechanical screening for alternative energy systems.
9. **Design.** Wind energy systems and associated tower shall be a nonreflective color. The City Council may impose such conditions as are necessary to eliminate, if at all possible, any adverse effects such system may have on surrounding properties.
10. **Compliance.** Wind energy systems shall meet or exceed current standards of the international building code and Federal Aviation Administration (FAA) requirements, any other agency of the state or federal government with the authority to regulate wind energy systems, and all City codes.
11. **Building Code/Safety Standards.** Any owner or operator of an alternative energy system shall maintain said system in compliance with the standards contained in the current and applicable state or local building codes and any applicable standards for said energy systems that are published by the International Building Code, as amended from time to time. If, upon inspection, the United City of Yorkville concludes that an alternative energy system fails to comply with such codes and standards and constitutes a danger to persons or property, the City Code Official shall require immediate removal of the system at the owner's expense.

**B. Solar Farm.**

1. No solar farm shall be erected on any lot less than three (3) acres in size.
2. A solar farm use may occupy up to eight-five (85) percent of a given parcel in the M-1 or M-2 District or up to eighty (80) percent of a given parcel in any other District.
3. A certified professional engineer shall certify that the foundation and design on the solar panels are within accepted professional standards, given local soil and climate conditions.
4. Power and communication lines running between banks of solar panels and to electric substations or interconnections with buildings shall be buried underground.
5. Off-street parking provided on site shall be paved. Gravel or other unpaved materials shall be prohibited.
6. Systems, equipment, and structures shall not exceed thirty feet (30) in height when ground mounted.
7. Groundcover as specified in Section 10-5-3(A)(7) shall be provided beneath all solar panels.
8. Ground mounted solar energy collection systems as part of a solar farm shall have a minimum setback for all equipment, excluding fences, of:
  - a. *Front and Corner Yards*: one hundred (100) feet,
  - b. *Side and Rear Yards*: fifty (50) feet from nonresidential property lines and one hundred (100) feet from residential property lines.
9. Systems equipment and structures shall be fully enclosed and secured by a fence or wall with a height of eight (8) feet. Knox boxes and keys shall be provided at locked entrances for emergency personnel access.
  - a. **Warnings.**
    - (1) Warning signs shall be provided at the entrance to the facility and along the perimeter of the solar farm in locations determined necessary by the Zoning Officer.
    - (2) The signs shall be less than four (4) square feet and made with letters and numbers at least three (3) inches in height and shall include the 911 address and an emergency phone number of the operator which shall be answered twenty-four (24) hours a day by a live operator. A nonemergency phone number for the operator shall also be displayed.
10. **Outdoor Storage.** Only the outdoor storage of materials, vehicles, and equipment that directly support the operation and maintenance of the wind farm shall be allowed except for outdoor storage that is expressly allowed in the zoning district specified elsewhere in this title.
11. **Materials Handling, Storage, and Disposal.**
  - a. All solid wastes related to the construction, operation, and maintenance of the solar farm shall be removed from the site promptly and disposed of in accordance with all federal, state, and local laws.
  - b. A list of hazardous fluids that may be used on site shall be provided. All hazardous materials related to the construction, operation, and maintenance of the solar farm shall be handled, stored, transported, and disposed of in accordance with all applicable local, state, and federal laws.

12. **Decommissioning Plan.** Prior to receiving approval, the applicant shall submit a decommissioning plan to ensure that the solar farm project is properly decommissioned, which shall include:
- a. Provisions describing the triggering events for decommissioning the solar farm project. Any nonfunctioning solar panel/array of the project shall be decommissioned within thirty (30) days unless the operator has shown to the Zoning Administrator that it is diligently repairing such solar panel/array or component.
  - b. Procedures for the removal of structures, debris, and cabling, including those below the soil surface,
  - c. Provisions for the restoration of the natural soil and vegetation,
  - d. An estimate of the decommissioning costs certified by a professional engineer, to be updated every three (3) years or as determined necessary by the Zoning Administrator. The Zoning Administrator may request an independent third-party verification of the decommissioning costs at any time. The costs for this verification shall be reimbursed by the applicant and/or operator.
  - e. Financial assurance, secured by the owner or operator, for the purpose of performing the decommissioning, in an amount equal to one-hundred and twenty (120) percent of the professional engineer's certified estimate of the decommissioning cost.
  - f. A provision that the terms of the decommissioning plan shall be binding upon the owner or operator and any of his successors, assigns, or heirs.

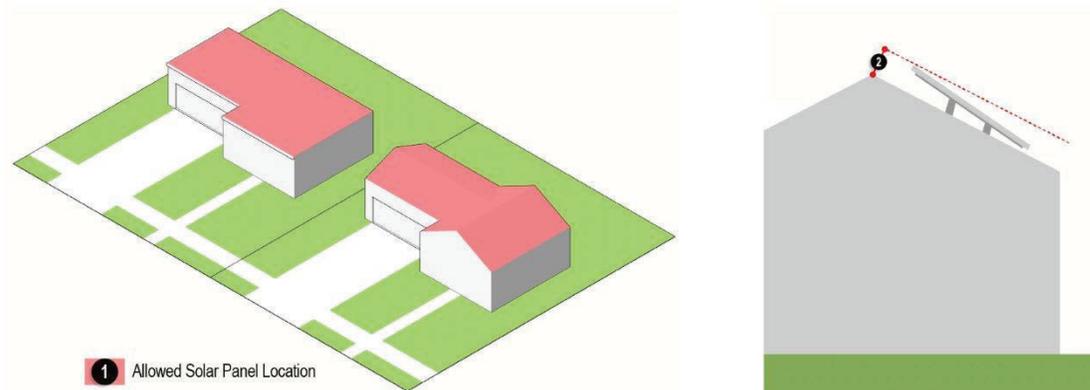
**Figure 4.4. Solar Farm Standards**



### C. Building-Mounted Solar Energy Systems.

1. **Location.** Building-mounted solar energy systems are allowed on the principal and accessory structures, any roof face and side and rear building facades. The systems are allowed on the front or exterior side building facades if the following conditions are met:
  - a. Solar access is optimized on the front and exterior side facades.
  - b. Systems are simultaneously used to shade the structure's doors or windows..
2. **Height.** Systems shall not extend beyond three (3) feet parallel to the roof surface of a pitched roof. Nor shall the system extend beyond four (4) feet parallel to the roof surface of a flat roof unless completely concealed or equal to the height of the parapet wall, whichever is greater. If the system is flush-mounted, the system must be less than eight (8) inches from the roof surface. Refer to Figure 4.5 of this Section.
3. **Quantity.** The total square footage may not exceed the total area of the roof surface of the structure to which the system is attached.
4. **Projection.** The system may project up to four (4) feet from a building facade or roof edge. The system may project into an interior side or interior rear setback but shall be no closer than five (5) feet to the interior side or interior rear property line.

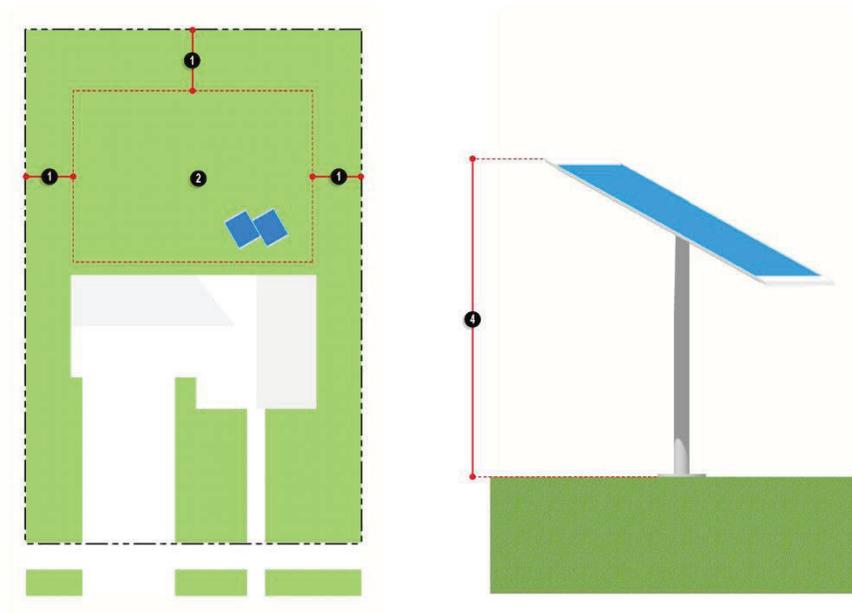
**Figure 4.5. Building-Mounted Solar Energy System Standards**



D. **Freestanding Solar Energy Systems – Accessory Use.**

1. **Setbacks.** All parts of any freestanding solar energy system shall be set back eight (8) feet from the interior side and interior rear property lines.
2. **Permitted Yard Locations.** Freestanding solar energy systems shall not be located within the required front yard or corner side yard. They shall not be permitted within any utility, storm or drainage, water, sewer, or other type of public easement. The use of guywires as supports for a freestanding solar energy system shall be prohibited.
3. **Solar Glare.** Solar panels shall be placed such that concentrated solar radiation or glare shall not be directed onto nearby properties or roadways.
4. **Maximum Height.** Maximum height of freestanding solar energy systems shall be fifteen (15) feet unless otherwise approved by the Zoning Administrator.

*Figure 4.6. Freestanding Solar Energy System - Accessory Use Standards*



#### E. Freestanding Solar Energy System - Principal Use.

1. **Setbacks.** All parts of any freestanding solar energy system shall meet the setbacks established for the district in which the system is located.
2. **Permitted Yard Locations.** A freestanding solar energy system shall not be located closer to the public right-of-way than the front façade of the principal building on the adjacent lot(s). They shall not be permitted within any utility, storm or drainage, water, sewer, or other type of public easement. The use of guywires as supports for a freestanding solar energy system shall be prohibited.
3. **Solar Glare.** Solar panels shall be placed such that concentrated solar radiation or glare shall not be directed onto nearby properties or roadways.
4. **Maximum Height.** Maximum height of a freestanding solar energy system shall be fifteen (15) feet unless otherwise approved.

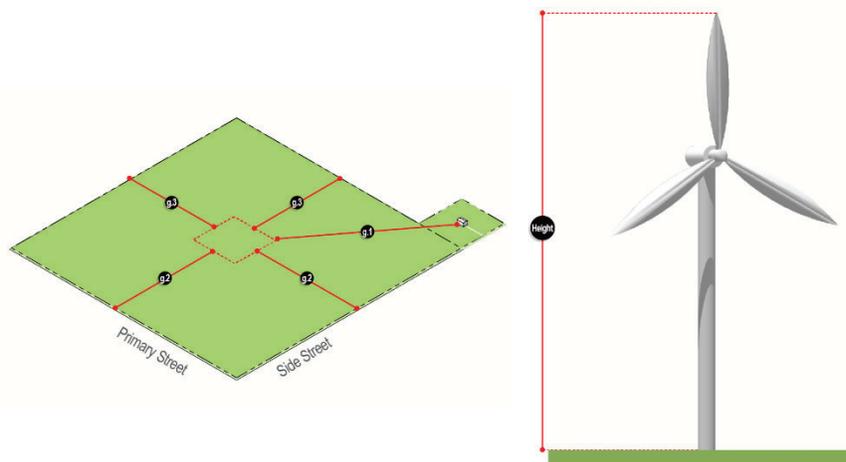
#### F. Wind Farm.

1. No wind farm shall be erected on any lot less than four (4) acres in size.
2. **Design and Installation.**
  - a. **Safety Certification.**
    - (1) Wind farm systems shall conform to applicable industry standards, including those of the American National Standards Institute (ANSI). Applicants shall submit certificates of design compliance that equipment manufacturers have obtained from Underwriters Laboratories (UL), Det Norske Veritas (DNV), Germanischer Lloyd Wind Energic (GL), or an equivalent third party prior to plan approval.
    - (2) Following plan approval, a professional engineer shall certify, as part of the building permit application, that the foundation and tower design of the wind farm system is within accepted professional standards, given local soil and climate conditions.
  - b. **Controls and Brakes.** All wind farm systems shall be equipped with a redundant braking system. This includes both aerodynamic overspeed controls (including variable pitch, tip, and other similar systems) and mechanical brakes. Mechanical brakes shall be operated in a fail-safe mode. Stall regulation shall not be considered a sufficient braking system for overspeed protection.
  - c. **Electrical Components.** All electrical components of the wind farm systems shall conform to applicable local, state, and national codes, and relevant national and international standards (e.g., ANSI and international electrical commission). Utility lines connecting the towers, substations, etc., shall be placed underground where practical.
  - d. **Turbine Consistency.** To the extent feasible, the project shall consist of turbines of similar design and size, including tower height. Further, all turbines shall rotate in the same direction.
  - e. **Warnings.**
    - (1) A reasonable visible warning sign concerning voltage must be placed at the base of all pad-mounted transformers and substations.
    - (2) Visible, reflective, colored objects, such as flags, reflectors, or tape shall be placed on the anchor points of guy wires and along the guy wires up to a height of fifteen (15) feet from the ground.
    - (3) Warning signs shall be provided at the entrance to the facility and along the perimeter of the solar farm in locations determined necessary by the Zoning Officer.

- (4) The signs shall be less than four (4) square feet and made with letters and numbers at least three (3) inches in height and shall include the 911 address and an emergency phone number of the operator which shall be answered twenty-four (24) hours a day by a live operator. A nonemergency phone number for the operator shall also be displayed.
  - f. **Climb Prevention.** All wind farm towers must be unclimbable by design or protected by anti-climbing devices such as:
    - (1) Fences with locking portals at least six (6) feet high, or
    - (2) Anti-climbing devices twelve (12) feet vertically from the base of the wind farm tower.
  - g. **Setbacks.** Wind farm towers and appurtenant structures shall meet the following minimum setbacks.
    - (1) Wind farm towers shall be six (6) times the height of the wind farm tower or at least three thousand, two hundred fifty (3,250) feet, whichever is greater, from any principal structure or use on the subject or neighboring property.
    - (2) Wind farm towers shall be one and one-tenth (1.10) times the wind farm tower height from public roads, third party transmission lines, and communication towers.
    - (3) Wind farm towers shall be one thousand six hundred forty (1,640) feet from adjacent property lines, as measured from the center of the wind farm tower foundation.
    - (4) No part of a wind farm tower or foundation shall encroach on a public or private sewage disposal (septic) system
    - (5) Above ground transmission facilities and poles shall be set back one-hundred fifty (150) feet from any portion any principal structure or use on the subject or neighboring property.
  - h. **Use of Public Roads.** An applicant, owner, or operator proposing to use any City or County Road for the purpose of transporting and installation of wind farm or substation parts and/or equipment for construction, operation, or maintenance of the wind farm or substations, shall:
    - (1) Identify all such public roads, and
    - (2) Obtain applicable weight and size permits from relevant government agencies prior to construction.
    - (3) To the extent an applicant, owner, or operator must obtain a weight or size permit from the City, County, or State, the applicant shall provide:
      - (a) Financial assurance, in a reasonable amount agreed to by the relevant parties, for the purpose of repairing any damage to public roads caused by constructing, operating, or maintaining the wind farm prior to the issuance of building permits.
      - (b) A signed copy of any agreements pertaining to the use of public roads prior to the issuance of building permits.
  - i. **Outdoor Storage.** Only the outdoor storage of materials, vehicles, and equipment that directly support the operation and maintenance of the wind farm shall be allowed except for outdoor storage that is expressly allowed in the zoning district specified elsewhere in this title.
3. **Operation.**
- a. **Maintenance.**

- (1) The owner or operator of the wind farm must submit, upon request a summary of the operation and maintenance reports to the City. In addition to the annual summary mentioned in this subsection, the owner or operator must furnish such operation and maintenance reports, as the City reasonably requests.
  - (2) Any replacement of equipment that is not a like-kind replacement using the same equipment in plan as approved shall require that an amendment to the special use.
- b. **Materials Handling, Storage, and Disposal.**
- (1) All solid wastes related to the construction, operation, and maintenance of the wind farm shall be removed from the site promptly and disposed of in accordance with all federal, state, and local laws.
  - (2) A list of hazardous fluids that may be used on site shall be provided. All hazardous materials related to the construction, operation, and maintenance of the wind farm shall be handled, stored, transported, and disposed of in accordance with all applicable local, state, and federal laws.
- c. **Decommissioning Plan.** Prior to receiving approval, the applicant shall submit a decommissioning plan to ensure that the wind farm project is properly decommissioned, which shall include:
- (1) Provisions describing the triggering events for decommissioning the wind farm project. Any nonfunctioning wind turbine of the project shall be decommissioned within thirty (30) days unless the operator has shown to the Zoning Administrator that it is diligently repairing such wind turbine or component.
  - (2) Procedures for the removal of structures, debris, and cabling, including those below the soil surface,
  - (3) Provisions for the restoration of the natural soil and vegetation,
  - (4) An estimate of the decommissioning costs certified by a professional engineer, to be updated every three (3) years or as determined necessary by the Zoning Administrator. The Zoning Administrator may request an independent third-party verification of the decommissioning costs at any time. The costs for this verification shall be reimbursed by the applicant and/or operator.
  - (5) Financial assurance, secured by the owner or operator, for the purpose of performing the decommissioning, in an amount equal to one-hundred and twenty (120) percent of the professional engineer's certified estimate of the decommissioning cost.
  - (6) A provision that the terms of the decommissioning plan shall be binding upon the owner or operator and any of his successors, assigns, or heirs.

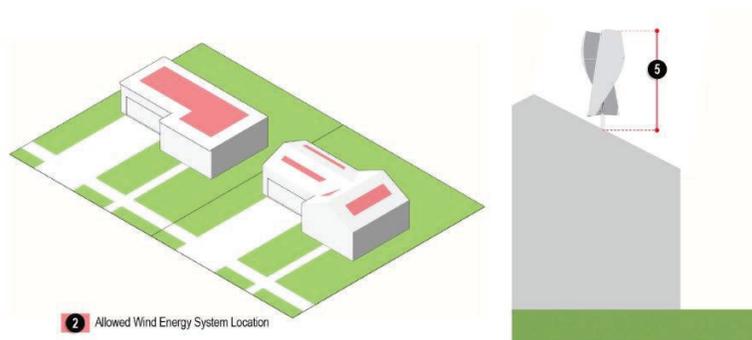
**Figure 4.7. Wind Farm Standards**



### G. Building-Mounted Wind Energy Systems.

1. **Location.** Building-mounted wind energy systems are allowed on all principal and accessory structures and shall be affixed to the roof deck of a flat roof or to the ridge or slope of a pitched roof and may not be affixed to the parapet or chimney of any structure.
2. **Setback.** The systems must be set back a minimum of five (5) feet from the edge or eave of the roof.
3. **Quantity.** One (1) turbine is allowed for every five hundred (500) square feet of the combined roof area. For a pitched roof, each surface of the roof shall be included in the roof area calculation.
4. **Noise.** Building-mounted wind energy systems shall not exceed the following:
  - a. Fifty-five (55) dBA when in or adjacent to all residential districts.
  - b. Sixty (60) dBA when in or adjacent to all nonresidential districts.
5. **Height.** The maximum height for a building-mounted wind energy system is fifteen (15) feet. The system is measured from the roof surface on which the system is mounted to the highest edge of the system with the exception of any roof pitches ten to twelve (10:12) or greater. The system shall not exceed fifteen (15) feet above the maximum permitted height of the zoning district. Refer to Figure 4.8 of this Section.
6. **Design.** All systems shall employ a helix-style design employing airfoil blades mounted on a vertical rotor shaft. Fan- and turbine-style designs shall be prohibited.
7. **Appearance Standards.** Graphics, colors, corporate logos, and text on wind energy systems located within business or manufacturing zoned properties are permitted, subject to the discretion of the City Council.
8. **Warnings.**
  - a. A reasonable visible warning sign concerning voltage must be placed at the base of all pad-mounted transformers and substations.
  - b. Visible, reflective, colored objects, such as flags, reflectors, or tape shall be placed on the anchor points of guy wires and along the guy wires up to a height of fifteen (15) feet from the ground.
  - c. Warning signs shall be provided at the entrance to the facility and along the perimeter of the solar farm in locations determined necessary by the Zoning Officer.
  - d. The signs shall be less than four (4) square feet and made with letters and numbers at least three (3) inches in height and shall include the 911 address and an emergency phone number of the operator which shall be answered twenty-four (24) hours a day by a live operator. A nonemergency phone number for the operator shall also be displayed.

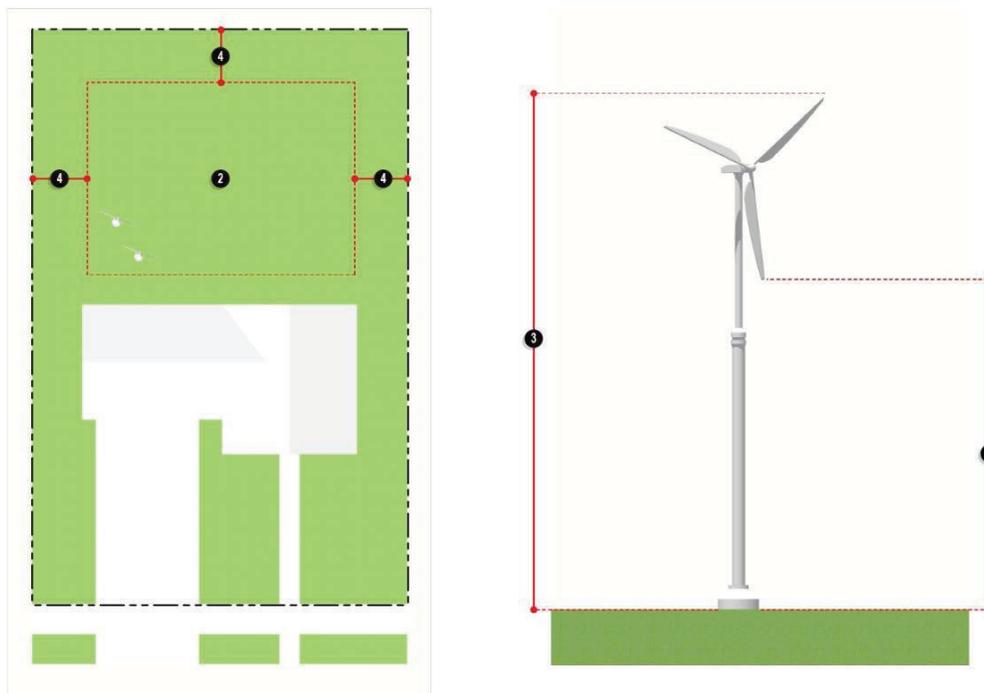
**Figure 4.8. Building-Mounted Wind Energy Systems**



H. **Freestanding Wind Energy System – Accessory Use.**

1. **Clearance.** In all zoning districts, the minimum clearance between the lowest tip of the rotor or blade and the ground is fifteen (15) feet. See Figure 4.9 of this Section.
2. **Permitted Yard Locations.** A freestanding wind energy system shall not be located within the required front yard or corner side yard. They shall not be permitted within any utility, storm or drainage, water, sewer, or other type of public easement. The use of guywires as supports for a freestanding wind energy system shall be prohibited.
3. **Height.** The maximum height for a freestanding wind energy system shall be one hundred seventy-five (175) feet measured from the base to the highest edge of the system.
4. **Setbacks.** The base of the system shall be set back 1.1 times (110 percent) the height of the highest edge of the system from all property lines, overhead utility line poles, communication towers, public sidewalks or trails, public rights-of-way, and other freestanding wind energy systems. Any system or any ancillary equipment shall not be located within any required setbacks of the respective zoning district.
5. **Access.** A freestanding wind energy system and all components shall be protected against unauthorized access by the public. Climbing access to the tower shall not start until twelve (12) feet above grade.
6. **Noise.** A freestanding wind energy system shall not exceed the following:
  - a. Fifty-five (55) dBA when in or adjacent to all residential districts.
  - b. Sixty (60) dBA when in or adjacent to all nonresidential districts.

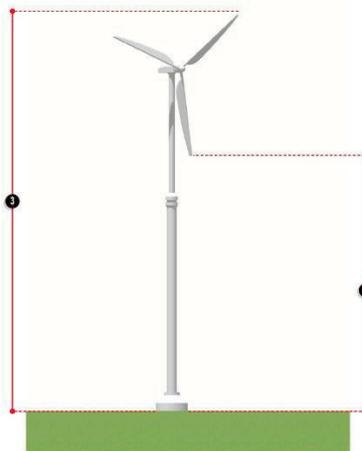
**Figure 4.9. Freestanding Wind Energy System - Accessory Use Standards**



I. **Freestanding Wind Energy System – Principal Use.**

1. **Clearance.** In all zoning districts, the minimum clearance between the lowest tip of the rotor or blade and the ground is fifteen (15) feet. See Figure 4.10 of this Section.
2. **Permitted Yard Locations.** All parts of any freestanding wind energy system shall meet the setbacks established for the district in which the system is located.
3. **Height.** The maximum height for a freestanding wind energy system shall be one hundred seventy-five (175) feet measured from the base to the highest edge of the system.
4. **Setbacks.** The base of the system shall be set back 1.1 times (110 percent) the height of the highest edge of the system from all property lines, overhead utility line poles, communication towers, public sidewalks or trails, public rights-of-way, and other freestanding wind energy systems. Any system or any ancillary equipment shall not be located within any required setbacks of the respective zoning district.
5. **Access.** Freestanding wind energy systems and all components shall be protected against unauthorized access by the public. Climbing access to the tower shall not start until twelve (12) feet above grade.
6. **Noise.** A freestanding wind energy system shall not exceed the following:
  - a. Fifty-five (55) dBA when in or adjacent to all residential districts.
  - b. Sixty (60) dBA when in or adjacent to all nonresidential districts.
7. **Warnings.**
  - a. A reasonable visible warning sign concerning voltage must be placed at the base of all pad-mounted transformers and substations.
  - b. Visible, reflective, colored objects, such as flags, reflectors, or tape shall be placed on the anchor points of guy wires and along the guy wires up to a height of fifteen (15) feet from the ground.
    - (1) Warning signs shall be provided at the entrance to the facility and along the perimeter of the solar farm in locations determined necessary by the Zoning Officer. The signs shall be less than four (4) square feet and made with letters and numbers at least three (3) inches in height and shall include the 911 address and an emergency phone number of the operator which shall be answered twenty-four (24) hours a day by a live operator. A nonemergency phone number for the operator shall also be displayed.

**Figure 4.10. Freestanding Wind Energy System - Principal Use Standards**



## 10-4-14. Medical and Adult Use Cannabis Use Standards

### A. General Requirements for all Cannabis Uses.

1. **Business Hours.** Business hours for all cannabis businesses shall be from 10:00 a.m. to 8:00 p.m. Monday through Saturday and 12:00 p.m. to 5:00 p.m. on Sundays.
2. **On-Premises Consumption.** On-premises consumption of cannabis products in all cannabis businesses operations is prohibited.
3. **Signage.**
  - a. Recreational cannabis dispensaries shall be limited to one (1) wall-mounted sign per business.
  - b. All cannabis establishments shall be prohibited from having electronic message board signs.
  - c. Signage for cannabis establishments shall not contain cannabis imagery such as leaves, plants, smoke, paraphernalia, or cartoonish imageries.

### B. Cannabis Craft Grower.

1. Facility may not be located within five hundred (500) feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, or religious institutions, regardless of corporate boundary. Commercial/trade schools shall not be classified as a public or private school for purposes of this section.
2. Facility may not be located within two hundred fifty (250) feet of the property line of a pre-existing property zoned or used for residential purposes, unless in the A-1 zoning district where the residential use is owned by the same owner as the adult-use cannabis craft grower, regardless of corporate boundary.
3. Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.
4. Cannabis craft growers may co-locate with a dispensing organization or a cannabis infuser organization, or both, only on properties zoned within the M-1 or M-2 districts.
5. Cannabis craft grower shall be limited to one (1) facility within the boundaries of the City.

### C. Cannabis Cultivation Center.

1. Facility may not be located within five hundred (500) feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, or religious institutions, regardless of corporate boundary. Commercial/trade schools shall not be classified as a public or private school for purposes of this Section.
2. Facility may not be located within two hundred fifty (250) feet of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.
3. Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.
4. Cannabis cultivation center shall be limited to one (1) facility within the boundaries of the City.

### D. Cannabis Dispensing Organization.

1. Facility may not be located within five hundred (500) feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, or religious institutions, regardless of corporate boundary. Commercial/trade schools shall not be classified as a public or private school for purposes of this section.

2. Facility may not be located in a dwelling unit or within two hundred fifty (250) feet of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.
3. Facility shall have a maximum gross floor area of five thousand (5,000) square feet, of which at least seventy-five (75) percent of the floor area occupied by a dispensing organization shall be devoted solely to the activities the dispensing cannabis or cannabis products as authorized by the Act and shall not sell food or alcohol for consumption on the premises.
4. Drive-through facilities are prohibited.
5. E-commerce delivery service platforms are prohibited.
6. Cannabis dispensing organizations shall be limited to one (1) facility within the boundaries of the City.

**E. Cannabis Infuser Organization.**

1. Facility may not be located within five hundred (500) feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home or religious institutions, regardless of corporate boundary. Commercial/trade schools shall not be classified as a public or private school for purposes of this section.
2. Facility may not be located in a dwelling unit or within two hundred fifty (250) feet of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.
3. Infuser organizations may co-locate with a dispensing organization or a cannabis craft grower organizations, or both, only on properties zoned within the M-1 or M-2 Districts. In such instances, the maximum gross floor area dedicated to the dispensing organization shall be five thousand (5,000) square feet of which seventy-five (75) percent of the floor area must be devoted to the activities authorized by the Act.
4. Cannabis infuser organizations shall be limited to one (1) facility within the boundaries of the City.

**F. Cannabis Processing Organization.**

1. Facility may not be located within five hundred (500) feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, or religious institutions, regardless of corporate boundary. Commercial/trade schools shall not be classified as a public or private school for purposes of this section.
2. Facility may not be located in a dwelling unit or within two hundred fifty (250) feet of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.
3. At least seventy-five (75) percent of the floor area occupied by a dispensing organization shall be devoted solely to the activities the dispensing cannabis or cannabis products as authorized by the Act, and shall not sell food or alcohol for consumption on the premises.
4. Cannabis processing organizations shall be limited to one (1) facility within the boundaries of the City.

**G. Cannabis Transporting Organization.**

1. Facility may not be located within five hundred (500) feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, or religious institutions, regardless of corporate boundary. Commercial/trade schools shall not be classified as a public or private school for purposes of this section.
2. Facility may not be located in a dwelling unit or within two hundred fifty (250) feet of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.

3. The transporting organization shall be the sole use of the space in which it is located. Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.
4. Cannabis transporting organization shall be limited to one (1) within the boundaries of the City.

## 10-4-15. Institutional, Public, and Utility Use Standards

### A. Telecommunication Tower and Antennae.

#### 1. Applicability.

- a. **New Towers and Antennas.** All new towers or antennas in Yorkville shall be subject to these regulations, except as provided in subsections B through E of this section inclusive.
- b. **Amateur Radio Station Operator/Receive Only Antennas.** This chapter shall not govern any tower, or the installation of any antenna, that is under eighty (80) feet in height and is owned and operated by a federally licensed amateur radio station operator or is used exclusively for receive only antennas. No receive only antenna shall exceed the highest point on the nearest residential rooftop of a dwelling by more than ten (10) feet.
- c. **Preexisting Towers or Antennas.** Existing towers and existing antennas which predated this chapter, shall not be required to meet the requirements of this chapter other than the requirements of Sections 10-4-15(A)(2)(f), (A)(2)(h), and (A)(2)(r) of this chapter. All preexisting towers and antennas shall be subject to the tower and antenna administrative fee.
- d. **AM Array.** For purposes of implementing this chapter, AM array, consisting of one (1) or more tower units and supporting ground system which functions as one (1) AM broadcasting antenna, shall be considered one (1) tower. Measurements for setbacks and separation distances shall be measured from the outer perimeter of the towers included in the AM array. Additional tower units may be added within the perimeter of the AM array by right.
- e. **Within Public Right-of-Way:** If the tower and/or antenna is situated within the public right-of-way, such tower and/or antenna must meet the requirements of title 7, chapter 8, "Construction of Utility Facilities in Rights-of-Way", of this Code.

#### 2. General Requirements.

- a. **Principal or Accessory Use.** Antennas and towers may be considered either principal or accessory uses. A different existing use of an existing structure on the same lot shall not preclude the installation of an antenna or tower on such lot.
- b. **Lot Size.** For purposes of determining whether the installation of a tower or antenna complies with Yorkville's development regulations, including, but not limited to, setback requirements, lot coverage requirements, and other such requirements, the dimensions of the entire lot shall control, even though the antennas or towers may be located on leased parcels within such lot.
- c. **Inventory of Existing Sites.** Each applicant for approval of an antenna and/or tower shall provide to the Zoning Officer an inventory of its existing towers, antennas, or sites approved for towers or antennas, that are either within the jurisdiction of Yorkville or within one (1) mile of the border thereof, including specific information about the location, height, and design of each tower. The Zoning Officer may share such information with other applicants applying for administrative approvals or special use permits under this chapter or other organizations seeking to locate antennas within the jurisdiction of Yorkville, provided, however that the Zoning Officer is not, by sharing such information, in any way representing or warranting that such sites are available or suitable.

- d. **Aesthetics.** Towers and antennas shall meet the following requirements:
- (1) Towers shall either maintain a galvanized steel finish or, subject to any applicable standards of the FAA, be painted a neutral color so as to reduce visual obtrusiveness.
  - (2) At a tower site, the design of the buildings and related structures shall, to the extent possible, use materials, colors, textures, screening, and landscaping that will blend them into the natural settings and surrounding buildings.
  - (3) If an antenna is installed on a structure other than a tower, the antenna and supporting electrical and mechanical equipment must be of a neutral color that is identical to, or closely compatible with, the color of the supporting structure so as to make the antenna and related equipment as visually unobtrusive as possible.
- e. **Lighting.** Towers shall not be artificially lighted, unless required by the FAA or other applicable authority. If lighting is required, the lighting alternatives and design chosen must cause the least disturbance to the surrounding views.
- f. **State or Federal Requirements.** All towers must meet or exceed current standards or regulations of the FAA, the FCC and any other agency of the state or federal government with the authority to regulate towers and antennas. If such standards and regulations are changed, then the owners of the towers and antennas governed by this chapter shall bring such towers and antennas into compliance with such revised standards and regulations within six (6) months of the effective date of such standards and regulations, unless a more restrictive compliance schedule is mandated by the controlling state or federal agency. Failure to bring towers and antennas into compliance with such revised standards and regulations shall constitute grounds for the removal of the tower or antenna at the owner's expense.
- g. **Building Codes/Safety Standards.** Any owner or operator of an antenna, antenna structure or tower shall maintain the antenna, antenna structure or tower in compliance with the standards contained in the current and applicable state or local building codes and the applicable standards for towers that are published by the national electrical code NFPA 70 and international building code; radio, television sec. 3108, as amended from time to time. If, upon inspection, the City of Yorkville concludes that a tower fails to comply with such codes and standards and constitutes a danger to persons or property, then upon notice being provided to the owner of the tower, the owner shall have thirty (30) days to bring such tower into compliance with such standards. Failure to bring the antenna, antenna structure, or tower into compliance within the thirty (30) day period shall constitute grounds for the removal of the antenna, antenna structure or tower at the owner's expense.
- h. **Measurement.** For purposes of measurement, tower setbacks and tower separation distances shall be calculated and applied to facilities located in Yorkville irrespective of municipal and county jurisdictional boundaries.
- i. **Not Essential Services.** Antennas, antenna structures, and towers shall be regulated and permitted pursuant to this chapter and shall not be regulated or permitted as essential services, public utilities, or private utilities.
- j. **Public Notice.** For purposes of this chapter, any special use request, variance request, or appeal of an administratively approved use or special use shall require public notice and individual notice by the City of Yorkville to all abutting property owners and all properties that are located within two hundred fifty feet (250) feet of the zoning lot in question. Streets, alleys and watercourses shall not be considered in the determination of "abutting" nor in calculating the two hundred fifty (250) feet.
- k. **Signs.** No signs shall be allowed on an antenna or tower other than those required by the FCC.
- l. **Buildings and Support Equipment.** Buildings and support equipment associated with antennas or towers shall comply with the requirements of Section 10-4-15 (A)(4)(k) of this chapter.

- m. **Multiple Antenna/Tower Plan.** The City of Yorkville encourages all plans for towers and antenna sites to be submitted in a single application for approval of multiple towers and/or antenna sites. Applications for approval of multiple sites shall be given priority in the review process.
  
- n. **Antenna on Existing Structures.** Any antenna may be approved by the City of Yorkville as an accessory use to any commercial, industrial, professional, institutional, or multi-unit structure of eight (8) or more dwelling units, provided:
  - (1) The antenna does not extend more than thirty (30) feet above the highest point of the structure;
  - (2) The antenna complies with all applicable FCC and FAA regulations; and
  - (3) The antenna complies with all applicable building codes and safety standards as referenced in subsection g of this section.
  
- o. **Antennas on Existing Towers.** An antenna which is attached to an existing tower may be approved by the zoning officer and, to minimize adverse visual impacts associated with the proliferation and clustering of towers, collocation of antennas by more than one (1) carrier on existing towers shall take precedence over the construction of new towers, provided such collocation is accomplished in a manner consistent with the following:
  - (1) **Additional Antenna.** A tower which is modified or reconstructed to accommodate the collocation of an additional antenna shall be of the same tower type as the existing tower, unless the Zoning Officer allows reconstruction as a monopole.
  - (2) **Height.**
    - (a) An existing tower may be modified or rebuilt to a taller height, not to exceed thirty (30) feet over the tower's existing height, such height not exceeding one hundred fifty (150) feet in total, to accommodate the collocation of an additional antenna.
    - (b) The height change referred to in subsection (O)(2)(a) of this section may only occur one (1) time per communication tower.
    - (c) The additional height referred to in subsection (O)(2)(a) of this section shall not require an additional distance separation. The tower's premodification height shall be used to calculate such distance separations.
  - (3) **On-Site Location.**
    - (a) A tower which is being rebuilt to accommodate the collocation of an additional antenna may be moved on-site within fifty (50) feet of its existing location.
    - (b) After the tower is rebuilt to accommodate collocation, only one (1) tower may remain on the site.
    - (c) A relocated on-site tower shall continue to be measured from the original tower location for purposes of calculating separation distances between towers. The relocation of a tower hereunder shall in no way be deemed to cause a violation of this chapter.
    - (d) The on-site relocation of a tower which comes within the separation distances to residential units or residentially zoned lands as established in this zoning ordinance shall only be permitted when approved by the Zoning Officer.
  - (4) **New Towers in Nonresidential Zoning Districts.** An applicant may locate any new tower as provided in Table 10-3-12(B), provided that: a) a licensed professional engineer certifies the tower can structurally accommodate the number of shared users proposed by the applicant; b) the Zoning Officer concludes the tower is in conformity with the goals set forth in this subsection o and the requirements of this subsection; c)

the tower meets the setback and separation requirements Section 10-4-15(A)(4)(e) of this chapter; and d) the tower meets the following height and usage criteria:

- (a) For a single user, up to and including one hundred twenty (120) feet in height;
  - (b) For two (2) users, up to one hundred fifty (150) feet in height; and
  - (c) For three (3) or more users, up to and including one hundred eighty (180) feet in height.
- p. **Roadway Access.** All sites on which antennas, antenna structures and towers are located must have a passable roadway access of compacted macadam base not less than seven (7) inches thick surfaced with not less than two (2) inches of asphaltic concrete or some comparable dustless material.
- q. **Fencing.** The structures upon any site upon which an antenna, antenna structure, or tower is located shall be surrounded by an opaque screen which is no less than six (6) feet in height and equipped with an appropriate anticlimbing device. Screening materials shall include either wooden or chainlink fencing. Shrubbery and bushes shall be required, in addition to the wooden or chainlink fence, unless specifically waived by Yorkville in its discretion in appropriate cases.
- r. **Disguised Structures.** The provider of an antenna, antenna structure, or tower may propose to disguise the proposed antenna, antenna structure or tower. Any such disguise must be aesthetically consistent with the character of the surrounding area and environment, and be constructed in such a manner where the health or safety of Yorkville residents shall not be endangered. Yorkville may require the disguise of an antenna, antenna structure or tower as a condition of approval of a building permit or special use permit if the antenna, antenna structure or tower is to be erected on a golf course or other public recreational area.
- s. **Annual Administrative Fee and Certifications.**
- (1) The annual administration fee payable to the City of Yorkville by any owner and/or operator of an antenna, antenna structure, or tower shall be the sum of thirty-five (35) dollars which shall be due on or before January 10<sup>th</sup> of each calendar year commencing with calendar year 2001.
  - (2) In the event a tower is inspected and a certification provided by the owner and/or operator of said tower or related facility showing compliance with all regulations, the above fee shall be the only fee charged. In the event the owner and/or operator of an antenna, antenna structure, or tower fails to have the certification as is required annually to be filed with the City under the terms of this subsection, the owner and/or operator shall reimburse the City for the actual cost of the outside consultant the City deems necessary to conduct said inspection which shall be a minimum of three hundred fifty (350) dollars and any additional cost incurred therein.
  - (3) The City of Yorkville reserves the right to increase or decrease the amount of the administrative fee as it deems necessary. A separate administrative fee shall be paid by each user or collocator on a tower.
    - (a) **Permit Required.** Prior to the construction of an antenna, antenna structure or tower the provider of the radio, television, or telecommunications services shall obtain a permit from Yorkville for the erection of such antenna, antenna structure or tower. An applicant for a permit for an antenna, antenna structure, or tower shall pay a fee in accordance with the fee schedule set forth in title 8, chapter 10 of this Code, plus any reasonable legal, engineering, or consulting fees at the conclusion of the review.
    - (b) **Waiver of Provisions.** An applicant can request a waiver of any provision of this chapter upon the showing of appropriate justification and benefit to the public. Such request shall be treated as a request for a variance and the appropriate procedures thereto shall apply.

### 3. Permitted Uses.

- a. **General.** The following uses listed in this section are deemed to be permitted uses and shall not require a special use permit.
- b. **Uses.** Antennas, antenna structures and towers are permitted as an accessory use as provided in Table 10-3-1(B) except that part of any zoning district which is located in a floodplain, so long as said antennas or towers conform to the following and all other requirements of this title:
  - (1) Antennas and towers may be located on property owned, leased, or otherwise controlled by Yorkville, particularly and expressly including Yorkville's water tower sites, and City Hall and police station-sites, provided that a lease authorizing such antenna, antenna structure, or tower has been approved by Yorkville.
  - (2) Antennas or towers are permitted to be located on the Burlington Northern Railroad easement running southwest and northeast through Yorkville, subject to Section (A)(2)(a) through (s).

### 4. Special Uses and Accessory Uses.

#### a. General Provisions.

- (1) Radio and telecommunications and towers used for radio transmission, or television transmission when allowed as a Special Use shall be subject to the special use provisions contained within Section 10-8-5 of this title and applications for special use permits shall be subject to the procedures and requirements of this title, except as modified in this chapter.
- (2) In granting a special use permit, the Plan Commission may impose conditions to the extent the Plan Commission concludes such conditions are necessary to minimize any adverse effect of the proposed tower on adjoining properties.
- (3) Any information of an engineering nature that the applicant submits, whether civil, mechanical, or electrical, shall be certified by a licensed professional engineer.
- (4) An applicant for a special use permit shall submit the information described in this section and a nonrefundable fee as established by resolution of the City Council of Yorkville to reimburse Yorkville for the cost of reviewing the application.
- (5) Antennas, antenna structures and towers shall be allowed as special uses only consistent with all of the requirements of this chapter in the following zoning districts and for the following uses.
  - (a) R-1, Single-Unit Suburban Residence: For commercial/trade school, place of worship/assembly, golf course, or public utility facilities only;
  - (b) R-2, Single-Unit Traditional Residence: For commercial/trade school, place of worship/assembly, golf course, or public utility facilities.

- b. **Information Required.** In addition to any information required for applications for special use permits referenced above, each petitioner requesting a special use permit under this chapter for an antenna, antenna structures, and tower shall submit a scaled site plan and a scaled elevation view and other supporting drawings, calculations, and other documentation signed and sealed by appropriate licensed professionals, showing the location, type and dimensions of all improvements, including information concerning topography, radio frequency coverage, tower height requirements, setbacks, drives, proposed means of access, parking, fencing, landscaping, adjacent uses, adjacent roadway, and other information deemed necessary by Yorkville to be necessary to assess compliance for this chapter. In addition, the following information shall be supplied:
  - (1) Legal description of the parent track and leased parcel (if applicable);

- (2) The setback distance between the proposed structure and the nearest residential unit, platted residentially zoned properties and unplatted residentially zoned property;
  - (3) The separation distance from other structures in the inventory of existing sites submitted pursuant to Section 10-4-15 (A)(2)(c) shall be shown on an updated site plan or map and the applicant shall also identify the type of construction of the existing structure(s) and the owner/operator of the existing structure(s), if known;
  - (4) A landscape plan showing specific landscape materials; the method of fencing and finish color and, if applicable, the method of camouflage and illumination;
    - (a) A description of compliance with Sections 10-4-15 (A)(2)(c)(e)(f)(g)(h)(i)(m) of this chapter and all applicable federal, state or local laws;
    - (b) A notarized statement by the applicant as to whether construction of the tower will accommodate collocation of additional antennas for future users;
    - (c) Identification of the entities providing the backhaul network for the structure(s) described in the application and other cellular sites owned or operated by the applicant in Yorkville;
    - (d) A description of the suitability of the use of existing towers, other structures or alternative technology not requiring the use of towers or structures to provide the services to be provided through the use of the proposed new tower; and
    - (e) A description of the feasible location(s) of future towers or antennas within Yorkville based upon existing physical, engineering, technological or geographical limitations in the event the proposed tower is erected.
  - (5) An applicant shall be notified within thirty (30) days if the application is incomplete. The City shall make a decision on collocation within ninety (90) days and all other siting applications within one hundred fifty (150) days of the receipt of a completed application.
- c. **Factors Considered in Granting Special Use Permits:** The City of Yorkville shall consider the following factors in determining whether to issue a special use permit above and beyond those factors referenced in Section 10-8-5 of this title. The City of Yorkville may waive or reduce the burden on the petitioner of one (1) or more of these criteria if Yorkville concludes that the goals of this chapter are better served thereby.
- (1) Height of the proposed antenna, antenna structure or tower;
  - (2) Proximity of the antenna, antenna structure or tower to residential structures and residential district boundaries;
  - (3) Nature of uses on adjacent and nearby properties;
  - (4) Surrounding topography;
  - (5) Surrounding tree coverage and foliage;
  - (6) Design of the antenna, antenna structure or tower, with particular reference to design characteristics that have the effect of reducing or eliminating visual obtrusiveness;
  - (7) Proposed ingress and egress.
- d. **Height.** No antenna, antenna structure, or tower shall exceed a height of one hundred (100) linear feet in aerial height. Where an arm has been installed to facilitate collocation of an additional antenna on the existing antenna structure or tower, the arm shall not exceed a length of twelve (12) linear feet.

e. **Setbacks and Separation.**

- (1) **Setbacks.** Antennas, antenna structures or towers must be set back a distance equal to the height of the antenna, antenna structure, or tower from any off-site, residential structure. Antenna structures, guylines, and equipment shelters must satisfy the minimum setback requirements for the governing zoning district.
- (2) **Separation.** The following separation requirements shall apply to all towers and antennas for which a special use permit is required; provided, however, that the Plan Commission may reduce the standard separation requirements if the goals of this chapter would be better served thereby, or if enforcement of said setback would effectively prohibit said tower:

(a) **Separation From Off-Site Uses/Designated Area.**

- (i) Tower separation shall be measured from the base of the tower to the lot line of the off-site uses and/or designated areas as specified in Table 10-4-15(A)(4)(e)(2) of this section.
- (ii) Separation requirements for towers shall comply with the minimum standards established in Table 10-4-15(A)(4)(e)(2) of this section.

Off-Site Use/Designated Area	Separation Distance
<i>Single-unit or duplex principal use</i>	500 feet
<i>Vacant single-unit or duplex use on residentially zoned land which is either platted or has preliminary subdivision plan approval which is not expired</i>	500 feet
<i>Vacant unplatted residentially zoned lands, including unplatted residential use property without a valid preliminary subdivision plan or valid development plan approval and any multi-unit residentially zoned land</i>	500 feet
<i>Existing multi-unit residential</i>	100 feet or 100 percent of the tower height, whichever is greater
<i>Nonresidentially zoned land or nonresidential uses</i>	None
<i>The Fox River or any watercourse</i>	500 feet as measured from the shore
<i>Major highways (as defined in the Yorkville comprehensive plan)</i>	500 feet from the right-of-way

- (3) **Separation Distances Between Towers.** Separation distances between towers shall be applicable for and measured between the proposed tower and preexisting towers. The separation distances shall be measured by drawing or following a straight line between the base of the existing tower and the proposed base, pursuant to a site plan, of the proposed tower. The separation distances shall be as shown in Table 10-4-15(A)(4)(e)(3) of this section.

Existing Tower Type	Separation Distance (feet)			
	Lattice	Guyed	Monopole (Taller Than 75 Feet)	Monopole (Shorter Than 75 Feet)
<i>Lattice</i>	1,000	1,500	500	250
<i>Guyed</i>	1,000	1,750	1,500	1,250
<i>Monopole (Taller than 75 feet)</i>	500	1,500	250	250
<i>Monopole (Shorter than 75 feet)</i>	250	1,250	250	250

- f. **Siting on Wetland Prohibited.** No antenna, antenna structure, or tower shall be located in an area which has been designated as a wetland either by the City of Yorkville, Kendall County, the State of Illinois Department of Natural Resources, the United States Department of the Interior or the United States Army Corps of Engineers, and any and all governmental bodies and agencies having jurisdiction.
- g. **FCC Signage.** To the extent that signage is required by the FCC on an antenna structure, or tower, that signage shall constitute no more than five (5) percent of the square footage of the antenna, antenna structure, or tower or shall be no larger than is required by the FCC, whichever shall constitute the smallest signage area.
- h. **Preservation of Landscape.** Existing mature tree growth and natural landforms on the proposed antenna, antenna structure, or tower site shall be preserved to the maximum extent possible.
- i. **Utilities and Access Required.** Radio and telecommunications antennas, antenna structures, and towers, including, but not limited to, those used for small wireless services, small wireless facilities, and unlicensed wireless services, shall be required to include adequate utilities, access, and/or other facilities necessary for the servicing of the antenna, antenna structure or tower. All such utilities shall be buried.
- j. **Signal Interference.** No signal transmission from any antenna, antenna structure, or tower shall interfere with police, fire, public works or any other governmental radio band signals. In the case of the possibility of such interference based upon the frequencies selected for the proposed antenna, antenna structure, or tower, the petition for special use shall be denied.
- k. **Equipment Shelter and Equipment Cabinets.** A provider of a radio, television, or telecommunications antenna, antenna structure, or tower may provide an equipment shelter on the site of the antenna, antenna structure, or tower. The square footage of the equipment shelter may not exceed more than twenty (20) percent of the total square footage of the antenna, antenna structure or tower ground site or four hundred fifty (450) square feet, whichever is greater. At any antenna, antenna structure, or tower site in which more than one (1) antenna has been collocated, no more than three (3) equipment shelters shall be allowed. Multiple equipment shelters shall be contained under one (1) roof if at all practicably possible. No equipment shelter shall be approved as part of the site plan unless appropriate electrical power and road ingress and egress facilities are planned for inclusion at the equipment shelter site.
- l. **Equipment Cabinets.**
  - (1) In residential districts, the equipment cabinet or structure may be located in a front or side yard provided the cabinet or structure is no greater than four (4) feet in height or twenty-four (24) square feet of gross floor area and the cabinet/structure is located a minimum of six (6) feet from all lot lines. The cabinet/structure shall be screened by hedging or shrubbery with an ultimate height of at least forty-two (42) inches to forty-eight (48) inches and a planted height of at least thirty-six (36) inches.
  - (2) In a rear yard, provided the cabinet or structure is no greater than six (6) feet in height or sixty-four (64) square feet in gross floor area. The structure or cabinet shall be screened by hedging or shrubbery with an ultimate height of eight (8) feet and a planted height of at least thirty-six (36) inches. In all other instances, structures or cabinets shall be screened from view of all residential properties which abut or are directly across the street from the structure or cabinet by a solid fence six (6) feet in height or a hedge with an ultimate height of eight feet (8') and a planted height of thirty-six (36) inches.
  - (3) In business and manufacturing districts the equipment cabinet or structure shall be no greater than six (6) feet in height or sixty-four (64) square feet in gross floor area. The structure or cabinet shall be screened by a hedge or shrubbery with an ultimate height of eight (8) feet and a planted height of at least thirty-six (36) inches. In all other instances, structures or cabinets shall be screened from view of all residential properties which abut or are directly across the street from the structure or cabinet by a solid fence six (6) feet in height or a hedge with an ultimate height of eight (8) feet and a planted height of at least thirty-six (36) inches.

- m. **Code Requirements.** Any antenna, antenna structure, or tower must meet code requirements established by the National Electrical Code, NFPA 70 and International Building Code; Radio, Television Towers Codes currently in effect as required by Yorkville and all applicable marking and lighting standards as established by the Federal Aviation Administration.
- n. **Removal of Abandoned Antennas, Antenna Structures, or Towers.** Any antenna, antenna structure, or tower that is not operated for a continuous period of twelve (12) months or for which the annual administrative fee is not paid within a twelve (12) month period shall be considered abandoned, and the owner of such antenna, antenna structure, or tower shall remove same from within ninety (90) days of receipt of written notice from Yorkville notifying the owner of such abandonment. If such antenna, antenna structure, or tower is not removed within said ninety (90) days Yorkville shall remove such antenna, antenna structure, or tower at the owner's expense and file a lien against the real estate for the cost of removal or such other action as provided by law. If there are two (2) or more users of a single antenna, antenna structure, or tower, then this provision shall not become effective until all users cease using the antenna, antenna structure, or tower.
- o. **Collocation.** A request for approval of a special use permit for the installation of an antenna, alternative antenna, antenna structure or tower, the Zoning Board may by express condition require that the applicant shall allow, on a commercially reasonable basis, other providers of small wireless telecommunications services to collocate additional antennas or antenna structures on a freestanding pole which is part of applicant's proposed small wireless facility, where collocation is technologically feasible.

7. **Nonconforming Uses.**

- a. **Prohibited Expansion of Nonconforming Use.** Towers that are constructed and antennas that are installed in accordance with the provisions of this chapter shall not be deemed to constitute the expansion of a nonconforming use or structure.
- b. **Preexisting Towers.** Preexisting towers shall be allowed to continue their usage as they presently exist. Routine maintenance (including replacement with a new tower of like construction and height) shall be permitted on such preexisting towers. New construction other than routine maintenance on a preexisting tower shall comply with the requirements of this chapter.
- c. **Rebuilding Damaged or Destroyed Nonconforming Antennas, Antenna Structures or Towers.** Notwithstanding any provision in this chapter to the contrary, bona fide nonconforming antennas, antenna structures or towers or antennas that are damaged or destroyed may be rebuilt without having first obtained administrative approval or a special use permit and without having to meet the separation requirements specified elsewhere in this chapter. The type, height, and location of the tower on-site shall be of the same type and intensity as the original facility approved. Building permits to rebuild a facility shall comply with the then applicable building codes and shall be obtained within one hundred eighty (180) days from the date the facility is damaged or destroyed. If no permit is obtained within the time specified or if said permit expires, the tower or antenna shall be deemed abandoned as specified in Section 10-4-15 (A)(4)(n) of this chapter.

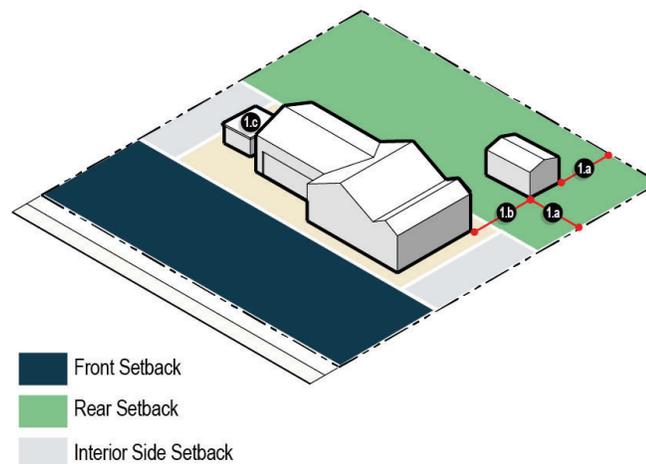
- 8. **Annual Reporting of Information.** Each owner of an antenna, antenna structure, or tower regulated under this chapter, and including those previously existing structures which would have been regulated under this chapter, shall, on an annual basis, furnish Yorkville with such information as is required by Yorkville to aid with the administration of this chapter, such as changes in availability of space on any tower for collocation of additional antennas, plans to abandon a position on a tower, thereby leaving space for the possible collocation of another antenna, plans and/or willingness to modify said tower and antenna structure so as to provide for the possibility of collocation, or intentions to abandon a tower structure, or other nonproprietary information as may be required by Yorkville. Upon written notice from the City of Yorkville to the owner thereof, the effective date of this chapter, which tower and/or antenna structure would otherwise be regulated by this chapter, shall register with Yorkville, and shall provide such nonproprietary information as is deemed useful by Yorkville for administration of this chapter. This section is specifically deemed to have retroactive effect.

## 10-4-16. Accessory Use Standards

### A. Accessory Buildings and Accessory Structures, Permanent.

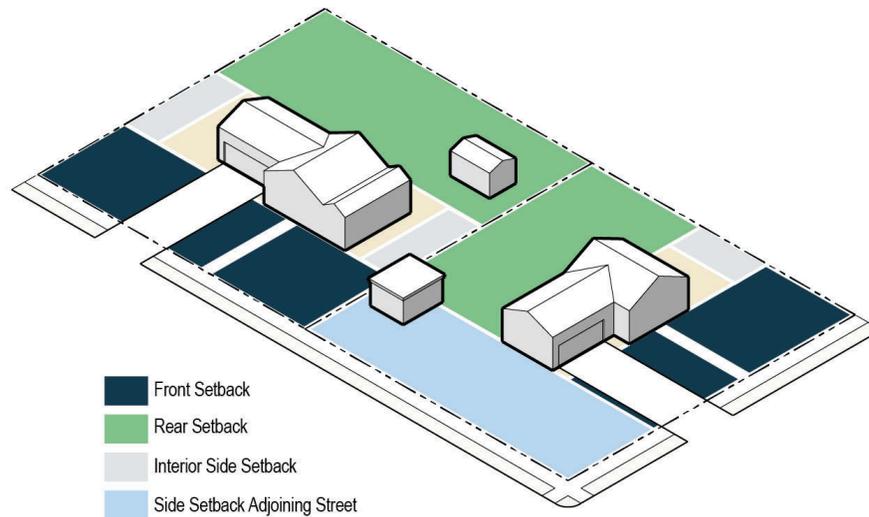
1. **Location.** Accessory buildings and structures shall be subject to the following locational requirements:
  - a. If located entirely within the required rear or side yard the accessory building or structure shall be located a minimum of five (5) feet from side and rear property lines.
  - b. Only accessory buildings shall be located at least ten (10) feet from the principal building, however, accessory structures may be attached to or located adjacent to the principal building.
  - c. If located entirely within the buildable area of the lot, the accessory building or structure shall not be located between the primary building and the front property line.
  - d. No permanent accessory building or structure shall be located within a public utility easement or within a designated stormwater overflow route.
  - e. If located partially in a required yard and partially in the buildable area of the lot, the accessory building or structure shall maintain the required side setback for the full length of the property and be a minimum of five (5) feet from the rear property line.

**Figure 4.11. Permanent Accessory Buildings and Accessory Structures Standards**



2. **Location on Reversed Corner Lots.** On a reversed corner lot in a residence district and within fifteen (15) feet of any adjacent property to the rear in a residence district, no accessory building or permanent accessory structure or portion thereof shall be closer to the side lot line abutting the street than a distance equal to sixty (60) percent of the minimum depth required in Table 10-3-9(A) for the front yard on such adjacent property to the rear. Further, in the above instance, no such accessory building or structure shall be located within five (5) feet of any part of a rear lot line which coincides with a side lot line or portion thereof of property in a residence district.

**Figure 4.12. Permanent Accessory Building and Accessory Standards - Location on Reversed Corner Lots**



3. **Time of Construction.** No accessory building or permanent accessory structure with a connected water supply shall be constructed on any zoning lot prior to the start of construction of the principal building to which it is accessory, or as provided in section 10-3-3 of this title for contiguous parcels.
4. **Height of Accessory Buildings or Structures in Required Rear Yards.** No accessory building or permanent accessory structure or portion thereof shall exceed fifteen (15) feet in height when located within the required rear yard.

**B. Accessory Commercial Unit**

1. Only one (1) ACU may be allowed per lot.
2. An accessory commercial unit (ACU) shall be located in a permanent accessory building or structure subject to all standards in Section 10-4-16(A).
3. Outdoor seating, drive-throughs, outdoor display areas, and rooftop decks associated with an ACU shall be prohibited.
4. An ADA-compliant pedestrian circulation system shall connect the primary entrance of the ACU building with the sidewalk in a way that does not require out-of-direction travel.
5. The hours of operation shall be limited to between 7 am and 9 pm daily.
6. The City Council may limit the number of customers or clientele served by the ACU per day during the Special Use Permit process.
7. The ACU shall use the same mailbox, water meter, and trash containers as the principal use. The use of additional mailboxes, water meters, or trash containers by the secondary dwelling unit separate from the principal use shall be prohibited.
8. The owner of the property on which the ACU is situated shall continue to occupy the principal residential structure on-site as their primary residence.

**C. Domestic Hens.** The keeping of domestic hens shall be subject to the provisions of Title 8, Chapter 19 of the City of Yorkville Code of Ordinances.

**D. Drive Throughs.**

1. Drive throughs shall be permitted a maximum of four (4) menu boards per lane.
2. Each menu board or pre-order board shall not exceed sixty (60) square feet in area and ten (10) feet in height. Menu boards and pre-order boards may utilize electrically activated changeable copy message centers for one hundred (100) percent of the permitted menu board or pre-order board area and must follow all regulations of Section 10-6-5(B).
3. Any structural element of a drive through, including pavement, speaker boxes, or menu signs shall be located a minimum distance of five hundred (500) feet from the property line of any residentially zoned parcel.
4. Any speaker or intercom associated with a drive through shall not be audible beyond the boundaries of the property.
5. Stacking spaces and lanes for drive through stations shall not impede on- and off-street traffic movement, shall not cross off-street parking areas or drive aisles and shall not impede pedestrian access to a public building entrance.
6. Drive through lanes shall be separated from off-street parking areas. Individual lanes shall be striped, marked, or otherwise delineated, subject to City Engineer approval.
7. Drive through facilities shall be provided with a bypass lane with a minimum width of twelve (12) feet unless an alternative means of exit is approved by the City Engineer.
8. Stacking lanes shall have a minimum depth of twenty (20) feet per stacking space and the following minimum lane widths:
  - a. One (1) lane: twelve (12) feet.
  - b. Two (2) or more lanes: ten (10) feet per lane.
  - c. Drive through facilities shall be required to provide a minimum number of stacking spaces as detailed in Table 10-4-16 (D).

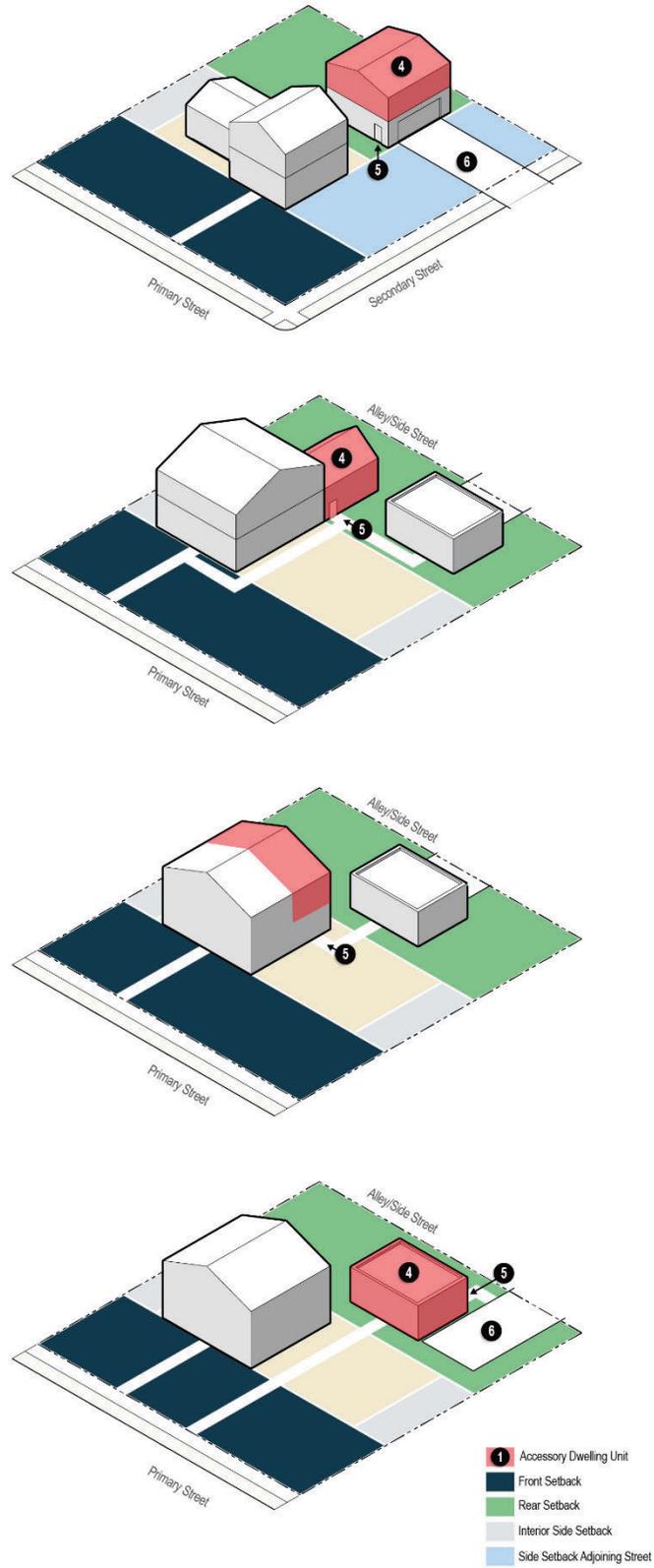
<b>Use</b>	<b>Minimum Stack</b>	<b>Measure From</b>
<i>Automated Teller Machine</i>	3 per machine	teller machine
<i>Bank Teller Lane</i>	2 per lane	teller or window
<i>Restaurant</i>	6 per order box	order box <sup>1</sup>
<i>Carwash Stall, Automatic</i>	5 per stall	stall entrance
<i>Carwash Stall, Manual</i>	3 per stall	stall entrance
<i>Oil Change Shop</i>	3 per service bay	service bay entrance
<i>Pharmacy</i>	4 per lane	machine or window
<i>Other</i>	as determined by the Zoning Officer	

1. Four (4) of the required stacking spaces are to be located between the order-box and pick-up window, including the stacking space at the order box.

**E. Dwelling, Accessory.**

1. One (1) accessory dwelling unit shall be permitted on a lot. The accessory dwelling shall only be allowed on a lot on which the sole principal use is a single-unit dwelling.
2. Detached accessory dwelling units shall not exceed nine hundred (900) square feet or ten (10) percent of size of the lot, whichever is less.
3. Attached accessory dwelling units shall not exceed nine hundred (900) square feet or thirty (30) percent of the size of the principal building, whichever is less.
4. Detached and attached secondary dwelling units shall be located to the rear of the primary building.
5. Only one (1) entrance shall be located on the front façade of the primary building. Entrances to secondary dwelling units must be located on the side or rear façade.
6. Both the principal structure and the accessory dwelling unit shall be served by one (1) common driveway connecting the principal and accessory dwelling units to a public or private road.
7. Parking for the accessory dwelling unit shall be in addition to the parking space(s) required for the primary dwelling unit. The parking for the accessory dwelling unit shall not be located in the required front yard setback. A tandem parking space, where one (1) car is parked behind another within the driveway, with the spaces required for the primary building shall be prohibited.
8. The accessory dwelling shall use the same mailbox, water meter, and trash containers as the principal dwelling unit. The use of additional mailboxes, water meters, and trash containers by the accessory dwelling unit separate from the principal dwelling unit shall be prohibited.
9. Accessory dwelling units shall be similar in character to the primary building and to abutting properties including roof pitch, eaves, exterior building cladding materials, windows, trim, color, and landscaping.

Figure 4.13. Accessory Dwelling Unit Standards



**F. Recreational Vehicle, Trailer, and Boat Parking.**

1. **Permanently Affixing to Ground Prohibited.** Recreational vehicles, trailers, and other recreational equipment shall not be permanently affixed to the ground as principal or accessory structures on a lot in any district.
2. **Improved Hard Surface.** Recreational vehicles, trailers, boats, and other recreational equipment shall be parked on a driveway or a parking pad as specified in Section 10-5-2(B)(4) if constructed in a front or side yard but may be parked on the grass if located in the rear yard as approved only by the City Engineer.
3. **Number.** A maximum of one (1) recreational vehicle, trailer, boat, or other recreational equipment shall be parked on a lot any given time, in addition to any automobiles permitted by the Zoning Ordinance.
4. **Location.** Recreational vehicles, trailers, boats, and other recreational equipment shall be located per the following:
  - a. If located entirely within the required rear yard the recreational vehicle, trailer, boat, or other recreational equipment shall be located a minimum of five (5) feet from side and rear property lines,
  - b. If located entirely within the buildable area of the lot the recreational vehicle, trailer, boat, or other recreational equipment shall not be located between the primary building and the front property line, or
  - c. If located partially in the required rear yard and partially in the buildable area of the lot the recreational vehicle, trailer, boat, or other recreational equipment shall maintain the required side yard setback for the full length of the property and be a minimum of five (5) feet from the rear property line.
5. **Screening.** If a recreational vehicle, trailer, boat, or other recreational equipment is parked on a driveway located within the required side yard setback it shall be screened from the adjacent property with a six (6) foot high opaque fence.

**G. Home Occupations.** The standards for home occupations are intended to ensure compatibility with other permitted uses and maintain the existing character of the surrounding area. Any gainful activity which is not a permitted home occupation as defined in this title shall be considered a business use and shall not be allowed under the provisions of this Section. Any such use existing on the effective date of this title shall be subject to provisions of Chapter 9 for the elimination of a nonconforming use.

1. Any customary home occupation shall be permitted provided that:
  - a. It is conducted entirely within the dwelling by the residents of the dwelling and when such home occupation is clearly incidental and secondary to the use of the dwelling for residential purposes.
  - b. It does not require internal or external alteration;
  - c. It does not involve construction features or use of equipment not customary in a dwelling;
  - d. The entrance to the space devoted to such occupation shall be from within the dwelling;
  - e. Not more than twenty-five (25) percent of the floor area, including the lookout basement, of the dwelling shall be devoted to such home occupation. If more than one (1) home occupation is operated in a residence, the combined total square footage devoted to all such home occupations shall not exceed twenty-five (25) percent of the floor area of the dwelling;
  - f. There is no display or activity that will indicate from the exterior of the dwelling that it is being used in part for any use other than a dwelling.
  - g. No electrical or mechanical equipment is used, except such as is customarily used for purely domestic or household purposes;
  - h. Off-street parking is provided in accordance with the provisions of Section 10-5-1(H), of this title;

- i. Limited amounts of goods, commodities or stock in trade shall be received, retained, used, or stored on, or physically transferred from the premises;
  - j. Teaching of musical instruments and dancing shall be conducted only in a single-unit detached dwellings; It does not interfere with the reasonable use and enjoyment of adjacent properties, such as, but not limited to, those home occupations that create any form of electromagnetic interference or cause fluctuation in line voltage outside of the dwelling in which the home occupation is conducted;
  - k. It does not generate any solid waste or sewage discharge in a volume or type which is not normally associated with a residential use in the zoning district; and
  - l. In-home daycare/childcare services shall meet the following provisions:
    - (1) Any person operating an in-home daycare/childcare service shall obtain a license from the Illinois Department of Children and Family Services before commencing the operation of such service.
    - (2) Any person operating an in-home daycare/childcare service shall obtain an operational permit from the Bristol Kendall Fire District.
    - (3) In home daycare/childcare services are limited to no more than twelve (12) children under the age of twelve (12) at any one (1) time, unless approved through a special use permit pursuant to Section 10-8-5 of this title.
2. Any home occupation requiring a local, state, or federal license shall be obtained.
3. The following home occupations are prohibited:
- a. Selling or manufacturing of firearms;
  - b. Automobile repair services;
  - c. Jobbing, wholesale, or retail businesses, unless conducted entirely by mail, electronically, or telephone;
  - d. Manufacturing business;
  - e. Medical clinic or hospital;
  - f. Animal hospital or kennel (animal grooming services are permitted);
  - g. Restaurant;
  - h. Mortuary and funeral parlors; and
  - i. Commercial automobile repair;
  - j. Any activity that produces noxious matter or employs or produces flammable matter.
- H. **Outdoor Displays.** In the business and manufacturing districts outdoor displays are permitted accessory uses provided that the following provisions are met. However, nothing in this section shall waive the prohibition of outdoor storage as defined and regulated in this title.
- 1. **Accessory Use.** Outdoor displays shall be permitted only as an accessory use on the same lot as a permitted or special use of the business or operation located there and shall not operate as a separate enterprise.
  - 2. **Nature of Merchandise.** The goods, merchandise, or products offered for sale in an outdoor display area must be of such a nature that they are not typically located within a permanent building or structure, such as vehicles, trailers, farming equipment, landscape supplies, propane or other material contained in a pressurized tank, ice/vending machines, recycling containers and automated teller machines (ATM). Goods, merchandise or products that are

typically located within a permanent building or structure, such as clothing and prepared food, shall not be offered for sale in a permanent outdoor display area.

3. **Location.**

- a. **Setbacks.** Outdoor display areas may be located in front of, on the side of, or behind the primary building, but shall not encroach upon the required minimum yard setbacks for the zoning district in which it is located.
- b. **Parking.** Outdoor display areas may be located within existing parking spaces but only if there is a sufficient number of other parking spaces available to meet the minimum parking requirements of the use(s) on the property, as provided in Section 10-5-1(H)(5) of this title.
- c. **Pedestrian Walkways.** Outdoor display areas may be located on a pedestrian walkway if an unobstructed portion of the walkway measuring not less than three (3) feet in width shall be continuously maintained for pedestrian access and no point of ingress or egress from any building or any individual unit within any building shall be blocked at any time.
- d. **Right-of-Way.** Unless otherwise provided by this title, outdoor display areas shall not be located on any public or private right-of-way.
- e. **Lawn.** Outdoor display areas may be located on concrete, asphalt, or brick paver areas and shall not be located on lawn areas or required landscape areas.
- f. **Near Single-Unit Residence District.** No outdoor display areas shall be located within fifty (50) feet of any single-unit residentially zoned district, exclusive of rights-of-way.

4. **Size.** Outdoor display areas shall be limited to thirty-five (35) percent of the gross floor area of the primary building or tenant space to which the outdoor display area is an accessory, with the exception of vehicle, trailer and farming equipment dealerships.
5. **Visibility.** Outdoor display areas shall comply with the Vision Clearance requirements of section 10-5-6 of this title.
6. **Maintenance.** All outdoor display areas must be maintained and displayed in a neat, orderly, and safe manner at all times.

## 10-4-17. Temporary Use Standards

### A. Accessory Structures, Temporary.

1. Temporary accessory structures shall be allowed for between thirty (30) days and six (6) months as approved through a temporary use permit as specified in Section 10-8-3(F).
2. If located entirely within the required yard the accessory building or structure shall be located a minimum of five (5) feet from side and rear property lines.
3. Temporary accessory structures may be attached to or located adjacent to the principal building.
4. If located entirely within the buildable area of the lot the temporary accessory structure shall not be located between the primary building and the front property line.
5. If located partially in the required rear yard and partially in the buildable area of the lot, the temporary accessory structure shall maintain the required side yard setback for the full length of the property and be a minimum of five (5) feet from the rear property line.
6. **Time of Construction.** No temporary accessory structure with a connected water supply shall be constructed on any zoning lot prior to the start of construction of the principal building to which it is accessory.

### B. Mobile Food Vendor Vehicles and Retail Vendor Vehicles.

1. **Purpose.** The purpose of this section is to encourage and regulate the operation of mobile food vendor and retail vendor vehicles subject to operational standards, on public and private property within the City. These operational standards and application procedures are intended to recognize the opportunity for unique outdoor portable fare and added convenience to persons living and working within Yorkville, while protecting the health, safety and welfare of the general public.
2. **General Provisions.**
  - a. Mobile food vendor vehicles and mobile retail vendor vehicles shall obtain a certificate of registration from the office of the City Clerk in accordance with title 3, chapter 5 of the City of Yorkville Municipal Code.
  - b. Mobile food vendor vehicles and mobile retail vendor vehicles must comply with all federal, state, county, and local business tax, sales tax, and other tax requirements.
  - c. It shall be a violation to operate a mobile food vendor vehicle or mobile retail vendor vehicle at any location except in compliance with the requirements of this section.
  - d. Mobile food vendor vehicles and mobile retail vendor vehicles are permitted in all zoning districts of the City, subject to the location and operational standards established in this title.
  - e. Mobile food vendor vehicles and mobile retail vendor vehicles shall not:
    - (1) obstruct or interfere with the free flow of pedestrian or vehicular traffic, including but not limited to, access to or from any business, public building, or dwelling;
    - (2) conflict with the vision clearance requirements of section 10-5-6 of this title; or
    - (3) prevent access of emergency vehicles.
  - f. Drive-through vending is prohibited. No vendor shall make sales to any person in a vehicle.
  - g. No amplified music or loudspeakers shall be permitted.

- h. Any exterior lighting provided on the mobile food vendor vehicles or mobile retail vendor vehicles shall comply with the standards of Section 10-5-7.
- i. No sales or service of alcohol shall be allowed by mobile food vendor vehicles.
- j. Mobile food vendor vehicles and mobile retail vendor vehicles shall provide at least one (1) trash receptacle for use by patrons and in a convenient location that does not impede pedestrian or vehicular traffic. All litter or debris generated immediately within the vicinity of the mobile food vendor vehicle or mobile retail vendor vehicle shall be collected and removed by the mobile operator.

**3. Location and Operational Standards.**

**a. Mobile Food Vendor Vehicles and Mobile Retail Vendor Vehicles Operating within the Public Right-of-Way.**

- (1) Mobile food vendor vehicles and mobile retail vendor vehicles shall be legally parked in full compliance with all State and local parking provisions which apply to the location at which it is parked, including any sign prohibiting the parking or standing of a vehicle or indicating a parking time limit.
- (2) Operation of mobile food vendor vehicles and mobile retail vendor vehicles within City parks shall be subject to rules and regulations established by the Park Board.
- (3) No unattended mobile food vendor vehicle or mobile retail vendor vehicle shall be parked or left overnight within a public right-of-way or on any other public property.
- (4) Mobile food vendor vehicles or mobile retail vendor vehicles shall not operate within the public right-of-way within five hundred (500) feet from any K-12 school building, as defined by the State of Illinois, between the hours of 7:00 a.m. and 4:00 p.m. on regular school days, unless as part of a permitted special event or rally.
- (5) Mobile food vendor vehicles or mobile retail vendor vehicles shall not be parked within twenty-five (25) feet from a street intersection with a crosswalk, traffic light, or stop sign, or within twenty-five (25) feet from a railroad crossing.
- (6) Mobile food vendor vehicles or mobile retail vendor vehicle operators shall be responsible for organizing customer queuing in a manner that maintains a clear path along the sidewalk that is at least four (4) feet wide and does not interfere with or obstruct the free passage of pedestrians.
- (7) All sales and service shall be limited solely to that side of the mobile food vendor vehicle or mobile retail vendor vehicle facing away from the public street.
- (8) Mobile food vendor vehicles and mobile retail vendor vehicles shall not encroach onto a public sidewalk with any part of the vehicle, or any other equipment or furniture related to the operation of its business, except for required refuse receptacles.
- (9) Mobile food vendor vehicles greater than thirty-five (35) feet in length, or that occupy more than two (2) on-street parking spaces, are not permitted to operate in the public right-of-way adjacent to residentially zoned properties.
- (10) Mobile food vendor vehicles or mobile retail vendor vehicles shall not block a lawfully placed monument sign of another business.

**b. Mobile Food Vendor Vehicles and Retail Vendor Vehicles Operating on Private Property.**

- (1) Mobile food vendor vehicles and retail vendor vehicles may be permitted to operate on private property as a temporary accessory use in all zoning districts.
- (2) Mobile food vendor vehicles and retail vendor vehicles shall not occupy more than eight (8) of the required parking spaces on an improved lot or exceed the maximum lot coverage for the district in which it is located on an unimproved lot.
- (3) The maximum number of mobile food vendor vehicles and retail vendor vehicles permitted on a site shall be determined as follows:
  - (a) One (1) mobile food vendor vehicle or retail vendor vehicle may operate on the site for every five hundred twenty-five (525) square feet of paved area (at least thirty-five (35) feet by fifteen (15) feet in dimension); except that mobile food vendor vehicles or retail vendor vehicles greater than thirty-five (35) feet in length require a space at least seventy feet (70) by fifteen (15) feet.
  - (b) Mobile food vendor vehicle and retail vendor vehicle operations shall occur upon a paved, level parking area or surface.
  - (c) Mobile food vendor vehicles and retail vendor vehicles parked within required parking areas shall not impede pedestrian or vehicle ingress or egress through the remainder of the parking area or adjacent public right-of-way.
  - (d) Mobile food vendor vehicles and retail vendor vehicles may be permitted to have canopies and outdoor seating areas, provided these additional outdoor accessories may not occupy more than two (2) parking spaces per mobile food vendor vehicle or retail vendor vehicle.

**c. Canteen Trucks Operating on Private Property.**

- (1) Canteen trucks may operate on an unimproved lot or parcel, only if such lot or parcel or an adjoining lot or parcel is undergoing permitted construction activity.
- (2) Canteen trucks shall not block fire lanes, designated construction traffic lanes for ingress or egress, or access to or from the construction site.
- (3) No unattended canteen truck shall be parked overnight on any property.

**d. Private Vendor Service by Mobile Food Vendor Vehicles and Mobile Retail Vendor Vehicles.**

- (1) Mobile food vendor vehicles and mobile retail vendor vehicles may provide private sales service within the public right-of-way and on private property in residential districts only.
- (2) Private vendor services by mobile food vendor vehicles and mobile retail vendor vehicles shall be limited to private guests of the event host only. No walk-up customers are permitted.
- (3) Payment shall occur directly between the event host and the mobile food vendor vehicle and retail vendor vehicle. No payment transactions shall occur for individual orders.
- (4) All operational standards for operating a mobile food vendor vehicle and mobile retail vendor vehicle as provided in this section shall apply.

**C. Storage of Roadway Construction Materials.**

1. A temporary use permit and building permit shall be required prior to the establishment of a storage area for roadway construction materials. In addition to all required permit application materials, the following shall be required:
  - a. A site plan depicting the location of proposed construction material storage locations, site ingress and egress, stormwater runoff control measures, other stormwater management practices, and any other information requested by the Zoning Officer shall be required; and
  - b. A traffic plan.
2. Roadway construction material storage areas shall be utilized between the hours of 7:00am and 10:00pm only.

**D. Portable Outdoor Storage Device.** Portable outdoor storage devices are allowed in any district provided they are issued a temporary use permit and meet the following conditions:

1. Only one portable outdoor storage device may be located on a lot at a time.
2. No portion of any portable outdoor storage device may extend onto the public right-of-way, including but not limited to sidewalks, parkways, streets, or alleys unless otherwise approved through the temporary use permit.
3. The portable outdoor storage device shall not exceed eight (8) feet in width, twelve (12) feet in length and eight (8) feet in height, or seven-hundred sixty-eight (768) cubic feet.
4. The portable outdoor storage device must be located on an impervious surface.
5. Placement of a portable outdoor storage device shall be limited to thirty (30) days per residential lot, per calendar year.
6. Placement of a portable outdoor storage device shall be limited to sixty (60) days per business, manufacturing, institutional, open space, or agricultural lot, per calendar year.
7. Every portable outdoor storage device must be locked and secured when not being loaded or unloaded.
8. The temporary use permit shall be prominently displayed during the approval period.
9. The Planning and Zoning Commission may approve containers that exceed the allowable number, size, surface, or length of time.

**E. Temporary and Seasonal Uses.**

1. **Purpose.** To further encourage the revitalization of the downtown and other areas within the City, these standards are intended to provide a temporary but unique environment for relaxation, social interaction, and food or beverage consumption within public rights-of-way and public sidewalks without impeding the free and safe flow of pedestrian or vehicular traffic.
2. **General Provisions.**
  - a. **Encroachment.** A sidewalk cafe or parklet cafe shall not be considered an "encroachment" so long as all outdoor facilities related thereto are temporary in nature, are not permanently affixed so as to extend below or above the sidewalk or public right-of-way, involve no penetration of the sidewalk surface or public right-of-way, are not attached to any building and are readily removable without damage to the surface of the sidewalk or public right-of-way.
  - b. **Time Period.** Sidewalk cafes and parklet cafes may be permitted from April 1st through October 31st. Time extensions may be granted for sidewalk cafe and parklet cafe operations per the discretion of the Zoning Administrator on a case-by-case basis. Parklet cafes not removed after October 31st and without an approved extension may be removed by the City at the owner's expense.

- c. **Permit.**
    - (1) Sidewalk cafes and parklet cafes shall require a permit pursuant to the standards established in 10-4-16(E) of this title.
    - (2) Outdoor dining on a public sidewalk or within the right-of-way may occur only pursuant to the issuance of a permit.
    - (3) A sidewalk cafe or parklet cafe permit is non-transferrable.
  - d. **Prohibited Locations.** Outside dining will not be permitted on sidewalks or within the public right-of-way designated by the City Council as shared bicycle and pedestrian trails or paths.
  - e. **Seating.** Seating in the sidewalk cafe or parklet cafe shall not be included to meet the required guest seating capacity for any license classification.
  - f. **Indemnification.** The permittee shall defend, indemnify, and hold the City, and its employees harmless from and against any loss or damage arising from the use or existence of the improvements or encroachment authorized under the sidewalk cafe or parklet cafe permit.
3. **Development and Design Standards.** The following standards, criteria, conditions and restrictions shall apply to all sidewalk cafes and parklet cafes, provided, however, that the Zoning Administrator or designee may impose additional conditions and restrictions to protect and promote the public health, safety, or welfare to prevent a nuisance from developing or continuing, and to comply with all other City ordinances and applicable state and federal laws.
- a. **Sidewalk Café.**
    - (1) **Design Elements.**
      - (a) Elements of a typical sidewalk cafe may include, but are not limited to, the following: barriers, planters, tables, chairs, umbrellas, menu display, heat lamps and ingress/egress access point.
      - (b) The design, material, and colors used for the furniture and fixtures within the sidewalk cafe shall complement the architectural style and colors of the building facade and public street furniture, if any, and withstand inclement weather.
    - (2) **Setbacks.**
      - (a) No element of the sidewalk cafe, as described above, may obstruct the pedestrian way in a manner which reduces the depth of the pedestrian way to less than five (5) feet. Light poles, tree wells, fire hydrants and other such items may fall within the pedestrian path allowed between the curb and the leading edge of the sidewalk cafe.
      - (b) A sidewalk cafe shall not unreasonably obstruct the visibility of neighboring businesses. In such cases a sidewalk cafe operator may be required to adjust the layout of the outdoor dining area per the recommendation of the Zoning Administrator or designee.
      - (c) Sidewalk cafes must be located a minimum distance of one hundred (100) feet from the nearest residential zoned district.
      - (d) The width of the sidewalk cafe must not extend beyond the frontage of the business establishment unless written notarized consent of the adjacent business and property owner has been provided to the Zoning Administrator.
      - (e) Sidewalk cafes located at a street corner must maintain a ten (10) foot setback from the corner of the building along both frontages.

- (f) For sidewalk cafes located adjacent to a driveway or an alley, setback distances will be at the discretion of the Zoning Administrator in locations where unusual circumstances exist or where public safety would be jeopardized.

(3) **Barriers.**

- (a) The perimeter of sidewalk cafes that extend more than three (3) feet into the public right-of-way shall be enclosed by barriers that are durable, removable, and maintained in good condition.
- (b) Sidewalk cafes that extend three (3) feet or less into the public right-of-way and do not serve alcohol are not required to be enclosed by a barrier.
- (c) Sidewalk cafes that serve alcohol must be surrounded by a barrier in all cases. Barrier access point must be controlled by the sidewalk cafe operator/business establishment. Business establishment owners should maintain compliance with Yorkville's Liquor Control Ordinance standards for serving alcohol outside of enclosed businesses.
- (d) Moveable barriers and all furniture shall be removed at the end of each business day unless otherwise approved by the Zoning Administrator or designee. Moveable barriers shall be capable of being removed through the use of recessed sleeves and posts, wheels that can be locked in place, and/or weighted bases. Barrier segment bases should be flat with tapered edges that are between one-fourth (0.25) inch and one-half (0.5) inch thick.
- (e) The maximum height of any barrier shall not exceed three (3) feet six (6) inches. The lowest point in the barrier should be no more than six (6) inches in height above the ground to comply with ADA detectable warning regulations.
- (f) Rigid fence sections may be placed end-to-end to create the appearance of a single fence. Sectional fencing shall be composed of metal or wood and shall be painted or finished in a complementary color to the building color or accent materials. Sectional fencing may be constructed from other materials such as but not limited to aircraft cable, fabric, steel or iron elements if approved by the Zoning Administrator or designee.

(g) **Planters.**

- (i) Planters may also be used as a barrier or planter boxes as barrier components.
- (ii) Planters must be no more than three (3) feet in height and plant materials may be up to three (3) feet tall.
- (iii) Planters shall be kept in clean condition, contain living plants, and be removed at the end of each business day.
- (h) Access openings must be kept clear of all materials and should measure no less than forty-four (44) inches wide.

(4) **Awnings and Umbrellas.**

- (a) The use of awnings over the outdoor dining area or removable table umbrellas may be permitted provided they do not interfere with street trees.
- (b) No portion of the awning shall be less than eight (8) feet above the sidewalk and no portion of the umbrella shall be less than seven (7) feet above the sidewalk.
- (c) Awnings may extend up to five (5) feet from the front of the building's facade or cover up to fifty (50) percent of the outdoor dining area, whichever is less.

- (d) Awnings shall have no support posts located within the public right-of-way.
- (e) A separate building permit must be obtained prior to the installation of the awning.
- (f) Notwithstanding any provisions in this Code, signs and logos shall be permitted on umbrellas or awnings in outdoor dining areas.

**(5) Prohibited Items.**

- (a) Permanently affixed furniture to the public sidewalk is prohibited.
- (b) Shelves, serving stations, flimsy plastic tables and chairs, unfinished lumber or splintering wooden materials, rusted metal, and loudspeakers, are prohibited.
- (c) Tying or otherwise securing sidewalk cafe elements to trees, lamp posts, street signs, streetlights, and/or hydrants is prohibited.
- (d) Chain link, rope rails, and chain are prohibited as barrier materials.
- (e) Rails, buckets, flag poles, and newspaper stands are prohibited.
- (f) No alterations or coverings should be made to the sidewalks or placed over the sidewalk cafe space. Platforms, artificial turf, paint, or carpet in sidewalk cafe areas is prohibited.
- (g) If wait service is not provided in the sidewalk cafe area, the business establishment is required to supply a waste receptacle. If wait service is provided, the business establishment is prohibited from placing a waste receptacle in the sidewalk cafe.

**b. Parklet Café.**

- (1) The parklet cafe site shall be located on at least one (1) parking spot within the public way and appurtenances thereof shall be a minimum of two (2) feet from the nearest edge of sidewalk. Parklet cafes are restricted to City of Yorkville public streets and shall not be permitted on any state, county or township roadways.
- (2) Tables, chairs, umbrellas or other fixtures in the parklet cafe:
  - (a) Shall not be placed within five (5) feet of fire hydrants, alleys or bike racks.
  - (b) Shall not be placed within five (5) feet of a pedestrian crosswalk.
  - (c) Shall not block designated ingress, egress, or fire exits from or to the business establishment or any other structures.
  - (d) Shall not be physically attached, chained, or in any manner affixed to any structure, tree, signpost, or light pole.
  - (e) May be removed by the City at owner's expense if not installed per approved plans or installed after permit expiration.
  - (f) Shall be maintained in a clean, sanitary, and safe manner.
  - (g) Shall consist of commercial-grade furniture.
  - (h) Shall not be placed outside or hang over the designated parklet cafe area.

- (3) The parklet cafe shall be located in such a manner that a distance of not less than four (4) feet is maintained at all times as a clear and unobstructed pedestrian path. For the purpose of the minimum clear path, traffic signs, trees, light poles and all similar obstacles shall be considered obstructions.
- (4) The parklet cafe, along with the sidewalk and roadway immediately adjacent to it, shall be maintained in a neat and orderly manner at all times. Debris shall be removed as required during the day and again at the close of each business day. Maintenance details shall include access panels and how drainage will be provided along the existing drainage way.
- (5) Parklet cafe decking must be flush with the curb and may not have more than a one-half (0.5) inch gap from the curb.
- (6) The parklet cafe platform shall allow for access underneath the platform and curbside drainage may not be impeded.
- (7) All rails around the parklet cafe must be capable of withstanding a two hundred (200) pound horizontal force.
- (8) The parklet cafe shall be required to have reflective tape, soft hit posts, wheel stops and, depending on the proposed location, may be required by the Zoning Administrator or designee to have edging such as planters, railing or cables.
  - (a) If cables are used, vertical spacing between cables may not exceed six (6) inches.
- (9) Umbrellas and other decorative material shall be made of treated wood, canvas, cloth, or similar material that is manufactured to be fire-resistant. No portion of an umbrella shall be less than six (6) feet eight (8) inches above the sidewalk. Umbrellas must be secured.
- (10) Temporary signage such as menu boards or easels may be permitted in parklet cafes.
- (11) No food preparation, food or beverage storage, refrigeration apparatus or equipment shall be allowed in the parklet cafe unless authorized by the Zoning Administrator or designee as part of a special event.
- (12) No amplified entertainment shall be allowed in the parklet cafe unless authorized by the Zoning Administrator or designee as part of a special event.
- (13) Parklet cafes shall meet the vision clearance requirements of Section 10-5-6 of this title.

## Chapter 5. Development Standards

10-5-1. Off-Street Parking and Loading .....	1
10-5-2. Driveways .....	18
10-5-3. Landscape .....	22
10-5-4. Screening .....	36
10-5-5. Fences .....	39
10-5-6. Vision Clearance .....	41
10-5-7. Outdoor Lighting .....	42

### 10-5-1. Off-Street Parking and Loading

- A. **Purpose.** The purpose of this section is to regulate off-street parking and loading areas on private property outside the public right-of-way. The regulations are intended to achieve the following:
1. Relieve traffic congestion on streets by providing adequate, but not excessive, off-street parking;
  2. Encourage the use of alternate forms of transportation including bicycling, transit, walking, and ride sharing services;
  3. Avoid unnecessary conflicts between vehicles, bicycles, and pedestrians; and
  4. Minimize negative impacts on adjacent properties and the environment.
- B. **General Provisions.**
1. **Application.** The off-street parking and loading provisions in this section shall apply to the following:
    - a. **New Development.** All new buildings, structures, and land uses established after the adoption of this title must comply with the parking and loading regulations established in this section.
    - b. **Expansion.** When an existing building or structure increases in intensity or is expanded, the number of parking spaces and/or loading facilities must be modified to meet the parking and loading regulations. The number of parking spaces and/or loading facilities that must be modified will be determined by the unit of measurement specified for that land use in Table 10-5-1(H)(5). However, no building or structure lawfully erected or use lawfully established prior to the effective date shall be required to provide additional parking spaces and/or loading facilities unless the aggregate increase in units of measurements is greater than fifteen (15) percent.
    - c. **New Use.** Whenever the existing use of a building or structure is changed to a new use, parking or loading facilities shall be provided as required for such new use, unless otherwise approved as a Variation as detailed in Section 10-8-9. However, if said building or structure was erected prior to the effective date of this title, additional parking or loading facilities are mandatory only in the amount by which the requirements for the new use would exceed those for the existing use if the latter were subject to the parking and loading provisions of this title.
  2. **Existing Parking and Loading Facilities.** Accessory off-street parking or loading facilities which are located on the same lot as the building or use served and were in existence on the effective date of this title shall not be required to reduce the amount of parking and loading facilities regulated in this title. A change of occupancy is not a change of use unless the new occupant is considered in a different use classification.

3. **Control of Off-Site Parking Facilities.** Where required parking facilities are provided on land other than the zoning lot on which the building or use served by such facilities is located, they shall be and remain in the same possession or ownership as the zoning lot occupied by the building or use to which the parking facilities are necessary. No such off-site parking facilities shall be authorized and no zoning certificate shall be issued where the plans call for parking facilities other than on the same zoning lot until and unless approved as an Variation as detailed in Section 10-8-9. Prior to approval as an Administrative Exception, the owners of the multiple properties shall provide an agreement in a form approved by the City Administrator with consultation from the City Attorney attesting that the off-site parking facilities will be maintained at all times during the life of the proposed use or building.

**C. Use of Parking Areas.**

1. All required off-street parking areas shall continually be available for the parking of operable vehicles of intended users of the site.
2. No off-street parking area shall be used for storage of equipment or materials except where otherwise approved.

**D. Requirements For All Parking.**

1. Drive aisles shall be required in the parking areas that have five (5) or more spaces.
2. All required parking lots, by this Code, shall comply with the accessibility requirements of the State of Illinois Accessibility Code and the ADA.

**E. Parking Stall and Aisle Dimensions.**

1. **Standard Parking Stall and Aisle Dimensions.** Standard parking spaces, including interlocking standard parking spaces, shall comply with the minimum dimensional and layout requirements specified in Table 10-5-1(E)(1) and as generally illustrated in Figure 5.1.

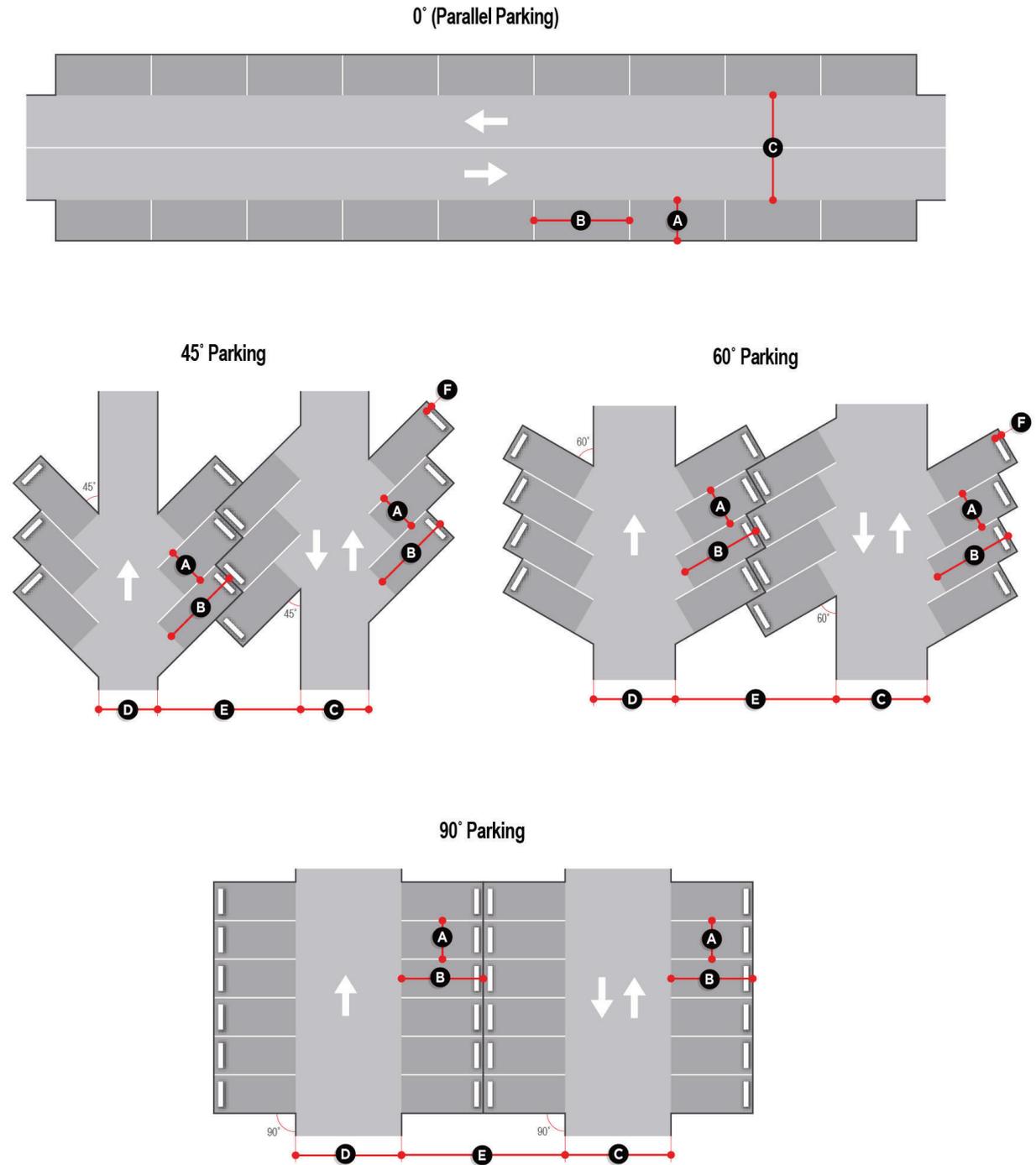
<b>Table 10-5-1(E)(1) Standard Parking Stall and Aisle Dimensional Requirements</b>						
<b>Parking Angle (degrees)</b>	<i>Figure Reference</i>					
	<b>A</b>	<b>B</b>	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
	<b>Space Width</b>	<b>Space Depth</b>	<b>Aisle Width (2-Way)</b>	<b>Aisle Width (1-Way)</b>	<b>Depth of Interlocking Spaces</b>	<b>Overhang</b>
0	9'	20'	24'	12'	n/a	n/a
45	9'	18'	24'	12'	28.25'	2'
60	9'	18'	24'	18'	32'	2'
90	9'	18'	24'	24'	36'	2'

2. **Compact Parking and Motorcycle Stall and Aisle Dimensions.**

- a. Compact parking stalls and aisles shall comply with the minimum dimensional and layout requirements specified in Table 10-5-1(E)(2).
- b. In parking areas containing more than ten (10) spaces, up to five (5) percent of the spaces exceeding the first ten (10) spaces may be designed for compact vehicles.
- c. Compact parking spaces shall be labeled for such purposes.
- d. Compact parking stalls shall be grouped together and separated from standard parking stalls. Striping of at least one half (1/2) foot in width shall be used to visually delineate the edge of the area used for compact vehicle parking spaces from standards parking stalls.

<b>Table 10-5-1(E)(2) Compact Parking Space Dimensional Requirements</b>						
<b>Parking Angle (degrees)</b>	<i>Figure Reference</i>					
	<b>A</b>	<b>B</b>	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
	<b>Space Width</b>	<b>Space Depth</b>	<b>Aisle Width (2-Way)</b>	<b>Aisle Width (1-Way)</b>	<b>Depth of Interlocking Spaces</b>	<b>Overhang</b>
0	7.5'	18'	18'	12'	n/a	n/a
45	7.5'	15.5'	18'	12'	28.25'	1.5'
60	7.5'	16.25'	18'	16'	32'	1.5'
90	7.5'	15.5'	24'	24'	36'	n/a

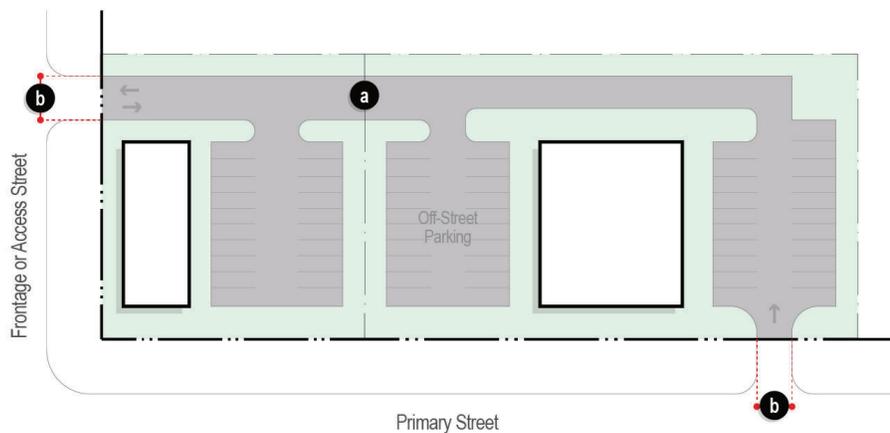
Figure 5.1. Dimensional Requirements of Parking Spaces and Drive Aisles



F. **Access and Cross Access.**

1. **Access.** To ensure safe and efficient means of automobile access for all parking spaces, each required off-street parking space shall open directly upon an aisle or driveway unless the facility is serviced by a parking attendant.
2. **Cross Access.** To facilitate vehicular access between adjoining developments, encourage shared vehicle parking, and minimize access points along streets, new multi-unit, nonresidential, and mixed-use development or redevelopment shall comply with the following standards:
  - a. Internal vehicular circulation systems shall be designed to allow for vehicular cross-access between the development's vehicle parking facilities and vehicle parking facilities in an adjoining multi-unit, nonresidential, or mixed-use development, or to the boundary of adjoining vacant land zoned to allow multi-unit, nonresidential, or mixed-use development.
  - b. Required vehicular cross access between the adjoining lots shall be provided through the use of a frontage or service street (if the lots front on a major thoroughfare right-of-way), a single two-way maneuvering lane, or two one-way maneuvering lanes that are sufficiently wide to accommodate traffic by automobiles, service vehicles, loading vehicles, and emergency vehicles.
  - c. The Zoning Administrator may waive or modify the requirement for vehicular cross access on determining that such cross access is impractical or undesirable because it would require crossing a significant physical barrier or environmentally sensitive area, would create unsafe conditions, or there exists an inability to connect to adjacent property. City Council shall have the authority to waive or modify vehicular cross access requirements for all public review processes involving review by City Council.
  - d. Easements allowing cross access to and from properties served by a vehicular cross-access, along with agreements defining maintenance responsibilities of property owners, shall be recorded with the Register of Deeds for the county in which the properties are located before issuance of a Building Permit for the development.

**Figure 5.2. Cross Access Standards**



3. **Surfacing.** All open off-street parking areas shall be surfaced with a material and at a thickness per use type as specified in the City of Yorkville Standard Specifications Driveway and Parking Lot Paving Standards.

- G. **Location.** Off-street parking spaces may be located in any yard defined by this title. The location of off-street parking spaces in relation to the use served shall be as prescribed below. All distances specified shall be property line to parking space and a main entrance to the use served.

1. **Residence Districts.** Parking spaces accessory to dwellings shall be located on the same zoning lot as the use served. Spaces accessory to uses other than dwellings may be located on a lot adjacent to, or directly across a street or alley from the lot occupied by the use served, but in no case at a distance in excess of three hundred (300) feet from such use.
2. **Business and Manufacturing Districts.** All required parking spaces shall be within one thousand (1,000) feet of the use served, except for spaces accessory to dwelling units (except those located in a hotel) which shall be within three hundred (300) feet of the use served. However, no parking spaces accessory to a use in a business or manufacturing district shall be located in a residence district unless authorized by the Planning and Zoning Commission in accordance with this title.

**H. Off-Street Parking Requirements.**

1. **Minimum Requirements.** Except as otherwise expressly stated, off-street parking spaces shall be provided in accordance with the parking ratio requirements established in Table 10-5-1(H)(5) Minimum Parking Requirements. Parking spaces reserved for specific user groups, other than ADA compliant spaces and spaces with electric vehicle charging stations, shall not count towards the minimum requirement.
2. **Maximum Requirements.** To minimize excessive areas of pavement, no off-street parking area for nonresidential or multi-unit uses shall exceed the required minimum number of parking spaces by more than twenty (20) percent, except as approved by the Zoning Administrator. In approving additional spaces, the Zoning Administrator shall determine that the parking is needed based on documented evidence of actual use and demand provided by the applicant.
3. **Parking in the B-2 District.** Nonresidential uses in the B-2 Mixed Use District shall be exempted from providing off-street parking as required in the form-based code.
4. **Calculations.** The following rules shall apply when calculating the required minimum number of parking spaces.
  - a. **Fractions.** When measurements of the number of required spaces result in a fractional number, the fraction shall be rounded up to the next highest whole number.
  - b. **Area Measurements.** Unless otherwise expressly stated, all area-based (square footage) parking standards must be computed on the basis of net floor area (NFA) as defined in Section 10-2-6(L) of this ordinance.
5. **Unlisted Uses.** In the case of uses not listed in Table 10-5-1(H)(5) Minimum Parking Requirements, the number of spaces for a similar use, as determined by the Zoning Administrator, shall apply.

**Table 10-5-1(H)(5) Minimum Parking Requirements**

Use	Minimum Parking Requirement, 8,000 sq ft or less	Minimum Parking Requirement, more than 8,000 sq ft
<i>Agricultural Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Agricultural uses		
Apiaries	n/a	n/a
Campground	1/campsite	1/campsite
Commercial feeding of fish, poultry, livestock		
Cultivation of nonfood crops and seeds used of cellulosic biofuels production		
Farming/Cultivation		
Forestation		
Grain elevators and storage	n/a	n/a
Nursery/greenhouses	1/1,000 sqft	0.5/1,000 sqft

**Table 10-5-1(H)(5) Minimum Parking Requirements**

<b>Use</b>	<b>Minimum Parking Requirement, 8,000 sq ft or less</b>	<b>Minimum Parking Requirement, more than 8,000 sq ft</b>
Recreational camp - private	1/campsite	1/campsite
Riding academies with stables	1/6 stalls	1/6 stalls
Roadside stand	1/200 sq ft	1/200 sq ft
Stables or paddocks	n/a	n/a
<i>Residential Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Dwelling, duplex	1/unit	1/unit
Dwelling, multi-unit	1.25/unit	1.25/unit
Dwelling, single-unit		
Dwelling, accessory		
Dwelling, townhouse	1/unit	1/unit
Senior housing, dependent	0.25/unit	0.25/unit
Senior housing, independent	0.5/unit	0.5/unit
<i>Lodging Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Bed and breakfast inn		
Hotel		
Motel		
Short-term rental	1/lodging unit	0.5/lodging unit
<i>Commercial Retail Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Adult uses		
Building material sales		
Liquor store		
Pawnbrokers/pawnshops		
Retail store, general - less than one (1) acre		
Retail store, general greater than one (1) acre	3/1,000 sq ft	2/1,000 sq ft
<i>Commercial Service Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Adult daycare facility		
Animal hospital		
Art galleries/art studio		
Auction house		
Bank		
Commercial laboratory		
Commercial/trade school		
Daycare facility		
Dry cleaning establishment		
Entertainment production studio		
Financial institutions and services		
Funeral home/mortuary/crematorium		
Health and fitness club/center		
Indoor shooting gallery/range	3/1,000 sq ft	2/1,000 sq ft

<b>Table 10-5-1(H)(5) Minimum Parking Requirements</b>		
<b>Use</b>	<b>Minimum Parking Requirement, 8,000 sq ft or less</b>	<b>Minimum Parking Requirement, more than 8,000 sq ft</b>
Kennel, commercial or private dog kennels		
Massage establishment		
Off track betting (OTB) establishments		
Professional care services		
Professional services/offices	2/1,000 sq ft	1/1,000 sq ft
Radio and television studios	3/1,000 sq ft	2/1,000 sq ft
Storage, indoor single-building climate controlled	3/10 storage units	3/12 storage units
Storage, outdoor self storage	1/45 storage units	1/55 storage units
Tattoo and body piercing establishment		
Veterinary clinic	3/1,000 sq ft	2/1,000 sq ft
<b>Commercial Entertainment Uses</b>	<b>8,000 sq ft or less</b>	<b>More than 8,000 sq ft</b>
Amusement park		
Commercial entertainment, indoor		
Commercial entertainment, outdoor		
Community / Recreation center		
Golf course, miniature		
Golf course		
Golf driving range		
Indoor Event/Recreation Conversion		
Outdoor music venues		
Skating rink		
Stadium		
Swimming pool - indoor		
Theater, live performance	As deemed appropriate by the City Engineer	As deemed appropriate by the City Engineer
Theater, motion picture	As deemed appropriate by the City Engineer	As deemed appropriate by the City Engineer
<b>Eating and Drinking Uses</b>	<b>8,000 sq ft or less</b>	<b>More than 8,000 sq ft</b>
Brewery/Winery/Distillery tasting room		
Brewpub		
Microbrewery, microdistillery, and microwinery		
Prepared Food Service Establishment		
Restaurant		
Tavern - nightclub or lounge	3/1,000 sq ft	2/1,000 sq ft
<b>Medical Uses</b>	<b>8,000 sq ft or less</b>	<b>More than 8,000 sq ft</b>
Hospital		
Medical clinic / office		
Treatment center	1/300 sq ft	1/300 sq ft
<b>Vehicle Related Uses</b>	<b>8,000 sq ft or less</b>	<b>More than 8,000 sq ft</b>
Automobile parts/accessories sales		
Automobile rental	1/1,000 sq ft	0.5/1,000 sq ft
Automobile repair	1/200 sq ft	1/200 sq ft

**Table 10-5-1(H)(5) Minimum Parking Requirements**

Use	Minimum Parking Requirement, 8,000 sq ft or less	Minimum Parking Requirement, more than 8,000 sq ft
Automobile sales enclosed and service/open sales lot		
Boat sales and rental		
Boat storage	1/1,000 sq ft	0.5/1,000 sq ft
Car wash	1/car wash bay	1/car wash bay
Gasoline service station	1/gas pump and 1/300 sq ft accessory retail space	1/gas pump and 1/300 sq ft accessory retail space
Heavy machinery and equipment rental		
Recreational vehicle sales and service	1/1,000 sq ft	1.5/1,000 sq ft
Semi-truck repair	1/service bay	1/service bay
Truck and trailer sales/rental	1/1,000 sq ft	0.5/1,000 sq ft
Truck, truck-tractor, truck trailer, car trailer or bus storage yard - not include motor freight terminal	n/a	n/a
<i>Energy Industrial Uses</i>	<i>As specified below</i>	<i>As specified below</i>
Battery Uses		More than 70,000 sq ft: 0.3 / 1,000 sq ft
Data Center	70,000 sq ft or less: 20	
Refrigerated Warehouse (Cold Storage)	150,000 sq ft or less: 0.5/1,000 sq ft	More than 150,000 sq ft: 0.3/1,000 sq ft
<i>Industrial Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Aggregate materials extraction, processing and site reclamation (stone and gravel quarries)		
Artisan manufacturing		
Assembly, production, manufacturing, testing, repairing, or processing		
Bakery (wholesale - retail component special use)		
Blacksmith or welding shop		
Brewery/winery/distillery		
Contractor facilities with outdoor storage		
Dry cleaning plant		
Manufacturer of firearms and ammunition		
Newspaper publishing		
Research laboratories		
Wholesaling and warehousing - local cartage express facilities - including motor freight terminal	0.5/1,000 sq ft	0.3/1,000 sq ft
<i>Transportation Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Airport		
Bus or truck garage or streetcar house		
Bus or truck storage yard		
Motor freight terminals		
Railroad passenger station		
Railroad repair shops, maintenance buildings and switching yards	As determined by parking demand study (1)	As determined by parking demand study (1)
<i>Alternative Energy Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Solar farm	2	n/a
Building mounted solar energy systems	n/a	n/a

**Table 10-5-1(H)(5) Minimum Parking Requirements**

Use	Minimum Parking Requirement, 8,000 sq ft or less	Minimum Parking Requirement, more than 8,000 sq ft
Freestanding solar energy systems - accessory use		
Freestanding solar energy systems - principal use		
Wind farm	max of 2	n/a
Wind energy system, building-mounted		
Wind energy system, freestanding - accessory use	n/a	n/a
Wind energy system freestanding - principal use	max of 2	n/a
<b>Medical and Adult Cannabis Uses</b>	<b>8,000 sq ft or less</b>	<b>More than 8,000 sq ft</b>
Cannabis Craft Grower	n/a	n/a
Cannabis Cultivation Center	1/1,000 sq ft	0.5/1,000 sq ft
Cannabis Dispensing Organization	3/1,000 sq ft	2/1,000 sq ft
Cannabis Infuser Organization		
Cannabis Processing Organization	0.5/1,000 sq ft	0.3/1,000 sq ft
Cannabis Transporting Organization	As determined by parking demand study (1)	As determined by parking demand study (1)
<b>Institutional, Public, and Utility Uses</b>	<b>8,000 sq ft or less</b>	<b>More than 8,000 sq ft</b>
Cemetery		
College, university or junior college		
Communications use		
Electric substation		
Filtration plant		
Fire station		
Library		
Parks	As determined by parking demand study(1)	As determined by parking demand study (1)
Place of worship/assembly	1/6 seats	0.5/6 seats
Playground	As determined by parking demand study (1)	As determined by parking demand study (1)
Police station		
Post office		
Preschool	3/1,000 sq ft	3/1,000 sq ft
Public utility - electric substations and distribution centers, gas regulation centers and underground gas holder stations		
Public utility facilities (other)		
Radio and television towers - commercial		
Sanitary landfill		
School, public or private		
Sewage treatment plant		
Solid waste disposal site		
Utility company maintenance yard		
Utility service yard or garage	As determined by parking demand study (1)	As determined by parking demand study (1)

<sup>(1)</sup> The applicant shall propose an appropriate parking requirement specific to their proposal, which shall be supported by a parking study, and shall be approved by the City Engineer.

- I. **Fee-In-Lieu of Off-Street Parking.** An applicant may request to pay a fee-in-lieu of the off-street parking required in this Section. The City will allocate the fee to construct and maintain public parking facilities.
1. All requests for a fee-in-lieu of off-street parking shall be subject to approval by the City Council. A maximum of twenty (20) percent of the off-street parking required in this subsection may be substituted for the provision of a fee-in-lieu of parking.
  2. The developer shall provide the average cost of an off-street parking space as provided per the City of Yorkville's adopted ordinances and as verified by the City Engineer.
  3. An approved payment in lieu of providing parking shall be paid prior to issuance of a building permit.
- J. **Reserved Parking Spaces.**
1. **Curb-Side Pickup.**
    - a. A maximum of five (5) percent of required parking spaces specified in Table 10-5-1(H)(5) may be reserved for curb-side pickup patrons.
    - b. Parking spaces reserved for curb-side pickup patrons shall be located either to the side of the principal building, in the rear of the parking lot, away from main building entrances so as not to inhibit pedestrian travel between the principal building entrance and off-street parking areas, near employee exits or in another location approved by the Zoning Administrator.
    - c. The Zoning Administrator may reduce the minimum number of parking spots required by one (1) space per parking spot reserved for curbside pickup patrons.
  2. **Ride Share Pickup and Drop Off.**
    - a. A maximum of five (5) percent of required parking spaces may be reserved for ride share pick up and drop off.
    - b. Parking spaces reserved for ride share pick up and drop off shall be located either to the side of the principal building, in the rear of the parking lot, away from main building entrances, or in another location approved by the Zoning Administrator.
    - c. The Zoning Administrator may reduce the minimum number of parking spots required by one-half (0.5) space per parking spot reserved for ride share pick up and drop off.
- K. **Electric Vehicle Charging Stations.**
1. **Quantity Required.** Any parking structure, parking area serving a multiunit use, or any parking area with fifty (50) or more parking spaces, shall install the infrastructure required to accommodate a minimum of one (1) electric vehicle charging station per every fifty (50) parking spaces.
  2. **Measurement.** The number of electric vehicle charging stations required shall be determined based on the number of vehicle spaces provided that allow for electric vehicle charging. Double counting by using dual chargers per a single station but not providing the required number of vehicle spaces shall be prohibited.

- L. **Allowed Reductions to Required Parking.** Table 10-5-1(L) establishes reductions to required parking that may be approved by the Zoning Administrator.

<b>Table 10-5-1(L) Allowed Reductions to Required Parking</b>		
<b>Adjustment Type</b>	<b>Criteria</b>	<b>Adjustment Amount</b>
<i>Pedestrian Access</i>	Nonresidential use is located where residents of all residential and mixed-use areas within 1,320 feet of the subject property can walk to and from the nonresidential use on a continuous sidewalk system (ignoring intervening streets).	10% reduction
<i>Public Parking Lots</i>	Nonresidential use is located within 900 feet of a parking lot that is available for use by the public without charge (either directly or through a validation program in which the subject use participates).	10% reduction
<i>On-Street Parking</i>	Single-family or duplex residential is located along one or more public street frontages where public parking is permitted.	One legal on-street parking space (to a maximum of two parking spaces) can be substituted for every required off-street parking space provided the on-street space is located on a public right-of-way immediately abutting the property or tenant space seeking the parking adjustment. Where a partial space straddles an extension of a side property line, the space may be counted by the abutting property owner in front of whose property 50% or more of the space is located.
	Multifamily residential or nonresidential use located along one or more public street frontages where public parking is permitted.	One legal on-street parking space can be substituted for 0.5 of every required off-street parking space provided the on-street space is located on a public right-of-way immediately abutting the property or tenant space seeking the parking adjustment.
<i>Curbside Parking</i>	Commercial retail or eating and drinking use offering an online curbside pickup option.	One curbside parking space can be substituted for every required off-street parking space to a maximum 5% reduction of the total number of off-street parking spaces.

**M. Shared Parking.**

1. **Purpose.** Shared parking is the use of a parking space by vehicles generated by two (2) or more individual land uses without conflict or encroachment. Shared parking for multiple uses creates better pedestrian connections and reduces reliance on private vehicles because multiple trips may be taken by walking. Shared parking is encouraged for the benefits it provides as long as the use follows the conditions and standards listed below.
2. The ability to share spaces is the result of two (2) conditions:
  - a. Vehicles accumulate at different times; either by hours, days, or seasons.
  - b. Relationship of the uses allows for multiple visits in one (1) auto trip.
3. **Shared Parking Uses.** The uses listed subsections (a) and (b) are uses that are generally considered prime candidates for shared parking. While these are considered the main uses to have shared parking, the Zoning Administrator has the final authority on what uses may or may not share parking regardless of if the use is listed in the subsections below or not.
  - a. For purposes of this Section, the following uses are considered daytime uses:
    - (1) Office Uses,
    - (2) Commercial Service Uses,
    - (3) Commercial Retail Uses,
    - (4) Industrial Uses, and
    - (5) Other similar primarily daytime uses, as determined by the City Council.
  - b. For purposes of this Section, the following uses are considered evening or weekend uses:
    - (1) Physical Health and Entertainment Uses,
    - (2) Public/Semi-Public Uses,
    - (3) Eating and Drinking Uses, and
    - (4) Other similar primarily nighttime or weekend uses, as determined by the City Council.

**4. Standards.**

- a. The applicant must demonstrate that the shared parking area has a sufficient amount of spaces for the uses they intend to share the area with. The Zoning Administrator may require the applicant to provide data to support the sufficient parking claim.
- b. The nearest parking space shall be no farther than one thousand (1,000) feet from the principal buildings, structures, or uses. The path from the parking space to the principal building should consider:
  - (1) Adequate lighting.
  - (2) Separation from the right-of-way.
  - (3) Legal crosswalks for right-of-way crossing.
  - (4) Asphalt, concrete, or similar surface material.
- c. A legal document between the property owners that guarantees access to the shared parking must be submitted to the Zoning Administrator. The document will be approved by the City before being recorded. The termination of the agreement must be approved by the City and the owners must provide proof that each establishment meets the criteria within this title.

**N. Pedestrian Circulation Standards.**

1. Off-street parking areas shall include on-site pedestrian circulation systems to ensure the safety of pedestrians, bicyclists, and motorists.
2. The on-site pedestrian circulation system shall comply with all ADA standards.
3. The on-site pedestrian circulation system shall be marked and must connect all buildings on the site to one another and provide connections to the required vehicle and bicycle parking spaces.
4. The on-site pedestrian circulation system must connect building entrances to adjacent public rights-of-way along direct routes that do not require significant out-of-direction travel.
5. The on-site pedestrian circulation system shall provide at least one (1) connection to adjacent properties along a shared street frontage. Connections must provide access to existing walkways on adjacent properties, or to the likely future location of walkways on those properties. The Zoning Administrator may waive this requirement upon determining that no walkway exists, a future walkway is unlikely to exist, or such connection would create a safety hazard.
6. Connections to existing and future planned trails shall be provided.

- O. **Bicycle Parking.** The purpose of this section is to provide sufficient, safe, and convenient bicycle parking to encourage bicycling as a form of transportation, reducing traffic congestion, air pollution, wear and tear on roads, and use of fossil fuels, while fostering healthy physical activity.
1. **Types of Parking.** The following types of bicycle parking shall be allowed:
    - a. **Short-Term Parking.**
      - (1) **Bicycle Rack.** A bicycle rack is a device that is capable of supporting a bicycle in a stable position that secures the bicycle with at least two (2) points of contact. A single rack provides two (2) parking spots. The rack shall be no taller than three (3) feet tall and no less than eighteen (18) inches in length.
      - (2) **Bicycle Shelter.** A bicycle shelter is a covered parking area and provides all weather protection. The shelter should be designed to hold many bicycles. It is preferred that the shelter be close to other forms of transportation to encourage bicycle riding throughout the City.
    - b. **Long-Term Parking.**
      - (1) **Bicycle Locker.** A bicycle locker provides an all-weather, high security, and long-term parking solution. The enclosure should be made out of durable material that will keep the bicycle safe from weather or vandalism. The locker must be able to be locked to prevent theft and it must be able to be unlocked by the user for easy access. It is preferred that bicycle lockers are placed near other forms of transportation to encourage bicycle riding throughout the City.
      - (2) **Bicycle Station.** A bicycle station provides the highest level of service for long term parking. The station is intended to be a regional hub for bicycles in the area and it is expected for the station to provide services to cyclists. These services may include, but are not limited to, repair, lockers, showers, food and beverages, rental, and other storage facilities.
  2. **Off-Street Parking Reduction For Bicycle Parking.**
    - a. A reduction in the number of off-street vehicle parking spaces required shall be permitted for the provision of bicycle parking provided that:
      - (1) No fee is required for using the bicycle parking made available;
      - (2) When calculation of the maximum number of reduced parking spaces results in a fraction, the resulting number shall be rounded to the next highest integer.
    - b. The reduction in the number of vehicle parking spaces shall be reduced by no more than one (1) space for every two (2) bicycle parking spaces, but no more than five (5) percent of the total required spaces.
    - c. This provision is applicable to all land uses except single-unit residential and two-unit residential.
- P. **Land Banked Parking Facilities.** Land banking allows for the designation of a portion of land on a site that would be required for parking to be held and preserved as open space, rather than constructed as parking. This reduces the amount of impervious surface on a site for developments which otherwise would not have enough parked vehicles to fill the minimum required parking stalls, or "bank" the spaces until such time capacity warrants their construction.
1. **Standards.** The Planning and Zoning Commission may recommend to the City Council land banking of up to twenty-five (25) percent of the required parking spaces through the Variation process, as defined in Section 10-8-9 of this ordinance.
  2. **Land Bank Plans Required.** The owner of the property making a land bank request shall submit a detailed land banked parking plan for review by the Planning and Zoning Commission with final approval by the City Council. The

land banked parking plan shall show both full compliance with the parking regulations of this chapter and the land bank area showing the reduced number of parking spaces.

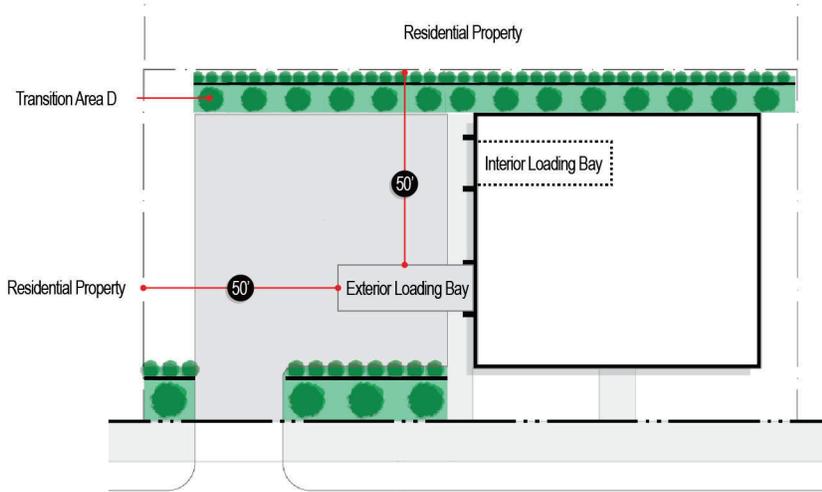
**3. Termination of Land Bank.**

- a. The City Council shall have the right in its discretion to require the property owner or successor, to construct all or a portion of the land banked parking facilities. Instances for termination, shall include, but not be limited to:
  - (1) The intensity of the use is increased,
  - (2) The type of use changes,
  - (3) There is an addition to the property or building.
- b. The Zoning Administrator will provide notice to the owner that the land banked parking facilities must be constructed and completed within one (1) year from the date of the notice.

**Q. Off-Street Loading Regulations and Requirements.**

- 1. **Location.** All loading berths shall be located on the same zoning lot as the use served. No loading berth for vehicles over two (2) tons of capacity shall be closer than fifty (50) feet to any property zoned or used for residential purposes unless all loading and unloading activities are located completely within the building, screened by the requirements for Transition Area D as detailed in Section 10-5-3(F)(3). No permitted or required loading berth that is open to the sky shall be located within any front or corner side yard and shall not be located within fifty (50) feet of the nearest point of intersection of any two (2) streets.
- 2. **Size.** Required size shall be determine on a case-by-case basis depending on the narrative provided by the petitioner or traffic study and shall be as approved by the Zoning Administrator.
- 3. **Surfacing.** All open off-street loading berths shall be improved with a compacted aggregate base not less than twelve (12) inches and surfaced with not less than four (4) inches of bituminous concrete or six (6) inches of concrete or some comparable all weather dustless material. The exact design to be determined based on projected use of the loading berth.
- 4. **Repair and Service.** No motor vehicle repair work or service of any kind shall be permitted in conjunction with loading facilities provided in any district.
- 5. **Loading Spaces Not to be Used for Parking Requirements.** Space allocated to any off-street loading berth shall not, while so allocated, be used to satisfy the space requirements for any off-street parking facilities or portions thereof.
- 6. **Special Uses.** For special uses other than prescribed hereinafter, loading berths adequate in number and size to serve such use, as determined by the Zoning Administrator, shall be provided.
- 7. **Required Off-Street Loading Spaces.** The number of loading spaces provided shall be determined on a case-by-case basis as approved by the Zoning Administrator and based on a narrative provided by the petitioner or traffic study. These spaces shall be provided in a manner that does not interfere with internal site circulation, ingress or egress to the site, access to or use of required off-street parking areas and pedestrian circulation areas, and with the public use of streets or alleys.

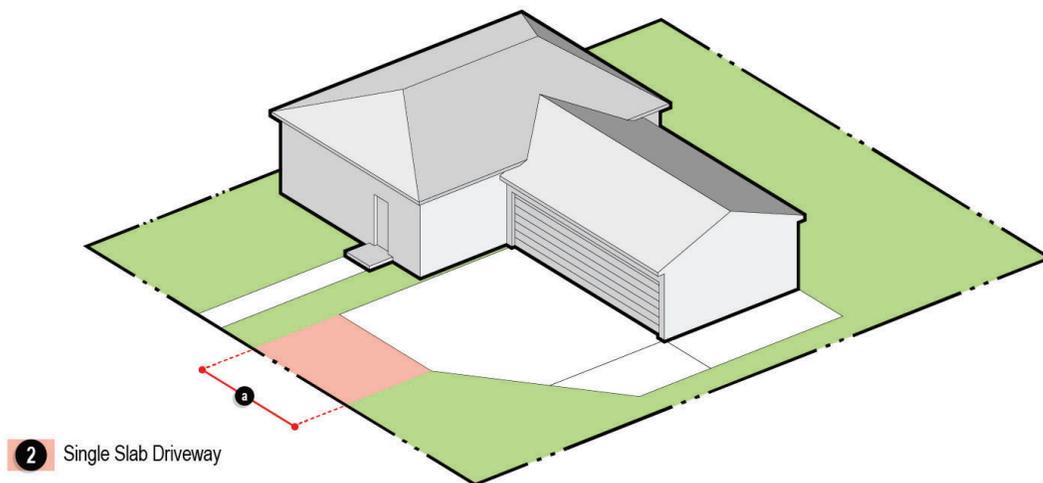
Figure 5.3. Off-Street Loading Spaces



## 10-5-2. Driveways

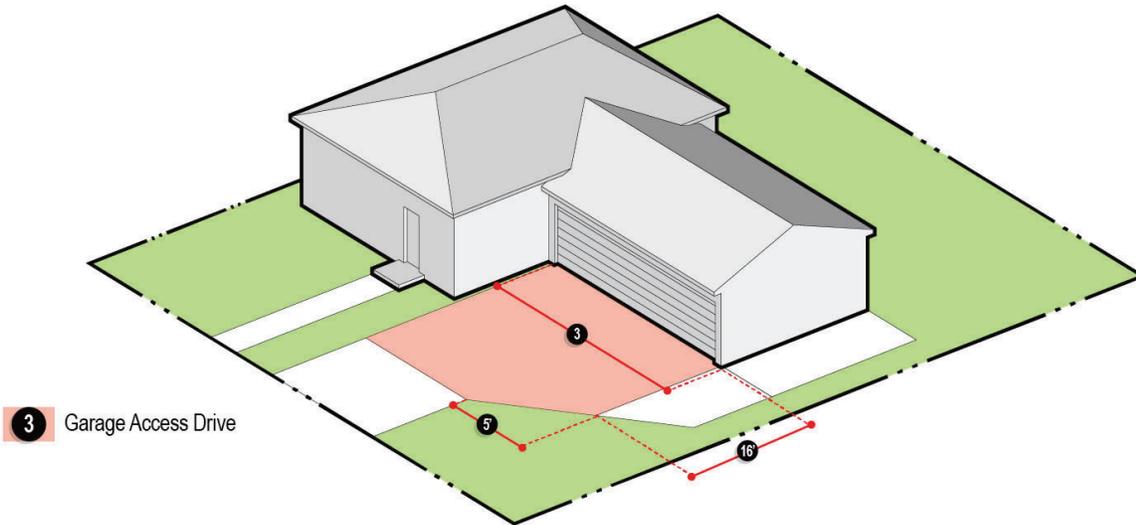
- A. **General Driveway Standards.** All driveways shall comply with the City of Yorkville's surfacing requirements as established in the City's Standard Specifications.
- B. **Single-Unit Driveway Standards.** A single slab driveway from the property line to legal, on-site parking shall be provided and shall be in conformance with the following criteria.
1. **Limit of One.** One (1) single slab driveway and one (1) curb cut shall be permitted per every seventy-five (75) feet of frontage of a single-unit residential lot. New residential parcels taking access from collector or arterial streets, shall share driveways in order to protect public safety by limiting curb cuts.
  2. **Single-Slab Driveway Design Standards.**
    - a. Single-slab driveways shall not exceed twenty-five (25) feet in width at the property line.
    - b. **Surfacing.** Single-slab driveways shall be surfaced as specified in the City of Yorkville's City Standard Specifications.

**Figure 5.4. Single-Unit Driveway Standards**



3. **Garage Access Drive.** A garage access drive, the width of the garage, as measured from the garage door(s) plus an additional one (1) foot on either side of the garage door(s), is permitted to extend for a distance of sixteen (16) feet from the garage doors before tapering, within five (5) feet, back to the maximum driveway width.

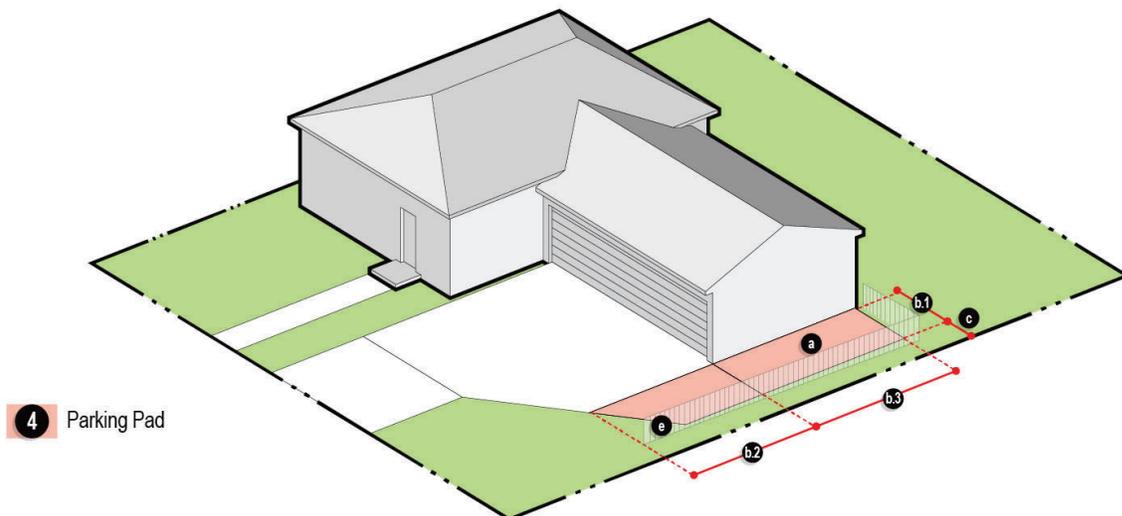
**Figure 5.5. Garage Access Drive Standards**



4. **Parking Pad.**

- a. **Limit of One.** A single-unit driveway may be extended to include one (1) parking pad.
- b. **Configuration.**
  - (1) A parking pad shall be a maximum of ten (10) feet in width.
  - (2) The portion of the parking pad adjacent to the driveway shall have a maximum length of twenty (20) feet, as measured from the front façade line of the garage. A minimum seven (7) foot taper shall be included in the twenty (20) foot maximum.
  - (3) The portion of the parking pad adjacent to the garage shall have a maximum length equal to the depth of the garage, as measured from the front façade line of the garage.
- c. **Location.** The parking pad shall be set back a minimum of five (5) feet from any side property line and shall be outside of all easements.
- d. **Surfacing.** Parking pads shall be surfaced with material and at a thickness as specified in the City of Yorkville's City Standard Specifications.
- e. **Screening.** All parking pads located within a required side yard shall be screened from view when facing adjoining property lines with material at least fifty (50) percent opacity and at a minimum height of five (5) feet. The provision of fencing subject to the requirements of Section 10-5-5 shall meet this requirement.
- f. **Covered Structures.** Covered structures located over parking pads shall not be allowed.
- g. **Vehicle Parking.** No vehicle over ten (10) feet in height may be parked on a parking pad.
- h. **Corner Lots.** Parking pads shall not be allowed on corner lots.

**Figure 5.6. Parking Pad Standards**



**D. Multi-unit and Nonresidential Driveway Standards.**

**1. Location.**

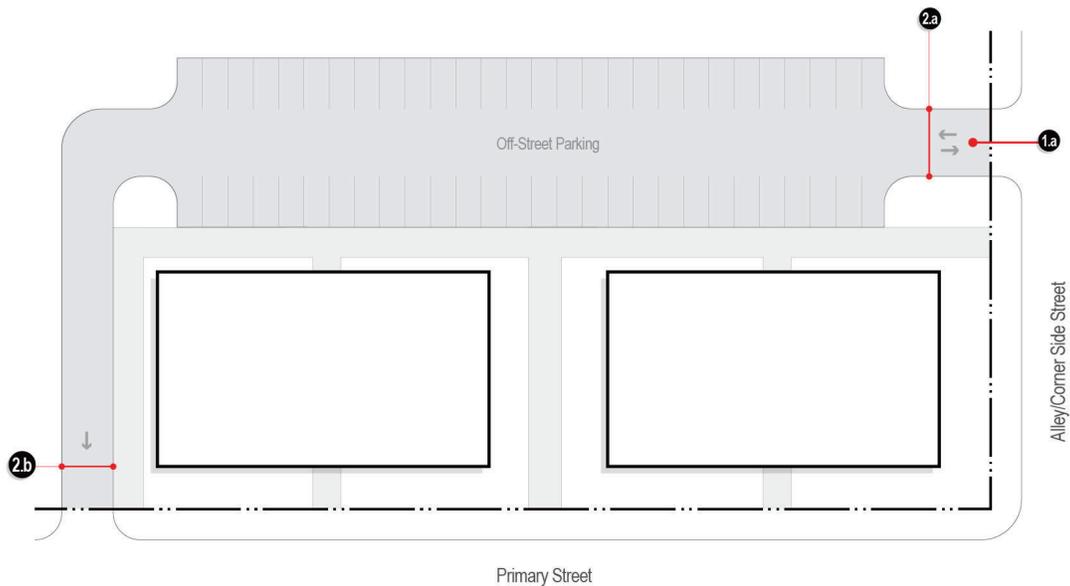
- a. Where an off-street parking area of a corner lot abuts an alley or a corner side street, access to the off-street parking area shall be obtained from a driveway off the alley or corner side street.
- b. No lot can have multiple driveways for purposes of vehicular ingress and egress without a minimum three hundred (300) foot separation between such curb cuts along a street.

**2. Driveway Design Standards.**

- a. Two-way driveways for multi-unit and nonresidential uses shall be a minimum of twenty-five (25) feet and a maximum of thirty-six (36) feet at the property line.
- b. One-way driveways for multi-unit and nonresidential uses shall be a minimum of sixteen (16) feet and a maximum of twenty (20) feet at the property line.
- c. Driveways for multi-unit and nonresidential uses shall be surfaced with an asphaltic concrete or portland cement pavement.

**E. Vehicle Stacking For Drive Throughs.** Vehicle stacking spaces for drive through uses shall be provided as specified in Section 10-4-15(D).

**Figure 5.7. Multi-unit and Nonresidential Driveway Standards**



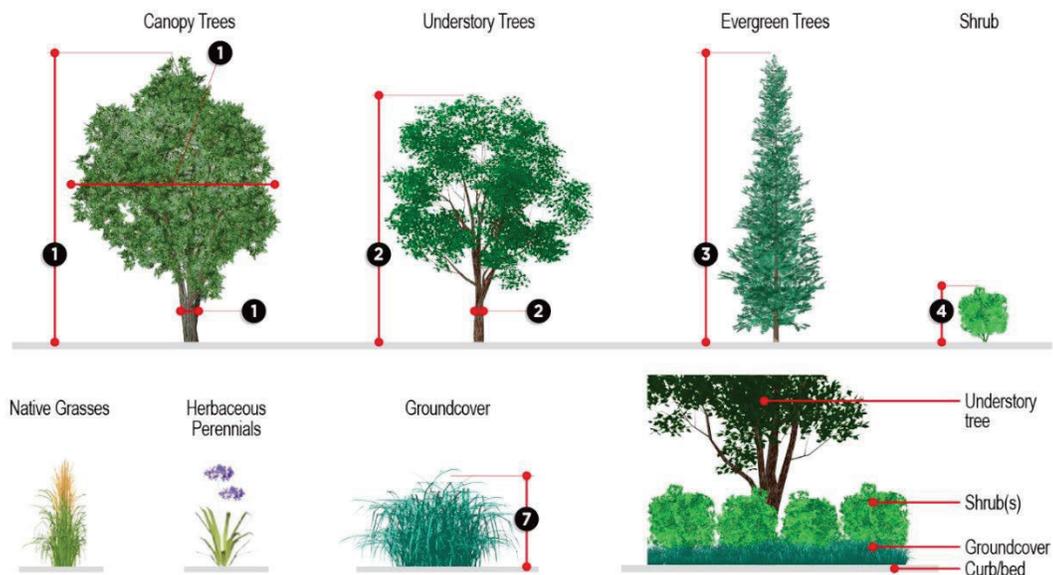
### 10-5-3. Landscape

Landscape improvements required by this section shall apply to all nonresidential, mixed use, and multi-unit development and consist of living vegetation in a combination of plants, trees, shrubs, native grasses, perennials, and/or groundcover. Unless otherwise stated in this section, all size specifications for plant materials shall be based upon the time of planting. When caliper is specified for tree planting, the caliper of the tree trunk shall be measured at average breast height (DBH typically 4.5 feet above ground). Any plant materials used to meet the requirements of this section shall not include any plant material identified as an invasive species by the Illinois Department of Natural Resources.

#### A. Planting Types.

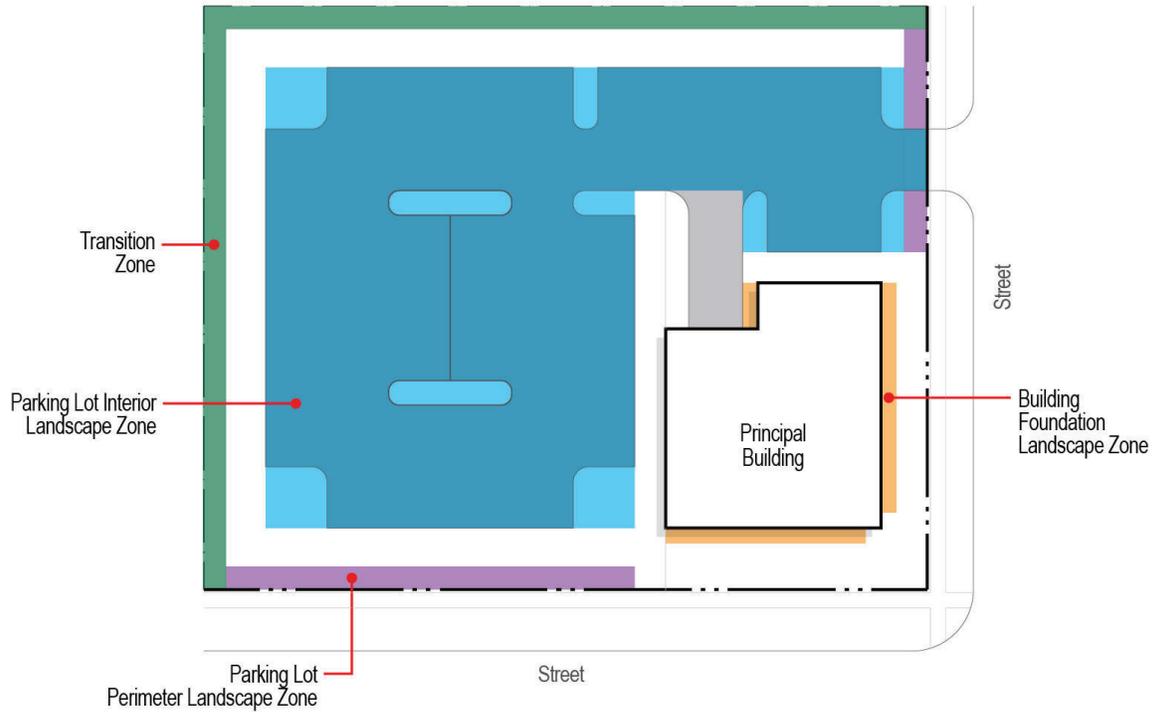
1. **Canopy Trees.** A woody plant (deciduous or evergreen) having not less than a two and one-half (2.5) inch caliper with single central axis which typically reaches a mature height of not less than forty (40) feet and a mature spread of not less than fifteen (15) feet.
2. **Understory Trees.** A woody plant having not less than a one and one-half (1.5) inch caliper, or six (6) feet tall for multiple stem species, that normally attains a mature height of at least fifteen (15) feet.
3. **Evergreen Trees.** A tree having foliage that persists and remains green throughout the year and has a height of not less than six (6) feet at installation and maturing to a height of not less than twenty (20) feet.
4. **Shrubs.** A woody plant (deciduous or evergreen) of low to medium height characterized by multiple stems continuous from its base and having a height of not less than two (2) feet, unless classified as a shrub by the State of Illinois.
5. **Native Grasses.** Grasses that are native to the State of Illinois or non-invasive ornamentals, but shall not include noxious weeds.
6. **Herbaceous Perennials.** Plants with non-woody stems whose above-ground growth largely or totally dies back during winter months but whose underground plant parts (roots, bulbs, etc.) survive.
7. **Groundcover.** Spreading herbaceous plants, other than turf grass, prostrate shrubs, or woody vines normally reaching an average maximum height of eighteen (18) inches at maturity.

Figure 5.8. Planting Types



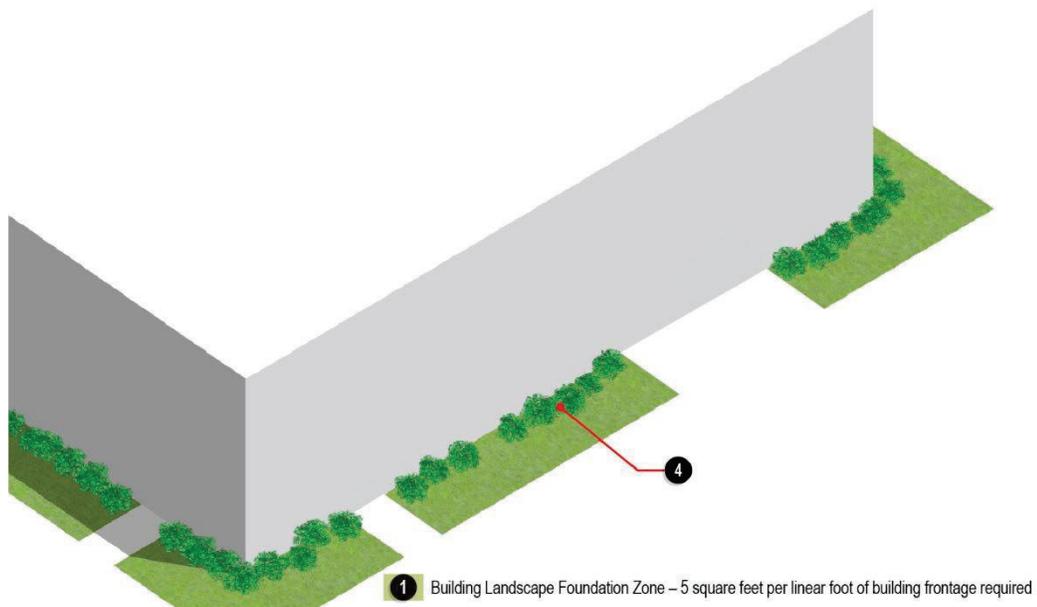
- B. **Required Landscape Zones.** Figure 5.9 illustrates the location of the required landscape zones as detailed in the following sections. The Zoning Administrator may approve exceptions to the required landscape zone as they deem necessary allow adequate construction and use of the site.

**Figure 5.9. Required Landscape Zones**



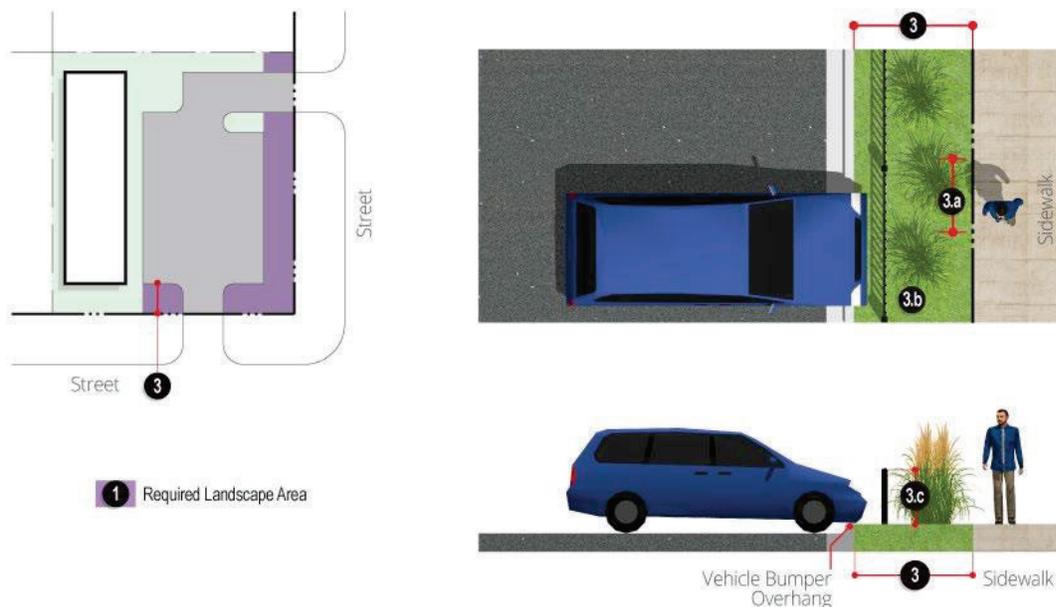
- C. **Building Foundation Landscape Zone.** All nonresidential, mixed-use, and multi-unit development where a front yard setback is required, with the exception of food processing facilities regulated by the FDA, shall include landscape located at the building foundation as required by this section. Landscape required by this section shall be in addition to landscape required under other sections of this title. It is the objective of this section to provide a softening effect at the base of buildings.
1. Applicable development is required to maintain a building foundation landscape zone at front and exterior side yards. Five (5) square feet of landscape area shall be provided per linear foot of building frontage facing the front and exterior side yards and shall be dispersed along the building foundation as approved by the Zoning Administrator.
  2. Foundation plantings shall be designed to supplement buffer yard plantings to frame important views, while visually softening long expanses of walls.
  3. Foundation plantings shall be installed in a manner that complements the architecture of the building, as approved by the Zoning Administrator, depending on site conditions and the location of walkways and driveways.
  4. Foundation plantings shall be installed in groupings or clusters of individual plants in a manner that enhances the site's appearance as proposed by the developer and deemed appropriate by the Zoning Administrator.
  5. Foundation plantings may include a mixture of the planting types specified in Section 10-5-3(A).
  6. Where the area between the building and parking lot or street curb is entirely paved for pedestrian use, landscaping may consist of canopy trees planted in structural soils beneath tree grates or permeable pavement, at the rate of one (1) tree per fifty (50) linear feet of building facade. Minimum structural soil volume shall be six hundred (600) cubic feet per tree.
  7. Above-ground stormwater planter boxes installed on-site may be substituted for foundation plantings as deemed appropriate by the Zoning Administrator.

**Figure 5.10. Building Foundation Landscape Zone**



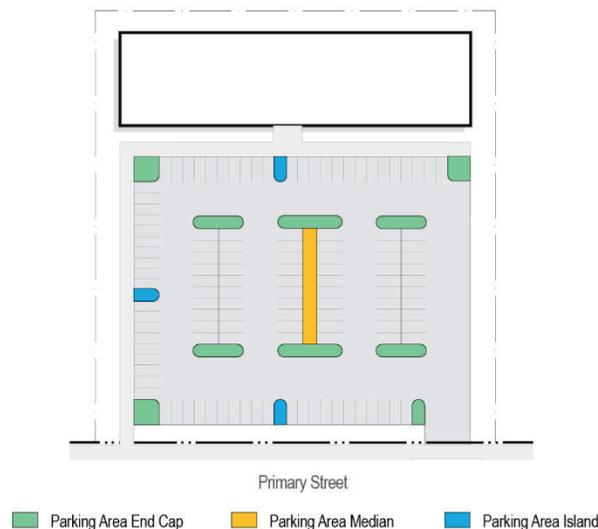
- D. **Parking Area Perimeter Landscape Zone.** Landscape required by this section shall be in addition to landscape required under other sections of this title. It is the objective of this section to provide screening between off-street parking areas and rights-of-way, and to provide for the integration of stormwater management with required landscaping.
1. **Location.** All off-street parking areas which abut a public or private right-of-way, excluding alleys, shall include landscape and trees as required by this section located between the back of curb of the off-street parking area and the right-of-way.
  2. **Applicability.** The parking lot perimeter landscape regulations of this section apply to the following:
    - a. The construction or installation of any new off-street parking area; and
    - b. The expansion of any existing off-street parking area, in which case the requirements of this section apply only to the expanded area.
  3. **Requirements.** Perimeter landscape shall be established along the edge of the off-street parking area and have a minimum width of seven (7) feet as measured from the back of curb of the off-street parking area, to accommodate vehicle bumper overhang and ensure planting areas that are adequate in size.
    - a. One (1) shrub or native grasses shall be planted for every three (3) feet of landscape area length.
    - b. Landscaped areas outside of shrubs/native grasses and tree masses shall be planted in finished groundcover including mulch or stonework.
    - c. A low masonry wall or fence the height of which provides effective screening to a maximum height of three (3) feet may be used in conjunction with required landscaping as detailed above. Plant materials shall be installed between the sidewalk and the fence or wall to provide a softening effect.

**Figure 5.11. Parking Area Perimeter Landscape Zone**



- E. **Parking Area Interior Landscape Zone.** All off-street parking areas shall include landscape and trees located within the off-street parking area as required by this section. Trees and landscape required by this section shall be in addition to trees and landscape required under other sections of this title. It is the objective of this section to provide shade within parking areas, break up large expanses of parking area pavement, support stormwater management where appropriate, improve the appearance of parking lots as viewed from rights-of-way, and provide a safe pedestrian environment.
1. **Applicability.** The parking area interior landscape zone regulations of this section apply to the following:
    - a. The construction or installation of any new off-street parking lot containing ten (10) or more parking spaces; and
    - b. The expansion of any existing off-street parking area if the expansion would result in ten (10) or more new parking spaces, in which case the requirements of this section apply only to the expanded area.
  2. **Requirements.** For off-street parking areas consisting of ten (10) or more continuous spaces, interior parking area landscape as described in this section shall be required. Off-street parking areas consisting of fewer than ten (10) continuous spaces that are located in front or to the side of the principal building shall be required to terminate all rows of parking with a parking area end cap meeting the standards of subsection 4 below. Off-street parking areas consisting of fewer than ten (10) continuous spaces that are located to the rear of the principal building shall be exempt from parking area interior landscape zone requirements.
  3. **Amount.** The amount of required parking area interior landscape shall be determined by the location of the off-street parking area in relation to the primary building as detailed below.
    - a. **Off-Street Parking Areas in Front or Side of Primary Building.**
      - (1) **Parking Area End Caps.** A parking area end cap shall be located at the end of any bay of parking bordered by a drive aisle, public or private street, or pedestrian circulation system.
      - (2) **Parking Area Median Amount Requirement.** Parking area medians shall be placed between every third bay of parking.
      - (3) **Parking Area Island Amount Requirement.** Parking area islands shall be located on parking bays which are not required to have parking area medians. Parking area islands shall be spaced not more than ten (10) continuous spaces apart.

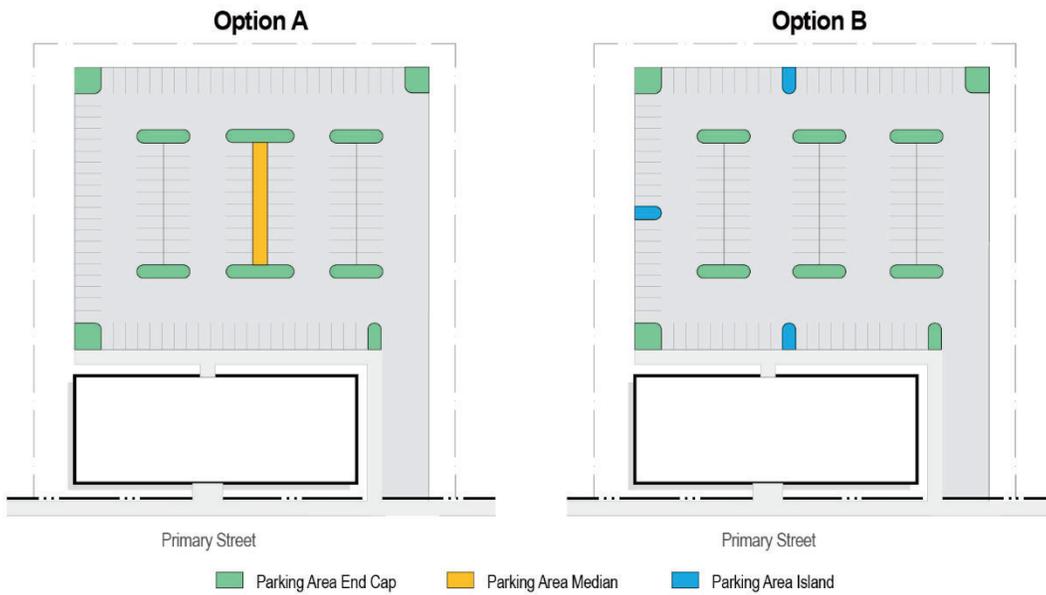
**Figure 5.12. Off-Street Parking Area Interior Landscape Zone in Front or Side of Primary Building**



b. **Off-Street Parking Areas in Rear of Primary Building.**

- (1) **Parking Area End Caps.** A parking area end cap shall be located at the end of any bay of parking bordered by a drive aisle, public or private street, or pedestrian circulation system.
- (2) **Parking Area Median or Parking Area Island Amount Requirement.** The developer may choose to install either parking area medians or parking area islands. If the developer chooses to install parking area medians, they shall be placed between every third bay of parking. If the developer chooses to install parking area islands, they shall be spaced not more than one-hundred eighty (180) feet or more than twenty (20) continuous spaces apart.

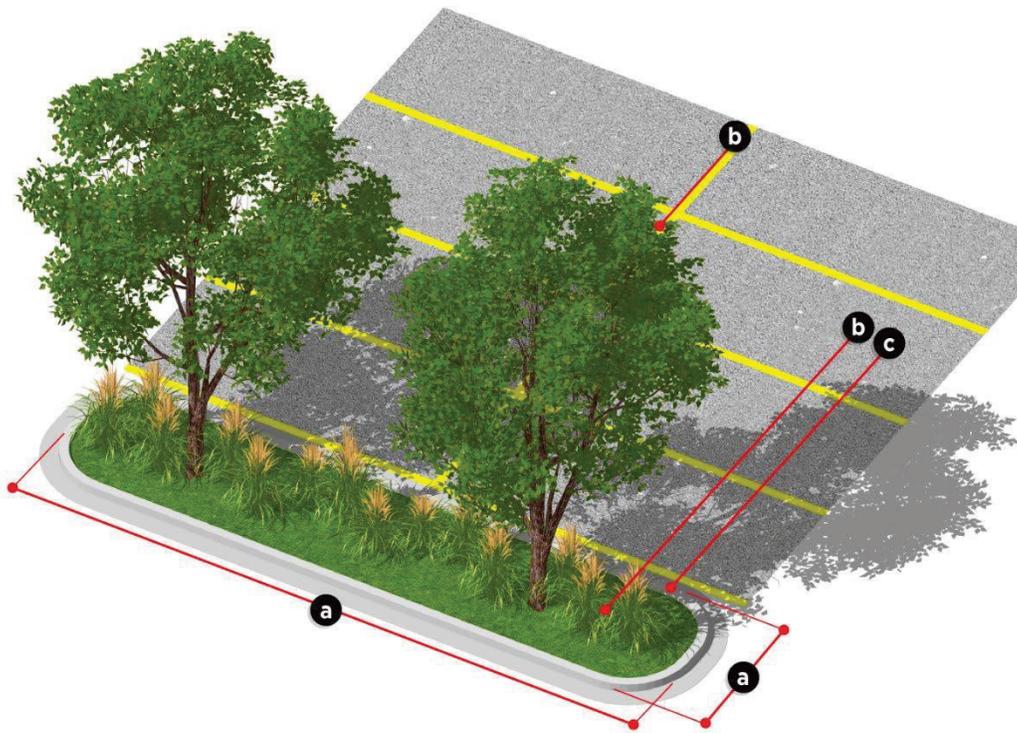
**Figure 5.13. Off-Street Parking Area Interior Landscape Zone in Rear of Primary Building**



#### 4. Parking Area End Cap Standards.

- a. **Size.** Parking area end caps shall be a minimum of ten (10) feet wide by eighteen (18) feet long as measured from the back of the curb to back of the curb and shall have a minimum soil depth of thirty-six (36) inches. Double rows of parking shall provide parking area end caps opposite one another to form a continuous single end cap.
- b. **Planting.** A minimum of one (1) canopy tree and three (3) native grasses shall be provided for every parking area end cap. If the end cap extends the width of a double bay, then two (2) canopy trees shall be provided. The mature height of the shrubs or native grasses shall not exceed thirty-six (36) inches and all canopy trees shall not branch below eight (8) feet to preserve site lines and visibility within the parking lot.
- c. **Design.** Parking area end caps shall be protected with concrete curbing or other suitable barriers approved by the Zoning Administrator. Such end caps shall be properly drained or irrigated as appropriate to the site conditions to ensure survivability of plant materials and proper stormwater management function.

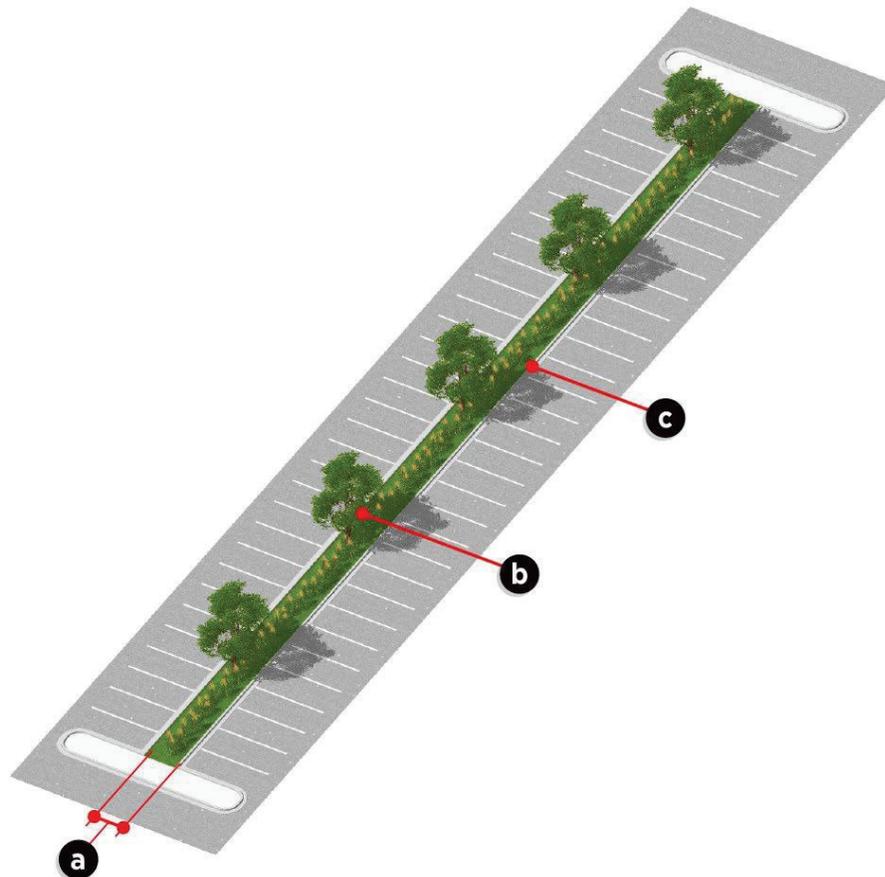
**Figure 5.14. Parking Area End Cap Standards - Double Bay Parking**



5. **Parking Area Median Standards.**

- a. **Size.** Parking area medians shall have a minimum width of ten (10) feet and minimum soil depth of thirty-six (36) inches.
- b. **Planting.** A minimum of one (1) canopy tree and fifteen (15) shrubs or native grasses shall be planted for each fifty (50) linear feet of parking area median. The mature height of the shrubs or native grasses shall not exceed thirty-six (36) inches and all canopy trees shall not branch below eight (8) feet to preserve site lines and visibility within the parking lot.
- c. **Design.** Parking area medians shall be protected with concrete curbing unless the parking area median is designed to be utilized for stormwater management in which case the perimeter shall be protect by wheel stops, or other suitable barriers approved by the Zoning Administrator. Such medians shall be properly drained or irrigated as appropriate to the site conditions to ensure survivability of plant materials and proper stormwater management function.

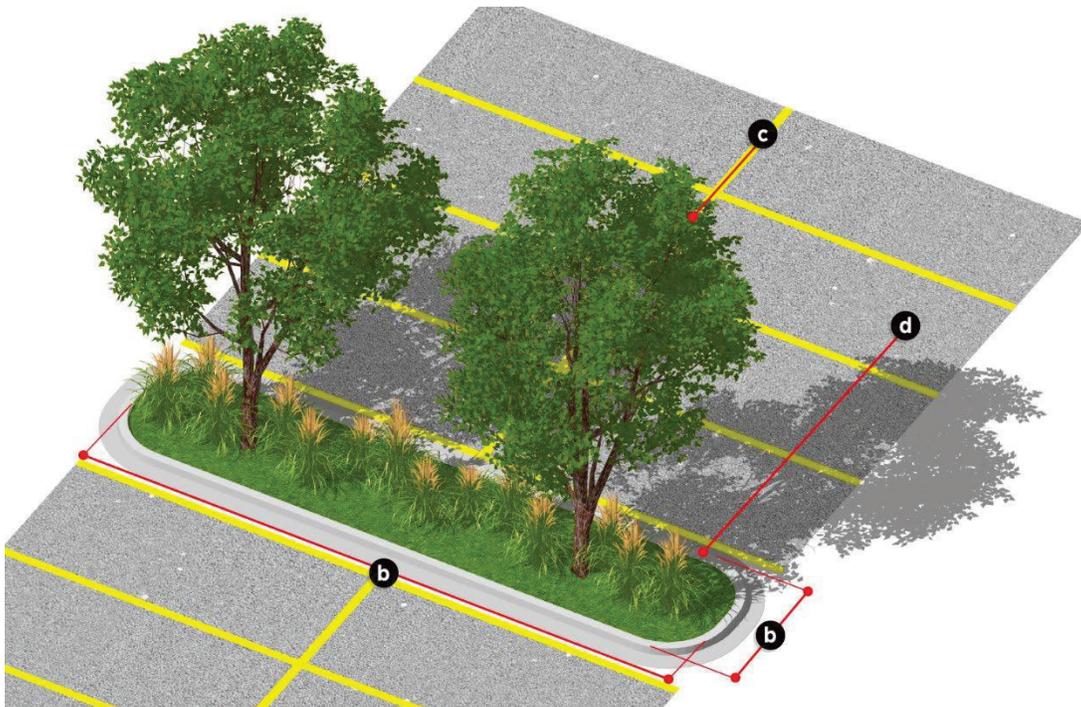
**Figure 5.15. Parking Area Median Standards**



6. **Parking Area Island Standards.**

- a. **Requirements.** Parking area islands shall only be required for parking areas with ten (10) or more contiguous spaces in a row.
- b. **Size.** Parking area islands shall be a minimum ten (10) feet wide by eighteen (18) feet long and shall have a minimum soil depth of thirty-six (36) inches. Double rows of parking shall provide parking area islands opposite one another to form continuous single islands.
- c. **Planting.** A minimum of one (1) understory tree shall be provided for every parking area island. If the island extends the width of a double bay, then two (2) understory trees shall be provided. Understory trees shall not branch below eight (8) feet to preserve site lines and visibility within the parking lot.
- d. **Design.** Parking area islands shall be protected with concrete curbing or other suitable barriers approved by the Zoning Administrator. Such islands shall be properly drained or irrigated as appropriate to the site conditions to ensure survivability of plant materials and proper stormwater management function.

**Figure 5.16. Parking Area Island Standards - Double Bay Parking**



- 7. **Pedestrian Circulation Systems.** Pedestrian circulation systems, as required in the interior of off-street parking areas in Section 10-5-1(N) shall be located along parking area medians. The Zoning Administrator may waive or modify this requirement on determining that locating pedestrian circulation systems along parking area medians is impractical due to site conditions or undesirable because it would create unsafe conditions.
- 8. **Pedestrian-Scale Lighting.** Pedestrian-scale lighting of an adequate height and design is encouraged to be provided at adequate intervals to illuminate the pedestrian circulation systems.

9. **Type of Landscape Material.** Except where areas are designed as vegetated stormwater management areas, canopy trees shall be the primary plant materials used in parking area islands and canopy trees and shrubs or native grasses shall be the primary plant materials used in parking area medians. Understory trees, perennials, groundcover, and other plant materials may be used to supplement the required plantings but shall not create visibility concerns for automobiles and pedestrians. If medians or islands are designed as stormwater management areas, deviations from required plantings may be approved by the Zoning Administrator.
10. **Groundcover.** The surface area of every parking area island and median shall be planted with a mix of rocks, plant material, or other materials approved by the Zoning Administrator.

F. **Transition Zone Landscape Requirements.** Transition zone landscape shall be required along interior side and rear property lines of all nonresidential, mixed use, and multi-unit development. It is not expected that the transition area will totally screen such uses but rather will minimize land use conflicts and enhance aesthetics. Landscape required by this section shall be in addition to landscape required under other sections of this title.

1. **Applicability.** Transition zone landscaping is required as follows:
  - a. The construction or installation of any new primary building or primary use; and
  - b. The expansion of any existing primary building or primary use that results in an increase in gross floor area by more than five (5) percent or one thousand (1,000) square feet, whichever is greater. In the case of expansions that trigger compliance with transition zone requirements, transition zone landscaping is required only in proportion to the degree of expansion. The Zoning Administrator is authorized to allow the transition zone to be established adjacent to the area of expansion or to disperse transition zone landscaping along the entire site transition zone.
2. **Application of Transition Zone Types.** Transition zones shall be provided based on Table 10-5-3(F)(2), except where adjacent uses are of a similar nature, scale, and intensity as determined by the Zoning Administrator. As per Table 10-5-3(F)(2), the type of required transition zone is dependent upon the land use type of the subject lot and the land use type of the adjacent lot(s).

Subject Lot Land Use	Adjacent Lot Land Use										
	Agricultural	Single-Unit Residential	All Other Residential	Public/Institutional	Retail	Service/Medical/Office	Lodging	Eating/Drinking	Entertainment	Vehicle Related	Industrial/Transportation
Agricultural	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Single-Unit Residential	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
All Other Residential	n/a	C	A	B	B	B	B	B	B	C	D
Public/Institutional	n/a	C	B	A	B	B	B	B	B	C	D
Retail	n/a	C	B	B	A	A	A	A	A	B	C
Service/Medical/Office	n/a	C	B	B	A	A	A	A	A	B	C
Lodging	n/a	C	B	B	A	A	A	A	A	B	C
Eating/Drinking	n/a	C	B	B	A	A	A	A	A	B	C
Entertainment	n/a	C	C	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Vehicle Related	n/a	D	D	B	A	A	A	A	A	B	C
Industrial/Transportation	n/a	D	D	D	D	D	D	D	D	D	D

3. **Transition Zone Types.** Four (4) transition zone types are established in recognition of the different contexts that may exist, as shown in Table 10-5-3(F)(3). Transition zones may include a combination of elements including setback distances for separation, planting types, solid fencing, green walls, vegetated stormwater management areas, living groundcover, or turf.

Table 10-5-3(F)(3) Transition Zone Types					
Specification		Type A (3)	Type B (3)	Type C (3)	Type D (3)
(a)	Minimum Zone Width (1)	8 feet	10 feet	15 feet	20 feet
(b)	Minimum Fence/Wall Height (2)	optional	optional	6 feet	6 feet
<i>Minimum Number of Landscape Elements per 100 Linear Feet</i>					
(c)	Understory Tree	optional	3	4	5
(d)	Canopy/Evergreen Tree	4	3	4	5
(e)	Shurbs/Native Grasses	optional	15	25	35
<b>Notes:</b>					
(1) Required yard setbacks may be utilized for transition zone landscape.					
(2) Fence or wall requirements may be satisfied by a solid evergreen hedge with a maximum height of six (6) feet, as approved by the Zoning Administrator.					
(3) Landscaping elements can be arranged to match to natural topography or natural features of the site and may be arranged in groupings to enhance site aesthetics as approved by the Zoning Administrator.					

Figure 5.17. Transition Zone Type A Standards

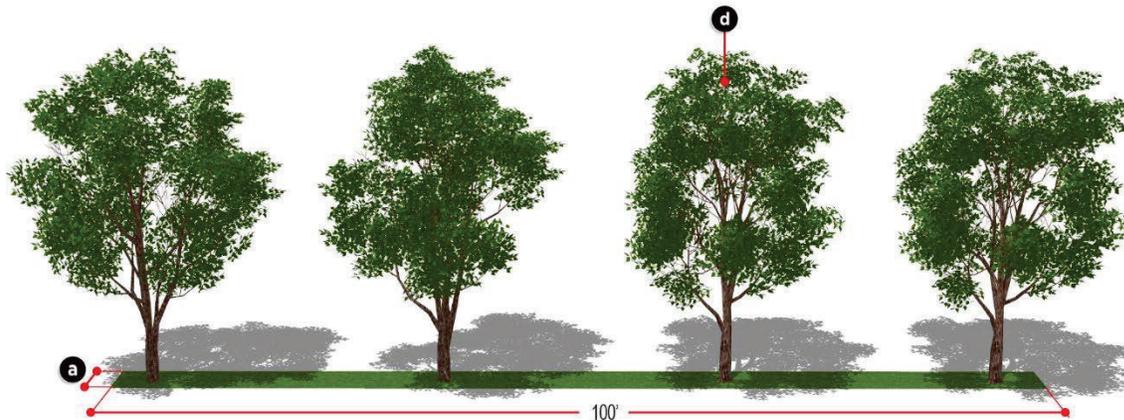


Figure 5.18. Transition Zone Type B Standards

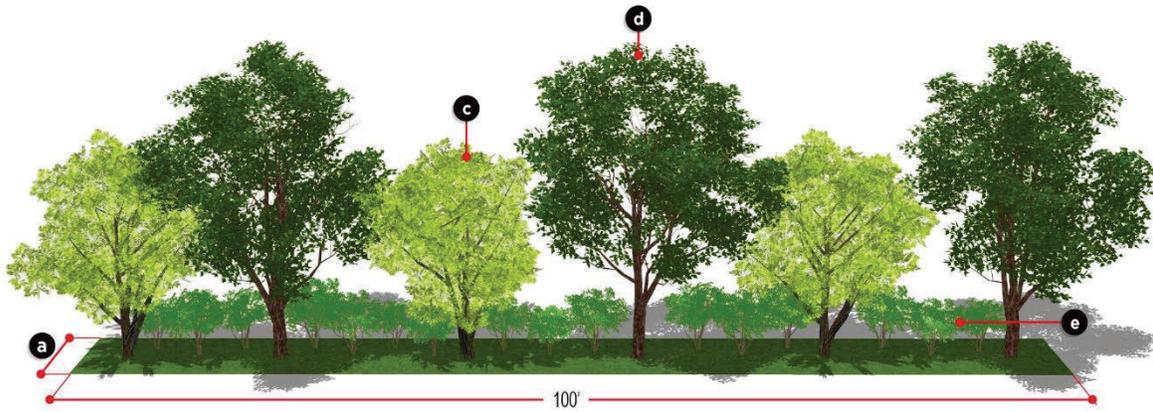


Figure 5.19. Transition Zone Type C Standards

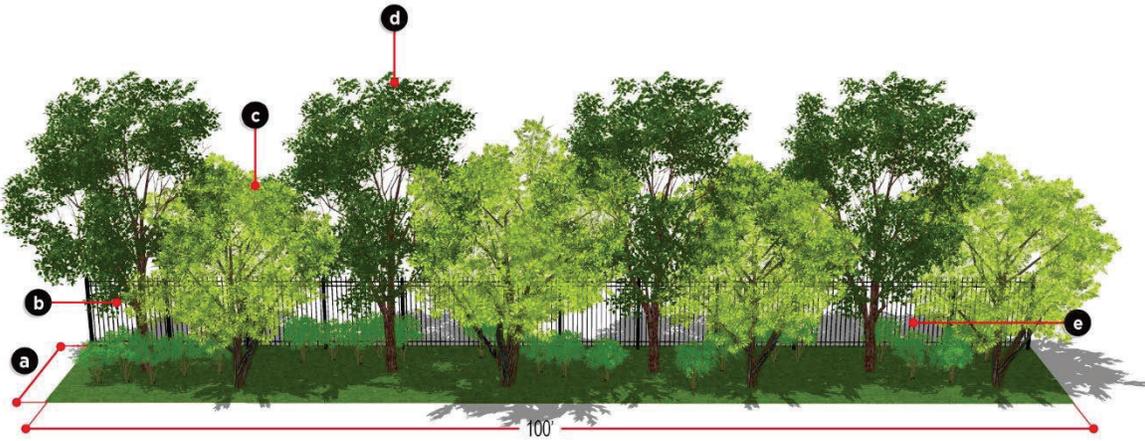


Figure 5.20. Transition Zone Type D Standards



- G. **Species Diversity Requirements.** The following species diversity requirements shall be required for all developments, unless otherwise approved by the Zoning Administrator in conjunction with approval of vegetated stormwater management areas
1. Total landscape elements, excluding turf, shall not be comprised of more than thirty (30) percent of any single species or fifty (50) percent of any genus on a parcel that is between one-half (0.5) and five (5) acres.
  2. Total landscape elements, excluding turf, shall not be comprised of more than twenty (20) percent of any single species or twenty-five (25) percent of any genus on a parcel that is greater than five (5) acres.
- H. **Tree Preservation and Removal.** No live tree(s) with a four (4) inch diameter at breast height may be removed without first applying for tree removal and receiving approval from the City as specified in Section ###.
1. **Tree Preservation and Removal Guidelines.** Every reasonable effort shall be made to retain existing trees shown in the tree survey prepared by a registered landscape architect through the integration of those trees into the site and landscape plan for a proposed development.
    - a. Critical areas such as floodplains, steep slopes, and wetlands, should be left in their natural condition or only partially cleared.
    - b. Roadways, storage areas, and parking lots should be located away from valuable tree stands.
    - c. Cutting and filling in the vicinity of valuable trees should be minimal.
    - d. If more than one-third of the tree's root zone is to be affected by construction, the tree should be part of the removal plan and replaced with the appropriate number of trees.
  2. **Tree Survey Requirements.** Every tree survey for any new development shall include the following:
    - a. Location, species (botanic and common name), and diameter at breast height (DBH) of all trees four (4) inches DBH or larger.
    - b. Survey must clearly identify which trees are proposed to be removed and which are proposed to be preserved.
    - c. A summary data table indicating total number of trees removed and trees to be replaced shall be provided on the survey.
  3. **Tree Replacement Standards.**
    - a. Any tree approved for removal shall be replaced with new trees in accordance with the following schedule:

Table 10-5-3(H)(3)(a) Tree Replacement Approved For Removal	
Caliper (Inches) of tree to be removed	Number of Replacement Trees
30 or Greater	6
13-29	5
8-12	4
4-7	2

- b. In the event that a tree identified to be preserved is removed or damaged, such tree shall be replaced as follows:

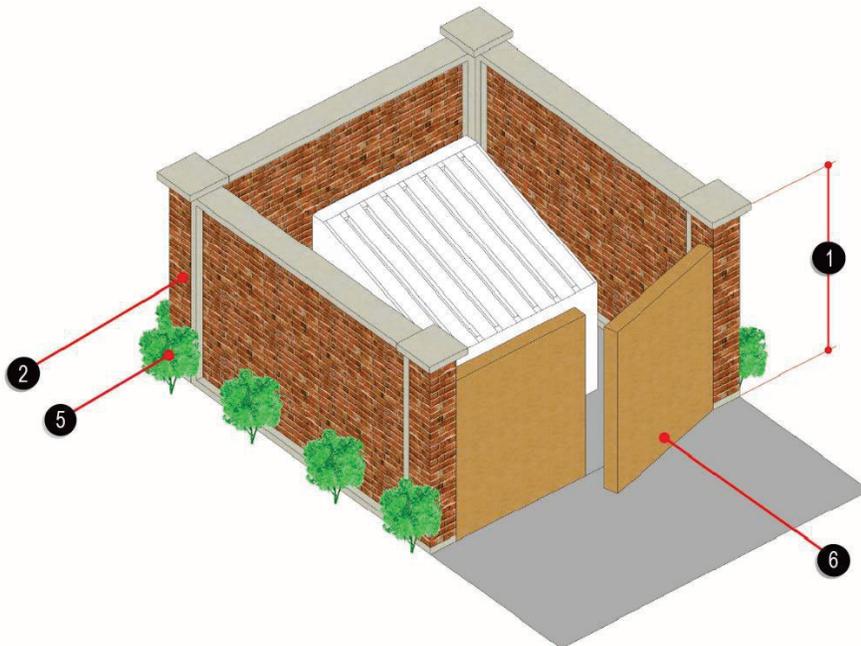
Table 10-5-3(H)(3)(b) Tree Replacement Identified For Preservation	
Caliper (Inches) of tree to be removed	Number of Replacement Trees
30 or Greater	12
13-29	10
8-12	8
4-7	4

- c. All replacement trees shall have a minimum caliper of two and one-half (2½) inches and shall consist of canopy and understory trees as deemed appropriate by Zoning Administrator.
- d. If the tree(s) approved for removal is (are) dead from natural causes prior to the date of the tree removal permit, then no replacement tree(s) are required for them.
4. **Preservation of Existing Trees.** Preservation of existing high-quality trees within a new development or redevelopment site is highly encouraged. Preserved trees may fulfill a portion of the landscape requirements established in this section. Should the applicant propose to maintain existing high-quality trees to count toward satisfying certain landscape requirements of this title, the Zoning Administrator may, upon receipt of a tree preservation plan, waive certain landscape requirements if mature, high-quality trees on a lot are proposed to be preserved. If, upon inspection at the conclusion of the project, trees identified for preservation have been removed, damaged, or are otherwise in declining condition, all waived required landscape shall be installed.
5. **Fee in Lieu.** A fee may be provided in lieu of the replacement of trees or preservation of existing trees as established in the City of Yorkville's adopted ordinances. These fees will be based upon wholesale pricing for a two and a half (2 ½) to three (3) inch tree and shall cover the cost of the tree and the estimated cost of the installation of the trees required to be planted. Money collected from the fee in lieu option shall be deposited into a Tree Bank Fund to be used towards tree replacement and plantings throughout the City.
6. **Tree Preservation Plan.** Development on all parcels four (4) acres or greater in area shall require the submittal and approval of a tree removal plan.
- I. **Installation and Maintenance of Landscape Areas.**
1. Immediately upon planting, all landscape shall conform to the American Standard for Nurserymen, published by the American Association of Nurserymen, Inc., as revised from time to time.
  2. The ground surface of landscape areas shall be covered with either turf, sod, mulch, and/or other types of pervious groundcover.

### 10-5-4. Screening

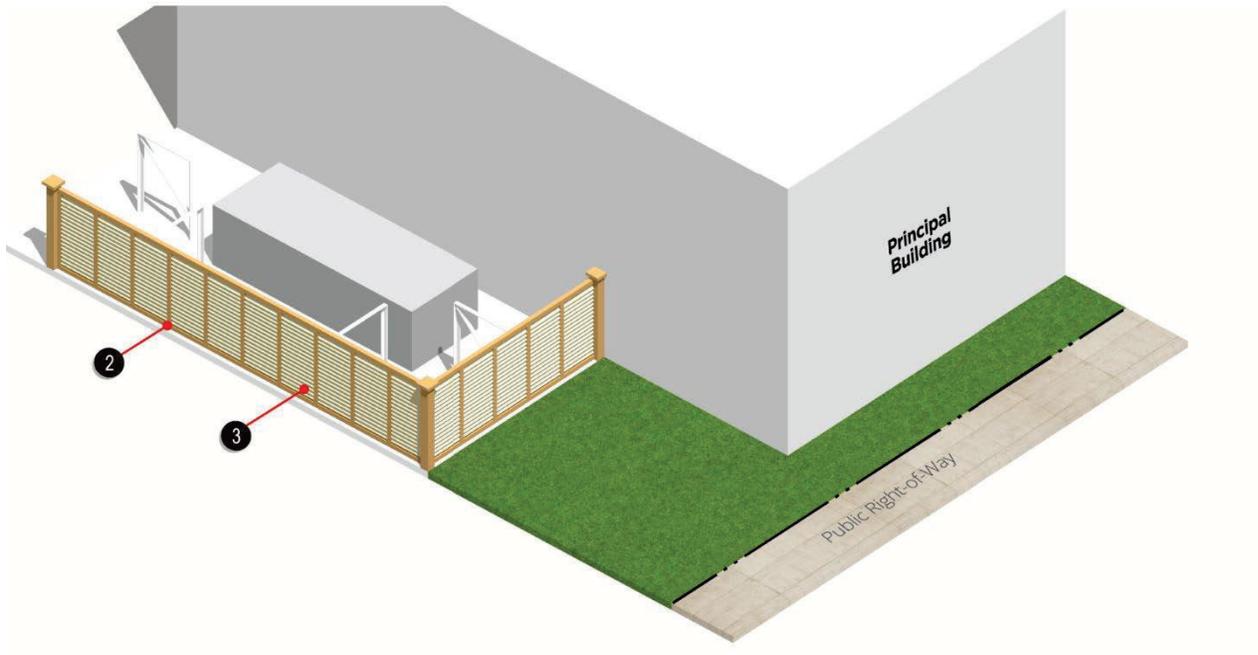
- A. **Trash and Recycling Receptacles.** The following regulations shall apply to all nonresidential, mixed use, and multi-unit development.
1. Trash and recycling receptacles shall be screened on three (3) sides with a solid, opaque material with a minimum height of six (6) feet and a maximum height of eight (8) feet.
  2. Materials used for screening shall complement the exterior building cladding materials of the primary building.
  3. Materials and elevations for enclosures that are attached to buildings shall be designed to be integrated into the primary building.
  4. If enclosures are to be attached to buildings, they shall comply with applicable fire and building codes.
  5. Shrubs shall be installed every five (5) feet along the exterior of the enclosure, with the exception of enclosure openings, to provide a softening effect.
  6. Enclosure openings shall be gated with an opaque material.
  7. Enclosure openings shall be kept closed at all times except for when the receptacle is being accessed.
  8. Access drives shall be constructed of materials and to a thickness which accommodates truck loading.
  9. Enclosures shall be of an adequate size to accommodate expected containers.
  10. Enclosure structures shall be designed to protect the walls from damage by containers. Such protection may be provided by the use of barrier curbing, reinforced masonry walls, or other similar means.
  11. Trash and recycling receptacle enclosures shall not occupy areas used for required parking spaces.

**Figure 5.21. Trash and Recycling Receptacle Screening Standards**



- B. **Ground/Wall Mounted Mechanical Units.** The following regulations shall apply to all ground/wall-mounted mechanical units, including but not limited to generators, air-conditioning condensers, heat pumps, ventilation units, computer cooling equipment, etc., and any related utility structures and equipment. Tanks and / or silos accessory to a brewery, winery, and/or distillery are exempt from these requirements.
1. Locating mechanical units within the primary building is strongly encouraged in order to minimize exterior visual impacts. Ground mounted mechanical units are prohibited within the front yard, regardless of whether screening is provided.
  2. Ground/wall mounted mechanical units that are visible from any public right-of-way or adjacent residential property shall be screened from public view.
  3. Materials used for screening shall be designed and established so that the area or element being screened is no more than twenty (20) percent visible through the screen. Evergreen hedges or non-transparent walls such as stone masonry shall be allowed.
  4. Chain-link fence or slats in chain-link fence shall not be used to meet this requirement.

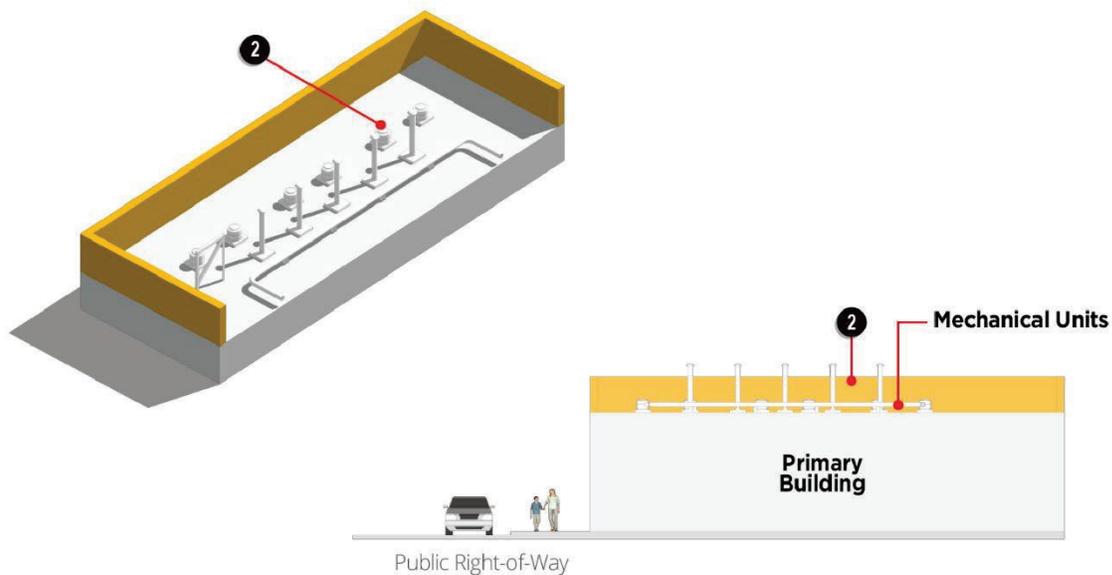
**Figure 5.22. Ground/Wall Mounted Mechanical Unit Screening Standards**



C. **Roof Mounted Mechanical Units.** The following regulations shall apply to all roof mounted mechanical units, including but not limited to air-conditioning condensers, heat pumps, ventilation units, computer cooling equipment, etc., and any related utility structures and equipment which service multi-unit, non-residential, or mixed-use developments.

1. Locating mechanical units within the primary building is strongly encouraged in order to minimize exterior visual impacts.
2. Roof mounted mechanical units that are visible from any public right-of-way or adjacent residential property shall be completely screened from public view.
3. Materials used for screening shall be architecturally integrated with the building and shall be continuous and permanent.
4. Screening shall be required when new equipment is installed and shall be provided around both new and existing roof mounted mechanical units in order to provide visual continuity. Normal maintenance of roof mounted mechanical units shall not mandate the screening requirements.
5. Additional screening may be required due to topographic differences in the adjoining properties.

**Figure 5.23. Roof-Mounted Mechanical Unit Screening Standards**



## 10-5-5. Fences

### A. Regulations for All Zoning Districts.

1. Fences thirty-six (36) inches or more in height require a building permit.
2. All fences must be erected so that the finished side of the fence faces outward or away from the lot on which the fence is erected.
3. No more than two (2) different types of fencing material are permitted per lot.
4. **Materials.** The materials listed below are acceptable for a fence in any district unless specific districts are specified in this subsection. These materials are an example of acceptable fencing. The Zoning Administrator has the right to approve similar materials not listed as long as they are consistent with the surrounding land use.
  - a. Stone,
  - b. Brick,
  - c. Natural rot resistant wood (cedar, cyprus, redwood),
  - d. Cast or wrought iron,
  - e. Plastic,
  - f. Aluminum,
  - g. Composite wood and plastic,
  - h. Vinyl coated chain-link (rear and side yard only on properties in nonresidential districts).
  - i. Galvanized chain-link (only on M-1 or M-2 properties adjacent to other M-1 or M-2 property).

### B. Placement.

1. Fences may be built up to the property line but shall not extend beyond the front plane of the primary building facade in residential and business districts and must be located entirely on the property of the owner constructing it.
2. Fences may be constructed within an easement, though future work within the easement may result in the removal of the fence. Fences are not allowed in some types of restricted easements, such as those dedicated for landscape, sidewalks, trails, access or where otherwise limited by an easement document.
3. The property owner is responsible for locating property lines, prior to the installation of the fence.
4. Fences, walls, or hedges shall not encroach on any public right-of-way.
5. It shall be the responsibility of the property owner to ensure that a fence does not block or obstruct the flow of stormwater.
6. All solid fences, walls, hedges, or shrubberies which exceed three (3) feet above the street grade shall comply with the vision clearance standards of Section 10-5-6 of this title.

### C. Prohibited Fences.

1. Fences or enclosures charged with or designed to be charged with electrical current are prohibited, except for underground dog fences.
2. Any fence made of, in whole or in part, cloth, canvas or other like material is prohibited.

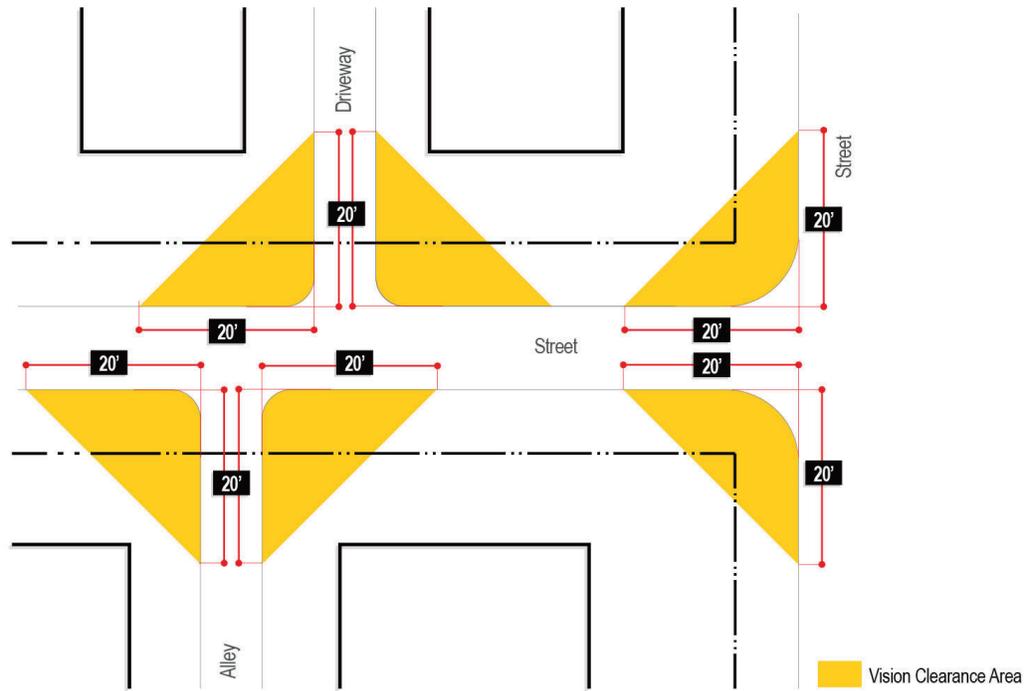
3. No fence shall be constructed of used or discarded materials in disrepair, including, but not limited to, pallets, tree trunks, trash, tires, junk, or other similar items as determined by the Zoning Administrator.
- D. **Height.** Except as otherwise permitted in this title, annexation agreements, planned unit developments or any other development related agreements or ordinances, fences shall not exceed the maximum height as listed in Table 10-5-5(D) of this section.

Table 10-5-5(D) Fence Height Standards				
District/Use	Maximum Height per Yard			
	Front Yard	Comer Side Yard	Interior Side Yard	Rear Yard
Residential Districts	3 feet <sup>1</sup>	6 feet	6 feet <sup>2</sup>	6 feet <sup>2</sup>
Business Districts	3 feet <sup>1</sup>	6 feet	6 feet <sup>2</sup>	6 feet <sup>2</sup>
Manufacturing District	8 feet	8 feet	8 feet	8 feet
Public Uses and Utilities	8 feet	8 feet	8 feet	8 feet
<b>Notes:</b>				
1. Fence may be a maximum of four (4) feet in height if opacity does not exceed fifty (50) percent.				
2. Fence may be a maximum of eight (8) feet in height if in a residential district and adjacent to a nonresidential use or in a business district and adjacent to a residential use.				

### 10-5-6. Vision Clearance

Clear sight distance shall be required at the intersection of a driveway and any right-of-way or at the intersection of two (2) or more streets. No building or structure shall be permitted that creates a visual obstruction taller than three (3) feet in the area measured extending twenty (20) feet from the curb at the intersection of the driveway and street, or from the curb at the intersection of two (2) or more streets.

Figure 5.24. Vision Clearance Standards



### 10-5-7. Outdoor Lighting

- A. **Applicability.** This section shall apply to the replacement of existing lighting units and fixtures and any lighting units or fixtures proposed to be added to a site with multiunit and nonresidential uses only.
- B. **Exceptions.** Temporary holiday lighting shall be exempt from the standards of this sections.
- C. **Fixture Classification.** All outdoor lighting fixtures, with the exception of wall mounted accent lighting and outdoor lighting in the A-1 District, shall either have a fixture cutoff classification of "Full Cutoff" or be fully shielded, unless otherwise expressly permitted in this UDO.
- D. **LED Fixtures.** Non light-emitting diode fixtures shall be allowed for building mounted, ornamental, or holiday lighting. Lighting fixtures for parking lots shall utilize a light-emitting diode (LED) fixtures.
- E. **Pole Mounted Outdoor Lighting.**
  - 1. **Pole Placement.** Pole-mounted outdoor lighting shall be located outside of utility easements, designed in coordination with required landscape zones as specified in Section 10-5-3.
  - 2. **Maximum Pole Height.**

Districts	Maximum Height
Residential Districts	20 feet
Institutional and Open Space Districts	20 feet
B-2 Mixed Use District	25 feet
Other Business and Manufacturing Districts	35 feet

- F. **Wall Mounted Accent Lighting.** Wall mounted accent lighting shall be integrated with the architectural character of the building and shall use low-luminosity lamps, with two thousand (2,000) source lumens or less. The illumination on any vertical surface shall not exceed one-half (0.5) maintained foot candle and shall not spill over roof lines or building edges.
- G. **Lighting Intensity.** The average foot-candle of any lighting fixture intensity should be two to two and one-half (2.0—2.5) foot-candles. The average to minimum light intensity ratio should be no more than six to one (6:1), and the maximum to minimum light intensity ratio should be no more than twenty to one (20:1).
- H. **Off-Street Parking Area Lighting.** Any lighting used to illuminate off-street parking areas shall be directed away from residential properties and public highways in such a way as not to create a nuisance. The City of Yorkville promotes the "dark sky" concept.
- I. **Maximum Light Level at Property Line.** All outdoor lighting fixtures, including lights from signage, shall be designed and located so that the maximum light level shall be zero (0) maintained foot candles at any property line.
- J. **Fixtures.** All outdoor lighting must employ full cut-off or fully shielded fixtures and the use of wall packs on buildings should be minimized.
- K. **Light Level Measurement.**
  - 1. **Location.** Light level measurements shall be made at the property line of the property upon which the light to be measured is being generated. If measurement on private property is not possible or practical, light level measurements may be made at the boundary of the public street right-of-way that adjoins the property of the complainant or at any other location on the property of the complainant. Measurements shall be made at finished grade (ground level), with the sensor in the horizontal position and not mounted more than six (6) inches above ground level, and with the light-registering portion of the meter held parallel to the ground and pointing upward.

2. **Light Meter Specifications.** Light levels shall be measured in foot candles with a direct-reading portable light meter as measured by the City. The meter shall:
  - a. Have cosine and color correction,
  - b. Have an accuracy tolerance of no greater than plus or minus five (5) percent, and
  - c. Have been calibrated within the last two (2) years.
- L. **Automatic Lighting Controls.** All outdoor lighting on non-residential lots must be controlled by a photo sensor, occupancy sensor, or timer to automatically reduce outdoor lighting when sufficient daylight is available, and to automatically extinguish lights no more than one hour following the close of business, excluding security lighting.
- M. **Photometric Plan.** A photometric plan as specified in the City of Yorkville Standard Specifications shall be required.

## Chapter 6. Sign Standards

10-6-1. Purpose and Scope .....	1
10-6-2. Limit on Sign Area .....	3
10-6-3. Sign Measurement .....	4
10-6-4. Permitted Sign Types .....	5
10-6-5. General Sign Standards .....	6
10-6-6. Permanent Sign Standards .....	7
10-6-7. Temporary Sign Standards.....	16
10-6-8. Comprehensive Sign Plan.....	23
10-6-9. Prohibited Signs and Content.....	24
10-6-10. Safety, Maintenance, and Abandonment .....	24

### 10-6-1. Purpose and Scope

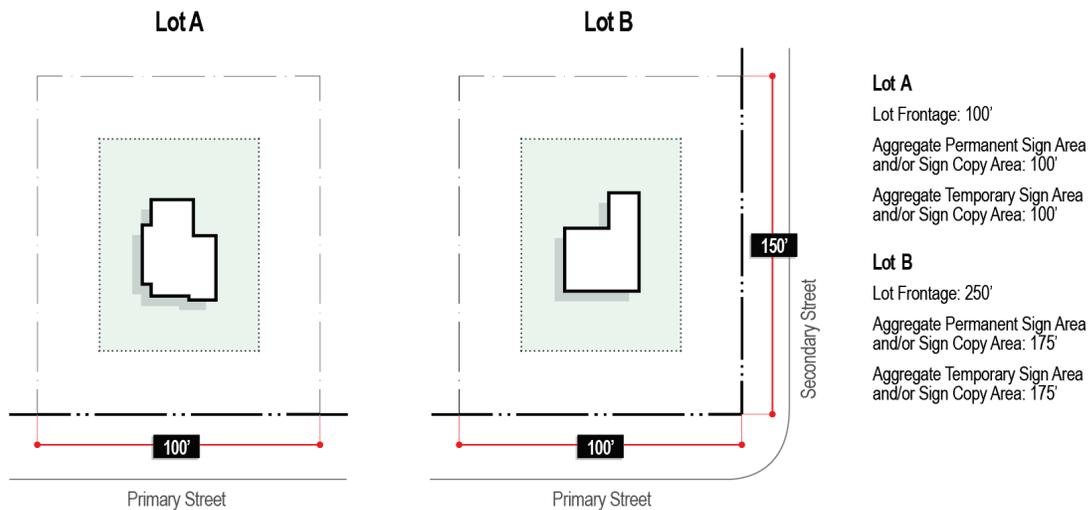
- A. **Purpose.** The purpose of this Chapter is to set out regulations for the erection and maintenance to ensure the appropriate appearance of signs while preserving the right of free speech and expression in keeping with the following principles.
1. The ability to display signs of reasonable size and dimensions is vital to the health and sustainability of many businesses, and the display of signs with noncommercial messages is a traditional component of the freedom of speech, but the constitutional guarantee of free speech may be limited by appropriate and constrained regulation that is unrelated to the expression itself,
  2. The City has an important and substantial interest in preventing sign clutter, which is the proliferation of signs of increasing size and dimensions as a result of competition among property owners for the attention of passing motorists, because sign clutter degrades the character of the community, makes the community a less attractive place for commerce and private investment, and dilutes or obscures messages displayed along the City’s streets by creating visual confusion and aesthetic blight,
  3. Sign clutter can be prevented by regulations that balance the legitimate needs of individual property owners to convey messages against the comparable needs of adjacent and nearby property owners and the interest of the community as a whole in providing for a high-quality community character,
  4. Temporary signs that are not constructed of weather-resistant materials are often damaged or destroyed by wind, rain, and sun, and after such damage or destruction, degrade the aesthetics of the City’s streets if they are not removed,
  5. The City has an important and substantial interest in keeping its rights-of-way clear of obstructions and litter,
  6. The City has an important and substantial interest in protecting the health of its tree canopy, which contributes to the character and value of the community, and
  7. The uncontrolled use of off-premises advertising signs can be injurious to the public, and destructive to community character and property values, and that, as such, restrictions on the display of off-premises commercial signage are necessary and desirable.

- B. **Scope.** The regulations of this Chapter shall provide a balanced and fair legal framework for design, construction, and placement of signs that:
1. Promotes the safety of persons and property by ensuring that signs do not create a hazard by:
    - a. Collapsing, catching fire, or otherwise decaying,
    - b. Confusing or distracting motorists, or
    - c. Impairing drivers' ability to see pedestrians, obstacles, or other vehicles, or to read traffic signs.
  2. Promotes the efficient communication of messages, and ensures that persons exposed to signs:
    - a. Are not overwhelmed by the number of messages presented, and
    - b. Are able to exercise freedom of choice to observe or ignore said messages according to the observer's purpose, and
  3. Protects the public welfare and enhances the appearance and economic value of the community by protecting scenic views and avoiding sign clutter that can compromise the character, quality, and viability of commercial corridors,
  4. Ensures that signs are compatible with their surroundings, and prevents the construction of signs that are a nuisance to occupants of adjacent and contiguous property due to brightness, reflectivity, bulk, or height,
  5. Promotes the use of signs that are aesthetically pleasing, of appropriate scale, and integrated with the built environment, to meet the objectives related to the quality and character of development set forth in the Comprehensive Plan of the City of Yorkville,
  6. Enhances property values and business opportunities,
  7. Assists in wayfinding, and
  8. Provides fair and consistent permitting and enforcement.

### 10-6-2. Limit on Sign Area

- A. **Permanent Sign Area Limit.** Each lot with multiunit residential, mixed-use, or non-residential uses shall be allowed aggregate permanent sign area equal to one (1) square foot of sign area per linear foot of lot frontage.
- B. **Temporary Sign Area Limit.** Each lot shall be allowed aggregate temporary sign area equal to one (1) square foot of sign area per linear foot of frontage.
- C. **Premises Having Frontage on More Than One Dedicated Street.** Premises having frontage on more than one (1) dedicated street shall be allowed an additional one-half (0.5) square foot of aggregate sign area for each lineal foot of the secondary lot frontage; however additional sign area shall only be displayed on the secondary frontage.

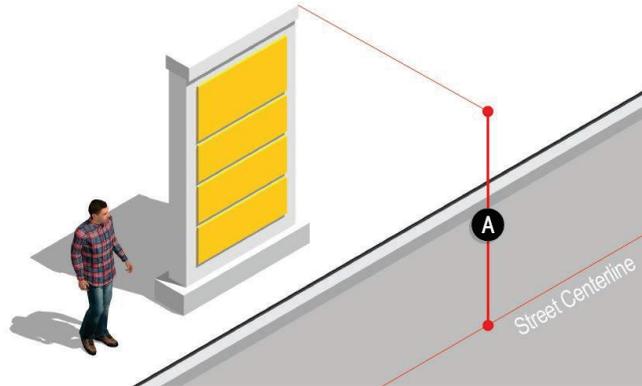
Figure 6.1. Limit on Sign Area



### 10-6-3. Sign Measurement

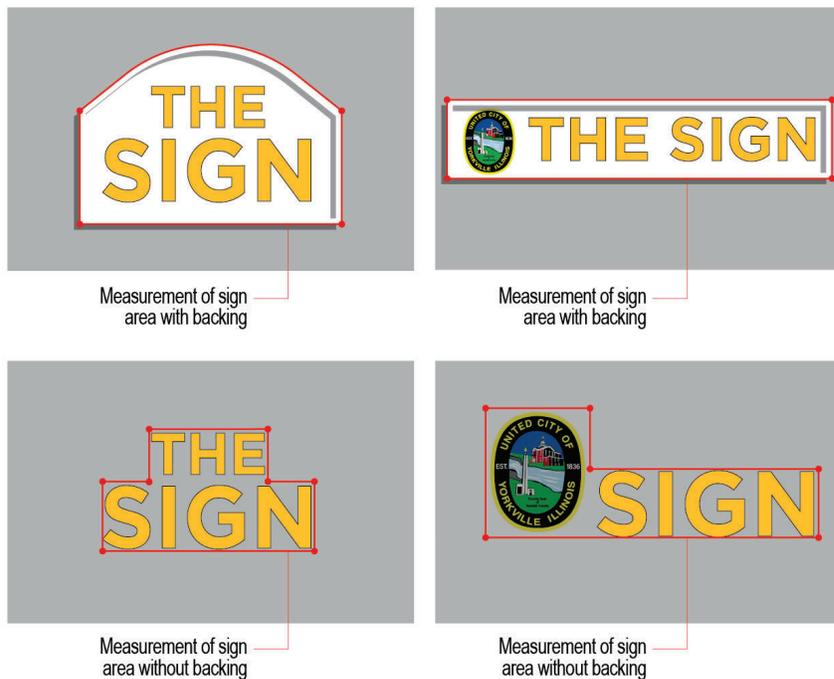
- A. **Sign Height.** The height of a sign shall be computed as the distance from the grade of the centerline of the adjacent street to the top of the highest attached component of the sign.

Figure 6.2. Sign Height Measurement



- B. **Sign Area.** Sign area shall be computed by means of the smallest square, rectangle, circle, triangle or combination thereof that shall encompass the extreme limits of the writing representation, emblem or other display, together with any material or color forming an integral part of the backing of the display or used to differentiate the sign from the sign base or structure against which it is placed. Sign area shall not include any supporting framework, bracing, decorative fence, or wall when such fence or wall otherwise meets this Title's regulations and is clearly incidental to the display itself. A double-faced sign shall count as a single sign.

Figure 6.3. Sign Area Measurements



### 10-6-4. Permitted Sign Types

- A. The following key is to be used in the interpretation of Table 10-6-4(A) Permitted Sign Types by district.
1. **Permitted Sign Types.** Sign types marked as “P” in the table shall be permitted subject to all applicable regulations of this Title and only after the issuance of a Sign Permit as detailed in Section 10-8-3(E).
  2. **Allowed Sign Types.** Sign types marked as “A” in the table shall be allowed subject to all applicable regulations of this Title without the issuance of a Sign Permit.
  3. **Prohibited Sign Types.** A blank space in the table indicates that a sign type is not allowed in the respective district.
  4. **Interpretation of Similar Sign Type.** If a proposed sign is not listed in the table, the Zoning Administrator shall determine if the sign is substantially similar to a sign listed in the table. If it is, the standards applied to the proposed sign shall be the standards applicable to the similar sign. If not, the sign shall be regarded as prohibited.
  5. **Exempt Signs.** Any sign located on private property less than two (2) square foot in area and mounted on a structure shall be exempt from the standards of this Chapter.
  6. **Unlisted Sign Types.** Sign types that are not included in Table 10-6-4(A) shall be considered prohibited.

Table 10-6-4(A) Permitted Sign Types by District									
Sign Type	District								
	R Districts	B-1	B-2	B-3	M-1	M-2	A-1	OS	PI
<i>Permanent Signs</i>									
Wall Sign	P (1)	P	P	P	P	P	P (1)	P	P
Single-Tenant Monument Sign	P (1)(2)	P	P	P	P	P	P (1)	P	P
Multi-Tenant Monument Sign		P	P	P	P	P			P
Awning/Canopy Sign	P (1)	P	P	P	P	P	P (1)	P	P
Projecting Sign		P	P	P				P	P
Window Sign		A	A	A	A	A		A	A
On-Site Traffic Directional Sign	P (1)	P	P	P	P	P		P	P
<i>Temporary Signs</i>									
Wall Mounted Banner Sign	P (1)	P	P	P	P	P	P (1)	P	P
Ground Mounted Banner Sign	P (1)	P	P	P	P	P	P (1)	P	P
Feather Sign		P	P	P	P	P		P	
A-Frame/Sandwich Board Sign	A (1)	A	A	A					
Post Sign	A	A	A	A	A	A	A	A	P
Yard Sign	A	A	A	A	A	A	A	A	P
Cold Air Inflatables		A	A	A	A	A	A	A	A
<i>Notes:</i>									
(1) Sign shall be permitted for nonresidential, mixed use, or multifamily developments only.									
(2) Sign shall be permitted at entryways or gateways to subdivisions or neighborhoods only.									

## 10-6-5. General Sign Standards

### A. Illumination.

1. **Location and Design of Light Source.** Whenever an external artificial light source is used for a sign, such source shall be located, shielded, and directed so as not to be directly visible from any public street or private residence. No receptacle or device housing a permitted light source for a sign shall protrude more than twelve (12) inches from the face of the sign or building to which it is attached except if such light source is ground mounted, locked in place, and cannot be redirected.
2. **Level of Illumination.** In no event shall the illumination of any sign, resulting from any internal or external artificial light source, exceed the outdoor lighting standards established in Section 10-5-7. All artificial illumination shall be so designed, located, shielded, and directed as to prevent the casting of glare or direct light upon adjacent property or streets.

### B. Electronic Message Boards. Single-tenant and multi-tenant monument signs may incorporate electronic message boards in accordance with the following:

1. The area of the sign devoted to an electronic message board shall be part of, not in addition to, the maximum sign area allowed.
2. The maximum sign area of any sign comprised entirely of an electronic message board shall be eighty (80) percent of the maximum sign area of the single-tenant or multi-tenant sign, as applicable.
3. The electronic message format shall conform to the following requirements:
  - a. The message shall contain a static message or image only and not have movement, or the appearance of movement, during the static display period.
  - b. The transition to change from one message or image to another shall be instant and not dissolve, fade, scroll, travel, or have similar transitions.
  - c. The message shall not change more frequently than once every ten (10) seconds.
4. Electronic message boards must be equipped with a default mechanism that shall stop the messaging or freeze the image in one position when a malfunction in electronic programming occurs.
5. Electronic message boards shall be equipped with a sensor or other device that automatically determines the ambient illumination and is programmed to automatically dim according to light conditions.
6. Illumination of electronic message signs shall not exceed 0.3 foot-candles over the ambient lighting conditions when measured at a distance equal to the square footage of the sign area.
7. Illumination of electronic message signs shall not be detectable across any property line.
8. Applications shall be reviewed by the Zoning Administrator to determine that the sign placement does not interfere with traffic control devices within three hundred (300) feet of the sign or traffic circulation upon roadways.

## 10-6-6. Permanent Sign Standards

### A. Wall Signs.

#### 1. Sign Area.

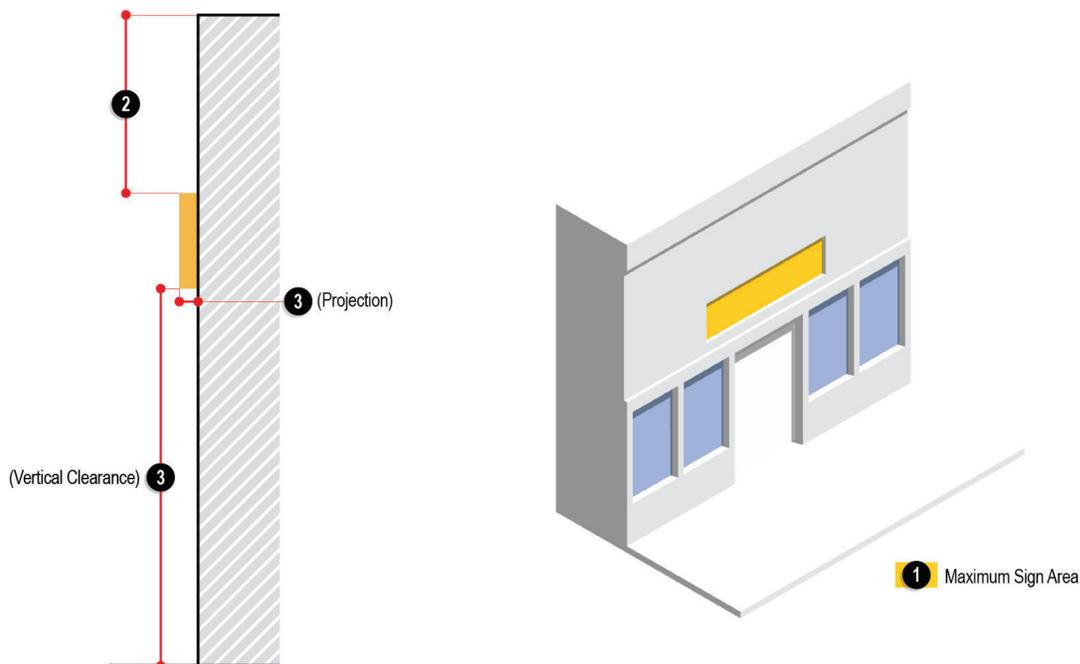
- a. **Signs Attached to a Wall With a Public Entrance or Facing a Public Right-of-Way.** The maximum sign area shall be two (2) square feet for every one (1) linear foot of the exterior wall to which it is affixed. The sign shall not exceed seventy-five (75) percent of the width of the exterior wall to which it is attached.
- b. **Signs Attached to Any Other Wall.** The maximum sign area shall be one (1) square foot for every one (1) linear foot of the exterior wall to which it is affixed. The sign shall not exceed fifty (50) percent of the width of the exterior wall to which it is attached.

2. **Sign Height.** No wall sign shall be closer than one (1) foot from the highest roofline or the top of the parapet wall or mansard root.

#### 3. Projection and Clearance.

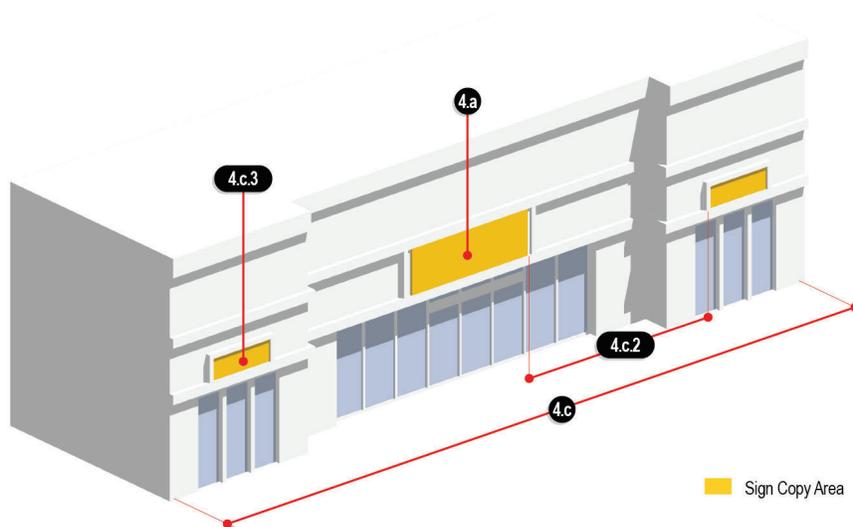
- a. **Projection.** If the wall sign projects more than six (6) inches from the wall of the building or structure to which it is attached, it shall maintain a vertical clearance of at least eight (8) feet.
- b. **Maximum Projection.** No wall sign shall project more than twelve (12) inches from the wall of the building or structure to which it is attached. Any sign which projects more than twelve (12) inches from the wall will be defined as a projecting sign as regulated in Section 10-6-6(D).

*Figure 6.4. Wall Sign Area, Height, and Projection*



4. **Number of Signs.**
  - a. Single tenant buildings shall be permitted a total of two (2) primary wall signs per one hundred (100) linear feet of building frontage. One (1) additional wall sign shall be allowed per additional hundred (100) feet of building frontage. Only one (1) primary wall sign shall be displayed on any single building façade.
  - b. Multi-tenant buildings shall be permitted one (1) wall sign per unit.
  - c. A maximum of two (2) secondary wall signs may be authorized for buildings with lineal frontage in excess of seventy-five (75) feet by the Zoning Administrator provided such additional signage is:
    - (1) In keeping with the overall design and architecture of the building,
    - (2) A minimum of ten (10) feet from the primary wall sign and other secondary wall signs,
    - (3) A maximum of fifty (50) percent of the size of the primary wall sign,
    - (4) Accessory to the building’s primary wall sign, and
    - (5) The total area of all primary and secondary wall signs does not exceed the maximum wall sign area as established in Section 10-6-6(A)(1).
5. **Sign Copy.** If the sign copy utilized on a wall sign is either individually affixed letters, raceway letters, applied vinyl, or printed, etched, or otherwise incorporated directly on the sign’s backing plate, the Zoning Administrator may approve an increase in sign copy area up to an additional five (5) percent of the total area of the face of the wall to which the sign is to be affixed.
6. **Other Provisions.** No wall sign shall be affixed to HVAC screening, elevator overrun, or other features protruding from the roof of the structure.

**Figure 6.5. Secondary Wall Sign Standards**



**B. Monument Signs.****1. General Monument Sign Standards**

- a. **Sign Materials.** The following classes of sign materials shall be utilized in the determination of allowed sign area and sign height as detailed in Sections 10-6-3(A) and 10-6-3(B).

**(1) Base Quality Materials.**

- (a) Stone veneer systems,
- (b) Fiber cement,
- (c) Wood,
- (d) EIFs,
- (e) Precast panels, or
- (f) Other as determined by the Zoning Administrator.

**(2) High Quality Materials.**

- (a) Masonry,
- (b) Natural stone,
- (c) Steel/wrought iron, or
- (d) Other as determined by the Zoning Administrator.

**b. Landscape.**

- (1) All monument signs shall be required to plant and maintain a landscape area at the base of the sign.
- (2) The minimum area of the landscape area shall be equal to half (1/2) of the square footage of the sign area of the associated sign.
- (3) Landscape areas shall be planted with one (1) shrub or native grass, per every three (3) square feet of required landscape area.
- (4) Required shrubs and native grasses shall be approved by the Zoning Administrator as a landscape plan.

2. **Single-Tenant Monument Signs.**

a. **Sign Dimensions.**

(1) **Base Quality Single-Tenant Monument Signs.** Single-tenant monument signs utilizing base quality sign materials shall meet the following dimensional standards.

(a) **Sign Area.** The maximum sign area shall not exceed thirty-two (32) square feet.

(b) **Sign Height.** The maximum sign height of single-tenant monument signs shall not exceed eight (8) feet.

(2) **High Quality Single-Tenant Monument Signs.** Single-tenant monument signs utilizing high quality sign materials shall meet the following dimensional standards.

(a) **Sign Area.** The maximum sign area shall not exceed forty-eight (48) square feet.

(b) **Sign Height.** The maximum sign height of single-tenant monument signs shall not exceed twelve (12) feet.

b. **Number of Signs.** A maximum of one (1) single-tenant monument sign shall be permitted per every eight-hundred (800) continuous, linear feet of lot frontage.

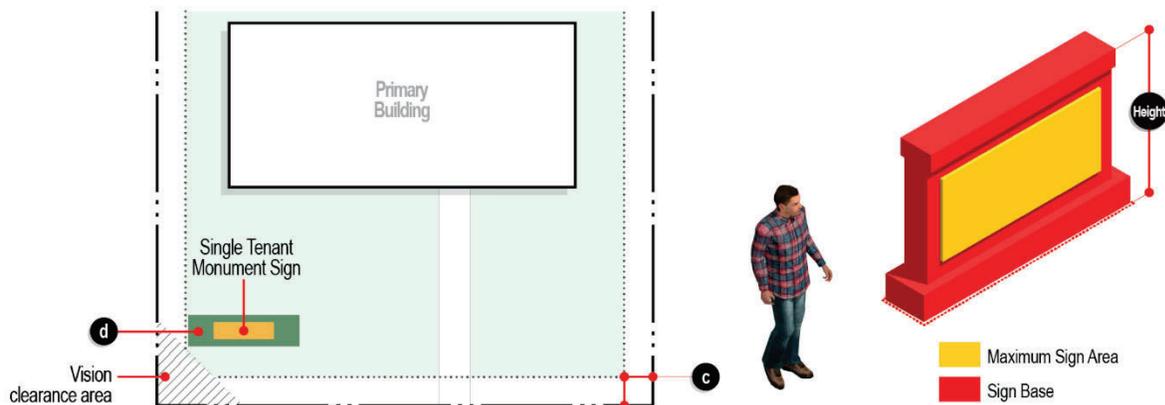
c. **Location.** Single-tenant monument signs shall be located the minimum distance established below per district type from property lines, rights-of-way, and utility easements, shall not block points of ingress or egress, be placed in any sidewalk or pedestrian circulation system, and shall not be located in a vision clearance area as detailed in Section 10-5-6.

(1) **Residential Districts:** Ten (10) feet

(2) **Nonresidential Districts:** Five (5) feet

d. **Landscape Requirement.** All single-tenant monument signs shall be required to plant and maintain a landscape area meeting the requirements of Section 10-6-6(B)(1)(d) at the base of the sign.

Figure 6.6. Single-Tenant Monument Sign Standards



3. **Multi-Tenant Monument Signs.**

a. **Sign Dimensions.**

(1) **Base Quality Multi-Tenant Monument Signs.** Multi-tenant monument signs utilizing base quality sign materials shall meet the following dimensional standards.

(a) **Sign Area.** The maximum sign area shall not exceed thirty-two (32) square feet.

(b) **Sign Height.** The maximum sign height of single-tenant monument signs shall not exceed ten (10) feet.

(2) **High Quality Multi-Tenant Monument Signs.** Multi-tenant monument signs utilizing high quality sign materials shall meet the following dimensional standards.

(a) **Sign Area.** The maximum sign area shall not exceed sixty-four (64) square feet.

(b) **Sign Height.** The maximum sign height of single-tenant monument signs shall not exceed fourteen (14) feet.

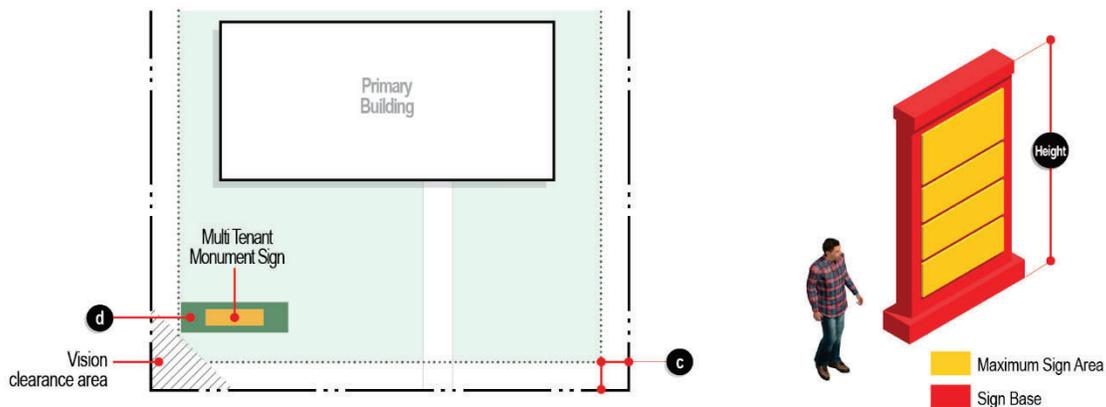
b. **Number of Signs.** A maximum of one (1) multi-tenant monument sign shall be permitted per lot frontage.

c. **Location.** Multi-tenant monument signs shall be located a minimum of five (5) feet from all property lines and rights-of-way, shall not block points of ingress or egress, be placed in any sidewalk or pedestrian circulation system and shall not be located in a vision clearance area as detailed in Section 10-5-6.

d. **Landscape Requirement.** All multi-tenant monument signs shall be required to plant and maintain a landscape area meeting the requirements of Section 10-6-6(B)(1)(d) at the base of the sign.

e. **Signs Within Landscaped Medians.** Any multi-tenant monument sign within a landscaped median shall be located outside vision clearance areas as specified in Section 10-5-6.

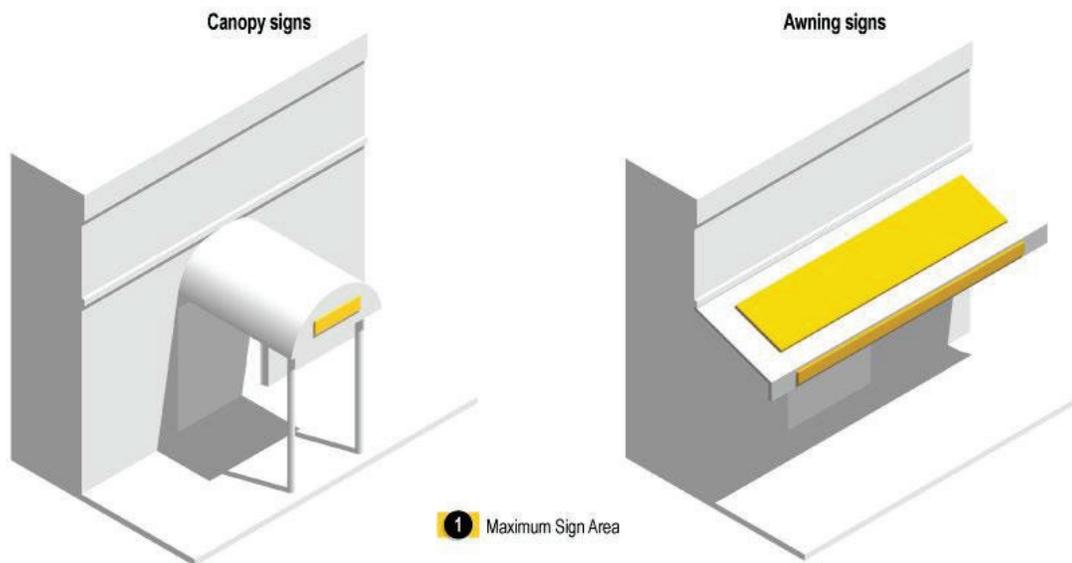
**Figure 6.7. Multi-Tenant Monument Sign Standards**



C. **Awning/Canopy Signs.**

1. **Sign Area.** The maximum sign area of awning/canopy signs shall be fifty (50) percent of the face of the awning or canopy upon which the sign shall be printed or affixed. The area of the awning or canopy sign copy shall count towards the maximum amount of sign area permitted for wall signs as detailed in Section 10-6-6(A)(1).
2. **Other Provisions.**
  - a. Signs required for public health, safety, and welfare that are posted on awnings/canopies, like “clearance” signs, shall not count towards allowed sign area.
  - b. Awning/canopy signs shall only be permitted on awnings/canopies extending above ground floor entrances or windows.

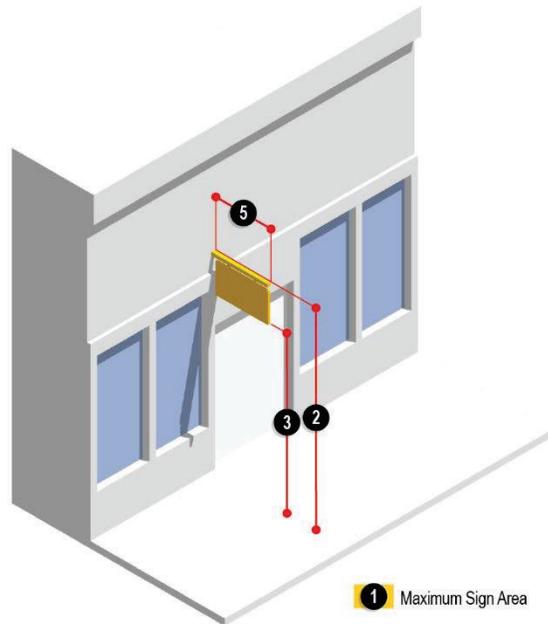
*Figure 6.8. Awning/Canopy Sign Standards*



D. **Projecting Signs.**

1. **Sign Area.** The maximum permitted sign copy area of projecting signs shall be sixteen (16) square feet.
2. **Height.** Projecting signs shall not extend above the roofline of the building to which it is attached, or a maximum of twelve (12) feet, whichever is less.
3. **Clearance.** Projecting signs shall maintain a minimum vertical clearance of eight (8) feet.
4. **Number of Signs.** A maximum of one (1) projecting sign shall be permitted per ground floor nonresidential tenant space. A projecting sign and a wall sign may be displayed on the same building frontage. A projecting sign and an awning or canopy sign shall not be displayed on the same building frontage.
5. **Projection.**
  - a. Signs which project over a public right-of-way may horizontally project a maximum of four (4) feet from the mean elevation of the building to which it is attached.
  - b. Signs which project over private property may horizontally project a maximum of eight (8) feet from the mean elevation of the building to which it is attached.
6. **Other Provisions.** Projecting signs may encroach upon, extend, or project over a public right-of-way or easement. The property owner may be required to provide a release or hold harmless to the City prior to issuing permits for any such signs.

**Figure 6.9. Projecting Sign Standards**

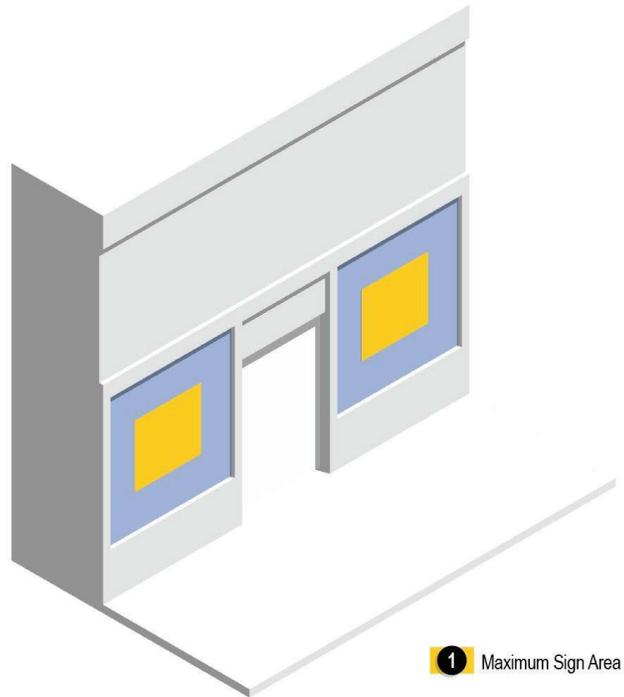


E. **Window Signs.**

1. **Sign Area.** The maximum permitted sign area of a window sign shall be fifty (50) percent of the square footage of the individual window on which the sign shall be located.

*Figure 6.10. Window Sign Standards*

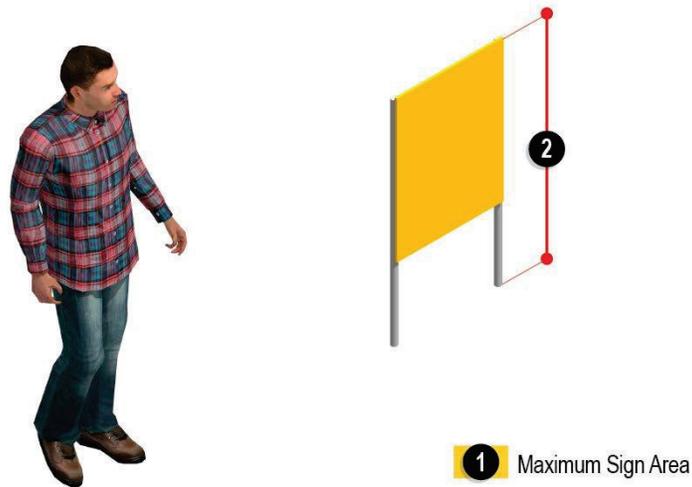
---



F. **On-Site Traffic Directional Signs.**

1. **Sign Area.** The maximum sign area of on-site traffic directional signs shall not exceed six (6) square feet. Permitted on-site traffic directional sign area shall not count towards aggregate sign area.
2. **Sign Height.** The maximum height of on-site traffic directional signs shall not exceed four (4) feet.
3. **Number of Signs.** The permitted number of on-site traffic directional signs shall be determined by the Zoning Administrator as necessary to assist in the safe movement of vehicular and pedestrian traffic on a property.

*Figure 6.11. On-Site Traffic Directional Sign Standards*



## 10-6-7. Temporary Sign Standards

### A. General Standards for Permitted Temporary Signs.

1. **Concurrent Display.** A maximum of two (2) permitted temporary signs, as permitted per district, may be displayed per lot concurrently, with the exception of feather signs as detailed in Section 10-6-7(D).

### B. Wall Mounted Banner Signs.

1. **Sign Area.**
  - a. The maximum sign area of wall mounted banner signs in residential districts or the B-1, B-2, A-1, OS, and PI Districts shall not exceed seven and one-half (7.5) percent of the total area of the face of the wall to which the sign is to be affixed.
  - b. The maximum sign area of wall mounted banner signs in the B-3, M-1, and M-2 Districts shall not exceed ten (10) percent of the total area of the face of the wall to which the sign is to be affixed.
2. **Sign Height.** No wall mounted banner sign shall protrude above the highest roofline or above the top of the parapet wall or mansard roof.
3. **Number of Signs.** A maximum of one (1) wall mounted banner sign shall be permitted per lot frontage of a single-tenant building or unit of a multi-tenant building.
4. **Location.** Wall mounted banner signs shall be affixed to a building.
5. **Projection.** Wall mounted banner signs shall be affixed flat against the building to which they are mounted.
6. **Duration.** Wall-mounted banner signs shall be limited to ninety (90) days in any calendar year.

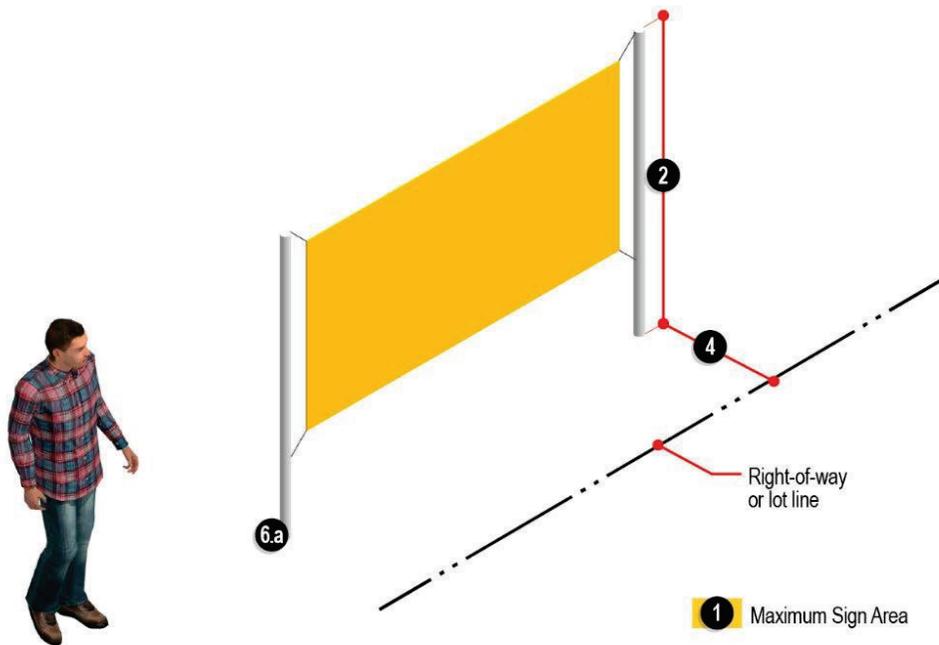
Figure 6.12. Wall-Mounted Banner Sign Standards



C. **Ground Mounted Banner Signs.**

1. **Sign Area.** The maximum sign area of a ground mounted banner sign shall not exceed thirty-two (32) square feet.
2. **Sign Height.** The maximum height of a ground mounted banner sign shall not exceed six (6) feet.
3. **Number of Signs.** A maximum of one (1) ground mounted banner sign shall be permitted per lot frontage.
4. **Location.** Ground mounted banner signs shall be located a minimum of five (5) feet from all property lines and shall not block points of ingress or egress, be placed in any sidewalk or pedestrian circulation system and shall not be located in a vision clearance area as detailed in Section 10-5-6.
5. **Duration.** Ground mounted banner signs shall be limited to ninety (90) days in any calendar year.
6. **Other Provisions.**
  - a. Ground mounted banner signs shall be securely anchored into the ground or secured in a portable base designed for such function.
  - b. Ground mounted banner signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.

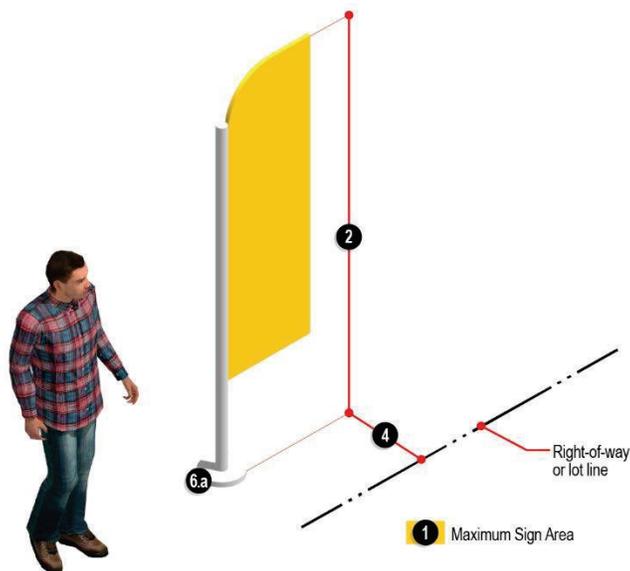
**Figure 6.13. Ground-Mounted Banner Sign Standards**



D. Feather Sign.

1. **Sign Area.** The maximum sign area of feather signs shall not exceed twenty-six (26) square feet.
2. **Sign Height.** The maximum height of a feather sign shall not exceed twelve (12) feet.
3. **Number of Signs.**
  - a. A maximum of three (3) feather signs sixteen (16) square feet or less shall be permitted per lot frontage. Only one (1) feather sign shall be permitted per frontage when the sign is over sixteen (16) square feet in area.
  - b. For multi-tenant buildings, only one (1) feather sign is permitted per business.
4. **Location.**
  - a. Feather signs shall be located a minimum of five (5) feet from all property lines and shall not block points of ingress or egress, be placed in any sidewalk or pedestrian circulation system, and shall not be located in a vision clearance area as detailed in Section 10-5-6.
  - b. For multi-tenant buildings, feather signs must be twenty-five (25) feet from any other feather sign.
5. **Duration.**
  - a. The permitted display period of a feather sign shall be a maximum of thirty (30) consecutive days.
  - b. A total of three (3) nonconcurrent display periods shall be permitted per property per calendar year.
  - c. Nonconcurrent display periods shall be separated by a minimum of thirty (30) days.
6. **Other Provisions.**
  - a. Feather signs shall be securely anchored into the ground or secured in a portable base designed for such function.
  - b. Feather signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.

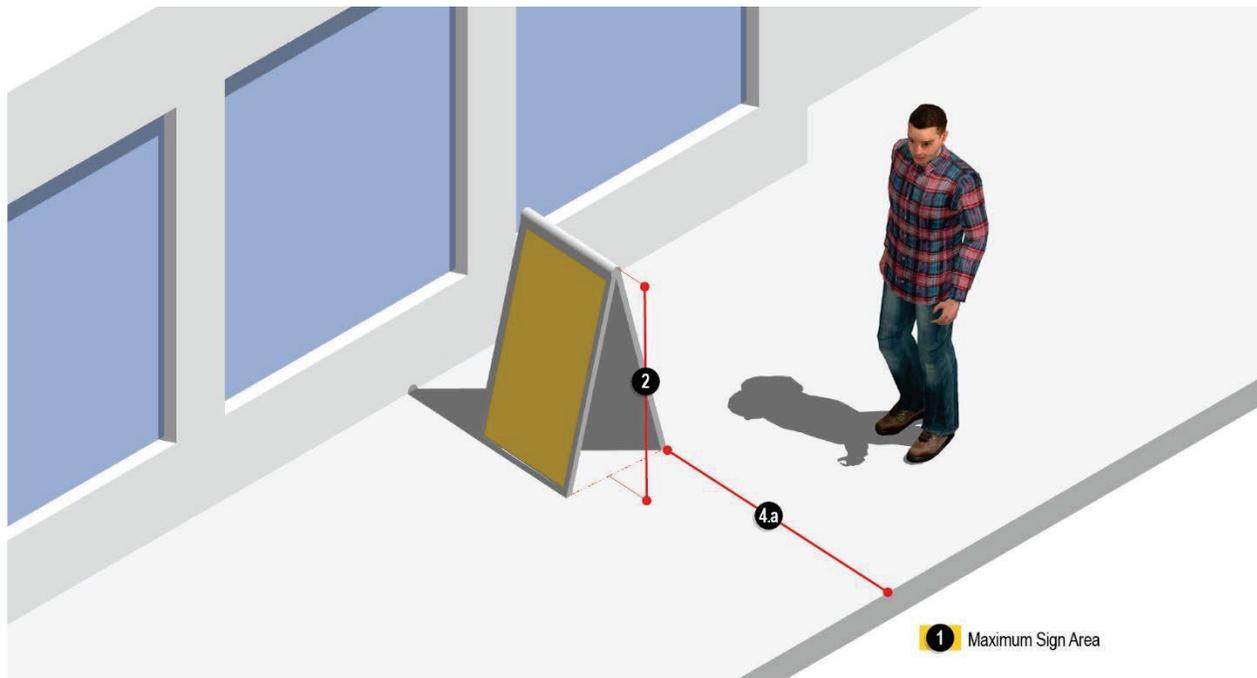
Figure 6.14. Feather Sign Standards



E. **A-Frame/Sandwich Board Signs.**

1. **Sign Area.** The maximum allowed sign area of a-frame/sandwich board signs shall be eight (8) square feet.
2. **Height.** The maximum allowed height of a a-frame/sandwich board sign shall be four (4) feet.
3. **Number of Signs.** A maximum of one (1) a-frame/sandwich board sign shall be permitted per ground floor nonresidential tenant space.
4. **Location.**
  - a. A-frame/sandwich board signs shall be placed in a manner that preserves a continuous sidewalk width of a minimum of three (3) feet.
  - b. No part of any a-frame/sandwich board sign shall block points of ingress or egress.
  - c. All a-frame/sandwich board signs shall be within seven-hundred fifty (750) feet of the entrance of the associated business.
5. **Other Provisions For Parcels within the Downtown Overlay District.**
  - a. A-frame/sandwich board signs shall be on-premises signs only, with the exception of B-2 zoned parcels.
  - b. The property owner of B-2 zoned parcels may locate an A-Frame/Sandwich Board sign off premise within the public right-of-way within the Downtown Overlay District. The owner shall be required to provide a release or hold harmless to the City prior to the display of any such signs located within a public right-of-way.
6. **Duration of Display.** The display of a-frame/sandwich board signs shall only be permitted during the operating hours of the use to which the sign is associated.

**Figure 6.15. A-Frame/Sandwich Board Sign Standards**



F. **Post Signs.**

1. **Sign Copy Area.**

- a. The maximum sign copy area of a post sign in a residential zoning district shall not exceed six (6) square feet.
- b. The maximum sign copy area of a post sign in a nonresidential zoning district shall not exceed thirty-two (32) square feet.

2. **Sign Height.** The maximum height of a post sign shall not exceed six (6) feet.

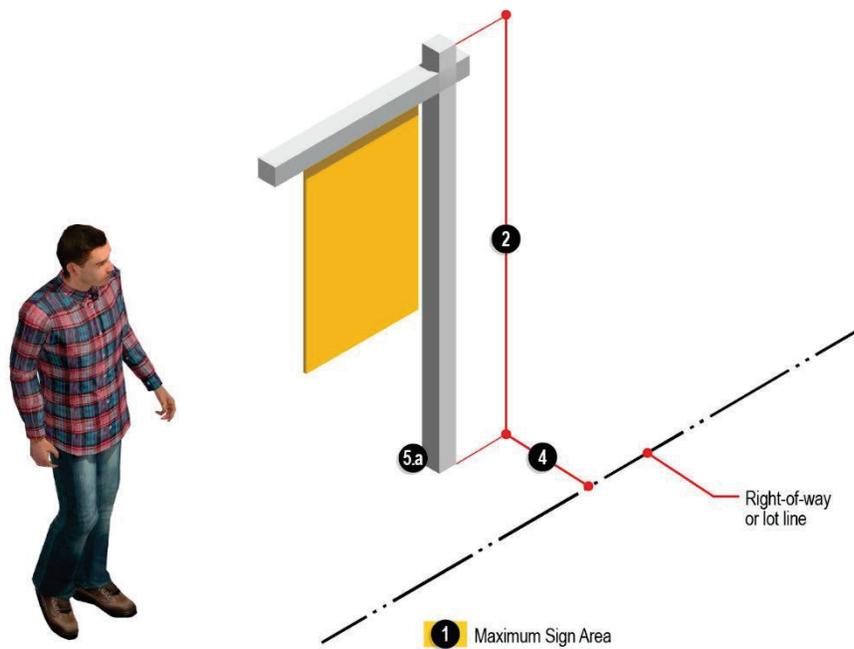
3. **Number of Signs.** A maximum of one (1) post sign shall be allowed per lot frontage.

4. **Location.** Post signs shall be located a minimum of five (5) feet from all property lines and shall not block points of ingress or egress, be placed in any sidewalk or pedestrian circulation system and shall not be located in a vision clearance area as detailed in Section 10-5-6.

5. **Other Provisions.**

- a. Post signs shall be securely anchored into the ground or secured in a portable base designed for such function.
- b. Post signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.

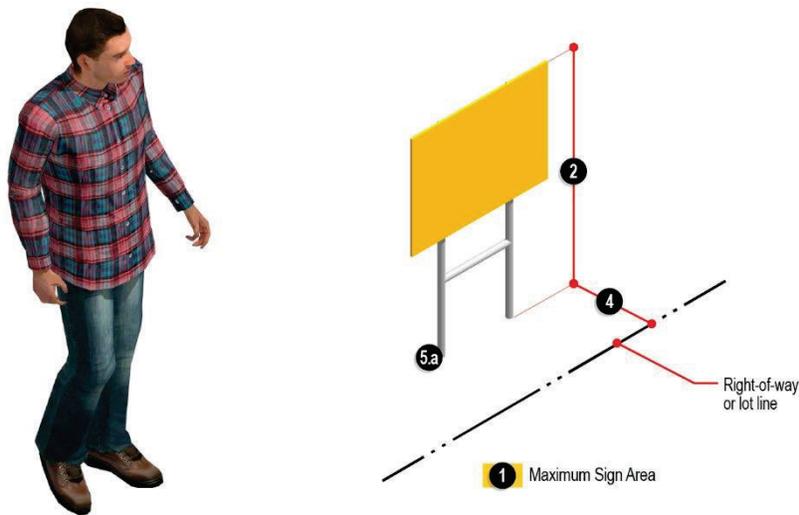
**Figure 6.16. Post Sign Standards**



G. **Yard Signs.**

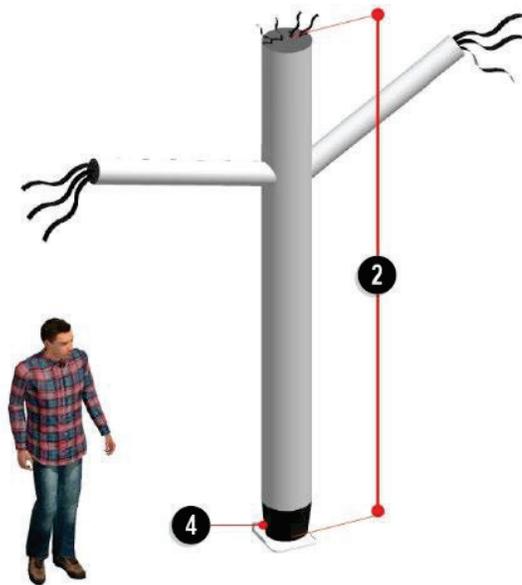
1. **Sign Area.** The maximum sign area of yard signs shall be as follows.
  - a. Thirty-two (32) square feet for parcels that have frontage along a major arterial road.
  - b. Sixteen (16) square feet for all other parcels.
2. **Sign Height.** The maximum height of a yard sign shall not exceed four (4) feet.
3. **Number of Signs.** A maximum of two (2) yard signs may be displayed concurrently. However, during the period sixty (60) days before and fifteen (15) days after a federal, state, or local election an unlimited number of yard signs may be displayed concurrently subject to all other applicable regulations of this section.
4. **Location.** Yard signs shall be located a minimum of five (5) feet from all property lines, rights-of-way, and utility easements, shall not block points of ingress or egress, shall not be placed in any sidewalk or pedestrian circulation system and shall not be located in a vision clearance area as detailed in Section 10-5-6.
5. **Other Provisions.**
  - a. Yard signs shall be securely anchored into the ground or secured in a portable base designed for such function.
  - b. Yard signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.
  - c. One (1) yard sign displayed for a period of up to seventy-two (72) hours shall be exempt from the requirements for this section.

Figure 6.17. Yard Sign Standards



- H. **Cold Air Inflatables.** Cold air inflatable signs shall be allowed in all districts with the exception of residential districts.
1. **Duration.** Cold air inflatable signs shall be allowed once per calendar year for a maximum of seventy-two (72) hours.
  2. **Sign Height.** The maximum height of a cold air inflatable sign shall be twenty-five (25) feet as measured from grade.
  3. **Location.** Inflatable signs shall not be installed below or interfere with any electrical conductors, phone conductors, CATV conductors, fire alarm conductors or any other similar installations.
  4. **Supports Required.** The inflatable structure shall be ground-mounted or attached to supports and guy wires ground-mounted or securely attached to the building roof. No inflatable structure shall be permitted to be secured to any mechanical equipment, parapet walls or other items normally found on the roof of a structure.
  5. **Encroachment.** Inflatable signs shall be anchored to prevent dislocation, entanglement or encroachment onto adjacent properties or public streets, or undue hazard to motorists or pedestrians.

*Figure 6.18. Cold Air Inflatable Sign Standards*



## 10-6-8. Comprehensive Sign Plan

- A. **Intent.** The intent of the comprehensive sign program is to provide an alternative procedure under which signs can be designed, constructed, and erected with innovation, imagination, and creative architecture. The objective of the comprehensive sign plan is to encourage a higher level of design and amenity than is possible to achieve under otherwise applicable sign regulations.
- B. **Applicability.** Any building or development may elect to submit a comprehensive sign plan. After the approval of a comprehensive sign plan, no permanent sign shall be erected, placed, or maintained except in conformance with the Comprehensive Sign Plan.
- C. **Conditions.** The Zoning Administrator may attach conditions, requirements, or standards necessary to assure that the signs covered by the Comprehensive Sign Plan will not be materially detrimental to persons or property in the vicinity. In making its determination, the Zoning Administrator shall not base any condition on the content of a sign.
- D. **Evaluation Criteria.**
1. **Placement.** All signs shall be placed where they are visible and legible. Factors to be considered include the location of a sign relative to traffic movement and access points, site features, other structures, and orientation relative to viewing distances and viewing angles. Wall Signs may be approved on building walls other than the wall of a unit of a multi-tenant building in which some units have little or no visibility from the street.
  2. **Quantity.** The number of signs that may be approved within any development shall be sufficient to provide necessary facilitation of internal circulation of vehicular and pedestrian traffic and wayfinding for safety of the occupants of vehicles and pedestrians. Factors to be considered shall be those that impact safety considerations such as the size of the development and the number of development sub-areas.
  3. **Size.** All signs shall be no larger than necessary for visibility and legibility but in no instance shall the sign area or sign height exceed the maximum established per sign type per district. Factors to be considered in determining appropriate size include topography, volume, and speed of traffic, viewing distances and angles, proximity to adjacent uses, and placement of display.
- E. **Application.** A comprehensive sign plan shall be submitted on a form established by the Zoning Administrator. The application shall contain the following information as well as all other information required by the Zoning Administrator to ensure compliance with the comprehensive sign plan evaluation criteria.
1. Name, address, and telephone number of the applicant.
  2. Location of building, structure, or lot to which or upon which the comprehensive sign plan shall apply.
  3. Name of person, firm, corporation, or association developing the comprehensive sign plan.
  4. Written consent of the owner or lessee of the building, structure, or land to which the proposed comprehensive sign plan is applicable.
  5. Scale drawing of all signs included in the comprehensive sign plan indicating the dimensions, the materials to be used, the type of illumination, if any, and the method of construction and attachment. Said drawings shall be drawn at a scale no smaller than one-eighth (1/8) inch equals one (1) foot and shall be prepared, signed, and sealed by a registered professional engineer when required by the Zoning Administrator.
  6. A scale drawing indicating the location and position of all signs included in the comprehensive sign plan in relation to nearby buildings or structures. Said drawing shall be at a scale no smaller than one (1) inch equals fifty (50) feet.
- F. **Review and Action.** The Zoning Administrator shall review the comprehensive sign plan application and approve, approve with conditions, or deny the application based on the evaluation criteria. A written decision including the findings on the evaluation criteria shall be rendered to the applicant.

- G. **Appeals.** Any applicant who receives a notice of denial from the Zoning Administrator may, within thirty (30) days after receipt of such decision, appeal such decision to the Board of Adjustment by filing a written notice of appeal with the Zoning Administrator with an explanation as to why said decision was not warranted according to the applicant.

### **10-6-9. Prohibited Signs and Content**

- A. **Prohibited Signs.** The following sign types shall be prohibited in all districts:

1. Pole/Pylon Signs
2. Billboards
3. Roof Signs
4. Outline Lighting
5. Signs located on City property without the City's permission
6. Signs which encroach on the public right-of-way

- B. **Prohibited Content.**

1. The following content is prohibited without reference to the viewpoint of the individual speaker:
  - a. Content that is prohibited or restricted per state or federal statute.
  - b. Text or graphics that advertise unlawful activity,
  - c. Text or graphics that are obscene, fighting words, defamation, incitement to imminent lawless action, or true threats, or
  - d. Text or graphics that present a clear and present danger due to their potential confusion with traffic control signs or signs that provide public safety information (for example, signs that use the words "Stop," "Yield," "Caution," or "Danger," or comparable words, phrases, symbols, or characters in such a manner as to imply a safety hazard that does not exist).
2. The narrow classifications of content that are prohibited by this subsection are either not protected by the United States or Illinois Constitutions or are offered limited protection that is outweighed by the substantial governmental interests in protecting the public safety and welfare. It is the intent of the City Council that each paragraph of this Subsection be individually severable in the event that a court of competent jurisdiction were to hold one or more of them to be inconsistent with the United States or Illinois Constitutions.

### **10-6-10. Safety, Maintenance, and Abandonment**

- A. Every sign and all parts thereof, including framework, supports, background, anchors and wiring systems shall be constructed and maintained in compliance with applicable building and other codes adopted by the City.
- B. All signs, together with all supports, braces, guys, and anchors shall be kept in proper repair in accordance with the provisions of this Title. When not galvanized or constructed of approved corrosion resistive, noncombustible materials, signs shall be painted when necessary to prevent corrosion, rust, peeling paint, and excessive fading. Failure of owners to keep signs maintained in good mechanical and visual repair shall be deemed a violation of this Title.
- C. It shall be the duty and responsibility of the owner or lessee of every sign to maintain the immediate premises occupied by the sign in a clean condition, free of rubbish.

- D. If the Zoning Administrator shall find that any sign is unsafe or unsecure, or is a threat to the public safety, or was, after the adoption of this Title constructed, erected, or maintained in violation of the provisions of this title, he or she shall give written notice per the provisions of this Title. Such notice shall specify the manner in which the sign is unsafe or in violation of this Title.
- E. Sign copy shall be removed and in the case of a wall sign, the building façade shall be repaired, by the owner or lessee of the premises upon which the sign is located when the use which the sign is associated is no longer conducted on the premises. The sign copy shall be removed within thirty (30) days of when the use ceases to operate. If the owner or lessee fails to remove the sign copy, the Zoning Administrator shall give the owner thirty (30) days written notice to remove it. Failure to comply with the notice shall be deemed a violation of this Title.

# Chapter 7. Subdivision Standards

10-7-1. Intent and Purpose ..... 1

10-7-2. Lots..... 2

10-7-3. Street Design and Improvements ..... 3

10-7-4. Circulation and Connectivity ..... 13

10-7-5. Easements..... 13

10-7-6. Water, Sewer, and Stormwater ..... 14

10-7-7. Cluster Development ..... 15

10-7-8. Anti-Monotony Standards ..... 16

10-7-9. Park and Recreation Land and School Site Dedication..... 18

## 10-7-1. Intent and Purpose

- A. The regulations of this Chapter are adopted to:
1. Protect the interests of the landowner, the investor in land, the homeowner, and the municipal unit;
  2. Conserve, protect, and enhance property and property values; to secure the most efficient use of land; and to facilitate the provisions of public improvements;
  3. Provide for orderly growth and development; to afford adequate facilities for the safe and efficient means for traffic circulation of the public; and to safeguard the public against flood damage;
  4. Prescribe reasonable rules and regulations governing the subdivision and platting of land; the preparation of plats; the location, width, and course of streets and highways; the installation of utilities, street pavements, and other essential improvements; and the provision of necessary public grounds for schools, parks, playgrounds, and other public open space; and
  5. Establish procedures for the submission, approval, and recording of plats, to provide the means for enforcement of this title, and to provide penalties for violations.
- B. **Provision of Improvements.** All improvements required by this Chapter shall be installed by the developer as part of a Subdivision as detailed in Section 10-8-6.
- C. **Conformance With Standard Specifications and Ordinances.** All improvements required in this Chapter shall be as specified in the City's standard specifications for improvements, the Kendall County Stormwater Management Ordinance, and other applicable County ordinances.

## 10-7-2. Lots

- A. **Conformance With District Standards.** All lots shall meet the minimum depth, width, and area requirements of the governing district, unless otherwise approved as a cluster development.
- B. **Lot Size and Shape.** The size, shape, and orientation of lots shall be appropriate for the location of the subdivision, and for the type of development and use contemplated, as determined by the Planning and Zoning Commission and City Council.
- C. **Orientation.** Where appropriate, lot orientation along an east-west longitudinal axis is recommended for increased energy efficiency for potential solar panels.
- D. **Double Frontage and Reverse Frontage Lots.**
1. Double frontage and reverse frontage lots shall be avoided, except where necessary to overcome disadvantages of topography and orientation, and where a limited access highway, railroad right-of-way, major street, or similar situation exists.
  2. In these instances, double frontage lots shall be provided with suitable screen planting when adjoining roadways as follows:
    - a. **Local or Collector Roads.** Double frontage lots adjoining a local or collector road shall provide a type C transition yard as specified in Table 10-5-2(F)(3).
    - b. **Arterial Roads.** Double frontage lots adjoining a local or collector road shall provide a type D transition yard as specified in Table 10-5-2(F)(3).
  3. Double frontage lots may be subdivided and utilize a separate lot or outlot where the rear property line fronts an adjoining roadway for required transition yards.
- E. **Subdivisions to Include Entirety of Parent Parcels.** Subdivisions must include and plan for the entire parcel or parcel(s) being divided and shall not exclude portions of the parcel or parcel(s) being divided from the subdivision.
- F. **Access.**
1. All lots shall front or abut on a public street.
  2. The fronting of residential lots on state and county highways or major thoroughfares, major collectors as designated in the comprehensive plan is prohibited. Each subdivision entrance shall be located not less than one thousand three hundred (1,300) feet apart, centerline to centerline, unless topography or existing street locations dictate otherwise.
  3. Non-access provisions controlling ingress and egress to streets may be required by the Planning and Zoning Commission and City Council to assure traffic safety and to relieve congestion at intersections.
  4. The distance between access points shall adhere to the City's standard specifications and be approved by the City Engineer.

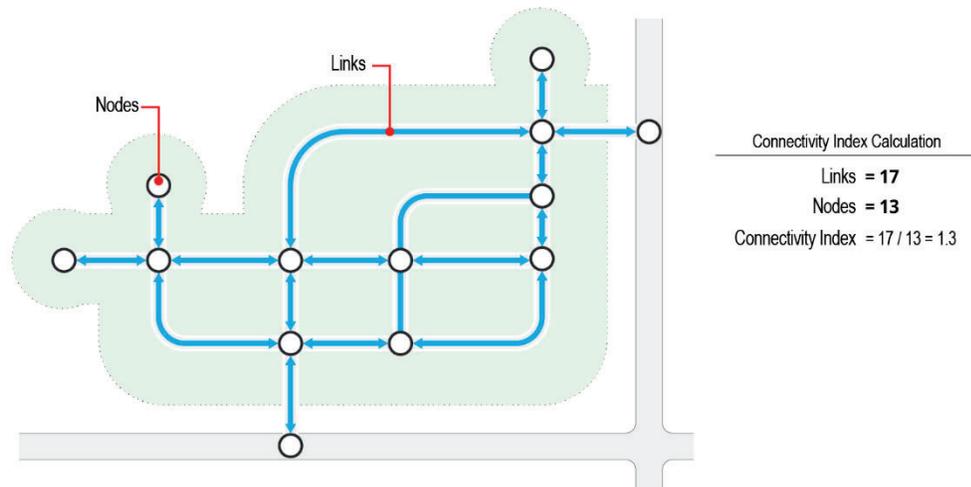
### 10-7-3. Street Design and Improvements

#### A. Street Network Design

##### 1. General Street Layout.

- a. In general, streets should be designed and located so that they relate to the topography, preserve natural features such as streams and tree growth, and provide adequate public safety and convenience for motorists, cyclists, and pedestrians alike.
- b. The proposed street layout shall also be coordinated with the existing street system of the surrounding area. Where a through street or a series of streets establishes a connection between two (2) public streets, such street shall be a public street.
- c. **Connectivity Index.** A connectivity index shall be used to determine the adequacy of street layout design. A connectivity index is calculated as the ratio of the number of street links (road sections between intersections) in the subdivision street layout divided by the number of street nodes (intersections and cul-de-sac heads). Streets within a subdivision shall have a minimum connectivity index measurement of one and two-tenths (1.2).

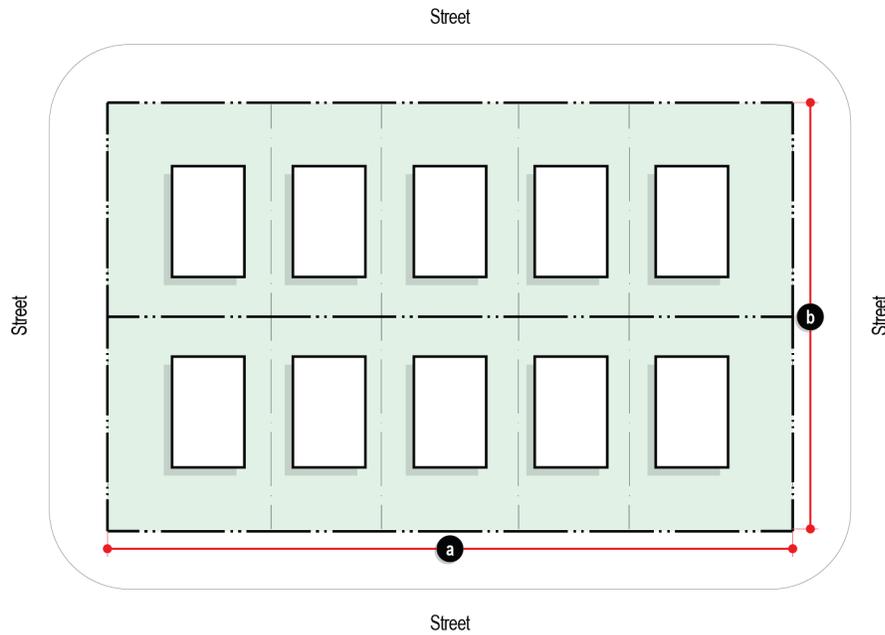
**Figure 7.1. Connectivity Index Calculation**



2. **Blocks.**

- a. **Length.** Blocks shall not exceed one thousand three hundred twenty (1,320) feet in length. Shorter blocks of eight hundred (800) feet or less in length are encouraged.
- b. **Width.** Lots shall have sufficient width to provide two (2) tiers of lots of appropriate depth, except on boundaries of a proposed subdivision or where required to separate and discourage through traffic between residential subdivisions and nonresidential development.

Figure 7.2. Blocks

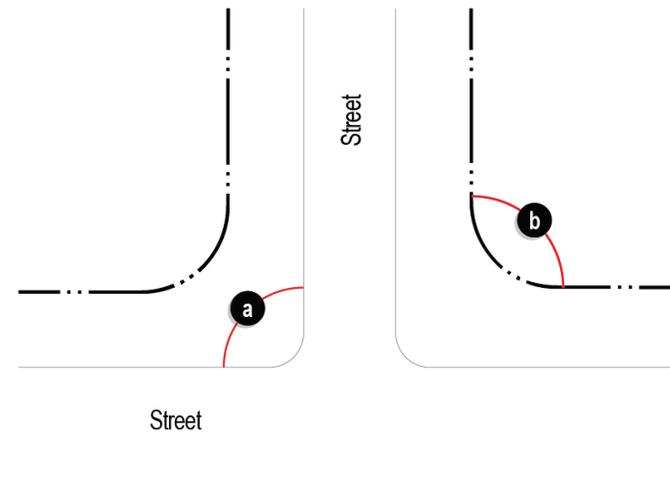


- 3. **Street Jogs.** Street intersection jogs with centerline offsets of less than one hundred fifty (150) feet shall be prohibited. Horizontal changes in alignment shall have a radius of twenty (20) feet to permit safe vehicular turning movements.

4. **Street Intersections.**

- a. Streets shall be laid out so as to intersect at right angles. Proposed intersections at angles of less than eighty (80) degrees shall not be acceptable. Proposed intersections at less than ninety (90) degrees shall be approved only when the proposed layout enhances the subdivision's overall layout and circulation pattern or is required due to natural constraints on the site as determined by the Zoning Administrator.
- b. Property lines at minor street intersections shall be rounded with a minimum radius of twenty-five (25) feet. Property lines at major streets or highway intersections shall be rounded with a minimum radius of thirty (30) feet.

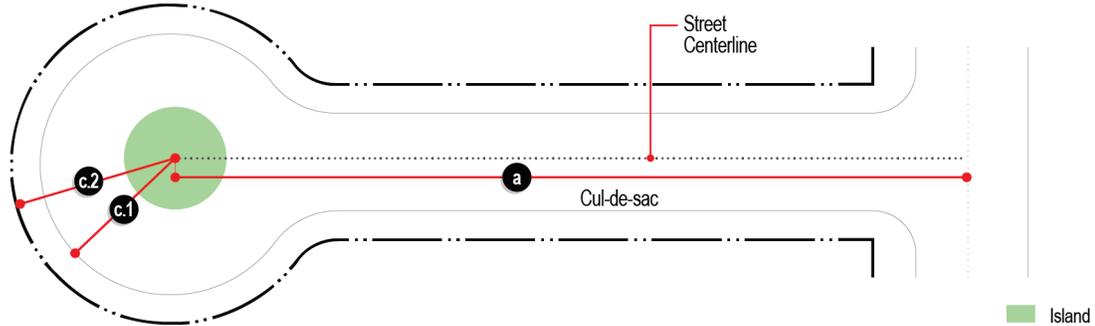
**Figure 7.3. Street Intersections**



5. **Cul-de-sacs.**

- a. Cul-de-sacs shall not exceed five hundred (500) feet in length, measured from the entrance to the center of the turn-around.
- b. **Islands.** Islands in the center of cul-de-sacs with a minimum radius of fifteen (15) feet shall be required. Islands shall use mountable curbing only that allows vehicular access to the islands. Islands may be planted with vegetation, however, such vegetation shall not exceed four (4) feet at maturity to allow for vision clearance across the cul-de-sac's diameter.
- c. **Adequate Turn-Around Required.** Cul-de-sac streets shall terminate in a circular paved area allowing for vehicular turn around and having a minimum radius of:
  - (1) Fifty (50) feet from the center of the island to the outside curb.
  - (2) Sixty (60) feet from the center of the island to the edge of right-of-way.

**Figure 7.4. Cul-De-Sac Standards**



6. **Street Stubs.**
  - a. In new developments the subdivider shall terminate streets as stubs at the outer perimeter boundaries of the development based on the criteria below. If the street in question meets at least two (2) of the criteria, then the street must be built to an appropriate collector street standard:
    - (1) The street intersects directly with any street designated as an arterial street and provides access to an area with an overall density of ten (10) dwelling units per acre or provides access to more than one hundred fifty (150) dwelling units.
    - (2) The street by its general configuration, in relationship to the existing development of the area, serves any collector function.
    - (3) The street extends into an undeveloped area in such a manner as to serve any future collector function.
    - (4) The street serves as the primary access to a significant nonresidential, institutional, or recreational land as well as an access to a residential area of twenty (20) or more acres.
  - b. Street stubs shall be clearly demarcated and identified for future street extension by street signage.
  - c. All street stubs shall terminate with a turn-around for vehicles.
  - d. All stub streets shall conform to the City's adopted version of the International Fire Code.
  - e. The City Engineer may deem that the street stub is impractical due to topographic conditions, environmental constraints, property shape, or property accessibility.
7. **Dead End Streets.** Dead end streets shall not be permitted except as street stubs per the requirements of this section.

**B. General Improvement Requirements.**

1. **Sidewalks.** Concrete sidewalks shall be at least five (5) feet in width.
2. **Shared Use Paths.** Shared use paths shall be at least eight (8) feet in width.
3. **Bicycle Facilities.**
  - a. Bicycle lanes shall be at least four (4) feet in width.
  - b. Shared bicycle and vehicle lanes and bike lanes shall be delineated in accordance with NACTO standards.
4. **Parkways.**
  - a. Parkway shall be at least seven (7) feet in width, however, parkways may be reduced to five (5) feet in width along minor streets or lower-traffic volume street types as approved by the City.
  - b. Parkway shall be located between the back of curb and sidewalk.
  - c. **Street Trees.** A minimum of one (1) canopy tree shall be planted per every forty (40) linear feet of parkway. Where overhead utility line conflicts are present, a minimum of one (1) understory tree shall be planted every twenty (20) feet. The spacing of trees shall take into consideration site-specific conditions and clear vision triangles.
    - (1) **Substitution on Private Property Allowed.** Up to twenty-five (25) percent of the street trees required in Section 10-7-3 (B)(4)(c) may be planted on private property within the subdivision provided the following are met.
      - (a) The trees located on private property shall be located within the same subdivision as the parkway trees they will be substituted for.
      - (b) The trees shall be located within the required front yard on each subject lot.
      - (c) The trees provided on private property shall be provided in addition to any landscaping required per Section 10-5-3.
      - (d) The trees provided on private property shall meet the planting specifications of Section 10-5-3(A) above.
      - (e) The substitution of street trees on private property shall enhance the visual quality of the neighborhood and achieve the same visual effects as trees planted in parkways as proposed by the developer and approved by the Zoning Administrator.
  - d. A complete streetlight system shall be installed in the required parkway in all subdivisions.
5. **On-Street Parking.**
  - a. On-street parking shall be parallel.
  - b. On-street parking spaces shall have the following minimum dimensions:
    - (1) Width: Eight (8) feet.
    - (2) Length: Twenty-three (23) feet.
  - c. On-street parking spaces shall be delineated with striping with a minimum width of four (4) inches. For all types of local streets, the striping of the on-street parking spaces may be provided but shall only be required when no curbing is provided.

d. On-street parking spaces shall be visually delineated from drive aisles with striping or other means.

**6. Medians.**

- a. Medians shall have a minimum width of ten (10) feet.
- b. Medians shall taper to a minimum of four (4) feet in width at intersections.
- c. Medians shall be planted with a minimum of fifteen (15) shrubs or native grasses every fifty (50) linear feet. Landscaped elements shall be maintained privately by a homeowners association or another organization associated with the development in which they are located.

**C. Street Design Requirements.**

1. **Right-of-Way Widths.** The minimum right-of-way widths of proposed streets shall be as detailed in Table 10-7-3(C)(1).

Type of Street	Minimum Right-of-Way Widths (Feet)
Arterial	85
Collector	70
Local Nonresidential	80
Local Residential	66

2. **Paving Widths.** The minimum paving widths from curb face shall be as detailed in Table 10-7-3(C)(2).

Type of Street	Minimum Paving Width (Feet)
Arterial	51
Collector	41
Local Nonresidential	39
Local Residential	30

3. **Required Street Design Elements.** Required street design elements shall be as established per street type in Table 10-7-3(C)(3).

- a. A “●” indicates an element that is required on one (1) side of a given street.
- b. A “○” indicates an element that is required on both sides of a given street.
- c. A “◇” indicates an element that is required.
- d. A “□” indicates an element that is required at the discretion of the City.

Type of Street	Required Street Design Element						
	Sidewalk	Shared Use Path	Parkway	Bicycle Lane	Shared Bicycle & Vehicle Lane	On-Street Parking	Median
Freeway or Expressway	As required by the IDOT						
Arterial	●	●	○	○			◇
Collector, Bike Lane & Median	●	●	○	○			◇
Collector, On-Street Parking	●	●	○		□	○	
Local Nonresidential, Bike Lane & Median	○		○	○			◇
Local Nonresidential, On-Street Parking	○		○		□	○	
Local Residential	○		○		□	○	

Figure 7.5. Arterial Design Standards

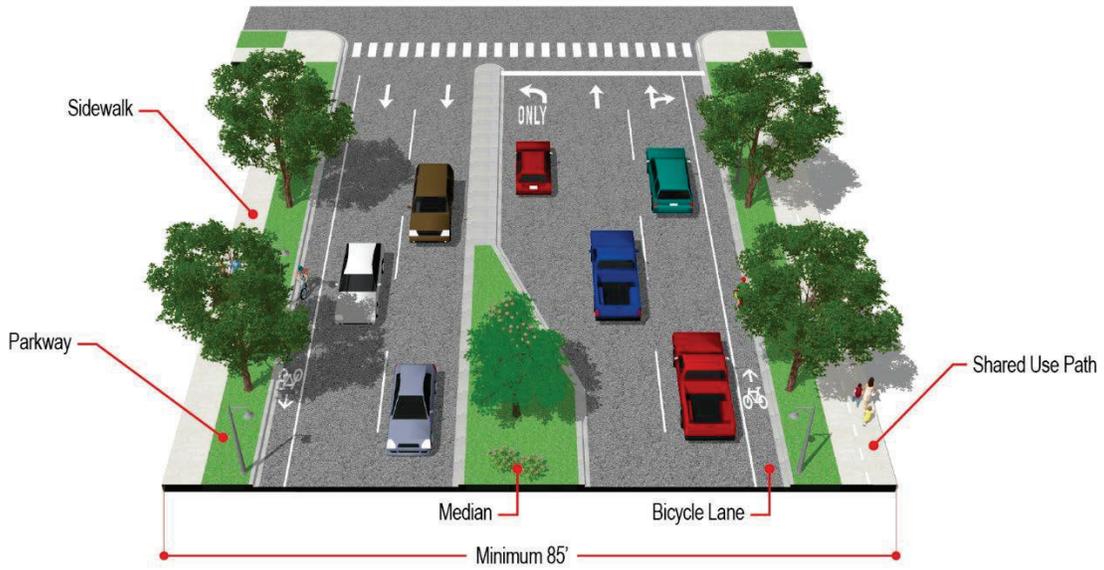


Figure 7.6. Collector Street With Bicycle Lane and Median Standards

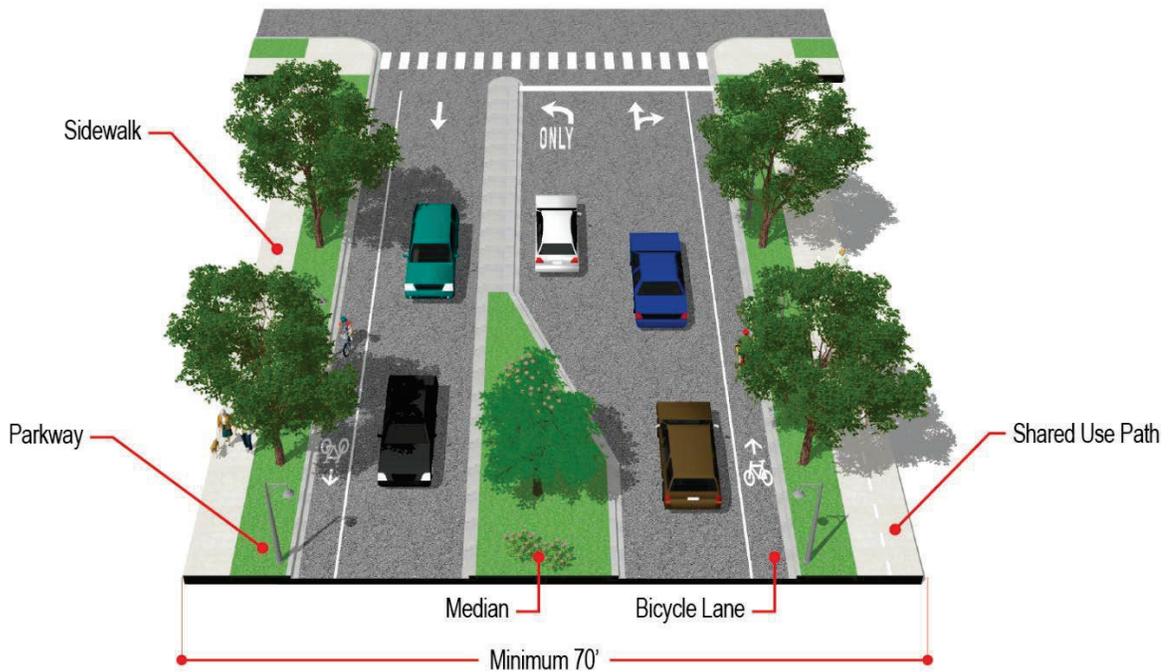


Figure 7.7. Collector Street With On-Street Parking Standards

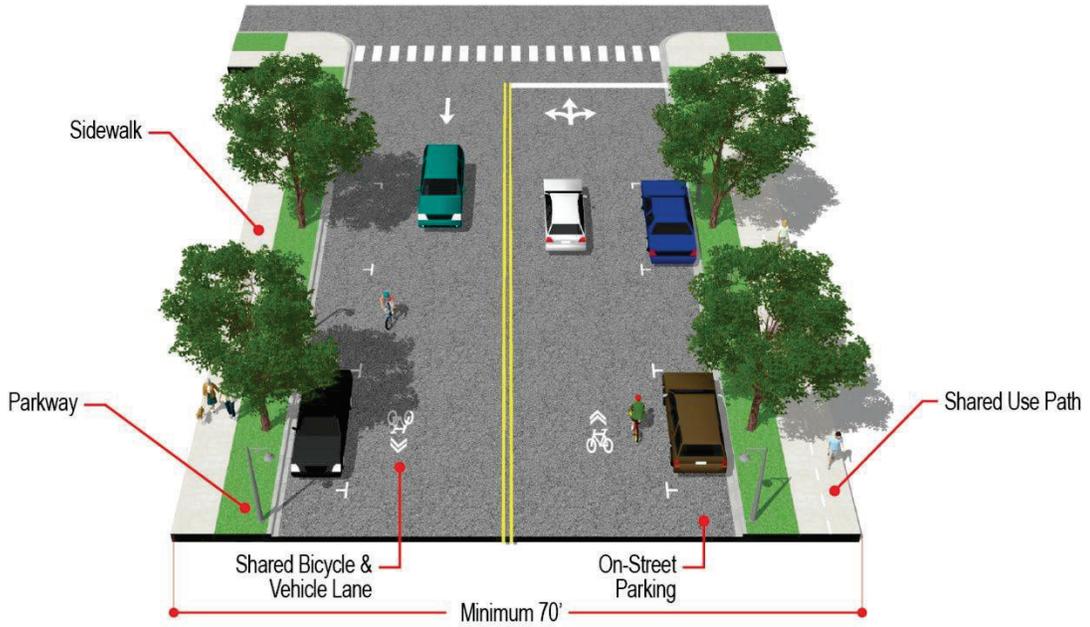


Figure 7.8. Local Nonresidential Street With Bicycle Lane and Median Standards

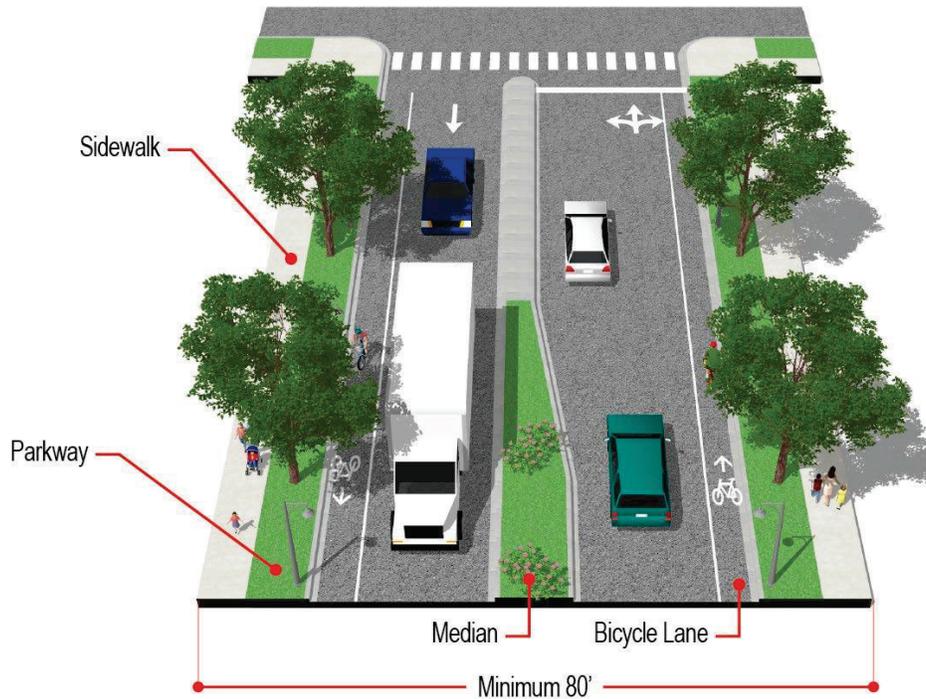
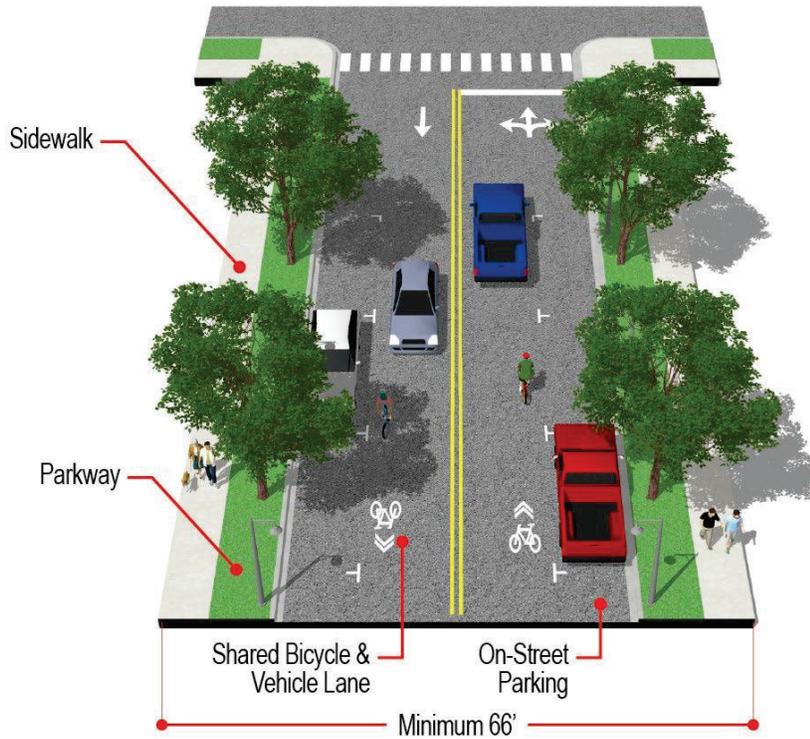
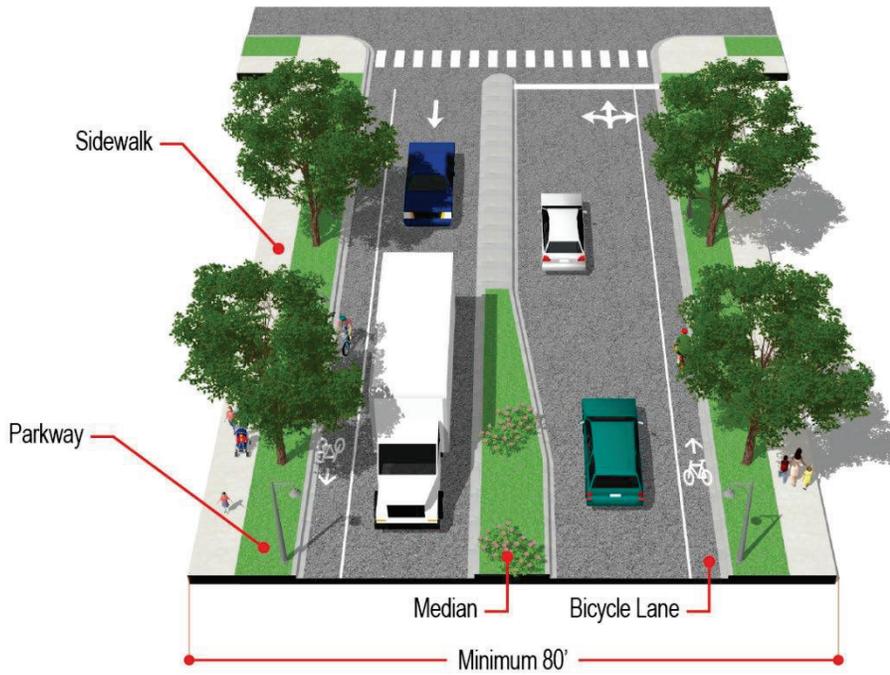


Figure 7.9. Local Nonresidential Street With Bicycle Lane and Median Design Standards



## 10-7-4. Circulation and Connectivity

### A. Half Streets.

1. Half streets shall be prohibited, except where the Planning and Zoning Commission deems them essential to the reasonable development of the subdivision and where the Planning and Zoning Commission finds it will be practicable to require the dedication of the other half when the adjoining property is subdivided.
2. A right-of-way width of not less than forty (40) feet, and a pavement width of not less than twenty-two and one-half (22½) feet, shall be required for the half street.
3. Where a half street is adjacent to a tract to be subdivided, the other half of the street shall be platted and constructed within such tract.
4. In cases where half streets are accepted, the owner and subdivider shall be required to grade and improve the half street, the same as all other subdivision streets.

### B. Alleys.

1. **All Alleys.** All alleys shall be privately maintained.
2. **Commercial and Industrial.** Alleys shall be provided for all commercial and industrial districts, except that the City may waive this requirement where another definite and assured provision is made for service access, such as off-street loading and parking consistent with, and adequate for, the uses proposed.
3. **Residential.** Alleys are encouraged in subdivisions in the R-2D, R-3, and R-4 Districts and when provided shall have a minimum right-of-way width twenty (20) feet. Alleys shall be prohibited in the A-1, R-1, and R-2 Districts, unless deemed necessary by the City Engineer because of topography or other exceptional circumstances.
4. **Dead End.** Dead end alleys shall be avoided where possible, but where unavoidable, shall be provided with an adequate vehicle turn-around at the terminus as determined by the City Engineer.
5. **Obstructions.** No obstructions shall be permitted in areas reserved for alleys.

## 10-7-5. Easements

### A. Utility Easements Required.

1. Utility easements at least ten (10) feet wide shall be provided at the rear of all lots and shall be centered on the rear or side lot lines, unless otherwise approved by the City Council due to topography, natural features, or other site constraints.
2. Utility easements may be required at other locations than the rear of lots and at greater widths than ten (10) feet to accommodate proposed utilities and to provide space for future utilities, as deemed appropriate by the City Engineer.
3. Utility easements shall be provided along both sides of all road right-of-ways.

### B. Stormwater Control Facilities Easements Required.

Easements shall be required for all stormwater control facilities and for overflow routes.

### C. Watercourse Easements Required.

Where a watercourse, drainage channel, stream, or other body of water traverses a subdivision, appropriate dedications or easement provisions, with adequate width to accommodate the observed, computed, or anticipated stormwater drainage through and from the subdivision shall be made. The width of the easement shall depend on the area of land drained by the watercourse and shall be of adequate width to allow access for construction and maintenance equipment.

- D. **Transition Area Easements.** Transition zone easements may be required in accordance with the standards of Section 10-5-3(F). If said easement is to also be used for public utilities, only such plant materials that have an ultimate growth not exceeding fifteen (15) feet shall be used.

### **10-7-6. Water, Sewer, and Stormwater**

A. **Water System Connection Required.**

1. All parcels within a subdivision shall be required to connect to the United City of Yorkville's Public Water Supply System, including required water main extensions off-site, to the sizes required by the City.
2. All subdivisions shall provide a looped, double fed water system, and extensions to the boundaries of the development, as directed by the City.

B. **Sanitary Sewer Connection Required.**

1. All parcels within a subdivision shall be required to provide connection to the sanitary sewer system, including required sewer extensions off-site, to the sizes and depths required by the City.
2. The sanitary sewers shall be extended to the far boundaries of the development, as directed by the City.

C. **Stormwater Drainage Required.**

1. Surface water drainage improvements consisting of storm sewers or open channels, inlets, catch basins, manholes, and/or detention facilities, shall be designed and constructed to adequately drain the area being developed and any other areas that naturally drain through the area being developed.
2. If the natural surface water drainage will be changed by the construction of the subdivision, adequate provision shall be made for collection and diversion of such surface waters into public areas or drains which the subdivider has a right to use. Surface waters shall not be deposited on the property of adjoining landowners in a manner that causes erosion or other damage.
3. The property owner shall maintain any drainage course across their property and shall keep their property free from features that restrict the natural drainage.

### 10-7-7. Cluster Development

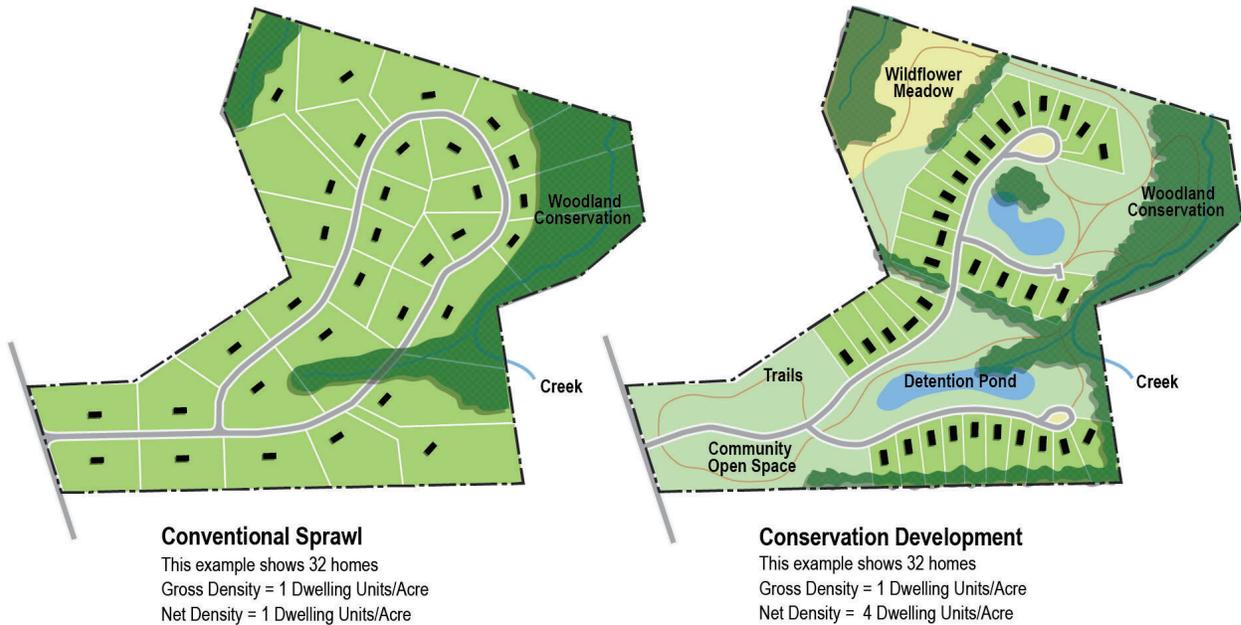
Cluster development is allowed in residential subdivisions in the R-1, R-2, and R-2D Districts to encourage and accommodate, in a unified project, creative and imaginative approaches to development that preserve sensitive natural areas and encourage compact, walkable design of subdivisions and neighborhoods.

- A. **Resources to be Conserved.** To qualify for cluster development any land located in a special flood hazard area, as determined by the Federal Emergency Management Agency, shall be placed in a conservation easement.
- B. **Maximum Density per Acre.** The gross density of a cluster development shall not exceed the maximum dwelling units per acre detailed in Table 10-7-7(B).

Zoning District	Maximum Density
R-1	3.63 dwelling units/acre
R-2	4.36 dwelling units/acre
R-2D	2.90 dwelling units/acre

- C. **Maximum Dimensional Standards Reduction.** The dimensional standards established in Table 10-3-9(A) may be reduced by thirty (30) percent or by the cumulative total land area to be placed in a conservation easement, whichever is less.
- D. **Density Bonus.** The maximum gross density per acre, per district, may be exceeded by a maximum of thirty (30) percent if either the natural resource conservation or subdivision design standards below are met.
  - 1. **Natural Resource Conservation.** A minimum of one (1) of the following sensitive natural areas are placed in a conservation easement. The maximum allowed density bonus shall be as determined by the City Council and shall be directly tied to the amount of land area placed in a conservation easement.
    - a. Native landscapes,
    - b. Mature tree stands,
    - c. Prime farmland,
    - d. Critical habitat, and/or
    - e. Other as approved by the Zoning Administrator.
  - 2. **Subdivision Design.** The subdivision provides an enhanced pedestrian environment throughout the neighborhood by fulfilling at least one (1) of the following standards. The maximum allowed density bonus shall be as determined by City Council and shall be directly tied to the enhancements to the pedestrian environment provided.
    - a. At least twenty (20) percent of blocks in the subdivision are eight-hundred (800) feet or less in length.
    - b. At least twenty (20) percent of the cul-de-sacs in the subdivision are four-hundred (400) feet or less in length.
- E. **Planned Unit Development Required.** Any subdivision employing cluster development techniques shall require approval through the Planned Unit Development Process as specified in Section 10-8-8.

Figure 7.11. Cluster Development



### 10-7-8. Anti-Monotony Standards

#### A. Building Variety Standards.

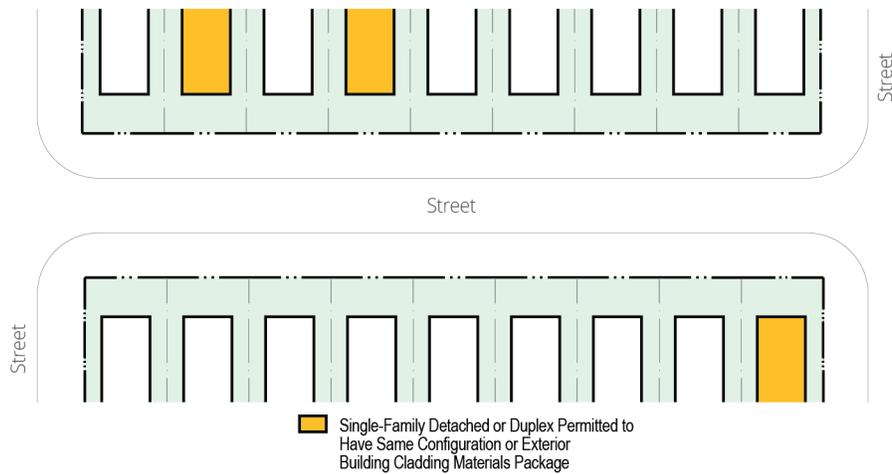
1. No new single-unit detached or duplex dwelling units shall be similar in appearance to any other single-unit detached or duplex dwelling units within two (2) units on either side of the subject property or on any of the five (5) units across the street from the subject property.
2. On cul-de-sac turnarounds, no single-unit detached or duplex dwelling shall be similar in appearance to another dwelling on the turnaround.

#### B. Similarity Standards. Any two (2) dwelling units shall be considered similar in appearance if they are identical or nearly identical to one another in any three (3) or more of the following characteristics:

1. Roof type (gable, hip, mansard, gambrel, flat, or combination);
2. Similar roof pitch at an angle of ten (10) degrees or less;
3. Dimensions (height and/or length) of the front wall closest to the front lot line that are within twenty (20) percent the same as either the height or width shall constitute similarity;
4. Shape of the front elevation silhouette;
5. Relative location and size of windows on the front elevation;
6. Relative location and dimensions of garage door(s), if included on the front elevation; and
7. Type(s) of exterior building cladding materials on the front elevation. The following differences in construction material shall be deemed sufficient to render buildings containing such changes and built on adjacent lots to be dissimilar.
  - a. Four (4) inch exposure horizontal siding;

- b. Eight (8) inch exposure horizontal siding;
- c. Brick facing;
- d. Vertical siding;
- e. Stone facing; and
- f. Stucco/staccato board and trim.
- g. When materials are changed, the change must occur throughout the front facade or elevation for a minimum of one story in height.
- h. Color change shall be made by significant changes in adjacent colors. The change must be one of color rather than merely of the shade.

**Figure 7.12. Anti-Monotony Standards**



### 10-7-9. Park and Recreation Land and School Site Dedication

As a condition of approval of a final plat of a subdivision, the developer shall dedicate land for park and recreational purposes and for school sites to serve the needs of residents of the development, or a cash contribution in lieu of the land dedication, or a combination of both, at the discretion of the City, in accordance with the criteria and formula below.

**A. Criteria For Requiring Park and Recreation Land Dedication.**

- 1. Requirements and Population Ratio.** The quantity of land required for park dedication shall result directly from the total population of the proposed development. The total requirement shall be five and one half (5 ½) acres of land per one thousand (1,000) residents. The required five and one-half (5 ½) acres shall be allocated into different types of recreation areas as shown in Table 10-7-9(A)(1), or as may be required by City Council at its discretion.

Type of Recreation Area	Size Range	Minimum Acres Per 1,000 People
<i>Play lot</i>	Minimum - 8,000 square feet	n/a
<i>School/park (neighborhood playground)</i>	Minimum - 5 acres	1.25
<i>Neighborhood park</i>	Minimum - 3 1/2 acres	1
<i>District-wide park or play field</i>	Minimum - 4 acres, up to 30 acres	1.25
<i>Community-wide recreation park</i>	Minimum - 12 acres, up to 30 acres	2
<i>Total</i>		5.5

**B. Criteria For School Site Dedication.**

- 1. Requirement and Population Ratio.** The required dedication of land for school sites shall depend on the quantity of students projected to be generated within the subdivision. The land dedication requirement shall be determined by obtaining the ratio of the maximum number of students to be served in each such school classification as defined in Table 10-7-9(B)(1) and the minimum number of acres for a school site of each school classification defined in Table 10-7-9(B)(1). The product shall be the number of acres of land required for sufficient school sites to serve the estimated children in each such school classification.

School Classification Grade	Maximum Number of Students For Each School Classification	Minimum Number of Land Acres For Each School Site For Such Classification
<i>Elementary Schools - Grades K-5</i>	600 students	11 acres
<i>Junior High Schools - Grades 6-8</i>	900 students	19 acres
<i>High Schools - Grades 9-12</i>	2,300 students	48 acres

- C. Contribution in Lieu Procedure.** At the City’s discretion, it may require the developer to pay a contribution in lieu of the land dedication required. The cash contribution required in lieu of park and recreation and/or school facilities shall be per the City’s adopted ordinances. The cash contributions in lieu of park and recreation land dedication shall be held in trust solely for the acquisition of park and recreation land which will be available to serve the needs of the residents of the subdivision.

DRAFT FOR REVIEW

D. **Estimated Population Per Dwelling Unit.** Table 10-7-9(D) of population density shall be used to calculate the quantity of dedicated acres of land for parkland or schools or to determine the required cash contribution in lieu of.

<b>Table 10-7-9(D): Estimated Population Per Dwelling Unit</b>						
<b>Type of Unit</b>	<b>Preschool</b>	<b>Elementary</b>	<b>Junior High</b>	<b>High School</b>	<b>Adults</b>	<b>Total Per Dwelling Unit</b>
	0-4 Years	5-10 Years	11-13 Years	14-17 Years	18+ Years	All Ages
<i>Dwelling, Single-Unit</i>						
<i>2 Bedroom</i>	0.113	0.136	0.048	0.020	1.700	2.017
<i>3 Bedroom</i>	0.292	0.369	0.173	0.184	1.881	2.899
<i>4 Bedroom</i>	0.418	0.530	0.298	0.360	2.158	3.764
<i>5 Bedroom</i>	0.283	0.345	0.248	0.300	2.594	3.770
<i>Dwelling Duplex, Dwelling, Townhome</i>						
<i>1 Bedroom</i>	0.000	0.000	0.000	0.000	1.193	1.193
<i>2 Bedroom</i>	0.064	0.088	0.048	0.038	1.752	1.990
<i>3 Bedroom</i>	0.212	0.234	0.058	0.059	1.829	2.392
<i>4 Bedroom</i>	0.323	0.322	0.154	0.173	2.173	3.145
<i>Dwelling, Multi-Unit</i>						
<i>Efficiency</i>	0.000	0.000	0.000	0.000	1.294	1.294
<i>1 Bedroom</i>	0.000	0.002	0.001	0.001	1.754	1.758
<i>2 Bedroom</i>	0.047	0.086	0.042	0.046	1.693	1.914
<i>3 Bedroom</i>	0.052	0.234	0.123	0.118	2.526	3.053

## Chapter 8. UDO Review and Approval Procedures

10-8-1. Administrative Authorities .....	1
10-8-2. General Application Requirements .....	4
10-8-3. Permits, Certificates, and Administrative Review .....	5
10-8-4. Board/Commission General Review and Action Procedures .....	10
10-8-5. Special Uses.....	11
10-8-6. Subdivision Procedures.....	15
10-8-7. Required Improvements.....	20
10-8-8. Planned Unit Development.....	23
10-8-9. Variations.....	28
10-8-10. Appeals.....	30
10-8-11. Text Amendments .....	31
10-8-12. Map Amendments .....	32
10-8-13. Annexations.....	34
10-8-14. Economic Incentive/Development Agreement.....	35

### 10-8-1. Administrative Authorities

- A. **Zoning Administrator.** The Director of the Department of Community Development shall be the Zoning Administrator and shall enforce and administer the regulations of this Title, including the following responsibilities:
1. Assist in providing public information relative to all matter pertaining to this title and open records for public inspection, as deemed required by law.
  2. Receive and review applications for all procedures related to this Title.
  3. Receive applications for County mile and one-half reviews and forward to the Planning and Zoning Commission and City Council.
  4. Forward materials to the applicable review and/or decision-making committees as applicable.
  5. Interpret the regulations when questions arise, including but not limited to:
    - a. Determine which uses, though not contained by name in a zoning district list of permitted uses, are of the same general character and permit their establishment.
    - b. Determine the parking or loading class of a use which is not contained by name in a parking or loading class.
  6. Maintain permanent and current records pertaining to this Title, including, but not limited to, all maps, amendments, variations, appeals, and publications thereof.
  7. Administer the comprehensive plan and interpret the provisions pertaining to building and site design considering such factors as contextual appropriateness, consistency with the City's general policies, and community need or benefit.

8. Identify all nonconforming structures and uses.
  9. Delegate other duties as may be placed upon them by this Title.
- B. **Zoning Officer.** The Building Code Official shall be the Zoning Officer and be responsible for enforcing this Title, including the following responsibilities:
1. Issue all certificates of use and occupancy and maintain records thereof.
  2. Conduct inspections of building, structures, and use of land to determine compliance with the terms of this Title.
  3. Issue violation notices and citations for violations of this Title.
  4. Require that all construction or work of any type be stopped when such work is not in compliance with this Title; and revoke any permit which was unlawfully issued.
  5. Review all cases of encroachment in required yards.
  6. Issue citations and notify violators from decisions made by the Administration Adjudication Hearing Officer, Planning and Zoning Commission and City Council.
- C. **Plan Council.** The Plan Council may consist of the City Administrator, Community Development Director, City Engineer, Building Code Official, Public Works Director, Director of Parks and Recreation, Police Chief, Sanitary District Director, Fire District representative, or designee from each respective department. The Plan Council shall have the following responsibilities and procedures:
1. The Plan Council shall meet on an as needed basis and the petitioner(s) shall also be present at the meeting.
  2. The City Administrator shall have final authority regarding members and meeting schedule for the Plan Council.
  3. Review all development applications, requests, and documents including but not limited to site plans, concept plans, annexations, planned unit developments, map amendments, text amendments, special use, variance, preliminary and final plats for compliance with City ordinances, standards, and policies.
  4. Work cooperatively with the applicant(s) to find mutually acceptable site design and improvement solutions to specific site problems, in accordance with City ordinances, standards and policies.
  5. Prepare recommendations based upon review of site plans and documents to the applicant(s), committee(s), and Planning and Zoning Commission prior to holding of a public hearing on the application.
- D. **Economic Development Committee.** The Economic Development Committee consists of four (4) City Council members which are appointed by the mayor and shall have the following authorities and responsibilities:
1. Review development applications and serve as an advisory body to any petitioner(s) seeking approval on all documents including but not limited to text amendments, map amendments, planned unit developments, variations, special uses, and plat applications.
  2. Comments and advice given by the Economic Development Committee to any petitioner(s) is for general informational knowledge and to address any potential issues with an application with regards to City ordinances, standards, and policies.
- E. **Planning and Zoning Commission.** The Planning and Zoning Commission, which has been created and appointed by the mayor, shall have the following authorities and responsibilities.
1. To hear and make recommendations to the Mayor and City Council on all applications including but not limited to text amendments, map amendments, planned unit developments, variations, special uses, and plat applications.
  2. To initiate, direct, and review, from time to time, studies of the provisions of this Title, and to make reports of its recommendations to the Mayor and City Council.

3. To perform such duties of a Plan Commission as authorized by division 12 of the Illinois Municipal Code (65 ILCS 5/11-12-1 et seq.).
4. To hear and make recommendations to the Mayor and City Council on all matters upon which it is required to pass under this Title.
5. To prepare and recommend to the Mayor and City Council a comprehensive plan or updates thereto for the present and future development or redevelopment of the City.
6. To hear and act upon requests for interpretations of this Title and appeals of decisions made by the Zoning Administrator or Zoning officer.
7. To hear and decide all matters referred to it and upon which it is required to pass under the zoning ordinance as prescribed by statute.
8. To perform such duties of a Zoning Board of Appeals as authorized by division 13 of the Illinois Municipal Code (65 ILCS 5/11-13-1 et seq.).
9. Grant authorized Variations from the regulations as stated in Section 10-8-9 of this Title.
10. To perform such additional duties as are outlined in this Ordinance, the City of Yorkville Code of Ordinances, or the Illinois Municipal Code.

## 10-8-2. General Application Requirements

### A. Authorization.

1. An application for any request or procedure, except for amendments, may be filed only by the owner or lessee of the property, or by an agent or contract purchaser specifically authorized by the owner to file such application.
2. An application for an amendment may be filed by an owner, lessee, agent, or contract purchaser of property located in the City or by the City Council, Planning and Zoning Commission, Zoning Administrator, or City Administrator.

### B. Filing.

1. An application for any request or procedure shall be filed with the Zoning Administrator.
2. The application shall be on forms provided by the City and shall be filed in such number as the instructions provide.
3. All plans shall be at a scale sufficient to permit a clear and precise understanding of the proposal.
4. The application shall include all information, plans, and data, specified in the forms provided by the City and sufficient to determine whether the application will conform to the requirements set forth in this Title.

### C. Completeness.

1. The Zoning Administrator shall determine whether the application is complete.
2. If the application is not complete, the Zoning Administrator shall notify the applicant of any deficiencies and shall take no steps to process the application until the deficiencies are remedied.
3. **Dormant Applications.**
  - a. If the Zoning Administrator determines that the application is incomplete, it will become dormant under these circumstances:
    - (1) The applicant has been notified of such deficiencies and has not responded or provided a timeline for completing the application within ninety (90) days from the time of notification.
    - (2) The applicant has not responded in writing to a request for information or documentation from staff or the initial Planning and Zoning Commission review within six (6) months from the date of that request.
    - (3) The applicant has not responded to a request for legal or engineering deposit replenishment for City incurred costs and fees within ninety (90) days from the date of the request.
  - b. If the Zoning Administrator has sent the required notice and the applicant has not withdrawn their application or brought it into compliance, then the director shall terminate the application. After termination, the application shall not be reconsidered except after the filing of a completely new application.
  - c. Withdrawal or termination of an application shall not affect the applicant's responsibility for payment of any costs and fees, or any other outstanding debt owed to the city. The balance of any funds deposited with the city that is not needed to pay for costs and fees shall be returned to the applicant.
4. Once the Zoning Administrator has determined that the application is complete, the application shall be scheduled for consideration at the appropriate meeting, as needed.

### D. Fees.

1. Every application shall be accompanied by the required filing fee as established and modified, from time to time, by the City Council provided in Section 1-7-9 of the Yorkville Municipal Code.
2. No fees shall be waived, and no fees shall be refunded except those authorized by the Mayor, City Administrator, or their designee in their sole discretion.

- E. **Withdrawal of Application.** An applicant shall have the right to withdraw an application at any time prior to the decision on the application by the Planning and Zoning Commission or City Council. Such withdrawal shall be in writing.

**F. Successive Applications.**

1. A subsequent application shall not be reviewed or heard within one (1) year of the date of denial unless there is substantial new evidence available or if a significant mistake of law or of fact affected the prior denial.
2. Such subsequent applicant shall include a detailed statement of the grounds justifying its consideration.
3. The Zoning Administrator shall decide as to whether the subsequent application provides substantial new evidence.
4. If the Zoning Administrator finds that there are no grounds for consideration of the subsequent application, they shall summarily and without hearing deny the request.

**10-8-3. Permits, Certificates, and Administrative Review**

- A. **Summary of Administrative Review and Action.** Table 10-8-3(A) summarizes the Administrative Review and Approval Procedures and identifies the administrator that serves as the review and decision-making body.

Table 10-8-3(A): Summary of Administrative Review and Approval Procedures		
Administrative Review Procedure	Zoning Administrator	Zoning Officer
Building Permit	○	●
Certificate of Occupancy	○	●
Lot Split	●	
Sign Permit	○	●
Temporary Use Permit	●	○
<i>Key:</i>		
● = Review and Decision Making Body		
○ = Review Body		

**B. Building Permit.**

1. **Permit Required.** A building permit issued by the Zoning Officer shall be required for the construction, reconstruction, enlargement, or relocation of any building or structure. It shall be unlawful for any person to erect, move, add to, or structurally alter any building or structure, or to use or change the use of any building or land without a building permit.
2. **Placement.** The permit shall be posted in a prominent place on the premises prior to and during the period of construction, reconstruction, enlargement, or moving.
3. **Compliance.** Before a building permit is issued for the erection, moving, alteration, enlargement or occupancy of any building or structure or use of premises, the plans and intended use shall indicate conformity in all respects to the provisions of this Title.
4. **Requirements.**
  - a. **Site Plan.** Every application for a building permit submitted to the officer shall be accompanied by a site plan and/or plat of survey, drawn to scale, showing the lot and the building site and the location of existing building on the lot, accurate dimensions of the lot, yards and building or buildings, together with locations and uses, together with such other information as may be necessary to the enforcement of this title.
  - b. **PIN Number and Address.** Every application shall include the Property Index Number (PIN), lot number, and/or address of the parcel where the improvement is being located.
  - c. **Fees.** No approval shall be issued until appropriate fees have been paid as stated in Section 1-7-9 of the Yorkville Municipal Code.

5. **Review Process.**

- a. A building permit application shall be reviewed by both the Zoning Officer and Zoning Administrator or an appointed designee of their choosing.
- b. The Zoning Officer and Zoning Administrator or their appointed designee will ensure that every application is in compliance with this Title and all other adopted municipal regulations.
- c. Site plan review is required prior to the issuance of a building permit to certify compliance and shall be required for any development meeting one of the following criteria.
  - (1) New development, including the construction or placement of any new building(s) or expansion of any existing building.
  - (2) Any development which will increase the overall impervious lot coverage of a parcel.
  - (3) Any development subject to off-street parking and loading requirements.
- d. The Zoning Officer shall act upon each application after it is filed in compliance with the provisions of this Title and provide the applicant(s) with a fee receipt.
- e. In the case that an application is not in compliance with this Title or the application provided insufficient information then the Zoning Officer shall notify the applicant, in writing, of said official's refusal to issue an approval detailing the reason(s) for the refusal.

6. **Expiration and Lapse of Approval.** The applicant shall have six (6) months from the date of approval to secure a building permit to carry out the proposed improvements. If a building permit has not been obtained within six (6) months of the date of approval, the approval shall expire. An extension of the time requirements may be requested in writing and granted by the Zoning Administrator for good cause shown by the applicant, provided a written request is filed with the City at least two (2) weeks prior to the respective deadline.

C. **Certificate of Occupancy.**

- 1. A Certificate of Occupancy shall be required for any of the following, except buildings incidental to agricultural operations other than residences:
  - a. Occupancy and use of a building hereafter erected or enlarged.
  - b. Change in the use of an existing building.
  - c. Occupancy and use of vacant land except for the raising of crops.
  - d. Change in the use of land to a use of a different classification except for the raising of crops.
  - e. Any change in the use of a nonconforming use.

2. No such occupancy, use or change of use shall take place until a Certificate of Occupancy therefor shall have been issued.

3. **Review Process.**

- a. A Certificate of Occupancy shall be reviewed by both the Zoning Officer and Zoning Administrator.
- b. The Zoning Officer and Zoning Administrator shall ensure that every application is in compliance with this Title and all other adopted municipal regulations.
- c. **Zoning Officer Action.** The Zoning Officer shall act on an application for a Certificate of Occupancy within ten (10) business days after a written request for the same has been submitted to the Zoning Officer.

4. **Temporary Certificate of Occupancy.** Pending the issuance of such a certificate, the Zoning Officer may issue a temporary Certificate of Occupancy for a period of not more than six (6) months during the completion of the construction of the building or of alterations which are required under the terms of any law or ordinance.
  - a. **Renewal.** Such temporary certificate may be renewed an additional six (6) months, but it shall not be construed in any way to alter the respective rights, duties, or obligations of the owner or of the City relating to the use or occupancy of the land or building, or any other matter covered by this title, and such temporary certificates shall not be issued except under such restrictions and provisions as will adequately ensure the safety of the occupants.
5. **Records Of Action.** A record of all certificates of occupancy shall be kept on file by the Zoning Officer and a copy shall be forwarded, on request, to any person having proprietary or tenancy interest in the building or land affected.

**D. Lot Splits.**

1. **Applicability.** A lot split is a subdivision which meets any one (1) if the following conditions.
  - a. The split of a single lot into three (3) or fewer lots.
  - b. Subdivisions solely for the creation of public right of way or other public tracts of land.
  - c. Lot line or boundary adjustments to a filed Final Plat.
  - d. Correction of errors or omissions on a filed Final Plat, such as legal description errors, typographical and mapping errors, lot identification errors, and surveyor corrections.
2. **Lot Split Review Criteria.**
  - a. **Comprehensive Plan Alignment.** The Lot Split is consistent with the goals, objectives, and policies set forth in the Comprehensive Plan and other adopted plans and policy documents of the City.
  - b. **Compliance.** The Lot Split is consistent with the provisions of this Title and the governing zoning district.
3. **Zoning Administrator Review and Action.** Upon the determination of completeness, the application shall be reviewed by the Zoning Administrator to ensure the application conforms to the criteria in Subsection 2 above. Based upon their review, the Zoning Administrator shall approve or deny the Lot Consolidation/Split application in writing.
4. **Advancement To Variance.** The Zoning Administrator may advance any Lot Consolidation/Split application to a Subdivision in instances that, in the opinion of the Zoning Administrator, require public input and review by the Planning and Zoning Commission to approve or deny. Any Lot Consolidation/Split advanced to a Subdivision shall follow the procedure in Section 10-8-6.

**E. Sign Permit.**

1. **Purpose.** A Sign Permit shall be required prior to the display, copy change, construction, erection, or alteration of a sign, and its structural components, on any property to verify compliance with all applicable standards of this Title and the applicable sections of the building code as adopted by the City. All electrical installations associated with the erection and installation of a sign must be done in accordance with the adopted Building and Electrical Codes.
2. **Exemptions.** Signs exempt from a permit are listed in Section 10-6-4 of this Title.
3. **Sign Permit Review Criteria.** To approve the issuance of a Sign Permit, the Zoning Administrator and Zoning Officer shall make an affirmative finding that all applicable provisions of this Title, the Building Code, and all other City ordinances are met.
4. **Review Process.**
  - a. A Sign Permit application shall be reviewed by both the Zoning Officer and Zoning Administrator.

- b. The Zoning Officer and Zoning Administrator shall ensure that every application complies with this Title, the Building Code, and all other adopted municipal regulations.
  - c. **Zoning Officer Action.** Based upon their review, the Zoning Officer shall approve or deny the Sign Permit application in writing.
5. **Expiration and Lapse of Approval.** A Sign Permit shall become null and void, if work authorized under the permit has not been completed within six (6) months of the date of issuance.
  6. **Comprehensive Sign Plan.** Signage may also be approved through a Comprehensive Sign Plan as specified in Section 10-6-8.

**F. Temporary Use Permit.**

1. **Purpose.** A Temporary Use Permit shall be required prior to the commencement of a Temporary Use identified in Table 10-3-12.
2. **Temporary Use Permit Review Criteria.** To approve a Temporary Use Permit, the Zoning Administrator shall make an affirmative finding that the following criteria are met:
  - a. **Land Use Compatibility.** The Temporary Use shall be compatible with the purpose and intent of this Title and the district in which it will be located. The Temporary Use shall not impair the normal, safe, and effective operation of a permanent use on the same site. The Temporary Use shall not endanger or be materially detrimental to the public health, safety, or welfare, or injurious to property or improvements in the immediate vicinity, given the nature of the activity, its location on the site, and its relationship to parking and access points.
  - b. **Compliance with Other Regulations.** A Building Permit or temporary Certificate of Occupancy may be required before any structure used in conjunction with the Temporary Use Permit is approved, constructed, or modified. All structures and the site shall meet all applicable building code, UDO, and fire code standards and shall be promptly removed upon the cessation of the use or event. Upon cessation of the use or event, the site shall be returned to its previous condition, including the removal of all trash, debris, signage, attention attracting devices, or other evidence of the special event or use.
  - c. **Hours of Operation and Duration.** The duration and hours of operation of the Temporary Use shall be consistent with the intent of the event or use, and compatible with the surrounding land uses. The duration and hours of operation shall be established by the Zoning Administrator at the time of approval of the Temporary Use Permit.
  - d. **Traffic Circulation.** The Temporary Use shall not cause undue traffic congestion or accident potential given anticipated attendance and the design of adjacent streets, intersections, and traffic controls, as determined by the City Engineer.
  - e. **Off-Street Parking.** Adequate off-street parking shall be provided for the Temporary Use, as determined by the Zoning Administrator, and it shall not create a parking shortage for any of the other existing uses on the site.
  - f. **Public Conveniences and Litter Control.** Adequate on-site restroom facilities and on-site solid waste containers may be required as deemed appropriate by the Zoning Administrator. The applicant shall provide a written guarantee that all litter generated by the event or use shall be removed at no expense to the City.
  - g. **Appearance and Nuisances.** The Temporary Use shall be compatible in intensity, appearance, and operation with surrounding land uses, and shall not impair the usefulness, enjoyment, or value of adjacent property due to the generation of noise, dust, smoke, glare, spillover lighting, or other forms of environmental or visual pollution.
  - h. **Other Conditions.** The Zoning Administrator may establish any additional conditions deemed necessary to ensure land use compatibility and to minimize potential adverse impacts on nearby uses, including, but not limited to, time and frequency of operation, temporary arrangements for parking and traffic circulation, screening/buffering

requirements, and guarantees for site restoration and cleanup following the Temporary Use. Conditions may include, but shall not be limited to:

- (1) Modifications or restrictions on the hours of operation, duration of the event, size of the activity or other operational characteristics.
- (2) If the permit applicant requests the City to provide extraordinary services or equipment or if the Zoning Administrator otherwise determines that extraordinary services (e.g., traffic control or security personnel) or equipment should be provided to protect public health or safety, the applicant shall pay to the City a fee sufficient to reimburse the City for the costs of these services if not provided by the applicant. This requirement shall not apply if the event or use has been anticipated in the budget process and sufficient funds have been included in the budget to cover the costs incurred.

3. **Review Process.**

- a. A Temporary Use Permit shall be reviewed by both the Zoning Officer and Zoning Administrator or an appointed designee of their choosing.
- b. The Zoning Officer and Zoning Administrator shall ensure that every application complies with this Title, the Building Code, and all other adopted municipal regulations.
- c. **Zoning Administrator Review and Action.** Upon determination of completeness, the application shall be reviewed by the Zoning Administrator to ensure the application conforms to the criteria in Subsection (F)(2) above. Based upon their review, the Zoning Administrator shall approve or deny the Temporary Use Permit application in writing.

### 10-8-4. Board/Commission General Review and Action Procedures

- A. **Summary of Board/Commission Review and Approval Procedures.** Table 10-8-4(A) summarizes the Board and Commission Review and Approval procedures and identifies the appropriate boards or commissions that serve as recommending or decision-making bodies.

Table 10-8-4(A): Summary of Board/Commission Review and Approval Procedures				
Petition Review Procedure	Plan Council	Economic Development Committee	Planning and Zoning Commission	City Council
Special Use	A	A	R <sup>1</sup>	D
Subdivision	A	A	R	D
Planned Unit Development	A	A	R <sup>1</sup>	D
Variation	A	A	R <sup>1</sup>	D
Appeal			D	
Text Amendment		A	R <sup>1</sup>	D
Map Amendment	A	A	R <sup>1</sup>	D
Annexations	A	A		D
Economic Incentive/Development Agreement	A <sup>2</sup>	A		D
<b>Key:</b>				
A = Advisory Body				
R = Recommending Body				
D = Decision Making Body				
1 = Public Hearing Notice Required				
2 = Optional Review Step at the Zoning Administrator's discretion				

B. **Notice Requirements.**

1. **Notice Requirements by Procedure.** Table 10-8-4 (B)(1) summarizes the notice requirements per Board and Commission review and approval procedure.

Table 10-8-4(B)(1): Notice Methods by Board/Commission Review and Action Procedure		
Petition Review Procedure	Published Notice	Mailed Notice
Special Use	●	●
Special Use Major Amendment	●	●
Planned Unit Development	●	●
Planned Unit Development Major Amendment	●	●
Variation	●	●
Map Amendment	●	●
Text Amendment	●	
Annexations	●	●
Economic Incentive/Development Agreement		
<b>Key:</b>		
● = Required Notice Method		

2. **Published Notice.** The City shall cause a notice to be published in a newspaper of general circulation within the City. The notice shall include the date, time, place and purpose of such hearing, the name of the applicant and the address of the subject property. Such notice shall be published not less than fifteen (15) days nor more than thirty (30) days in advance of the scheduled hearing date.

3. **Mailed Notice.** The applicant shall mail notice by certified mail properly addressed as shown on the county tax assessor's rolls and with sufficient postage affixed thereto, with return receipt requested, to all owners of record whose lot or portion of a lot lies within five-hundred (500) feet of the applicable site's outermost property line.
    - a. **Affidavit Required.** The applicant shall file a sworn affidavit containing a complete list of the names and last known addresses of all owners of record entitled to notice and served, and attach thereto all United States Post Office return receipts as documentation of compliance with provisions in this subsection 3. Such affidavit and the return receipts must be submitted to the Zoning Administrator no later than twenty-four (24) hours in advance of the public hearing.
  4. **Cost of Notice.** All costs associated with mailed and published notice, as required by this UDO, shall be the responsibility of the applicant.
- C. **Recording of Documents.** Recording of documents as required by the City in instances of special use, variation, subdivision, consolidation, amendment, or Planned Unit Development or otherwise required by state statutes, shall be completed by the City Clerk and at the expense of the applicant. Notice of all fees shall be furnished to the applicant by the Zoning Administrator and paid prior to the recording of documents.

### 10-8-5. Special Uses

- A. **Purpose.** The Special Use process is intended to provide the City additional discretion in the approval process for uses which, because of their unique characteristics, require additional consideration due to the potential impact on neighboring land and of the public need for the particular use at the particular location.
- B. **Procedure.** The Special Use process will require the review of the following bodies unless otherwise determined by the Zoning Administrator:
  1. **Plan Council.** The Plan Council shall review the application and report to the Planning and Zoning Commission its findings and recommendations.
    - a. A community meeting of area/neighborhood property owners explaining the proposed Special Use conducted by the petitioner at their own expense and at a location of their choosing may be required as a recommendation from the Plan Council prior to the Planning and Zoning Commission public hearing date.
  2. **Economic Development Committee.** The Economic Development Committee shall review the application and report to the Planning and Zoning Commission its findings and recommendations.
  3. **Planning and Zoning Commission.** The Planning and Zoning Commission shall hold a public hearing on the application. The Planning and Zoning Commission shall report to the City Council its findings and recommendations, including the recommended stipulations of conditions and guarantees as part of the approval.
  4. **City Council.** The City Council shall consider the Planning and Zoning Commission's recommendation, the Zoning Administrator report, and public comment received at the Planning and Zoning Commission public hearing, and shall approve, conditionally approve, or deny the Special Use, or refer the Special Use back to the Planning and Zoning Commission for further consideration.
  5. **Recordation.** Any approved Special Use shall be recorded with the City Clerk.
- C. **Protest.** In the event of written protest against any proposed Special Use, signed and acknowledged by the owners of twenty (20) percent of the frontage adjacent thereto, or across an alley, or directly opposite therefrom, such Special Use shall not be granted except by the favorable vote of two-thirds ( $\frac{2}{3}$ ) of all members of the City Council. In such cases of written protest, a copy of the written protest shall be served by the protestor(s) on the applicant for the proposed Special Use and a copy upon applicant's Attorney, if any, by certified mail at the address of such applicant and attorney shown in the application for the proposed Special Use.

- D. **Standards.** No Special Use shall be recommended by the Planning and Zoning Commission or approved by the City Council unless the following are found:
1. The establishment, maintenance or operation of the Special Use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort, or general welfare.
  2. The Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purpose already permitted, nor substantially diminish and impair property values within or near the neighborhood in which it is to be located.
  3. The establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
  4. Adequate utilities, access roads, drainage or other necessary facilities have been or shall be provided.
  5. Adequate measures shall be taken to provide ingress or egress so designed as to minimize traffic congestion in the public streets.
  6. The proposed Special Use is not contrary to the objectives of the City's adopted Comprehensive Plan.
- E. **Conditions and Guarantees.** Prior to the granting of any Special Use, the Planning and Zoning Commission may recommend and the City Council may require conditions and restrictions, upon establishment, location, construction, maintenance, and operation of the Special Use as deemed necessary for the protection of the public interest and to secure compliance with the standards and requirements specified in Subsection F of this section. In all cases in which Special Uses are considered the Planning and Zoning Commission may recommend and the City Council may require such evidence and guarantees as it may deem necessary as proof that the conditions in connection with the Special Use are being and will be complied with as required.
- F. **Approval.** Any application for a Special Use which fails to receive a majority vote for favorable recommendation or favorable recommendation with conditions from the Planning and Zoning Commission shall not be approved except by the favorable vote of two-thirds ( $\frac{2}{3}$ ) of all the members of the City Council, and any Special Use application which receives the favorable recommendation or favorable recommendation with conditions from the Planning and Zoning Commission may be denied by a majority vote of the City Council.
- G. **Expiration and Lapse of Approval.** In any case where a Special Use has been granted pursuant to the provisions of this chapter, such approval shall become null and void unless it is constructed and in active use within three (3) years of the date of issuance. An applicant may request an extension of an additional year, to be approved by a majority vote of the City Council.
- H. **Amendments to Approved Special Uses.**
1. **Determination of Level of Change.** Upon receiving a Special Use amendment application, the Zoning Administrator shall determine whether the amendment is a minor amendment, or a major amendment based on the criteria detailed in Section 10-8-5(H)(2) below.
  2. **Major Amendment.** A major amendment is any proposed change to an approved Special Use that results in one or more of the following:
    - a. Increase in the intensity of the site's use,
    - b. Additional noise, glare, odor, or other impacts that are detectable from off-site
    - c. Affects the subject property in a manner that inhibits its continued use or reuse, or
    - d. Results in a change inconsistent with any standards or conditions imposed by the City Council in approving the Special Use, as determined by the Zoning Administrator

3. **Minor Amendment.** A minor amendment is any proposed change to an approved Special Use that is consistent with the standards and conditions upon which the Special Use was approved, which does not alter the concept or intent of the Special Use and is not considered a major amendment as detailed in Section 10-8-5(H)(2).
4. **Approval Process.**
  - a. **Major Amendments.** A major amendment to an approved Special Use shall follow the procedure for a Special Use approval set in Section 10-8-5(B).
  - b. **Minor Amendments.**
    - (1) **Zoning Administrator Review.** The minor amendment shall be reviewed by the Zoning Administrator for compliance with the Comprehensive Plan and the applicable standards of this UDO. The Zoning Administrator shall then make a recommendation to City Council to approve or deny the application.
    - (2) **City Council Review.** The minor amendment shall be reviewed by the City Council to ensure that the application meets the applicable review criteria. Based on the review, the City Council shall approve or deny the application. Any amendment shall not be approved except by the favorable vote of two-thirds ( $\frac{2}{3}$ ) of all the members of the City Council. Any minor amendment shall be approved by the City Council by ordinance.
    - (3) **Recordation.** The minor amendment shall be recorded with the City Clerk.

Figure 8.1. Special Use Procedure



## 10-8-6. Subdivision Procedures

- A. **Purpose.** The purpose of this section is to establish the procedures regarding the subdivision, development, and platting of land, the preparation of plats, installation of utilities, and extension of streets and highways.
- B. **General Provisions.**
1. **Zoning District Compliance.** No subdivision shall be approved unless it conforms to all of the requirements of this Title. Whenever there is a discrepancy between minimum standards or dimensions of this Title, building codes or other adopted regulations, codes, or ordinances, the most restrictive shall apply.
  2. **Comprehensive Plan Conformance.**
    - a. All proposed subdivisions shall conform to the most recently adopted Comprehensive Plan.
    - b. The arrangement, character, extent, width, grade, and location of all streets shall conform to all the elements of the Comprehensive Plan and shall be designed in accordance with sound planning and engineering principles as well as the improvement provisions outlined in this Section.
  3. **Subdivision Review Criteria.**
    - a. **Comprehensive Plan Alignment.** The Final Plat is consistent with the goals, objectives, and policies set forth in the Comprehensive Plan and other adopted plans and policy documents of the City.
    - b. **Compliance.** The Final Plat is consistent with the provisions of this Title and the governing zoning district.
- C. **Subdivisions.**
1. **Applicability.** Any subdivision of land dividing or consolidating two (2) or more lots or parcels.
  2. **Easements.** When a subdivision will result in a lot having inadequate access to utility easements, dedication of easements will be required in accordance with the requirements of the Zoning Administrator and the City Engineer.
  3. **Access and Streets.** The splitting of land shall provide each lot with access to a public street or highway, so that access to each lot is assured.
  4. **Preliminary Plan.** The petitioner or landowner may submit for a Preliminary Plan prior to a Final Plat.
    - a. Approval of the Preliminary Plan is tentative only and shall be effective for a period of twelve (12) months. If the Final Plat has not been recorded within this time limit, the Preliminary Plan must again be submitted for approval, unless upon application by the subdivider, the City Council grants an extension. An extension period shall not exceed two (2) twelve-month periods.
    - b. The procedure for a Preliminary Plan will follow the procedures outlined in Section 10-8-6(C)(7) of this Title.
  5. **Final Plan.** The petitioner or landowner may submit directly for a final plat.
  6. **Plat of Subdivision, Plat of Resubdivision or Plat of Consolidation Requirements.**
    - a. **Size.** The plat of subdivision shall be drawn in ink, at a scale of one (1) inch equals one hundred (100) feet or larger, on a nonfading, stable, Mylar material.
    - b. **Numbering.** When more than one (1) sheet is used for any document, each sheet shall be numbered consecutively and shall contain a notation giving the total number of sheets in the document and shall show the relation of that sheet to the other sheets.

c. **Information.**

- (1) **Legal Description.** Legal descriptions shall commence at the intersections of section lines and/or quarter section lines when reasonably practical to do so. The developer shall also submit the final plat to the City in digital form, in a format acceptable to the City. The coordinate system for the final plat shall be the Illinois State Plane Coordinate System, East Zone, NAD 83, or the current National Spatial Reference System.
- (2) **Monuments.** All monuments erected, corners, and other points established in the field in their proper places. The material of which monuments, corners, or other points are made shall be noted as the representation thereof, or by legend, except lot corners need not be shown.
- (3) **Exterior Boundary Lines.** The exact length and bearing of all exterior boundary lines, public grounds, meander lines, and easements, unless they parallel a noted boundary.
- (4) **Widths.** The exact width of all easements, streets, and alleys.
- (5) **Lot Lines.** The dimensions of all lot lines, to the nearest one-hundredth of a foot.
- (6) **Setback Lines.** Building setback lines on all lots.
- (7) **Consecutive Numbering.** All lots consecutively numbered within consecutively numbered blocks.
- (8) **Lot Angles.** The number of degrees, minutes, and seconds of all lot angles or bearings of same, other than ninety (90) degrees, except that when the line in any tier of lots is parallel, it shall be sufficient to mark only the outer lots. When any angle is between a curve and its tangent, the angle shown shall be that between the tangent and the main chord of the curve. When between curves of different radii, the angle between the main chords shall be shown.
- (9) **Circular Curves.** When a street is on a circular curve, the main chord of the centerline shall be drawn as a dotted line in its proper place; and, either on it, or preferably in adjoining table, shall be noted its bearing and length, the radius of the circle of which the curve is a part, and the central angle extended. The lot lines on the street sides may be shown in the same manner, or by bearings and distances. When a circular curve of thirty-foot radius or less is used to round off the intersection between two (2) straight lines, it shall be tangent to both straight lines; it shall be sufficient to show on the plat the radius of the curve and the tangent distances from the points of curvature to a point of intersection of the straight lines.
- (10) **Street Names.** The name of each road or street in the plat shall be printed thereon, which name shall not duplicate the name of any other street, unless it is an extension thereof.
- (11) **Abutment.** Abutting state highway lines and streets of adjoining plats shown in their proper location by dotted lines. The width, names, and recording document numbers of these streets and highways and plats shall also be given.
- (12) **Dedicated Lands.** All lands dedicated to public or private use, including roads, streets, and existing easements, shall be clearly marked and recording document numbers shown on the plat.
- (13) **Watercourses and Drainage.** All watercourses, drainage ditches, and other existing features pertinent to subdivision.
- (14) **Access to Lakes or Streams.** Where provisions are made for access from any subdivision to any lake or stream, the plat shall show the area over which the access is provided to the lake or stream, together with a small-scale drawing, clearly indicating the location of the subdivision in relation to the lake or stream, and the location of the area over which access is provided.
- (15) **Survey Monuments.** The description and location of all survey monuments placed in the subdivision shall be shown upon final plat. Permanent monuments shall be of concrete, reinforced with one (1) number four

vertical rod, and not less than five (5) inches in diameter by twenty-four (24) inches long or four (4) inches square by twenty-four (24) inches in length, set flush with the adjacent ground. Each permanent monument shall have a suitable mark in the center of the top. Concrete monuments shall be erected at a minimum of two (2) exterior boundary corners. Metal monuments not less than one-half inch in diameter and twenty-four (24) inches in length shall be placed in the ground at all lot corners, intersections of streets, intersections of streets and alleys with plat boundary lines, and at all points on street, alley, and boundary lines where there is a change in direction or curvature. All monuments and stakes shall be set in the ground before the streets and alleys are accepted for public maintenance.

(16) **Survey.** A surveyor holding a current, valid registration in Illinois shall perform the survey, and if the error in the latitude and departure closure of the survey is greater than the ratio of 1/5,000, the plat may be rejected.

(17) **Certificates of Approval.** The current City approved certificates of approval to be shown on final plat, as applicable:

- (a) Surveyor.
- (b) Owner.
- (c) Notary.
- (d) City Administrator.
- (e) Township Highway Commissioner, if applicable.
- (f) County Supervisor of Highways, if applicable.
- (g) Illinois Department of Transportation, if applicable.
- (h) City Clerk.
- (i) City Planning and Zoning Commission, Chairman.
- (j) City Council Certificate.
- (k) County Clerk.
- (l) County Recorder.
- (m) City Engineer.

7. **Procedure.** The subdivision process will require the review of the following bodies unless otherwise determined by the Zoning Administrator:

- a. **Plan Council.** The Plan Council shall review the Final Plat and report to the Planning and Zoning Commission its findings and recommendations.
  - (1) A community meeting of area/neighborhood property owners explaining the proposed Subdivision conducted by the petitioner at their own expense and at a location of their choosing may be required as a recommendation from the Plan Council prior to the Planning and Zoning Commission meeting.
- b. **Economic Development Committee.** The Economic Development Committee shall review the Final Plan and report to the Planning and Zoning Commission its findings and recommendations.
- c. **Planning and Zoning Commission.** After reviewing the Final Plat, the Planning and Zoning Commission shall recommend either approval or denial of the Final Plan to City Council in writing and its reasons for such recommendation.

- d. **City Council.** The Final Plat shall be reviewed by the City Council to ensure that the application meets all the applicable review criteria. Based on the review, the City Council shall approve or deny the Final Plat. Any final plat shall be approved by the City Council by ordinance.
- e. **Recording of Final Plat.** The Final Plat shall be recorded by ordinance with the County Recorder of Deeds, within ninety (90) days from the date of final approval, or final approval shall be considered null and void. This requirement shall not apply when delay in recording a plat is due to circumstances beyond the control of the City or developer. All necessary fees owed to the City shall be satisfied in relation to the project and any required security posted prior to the recordation of the final plat is also required.

**D. Amendments to Approved Subdivisions.**

- 1. **Determination of Level of Change.** Upon receiving a Subdivision Amendment application, the Zoning Administrator shall determine whether the amendment is a major amendment, or a minor amendment based on the criteria in Section 10-8-6(D)(2) below.
- 2. **Major Amendment.** A major amendment is any proposed change to an approved Subdivision that results in one or more of the following changes:
  - a. Increase in density,
  - b. Increase in the number of dwelling units
  - c. Reduce open space by more than five (5) percent,
  - d. Modify the proportion of the housing types proposed,
  - e. Change parking areas in a manner that is inconsistent with those in the approved subdivision,
  - f. Alter alignment of roads, utilities, or drainage, or
  - g. Result in any other change inconsistent with any standard or condition imposed by the City Council in approving the Subdivision as determined by the Zoning Administrator.
- 3. **Minor Amendment.** A minor amendment is any proposed change to an approved Subdivision that is consistent with the standards and conditions upon which the Subdivision was approved, which does not alter the concept or intent of the Subdivision and is not considered a major amendment as detailed in Section 10-8-6(D)(2).
- 4. **Approval Process.**
  - a. **Major Amendments.** A major amendment to an approved Subdivision shall follow the procedure set in Section 10-8-6(C)(7).
  - b. **Minor Amendments.** A minor amendment to an approved Subdivision shall be reviewed as follows.
    - (1) **Zoning Administrator Review.** The minor amendment shall be reviewed by the Zoning Administrator for compliance with the Comprehensive Plan and the applicable standards of this UDO. The Zoning Administrator shall then make a recommendation to City Council to approve or deny the application.
    - (2) **City Council Review.** The minor amendment shall be reviewed by the City Council to ensure that the application meets all the applicable review criteria. Based on the review, the City Council shall approve or deny the minor amendment. Any minor amendment shall be approved by the City Council by ordinance.
    - (3) **Recordation.** An approved minor amendment shall be recorded by ordinance with the County Recorder of Deeds, within ninety (90) days from the date of final approval, or final approval shall be considered null and void. This requirement shall not apply when delay in recording a plat is due to circumstances beyond the

control of the City or developer. All necessary fees owed to the City shall be satisfied in relation to the project and any required security posted prior to the recordation of the final plat is also required.

Figure 8.2. Subdivision Procedure



## 10-8-7. Required Improvements.

1. **Improvement Requirements Prior to Filing Final Plat.** Upon approval of both the Final Plan and the plans and specifications for the required subdivision improvements by the Planning and Zoning Commission, Director of Public Works, and the City Engineer, and upon approval of the appropriate agencies as evidenced by state and county permits, where required, the applicant may construct and install the required subdivision improvements prior to filing the final plat with the Planning and Zoning Commission for final approval or post a construction guarantee for the public improvements. If construction does not begin within four (4) years of Final Plat approval, the subdivider may be required to revise the plat to comply with new City requirements.
2. **Subdivision Securities.**
  - a. **Construction Guarantee.** In lieu of construction in Section 10-8-7(E) of this chapter, the subdivider shall post with the City prior to recordation of the Final Plat, a construction guarantee in the form of an irrevocable letter of credit or irrevocable performance bond, payable to the United City of Yorkville, sufficient to cover the full cost, plus twenty (20) percent, of the required improvements, as estimated by the engineer employed by the subdivider and approved by the City Engineer, to ensure the satisfactory installation of required improvements as outlined in this chapter, and contained in the approved plans and specifications prior to the recording of the final plat. A surety or bank recognized by the State of Illinois, and carrying a rating sufficient to cover the cost of construction, and approved by the City Attorney, shall issue the bond or letter of credit posted. The subdivider shall use the standard bond form or letter of credit form used by the City. Construction guarantee shall not be reduced to below twenty (20) percent of the approved engineer's estimate prior to acceptance of the public improvements by the City. The construction guarantee shall not expire for at least one (1) year. Subsequent renewals of the construction guarantee shall also be for a period of at least one (1) year.
  - b. **Projects Nearing Two (2) Years.** Projects nearing (2) two years into construction will receive a status inquiry letter from the City Engineer and require an updated public improvement completion (PIC) schedule.
  - c. **Projects Nearing Three (3) Years.** Projects nearing (3) three years into construction will receive a status inquiry letter from the City Engineer with a punchlist of uncompleted improvements and will require an updated PIC schedule.
  - d. **Projects Nearing Four (4) Years.** Projects nearing four (4) years into construction will receive a status inquiry letter from the City Engineer with a punchlist of uncompleted improvements, require an updated PIC schedule and formal notification that the project will be in default if an extension is not requested and approved prior to the four-year construction deadline.
  - e. **Projects Over Four (4) Years.** Projects over four (4) years into construction will receive notification of default from the City Engineer, at the City Council direction, indicating that the letter of credit or performance bond is subject to a demand for call within sixty (60) days of the date of the notice should the developer not seek an extension for completion.
  - f. **Reduction of Subdivision Securities.** Final acceptance, approval of land improvements and corresponding reduction or release of letters of credit and/or performance bonds shall be as follows:
    - (1) The City Engineer shall issue a written recommendation including the basis for approving, denying, or modifying a request for reduction. The recommendation shall include the amount of the reduction based upon the engineer's estimate of probable cost as adjusted by an inflation factor from the initial date of issuance of the letter of credit or performance bond to the date of reduction. In order to calculate the inflation factor, the "Engineering News Record" construction cost index shall be used. The City Engineer shall also determine the remaining amount of the letter of credit and/or performance bond after the reduction.
    - (2) The City Engineer's written recommendation shall be forwarded to the City Administrator for approval.

- (3) Following the City Administrator's concurrence with the City Engineer's recommendation, the reduction shall be deemed approved or denied and the City Engineer is authorized to issue a letter to implement the decision.
- (4) In the event the City Administrator does not concur with the City Engineer's recommendation, the Mayor shall have the final authority to approve or deny the City Engineer's recommendation.
- (5) A developer may appeal the decision of the City Administrator to the Mayor, who shall review and make a final determination to affirm or reverse the City Administrator's initial decision.
- (6) The City Administrator or designee shall issue reports quarterly or more frequently as deemed appropriate, to the Mayor and City Council that summarize letter of credit and/or performance bond reduction requests that have been received and actions taken pursuant to those requests.

**3. Construction Warranty.**

- a. The subdivision irrevocable performance bond or letter of credit shall be released after an appropriate City Council action accepting the improvements for public ownership. Except as provided in subsection (b) of this section, this subdivision letter of credit or performance bond will not be released until a one-year maintenance bond or letter of credit is posted with the City Clerk for ten (10) percent of the land improvement cost, to ensure that all improvements will properly function as designed, with no defects before the City Council formal acceptance.
- b. A maintenance guarantee shall be required for all landscaping but shall not be required for improvements that are on private property that do not serve, benefit, or impact properties other than the one (1) being developed.
- c. It is a violation of this Code to fail to complete an infrastructure component that results in harm to the public improvement system or in the potential failure of the system.

**4. Filing.** Not more than ten (10) months after Final Plan approval, four (4) copies of the proposed Final Plans and specifications, engineer's estimates prepared and sealed by a professional engineer currently registered with the State of Illinois, and subdivision bond or letter of credit, shall be filed with the City Engineer, and shall provide all necessary information for the following, as applicable:

- a. Streets,
- b. Curbs and gutter,
- c. Storm drainage, including storm sewers and stormwater detention, building storm drains (footings, roof, etc.),
- d. Comprehensive drainage plan, including grades of surface drainageways,
- e. Sanitary sewerage system,
- f. Water supply and distribution,
- g. Public utility locations,
- h. Streetlights,
- i. Sidewalks,
- j. Street signs, guardrails, and other special requirements,
- k. Parkway trees, and
- l. Payment in full of all City fees.

5. **Construction and Inspection.**

- a. Written notice to proceed shall be obtained from the City Engineer prior to beginning any work covered by the approved plans and specifications for the above improvements. Authorization to begin work will be given upon receipt of all necessary permits, including all culvert permits required when proposed new or changed subdivision roads intersect any presently existing road, and work must proceed in accordance with construction methods of this section and the City's standard specifications for improvements.
- b. The subdivider shall pay all expenses incurred by the United City of Yorkville to provide field inspections and testing of all construction work and materials before, during, and after construction.
- c. On-street parking during build out of the development shall be limited to one (1) side only of all streets. In general, parking will not be allowed on the side of the street where fire hydrants are located. The developer shall post signage, as required by the Yorkville Police Department.
- d. Dumpsters, work trailers, and construction materials shall not be stored or located in roadways or public rights-of-way at any time, without exception.
- e. The subdivider is required to submit an acknowledgment of public improvement completion (PIC) schedule in a form approved by the City Attorney and City Engineer. The PIC schedule shall include the following information:
  - (1) The schedule when public improvements are to be completed.
  - (2) The schedule shall state that the City will place as a condition in the Final Plat of subdivision approval ordinance or PUD ordinance that the development must have all streets, sewers, water mains, streetlights, and other public improvements installed in a workmanship-like manner within four (4) years of initial construction.
  - (3) The schedule will require the subdivider/developer to provide proof by a title search that all accepted infrastructure is free and clear of all liens and encumbrances.
  - (4) The schedule shall state that the subdivider/developer will maintain the public improvements until they are approved and accepted by the City.

6. **As-Built Plans.** After completion of all public improvements, and prior to final acceptance of said improvements, the subdivider shall make, or cause to be made, a map showing the actual location of all valves, manholes, stubs, sewer and water mains, and such other facilities as the Director of Public Works shall require. This map shall bear the signature and seal of an Illinois registered professional engineer. The presentation of this map shall be a condition of final acceptance of the improvements, and release of the subdivision bond or letter of credit assuring their completion. The coordinate system for as built drawings shall be NAD27 Illinois State planes, east zone, U.S. foot (IL-E). The "as built" plans shall be submitted on reproducible Mylar, and digitally in a format acceptable to the City.

7. **Acceptance of Dedication, Improvements.**

- a. Final acceptance of the dedication of open space or other public areas shall mean the responsibility for the maintenance of the same. Approval of the Final Plat does not constitute final acceptance.
- b. Recordation of the Final Plat shall be dependent on presentation of proof of responsibility for the maintenance of all community improvements.
- c. All public improvements shall be accepted only by resolution of the City Council, after a formal petition for approval has been submitted by the subdivider to the City Clerk. Such petition shall be filed after completion of the public improvements. The City Engineer and the Director of Public Works shall, make recommendations in report form to the City Council. All petitions shall be acted upon by the City Council within thirty (30) days from receipt of such recommendations of the City Engineer and Director of Public Works. A maintenance bond will then be

required in the amount of ten (10) percent of the cost of the land improvements, as specified in this title, after City Council acceptance.

### **10-8-8. Planned Unit Development**

- A. **Purpose and Intent.** The purpose of the regulations, standards, and criteria contained in this Section is to provide an alternate procedure under which land can be developed or redeveloped with innovation, imagination, and creative architectural design when sufficiently justified under the provisions of this Section. The objective of the Planned Unit Development process is to accommodate a higher level of design and amenity than is possible to achieve under otherwise applicable UDO regulations. The end result can be a product which fulfills the objectives of City plans and policies, including but not limited to the Comprehensive Plan, while departing from the strict application of the regulations of this UDO. The Planned Unit Development is intended to permit and encourage such flexibility and to accomplish the following purposes:
1. To promote long term planning pursuant to the City of Yorkville Comprehensive Plan and other relevant plans and City policies.
  2. To stimulate creative approaches to the commercial, residential, and mixed-use development of land.
  3. To provide more efficient use of land.
  4. To preserve natural features and provide open space areas and recreation areas in excess of that required under this UDO.
  5. To develop new approaches to the living environment through variety in type, design and layout of buildings, transportation systems, and public facilities.
  6. To unify buildings and sites through design.
- B. **General Provisions.**
1. Any development encompassing four (4) or more acres in area shall be approved as a Planned Unit Development in accordance with this UDO.
  2. Each Planned Unit Development shall be presented and judged on its own merits. It shall not be sufficient to base justification for approval of a Planned Unit Development solely upon an already existing Planned Unit Development except to the extent such Planned Unit Development has been approved as part of a development master plan.
  3. The burden of providing evidence and persuasion that any Planned Unit Development is necessary and desirable shall rest with the applicant.
- C. **Planned Unit Development Relation to Base District Standards.**
1. A Planned Unit Development, if approved, shall be a Special Use.
  2. A Planned Unit Development, if approved, may allow for modifications to the standards of the base district. All such modifications shall be referred to as site development allowances.
  3. Notwithstanding any limitations on Variations which can be approved as contained elsewhere in this UDO, site development allowances may be approved provided the applicant specifically identifies each site development allowance in the Planned Unit Development application and demonstrates how each site development allowance would be compatible with surrounding development; is necessary for proper development of the site; and is aligned with a minimum of one (1) of the modification standards detailed in Section 10-8-8(D).
  4. All approved site development allowances shall be delineated in the ordinance approving the Planned Unit Development as a Special Use as it applies to the subject property.

- D. **Modification Standards.** An applicant seeking a site development allowance shall be required to justify their request through the provision of tangible benefits to the City of Yorkville by meeting a minimum of one (1) of the modification standards detailed below.
1. **Landscape Conservation and Visual Enhancement.** The Planned Unit Development preserves and enhances existing landscape, trees, and natural features such as rivers, streams, ponds, groves, and landforms.
  2. **Sustainable Design.** The Planned Unit Development is designed with consideration given to various methods of site design and building location, architectural design of individual buildings, employment of an alternative energy system or solution, and landscaping design capable of reducing energy consumption and improving onsite stormwater management.
  3. **Public Gathering Space.** The Planned Unit Development includes public gathering space, the amount of which is proportional to the size of buildings or number of dwelling units. The public gathering space is activated through the use of moveable tables and chairs, a fountain or other water feature, a sculpture or other public art feature, benches, seat walls, raised landscape planters, pedestrian scale, and celebratory lighting such as string lights, and/or other features. The public gathering space is integrated into the overall design of the Planned Unit Development and has a direct functional or visual relationship to the main building(s) and is not of an isolated or leftover character.
  4. **Placemaking.** The Planned Unit Development has a distinctive identity and brand that is utilized in the signs, streetscape, architecture, public gathering spaces, open spaces, etc.
  5. **Universal Design.** the Planned Unit Development includes buildings designed with accessible features such as level access from the street and/or zero entry thresholds.
  6. **High Quality Building Materials.** The Planned Unit Development utilizes time and weather tested building materials that are of a higher quality than what is otherwise required by this UDO.
  7. **Age-Targeted Development.** The Planned Unit Development includes residential dwelling units, amenities, and design characteristics intended to accommodate the lifestyles and needs of senior citizens.
  8. **Affordability.** The Planned Unit Development includes residential dwellings that are deed restricted for households that make less than or equal to eighty (80) percent of the Kendall County median income.
  9. **Provision of a Public School.** The Planned Unit Development includes a facility that directly supports the functioning or operation of the Yorkville Community Unit School District or another public school district.
  10. **Provision of a Regional Park.** The Planned Unit Development includes a park of sufficient size and with high quality amenities adequate to draw visitors and provide recreational opportunities for residents throughout the region in addition to serving residents of Yorkville. The regional park is integrated into the design of the Planned Unit Development and has a direct relationship to the other main buildings and uses on-site.
  11. **Funding or Construction of Public Roadways.** The Planned Unit Development includes the construction of roadways adjacent to the subject site as planned in the City of Yorkville Comprehensive Plan, Kendall County Long-Range Transportation Plan, or another transportation plan adopted by a local, County, or regional entity.
  12. **Regional Utility Improvements.** The Planned Unit Development involves the construction of a utility improvement identified in the City or Yorkville Comprehensive Plan or other policy document adopted by a local, County, or regional entity.

- E. **Standards of Review.** The following standards for review shall be utilized in the review of a Planned Unit Development application as a whole, including any requested site development allowances and the modification standards proposed to justify those requests. The standards of review in this Section shall be considered in addition to the standards for Special Use Permits as specified in Section 10-8-5. No application for a Planned Unit Development shall be approved unless the City Council finds that the application meets all of the following standards:
1. **Plan and Policy Alignment.** The Planned Unit Development is consistent with the goals, objectives, and policies set forth in the Comprehensive Plan and other adopted plans and policy documents of the City.
  2. **Integrated Design with Identifiable Centers and Edges.** The Planned Unit Development shall be laid out and developed as a unit in accordance with an integrated overall design, in which the various land uses function as a cohesive whole and support one another. The design shall provide identifiable centers, which form focus areas of activity in the development, and edges, which define the outer borders of the development, through the harmonious grouping of buildings, uses, facilities, public gathering spaces, and open space.
  3. **Public Welfare.** The Planned Unit Development is designed, located, and proposed to be operated and maintained so that it will not impair an adequate supply of light and air to adjacent property and will not substantially increase the danger of fire or otherwise endanger the public health, safety, and welfare.
  4. **Compatibility with Adjacent Land Uses.** The Planned Unit Development includes uses which are generally compatible and consistent with the uses of adjacent parcels. If the uses are not generally compatible, all adverse impacts have been mitigated through screening, landscaping, public open space, and other buffering features that protect uses within the development and surrounding properties.
  5. **Impact on Public Facilities and Resources.** The Planned Unit Development is designed so that adequate utilities, road access, stormwater management, and other necessary facilities will be provided to serve it. The Planned Unit Development shall include such impact fees as may be reasonably determined by the City Council. These required impact fees shall be calculated in reasonable proportion to the impact of the Planned Unit Development on public facilities and infrastructure.
  6. **Archaeological, Historical or Cultural Impact.** The Planned Unit Development does not substantially adversely impact an archaeological, historical, or cultural resource, included on the local, state, or federal register, located on or off the parcel(s) proposed for development.
- F. **Procedure.**
1. **Plan Council Review.** Plan Council shall review and discuss the Planned Unit Development and make a recommendation to approve, approve with modifications, or deny the Planned Unit Development based on the applicable review criteria to the Planning and Zoning Commission.
    - a. A community meeting of area/neighborhood property owners explaining the proposed Special Use for Planned Unit Development conducted by the petitioner at their own expense and at a location of their choosing may be required as a recommendation from the Plan Council prior to the Planning and Zoning Commission public hearing date.
  2. **Economic Development Committee.** The Economic Development Committee shall review the Planned Unit Development and report to the Planning and Zoning Commission its findings and recommendations.
  3. **Public Hearing, Review, and Recommendation by the Planning and Zoning Commission.** The Planning and Zoning Commission shall hold a public hearing on the proposed Special Use for Planned Unit Development, and, at the close of the public hearing and after consideration of the staff report and public comment, make a recommendation to the City Council to approve, approve with modifications, or deny the Planned Unit Development based on the applicable review standards. The Zoning Administrator, on behalf of the Planning and Zoning Commission, shall transmit a report containing its recommendation to approve, approve with modifications, or deny the application to the City Council.

4. **City Council Action.** The City Council shall hear the proposed Planned Unit Development, and, at the close of the meeting and after consideration of the Planning and Zoning Commission recommendation, Zoning Administrator Report, and public comment either:
  - a. Approve the application,
  - b. Approve the application with modifications,
  - c. Deny the application,
  - d. Refer the application back to the Planning and Zoning Commission for further review, or
  - e. Postpone further consideration pending the submittal of additional information, including any application requirement previously waived.

**G. Amendments to Approved Planned Unit Development.**

1. **Determination of Level of Change.** Upon receiving a Planned Unit Development Amendment application, the Zoning Administrator shall determine whether the amendment is a major amendment, or a minor amendment based on the criteria detailed in Section 10-8-8(G)(2) below.
2. **Major Amendment.** A major amendment is any proposed change to an approved Planned Unit Development that results in one or more of the following changes:
  - a. Increase density,
  - b. Increase the height of buildings,
  - c. Reduce open space by more than five (5) percent,
  - d. Modify the proportion of housing types,
  - e. Change parking areas in a manner that is inconsistent with this UDO,
  - f. Increase the approved gross floor area by more than five hundred (500) square feet,
  - g. Alter alignment of roads, utilities, or drainage, or
  - h. Result in any other change inconsistent with any standard or condition imposed by the City Council in approving the Planned Unit Development and/or the approved Site Plan, as determined by the Zoning Administrator.
3. **Minor Amendment.** A minor amendment is any proposed change to an approved Planned Unit Development that is consistent with the standards and conditions upon which the Planned Unit Development was approved, which does not alter the concept or intent of the Planned Unit Development and is not considered a major amendment as detailed in Section 10-8-8(G)(2).
4. **Approval Processes.**
  - a. **Major Amendment.** A major amendment to an approved Planned Unit Development shall follow the procedure set in Section 10-8-8(F).
  - b. **Minor Amendment.**
    - (1) **Zoning Administrator Review.** The minor amendment shall be reviewed by the Zoning Administrator for compliance with the Comprehensive Plan and the applicable standards of this UDO. The Zoning Administrator shall then make a recommendation to City Council to approve or deny the application.

(2) **City Council Review.** The minor amendment shall be reviewed by the City Council to ensure that the application meets the applicable review criteria. Based on the review, the City Council shall approve or deny the application. Any amendment shall not be approved except by the favorable vote of two-thirds ( $\frac{2}{3}$ ) of all the members of the City Council. Any minor amendment shall be approved by the City Council by ordinance.

(3) **Recordation.** The minor amendment shall be recorded with the City Clerk.

H. **Expiration and Lapse of Approval.** For any Planned Unit Development in which there has been no Building Permit issued nor any portion of the property platted after three (3) years since approval by the City Council, the Planned Unit Development shall be considered null and void and shall be brought back before the Planning and Zoning Commission and the City Council for consideration prior to any development on the property. The underlining zoning of the Planned Unit Development shall not expire, only the Planned Unit Development overlay shall expire.

Figure 8.3. Planned Unit Development Procedure



### 10-8-9. Variations

- A. **Authority.** The Planning and Zoning Commission, after a public hearing, may recommend a Variation to the regulations of the UDO in harmony with their general purpose and intent, only in the specific instances hereinafter set forth, where the Planning and Zoning Commission holds a public hearing and makes findings of fact in accordance with the standards of this section, and further finds that there are practical difficulties or particular hardships in the way of carrying out the strict letter of the regulations of this UDO.
- B. **Authorized Variations.** Variations from the regulations of this title shall be granted by the Planning and Zoning Commission only in accordance with the standards established in subsection (C) of this section and may be granted only in the following instances:
1. To permit any yard or setback less than the yard or setback required by the zoning district, but by no more than twenty-five (25) percent.
  2. To permit the use of a lot or lots for a use otherwise prohibited solely because of insufficient size or widths of the lot or lots. In no event shall the respective size and width of the lot or lots be less than ninety (90) percent of the required area and width. The percentage set forth in this subsection is not to be reduced by any other percentage for minimum lot width and area set forth in this title.
  3. To reduce the applicable off-street parking facilities required by not more than one (1) parking space or loading space, or twenty (20) percent of the applicable regulations, whichever number is greater.
  4. To increase by not more than twenty-five (25) percent the maximum distance that required parking spaces are permitted to be located from the use served as specified in Section 10-5-1(G).
  5. To allow for the deferment, or land banking, of required parking facilities for a reasonable period.
  6. To increase by not more than ten (10) percent the maximum gross floor area of any use so limited by the applicable regulations as specified in Chapter 4.
  7. To exceed any of the authorized Variations allowed under this subsection when a lot of record or a zoning lot, vacant or legally used on the effective date hereof, is, by reason of the exercise of the right of eminent domain by any authorized governmental domain proceeding, reduced in size so that the remainder of said lot of record or zoning lot or structure on said lot does not conform with one (1) or more of the regulations of the district in which said lot of record or zoning lot or structure is located.
- C. **Standards for Variations.**
1. The Planning and Zoning Commission shall not grant a Variation from the regulations of this UDO unless it shall make findings based upon the evidence presented that the standards for hardships set forth in the Illinois Municipal Code are complied with in addition to the following:
    - a. A particular hardship to the owner would result because of the physical surroundings, shape, or topographical conditions of the subject property, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.
    - b. The conditions upon which the petition for a Variation is based are unique to the subject property and are not applicable, generally, to other properties within the same zoning district.
    - c. The difficulty or hardship is not created by any person presently having an interest in the property.
    - d. The Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

- e. The proposed Variation will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger to the public, or substantially diminish or impair property values within the neighborhood.
- f. The proposed Variation is consistent with the official comprehensive plan and other development standards and policies of the City.

**2. Land Banked Parking Facilities Review Standards.**

- a. Sufficient evidence is provided by the applicant that supports the reduced parking needs.
- b. Approval of a land bank parking plan which illustrates the area proposed for land banking of parking spaces in an area suitable for parking at a future time.
- c. Landscaping of the land banked area must be in full compliance of the zoning regulations with this title and, at a minimum, landscaped with turf. As a result of the site plan review process, the Zoning Board of Appeals Planning and Zoning Commission may require additional landscaping of the land banked area.
- d. The land banked area cannot be used for any other use and must be part of the same zoning lot and all under the same ownership.
- e. As part of the variance process, the applicant must show the area to be banked on the overall site plan and marked as "Land Banked Future Parking".

3. **Conditions.** The Planning and Zoning Commission may impose such conditions and restrictions upon the premises benefited by a Variation as may be necessary to comply with the standards established in this subsection to reduce or minimize the effect of such Variation upon other property in the neighborhood and to better carry out the general intent of this title.

4. **Procedure.** The variation process will require the review of the following bodies unless otherwise determined by the Zoning Administrator:

- a. **Plan Council.** The Plan Council shall review the variation request and report to the Planning and Zoning Commission its findings and recommendations.
- b. **Economic Development Committee.** The Economic Development Committee shall review the variation request and report to the Planning and Zoning Commission its findings and recommendations.
- c. **Planning and Zoning Commission.** The Planning and Zoning Commission shall hold a public hearing on the application. The Planning and Zoning Commission shall report to the City Council its findings and recommendations, including the recommended stipulations of conditions and guarantees as part of the approval.
- d. **City Council.** The application shall be reviewed by the City Council to ensure that the application meets all the applicable review criteria. Based on the review, the City Council shall approve or deny the application.

5. **Expiration and Lapse of Approval.** Where a Variation has been granted pursuant to the provisions of this section, such approval shall become null and void unless construction thereon is substantially under way within twelve (12) months of the date of issuance, unless extended by the Zoning Administrator.

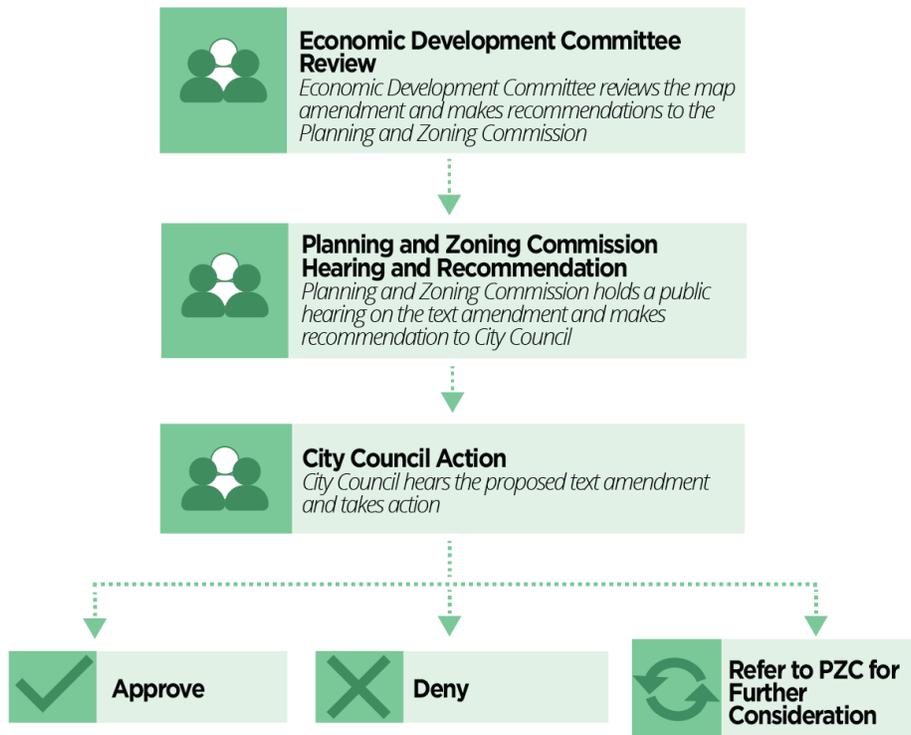
## 10-8-10. Appeals

- A. **Purpose.** An Appeal may be taken to the Planning and Zoning Commission for any order, requirement, decision, interpretation, or determination of the regulations of this title made by the Zoning Administrator by any individual aggrieved by the action taken under. The Planning and Zoning Commission shall hear the Appeal, hold a public meeting, and render a decision.
- B. **Initiation.** An Appeal may be taken within thirty (30) days of the action of the Zoning Administrator by filing a notice of Appeal specifying the grounds thereof, who shall forward such Appeal to the Planning and Zoning Commission.
- C. **Procedure.**
  - 1. **Planning and Zoning Commission.** The Planning and Zoning Commission shall review the Appeal at a regularly scheduled meeting. The Planning and Zoning Commission may reverse or affirm, wholly or partly, or may modify the order, requirement, decision, or determination relating to this title, made by the Zoning Administrator subject to the criteria in Section 10-8-10(D).
- D. **Appeal Review Criteria.** An Appeal of administrative decisions shall be granted only if the Planning and Zoning Commission makes one of the following findings.
  - 1. The decision constituted an erroneous application or interpretation of this UDO.
  - 2. The decision constituted an abuse of the administrative official's discretion to interpret or apply this UDO.
  - 3. The decision was rendered based upon an erroneous material fact.
- E. **Record of Action.** The Planning and Zoning Commission's decision shall be filed and recorded with the City Clerk.

### 10-8-11. Text Amendments

- A. **Initiation of Text Amendments.** Text Amendments to this UDO may be proposed by the Mayor and City Council, the Planning and Zoning Commission, City staff, majority beneficiary of land trust, contract purchaser, any property owner, or an authorized agent.
- B. **Text Amendment Review Criteria.**
  1. The proposed Text Amendment is consistent with the purpose of this UDO and the City's Comprehensive Plan.
  2. The Text Amendment will not adversely affect the public health, safety, or general welfare.
- C. **Procedure.** The text amendment process will require the review of the following bodies unless otherwise determined by the Zoning Administrator:
  1. **Economic Development Committee.** The Economic Development Committee shall review the text amendment request and report to the Planning and Zoning Commission its findings and recommendations.
  2. **Planning and Zoning Commission.** The Planning and Zoning Commission shall hold a public hearing on the application. The Planning and Zoning Commission shall report to the City Council its findings and recommendations, including the recommended modifications and guarantees as part of the approval.
  3. **City Council.** The City Council, upon receiving the recommendation of the Planning and Zoning Commission, may approve or deny a proposed Text Amendment in accordance with applicable Illinois Statutes or may refer to the Planning and Zoning Commission for further consideration.

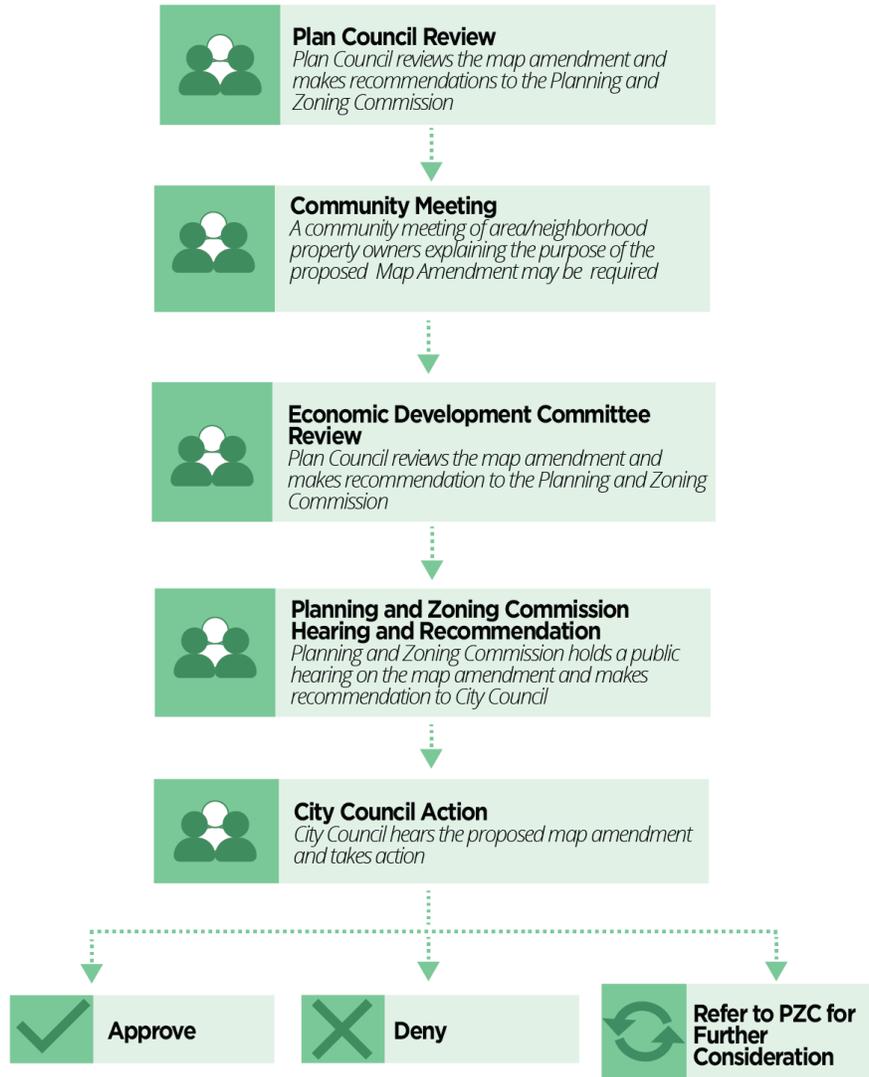
Figure 8.4. Text Amendment Procedure



## 10-8-12. Map Amendments

- A. **Initiation of Amendments.** Map Amendments may be proposed by the subject property owner, the Mayor and City Council, the Planning and Zoning Commission, Zoning Administrator, or another City official.
- B. **Map Amendment Review Standards.** The Planning and Zoning Commission shall approve Map Amendments only if the following standards are satisfied.
1. The proposed Map Amendment is consistent with the Comprehensive Plan and the purposes of this UDO.
  2. The proposed Map Amendment is consistent with the Comprehensive Plan and the purposes of this UDO.
  3. The proposed Map Amendment is consistent with the existing and planned uses and zoning of nearby properties.
  4. The subject property is suitable for the purposes of the proposed zoning district.
  5. The proposed Map Amendment will not result in an individual parcel zoned in one zoning district that is not shared by any adjacent parcels, and
  6. The proposed parcel(s) to be rezoned shall meet the minimum frontage and area requirements of the requested zoning district as specified in Section 10-3-9(A).
- C. **Procedure.** The map amendment process will require the review of the following bodies unless otherwise determined by the Zoning Administrator:
1. **Plan Council.** The Plan Council shall review the map amendment request and report to the Planning and Zoning Commission its findings and recommendations.
    - a. A community meeting of area/neighborhood property owners explaining the proposed Map Amendment conducted by the petitioner at their own expense and at a location of their choosing may be required as a recommendation from the Plan Council prior to the Planning and Zoning Commission public hearing date.
  2. **Economic Development Committee.** The Economic Development Committee shall review the map amendment request and report to the Planning and Zoning Commission its findings and recommendations.
  3. **Planning and Zoning Commission.** The Planning and Zoning Commission shall hold a public hearing on the application. The Planning and Zoning Commission shall report to the City Council its findings and recommendations.
  4. **City Council.** The City Council, upon receiving the recommendation of the Planning and Zoning Commission, may approve or deny a proposed Map Amendment in accordance with applicable Illinois Statutes or may refer to the Planning and Zoning Commission for further consideration.

Figure 8.5. Map Amendment Procedure



### 10-8-13. Annexations

- A. **Petition for Annexation.** All Annexations shall be initiated by the filing of a petition with the Zoning Administrator. Such petitions shall be verified under oath by all the record title owners, including mortgage holders, of all the lands included within the Annexation.
- B. **Procedure.** The annexation process will require the review of the following bodies unless otherwise determined by the Zoning Administrator:
  - 1. **Plan Council.** Plan Council shall review the application for annexation and report to the City Council its findings and recommendations as part of the approval.
    - a. A community meeting of area/neighborhood property owners explaining the proposed Annexation conducted by the petitioner at their own expense and at a location of their choosing may be required as a recommendation from the Plan Council prior to the Planning and Zoning Commission public hearing date.
  - 2. **Economic Development Committee.** The Economic Development Committee shall review the annexation request and report to the City Council its findings and recommendations.
  - 3. **City Council.** The City Council shall hold a public hearing on the proposed annexation. The City Clerk shall publish notice of the public hearing as required in Section 10-8-4(B). City Council shall approve or deny a proposed by a majority vote in accordance with applicable Illinois Statute.
- C. **Request for Zoning Map Amendments.** All petitions for Annexation agreement requesting a zoning classification other than the R-1, Single-Unit Suburban Residence Zoning District shall be processed in the same manner as a petition for a request for a Map Amendment as provided in Section 10-8-12 for lands within the jurisdictional limits of the City. All such requests for a Map Amendment or Variations shall be accompanied by the fees as provided in Section 10-7-9 of the Yorkville Code of Ordinances and the said fees shall be paid at the time of filing the petition for Annexation agreement.

Figure 8.6. Annexation Procedure



### 10-8-14. Economic Incentive/Development Agreement

- A. **Petition for Economic Incentive/Development Agreement.** Economic Incentive and Development Agreements are negotiated between the municipality and the developer and/or owner on a project-by-project basis. Such items considered as part of an economic incentive or development agreement are the amount of tax sharing, timing of payments, performance and compliance requirements and any other details. Applications will be evaluated on the merits of their impact to create or maintain jobs; further development; strengthen the commercial or industrial sector; enhance the tax base; and be in the overall best interest of the municipality.
- B. **Procedure.** The economic incentive/development agreement process will require review of the following bodies unless otherwise determined by the Zoning Administrator:
  1. **Plan Council.** The Plan Council shall review the economic incentive/development agreement request and report to the City Council its findings and recommendations.
  2. **Economic Development Committee.** The Economic Development Committee shall review the economic incentive/development agreement request and report to the City Council its findings and recommendations.
  3. **City Council.** The City Council, upon receiving the recommendation of the Economic Development Committee, may approve or deny a proposed economic incentive/development agreement in accordance with applicable Illinois Statutes or may refer to the Economic Development Committee for further consideration.

Figure 8.7. Economic Incentive/Development Agreement Procedure



# Chapter 9. Nonconforming Buildings, Structures, and Uses

10-8-1. Continuance of Uses and Structures..... 1  
10-8-2. Nonconforming Uses ..... 1  
10-8-3. Nonconforming Structures..... 2  
10-8-4. Elimination of Nonconforming Buildings, Structures, and Uses ..... 3  
10-8-5. Exempted Buildings, Structures, and Uses ..... 3

## 10-8-1. Continuance of Uses and Structures

- A. Any lawfully established use of a building or land on January 1, 2024, including any use which is rendered nonconforming by a subsequent amendment to this title, that does not conform to the use regulations for the district in which it is located shall be deemed to be a legal nonconforming use and may be continued subject to the provisions of this chapter.
- B. Any lawfully established building or structure on January 1, 2024, including any building or structure which is rendered nonconforming by a subsequent amendment to this title, that does not conform to the regulations for the district in which it is located shall be deemed to be a legal nonconforming building or structure and may be continued in use subject to the provisions of this chapter.

## 10-8-2. Nonconforming Uses

- A. **Relocation.** A nonconforming use shall not be relocated in whole or in part to any other location on the same property or to any other property unless the nonconforming use complies with all of the regulations of the zoning district into which it relocates.
- B. **Change in Use.** A nonconforming use of land shall not be changed to any other use except to a land use, specifically enumerated in the list of permitted uses for the zoning district in which the land is located. Whenever any part of a building, structure or land occupied by a nonconforming use is changed to or replaced by a conforming use, such premises shall not thereafter be used or occupied by a nonconforming use.
- C. **Expansion.** A nonconforming use shall not be extended, expanded, enlarged, or increased in any manner including, but not limited to, the following:
  - 1. A nonconforming use that does not involve a structure or which is accessory to the nonconforming use of a structure shall not be expanded or extended to any land area not occupied by such nonconforming use.
  - 2. A nonconforming use shall not be expanded within a structure to any portion of the floor area that was not occupied by such nonconforming use. A use permitted in the district in which it is located may expand in a nonconforming structure.
- D. **Abandonment.** A nonconforming use of any land or structure, including any accessory uses, shall not be reestablished subsequent to abandonment as follows:
  - 1. Whenever a nonconforming use of a building or structure, or part thereof, has been discontinued for a period of twelve (12) consecutive months, or whenever there is evident a clear intent on the part of the owner to abandon a

nonconforming use, such use shall not, after being discontinued or abandoned, be reestablished, and the use of the premises thereafter shall be in conformity with the regulations of the district.

2. Where there is a change in use, regardless of whether or not such change was made in compliance with all applicable codes and ordinances, the nonconforming use of any land or structure shall not be reestablished. Any subsequent use of such land or structure shall comply with the regulations of the zoning district in which it is located and with the provisions of the other titles of this UDO.
3. Where no building or structure is involved, discontinuance of a nonconforming use for a period of six (6) months shall constitute abandonment and shall not thereafter be used in a nonconforming manner.

### **10-8-3. Nonconforming Structures**

A. **Relocation.** A nonconforming structure shall not be relocated in whole or in part to any other location on the same property or to any other property unless the nonconforming structure complies with all of the provisions of this UDO.

B. **Maintenance, Repair, Alteration and Enlargement.**

1. A nonconforming structure which is designed or intended for a use that is not permitted in the zoning district in which it is located may be maintained or repaired, not including structural alterations, subject to compliance with all of the regulations of the zoning district in which it is located and with the provisions of the other titles of this Code, but such nonconforming structure shall not be altered or enlarged, unless such alteration or enlargement and the use thereof, conform to all of the regulations of the zoning district in which it is located, and does not extend or intensify the nonconforming use.
2. No structural alteration shall be made in a building or other structure containing a nonconforming use, except in the following situations:
  - a. When the alteration is required by law, or
  - b. When the alteration will actually result in elimination of the nonconforming use, or
  - c. When a building is in a residential district containing residential nonconforming uses, it may be altered in any way to improve livability, provided no structural alterations shall be made which would increase the number of dwelling units or the bulk of the building.
3. A nonconforming structure which is nonconforming only with respect to the bulk regulations for the zoning district in which it is located may be maintained, repaired, altered, or enlarged, provided that the maintenance, repair, alteration, or enlargement does not establish any additional nonconformity and complies with all of the regulations of the zoning district in which it is located and the provisions of the other titles of this UDO.

C. **Damage and Destruction.**

1. If a building or other structure containing a nonconforming use is damaged or destroyed by any means to the extent of fifty (50) percent or more of its fair market value prior to such damage, the building or other structure can be rebuilt or used thereafter only for conforming principal and accessory uses and in compliance with the provisions of the district in which it is located.
2. In the event the damage or destruction is less than fifty (50) percent of its market value, the building or structure may then be restored to its original condition and the occupancy or use of such building or structure may be continued which existed at the time of such partial destruction.
3. In either event, restoration, or repair of the building or other structure must be started within a period of six (6) months from the date of damage or destruction and completed within twenty-four (24) months.

4. The methodology for determining the extent of damage with regard to fair market value shall be as recommended by the Zoning Administrator and approved by the City Administrator.

**10-8-4. Elimination of Nonconforming Buildings, Structures, and Uses**

The period of time during which the following nonconforming uses, buildings, or structures may continue or remain nonconforming shall be limited from January 1, 2024, or when any use, building or structure is rendered nonconforming by a subsequent amendment to this title. Every such nonconforming use, building or structure shall be completely eliminated or removed from the premises at the expiration of the period of time specified below:

- A. Any nonconforming use of a building or structure having an assessed valuation not in excess of five hundred (500) dollars shall be removed after two (2) years.
- B. All nonconforming advertising devices, such as pennants, flags, movable signs, or portable outdoor displays in any business district shall be removed after two (2) years.
- C. Any nonconforming signs and any and all billboards and outdoor advertising structures shall be removed after five (5) years.
- D. Any nonconforming use of land where no enclosed building is involved, or where the only buildings employed are accessory or incidental to such use, or where such use is maintained in connection with a conforming building, shall be removed after a period of two (2) years.
- E. In all residence districts uses permitted only in the B-2 Mixed-Use Business and B-3 General Business Districts or the manufacturing districts, and which use is located in a building, all or substantially all of which is designed or intended for a residential accessory purpose, shall be entirely discontinued and shall thereafter cease operation in accordance with the following amortization schedule:

<b>Table 10-8-4(E): Amortization Periods</b>	
Description of Use	Amortization Period
Uses permitted in the B-2 and B-3 Districts	15 Years
Uses permitted only in the Manufacturing Districts	15 Years

- F. Requests for extensions to the elimination period may be sought before the City Council. In no case shall an extension be granted for a period longer than two (2) years.

**10-8-5. Exempted Buildings, Structures, and Uses**

Wherever a lawfully existing building or other structure otherwise conforms to the use regulations of the district in which it is located but is nonconforming only in the particular manner thereafter specified, the building and use thereof shall be exempt from the requirements of Section 10-8-4 and Section 10-8-3(B) of this chapter as follows:

- A. In any residence district where a dwelling is nonconforming only as to the number of dwelling units it contains, provided no such building shall be altered in any way so as to increase the number of dwelling units therein.
- B. Legally nonconforming duplex units zoned R-2, Single-Unit Traditional Residence District are exempt from subsection 10-15-3.C of this chapter; however if the total structure containing both units of the duplex building is damaged or destroyed by any means to the extent of seventy-five (75) percent or more of its fair market value prior to such damage, the building shall be rebuilt or used only for conforming principal and accessory uses in compliance with the R-2, Single-Unit Traditional Residence District.
- C. In any residence district where a use permitted in the B-1 Local Business District occupies ground floor space within a multiple-unit dwelling located on a corner lot.
- D. In any business or manufacturing district where the use is less distant from a residence district than that specified in the regulations for the district in which it is located.

- E. In any district where an established building, structure or use is nonconforming with respect to the standards prescribed herein for any of the following:
  - 1. Lot coverage;
  - 2. Lot size per dwelling unit;
  - 3. Yards front, side, rear or transitional;
  - 4. Off-street parking and loading;
  - 5. Lot size;
  - 6. Building height;
  - 7. Gross floor area.
  
- F. In any district, unless otherwise limited or restricted by an annexation agreement, agricultural uses that exist upon annexation of the property and become legal nonconforming shall continue to be legal nonconforming uses and shall not be subject to elimination by abandonment or amortization.

# Chapter 1. General Provisions

10-1-1. Title..... 1  
10-1-2. Authority ..... 1  
10-1-3. Applicability..... 1  
10-1-4. Intent and Purpose ..... 1  
10-1-5. Interpretation and Severability..... 2  
10-1-6. Scope of Regulations ..... 3  
10-1-7. Severability ..... 3

## 10-1-1. Title

- A. This title, including the zoning district map made a part hereof and all amendments hereto, shall be known, cited and referred to as the United City of Yorkville Unified Development Ordinance.

## 10-1-2. Authority

- A. This Unified Development Ordinance is adopted pursuant to the powers granted and the limitations imposed by Illinois State law.

## 10-1-3. Applicability

- A. Unless otherwise expressly exempt, the Unified Development Ordinance applies to all land uses, structures, buildings, and development within the City's corporate boundaries and extending beyond the corporate limits as allowed by Illinois State law.

## 10-1-4. Intent and Purpose

- A. This title is adopted with the intent to set forth regulations and standards for the following purposes:
  - 1. To promote and protect the public health, safety, morals, comfort and general welfare of the people;
  - 2. To divide the City into zoning districts regulating the location, erection, construction, reconstruction, alteration and use of buildings, structures and land for residence, business and manufacturing and other specified uses;
  - 3. To protect the character and the stability of the residential, business and manufacturing areas within the City and to promote the orderly and beneficial development of such areas;
  - 4. To provide adequate light, air, privacy and convenience of access to property;
  - 5. To regulate the intensity of use of lot areas, and to determine the area of open spaces surrounding buildings necessary to provide adequate light and air to protect the public health;
  - 6. To establish building lines and the location of buildings designed for residential, business, manufacturing or other uses within such areas;

7. To fix reasonable standards to which buildings or structures shall conform therein;
8. To prohibit uses, buildings or structures incompatible with the character of development or intended uses within specified zoning districts;
9. To prevent additions to, or alteration or remodeling of certain existing nonconforming buildings imposed hereunder;
10. To limit congestion in the public streets and protect the public health, safety, convenience and general welfare by providing for the off-street parking of motor vehicles and the loading and unloading of commercial vehicles;
11. To protect against fire, explosion, noxious fumes and other hazards in the interest of the public health, safety, comfort and general welfare;
12. To prevent the overcrowding of land and undue concentration of structures, so far as is possible and appropriate in each district, by regulating the use and bulk of buildings in relation to the land surrounding them;
13. To conserve the taxable value of land and buildings throughout the City;
14. To encourage innovative and low impact development techniques through the reduction of stormwater runoff, minimizing erosion control and preserving existing natural drainage systems in connection with the development of land;
15. To promote pedestrian circulation through a well designed system of shared use trails which allows access to local and regional destinations;
16. To promote, preserve and enhance those buildings and structures within certain areas of the City that are of historical importance;
17. To promote and regulate the use of alternative and renewable energy solutions;
18. To ensure the objectives of the comprehensive plan are considered;
19. To provide for the gradual elimination of nonconforming uses of land, buildings and structures which are adversely affecting the character and value of desirable development in each district;
20. To define and limit the powers and duties of the administrative officers and bodies as provided herein;
21. To prescribe penalties for the violation of the provisions of the zoning ordinance, or of any amendment thereto; and
22. To ensure the provisions of public improvements governing the subdivision and platting of land; street and roadway standards; availability of utilities; and schools and park development are applied to all properties within the city's corporate limits.

### **10-1-5. Interpretation and Severability**

- A. **Minimum Requirements.** The provisions of this title shall be held to be the minimum requirements for the promotion of public health, safety, morals, and welfare.
- B. **Relationship With Other Laws.** Where the conditions imposed by any provisions of this title upon the use of land or buildings or upon the bulk of buildings are either more restrictive or less restrictive than comparable conditions imposed by any other provisions of this title or other law, ordinance, resolution, rule or regulation of any kind, the regulations which are more restrictive (or which impose higher standards or requirements) shall govern.
- C. **Existing Agreements.** This title is not intended to abrogate any easement, covenant or any other private agreement; provided, that where the regulations of this title are more restrictive (or impose higher standards or requirements) than such easements, covenants or other private agreements, the requirements of this title shall govern.

### 10-1-6. Scope of Regulations

- A. **Changes in Structures or Use.** Except as may otherwise be provided in Chapter 9 of this title, all buildings erected hereinafter, all uses of land or buildings established hereafter, all structural or relocation of existing buildings occurring hereafter, and all enlargements of or additions to existing uses occurring hereafter shall be subject to all regulations of this title which are applicable to the zoning districts in which such buildings, uses or land shall be located.
- B. **Nonconforming Buildings, Structures and Uses.** Any lawful building, structure or use existing at the effective date hereof, January 1, 2024, may be continued, even though such building, structure or use does not conform to the provisions hereof for the district in which it is located, and whenever a district shall be changed hereafter, the then existing lawful use may be continued, subject to the provisions of Chapter 9 of this title.
- C. **Building Permits.** When a building permit for a building or structure has been issued in accordance with law prior to the effective date hereof, January 1, 2024, and provided that construction is begun within six (6) months of such effective date and diligently prosecuted to completion, said building or structure may be completed in accordance with the approved plans on the basis of which the building permit has been issued, and further may, upon completion, be occupied under a certificate of occupancy by the use for which originally designated, subject thereafter to the provisions of Chapter 9 of this title.
- D. **Existing Special Uses.** Where a use is classified as a Special Use under this title, and exists as a permitted use at the effective date hereof, January 1, 2024, it shall be considered as a legal Special Use without further action of the City Council or the Zoning Administrator.

### 10-1-7. Severability

- A. **Severability.** If any court of competent jurisdiction shall adjudge invalid the application of any provision of this title, or any amendment hereto, to a particular building, structure or parcel of land, such judgment shall not affect the application of said provision to any other building, structure or parcel of land not specifically included in said judgment.

## Chapter 2. Definitions

10-2-1. "A" Definitions .....	1
10-2-2. "B" Definitions .....	4
10-2-3. "C" Definitions .....	5
10-2-4. "D" Definitions .....	7
10-2-5. "E" Definitions .....	9
10-2-6. "F" Definitions .....	10
10-2-7. "G" Definitions .....	12
10-2-8. "H" Definitions .....	12
10-2-9. "I" Definitions .....	13
10-2-10. "J" Definitions .....	13
10-2-11. "K" Definitions .....	13
10-2-12. "L" Definitions .....	13
10-2-13. "M" Definitions .....	15
10-2-14. "N" Definitions .....	16
10-2-15. "O" Definitions .....	16
10-2-16. "P" Definitions .....	17
10-2-17. "Q" Definitions .....	19
10-2-18. "R" Definitions .....	19
10-2-19. "S" Definitions .....	20
10-2-20. "T" Definitions .....	24
10-2-21. "U" Definitions .....	25
10-2-22. "V" Definitions .....	25
10-2-23. "W" Definitions .....	26
10-2-24. "X" Definitions .....	26
10-2-25. "Y" Definitions .....	26
10-2-26. "Z" Definitions .....	26

### 10-2-1. "A" Definitions

- A. **Abutting:** To have a common property line or zoning district.
- B. **Accessory Commercial Unit:** Activities that are secondary to a principal use in the residential use category as established in this title. Accessory Commercial Units have use-specific standards that apply to ensure they will not deter from the

character or livability of the surrounding neighborhood, that they remain subordinate to the residential use, and that the residential viability of the dwelling is maintained.

- C. **Accessory Building:** A subordinate building attached to or detached from the principal building or use, but located on the same zoning lot. Accessory buildings shall have a permanent foundation and include garages and storage sheds.
- D. **Accessory Structure, Permanent:** A subordinate structure located on the same lot as a principal building or use and intended to be permanently affixed to the ground on the property. Permanent accessory structures are structures that do not have permanent foundations and include pools, gazebos, and sheds, and attached accessory structures such as a three-season room, covered porch, or roofed patio.
- E. **Accessory Structure, Temporary:** A subordinate structure located on the same lot as a principal building or use and not intended to be permanently affixed to the ground on the property. Temporary accessory structures shall not have permanent foundations and shall include structures used for construction purposes, roadside stands, and other accessory structures established for a limited duration.
- F. **Accessory Use:** A use on the same lot with, and a nature customarily incidental and subordinate to, the principal use or structure.
- G. **Acre:** A measure of land containing forty-three thousand five hundred sixty (43,560) square feet.
- H. **Addition:** An expansion of the principal or accessory building that is indistinguishable from the original building and utilizes the heating, cooling, electrical and plumbing systems from the original construction and has been incorporated into the original building thermal envelope. Any attached permanent accessory structure such as a three-season room, covered porch or roofed patio that does not have heating, ventilation or air-conditioned systems or enclosed by glass is not considered a building addition.
- I. **Adult Day Care:** A program of services provided for functionally-impaired adults who do not require 24-hour institutional care, and yet who are in need of an adult day care program directed toward maintaining physical and mental health, and should be a structured, comprehensive program providing a variety of health, social, and related support services in a protective setting for a period of time less than twenty-four (24) hours.
- J. **Adult Use:** A striptease club or pornographic movie theatre whose business is the commercial sale, dissemination, or distribution of sexually explicit material, shows, or other exhibitions or (ii) an adult bookstore or adult video store in which twenty-five (25) percent or more of its stock-in-trade, books, magazines, and films for sale, exhibition, or viewing on-premises are sexually explicit material.
- K. **Aggregate Materials Extraction:** A use involving on-site extraction of surface or subsurface mineral products or natural resources. Typical uses are quarries, borrow pits, sand and gravel operation, mining, and soil mining.
- L. **Agricultural Use:** The employment of land for the primary purpose of raising, harvesting, and selling crops, or feeding (including grazing), breeding, managing, selling, or producing livestock, poultry, furbearing animals or honeybees, or by dairying and the sale of dairy products, by any other horticultural, floricultural or viticulture use, by animal husbandry, or by any combination thereof. It also includes the current employment of land for the primary purpose of obtaining a profit by stabling or training equines including, but not limited to, providing riding lessons, training clinics and schooling shows.
- M. **Airport:** Any area of land designated, set aside, used, or intended for use, for the landing and takeoff of passenger or commercial aircraft, and any appurtenant areas and uses such as airport buildings or other airport facilities, including approach zones.
- N. **Alcoholic Beverage:** Any beverage that is the product of distillation of fermented liquids, whether rectified or diluted, whatever may be the origin thereof, and includes synthetic ethyl alcohol but does not include denatured alcohol or wood alcohol.

- O. **Alley:** A private right-of-way primarily designed to serve as secondary access to the side or rear of properties whose principal frontage is on another street.
- P. **Alternative Tower Structure:** Manmade trees, clock towers, bell steeples, light poles and similar alternative design mounting structures that camouflage or conceal the presence of antennas and towers.
- Q. **Amusement Park:** A commercially operated park with a predominance of outdoor games and activities for entertainment, including motorized rides, water slides, miniature golf, batting cages, accessory food service, and similar activities.
- R. **Animal Hospital:** Any building, or portion thereof, designed or used for the medical or surgical care, observation or treatment of domestic animals for an overnight duration or longer.
- S. **Antenna:** Communications equipment that transmits or receives electromagnetic radio signals used in the provision of any type of wireless communications services not including small wireless facilities.
- T. **Antenna Structures:** Those structures which include the radiating and/or receiving system, its supporting structures (see definition of tower), and any appurtenance mounted thereon as defined by the Federal Communications Commission or any successor agency.
- U. **Apiary:** The place where one (1) or more bee colonies are kept.
- V. **Artisan Manufacturing:** The production and assembly of finished products or component parts, typically by hand, and including design, processing, fabrication, assembly, treatment, and packaging of finished products, and incidental storage, on-site retail sale, and distribution of the associated goods. Artisan manufacturing may include but is not limited to food and bakery products, non-alcoholic beverages, printmaking, leather products, jewelry and clothing/apparel, metal work, woodwork, furniture and glass or ceramic production.
- W. **Art Gallery/Art Studio:** An establishment engaged in the sale or exhibit of art works such as paintings, sculpture, macrame, knitted goods, stitchery, or pottery. Art studios are may also be engaged in the creations of such art works and often offer instruction in their creation.
- X. **Assembly, Production, Manufacturing, Testing, Repairing, or Processing, Light:** An industrial facility at which all operations (with the exception of loading operations): Are conducted entirely within an enclosed building; not potentially associated with nuisances such as odor, noise, heat, vibration, and radiation which are detectable at the property line; and do not pose a significant safety hazard (such as danger of explosion).
- Y. **Assembly, Production, Manufacturing, Testing, Repairing, or Processing, Heavy:** An industrial facility at which all operations (with the exception of loading operations): Are conducted entirely within an enclosed building and which generate odor, noise, heat, vibration, and radiation which are detectable at the property line; but do not pose a significant safety hazard (such as danger of explosion).
- Z. **Attention-Getting Device:** Any flag(s), streamer, spinner, pennant, light, balloon, continuous string of pennants, or fringe, or similar device or ornamentation used primarily for the purpose of attracting attention for promotion or advertising a business or commercial activity which is visible by the general public from any public right-of-way or public area.
- AA. **Auction House:** A structure, area, or areas within a building used for the public sale of goods, wares, merchandise, or equipment to the highest bidder.
- BB. **Automobile Parts/Accessories Sales:** A retail establishment dedicated to the sale of automobile components, parts, and accessories but not including on-site repair or maintenance of automobiles.
- CC. **Automobile Rental:** Leasing or renting of automobiles, motorcycles and light trucks and vans, including incidental parking and servicing of vehicles for rent or lease. This definition excludes commercial truck and trailer rental.

- DD. **Automobile Repair:** Engine rebuilding or major reconditioning of worn or damaged motor vehicles or trailers; collision service, including body, frame or fender straightening or repair and painting of vehicles including incidental repairs, replacement of parts, and motor service to automobiles. Automobile repair excludes repair to semi-trucks.
- EE. **Automobile Sales and Service, Enclosed:** An establishment engaged in the sale of automobiles where all operations take place entirely within an enclosed showroom in a primary building.
- FF. **Automobile Sales and Service, Open Sales Lot:** An establishment engaged in the sale of automobiles where some operations, including but not limited the display of vehicles for sale take place outside of an enclosed building.

## 10-2-2. “B” Definitions

- A. **Bakery, Wholesale:** A bakery in which there is permitted the production and/or wholesaling of baked goods, excluding retail bakery.
- B. **Bank:** A building for the custody, loan, or exchange of money, for the extension of credit and for facilitating the transmission of funds. This definition includes credit unions, savings and loan facilities, payday loans, personal loan agencies.
- C. **Basement:** That portion of a building that is partly or completely below grade.
- D. **Battery Uses:** A use that enables battery manufacturing, charging, recycling, warehousing, storage, and related uses. This may also include uses that derive energy from renewable sources, such as wind and solar power, to be collected, stored, and then released for later use to an electric grid, power plant or private user.
- E. **Bed and Breakfast Inn:** A private, owner/operator occupied residence with guestrooms, providing overnight accommodations and a morning meal for compensation to transients/travelers. A bed and breakfast inn is operated primarily as a business.
- F. **Blacksmith or Welding Shop:** Shops where lathes, presses, grinders, shapers, and other wood- and metal-working machines are used such as blacksmith, tinsmith, welding, and sheet metal shops; plumbing, heating, and electrical repair shops; and overhaul shops.
- G. **Block:** A tract of land bounded by streets or, in lieu of a street or streets, by public parks, cemeteries, railroad rights-of-way, bulkhead lines or shorelines of waterways or corporate boundary lines of municipalities.
- H. **Boat Sales and Rental:** A marine retail sales and service use in which boats are rented or sold.
- I. **Boat Storage:** A facility where boats are stored including indoor and outdoor.
- J. **Brewery/Winery/Distillery:** An establishment primarily engaged in brewing fermented malt beverages including beer, ale, malt liquors, and nonalcoholic beer (brewery), manufacturing and bottling wine on the premises (winery), or manufacturing, by distillation, intoxicating spirits on the premises (distillery) but not including on-premises consumption by patrons.
- K. **Brewpub:** A restaurant-brewery that brews beer primarily for sale in the restaurant and/or bar and is dispensed directly from the brewery’s storage tanks. Total production capacity shall not exceed one-hundred fifty-five thousand (155,000) gallons per calendar year.
- L. **Buffer:** A strip of land, including landscaping, berms, walls, and fences, that is located between land uses of different character and is intended to physically and visually separate one use area from another and mitigate visual and other off-site impacts.
- M. **Building:** Any structure with substantial walls and roof having a permanent foundation on the land and entirely separated on all sides from any other structure by space or by walls in which there are not communicating doors, windows, or openings; and which is designed or intended for the shelter, enclosure or protection of persons, animals or chattels.

- N. **Building, Detached:** A building surrounded by open space and not sharing a common wall with another building on the same zoning lot.
- O. **Building Height:** The vertical distance measured from the sidewalk level or its equivalent established grade opposite the middle of the front of the building to the highest point of the roof in the case of a flat roof; to the deck line of a mansard roof; and to the mean height level between eaves and the ridge of a gable, hip or gambrel roof; provided, that where buildings are set back from the street line, the height of the building may be measured from the average elevation of the finished lot grade at the front of the building.
- P. **Building Material Sales:** Establishments or places of business primarily engaged in retail or wholesale sale, from the premises, of materials used in the construction of buildings or other structures.
- Q. **Building Mounted Solar Energy System:** A solar energy collection system that is structurally mounted to the roof of a building or other permitted structure, including limited accessory equipment associated with system which may be ground mounted. It is installed parallel to the roof with a few inches gap.
- R. **Building Mounted Wind Energy System:** A wind turbine that is structurally mounted to the roof of a principal building, including limited accessory equipment associated with the system which may be ground mounted.
- S. **Building, Nonconforming:** Any building which does not conform to the regulations of this title including but not limited to the required yards, lot coverage, height and setbacks, minimum required spacing between buildings on a single lot, and minimum required usable open space for the district in which such building is located.
- T. **Building, Principal:** A non-accessory building in which the principal use of the zoning lot on which it is located is conducted.
- U. **Building Setback Line:** A parallel line across a lot or parcel of land, establishing the minimum open space to be provided between the line of a building or structure, and the lot line of the lot or parcel.
- V. **Building, Temporary:** Any building not designed to be permanently located in the place where it is, or where it is intended to be placed or affixed.
- W. **Bulk:** The term used to describe the size and mutual relationships of buildings and other structures, as to size, height, coverage, shape, location of exterior walls in relation to lot lines, to the centerlines of the streets, to other walls of the same buildings, and to other buildings or structures, and to all open spaces relating to the building or structure.
- X. **Bumper Overhang:** The part of a motor vehicle which extends beyond the wheelbase in the front and rear of the vehicle.
- Y. **Business:** Any occupation, employment, or enterprise wherein merchandise is exhibited or sold, or which occupies time, attention, labor, and materials, or where services are offered for compensation.

### 10-2-3. "C" Definitions

- A. **Campground:** Any area that is occupied or intended or designed or improved for occupancy by transients using recreational vehicles, travel trailers, and/or tents.
- B. **Carport:** An automobile shelter with two (2) or more sides open.
- C. **Car Wash:** The primary or secondary use of a site for washing and cleaning of passenger vehicles, commercial vehicles, recreational vehicles, or other light duty equipment.
- D. **Casino and Off-Track Betting Establishment:** An establishment intended to deal, operate, carry on, conduct, maintain, or expose for play any game, sports book, parimutuel, or any other form of wagering.

- E. **Cemetery:** Land used or dedicated to the interment of human or animal remains or cremated remains, including mausoleums, necessary sales, and maintenance facilities. Mortuaries shall be included when operating within the boundary of such cemetery.
- F. **City:** The United City of Yorkville or the City of Yorkville.
- G. **City Council:** The City Council of the City of Yorkville.
- H. **College, University, or Junior College:** A private or public college or technical institution which provides full-time or part-time education beyond high school that grants Associate, Baccalaureate, or higher degrees.
- I. **Commercial Entertainment, Indoor:** Commercial indoor recreation facilities are conducted entirely indoors for commercial purposes, with or without seating for spectators, and providing accommodations for a variety of individual, organized, or franchised sports, including wrestling, gymnastics, basketball, soccer, tennis, volleyball, racquetball, handball, bowling, indoor golf driving ranges, skating, and ice skating.
- J. **Commercial Entertainment, Outdoor:** Commercial outdoor recreation facilities are conducted entirely outdoor for commercial purposes, with or without seating for spectators, and providing accommodations for a variety of individual, organized, or franchised sports, including wrestling, basketball, soccer, tennis, volleyball, racquetball, handball, outdoor golf driving ranges, skating, and ice skating.
- K. **Commercial Feeding of Fish, Poultry, Livestock:** A land use or facility used for the confined feeding operation for fish, poultry, swine, or livestock.
- L. **Commercial Laboratory:** A laboratory, that performs analyses or tests for third parties for a fee or other compensation and provides chemical analyses, analytical results, or other test data to the department.
- M. **Commercial/Trade School:** A school established to provide for the teaching of industrial, clerical, managerial, artistic skills or alternative education. This definition applies to schools that are owned and operated privately for profit or not for profit. Such schools may not contain an auditorium, gymnasium, or any other sort of recreational facilities.
- N. **Community Garden:** A site on which residents collectively manage a garden for a shared benefit.
- O. **Communications Use:** Any principal use that facilitates the origination, creation, transmission, emission, storage-retrieval, or reception of signs, signals, writing, images, sounds, or intelligence of any nature, by wire, optical, or other excluding radio and television towers as defined in this UDO.
- P. **Conforming Building or Structure:** A building or structure which:
  - 1. Complies with all the current regulations of this title or of any amendment hereto governing bulk of the district in which the building or structure is located; and
  - 2. Is designed or intended for a permitted or special use as allowed in the district in which it is located.
- Q. **Contractor Facility With Outdoor Storage:** A general contractor or builder engaged in the construction of buildings, either residences or commercial structures as well as heavy construction contractors engaged in activities such as paving, highway construction, and utility construction, which include the outdoor storage of equipment on-site.
- R. **Court:** An open unoccupied space, other than a yard, on the same lot with a building or group of buildings and which is bounded on two (2) or more sides by such building or buildings.
- S. **Crosswalk:** A strip of land ten (10) feet or more in width, dedicated to public use, which is reserved across a block to provide pedestrian access to adjacent areas, and may include utilities, where necessary.
- T. **Cul-De-Sac:** A street having only one (1) outlet, and an appropriate terminal for the reversal of traffic movement, without the need to back up.

- U. **Cultivation of Nonfood Crops and Seeds Used of Cellulosic Biofuels Production:** The cultivation of crops and seeds not intended for the eventual consumption of food, but rather for the use of the production of biofuels.
- V. **Cannabis Craft Grower:** A facility operated by an organization or business that is licensed by the Department of Agriculture to cultivate, dry, cure, and package cannabis and perform other necessary activities to make cannabis available for sale at a dispensing organization or use at a processing organization. A craft grower may contain up to five-thousand (5,000) square feet of canopy space on its premises for plants in the flowering state. A craft grower may share premises with a processing organization or a dispensing organization, or both, provided each licensee stores currency and cannabis or cannabis-infused products in a separate secured vault to which the other licensee does not have access or all licensees sharing a vault share more than fifty (50) percent of the same ownership as allowed by the Cannabis Regulation and Tax Act (410 ILCS 705/1 et seq.) and regulations promulgated thereunder.
- W. **Cannabis Cultivation Center:** A facility operated by an organization or business that is licensed by the Department of Agriculture to cultivate, process, transport (unless otherwise limited by this Act), and perform other necessary activities to provide cannabis and cannabis-infused products to cannabis business establishments as allowed by the Cannabis Regulation and Tax Act (410 ILCS 705/1 et seq.) and regulations promulgated thereunder.
- X. **Cannabis Dispensing Organization:** A facility operated by an organization or business that is licensed by the department of financial and professional regulation to acquire cannabis from a state-licensed cultivation center, craft grower, processing organization, or another dispensary for the purpose of selling or dispensing cannabis, cannabis-infused products, cannabis seeds, paraphernalia, or related supplies to purchasers or to qualified registered medical cannabis patients and caregivers as allowed by the Cannabis Regulation and Tax Act (410 ILCS 705/1 et seq.) and regulations promulgated thereunder.
- Y. **Cannabis Infuser Organization:** A facility operated by an organization or business licensed by the state department of agriculture to directly incorporate cannabis or cannabis concentrate into a product formulation to produce a cannabis-infused product, as allowed by the Cannabis Regulation and Tax Act (410 ILCS 705/1 et seq.) and regulations promulgated thereunder.
- Z. **Cannabis Processing Organization:** A facility operated by an organization or business that is licensed by the Department of Agriculture to either extract constituent chemicals or compounds to produce cannabis concentrate or incorporate cannabis or cannabis concentrate into a product formulation to produce a cannabis product as allowed by the Cannabis Regulation and Tax Act (410 ILCS 705/1 et seq.) and regulations promulgated thereunder.
- AA. **Cannabis Transporting Organization:** An organization or business that is licensed by the Department of Agriculture to transport cannabis or cannabis-infused product on behalf of a cannabis business establishment or a community college licensed under the Community College Cannabis Vocational Training Pilot Program.

#### 10-2-4. “D” Definitions

- A. **Daycare Facility:** Any childcare facility licensed by the State Department of Children and Family Services (DCFS) which regularly provides daycare for less than twenty-four (24) hours per day for more than three (3) children under the age of twelve (12) in a facility other than a home, 225 ILCS 10/2.09.
- B. **Daycare, In-Home:** Any in home childcare service licensed by the State Department of Children and Family Services (DCFS) which regularly provides care for less than twenty-four (24) hours per day for more than three (3) and up to a maximum of twelve (12) children under the age of twelve (12) in a home. The term does not include facilities which receive only children from a single household, 225 ILCS 10/2.09.
- C. **Daycare Facility, Part-Day:** Any facility licensed by the State Department of Children and Family Services (DCFS) and which is conducted by a church, religious organization or social service agency in which individual children are provided care, on an intermittent basis, for up to ten (10) hours per seven (7) day week. Any facility which provides intermittent care for up to ten (10) hours per seven (7) day week shall not provide such care for more than eight (8) hours in any given day during the seven (7) day week. Any facility which provides intermittent care for up to ten (10) hours per seven (7) day week shall provide at least one (1) caregiver per twenty (20) children, 225 ILCS 10/2.10.

- D. **Data Center:** A facility comprised of networked computers, storage systems, and computing infrastructure which organizations use to assemble, process, store and disseminate data. Cryptocurrency centers, which use networked computers, storage systems, and computing infrastructure to manage the flow of digital or virtual currencies, shall be included in the definition.
- E. **Dead End Street:** A street having only one (1) outlet.
- F. **Density, Gross:** A ratio of the total number of dwelling units on a site, divided by the acreage of the site, to include streets, schools, parks, etc., expressed as dwelling units per acre.
- G. **Development:** Any manmade change to real estate, including:
  - 1. Preparation of a plat of subdivision;
  - 2. Construction, reconstruction, or placement of a building or any addition to a building;
  - 3. Installation of a manufactured home on a site, preparing a site for a manufactured home, or installing a travel trailer on a site for more than one hundred eighty (180) days;
  - 4. Construction of roads, bridges, or similar projects;
  - 5. Redevelopment of a site;
  - 6. Filling, dredging, grading, clearing, excavating, paving, or other nonagricultural alterations of the ground surface;
  - 7. Storage of materials, or deposit of solid or liquid waste;
  - 8. Any other activity that might alter the magnitude, frequency, deviation, direction, or velocity of stormwater flows from a property.
- H. **District:** A delineated section or part of the unincorporated portion of the City in which bulk, density, and use specific standards established in Chapter 4 apply.
- I. **Domesticated Hens:** All life stages of the subspecies of the species Gallus Domesticus which are kept in an enclosure in the rear or side yard of a residentially zoned property as permitted and regulated in this title.
- J. **Drive-Through:** A business or establishment which provides all or some of its services through a building opening or pickup window to its patrons who remain in their vehicles.
- K. **Driveway:** A paved or unpaved private roadway providing vehicular access between the right-of-way of the street and a parking space, garage, dwelling or other structure.
- L. **Dry Cleaning Plant:** An establishment used for cleaning fabrics, textiles, wearing apparel, or articles of any sort by immersion and agitation, or by immersions only, in volatile solvents including, but not by way of limitation, solvents of the petroleum distillate type, and/or the chlorinated hydrocarbon type, and the processes incidental thereto.
- M. **Dry Cleaning Establishment:** An establishment or business maintained for the pickup and delivery of dry cleaning and/or laundry without the maintenance or operation of any laundry or dry-clean-ing equipment or machinery on the premises.
- N. **Dwelling:** A building or portion thereof, but not including a house trailer or mobile home, designed or used exclusively for residential occupancy, including single-unit dwellings, duplex dwellings, townhomes and multi-unit dwellings, but not including hotels, motels, boarding or lodging houses.
- O. **Dwelling, Accessory:** A dwelling that is an accessory use to a single-unit dwelling and that provides, independent of the principal single-unit dwelling:
  - 1. A separate entrance that allows ingress and egress from the exterior of the property; and

- 2. Areas used for bathing, cooking, and sleeping.
- P. **Dwelling, Duplex:** A building designed or altered to provide dwelling units for occupancy by two (2) families within a single structure on separate lots, each of which has independent living quarters with direct access to the outside.
- Q. **Dwelling, Group:** A group of two (2) or more single-unit, duplex, townhome and/or multi-unit dwellings occupying a parcel of land under a single ownership and having a yard or court in common, excluding hotels and motels.
- R. **Dwelling, Multi-Unit:** A building or portion thereof, designed or altered for occupancy by two (2) or more household living independently of each other within a single or attached structure on one (1) lot, which may or may not share common entrances or other spaces and includes apartments, group homes, and condominiums.
- S. **Dwelling, Single-Unit:** A dwelling unit designed exclusively for use and occupancy by one (1) household which is detached from any other dwelling unit and surrounded on all sides by open space on the same lot.
- T. **Dwelling, Townhouse:** A single-unit dwelling unit constructed in a group of three (3) or more attached units on separate lots in which each unit extends from foundation to roof and with a yard or public way on at least two (2) sides.
- U. **Dwelling Unit:** A housing unit providing complete independent living facilities for one (1) or more persons, including permanent provisions for living, sleeping, eating, cooking and sanitation.

### 10-2-5. "E" Definitions

- A. **Easement:** A grant by a property owner for the use of a parcel of land by the general public, a corporation, or a certain person or persons for a specific purpose or purposes.
- B. **Efficiency Unit:** A dwelling unit consisting of one (1) principal room, exclusive of bathroom, kitchen, hallway, closets or dining alcove, directly off the principal room.
- C. **Electric Substation:** An assemblage of equipment and appurtenant facilities designed for voltage transformation, or voltage control of electricity in amounts of 115,000 volts or more.
- D. **Enclosed:** A building separated on all sides from the adjacent open space, or from other buildings or other structures, by a permanent roof and by exterior walls or party walls, pierced only by windows and normal entrance or exit doors.
- E. **Entertainment Production Studios:** A theater, audience area for motion pictures and television studios or other similar uses.
- F. **Erect:** The act of placing or affixing a component of a structure upon the ground or upon another such component.
- G. **Establishment, Business:** A separate place of business having the following three (3) characteristics:
  - 1. The ownership and management of all operations conducted within such establishment is separate and distinct from the ownership and management of operations conducted within other establishments on the same or adjacent zoning lots.
  - 2. Direct public access to such "business establishment" is separate and distinct from direct access to any other "business establishment".
  - 3. There is no direct public access from within such establishment to any other such establishment.
  - 4. When adjacent places of business lack any one (1) of the characteristics with respect to one another, they shall then be considered as a single "business establishment" for the purpose of this title.

## 10-2-6. "F" Definitions

- A. **FAA:** The Federal Aviation Administration.
- B. **FCC:** The Federal Communications Commission.
- C. **Farming/Cultivation:** The cultivation of berries, flowers, fruits, grains, herbs, mushrooms, nuts, ornamental plants, seedlings, or vegetables for use on-site or sale or distribution on-site or off-site.
- D. **Fence:** A structure, including gates, or tree or shrub hedge which is a barrier and used as a boundary or means of protection or confinement.
- E. **Fence, Open:** A fence which has over its entirety at least fifty (50) percent of the surface area in open space as viewed at right angles from the fence; except, that the required open space in louver type fences may be viewed from any angle.
- F. **Fence, Solid:** A fence which conceals from view, from adjoining properties, streets or alleys, activities conducted behind it.
- G. **Filtration Plant:** A facility that works to filter and purify water by removing chemicals, hazardous materials, and toxic matters from a water source.
- H. **Financial Institutions and Services:** A financial institution, or bank, is a structure that is open to the public and engaged in deposit banking, and that performs closely related functions such as making loans, investments, and fiduciary activities.
- I. **Fire Station:** A building used for the storage and maintenance of fire-fighting equipment.
- J. **Floodplain:** See Title 8, Chapter 7 of this Code.
- K. **Floor Area, Gross:** The sum of the gross horizontal areas of the all building floors, including the basement floor, measured from the exterior faces of the exterior walls or from the centerlines of walls separating two (2) buildings. The floor area shall also include the horizontal areas on each floor devoted to:
  - 1. Elevator shafts and stairwells.
  - 2. Mechanical equipment, except if located on the roof, when either open or enclosed, i.e., bulkheads, water tanks and cooling towers.
  - 3. Habitable attic space as permitted by the building code.
  - 4. Interior balconies and mezzanines.
  - 5. Enclosed porches.
  - 6. Accessory uses.
  - 7. The floor area of structures used for bulk storage of materials, i.e., grain elevators and petroleum tanks, shall also be included in the floor area and such floor area shall be determined on the basis of the height of such structures with one (1) floor for each ten (10) feet of structure height and if such structure measures less than ten (10) feet but not less than five (5) feet over such floor height intervals, it shall be construed to have an additional floor. The horizontal area in each floor of a building devoted to off-street parking and off-street loading facilities shall not be included in the "floor area".
  - 8. Floor area when prescribed as the basis of measurement for off-street parking spaces and off-street loading spaces for any use shall be the sum of the gross horizontal area of the several floors of the building, excluding areas used for accessory off-street parking facilities and the horizontal areas to the basement floors that are devoted exclusively to uses accessory to the operation of the entire building. All horizontal dimensions shall be taken from the exterior of the walls.

- L. **Floor Area, Net:** The sum of the gross horizontal areas of the all building floors, including the basement floor, measured from the exterior faces of the exterior walls or from the centerlines of walls separating two (2) buildings. The "floor area" shall not include the horizontal areas on each floor devoted to:
1. Elevator shafts and stairwells.
  2. Mechanical equipment, except if located on the roof, when either open or enclosed, i.e., bulkheads, water tanks and cooling towers.
  3. Habitable attic space as permitted by the building code.
  4. Interior balconies and mezzanines.
  5. Enclosed porches.
  6. Accessory uses.
  7. The floor area of structures used for bulk storage of materials, i.e., grain elevators and petroleum tanks, shall also be included in the floor area and such floor area shall be determined on the basis of the height of such structures with one (1) floor for each ten (10) feet of structure height and if such structure measures less than ten (10) feet but not less than five (5) feet over such floor height intervals, it shall be construed to have an additional floor. The horizontal area in each floor of a building devoted to off-street parking and off-street loading facilities shall not be included in the "floor area".
  8. Floor area when prescribed as the basis of measurement for off-street parking spaces and off-street loading spaces for any use shall be the sum of the gross horizontal area of the several floors of the building, excluding areas used for accessory off-street parking facilities and the horizontal areas to the basement floors that are devoted exclusively to uses accessory to the operation of the entire building. All horizontal dimensions shall be taken from the exterior of the walls.
- M. **Foot-Candle:** A unit of illumination, equivalent to the illumination at all points which are one (1) foot distant from a uniform point source of one (1) candlepower.
- N. **Forestation:** The cultivation or keeping of existing mature trees as a principal use.
- O. **Freestanding Solar Energy System, Accessory Use:** A solar energy collection system and associated mounting hardware that is affixed to or placed upon the ground including but not limited to fixed, passive, or active tracking racking systems, constructed as the accessory use on a parcel, and not intended for the distribution and sale to a third party off-site.
- P. **Freestanding Solar Energy System, Principal Use:** A single solar energy collection system and associated mounting hardware that is affixed to or placed upon the ground including but not limited to fixed, passive, or active tracking racking systems, constructed as the principal use on an individual parcel, intended to serve consumers located off the parcel.
- Q. **Freestanding Wind Energy System, Accessory Use:** A wind turbine that is that is affixed to or placed upon the ground on a parcel with an existing principal use, to which the wind energy system is accessory and provides electricity to and not intended for the sale and distribution off-site.
- R. **Freestanding Wind Energy System, Principal Use:** A wind turbine that is that is affixed to or placed upon the ground on a parcel as the parcel's principal use but which does not distribute and sell energy to customers off-site.
- S. **Frequency:** The number of oscillations per second in a sound wave, measuring the pitch of the resulting sound.
- T. **Frontage:** The property on one (1) side of a street, between two (2) intersecting streets (crossing or terminating), measured along the line of the street; or, with a dead end street, all property abutting one (1) side of such street, measured from the nearest intersecting street and the end of the dead end street.

- U. **Frontage Street:** A public or private marginal access roadway, generally paralleling and contiguous to a street or highway, and designed to promote safety by eliminating unlimited ingress and egress to such street or highway by providing points of ingress and egress at relatively uniform spaced intervals.
- V. **Funeral Home/Mortuary/Crematorium:** A building used for the preparation of the deceased for burial and display of the deceased and rituals connected therewith before burial or cremation. A funeral home, as defined for purposes of this code, includes a funeral chapel.

### 10-2-7. “G” Definitions

- A. **Garage, Bus or Truck:** Any building used or intended to be used for the storage of three (3) or more passenger motor buses or motor coaches used in public transportation, excluding school buses.
- B. **Garage, Private:** An accessory building or an accessory portion of the principal building which is intended for and used to store the private passenger vehicles of the family or families resident upon the premises, and in which no business, service or industry connected directly or indirectly with automotive vehicles is carried on.
- C. **Gasoline Service Station:** A place where gasoline, stored only in underground tanks, kerosene, lubricating oil or grease, for operation of automobiles, are offered for sale directly to the public on the premises, and including minor accessories and the services of automobiles, mechanical or manual washing of automobiles, but not including major automobile repairs. Gasoline service stations shall not include sale or storage of automobiles or trailers (new or used).
- D. **Golf Course, Miniature:** A novelty version of golf played with a putter and golf ball on a miniature course, typically theme oriented with artificial playing surfaces and including obstacles such as bridges and tunnels.
- E. **Golf Course:** A facility providing a private or public golf recreation area designed for regulation play along with accessory golf support facilities including golf related retail sales, restaurant, golf driving range but excluding miniature golf.
- F. **Golf Driving Range:** An area equipped with distance markers, clubs, balls and tees for practicing golf drives and putting which may include incidental retail sales and food services, but excludes miniature golf.
- G. **Grain Elevator and Storage:** A building designed to stockpile or store grain. Grain silos, which are vertical buildings, typically circular, used for the storage of grain, as well as grain elevators, which are used to convey grain to the top of a silo or storage building shall be included.
- H. **Grade:** The established grade of the street or sidewalk. Where no such grade has been established, the grade shall be the elevation of the sidewalk at the property line. Where no sidewalks exist, the grade shall be the average elevation of the street adjacent to the property line. Except in cases of unusual topographic conditions, as determined by the Zoning Administrator or their designee, grade shall be the average elevation of the finished surface of the ground adjoining the exterior walls of a building at the base of a structure based upon any technical advice that the Zoning Administrator or their designee deems necessary.

### 10-2-8. “H” Definitions

- A. **Health and Fitness Club/Center:** A facility which provides for individual or group exercise activities. Programs may include, but are not limited to aerobics, calisthenics, weight training, running, swimming, court games, studio lessons and all types of instructional classes related to physical fitness. Health and fitness clubs/centers may offer a variety of recreational and fitness amenities such as weightlifting machines, free weights, swimming pools, gymnasiums, studios, sport courts, shower and changing areas and may include incidental uses such as childcare facilities, food services, saunas, and pro shops oriented towards customers during their use of the club/center.
- B. **Heavy Machinery and Equipment Sales Rental:** An establishment engaged in the sale or rental of equipment, dump trucks, tractor and trailer rigs, and similar vehicles not ordinarily used for personal transportation.

- C. **Height:** When referring to a tower or other structure, the distance measured from the finished grade of the parcel to the highest point on the tower or other structure, including the base pad and antenna structures.
- D. **Home Occupation:** An accessory use of a residential dwelling unit which complies with the requirements of Section 10-4-15(F) of this title.
- E. **Hospital:** An institution devoted primarily to the maintenance and operation of facilities for the diagnosis, treatment, or care, for not less than twenty-four (24) hours in any week, of three (3) or more nonrelated individuals suffering from illness, disease, injury, deformity, or other abnormal physical conditions. The term "hospital", as used in this title, does not apply to institutions operating solely for the treatment of mentally ill or chemically dependent persons, or other types of cases necessitating restraint of patients, and the term "hospital" shall not be used for convalescent, nursing, shelter, or boarding homes.
- F. **Hotel:** An establishment containing lodging accommodations designed for use by temporary guests in which access to guest rooms is through a common entryway or lobby. Facilities provided may include maid service, laundering of linen used on the premises, telephone and secretarial or desk service, restaurants, cocktail lounges, meeting rooms and ancillary retail uses, provided access to such uses are from the exterior of the principal use.
- G. **Household:** All the people that occupy a single dwelling unit regardless of their relationship to one another.

### 10-2-9. "I" Definitions

- A. **Improvements:** All facilities constructed or erected by a subdivider within a subdivision, to permit and facilitate the use of lots or blocks for a principal residential, business, or manufacturing purpose.
- B. **Interlocking Standard Parking Spaces:** A configuration of off-street parking in columns in which the parking spaces in each individual column are angled to create an interlocking pattern with the angled off-street parking spaces in the adjoining column.
- C. **Invasive Species:** An invasive species means any species non-native to the ecosystems of northeast Illinois whose introduction will or may cause economic or environmental harm to the function of the natural ecosystem.

### 10-2-10. "J" Definitions

RESERVE

### 10-2-11. "K" Definitions

- A. **Kennel, Commercial or Private Dog Kennel:** Any lot or premises or portion thereof on which more than four (4) dogs, cats, and other household domestic animals, over four (4) months of age, are kept for sale, or on which more than two (2) such animals are boarded for compensation.

### 10-2-12. "L" Definitions

- A. **Laboratory, Commercial:** A place devoted to experimental study such as testing and analyzing. Manufacturing assembly or packaging of products is not included within this definition.
- B. **Land Banking:** Land that is part of a single lot or development that is set aside or reserved for a later approved use or development.
- C. **Land Improvement:** All required on-site and off-site subdivision improvements including, but not limited to, any sanitary sewage system, water distribution system, storm drainage systems, public utility systems, sidewalk systems, public or private streets, street lighting, street signs, grading and drainageway facilities, pedestrian ways, and retention and detention basins.
- D. **Library:** A public facility for the use, but not sale, of literary, musical, artistic, or reference materials.

- E. **Liquor Store:** A business engaged primarily in the retail sale of beer, wine, spirits or other alcoholic beverages for off-premise consumption.
- F. **Loading and Unloading Space, Off-Street:** An open, hard surfaced area of land other than a street or public way, the principal use of which is for the standing, loading and unloading of motor vehicles, tractors and trailers to avoid undue interference with public streets and alleys. Such space shall not be less than ten (10) feet in width, twenty-five (25) feet in length and fourteen (14) feet in height, exclusive of access aisles and maneuvering space.
- G. **Lookout Basement:** A story having more than one-half ( $\frac{1}{2}$ ) of its height below the curb level or below the highest level of the adjoining grade. A lookout basement shall not be counted as a story for the purposes of height measurement.
- H. **Lot:** A portion of a subdivision or other parcel of land, intended for transfer of ownership, or for building developments.
- I. **Lot Area:** The area of a horizontal plane bounded by the front, side and rear lot lines.
- J. **Lot, Corner:** A lot situated at the junction of and abutting on two (2) or more intersecting streets; or a lot at the point of deflection in alignment of a single street, the interior angle of which is one hundred thirty-five (135) degrees or less.
- K. **Lot Coverage:** The area of a zoning lot occupied by the principal building or buildings, accessory buildings and all other impervious areas such as driveways, roads, sidewalks, parking lots and structures, and any area of concrete or asphalt.
- L. **Lot Depth:** The distance between the midpoint of the front lot line and the midpoint of the rear lot line.
- M. **Lot, Double Frontage:** A lot, two (2) opposite lot lines of which abut upon streets which are more or less parallel.
- N. **Lot, Flag:** A lot not fronting or abutting a public roadway and where access to the public roadway is limited to a narrow driveway or strip of land between abutting lots, thereby not meeting the minimum lot frontage requirements.
- O. **Lot Frontage:** The front of a lot shall be that boundary of a lot along a public or private street; for a corner lot, the front shall be the narrowest side of the lot fronting upon a street; provided that the owner may orient the building toward either street but once frontage is established it shall be maintained.
- P. **Lot, Interior:** A lot other than a corner lot or reversed corner lot.
- Q. **Lot Line:** A property boundary line of any lot held in single or separate ownership; except, that where any portion of the lot extends into the abutting street or alley, the lot line shall be deemed to be the street or alley line.
- R. **Lot Line, Front:** A lot line which abuts a street shall be the front lot line. For corner lots, the narrowest side of the lot fronting upon a street shall be considered the front of the lot; provided that the owner may orient the building toward either street but once frontage is established it shall be maintained.
- S. **Lot Line, Interior:** A side lot line common with another lot.
- T. **Lot Line, Rear:** The rear lot line is the lot line or lot lines most nearly parallel to and more remote from the front lot line.
- U. **Lot line, Side:** Lot lines other than front or rear lot lines are side lot lines.
- V. **Lot of Record:** A lot which is a part of a subdivision or a parcel of land described by deed and where both the map and the deed were recorded in the Office of the County Recorder.
- W. **Lot, Reversed Corner:** A corner lot, the rear of which abuts upon the side of another lot, whether across an alley or not.
- X. **Lot, Through:** A lot having frontage on two (2) parallel or approximately parallel streets, and which is not a corner lot. On a through lot, both street lines shall be deemed front lot lines.
- Y. **Lot Width:** The mean horizontal distance between the side lot lines measured within the lot boundaries, or the minimum distance between the side lot lines within the buildable area.

- Z. **Lot, Zoning:** A plot of ground made up of one (1) or more contiguous parcels which are under single ownership and may be occupied by a use, building or buildings, including the yards and open spaces required by this title.

### 10-2-13. "M" Definitions

- A. **Manufacturer, Firearms and Ammunition:** Any person or entity in: a) the business of transporting, shipping and receiving firearms and ammunition for the purpose of sale or distribution, b) selling firearms at wholesale or retail, c) repairing firearms or making or fitting special barrels, stocks or trigger mechanisms to firearms and operating under the provisions of the applicable local, state and federal licenses.
- B. **Manufacturing:** An establishment, the principal use of which is manufacturing, fabricating, processing, assembly, repairing, storing, cleaning, servicing or testing of materials, goods or products.
- C. **Massage Establishment:** Any establishment having a source of income or compensation derived from the practice of "massage" as defined in section 10 of the Massage Licensing Act, 225 ILCS 57/10 and which has a fixed place of business where any person, firm, association or corporation engages in or carries on any of the activities defined in [title 3](#), chapter 9, "Massage Establishments", of this Code.
- D. **Medical Clinic / Office:** An establishment where patients are admitted for study and treatment by two (2) or more licensed physicians, dentists, psychologists, or similar professional healthcare practitioners and their professional associates. The term shall include but not be limited to offices of physicians, chiropractors, dentists, and acupuncturists.
- E. **Microbrewery/Microwinery:** A combination retail, wholesale, and/or small-scale artisan manufacturing business that brews, ferments, processes, packages, distributes, and serves either beer or wine for sale on- or off-site. A microbrewery shall produce no more than one-hundred fifty-five thousand (155,000) gallons of beer per year for sale on the premises for either on-premises or off-premises consumption. These facilities may include an ancillary tasting room and retail component in which guests/customers may sample and purchase the product. Off-site distribution of the beverages shall be consistent with state law.
- F. **Microdistillery:** A small scale artisan manufacturing business that blends, ferments, processes, packages, distributes and serves alcoholic spirits on and off the premises and produces no more than fifteen thousand (15,000) gallons per calendar year on-site. The microdistillery facility may include an ancillary tasting room and retail component in which guests/customers may sample and purchase the product. Off-site distribution of the alcoholic beverages shall be consistent with state law.
- G. **Mobile Food Vendor Vehicles and Retail Vendor Vehicles:** A motorized vehicle used to conduct a mobile food preparer business, a mobile food dispenser, or mobile desserts vendor business.
- H. **Mobile Home:** A manufactured home structure transportable in one (1) or more sections, which in the traveling mode is eight (8) body feet or more in width and forty (40) body feet or more in length or when erected on-site is three hundred twenty (320) square feet or more and which is built on a permanent chassis and designed to be used as a dwelling unit with or without a permanent foundation when connected to the required utilities, and includes the plumbing, heating, air conditioning and electrical systems that may be contained therein; except that such term shall include any structure that meets all the requirements of this definition except the size requirements and with respect to which the manufacturer voluntarily files a certification required by the Secretary (HUD) and complies with the standards established under this title. For manufactured homes built prior to June 15, 1976, a label certifying compliance to the standard for mobile homes, NFPA 501, in effect at the time of manufacture is required.
- I. **Mobile Home Park:** A lot, parcel or tract of land developed with facilities for accommodating two (2) or more mobile homes, provided each mobile home contains a kitchen, flush toilet and shower or bath; and such park shall be for use only by nontransient dwellers remaining continuously for more than one (1) month, whether a charge is made. It shall not include a sales lot in which automobiles or unoccupied mobile homes or other trailers are parked for the purpose of inspection or sale, except mobile homes located on a site in the mobile home park which are occupied or vacant for not more than ninety (90) days after occupancy may be sold or offered for sale.

- J. **Modular Construction:** A structure not built on-site, but which is placed on a permanent foundation and meets building code requirements.
- K. **Motel:** A building or group of buildings on the same lot containing guest units consisting of individual sleeping quarters, detached or in connecting rows, with or without cooking facilities, for short-term rental, in which each guest unit is accessed through the building's exterior rather than through a common lobby.
- L. **Motor Freight Terminal:** A building in which freight, brought to said building by motor truck, is assembled and sorted for routing in intrastate and interstate shipment by motor truck.
- M. **Motor Vehicle:** A passenger automobile/vehicle, truck, truck trailer, trailer or semitrailer propelled or drawn by mechanical power.

### 10-2-14. "N" Definitions

- A. **Native Species:** A plant or animal species that originates from the ecosystems of northeast Illinois. Non-invasive species of ornamental plants shall be included within the definition for the purposes of this UDO.
- B. **Newspaper Publishing:** An establishment in which the principal business consists of duplicating and printing services of newspapers using photocopy, blueprint, or offset printing equipment, including publishing, binding, and engraving.
- C. **Nonconforming Use:** Any building, structure or land lawfully occupied by use or lawfully established which does not conform to the current regulations of the zoning ordinance.
- D. **No-Impact Antenna and Towers:** A tower or antenna which is either: a) virtually invisible to the casual observer, such as an antenna behind louvers on a building, or inside a steeple or similar structure, or b) camouflaged so as to blend in with its surroundings to such an extent that it is no more obtrusive to the casual observer than the structure on which it is: 1) placed, such as a rooftop, lighting standard, or existing tower, or 2) replacing, such as a school athletic field light standard.
- E. **Noxious Matter:** Material which is capable of causing injury to living organisms by chemical reaction or is capable of causing detrimental effects upon the physical, social or economic well-being of human beings.
- F. **Nursery/Greenhouse:** Retail business whose principal activity is the selling of plants and having outdoor storage, growing and/or display of plants.

### 10-2-15. "O" Definitions

- A. **Odorous Matter:** Any material that produces an olfactory response among human beings.
- B. **Office:** A place, such as a building, room, or suite, in which services, clerical work, professional duties or the like are carried out.
- C. **Open Space:** Ground area of a lot, landscaping and recreational facilities may qualify as open space provided that it is an area unobstructed from the ground to the sky and which:
  1. Is not devoted to public or private roadways or driveways and off-street parking and loading;
  2. Is accessible and available only to occupants of dwelling units on the premises, except balconies;
  3. Is not covered by buildings, except not more than five (5) percent of the required open space may be recreational facilities enclosed within a building for the use of occupants of the dwelling units on the premises;
  4. Has not less than ten (10) feet its narrowest dimension between either a lot line and an area not qualifying as usable open space; and
  5. Is developed, landscaped, and maintained suitable for pedestrian, recreational and leisure use.

- D. **Outdoor Displays:** Areas where the majority of items for sale to the general public are displayed outdoors, such as garden nurseries, vehicle and equipment sales lots, mobile home sales, play equipment sales and other similar uses.
- E. **Outdoor Music Venue:** A property where sound equipment is used to amplify sound that is not fully enclosed by permanent, solid walls or roof.
- F. **Outline Lighting:** An arrangement of incandescent lamps or electric discharge tubing that outlines or calls attention to certain features of a building or sign including but not limited to its shape not to include temporary holiday decor.

## 10-2-16. "P" Definitions

- A. **Parapet:** An architectural feature of a building where that portion of an exterior wall extends above the roof deck.
- B. **Parcel:** Shall refer broadly to a lot, tract, or any other piece of land.
- C. **Park:** An area open to the general public and reserved for recreational, educational, or scenic purposes.
- D. **Parking Area or Lot:** An open, hard-surfaced area, designed, arranged and made available for the storage of private passenger automobiles only of occupants of the building or buildings for which the parking area is developed and is accessory.
- E. **Parking Space:** Space within a public or private parking area designed in conformance with Section 10-5-1(E) of this title, exclusive of access drives, or aisles, ramps, columns or office and work areas, for the storage of one (1) passenger automobile or commercial vehicle under one and one-half (1½) tons' capacity.
- F. **Parking Structure:** An attached or detached structure that is fully or partially enclosed with one (1) or more levels and is used exclusively for the parking or storage of motor vehicles. This does not include private one-story garages for single-, two-, or multi-unit residential uses. Parking structures may either be above or below grade.
- G. **Parkway:** A strip of land situated within the dedicated street right-of-way, either located between the roadway and right-of-way line, or a median located between the roadways.
- H. **Pawnbroker/Pawnshop:** Any person who lends money on deposit or pledge of personal property, or deals in the purchase of personal property on condition of selling the same back at a stipulated price, or who publicly displays at his or her place of business the sign generally used by pawnbrokers to denote the pawnbroker's business, or who publicly displays a sign which indicates, in substance, a business on the premises which "loans money for personal property, or deposit or pledge". The business of a pawnbroker shall not include the lending of money on deposit or pledge of title to property.
- I. **Place of Worship/Assembly:** A building, together with its accessory buildings and uses, where persons regularly assemble for religious purposes and related social events and which building and accessory buildings and uses are maintained and controlled by a religious body organized to sustain religious ceremonies and purposes.
- J. **Plan Council:** The Plan Council of the City of Yorkville.
- K. **Planning and Zoning Commission:** The Planning and Zoning Commission of the City of Yorkville.
- L. **Plan, Concept:** A tentative map or drawing which indicates the subdivider's proposed layout of a subdivision, including a site plan indicating existing off-site roadway connections.
- M. **Plan, Final:** The final engineering plan, map or drawing, plus all accompanying information required by this title.
- N. **Plan, Preliminary:** The preliminary engineering plan, map, or drawing, plus all accompanying information required by this title.
- O. **Plat:** A subdivision as it is represented as a formal document by drawing and writing.

- P. **Plat, Final:** The final map drawing or chart, on which the subdivider's layout of a subdivision is presented to the City Council for approval, and which, if approved, will be submitted to the County Recorder for recording.
- Q. **Plat, Preliminary:** A tentative map or drawing, which indicates the subdivider's proposed layout of a subdivision, including all proposed improvements.
- R. **Playground:** An area open to the public for recreational use primarily for children.
- S. **Police Station:** Protection centers operated by a governmental agency, including administrative offices, storage of equipment, temporary detention facilities, and the open or enclosed parking of patrol vehicles, excluding correctional institutions.
- T. **Porch:** A roofed over structure, projecting out from the wall or walls of a main structure and commonly open to the weather in part.
- U. **Portable Outdoor Storage Device:** Any item designed and used as follows: a container which is delivered to a property, which is filled with household items or other nontrash materials, and which the container and its contents are subsequently transported to another location.
- V. **Post Office:** A facility that contains service windows for mailing packages and letters, post office boxes, offices, vehicle storage areas, and sorting and distribution facilities for mail.
- W. **Preexisting Towers or Antennas:** Existing towers and existing antennas which predated this title, shall not be required to meet the requirements of this chapter other than the requirements of Section 10-4-14(A)(2)(f), (A)(2)(h), and (A)(2)(r) of this chapter. All preexisting towers and antennas shall be subject to the tower and antenna administrative fee.
- X. **Prepared Food Service Establishment:** An establishment that makes prepared food available for sale to the general public for immediate consumption on or off the premises.
- Y. **Preschool:** A school for children primarily between the ages of three (3) and five (5), providing preparation for elementary school.
- Z. **Principal Use:** The main use of land or buildings as distinguished from a subordinate or accessory use.
- AA. **Professional Care Services:** Establishments which provide individual services on a frequent or recurrent basis to the consumer at the site of the business. The term shall include, but shall not be limited to, beauty salons, hair salons, microblading, nail salons, and similar establishments.
- BB. **Professional Services/Offices:** A business which is engaged in the processing, manipulation, or application of business information or professional expertise. The use shall include but not be limited to professional offices for nonprofit organizations, accounting, insurance, investment services, computer services, architecture, engineering, legal services, real estate services.
- CC. **Public Open Space:** Any publicly owned open area, including, but not limited to, the following: parks, playgrounds, forest preserves, beaches, waterways, parkways and streets.
- DD. **Storage, Indoor Single-Building Climate Controlled:** A facility consisting of a single building where individual self-contained units are leased or rented to the general public for dead storage and where the individual storage units are accessed from the interior of the building.
- EE. **Storage, Outdoor Self-Storage:** A facility consisting of a building or group of buildings in which individual self-contained units are leased or rented to the general public for storage and where the individual storage units are accessed from the exterior of the building.
- FF. **Public Utility:** Any person, firm, corporation or municipal department duly authorized to furnish, under public regulation, to the public, electricity, gas, steam, telephone, sewers, transportation or water.

GG. **Public Utility Facility (other):** A public utility as defined in this UDO engaged activities other than electric substations or distribution centers, gas regulation centers, and underground gas holder stations.

## 10-2-17. "Q" Definitions

RESERVE

## 10-2-18. "R" Definitions

- A. **Railroad Passenger Station:** A facility for the boarding of passengers and related ticketing sales and offices.
- B. **Railroad Repair Shop, Maintenance Building, and Switching Yard:** The use of land, buildings and structures for equipment and supplies related to the repair of rail railroad facilities or an area used for the storing and switching of freight and passenger rolling stock.
- C. **Railroad Right-of-Way:** A strip of land with tracks and auxiliary facilities for track operation, but not including depot loading platforms, stations, train sheds, warehouses, car shops, car yards, locomotive shops, water towers, etc.
- D. **Radio and Television Towers, Commercial:** Any structure that is designed and constructed primarily for the purpose of supporting one (1) or more antennas for commercial radio or television purposes, including self-supporting lattice towers, guyed towers, or monopole towers. The term includes the structure and any support thereto.
- E. **Recreation Center:** A building or structure used as a place of recreation, generally open to the public and designed to accommodate and serve significant segments of the community.
- F. **Recreational Camp, Private:** An establishment consisting of permanent buildings used periodically by an association of persons where seasonal accommodations for recreational purposes are provided only to the members of such association and not to anyone who may apply.
- G. **Recreational Vehicle Sales and Service:** An establishment engaged in the sale of recreational vehicles, including motorhomes and pickup campers, travel trailers, tent trailers, and similar vehicles that are designed and constructed for permit sleeping or housekeeping in an outdoor or an showroom enclosed in a primary building.
- H. **Recreational Vehicle, Trailer, and Boat Parking:** A site intended for the semi-permanent parking of recreational vehicles, trailers, or boats.
- I. **Refrigerated Warehouse (Cold Storage):** A facility which is artificially or mechanically cooled in order to maintain the integrity and quality of perishable goods.
- J. **Refuse:** All waste products resulting from human habitation, except sewage.
- K. **Research Laboratory:** A building or group of buildings in which are located facilities for scientific research, investigation, testing or experimentation, but not facilities for the manufacture or sale of products, except as incidental to the main purpose of the laboratory.
- L. **Restaurant:** An establishment whose food is available to the general public typically for consumption on the premises. The term may include fast food restaurants in which food is available through drive-throughs as defined in this UDO, has a limited menu of items consisting of prepackaged or quickly prepared items; where food is ordered and picked up at a counter with no table service provided; where food is served in a limited dine-in area; or which is usually part of a chain or franchise establishment. The term may also include fast casual dining with one or more of the following characteristics; a limited menu items are made to order and are prepared only upon request; food is either ordered and picked up at a counter or served at the patron's table in a limited dine in area; and is usually part of a chain or franchise establishment.
- M. **Residence:** The act or condition of residing or dwelling in a place.
- N. **Retail Store:** A building or portion of a building providing area for the selling of new or used goods, wares, and merchandise directly to the consumer for whom the goods are furnished.

- O. **Riding Academies With Stables:** An establishment including associated stables where horses are boarded and cared for, and where instruction in riding, jumping, and showing is offered, and where horses may be hired for riding.
- P. **Right-of-Way:** A strip of land occupied or intended to be occupied by a road, crosswalk, railroad, electric transmission line, oil or gas pipeline, water main, sanitary or storm sewer main, or for another special use. The usage of the term "right-of-way" for land platting purposes in the United City of Yorkville shall mean that every right-of-way hereafter established and shown on a final recorded plat is to be separate and distinct from the lots or parcels adjoining such right-of-way, and not included within the dimensions or areas of such lots or parcels. Rights-of-way intended for roads, crosswalks, water mains, sanitary sewers, storm drains, or any other use involving maintenance by a public agency shall be dedicated to public use by the maker of the plat on which such right-of-way is established.
- Q. **Riding Academy:** An establishment where horses are boarded and cared for, and where instruction in riding, jumping, and showing is offered, and where horses may be hired for riding.
- R. **Roadside Stand:** A temporary structure which is used solely for the display or sale of farm produce and related materials. No roadside stand shall be more than three hundred (300) square feet in ground area and there shall be no more than one (1) roadside stand on any one (1) premises.
- S. **Roadway:** That portion of a street which is used or intended to be used for the travel of motor vehicles.

### 10-2-19. "S" Definitions

- A. **Salvage Yard.** Any location whose primary use is where waste or scrap materials are stored, bought, sold, accumulated, exchanged, packaged, disassembled, or handled, including but not limited to materials such as scrap metals, paper, rags, tires, and bottles.
- B. **Sanitary Landfill:** A lot or part thereof used primarily for the disposal by abandonment, dumping, burial, burning, or other means and for whatever purpose, of garbage, sewage, trash, refuse, junk, discarded machinery, vehicles, or parts thereof, or nontoxic waste material of any kind.
- C. **School, Public or Private:** Elementary, high school or college, public or private, or nonprofit junior college, college or university, other than trade, commercial and business schools, including instructional and recreational uses, with or without living quarters, dining rooms, restaurants, heating plants and other incidental facilities for students, teachers and employees. These schools typically contain an auditorium, gymnasium, cafeteria, or other recreational facilities.
- C. **Senior Housing, Dependent:** A building or collection of buildings, of any building type, containing dwelling units for senior adults or persons with disabilities. Dependent senior housing includes on-site support services and amenities assisted by staff. The daily amenities and services provided in dependent senior housing include meals, day care, personal care, medical support, nursing or therapy, and any service to the senior adult or disabled population of the community that is an ancillary part of one of these operations. Support services may be located either in the same structure as the dwelling units or in a structure physically separated from the dependent living dwelling units.
- D. **Senior Housing, Independent:** A building or collection of buildings, of any building type, containing dwelling units for senior adults or persons with disabilities. Independent senior housing may include on-site support services such as meal preparation and service, day care, nursing or therapy, or any service to the senior adult or disabled population of the community that is an ancillary part of one of these operations. Support services may be located either in the same structure as the dwelling units or in a structure physically separated from the independent living dwelling units.
- E. **Semi-Truck:** A tractor unit which is used to tow or move semi-trailers. A semi-truck typically has two (2) or three (3) axles and is built for hauling large amounts of products, goods, and heavy machinery.
- F. **Semi-Truck Repair:** Engine rebuilding or major reconditioning of worn or damaged semi-trucks; collision service, including body, frame or fender straightening or repair and painting including incidentals repairs, replacement of parts and motor service to semi-trucks.

- G. **Service Drive:** A public street, generally paralleling and contiguous to a main traveled way, primarily designed to promote safety by eliminating promiscuous ingress and egress to the right-of-way, and providing safe and orderly points of access at fairly uniformly spaced intervals.
- H. **Setback:** The minimum distance maintained between a street right-of-way and the nearest supporting member of any structure on the lot, except where otherwise regulated in this title.
- I. **Setback, Established:** When forty (40) percent or more of the lots fronting on one (1) side of a street within a block are improved, the average of all the existing front setbacks of such improved lots shall be the "established setback" for determining the depth of the minimum required front setbacks for the remainder of the lots along such street frontage, as regulated in this title.
- J. **Setback Line, Building:** See definition of building setback line.
- K. **Sewage Disposal System, Central:** A system of sanitary sewers, serving ten (10) or more lots that discharge either into an interceptor sewer or an approved sewage treatment plant.
- L. **Sewage Disposal System, Individual:** A sewage disposal system, or any other sewage treatment device approved by the Kendall County Department of Public Health, and servicing only one (1) lot.
- M. **Sewage Treatment Plant:** A facility which operates a sewerage system and sewage treatment facilities that collect, treat, and disposal of human waste.
- N. **Shooting Gallery/Gun Range, Indoor:** An enclosed facility, public or private, specifically for the purpose of providing a place in which to discharge various types of firearms, shoot air guns and/or archery equipment at designated targets and designed to contain all projectiles fired within the confines of the building. Auxiliary training and instructional classroom facilities may also be provided, as well as ancillary retail sales of firearms, ammunition, and associated products upon proof of applicable local, state, and federal licensure.
- O. **Short-Term Rental:** A home occupation of a single-unit dwelling that is used as a primary residence by owners or renters, or a portion of such a dwelling unit that is rented for less than thirty (30) days at a time to transients and temporary guests.
- P. **Sidewalk:** That portion of street or crosswalk way, paved or otherwise surfaced, intended for pedestrian use only.
- Q. **Sign:** Any identification, illustration, means of communication, or device, illuminated or non-illuminated, that is visible from any public place or is located on private property and exposed to the public and that is intended to direct attention, advertise, announce, communicate, declare, demonstrate, or display a particular use, product, service, idea, interest, or message.
- R. **Sign Area.** Sign area shall apply to single-tenant monument signs, multi-tenant monument signs, on-site traffic directional signs, a-frame/sandwich board signs, and/or yard signs only. Sign area shall be computed by means of the smallest square, rectangle, circle, triangle or combination thereof that shall encompass the extreme limits of the sign copy area and the sign base area. Sign area shall not include any supporting framework, bracing, decorative fence, or wall when such fence or wall otherwise meets UDO regulations and is clearly incidental to the display itself. A double faced sign shall count as a single sign. Sign area for wall signs on buildings with multiple exterior walls shall be calculated as provided in Section 10-6-3(B).
- S. **Sign, Awning/Canopy:** A sign wholly supported by a canopy projecting from a building or an extended roof or pitched roof and which does not extend above the mean height level of the roof of the building.
- T. **Sign, A-Frame/Sandwich Board:** An advertising or business ground sign constructed in such a manner as to form an "A" or a tent-like shape, hinged or not hinged at the top; each angular face held at an appropriate distance by a supporting member.
- U. **Sign, Cold Air Inflatable:** A sign designed to be airborne and tethered to the ground, a vehicle or any other structure and shall include balloons and any other inflatable advertising device.

- V. **Sign, Feather:** A flexible or rigid pole to which one side of a flexible fabric, generally in the shape of a feather or similar shape, is attached, and which upon which temporary sign copy is displayed. Such banners are also known and sold under names which include, but are not limited to, "quill sign," "banana banner," "blade banner," "flutter banner," "flutter flag," "bowflag," "teardrop banners," and others. The definition includes functionally similar display devices.
- W. **Sign, Banner:** A temporary advertising sign which is not attached to a permanently mounted backing. Banner signs may be ground-mounted or wall-mounted.
- X. **Sign, Billboard:** Any sign advertising a land use, business, product or service, not located or available upon the premises whereon the sign is located.
- Y. **Sign, Feather:** A flexible or rigid pole to which one side of a flexible fabric, generally in the shape of a feather or similar shape, is attached, and which upon which temporary sign copy is displayed. Such banners are also known and sold under names which include, but are not limited to, "quill sign," "banana banner," "blade banner," "flutter banner," "flutter flag," "bowflag," "teardrop banners," and others. The definition includes functionally similar display devices.
- Z. **Sign, Monument:** A freestanding sign in which the entire bottom is in contact with or close to the ground.
- AA. **Sign, On-Site Traffic Directional:** A sign on a lot that directs the movement or placement of pedestrian or vehicular traffic with or without reference to, or inclusion of, the name of a product sold or service performed on the lot or in a building, structure or business enterprise occupying the same.
- BB. **Sign, Post:** A temporary sign, the face of which is affixed to a post installed on the ground.
- CC. **Sign, Projecting:** A sign that projects perpendicular from a building more than twelve (12) inches from the building's supporting wall.
- DD. **Sign, Roof:** A sign which is affixed to a roof, extended roof, pitched roof or canopy and which extends above the mean height of the roof.
- EE. **Sign, Wall:** A sign affixed to a building wall which does not project horizontally more than twelve (12) inches from the wall nor extend above the height of the wall.
- FF. **Sign, Window:** A sign which is applied or attached to the exterior of a window, or applied to, attached to, or located within one (1) foot of the interior of a window, which can be seen through the window from the exterior of the structure.
- GG. **Sign, Yard:** A temporary portable sign constructed of paper, vinyl, plastic, wood, metal or other comparable material, and designed or intended to be displayed for a short period of time.
- HH. **Skating Rink:** An establishment that provides facilities for participant skating.
- II. **Small Wireless Facility:** A wireless facility that meets both of the following qualifications: a) each antenna is located inside an enclosure of no more than six (6) cubic feet in volume or, in the case of an antenna that has exposed elements, the antenna and all of its exposed elements could fit within an imaginary enclosure of no more than six (6) cubic feet; and b) all other wireless equipment attached directly to a utility pole associated with the facility is cumulatively no more than twenty-five (25) cubic feet in volume. The following types of associated ancillary equipment are not included in the calculation of equipment volume: electric meter, concealment elements, telecommunications demarcation box, ground-based enclosures, grounding equipment, power transfer switch, cut-off switch, and vertical cable runs for the connection of power and other services. Small wireless facilities are permitted uses if they are collocated in right-of-way in any zoning district or outside rights-of-way in property zoned exclusively for commercial or industrial use.
- JJ. **Smoke:** Small gas borne particles other than water that form a visible plume in the air.
- KK. **Solar Farm:** An installation that includes a large number of solar panels arranged contiguously on a parcel for the collection of solar energy and intended for the sale and distribution of electricity to customers located off-site.

- LL. **Solid Waste Disposal Site:** A facility for the purpose of treating, compacting, composting, storing, or disposing of solid waste.
- MM. **Stable/Paddocks:** A building and grounds which are designed, arranged, used or intended to be used for the storage, boarding or breeding of horses, including accessory uses which may include riding and horsemanship instructions and the hire of riding horses.
- NN. **Stacking Requirements:** The specified number of cars that must be accommodated in a reservoir space while awaiting ingress or egress to specified business or service establishments.
- OO. **Stadium:** Any facility, building, corral, arena, or structure of any kind designed for use as either a sports facility (including animal sports, i.e., rodeos, horseraces, etc.), entertainment facility, whether for profit or not, where activities are to be undertaken generally for the entertainment of others. Said description includes ball fields, when any type of structure is involved, skating rinks, racetracks, football or soccer fields, softball fields, gymnasiums, swimming facilities, music halls, theaters, stages or any other type of field or facility.
- PP. **Storage of Roadway Construction Materials and Equipment:** A facility that stores any equipment which is used in connection with the construction, alteration, excavation or repair of a building or of real property, including, but not limited to front loaders, trailers, cranes, plows, bulldozers and other similar equipment.
- QQ. **Story:** That portion of a building included between the surface of any floor and the surface of the floor above it, or if there is no floor above, then the space between the floor and ceiling next above it. Any portion of a story exceeding fourteen (14) feet in height shall be considered as an additional story for each fourteen (14) feet or fraction thereof.
- RR. **Story, Half:** That portion of a building under a gable, hip or mansard roof, the wall plates of which on at least two (2) opposite exterior walls are not more than four and one-half (4½) feet above the finished floor of each story. In the case of single-unit dwellings, duplex dwellings and multi-unit dwellings less than three (3) stories in height, a half story in a sloping roof shall not be counted as a story for the purpose of this title. In the case of multi-unit dwellings three (3) or more stories in height, a half story shall be counted as a story.
- SS. **Street:** A public or private right-of-way which affords a primary means of access to abutting properties, whether designated as a street, avenue, highway, road, boulevard, lane, throughway, or however otherwise designated, but excepting driveways to buildings.
- TT. **Street, Collector:** A street that collects and distributes traffic, primarily within residential areas. This street carries between two thousand five hundred (2,500) and twelve thousand (12,000) ADT.
- UU. **Street, Estate Residential:** A street of limited continuity, used for access to abutting rural residential properties and local needs of a neighborhood. This street carries less than one thousand (1,000) ADT.
- VV. **Street or Alley Line:** A line separating an abutting lot, piece or parcel from a street. The street line shall be the back of the curb where curbing exists or the edge of the street pavement if no curb is present.
- WW. **Street, Local Residential:** A street of limited continuity, used primarily for access to abutting rural residential properties and local needs of a neighborhood. This street carries less than one thousand (1,000) ADT.
- XX. **Street, Major Collector:** A street that serves as a main traffic thoroughfare, both within and outside of the City, carrying heavy volumes of traffic. This street carries more than two thousand five hundred (2,500) ADT.
- YY. **Street, Minor Collector:** A street that collects and distributes traffic within intensively developed areas, and is used primarily for internal trips within the planning area. This street carries between one thousand (1,000) and two thousand five hundred (2,500) ADT.
- ZZ. **Street Width:** The shortest distance between the backs of the curb or edge of pavement of a roadway.

- AAA. **Structural Alterations:** Any change other than incidental repairs which would prolong the life of the supporting members of a building or structure such as bearing walls, columns, beams and girders.
- BBB. **Structure:** Anything constructed or erected which requires at least semi-permanent location on the ground or is attached to something having location on the ground.
- CCC. **Subdivider:** Any person or corporation or duly authorized agent who undertakes the "subdivision" or "development" of land as defined herein. Also referred to as developer.
- DDD. **Subdivision:** A described tract of land which is to be or has been divided into two (2) or more lots or parcels. The term subdivision includes resubdivision and, where it is appropriate to the context, relates to the process of subdividing or to the land subdivided.
- EEE. **Swimming Pool, Indoor:** A structure, whether designed to hold water more than thirty (30) inches deep to be used for recreational purposes and entirely enclosed within a building.

## 10-2-20. "T" Definitions

- A. **Tattoo and Body Piercing Establishments:** Any establishment which performs or provides services for tattooing and/or body piercing as defined in title 3, Chapter 10 of this Code.
- B. **Tavern – Nightclub or Lounge:** A building where liquors are sold to be consumed on the premises, but not including restaurants where the principal business is serving food.
- C. **Tent:** A structure, enclosure, or shelter constructed of fabric or other pliable material supported by any manner except by air or the contents protected by the material. The horizontal area covered by the fabric or other pliable material shall be considered building floor area. Tents shall be considered detached accessory structures.
- D. **Temporary and Seasonal Uses.** A use intended for a limited duration on a site as allowed through the temporary use permit process in Section 10-8-3 (F) or a use which is associated with a holiday or special event, or which is accessory to a permitted use and transitory in nature
- E. **Temporary Use Permit.** A permit for a Temporary Use designated in this UDO which is to be established for a fixed period of time, with the intent to discontinue such use upon the expiration of that timeframe.
- F. **Terrace, Open:** A level and rather narrow plane or platform which, for the purpose of this title, is located adjacent to one (1) or more faces of the principal structure and which is constructed not more than four feet (4') in height above the average level of the adjoining ground.
- G. **Theater, Live Performance:** A building used for dramatic, operatic, music, or other live performance purposes for which attendees are charged admission an admission fee to view.
- H. **Theater, Motion Picture:** A building used for the display of motion pictures for which attendees are charged an admission fee to view.
- I. **Title:** Reference to "title" herein shall be construed to be the Yorkville Unified Development Ordinance.
- J. **Tower:** Any structure that is designed and constructed primarily for the purpose of supporting one (1) or more antennas for telephone, radio and similar communications purposes, including self-supporting lattice towers, guyed towers, or monopole towers. The term includes radio and television transmission towers, microwave towers, common carrier towers, cellular telephone towers, alternative tower structures, and the like. The term includes the structure and any support thereto.
- K. **Trailer:** A vehicle without motive power, designed to be towed by another vehicle but not designed for human occupancy and which may include a utility trailer, boat trailer, camping trailer, travel trailer, horse trailer or cargo trailer.

- L. **Treatment Center:** One (1) or more buildings designed and used for the medical and surgical diagnosis and treatment. This definition excludes hospitals and nursing homes.
- M. **Tree Root Zone:** Area of the ground around the base of the tree measured from the trunk to five (5) feet beyond the outer base of the branching system.
- N. **Truck and Trailer Sales/Rental:** Leasing or renting of trucks and trailers, including incidental parking and servicing of vehicles for rent or lease.
- O. **Truck, Truck-Tractor, Truck Trailer, Car Trailer or Bus Storage Yard:** A site intended for the semi-permanent storage of trucks, truck-tractors, truck trailers, car trailers, buses, and other similar vehicles. motor freight terminals shall not be included.
- P. **Turnaround:** An area at the closed end of a street or parking lot, within which vehicles may reverse their direction.

### 10-2-21. “U” Definitions

- A. **Underground Dog Fences:** A fence constructed beneath the site’s natural grade constructed solely to prevent household pets from leaving the property.
- B. **Unified Development Ordinance, City of Yorkville:** The Unified Development Ordinance of the City of Yorkville as established in this title including the Zoning District Map as amended.
- C. **Use:** The purpose for which land or a building thereon is designed, arranged or intended, or for which it is occupied or maintained, let or leased.
- D. **Use, Lawful:** The use of any building, structure or land that conforms with all of the regulations of this title and which conforms with all of the codes, ordinances and other legal requirements as existing when the structure or land is being examined.
- E. **Use, Nonconforming:** See definition of *Nonconforming use*.
- F. **Use, Permitted:** Any use which is or may be lawfully established in a particular district or districts, provided it conforms with all requirements, regulations, and when applicable, performance standards of this title for the district in which such use is located.
- G. **Use, Principal:** The dominant use of land or buildings as distinguished from a subordinate or accessory use.
- H. **Use, Special:** A use that has unusual operational, physical or other characteristics that may be different from those of the predominant permitted uses in a district, but which is a use that complements and is otherwise, or can be made, compatible with the intended overall development within a district. Compliance with special standards not necessarily applicable to other permitted or conditional uses in the district shall be required as regulated in this title.

### 10-2-22. “V” Definitions

- A. **Vacant Land:** A lot or parcel of land on which no improvements or structures have been constructed or actively used for any land use purpose.
- B. **Variation:** A limited relief from the requirements of this title granted to a particular property in an instance in which the strict application of the requirements would create a practical difficulty or particular hardship prohibiting the use of the property in a manner otherwise allowed under this title. Such limited relief shall not change the underlying zoning of the subject property.
- C. **Vehicle Charging Station:** A permitted accessory use serving another principal use that is located in a parking structure or parking lot and used for the charging of electric motor vehicles. The vehicle charging station shall not result in the reduction of parking spaces to less than what is required to serve the principal use.

- D. **Veterinary Clinic:** An establishment for the care and treatment of the diseases and injuries of animals and where animals may be boarded only during their convalescence.

**10-2-23. “W” Definitions**

- A. **Wholesaling and Warehousing:** A structure, part thereof, or an area used principally for the storage of goods and merchandise for wholesale or distribution, excluding bulk storage of materials that are inflammable or explosive or that present hazards.
- B. **Wetlands:** As defined by the Illinois Department of Natural Resources.
- C. **Wind Farm:** An installation including a cluster of wind turbines on one parcel for the collection of wind energy and sale of electricity to customers located off-site.

**10-2-24. "X" Definitions**

RESERVE

**10-2-25. “Y” Definitions**

- A. **Yard:** An open area on a lot which is unobstructed from its lowest level to the sky, except as otherwise provided in this title.
- B. **Yard, Corner Side:** A yard adjoining a street line which is bounded by the front lot line and rear lot line, and is opposite the interior side yard.
- C. **Yard, Front:** A yard extending along the full width of a front lot line between the side lot lines and has a depth between the front lot line and the front yard line.
- D. **Yard, Interior Side:** A side yard which adjoins another lot or an alley separating such side yard from another lot.
- E. **Yard Line:** A line in a lot that is parallel to the lot line along which the applicable yard extends and which is not nearer to such lot line at any point than the required depth or width of the applicable yard. A building, structure or other obstruction shall not encroach into the area between the "yard line" and such adjacent lot line, except for such permitted obstructions in yards as are set forth in Section 10-3-11 of this chapter.
- F. **Yard, Rear:** A yard extending along the width of the rear lot line between the side lot lines, and from the rear lot line to the rear yard line in depth.
- G. **Yard, Side:** A yard extending along the length of a side lot line between the rear yard line and front yard line, from the side yard line to the side lot line in width.

**10-2-26. “Z” Definitions**

- A. **Zone:** A "district", as defined in this section.
- B. **Zoning Administrator:** The designated City of Yorkville staff person(s) in the Community Development Department designated to undertake the administration and interpretation of this UDO, including but not limited to the Community Development Director.
- C. **Zoning Officer:** The Building Code Official shall be the Zoning Officer and be responsible for enforcing this Title, including the responsibilities defined in Section 10-8-1(B).

## Chapter 3. District Standards

10-3-1. Establishment of District .....	1
10-3-2. District Map and Boundaries .....	2
10-3-3. Zoning of Streets, Alleys, Public Ways, Waterways, and Railroad Rights-of-Way .....	2
10-3-4. Zoning of Annexed Land .....	2
10-3-5. Purpose of Residential Districts.....	3
10-3-6. Purpose of Business and Manufacturing Districts .....	4
10-3-7. Purpose of Open Space and Institutional Districts .....	5
10-3-8. Overlay Districts .....	5
10-3-9. Bulk and Dimensional Standards .....	6
10-3-10. Calculating Bulk and Dimensional Standards.....	7
10-3-11. Permitted Yard Setback Obstructions .....	10
10-3-12. Permitted and Special Uses .....	11

### 10-3-1. Establishment of District

A. For the purpose and provisions of this title, Yorkville is organized into thirteen (13) base districts and one (1) overlay district.

**B. Residential Districts.**

1. R-1 Single-Unit Suburban Residence District
2. R-2 Single-Unit Traditional Residence District
3. R-2D Duplex, Two-Unit Attached Residence District
4. R-3 Multi-Unit Attached Residence District
5. R-4 General Multi-Unit Residence District

**C. Business and Manufacturing Districts.**

1. B-1 Local Business District
2. B-2 Mixed Use District
3. B-3 General Business District
4. M-1 Limited Manufacturing District
5. M-2 General Manufacturing District

**D. Institutional and Open Space Districts.**

1. PI Public Institutional District
2. A-1 Agricultural District
3. OS Open Space District

**E. Overlay Districts.**

1. D-O Downtown Overlay District

**10-3-2. District Map and Boundaries**

- A. **Zoning Map.** The boundaries of the zoning districts designated in Section 10-3-1 of this chapter are hereby established as shown on the latest edition of the map entitled "Zoning Map: The United City Of Yorkville", which said map shall have the same force and effect as if the zoning map, together with all notations, references and other information shown on the zoning map, were fully set forth and described in this title.
- B. **District Boundaries.** When uncertainty exists with respect to the boundaries of the various districts shown on the zoning map, the following rules shall apply:
1. District boundary lines are either the centerlines of railroads, highways, streets, alleys or easements or the boundary lines of sections, quarter sections, divisions of sections, tracts or lots, or such lines extended or otherwise indicated.
  2. In areas not subdivided into lots and blocks, wherever a district is indicated as a strip adjacent to and paralleling a street or highway, the depth of such strips shall be in accordance with the dimensions shown on the map measured at right angles from the centerline of the street or highway, and the length of frontage shall be in accordance with dimensions shown on the map from section, quarter sections or division lines, or centerlines of streets, highways or railroad rights of way unless otherwise indicated.
  3. Where a lot held under single ownership and of record on the effective date hereof is divided by a district boundary line, the entire lot shall be construed to be within the less restricted district; provided, that this construction shall not apply if it increases the lot width of the lot by more than twenty-five (25) feet.

**10-3-3. Zoning of Streets, Alleys, Public Ways, Waterways, and Railroad Rights-of-Way**

All streets, alleys, public ways, waterways, and railroad rights-of-way, if not otherwise specifically designated, shall be deemed to be in the same zone as the property immediately abutting upon such alleys, streets, public ways, or waterways and railroad rights-of-way. Where the centerline of a street, alley, public way, waterway, or railroad right-of-way serves as a district boundary, the zoning of such areas, unless otherwise specifically designated, shall be deemed to be the same as that of the abutting property up to such centerline.

**10-3-4. Zoning of Annexed Land**

Any territory or land annexed to the city after the adoption of this title shall automatically, upon such annexation, be classified within the R-1 Single-Unit Suburban Residential District and be subject to all conditions and regulations applicable to land in such district until such land is subsequently rezoned.

### 10-3-5. Purpose of Residential Districts

- A. **General Purpose of Residential Districts.** Residential zoning districts are established, designed, and intended to provide a comfortable, healthy, safe, and pleasant environment in which to live and shall:
1. Provide appropriately located areas for residential development that are consistent with the Comprehensive Plan, as amended; and
  2. Ensure adequate light, air, privacy, and open space for residents; and
  3. Provide for a variety of neighborhoods with a range of housing types with varying characters and patterns of development; and
  4. Protect neighborhoods from the harmful effects of excessive noise, traffic congestion, and other potential adverse impacts; and
  5. Provide amenities while protecting residents from incompatible uses and activities.
- B. **R-1 Single-Unit Suburban Residence District.** The R-1, single-unit suburban residence zoning designation is intended to create a spacious suburban residential neighborhood. To protect the character of the district, permitted uses are limited to single-unit detached housing yet accommodate other compatible and complementary cultural, religious, educational, and public uses.
- C. **R-2 Single-Unit Traditional Residence District.** The R-2, single-unit traditional residence zoning designation is intended to accommodate smaller, more conventional suburban residential neighborhoods. The primary permitted uses are single-unit detached housing in addition to compatible and complementary cultural, religious, educational, and public uses.
- D. **R-2D Duplex, Two-Unit Attached Residence District.** The R-2D, duplex, two-unit attached residence zoning designation is intended for moderate density duplex dwelling structures. This district is primarily located off of a major thoroughfare or as a transitional land use adjacent to single-unit residences. Therefore, the R-2D, duplex district is intended to accommodate single-unit attached dwelling structures of a size and character that are compatible with the surrounding single-unit detached residential districts and adjacent to commercial, office and retail space.
- E. **R-3 Multi-Unit Attached Residence District.** The R-3, multi-unit attached residence zoning designation is intended for moderate density residential developments near commercial areas and transportation corridors, and to promote economically mixed housing developments and the provision of a range housing types including multi-unit buildings such as duplexes or townhomes.
- F. **R-4 General Multi-Unit Residence District.** The R-4, general multi-unit residence zoning designation is intended for moderate to high density multi-unit buildings and complexes. This district may accommodate other compatible and complementary cultural, religious, educational, and public uses.

### 10-3-6. Purpose of Business and Manufacturing Districts

- A. **General Purpose of Business and Manufacturing Districts.** Business and Manufacturing Districts are established, designed, and intended to provide a comfortable, healthy, safe, and pleasant environment in which to work, shop, dine, recreate, and shall:
1. Accommodate retail, commercial, service, and mixed uses needed by Yorkville residents, businesses, visitors, and workers; and
  2. Maintain and enhance the City's economic base and provide employment opportunities, shopping, entertainment, restaurant, service and other nonresidential uses close to where people live and work; and
  3. Create suitable environments for various types of business and manufacturing uses and protect them from the adverse effects of incompatible uses; and
  4. Allow flexibility to encourage redevelopment and positive improvements to existing uses; and
  5. Help ensure that the appearance and operational impacts of business and manufacturing developments do not adversely affect the character of the areas in which they are located.
- B. **B-1 Local Business District.** The B-1, local business district zoning designation is intended for the location of commercial and professional facilities that are especially useful in proximity to residential areas. The district is designed to provide convenient shopping and services that meet the needs and enhance the quality of life for surrounding residential neighborhoods. This district also encourages dwelling units located above the first floor of a permitted use to create mixed use buildings.
- C. **B-2 Mixed-Use Business District.** The B-2, mixed-use business zoning designation is intended to accommodate pedestrian oriented mixed-use corridors and districts with a range of business, service, office, and residential uses including the Downtown.
- D. **B-3 General Business District.** The B-3, general business district zoning designation is intended for the location of a broad range of commercial uses, including small-scale and large-scale businesses. These uses are usually oriented toward automobile access and visibility; therefore, they are typically set along major arterial roads. The businesses in this district are meant to serve regional as well as local customers. This district also encourages dwelling units located above the first floor of a permitted use to create mixed use buildings.
- E. **M-1 Limited Manufacturing District.** The M-1 limited manufacturing district zoning designation is intended to provide for the location of a broad range of warehousing, manufacturing, and industrial uses of minimal environmental impact. The intensity and impact of uses shall be controlled through the special use permitting process to ensure compatibility with adjacent land uses through the minimization of off-site impacts. Related uses such as indoor event or recreation conversions or employee supporting educational, service or limited commercial uses may also be appropriate.
- F. **M-2 General Manufacturing District.** The M-2 general manufacturing district zoning designation is intended to provide for the location of manufacturing, industrial, and related uses that have greater off-site impacts than those in the M-1 limited manufacturing district. The district is intended to ensure the compatibility of the manufacturing and industrial uses with surrounding residential and commercial uses and to minimize off-site impacts such as noise, traffic, and visual qualities.

### 10-3-7. Purpose of Open Space and Institutional Districts

- A. **A-1 Agricultural District.** The A-1, Agricultural district zoning designation is intended to accommodate areas where the conditions are best suited for agricultural pursuits or where essential community facilities or utilities do not yet or are not reasonably expected to serve the property.
- B. **OS Open Space District.** The OS, open space district designation is intended to govern the use of city owned green space and park land in the city of Yorkville. This zoning district shall apply to all existing and newly annexed land currently used or intended for use as open space, recreational areas, and parks identified in Yorkville's park and recreation master plan. These regulations are also intended to provide for the protection, conservation and utilization of high quality natural resources; preservation of wildlife habitats; creation of scenic vistas; provision of public gathering areas or facilities for safe and accessible outdoor space; connectivity between other green infrastructure via bike and hiking trails and paths; and to maintain or establish appropriate buffers between differing land use types or intensities.
- C. **PI Public Institutional District.** The PI, Public Institutional district zoning designation is intended to provide for the location of properties used or operated by a public entity or private institution. The purpose of the PI District is to recognize that public and institutional facilities provide necessary services to the community.

### 10-3-8. Overlay Districts

- A. All provisions of this title, to the extent that they do not conflict with the standards delineated in this section, shall remain in full force and effect for all properties subject to the provisions of this section.
- B. The standards found in this section shall be used by property owners, developers, City staff members, the Planning and Zoning Commission and the City Council during the design and review of development and redevelopment proposals within the overlay districts. These standards and criteria complement and add to those contained within the City's Comprehensive Plan, as amended, Yorkville Downtown Overlay District Form-Based Code, this title and other land use regulations.
- C. **D-O Downtown Overlay District.** The D-O, Downtown Overlay district designation is intended to guide the development of a mix of uses and a pedestrian oriented environment, to provide for a mix of housing types for people of all ages and lifestyles, and to achieve development that is appropriate in scale and intensity for the overlay district and adjacent neighborhoods.

### 10-3-9. Bulk and Dimensional Standards

A. Table 10-3-9(A) Bulk and Dimensional Standards establishes the requirements applicable to the development or use of a lot in a given district.

Zone	Min. Lot Size	Min. Lot Size per DU (For Single-Unit Attached Uses)	Maximum Density (For Multi-Unit Uses)	Min. Lot Width	Max. Lot Coverage	Setbacks			Max. Building Height	Dwelling Unit Max. Height
						Min. Front	Min. Side* <sup>5</sup>	Min. Rear <sup>5</sup>		
A-1	-	-	-	-	-	100' <sup>1</sup>	50'	-	80' <sup>3</sup>	30'
R-1	18,000 sq. ft.	-	-	100'	50%	40'	15' (40')	50'	30'	30'
R-2	12,000 sq. ft.	-	-	80'	45%	30'	10' (30')	40'	30'	30'
R-2D	15,000 sq. ft.	9,000 sq.ft.	-	100'	50%	30'	10' (30')	30'	30'	30'
R-3	9,000 sq. ft. <sup>2</sup>	7,000 sq.ft.	5 dwelling units/acre <sup>2</sup>	70' (90' for attached units)	70%	30'	10' (20')	30'	80'	30'
R-4	15,000 sq. ft. <sup>2</sup>	5,000 sq.ft.	8 dwelling units/acre	70' (90' for attached units)	70%	30'	12' or 60% of building height (20')	40'	80'	40'
B-1	8,000 sq. ft.	-	-	-	80%	30'	20'	20'	80'	-
B-2	-	-	-	-	85%	0'	-	20'	80'	-
B-3	10,000 sq. ft.	-	-	-	80%	50'	20' (30') <sup>4</sup>	20'	80'	-
M-1	-	-	-	-	85%	25'	Min. 10% of lot and max. 20'	-	-	-
M-2	-	-	-	-	85%	25'	Min. 10% of lot and max. 20'	-	-	-
PI	-	-	-	-	85%	25'	20' (25')	20'	80'	-
OS	-	-	-	-	-	30'	10'	20'	80'	-

**Notes:**

\* Dimensions within ( ) = requirement for side yards adjoining a street.

1. 200 feet along Illinois Routes 34, 47, 71 and 126.

2. Nonresidential principal uses shall have a minimum lot size of 15,000 square feet and 100 foot width. A one-story structure shall have a minimum of 1,200 square feet and a two-story structure shall have a minimum of 1,400 square feet of livable space.

3. 100 foot structure height shall be allowed for silos on sites with agricultural uses.

4. Parking lots in the B-3 district located adjacent to an arterial roadway, as defined in the city's comprehensive plan, must maintain a minimum setback of 20 feet from the property line and 10 feet from nonarterial roadways.

5. The minimum setback required may be less than the width of the transition yard required by use as specified in Section 10-5-3(F)(3), in which instance, the more stringent width required by the transition yard shall apply.

B. Minimum building separations in the R-3 District shall be as detailed in Table 10-3-9(B) below.

Table 10-3-9(B) Building Separation Requirements in R-3	
Separation Type	Requirement
Side to side	20 feet
Side to rear	40 feet
Rear to rear	60 feet
Front to side	50 feet
Front to front	50 feet
Rear to front	100 feet

### 10-3-10. Calculating Bulk and Dimensional Standards

A. **Lot Width.** Minimum lot width shall be measured at the required front yard setback line.

Figure 3.1. Lot Width

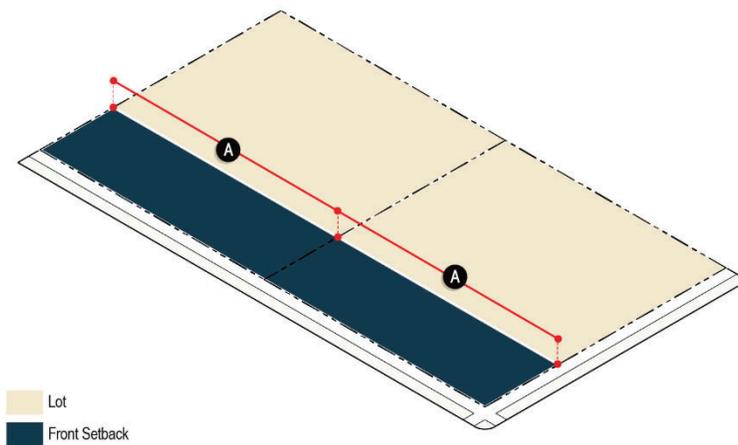
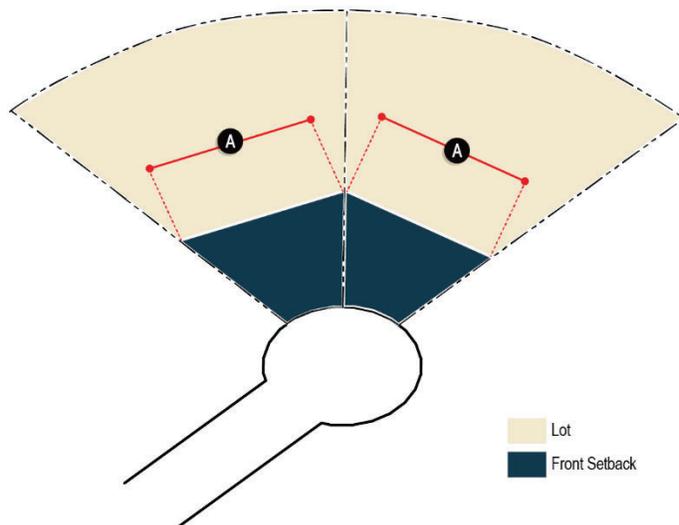
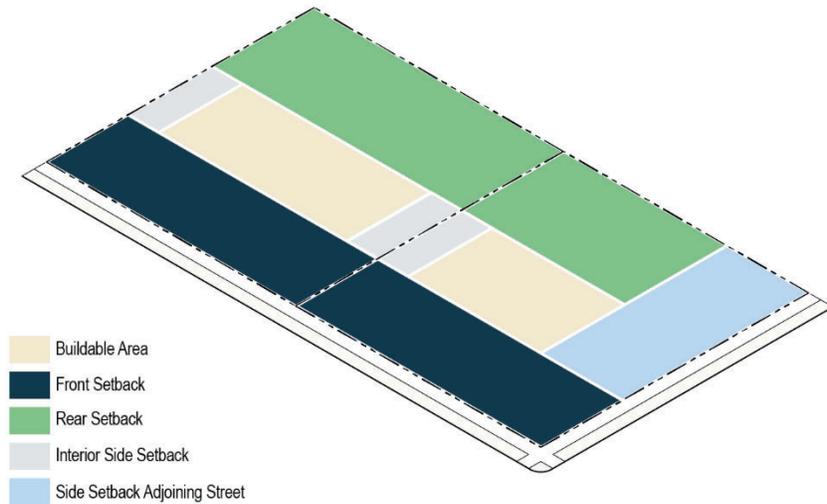


Figure 3.2. Lot Width For Lots Abutting a Cul-De-Sac



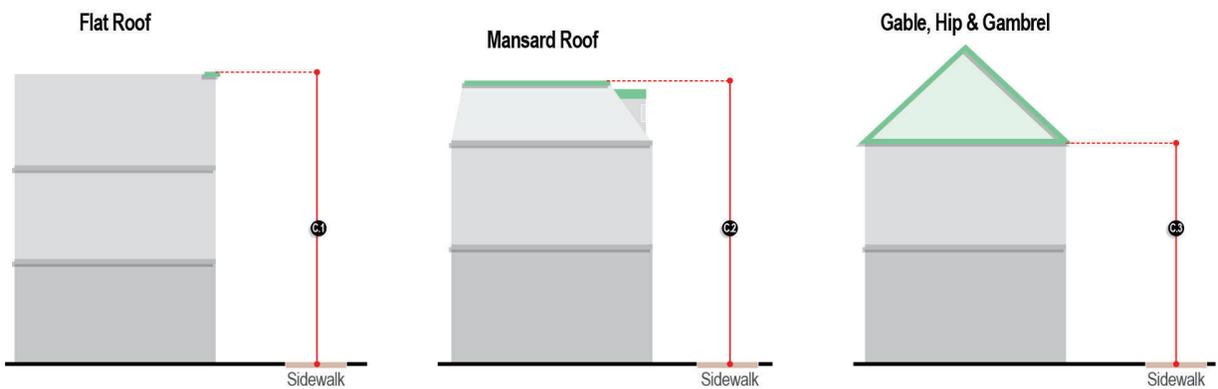
- B. **Setbacks.** A required setback shall be measured by the shortest distance between the applicable lot line and nearest point of the principal use or building or any required yards or fences, except any building features specified in section 10-3-11, which shall not be subject to required setbacks.

Figure 3.3. Setbacks



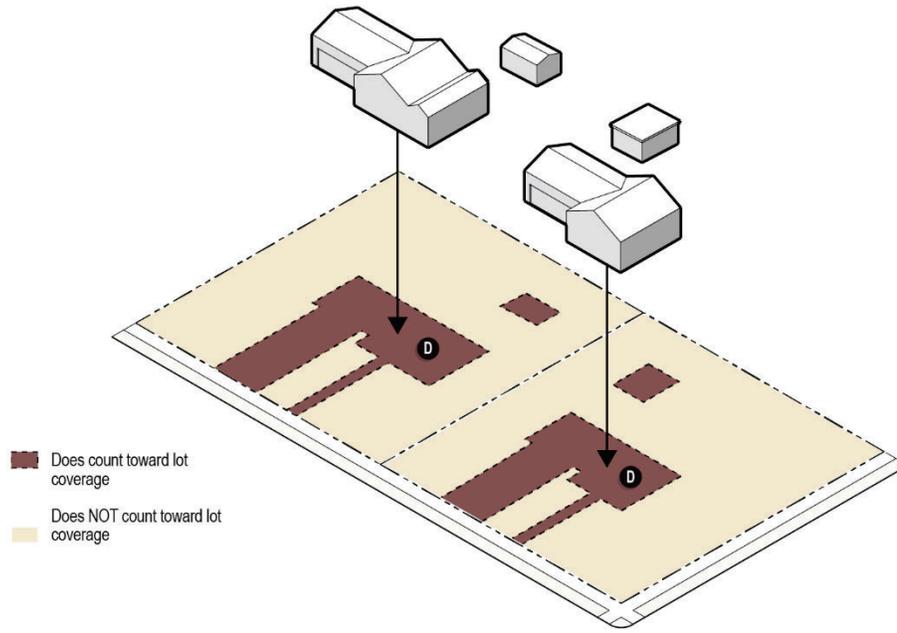
- C. **Height.** Building and dwelling unit height shall be the vertical distance measured from the sidewalk level or its equivalent established grade opposite the middle of the front of the building to the:
1. *Flat Roof:* highest point of the roof,
  2. *Mansard Roof:* deck line of roof, or
  3. *Gable, Hip, or Gambrel Roof:* lowest point at which the rafters meet the top of the exterior wall.

Figure 3.4. Height



- D. **Lot Coverage.** Lot coverage shall be that portion of the lot occupied by the principal building or buildings, accessory buildings, and all other impervious areas such as driveways, roads, sidewalks, parking lots and structures, and any area of concrete asphalt.

**Figure 3.5. Lot Coverage**



### 10-3-11. Permitted Yard Setback Obstructions

Every part of a required yard setback shall be open and unobstructed from finished grade upward, except as specified in Table 10-3-11 below or as allowed for accessory buildings and structures as detailed in Section 10-4-15(A).

Table 10-3-11 Permitted Yard Setback Obstructions					
Permitted Obstruction	Required Yards				Regulation
	All	Front	Side	Rear	
<i>Permanent Structures</i>					
Accessory Structures	P	P	P	P	Shall maintain a minimum distance of 5 feet from
Arbors and trellises	P	P	P	P	-
Awnings and canopies	P	P	P	P	Must adjoin a principal structure and may project 3 feet into required yard.
Balconies and breezeways	-	-	-	P	May project 3 feet into the required yard.
Chimneys	P	P	P	P	May project 18 inches into the required yard.
Enclosed, attached or detached off-street parking	-	-	-	P	-
Flagpoles	P	P	P	P	-
Landscaping	P	P	P	P	Landscaping obstructions within dedicated stormwater overflow routes may be limited or restricted, per the approval of the City Engineer.
One-story bay windows	P	P	P	P	May project 3 feet or less into the required yard.
Open porches	P	-	-	-	May project 5 feet into the yard.
Open terraces and decks	P	P	P	P	Shall not project over 4 feet above the average level of the adjoining ground but not including a permanently roofed over terrace or porch.
Ornamental light standards	-	P	P	-	-
Overhanging eaves and gutters	-	P	P	P	May project 3 feet or less into the yard. May project into a required side yard for a distance not exceeding 40 percent of the required yard width.
Steps	P	P	P	P	Steps 4 feet or less above grade which are necessary for access to zoning lot from a street or alley.
<i>Temporary Structures</i>					
Air conditioning units	-	-	P	P	May project for a distance not exceeding 10 percent of the required yard width, but in no case exceeding 12 inches.
Recreational equipment	-	-	-	P	-
Temporary accessory structures	P	P	P	P	-

### 10-3-12. Permitted and Special Uses

- A. The following key shall be used in the interpretation of Table 10-3-12(B) Permitted and Special Uses below.
1. **Permitted Uses.** Uses which are marked as “P” in the tables shall be allowed subject to all applicable regulations of this title.
  2. **Special Uses.** Uses which are marked as “S” in the tables shall be allowed upon the approval of a special use permit, as detailed in Section 10-8-5 of this title.
  3. **Temporary Uses.** Uses which are marked as “T” in the tables shall be allowed upon the approval of a temporary use permit, as detailed in Section 10-8-3(F) of this title.
  4. **Prohibited Uses.** Uses which are marked as “-” shall be prohibited in the respective district unless it is otherwise expressly allowed by other regulations of this title.
  5. **Uses Not Listed.** If a proposed use is not listed in the tables, the Zoning Administrator shall determine if the use is substantially similar to a use listed in the tables. If it is, the use shall be treated in the same manner as the substantially similar use. If not, the use shall be regarded as prohibited.
  6. **Additional Regulation.** If a use has use specific standards, they are referenced in this column. Use specific standards shall apply to permitted and special uses.
- B. Table 10-3-12(B) Permitted and Special Uses establishes the allowed uses in the City’s zoning districts.

Table 10-3-12(B) Permitted and Special Uses															
Use Category	Additional Regulation	Zoning Districts													
		Ag	Open Space	Residential						Business			Mfg.		Inst.
		A-1	OS	R-1	R-2	R-2D	R-3	R-4	B-1	B-2	B-3	M-1	M-2	PI	
<i>Agricultural Uses</i>		A-1	OS	R-1	R-2	R-2D	R-3	R-4	B-1	B-2	B-3	M-1	M-2	PI	
Agricultural uses		P	S	-	-	-	-	-	-	-	-	-	-	P	
Apiaries	10-4-1(A)	P	P	-	-	-	-	-	-	-	-	-	-	P	
Commercial feeding of fish, poultry, livestock		S	-	-	-	-	-	-	-	-	-	-	-	-	
Cultivation of nonfood crops and seeds used of cellulosic biofuels production		P	-	-	-	-	-	-	-	-	-	-	-	-	
Farming /Cultivation		P	T	-	-	-	-	-	-	-	-	-	-	-	
Forestation		P	-	-	-	-	-	-	-	-	-	-	-	-	
Grain elevators and storage		P	-	-	-	-	-	-	-	-	-	-	-	-	
Nursery/greenhouses		S	-	-	-	-	-	-	-	-	P	P	P	P	
Recreational camp - private		S	S	-	-	-	-	-	-	-	-	-	-	-	
Riding academies with stables		S	-	-	-	-	-	-	-	-	-	-	-	-	
Roadside stand		P	-	-	-	-	-	-	-	-	-	-	-	-	
Stables or paddocks		P	-	-	-	-	-	-	-	-	-	-	-	-	
<i>Residential Uses</i>		A-1	OS	R-1	R-2	R-2D	R-3	R-4	B-1	B-2	B-3	M-1	M-2	PI	
Dwelling, duplex	10-4-2(A)	-	-	-	-	P	P	P	-	-	-	-	-	-	
Dwelling, multi-unit	10-4-2(B)	-	-	-	-	-	P	P	P	S	S	-	-	-	
Dwelling, single-unit		P	-	P	P	P	P	P	-	-	-	-	-	-	

**DRAFT FOR REVIEW**

Dwelling, townhouse	10-4-2(C)	-	-	-	-	-	P	P	-	-	-	-	-	-
Mobile home park	10-4-2(D)	-	-	-	-	-	S	S	-	-	-	-	-	-
Senior housing, dependent		S	-	S	S	S	S	S	P	P	-	-	-	P
Senior housing, independent		S	-	P	P	P	P	P	P	P	-	-	-	P
<b>Lodging Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Bed and breakfast inn		S	-	S	-	-	-	-	S	P	P	-	-	-
Hotel/Motel		-	-	-	-	-	-	-	-	P	P	-	-	-
Short-term rental	10-4-3(A)	-	-	P	P	P	P	P	-	-	-	-	-	-
<b>Commercial Retail Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Adult uses	10-4-4(A)	-	-	-	-	-	-	-	-	-	-	S	S	S
Building material sales		-	-	-	-	-	-	-	-	P	P	P	P	-
Liquor store		-	-	-	-	-	-	-	P	P	P	-	-	-
Pawnbrokers/pawnshops		-	-	-	-	-	-	-	P	P	P	S	-	-
Retail store, general - less than one (1) acre		-	-	-	-	-	-	-	P	P	P	S	-	-
Retail store, general greater than one (1) acre		-	-	-	-	-	-	-	-	-	P	-	-	-
<b>Commercial Service Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Adult daycare facility		-	-	S	S	S	S	-	P	P	P	S	S	S
Animal hospital		S	-	-	-	-	-	-	-	-	P	S	-	-
Art galleries/art studio		-	-	-	-	-	-	-	-	P	P	P	-	P
Auction house		P	-	-	-	-	-	-	-	-	-	-	-	-
Bank		-	-	-	-	-	-	-	P	P	P	-	-	S
Campground		S	S	-	-	-	-	-	-	S	S	-	-	-
Commercial laboratory		-	-	-	-	-	-	-	P	P	P	P	-	-
Commercial/trade school		-	-	-	-	-	-	-	P	P	P	S	-	-
Daycare facility		-	-	S	S	S	S	-	P	P	P	S	S	S
Dry Cleaning Establishment		-	-	-	-	-	-	-	P	P	P	-	-	-
Entertainment production studios		-	-	-	-	-	-	-	P	P	P	P	-	-
Financial institutions and services		-	-	-	-	-	-	-	P	P	P	-	-	-
Funeral home/mortuary/crematorium		-	-	-	-	-	-	-	P	P	P	-	-	-
Health and fitness club/center		-	-	-	-	-	-	-	-	P	P	P	-	-
Indoor shooting gallery/range	10-4-5(A)	-	-	-	-	-	-	-	S	S	S	S	S	-
Kennel, commercial or private dog kennels		S	-	-	-	-	-	-	-	-	P	S	-	-
Massage establishment	3-9	-	-	-	-	-	-	-	S	S	S	-	-	-
Casino and Off track betting (OTB) establishments		-	-	-	-	-	-	-	-	S	S	-	-	-
Professional care services		-	-	-	-	-	-	-	P	P	P	-	-	-
Professional services/offices		-	-	-	-	-	-	-	P	P	P	-	-	-

**DRAFT FOR REVIEW**

Storage, single-building climate controlled		-	-	-	-	-	-	-	-	-	P	P	P	-
Storage, outdoor self-storage	10-4-5(B)	-	-	-	-	-	-	-	-	-	-	S	S	-
Tattoo and body piercing establishment	3-10	-	-	-	-	-	-	-	P	P	P	P	P	-
Veterinary clinic		-	-	-	-	-	-	-	-	P	P	S	S	-
<b>Commercial Entertainment Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Amusement park		S	S	-	-	-	-	-	-	-	S	S	S	S
Commercial entertainment, indoor		-	-	-	-	-	-	-	T	P	P	S	S	P
Commercial entertainment, outdoor	10-4-6(A)	-	-	-	-	-	-	-	S	S	S	S	S	P
Community / Recreation center		-	-	-	S	S	S	S	P	P	P	S	S	P
Golf course, miniature		S	-	-	-	-	-	-	-	-	P	-	-	-
Golf course	10-4-6(B)	S	-	P	P	P	P	P	-	-	-	-	-	-
Golf driving range		S	-	-	-	-	-	-	-	P	P	S	-	-
Indoor Event/Recreation Conversion		-	-	-	-	-	-	-	-	-	P	P	P	P
Outdoor music venues		-	-	-	-	-	-	-	S	S	S	S	-	-
Skating rink		-	-	-	-	-	-	-	-	P	P	S	S	-
Stadium		-	-	-	-	-	-	-	-	-	S	S	-	P
Swimming pool - indoor		-	P	-	-	-	-	-	P	P	P	S	-	P
Theater, live performance		-	-	-	-	-	-	-	P	P	P	-	-	-
Theater, motion picture		-	-	-	-	-	-	-	P	P	P	-	-	-
<b>Eating and Drinking Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Brewery/Winery/Distillery tasting room		-	-	-	-	-	-	-	P	P	P	P	P	-
Brewpub	10-4-7(A)	-	-	-	-	-	-	-	P	P	P	P	P	-
Microbrewery	10-4-7(B)(1)	-	-	-	-	-	-	-	P	P	P	P	P	-
Microdistillery/Microwinery	10-4-7(B)(2)	-	-	-	-	-	-	-	P	P	P	P	P	-
Prepared Food Service Establishment		-	-	-	-	-	-	-	P	P	P	-	-	-
Restaurant		-	-	-	-	-	-	-	P	P	P	-	-	-
Tavern - nightclub or lounge		-	-	-	-	-	-	-	P	P	P	-	-	-
<b>Medical Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Hospital		S	-	S	S	S	S	S	P	P	P	-	-	P
Medical clinic / office		-	-	-	-	-	-	-	P	P	P	-	-	-
Treatment center		-	-	-	-	-	-	-	P	P	P	-	-	-
<b>Vehicle Related Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Automobile parts/accessories sales		-	-	-	-	-	-	-	-	P	P	-	-	-
Automobile rental	10-4-9(A)	-	-	-	-	-	-	-	-	P	P	-	-	-
Automobile repair		-	-	-	-	-	-	-	-	-	P	P	P	-
Automobile sales and service, enclosed	10-4-9(A)	-	-	-	-	-	-	-	-	-	P	P	P	-
Automobile sales and service, open sales lot	10-4-9(A)	-	-	-	-	-	-	-	-	-	S	S	S	-

**DRAFT FOR REVIEW**

Boat sales and rental	10-4-9(A)	-	S	-	-	-	-	-	P	P	P	P	-	P
Boat storage	10-4-9(B)	-	S	-	-	-	-	-	S	S	S	P	P	P
Car wash		-	-	-	-	-	-	-	-	-	P	P	P	-
Gasoline service station		-	-	-	-	-	-	-	-	S	S	S	S	-
Heavy machinery and equipment rental		-	-	-	-	-	-	-	-	S	P	P	P	-
Recreational vehicle sales and service	10-4-9(A)	-	-	-	-	-	-	-	-	-	P	P	P	-
Semi-truck repair		-	-	-	-	-	-	-	-	-	S	P	P	-
Truck and trailer sales/rental	10-4-9(A)	-	-	-	-	-	-	-	-	-	S	P	P	-
Truck, truck-tractor, truck trailer, car trailer or bus storage yard - not include motor freight terminal		-	-	-	-	-	-	-	-	-	S	P	P	-
<b>Energy Industrial Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Battery Uses		-	-	-	-	-	-	-	-	-	-	P	P	-
Data Center		-	-	-	-	-	-	-	-	-	-	P	P	-
Refrigerated Warehouse (Cold Storage)		-	-	-	-	-	-	-	-	-	-	P	P	-
<b>Industrial Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Aggregate materials extraction, processing and site reclamation (stone and gravel quarries)		-	-	-	-	-	-	-	-	-	-	-	S	-
Artisan manufacturing	10-4-11(A)	-	-	-	-	-	-	-	P	P	P	S	-	-
Assembly, production, manufacturing, testing, repairing, or processing, light	10-4-11(B)	-	-	-	-	-	-	-	-	-	S	P	-	-
Assembly, production, manufacturing, testing, repairing, or processing, heavy	10-4-11(B)	-	-	-	-	-	-	-	-	-	-	P	P	-
Bakery (wholesale)		-	-	-	-	-	-	-	S	S	S	P	P	-
Blacksmith or welding shop		S	-	-	-	-	-	-	-	-	P	P	P	-
Brewery/winery/distillery		-	-	-	-	-	-	-	S	S	P	P	P	-
Contractor facilities with outdoor storage		-	-	-	-	-	-	-	-	-	S	P	P	-
Dry cleaning plant		-	-	-	-	-	-	-	-	-	-	S	S	-
Manufacturer / sales of firearms and ammunition		-	-	-	-	-	-	-	-	-	-	P	P	-
Newspaper publishing		-	-	-	-	-	-	-	-	P	P	P	P	P
Research laboratories		-	-	-	-	-	-	-	-	-	-	P	P	-
Salvage Yards		-	-	-	-	-	-	-	-	-	-	-	S	-
Wholesaling and warehousing - local cartage express facilities - including motor freight terminal		-	-	-	-	-	-	-	-	-	-	P	P	-
<b>Transportation Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Airport		S	-	-	-	-	-	-	-	-	-	S	S	S
Bus or truck garage		-	-	-	-	-	-	-	-	-	-	P	P	-

**DRAFT FOR REVIEW**

Bus or truck storage yard		-	-	-	-	-	-	-	-	-	-	P	P	-
Motor freight terminals		-	-	-	-	-	-	-	-	-	-	S	S	S
Railroad passenger station		S	-	S	S	S	S	S	S	S	S	S	S	S
Railroad repair shops, maintenance buildings and switching yards		S	-	S	S	S	S	S	S	S	S	S	S	S
<b>Alternative Energy Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Solar farm	10-4-13(B)	S	S	-	-	-	-	-	-	-	-	S	S	S
Building mounted solar energy systems	10-4-13(C)	P	-	P	P	P	P	P	P	P	P	P	P	P
Freestanding solar energy systems - accessory use	10-4-13(D)	P	P	P	P	P	P	P	P	P	P	P	P	P
Freestanding solar energy systems - principal use	10-4-13(E)	S	S	S	S	S	S	S	S	S	S	S	S	S
Wind farm	10-4-13(F)	S	-	-	-	-	-	-	-	-	-	S	S	S
Building mounted wind energy system	10-4-13(G)	P	P	P	P	P	P	P	P	P	P	P	P	P
Freestanding wind energy system - accessory use	10-4-13(H)	P	P	P	P	P	P	P	P	P	P	P	P	P
Freestanding wind energy system - principal use	10-4-13(I)	S	S	S	S	-	-	-	-	-	-	S	S	S
<b>Medical and Adult Use Cannabis Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Cannabis Craft Grower	10-4-14(B)	S	-	-	-	-	-	-	-	-	-	S	S	-
Cannabis Cultivation Center	10-4-14(C)	S	-	-	-	-	-	-	-	-	-	S	S	-
Cannabis Dispensing Organization	10-4-14(D)	-	-	-	-	-	-	-	-	-	S	S	S	-
Cannabis Infuser Organization	10-4-14(E)	-	-	-	-	-	-	-	-	-	S	S	S	-
Cannabis Processing Organization	10-4-14(F)	-	-	-	-	-	-	-	-	-	-	S	S	-
Cannabis Transporting Organization	10-4-14(G)	-	-	-	-	-	-	-	-	-	-	S	S	-
<b>Institutional, Public, and Utility Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Antennae and Antennae Structures (other)		P	P	P	P	P	P	P	P	P	P	P	P	P
Antennae and Antennae Structures (For Radio or Television Transmission)		S	S	S	S	S	S	S	S	S	S	S	S	S
Cemetery		S	S	S	S	S	S	S	-	-	-	-	-	P
College, university or junior college		S	-	S	S	S	S	S	P	P	P	-	-	P
Communications use		S	-	-	-	-	-	-	-	-	-	-	-	P
Electric substation		S	S	S	S	S	S	S	P	P	P	P	P	P
Filtration plant		S	-	S	S	S	S	S	-	-	-	P	P	P
Fire station		P	-	P	P	P	P	P	P	P	P	P	P	P
Library		-	-	P	P	P	P	P	P	P	P	-	-	P
Parks		P	P	P	P	P	P	P	P	P	P	P	P	P
Place of worship/assembly		S	-	S	S	S	S	S	P	P	P	S	S	P
Playground		-	P	P	P	P	P	P	P	P	P	-	-	P

**DRAFT FOR REVIEW**

Police station		P	-	P	P	P	P	P	P	P	P	P	P	P
Post office		-	-	-	-	-	-	-	P	P	P	-	-	P
Preschool		-	-	P	P	P	P	P	-	-	-	-	-	-
Public utility - electric substations and distribution centers, gas regulation centers and underground gas holder stations		S	S	-	-	-	-	-	-	-	-	P	P	P
Public utility facilities (other)		S	-	P	P	P	P	P	-	-	-	P	P	P
Radio and television towers - commercial	10-4-15(A)	P	-	-	-	-	-	-	P	P	P	P	P	S
Sanitary landfill		S	-	-	-	-	-	-	-	-	-	S	S	S
School, public or private		-	-	P	P	P	P	P	-	-	-	S	S	P
Sewage treatment plant		-	-	S	S	S	S	S	-	-	-	P	P	P
Solid waste disposal site		-	-	-	-	-	-	-	S	S	S	P	P	P
Towers		P	-	-	-	-	-	-	P	P	P	P	P	-
Utility company maintenance yard		-	-	-	-	-	-	-	-	-	-	P	P	P
Utility service yard or garage		-	-	-	-	-	-	-	-	-	-	P	P	P
<b>Accessory Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Accessory Building	10-4-16(A)	P	P	P	P	P	P	P	P	P	P	P	P	P
Accessory Commercial Unit	10-4-16(B)	S	-	S	S	S	S	-	-	-	-	-	-	-
Accessory Structures, Permanent	10-4-16(A)	P	P	P	P	P	P	P	P	P	P	P	P	P
Antennae and Antennae Structures (other)	10-4-15(A)	P	P	P	P	P	P	P	P	P	P	P	P	P
Antennae and Antennae Structures (For Radio or Television Transmission)	10-4-15(A)	P	P	P	P	P	P	P	P	P	P	P	P	P
Community Garden		P	P	P	P	P	P	P	P	P	P	P	P	P
Daycare Facility, Part-Day		-	-	P	P	P	P	-	P	P	P	P	P	P
Domesticated Hens	8-19	-	-	P	P	-	-	-	-	-	-	-	-	-
Drive Throughs	10-4-16(D)	-	-	-	-	-	-	-	P	P	P	-	-	-
Dwelling, accessory	10-4-16(E)	P	-	P	P	P	P	-	-	-	-	-	-	-
Recreational vehicle, trailer, and boat parking	10-4-16(F)	P	P	P	P	P	P	-	-	-	-	-	-	-
Home occupations	10-4-16(G)	P	-	P	P	P	P	P	-	P	-	-	-	-
Outdoor displays	10-4-16(H)	P	P	-	-	-	-	-	P	P	P	P	P	-
Towers	10-4-15(A)	P	-	P	P	-	-	-	P	P	P	P	P	-
Vehicle Charging Stations		P	P	P	P	P	P	P	P	P	P	P	P	-
<b>Temporary Uses</b>		<b>A-1</b>	<b>OS</b>	<b>R-1</b>	<b>R-2</b>	<b>R-2D</b>	<b>R-3</b>	<b>R-4</b>	<b>B-1</b>	<b>B-2</b>	<b>B-3</b>	<b>M-1</b>	<b>M-2</b>	<b>PI</b>
Accessory Structures, Temporary	10-4-17(A)	T	T	T	T	T	T	T	T	T	T	T	T	T
Mobile food vendor vehicles and retail vendor vehicles	10-4-17(B)	T	T	T	T	T	T	T	T	T	T	T	T	T
Storage of roadway construction materials and equipment	10-4-17(C)	T	T	T	T	T	T	T	T	T	T	T	T	T

DRAFT FOR REVIEW

Portable Outdoor Storage Device	10-4-17(D)	T	T	T	T	T	T	T	T	T	T	T	T	T
Temporary and seasonal uses	10-4-17(E)	-	-	-	-	-	-	-	T	T	T	-	-	-
Tents		T	T	T	T	T	T	T	T	T	T	T	T	T

## Chapter 4. Use Standards

10-4-1. Agricultural Use Standards.....	1
10-4-2. Residential Use Standards.....	2
10-4-3. Lodging Use Standards.....	6
10-4-4. Commercial Retail Use Standards.....	6
10-4-5. Commercial Service Use Standards.....	7
10-4-6. Commercial Entertainment Use Standards.....	7
10-4-7. Eating and Drinking Use Standards.....	8
10-4-8. Medical Use Standards.....	8
10-4-9. Vehicle Related Use Standards.....	8
10-4-10. Industrial Use Standards.....	9
10-4-11. Transportation Use Standards.....	9
10-4-12. Alternative Energy Use Standards.....	10
10-4-13. Medical and Adult Use Cannabis Use Standards.....	22
10-4-14. Institutional, Public, and Utility Use Standards.....	24
10-4-15. Accessory Use Standards.....	33
10-4-16. Temporary Use Standards.....	41

### 10-4-1. Agricultural Use Standards

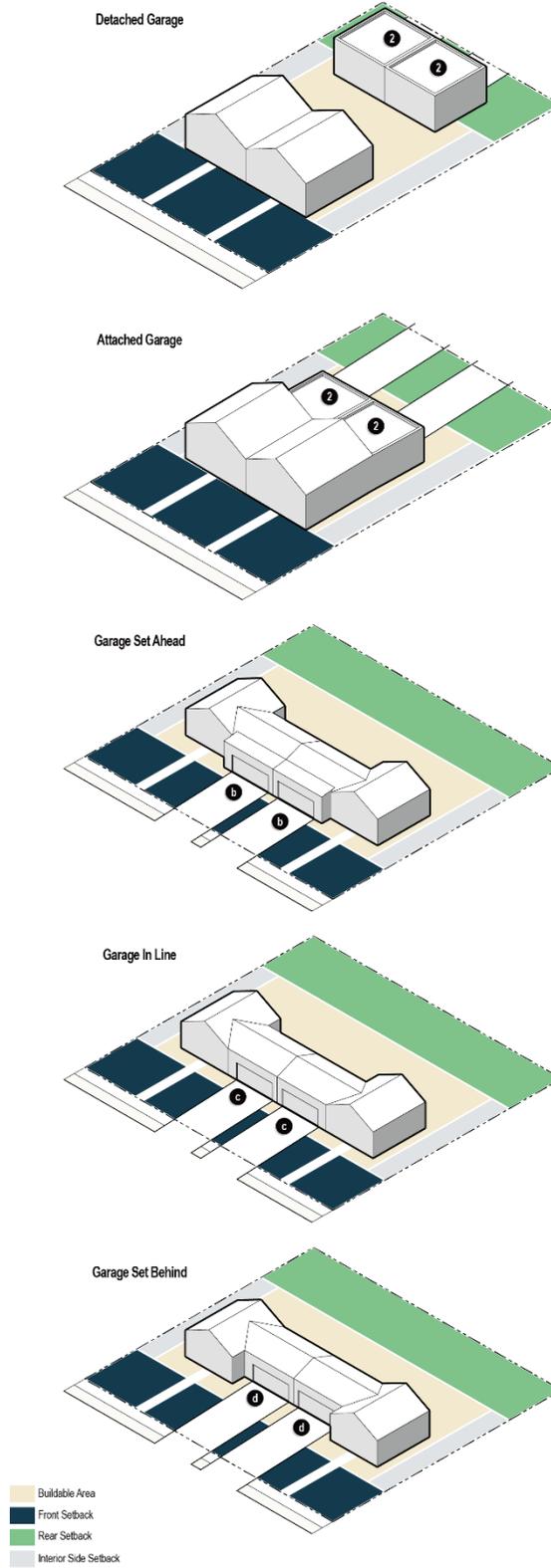
- A. **Apiary.** Apiaries shall be subject to the applicable provisions of Title 8, Chapter 18 of the City of Yorkville Code of Ordinances.

## 10-4-2. Residential Use Standards

### A. Dwelling, Duplex.

1. The main entrances to a duplex shall face the primary street.
2. A minimum of one (1) of the parking spaces, as required in Section 10-5-1(H) of this Title, shall be provided in an attached or detached garage. Attached garages are encouraged to be located on rear or side façades. If attached garages are located on the primary façade they shall comply with the following standards.
  - a. Setback a minimum of twenty-five (25) feet from the street right-of-way or the required front yard setback, whichever is greater.
  - b. **Garage Set Ahead.**
    - (1) The garage may be set ahead a maximum of five (5) feet from the front façade of the home, inclusive of porches, bay windows, or other minor projections.
    - (2) If the garage is set ahead from the front façade of the home, as detailed in (a) above, it shall not exceed forty-five (45) percent of the façade's total width.
  - c. **Garage In Line.** If the garage is in line with the front façade of the home, exclusive of porches, bay windows, or other minor projections, it shall not exceed fifty (50) percent of the façade's total width.
  - d. **Garage Set Behind.**
    - (1) The garage may be set behind the front façade of the home, exclusive of porches, bay windows, or other minor projections, a minimum of one (1) foot.
    - (2) If the garage is set behind the front façade of the home, as detailed in (a) above, it shall not exceed fifty-five (55) percent of the façade's total width.

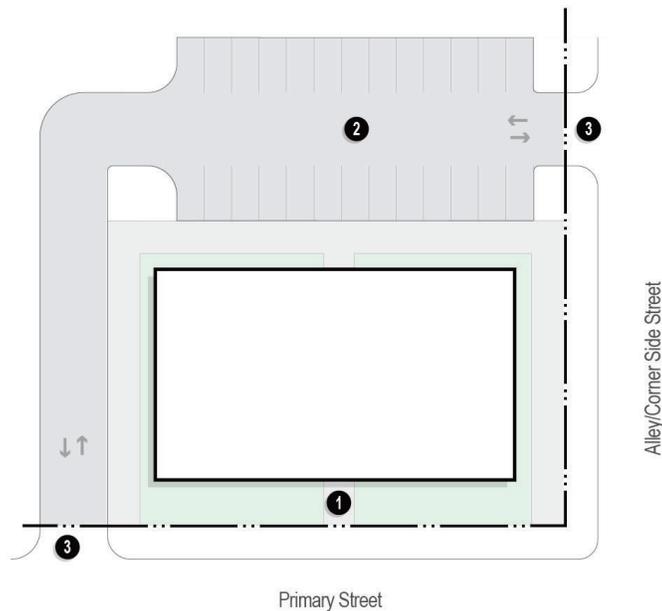
Figure 4.1. Duplex Dwelling Standards



**B. Dwelling, Multi-Unit.**

1. The main entrance to a multi-unit dwelling shall face the primary perimeter or internal street, unless otherwise allowed in subsection (5) below.
2. All off-street parking shall be located to the side or rear of the primary building. Off-street parking located to the side of the primary building shall be set back a minimum of one (1) foot from the front elevation of the primary building.
3. A maximum of one (1) curb cut shall be permitted per street frontage unless otherwise recommended by the Public Works Director and approved by the Planning and Zoning Commission.
4. Service areas, dumpsters, utilities and the required nonvegetative screening thereof shall not be visible from rights-of-way.
5. **Multi-Building Developments.** Developments with multiple multi-unit dwelling buildings shall meet the following additional standards.
  - a. The primary façade shall include a building entrance and be oriented towards the following (listed in priority order). Primary façades shall not be oriented towards off-street parking lots, garages, or carports.
    - (1) Perimeter Streets,
    - (2) Internal Streets,
    - (3) Parks or other common open space, or
    - (4) Secondary internal streets.

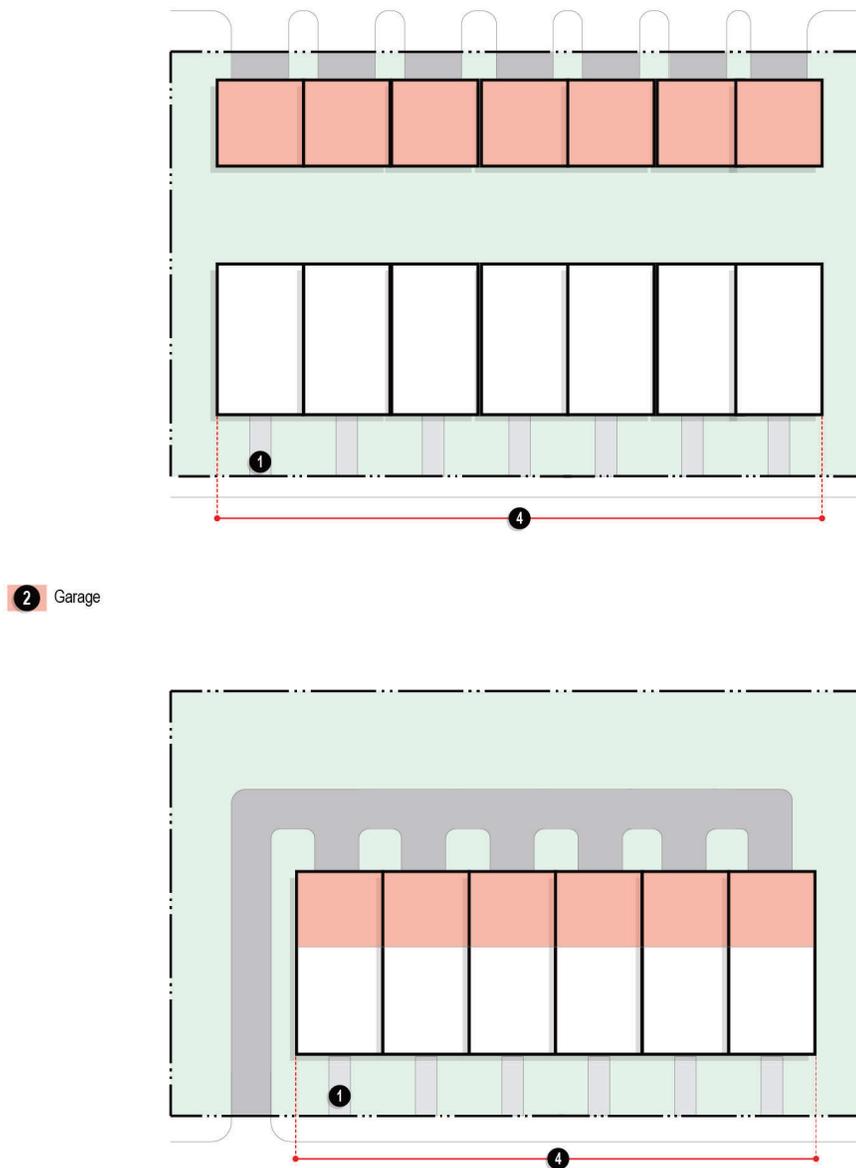
**Figure 4.2. Multi-Unit Dwelling Standards**



C. Dwelling, Townhouse.

1. The entrance to a townhouse shall face the primary public street unless otherwise approved.
2. A minimum of one (1) of the parking spaces, as required in Section 10-5-1(H) of this UDO, shall be provided in an attached or detached garage.
3. Attached garages shall be located on rear or side façades unless otherwise approved.
4. A maximum width of a townhome cluster shall be two hundred (200) lineal feet.
5. The siting of the townhouse units in a cluster shall be staggered in order to define street edges, entry points, and public gathering spaces.

Figure 3.3. Townhouse Dwelling Standards



D. **Mobile Home Park.**

1. The minimum site size shall be ten (10) acres.

### 10-4-3. Lodging Use Standards

- A. **Short-Term Rental.** Short-term rentals shall be subject to the hotel tax provisions established in Title 3, Chapter 1, Section 3-2-7 of the City of Yorkville Code of Ordinances.

### 10-4-4. Commercial Retail Use Standards

A. **Adult Uses.**

1. **Limitations on Adult Uses.**

- a. *Distance from another existing adult use:* An adult use shall not be allowed within five hundred (500) feet of another preexisting adult use.
- b. *Distance from zoning districts:* An adult use shall not be located within seven hundred (700) feet of any zoning district which is zoned for single-unit suburban residence district (R-1), single-unit traditional residence district (R-2), , two-unit attached residence district (R-2D), multi-unit attached residence district (R-3), general multi-unit residence district (R-4), local business district (B-1), mixed use district (B-2), general business district (B-3), agricultural district (A-1).
- c. *Distance from school or place of worship:* An adult use shall not be located within five hundred (500) feet of a preexisting school or place of worship.
- d. *Distance from business selling alcoholic beverages and cannabis dispensaries:* An adult use shall not be located in a building which contains another business that sells or dispenses in some manner alcoholic beverages or Cannabis Dispensing Organization as defined in this UDO.
- e. *Arterial roadways:* Adult uses which are located next to an arterial roadway, as defined in the City's comprehensive plan, must provide a twenty-five (25) foot setback from any property line.
- f. *Nonarterial roadways:* Adult uses which are located next to a nonarterial roadway, as defined in the City's comprehensive plan, must provide a ten (10) foot setback from the side and rear property lines and shall provide a twenty-five (25) foot setback from the front property line.
- g. *Traffic study:* A traffic study may be required as part of the special use permit approval process.

2. **Measurement of Distance.** For the purposes of this Section, measurements shall be made in a straight line, without regard to intervening structures or objects, from the property line of the lot or parcel containing the adult use to the property line of the lot or parcel containing the nearest adult use, school, place of worship, cannabis dispensary, or district zone for residential use.

3. **Exterior Signage and Display.** No adult use shall be conducted in any manner that permits the observation of any material, depicting, describing, or relating to "specified sexual activities", "specified anatomical areas" or otherwise deemed to be obscene by display, decoration, sign, show window, or other opening from any public way or from any property not licensed as an adult use.

4. **Display of License and Permit.** Every licensee (per Chapter 11 Section 3-11-5 of the City of Yorkville Code of Ordinances) shall display a valid license in a conspicuous place within the adult use business so that same may be readily seen by persons entering the premises.

5. **Employment of Persons Under the Age of Eighteen (18) Prohibited.** It shall be unlawful for any adult use licensee or their manager or employee to employ in any capacity within the adult business any person who is not at least eighteen (18) years of age.
6. **Hours of Operation.** All areas within the premises of an adult use business shall be cleared of customers and secured from customers and the public in general during the time when not permitted open for operation, and no person, other than the licensee or their employees or agents, shall be permitted within the area of such premises during such hours as listed below:
  - a. *Monday through Saturday:* 7:00am to 1:00am the next day
  - b. *Sunday:* 11:00am to 1:00am the next day
7. **Violation and Penalty.** Each day of violation of the requirements of this Section shall constitute a separate and punishable offense.

### **10-4-5. Commercial Service Use Standards**

#### **A. Indoor Shooting Gallery/Gun Range.**

1. When located in a multiple-tenant building, shall only be located in an end unit and with the gallery/range not adjacent to an adjoining unit.
2. The minimum building setback for indoor shooting gallery/gun range facilities shall be fifty (50) feet from any property line that abuts a residentially zoned property.
3. The retail operations of any indoor shooting gallery/gun ranges shall occupy not more than twenty-five (25) percent of the total floor area.

#### **B. Storage, Outdoor Self-Storage.**

1. All storage facilities shall be in completely enclosed buildings or structures when located in a Manufacturing Zoning District or when located within one hundred fifty (150) feet of a property in a Residential Zoning District.
2. There shall be a minimum of twenty (20) feet between buildings.
3. Truck and storage pod rentals are permitted accessory uses.

### **10-4-6. Commercial Entertainment Use Standards**

#### **A. Commercial Entertainment, Outdoor.**

1. All golf course and driving range perimeters shall be fully enclosed in netting not less than thirty-two (32) feet in height, with the maximum height to be established in the Special Use process as specified in Section 10-8-5.
2. The netting shall be at least ninety (90) percent transparent.

#### **B. Golf Course.**

1. Regulation size golf courses are permitted provided that no clubhouse or accessory building shall be nearer than five hundred (500) feet to any dwelling on an adjacent zoning lot, with the exception of golf courses in the A-1 District where the minimum separation requirement shall be three hundred (300) feet.

## 10-4-7. Eating and Drinking Use Standards

### A. Brewpub.

1. Brewpubs operations will be ancillary to a restaurant or eating establishment, and the brewing component of the facility shall be no more than twenty-five (25) percent of the total floor area. If off-premises consumption is allowed, all sales must be in a sealed container with a total maximum production of one hundred fifty-five thousand (155,000) gallons per calendar year inclusive of on-premises and off-premises.

### B. Microbrewery/Microwinery/Microdistillery

#### 1. Microbreweries.

- a. Microbreweries, where if off-premises consumption is allowed, all sales must be in a hand capped, sealed container with a total maximum production of one hundred fifty-five thousand (155,000) gallons per calendar year inclusive of on-premises and off-premises sales.
- b. Microbrewery operations will be ancillary to a restaurant or eating establishment, and the brewing component of the facility shall be no more than twenty-five (25) percent of the total floor area.

#### 2. Microdistilleries and Microwineries.

- a. Outdoor storage of equipment, production waste or product for microdistilleries and microwineries is strictly prohibited when located in a business district. However, outdoor storage of spent grains or grapes may be permitted to be stored outdoors in appropriate silos or containers in the manufacturing districts, provided the storage is screened from public view. Screening may be with fencing, landscaping, or a combination of both.
- b. All microdistilleries and microwineries located in business districts must have off-street or rear accessible loading and unloading facilities.
- c. Microdistilleries or microwineries located in business districts must include an ancillary tasting room with a minimum of one hundred fifty (150) square feet. Retail sales of the product from a microdistillery or microwinery are permitted on-site and shall be consistent with state and City laws.

## 10-4-8. Medical Use Standards

RESERVE

## 10-4-9. Vehicle Related Use Standards

### A. Automobile Rental; Automobile Sales and Service/Open Sales Lot; Boat Sales and Rental; Recreational Vehicle Sales and Rental; and Truck and Trailer Sales/Rental.

1. Open sales and rental lots shall be exempt from the landscape spacing requirements for the parking area perimeter zone and instead may cluster required landscape elements in order to preserve views to goods offered for sale.
2. Outdoor facilities shall be enclosed by an opaque fence or wall a minimum six (6) feet in height.

## **10-4-10. Energy Industrial Uses**

RESERVE

## **10-4-11. Industrial Use Standards**

### **A. Artisan Manufacturing.**

1. Gross floor area shall not exceed ten thousand (10,000) square feet.
2. Outdoor storage and/or outdoor operations or activities shall be prohibited.
3. Retail sales of goods manufactured on-site shall be permitted but shall be limited to twenty-five (25) percent of the total area of the building.
4. A maximum of one (1) residential unit shall be permitted as a special use, but shall be limited to the upper floor or to the rear of the artisan manufacturing use and shall not exceed twenty five (25) percent of the gross floor area.

### **B. Assembly, Production, Manufacturing, Testing, Repairing, or Processing.**

1. All related activity shall take place within completely enclosed buildings unless otherwise specified.
2. Within one hundred fifty (150) feet of a residentially zoned property or a property in the B-1, B-2, or PI Districts, all storage shall be in completely enclosed buildings or structures.
3. Storage not located within one hundred (150) feet of a residentially zoned property or a property in the B-1, B-2, or PI Districts may be open to the sky but shall be enclosed by solid walls or fences (including solid doors or gates thereto) with a minimum height of eight (8) feet. In no case shall the solid walls or fences be lower in height than the enclosed storage.
4. Solid fences or walls enclosing storage shall be meet the building foundation landscape requirements per Section 10-5-3(C).

## **10-4-12. Transportation Use Standards**

RESERVE

## 10-4-13. Alternative Energy Use Standards

### A. General Requirements for all Alternative Energy Uses.

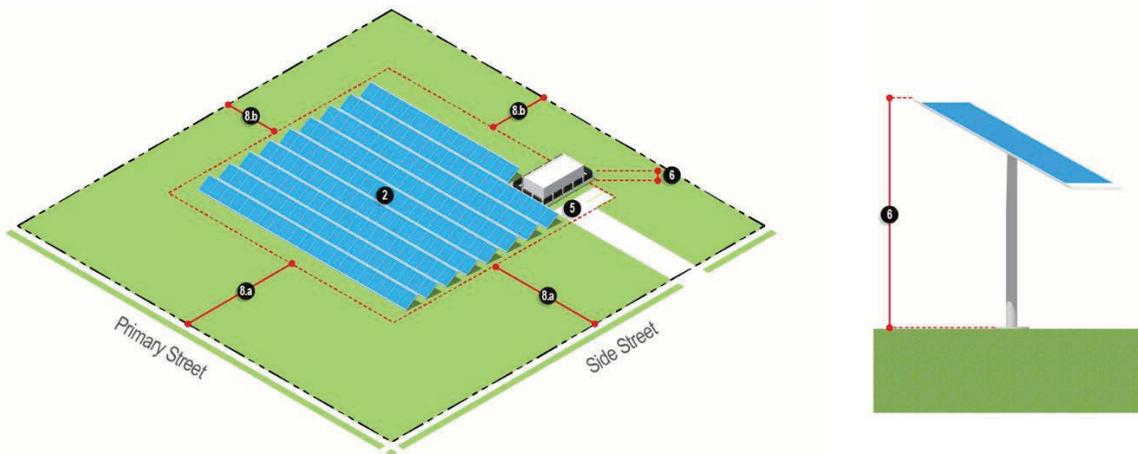
1. **Applicability.** The provisions of this Section are to establish zoning parameters by which solar and wind energy systems may be installed in the City. Additional renewable energy solutions not mentioned herein may be authorized subject to compliance with the applicable codes and standards of the City.
2. **Use.** Alternative energy systems shall be an accessory to the principal permitted use of a site.
3. **Abandoned Systems.** All alternative energy systems inactive or inoperable for twelve (12) continuous months shall be deemed abandoned. If the system is deemed abandoned, the owner is required to repair or remove the system from the property at the owner's expense within ninety (90) days after notice from the City. If the owner does not comply with said notice, the Building Code Official shall enforce this as a violation of the Yorkville Zoning Ordinance.
4. **Signage.** No attention getting device is permitted on any alternative energy system. One (1) sign shall be permitted to indicate the emergency contact information of the property owner or operator. Said sign shall not exceed two (2) square feet in size. Graphics, colors, corporate logos, and text on wind energy systems located within business or manufacturing zoned properties are permitted, subject to the discretion of the City Council.
5. **Safety.** All wind energy systems shall be equipped with manual and/or automatic controls and mechanical brakes to limit rotation of blades to prevent uncontrolled rotation.
6. **Lighting.** Alternative energy systems shall not be illuminated, except as required by the FAA or those used in commercial applications such as streetlights.
7. **Shadow Flicker.** No habitable portion of an existing adjacent structure shall be subject to shadow flicker from a wind turbine. Shadow flicker onto an adjacent roof and/or exterior wall which does not contain any windows, doors, and like openings shall be acceptable. If shadow flicker occurs, the operation of the wind turbine shall cease during those times which cause the shadow flicker.
8. **Screening.** There shall be no required mechanical screening for alternative energy systems.
9. **Design.** Wind energy systems and associated tower shall be a nonreflective color. The City Council may impose such conditions as are necessary to eliminate, if at all possible, any adverse effects such system may have on surrounding properties.
10. **Compliance.** Wind energy systems shall meet or exceed current standards of the international building code and Federal Aviation Administration (FAA) requirements, any other agency of the state or federal government with the authority to regulate wind energy systems, and all City codes.
11. **Building Code/Safety Standards.** Any owner or operator of an alternative energy system shall maintain said system in compliance with the standards contained in the current and applicable state or local building codes and any applicable standards for said energy systems that are published by the International Building Code, as amended from time to time. If, upon inspection, the United City of Yorkville concludes that an alternative energy system fails to comply with such codes and standards and constitutes a danger to persons or property, the City Code Official shall require immediate removal of the system at the owner's expense.

**B. Solar Farm.**

1. No solar farm shall be erected on any lot less than three (3) acres in size.
2. A solar farm use may occupy up to eight-five (85) percent of a given parcel in the M-1 or M-2 District or up to eighty (80) percent of a given parcel in any other District.
3. A certified professional engineer shall certify that the foundation and design on the solar panels are within accepted professional standards, given local soil and climate conditions.
4. Power and communication lines running between banks of solar panels and to electric substations or interconnections with buildings shall be buried underground.
5. Off-street parking provided on site shall be paved. Gravel or other unpaved materials shall be prohibited.
6. Systems, equipment, and structures shall not exceed thirty feet (30) in height when ground mounted.
7. Groundcover as specified in Section 10-5-3(A)(7) shall be provided beneath all solar panels.
8. Ground mounted solar energy collection systems as part of a solar farm shall have a minimum setback for all equipment, excluding fences, of:
  - a. *Front and Corner Yards*: one hundred (100) feet,
  - b. *Side and Rear Yards*: fifty (50) feet from nonresidential property lines and one hundred (100) feet from residential property lines.
9. Systems equipment and structures shall be fully enclosed and secured by a fence or wall with a height of eight (8) feet. Knox boxes and keys shall be provided at locked entrances for emergency personnel access.
  - a. **Warnings.**
    - (1) Warning signs shall be provided at the entrance to the facility and along the perimeter of the solar farm in locations determined necessary by the Zoning Officer.
    - (2) The signs shall be less than four (4) square feet and made with letters and numbers at least three (3) inches in height and shall include the 911 address and an emergency phone number of the operator which shall be answered twenty-four (24) hours a day by a live operator. A nonemergency phone number for the operator shall also be displayed.
10. **Outdoor Storage.** Only the outdoor storage of materials, vehicles, and equipment that directly support the operation and maintenance of the wind farm shall be allowed except for outdoor storage that is expressly allowed in the zoning district specified elsewhere in this title.
11. **Materials Handling, Storage, and Disposal.**
  - a. All solid wastes related to the construction, operation, and maintenance of the solar farm shall be removed from the site promptly and disposed of in accordance with all federal, state, and local laws.
  - b. A list of hazardous fluids that may be used on site shall be provided. All hazardous materials related to the construction, operation, and maintenance of the solar farm shall be handled, stored, transported, and disposed of in accordance with all applicable local, state, and federal laws.

12. **Decommissioning Plan.** Prior to receiving approval, the applicant shall submit a decommissioning plan to ensure that the solar farm project is properly decommissioned, which shall include:
  - a. Provisions describing the triggering events for decommissioning the solar farm project. Any nonfunctioning solar panel/array of the project shall be decommissioned within thirty (30) days unless the operator has shown to the Zoning Administrator that it is diligently repairing such solar panel/array or component.
  - b. Procedures for the removal of structures, debris, and cabling, including those below the soil surface,
  - c. Provisions for the restoration of the natural soil and vegetation,
  - d. An estimate of the decommissioning costs certified by a professional engineer, to be updated every three (3) years or as determined necessary by the Zoning Administrator. The Zoning Administrator may request an independent third-party verification of the decommissioning costs at any time. The costs for this verification shall be reimbursed by the applicant and/or operator.
  - e. Financial assurance, secured by the owner or operator, for the purpose of performing the decommissioning, in an amount equal to one-hundred and twenty (120) percent of the professional engineer's certified estimate of the decommissioning cost.
  - f. A provision that the terms of the decommissioning plan shall be binding upon the owner or operator and any of his successors, assigns, or heirs.

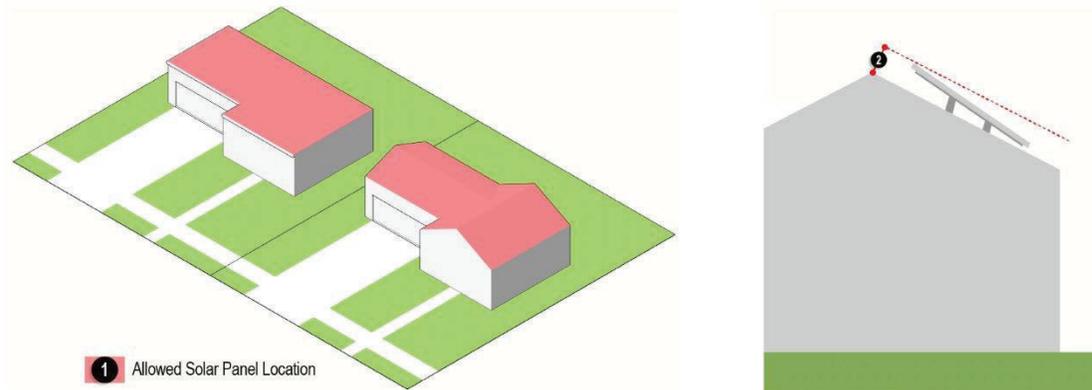
**Figure 4.4. Solar Farm Standards**



C. **Building-Mounted Solar Energy Systems.**

1. **Location.** Building-mounted solar energy systems are allowed on the principal and accessory structures, any roof face and side and rear building facades. The systems are allowed on the front or exterior side building facades if the following conditions are met:
  - a. Solar access is optimized on the front and exterior side facades.
  - b. Systems are simultaneously used to shade the structure's doors or windows..
2. **Height.** Systems shall not extend beyond three (3) feet parallel to the roof surface of a pitched roof. Nor shall the system extend beyond four (4) feet parallel to the roof surface of a flat roof unless completely concealed or equal to the height of the parapet wall, whichever is greater. If the system is flush-mounted, the system must be less than eight (8) inches from the roof surface. Refer to Figure 4.5 of this Section.
3. **Quantity.** The total square footage may not exceed the total area of the roof surface of the structure to which the system is attached.
4. **Projection.** The system may project up to four (4) feet from a building facade or roof edge. The system may project into an interior side or interior rear setback but shall be no closer than five (5) feet to the interior side or interior rear property line.

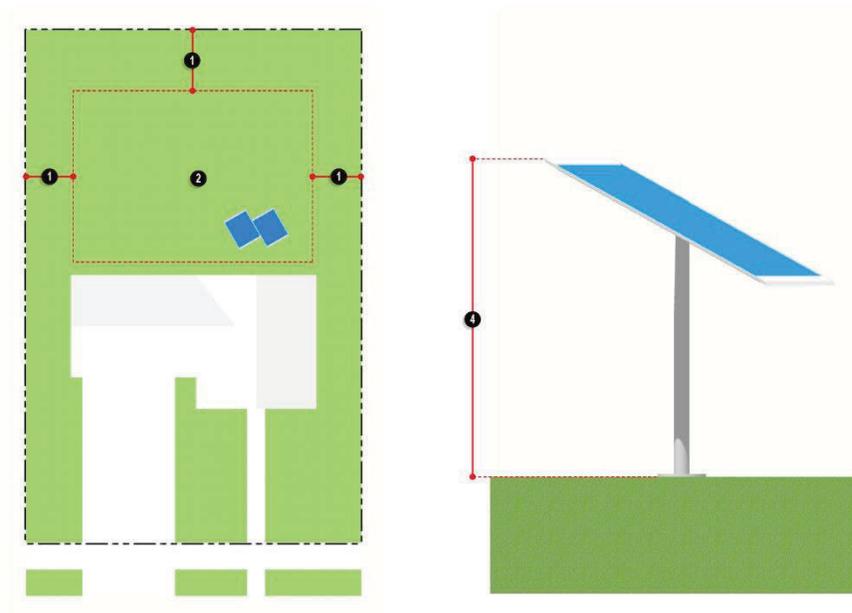
**Figure 4.5. Building-Mounted Solar Energy System Standards**



D. **Freestanding Solar Energy Systems – Accessory Use.**

1. **Setbacks.** All parts of any freestanding solar energy system shall be set back eight (8) feet from the interior side and interior rear property lines.
2. **Permitted Yard Locations.** Freestanding solar energy systems shall not be located within the required front yard or corner side yard. They shall not be permitted within any utility, storm or drainage, water, sewer, or other type of public easement. The use of guywires as supports for a freestanding solar energy system shall be prohibited.
3. **Solar Glare.** Solar panels shall be placed such that concentrated solar radiation or glare shall not be directed onto nearby properties or roadways.
4. **Maximum Height.** Maximum height of freestanding solar energy systems shall be fifteen (15) feet unless otherwise approved by the Zoning Administrator.

*Figure 4.6. Freestanding Solar Energy System - Accessory Use Standards*



#### E. Freestanding Solar Energy System - Principal Use.

1. **Setbacks.** All parts of any freestanding solar energy system shall meet the setbacks established for the district in which the system is located.
2. **Permitted Yard Locations.** A freestanding solar energy system shall not be located closer to the public right-of-way than the front façade of the principal building on the adjacent lot(s). They shall not be permitted within any utility, storm or drainage, water, sewer, or other type of public easement. The use of guywires as supports for a freestanding solar energy system shall be prohibited.
3. **Solar Glare.** Solar panels shall be placed such that concentrated solar radiation or glare shall not be directed onto nearby properties or roadways.
4. **Maximum Height.** Maximum height of a freestanding solar energy system shall be fifteen (15) feet unless otherwise approved.

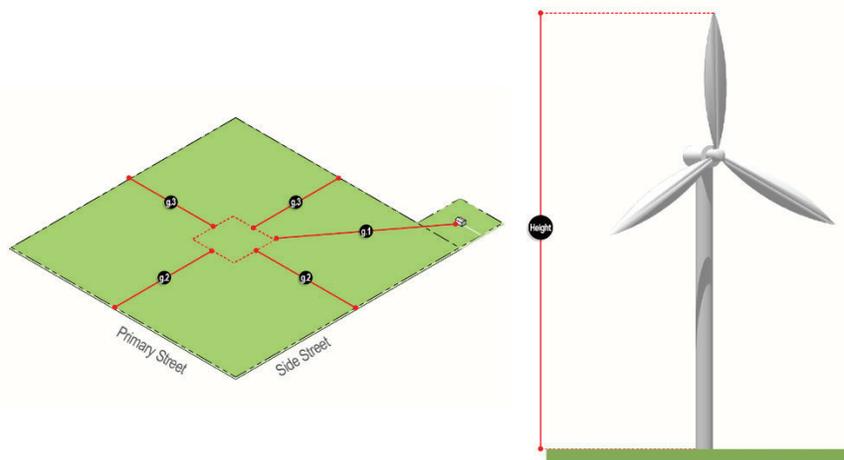
#### F. Wind Farm.

1. No wind farm shall be erected on any lot less than four (4) acres in size.
2. **Design and Installation.**
  - a. **Safety Certification.**
    - (1) Wind farm systems shall conform to applicable industry standards, including those of the American National Standards Institute (ANSI). Applicants shall submit certificates of design compliance that equipment manufacturers have obtained from Underwriters Laboratories (UL), Det Norske Veritas (DNV), Germanischer Lloyd Wind Energic (GL), or an equivalent third party prior to plan approval.
    - (2) Following plan approval, a professional engineer shall certify, as part of the building permit application, that the foundation and tower design of the wind farm system is within accepted professional standards, given local soil and climate conditions.
  - b. **Controls and Brakes.** All wind farm systems shall be equipped with a redundant braking system. This includes both aerodynamic overspeed controls (including variable pitch, tip, and other similar systems) and mechanical brakes. Mechanical brakes shall be operated in a fail-safe mode. Stall regulation shall not be considered a sufficient braking system for overspeed protection.
  - c. **Electrical Components.** All electrical components of the wind farm systems shall conform to applicable local, state, and national codes, and relevant national and international standards (e.g., ANSI and international electrical commission). Utility lines connecting the towers, substations, etc., shall be placed underground where practical.
  - d. **Turbine Consistency.** To the extent feasible, the project shall consist of turbines of similar design and size, including tower height. Further, all turbines shall rotate in the same direction.
  - e. **Warnings.**
    - (1) A reasonable visible warning sign concerning voltage must be placed at the base of all pad-mounted transformers and substations.
    - (2) Visible, reflective, colored objects, such as flags, reflectors, or tape shall be placed on the anchor points of guy wires and along the guy wires up to a height of fifteen (15) feet from the ground.
    - (3) Warning signs shall be provided at the entrance to the facility and along the perimeter of the solar farm in locations determined necessary by the Zoning Officer.

- (4) The signs shall be less than four (4) square feet and made with letters and numbers at least three (3) inches in height and shall include the 911 address and an emergency phone number of the operator which shall be answered twenty-four (24) hours a day by a live operator. A nonemergency phone number for the operator shall also be displayed.
  - f. **Climb Prevention.** All wind farm towers must be unclimbable by design or protected by anti-climbing devices such as:
    - (1) Fences with locking portals at least six (6) feet high, or
    - (2) Anti-climbing devices twelve (12) feet vertically from the base of the wind farm tower.
  - g. **Setbacks.** Wind farm towers and appurtenant structures shall meet the following minimum setbacks.
    - (1) Wind farm towers shall be six (6) times the height of the wind farm tower or at least three thousand, two hundred fifty (3,250) feet, whichever is greater, from any principal structure or use on the subject or neighboring property.
    - (2) Wind farm towers shall be one and one-tenth (1.10) times the wind farm tower height from public roads, third party transmission lines, and communication towers.
    - (3) Wind farm towers shall be one thousand six hundred forty (1,640) feet from adjacent property lines, as measured from the center of the wind farm tower foundation.
    - (4) No part of a wind farm tower or foundation shall encroach on a public or private sewage disposal (septic) system
    - (5) Above ground transmission facilities and poles shall be set back one-hundred fifty (150) feet from any portion any principal structure or use on the subject or neighboring property.
  - h. **Use of Public Roads.** An applicant, owner, or operator proposing to use any City or County Road for the purpose of transporting and installation of wind farm or substation parts and/or equipment for construction, operation, or maintenance of the wind farm or substations, shall:
    - (1) Identify all such public roads, and
    - (2) Obtain applicable weight and size permits from relevant government agencies prior to construction.
    - (3) To the extent an applicant, owner, or operator must obtain a weight or size permit from the City, County, or State, the applicant shall provide:
      - (a) Financial assurance, in a reasonable amount agreed to by the relevant parties, for the purpose of repairing any damage to public roads caused by constructing, operating, or maintaining the wind farm prior to the issuance of building permits.
      - (b) A signed copy of any agreements pertaining to the use of public roads prior to the issuance of building permits.
  - i. **Outdoor Storage.** Only the outdoor storage of materials, vehicles, and equipment that directly support the operation and maintenance of the wind farm shall be allowed except for outdoor storage that is expressly allowed in the zoning district specified elsewhere in this title.
3. **Operation.**
- a. **Maintenance.**

- (1) The owner or operator of the wind farm must submit, upon request a summary of the operation and maintenance reports to the City. In addition to the annual summary mentioned in this subsection, the owner or operator must furnish such operation and maintenance reports, as the City reasonably requests.
  - (2) Any replacement of equipment that is not a like-kind replacement using the same equipment in plan as approved shall require that an amendment to the special use.
- b. **Materials Handling, Storage, and Disposal.**
- (1) All solid wastes related to the construction, operation, and maintenance of the wind farm shall be removed from the site promptly and disposed of in accordance with all federal, state, and local laws.
  - (2) A list of hazardous fluids that may be used on site shall be provided. All hazardous materials related to the construction, operation, and maintenance of the wind farm shall be handled, stored, transported, and disposed of in accordance with all applicable local, state, and federal laws.
- c. **Decommissioning Plan.** Prior to receiving approval, the applicant shall submit a decommissioning plan to ensure that the wind farm project is properly decommissioned, which shall include:
- (1) Provisions describing the triggering events for decommissioning the wind farm project. Any nonfunctioning wind turbine of the project shall be decommissioned within thirty (30) days unless the operator has shown to the Zoning Administrator that it is diligently repairing such wind turbine or component.
  - (2) Procedures for the removal of structures, debris, and cabling, including those below the soil surface,
  - (3) Provisions for the restoration of the natural soil and vegetation,
  - (4) An estimate of the decommissioning costs certified by a professional engineer, to be updated every three (3) years or as determined necessary by the Zoning Administrator. The Zoning Administrator may request an independent third-party verification of the decommissioning costs at any time. The costs for this verification shall be reimbursed by the applicant and/or operator.
  - (5) Financial assurance, secured by the owner or operator, for the purpose of performing the decommissioning, in an amount equal to one-hundred and twenty (120) percent of the professional engineer's certified estimate of the decommissioning cost.
  - (6) A provision that the terms of the decommissioning plan shall be binding upon the owner or operator and any of his successors, assigns, or heirs.

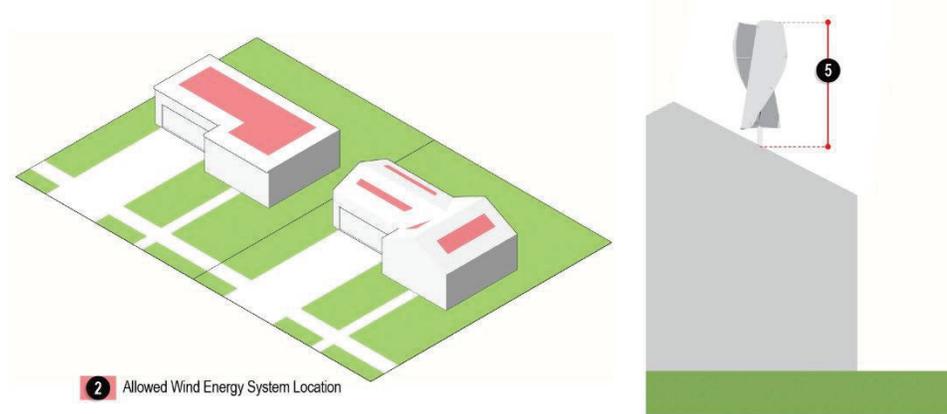
**Figure 4.7. Wind Farm Standards**



**G. Building-Mounted Wind Energy Systems.**

1. **Location.** Building-mounted wind energy systems are allowed on all principal and accessory structures and shall be affixed to the roof deck of a flat roof or to the ridge or slope of a pitched roof and may not be affixed to the parapet or chimney of any structure.
2. **Setback.** The systems must be set back a minimum of five (5) feet from the edge or eave of the roof.
3. **Quantity.** One (1) turbine is allowed for every five hundred (500) square feet of the combined roof area. For a pitched roof, each surface of the roof shall be included in the roof area calculation.
4. **Noise.** Building-mounted wind energy systems shall not exceed the following:
  - a. Fifty-five (55) dBA when in or adjacent to all residential districts.
  - b. Sixty (60) dBA when in or adjacent to all nonresidential districts.
5. **Height.** The maximum height for a building-mounted wind energy system is fifteen (15) feet. The system is measured from the roof surface on which the system is mounted to the highest edge of the system with the exception of any roof pitches ten to twelve (10:12) or greater. The system shall not exceed fifteen (15) feet above the maximum permitted height of the zoning district. Refer to Figure 4.8 of this Section.
6. **Design.** All systems shall employ a helix-style design employing airfoil blades mounted on a vertical rotor shaft. Fan- and turbine-style designs shall be prohibited.
7. **Appearance Standards.** Graphics, colors, corporate logos, and text on wind energy systems located within business or manufacturing zoned properties are permitted, subject to the discretion of the City Council.
8. **Warnings.**
  - a. A reasonable visible warning sign concerning voltage must be placed at the base of all pad-mounted transformers and substations.
  - b. Visible, reflective, colored objects, such as flags, reflectors, or tape shall be placed on the anchor points of guy wires and along the guy wires up to a height of fifteen (15) feet from the ground.
  - c. Warning signs shall be provided at the entrance to the facility and along the perimeter of the solar farm in locations determined necessary by the Zoning Officer.
  - d. The signs shall be less than four (4) square feet and made with letters and numbers at least three (3) inches in height and shall include the 911 address and an emergency phone number of the operator which shall be answered twenty-four (24) hours a day by a live operator. A nonemergency phone number for the operator shall also be displayed.

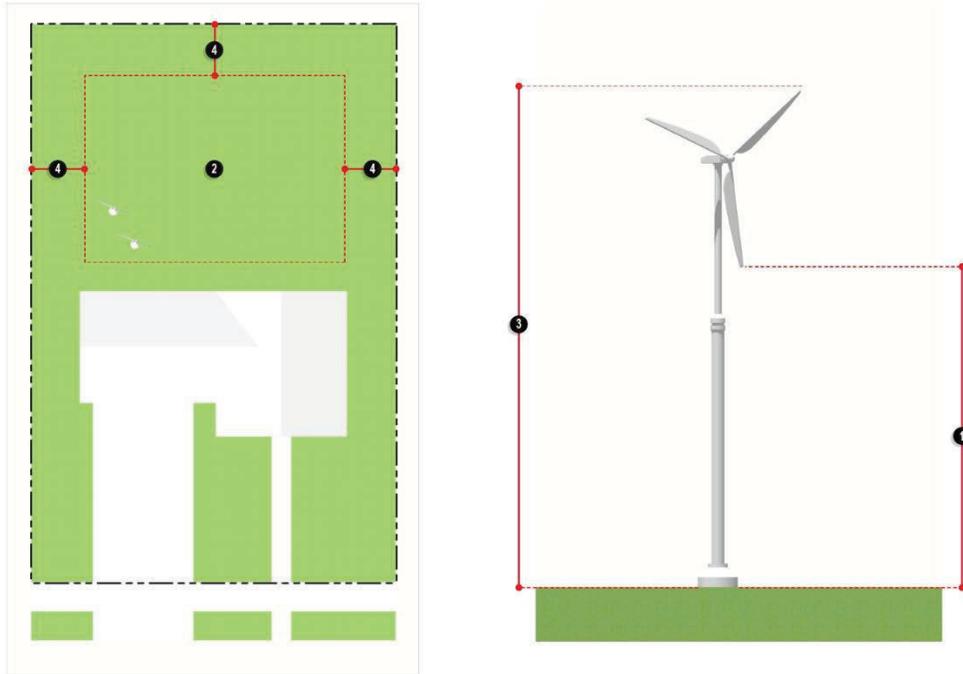
Figure 4.8. Building-Mounted Wind Energy Systems



#### H. Freestanding Wind Energy System – Accessory Use.

1. **Clearance.** In all zoning districts, the minimum clearance between the lowest tip of the rotor or blade and the ground is fifteen (15) feet. See Figure 4.9 of this Section.
2. **Permitted Yard Locations.** A freestanding wind energy system shall not be located within the required front yard or corner side yard. They shall not be permitted within any utility, storm or drainage, water, sewer, or other type of public easement. The use of guywires as supports for a freestanding wind energy system shall be prohibited.
3. **Height.** The maximum height for a freestanding wind energy system shall be one hundred seventy-five (175) feet measured from the base to the highest edge of the system.
4. **Setbacks.** The base of the system shall be set back 1.1 times (110 percent) the height of the highest edge of the system from all property lines, overhead utility line poles, communication towers, public sidewalks or trails, public rights-of-way, and other freestanding wind energy systems. Any system or any ancillary equipment shall not be located within any required setbacks of the respective zoning district.
5. **Access.** A freestanding wind energy system and all components shall be protected against unauthorized access by the public. Climbing access to the tower shall not start until twelve (12) feet above grade.
6. **Noise.** A freestanding wind energy system shall not exceed the following:
  - a. Fifty-five (55) dBA when in or adjacent to all residential districts.
  - b. Sixty (60) dBA when in or adjacent to all nonresidential districts.

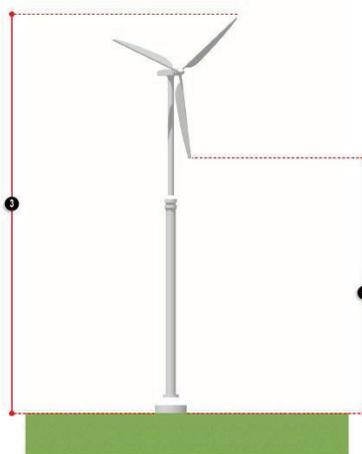
Figure 4.9. Freestanding Wind Energy System - Accessory Use Standards



I. **Freestanding Wind Energy System – Principal Use.**

1. **Clearance.** In all zoning districts, the minimum clearance between the lowest tip of the rotor or blade and the ground is fifteen (15) feet. See Figure 4.10 of this Section.
2. **Permitted Yard Locations.** All parts of any freestanding wind energy system shall meet the setbacks established for the district in which the system is located.
3. **Height.** The maximum height for a freestanding wind energy system shall be one hundred seventy-five (175) feet measured from the base to the highest edge of the system.
4. **Setbacks.** The base of the system shall be set back 1.1 times (110 percent) the height of the highest edge of the system from all property lines, overhead utility line poles, communication towers, public sidewalks or trails, public rights-of-way, and other freestanding wind energy systems. Any system or any ancillary equipment shall not be located within any required setbacks of the respective zoning district.
5. **Access.** Freestanding wind energy systems and all components shall be protected against unauthorized access by the public. Climbing access to the tower shall not start until twelve (12) feet above grade.
6. **Noise.** A freestanding wind energy system shall not exceed the following:
  - a. Fifty-five (55) dBA when in or adjacent to all residential districts.
  - b. Sixty (60) dBA when in or adjacent to all nonresidential districts.
7. **Warnings.**
  - a. A reasonable visible warning sign concerning voltage must be placed at the base of all pad-mounted transformers and substations.
  - b. Visible, reflective, colored objects, such as flags, reflectors, or tape shall be placed on the anchor points of guy wires and along the guy wires up to a height of fifteen (15) feet from the ground.
    - (1) Warning signs shall be provided at the entrance to the facility and along the perimeter of the solar farm in locations determined necessary by the Zoning Officer. The signs shall be less than four (4) square feet and made with letters and numbers at least three (3) inches in height and shall include the 911 address and an emergency phone number of the operator which shall be answered twenty-four (24) hours a day by a live operator. A nonemergency phone number for the operator shall also be displayed.

**Figure 4.10. Freestanding Wind Energy System - Principal Use Standards**



## 10-4-14. Medical and Adult Use Cannabis Use Standards

### A. General Requirements for all Cannabis Uses.

1. **Business Hours.** Business hours for all cannabis businesses shall be from 10:00 a.m. to 8:00 p.m. Monday through Saturday and 12:00 p.m. to 5:00 p.m. on Sundays.
2. **On-Premises Consumption.** On-premises consumption of cannabis products in all cannabis businesses operations is prohibited.
3. **Signage.**
  - a. Recreational cannabis dispensaries shall be limited to one (1) wall-mounted sign per business.
  - b. All cannabis establishments shall be prohibited from having electronic message board signs.
  - c. Signage for cannabis establishments shall not contain cannabis imagery such as leaves, plants, smoke, paraphernalia, or cartoonish imageries.

### B. Cannabis Craft Grower.

1. Facility may not be located within five hundred (500) feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, or religious institutions, regardless of corporate boundary. Commercial/trade schools shall not be classified as a public or private school for purposes of this section.
2. Facility may not be located within two hundred fifty (250) feet of the property line of a pre-existing property zoned or used for residential purposes, unless in the A-1 zoning district where the residential use is owned by the same owner as the adult-use cannabis craft grower, regardless of corporate boundary.
3. Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.
4. Cannabis craft growers may co-locate with a dispensing organization or a cannabis infuser organization, or both, only on properties zoned within the M-1 or M-2 districts.
5. Cannabis craft grower shall be limited to one (1) facility within the boundaries of the City.

### C. Cannabis Cultivation Center.

1. Facility may not be located within five hundred (500) feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, or religious institutions, regardless of corporate boundary. Commercial/trade schools shall not be classified as a public or private school for purposes of this Section.
2. Facility may not be located within two hundred fifty (250) feet of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.
3. Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.
4. Cannabis cultivation center shall be limited to one (1) facility within the boundaries of the City.

### D. Cannabis Dispensing Organization.

1. Facility may not be located within five hundred (500) feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, or religious institutions, regardless of corporate boundary. Commercial/trade schools shall not be classified as a public or private school for purposes of this section.

2. Facility may not be located in a dwelling unit or within two hundred fifty (250) feet of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.
3. Facility shall have a maximum gross floor area of five thousand (5,000) square feet, of which at least seventy-five (75) percent of the floor area occupied by a dispensing organization shall be devoted solely to the activities the dispensing cannabis or cannabis products as authorized by the Act and shall not sell food or alcohol for consumption on the premises.
4. Drive-through facilities are prohibited.
5. E-commerce delivery service platforms are prohibited.
6. Cannabis dispensing organizations shall be limited to one (1) facility within the boundaries of the City.

**E. Cannabis Infuser Organization.**

1. Facility may not be located within five hundred (500) feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home or religious institutions, regardless of corporate boundary. Commercial/trade schools shall not be classified as a public or private school for purposes of this section.
2. Facility may not be located in a dwelling unit or within two hundred fifty (250) feet of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.
3. Infuser organizations may co-locate with a dispensing organization or a cannabis craft grower organizations, or both, only on properties zoned within the M-1 or M-2 Districts. In such instances, the maximum gross floor area dedicated to the dispensing organization shall be five thousand (5,000) square feet of which seventy-five (75) percent of the floor area must be devoted to the activities authorized by the Act.
4. Cannabis infuser organizations shall be limited to one (1) facility within the boundaries of the City.

**F. Cannabis Processing Organization.**

1. Facility may not be located within five hundred (500) feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, or religious institutions, regardless of corporate boundary. Commercial/trade schools shall not be classified as a public or private school for purposes of this section.
2. Facility may not be located in a dwelling unit or within two hundred fifty (250) feet of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.
3. At least seventy-five (75) percent of the floor area occupied by a dispensing organization shall be devoted solely to the activities the dispensing cannabis or cannabis products as authorized by the Act, and shall not sell food or alcohol for consumption on the premises.
4. Cannabis processing organizations shall be limited to one (1) facility within the boundaries of the City.

**G. Cannabis Transporting Organization.**

1. Facility may not be located within five hundred (500) feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, or religious institutions, regardless of corporate boundary. Commercial/trade schools shall not be classified as a public or private school for purposes of this section.
2. Facility may not be located in a dwelling unit or within two hundred fifty (250) feet of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.

3. The transporting organization shall be the sole use of the space in which it is located. Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.
4. Cannabis transporting organization shall be limited to one (1) within the boundaries of the City.

## 10-4-15. Institutional, Public, and Utility Use Standards

### A. Telecommunication Tower and Antennae.

#### 1. Applicability.

- a. **New Towers and Antennas.** All new towers or antennas in Yorkville shall be subject to these regulations, except as provided in subsections B through E of this section inclusive.
- b. **Amateur Radio Station Operator/Receive Only Antennas.** This chapter shall not govern any tower, or the installation of any antenna, that is under eighty (80) feet in height and is owned and operated by a federally licensed amateur radio station operator or is used exclusively for receive only antennas. No receive only antenna shall exceed the highest point on the nearest residential rooftop of a dwelling by more than ten (10) feet.
- c. **Preexisting Towers or Antennas.** Existing towers and existing antennas which predated this chapter, shall not be required to meet the requirements of this chapter other than the requirements of Sections 10-4-15(A)(2)(f), (A)(2)(h), and (A)(2)(r) of this chapter. All preexisting towers and antennas shall be subject to the tower and antenna administrative fee.
- d. **AM Array.** For purposes of implementing this chapter, AM array, consisting of one (1) or more tower units and supporting ground system which functions as one (1) AM broadcasting antenna, shall be considered one (1) tower. Measurements for setbacks and separation distances shall be measured from the outer perimeter of the towers included in the AM array. Additional tower units may be added within the perimeter of the AM array by right.
- e. **Within Public Right-of-Way:** If the tower and/or antenna is situated within the public right-of-way, such tower and/or antenna must meet the requirements of title 7, chapter 8, "Construction of Utility Facilities in Rights-of-Way", of this Code.

#### 2. General Requirements.

- a. **Principal or Accessory Use.** Antennas and towers may be considered either principal or accessory uses. A different existing use of an existing structure on the same lot shall not preclude the installation of an antenna or tower on such lot.
- b. **Lot Size.** For purposes of determining whether the installation of a tower or antenna complies with Yorkville's development regulations, including, but not limited to, setback requirements, lot coverage requirements, and other such requirements, the dimensions of the entire lot shall control, even though the antennas or towers may be located on leased parcels within such lot.
- c. **Inventory of Existing Sites.** Each applicant for approval of an antenna and/or tower shall provide to the Zoning Officer an inventory of its existing towers, antennas, or sites approved for towers or antennas, that are either within the jurisdiction of Yorkville or within one (1) mile of the border thereof, including specific information about the location, height, and design of each tower. The Zoning Officer may share such information with other applicants applying for administrative approvals or special use permits under this chapter or other organizations seeking to locate antennas within the jurisdiction of Yorkville, provided, however that the Zoning Officer is not, by sharing such information, in any way representing or warranting that such sites are available or suitable.

- d. **Aesthetics.** Towers and antennas shall meet the following requirements:
  - (1) Towers shall either maintain a galvanized steel finish or, subject to any applicable standards of the FAA, be painted a neutral color so as to reduce visual obtrusiveness.
  - (2) At a tower site, the design of the buildings and related structures shall, to the extent possible, use materials, colors, textures, screening, and landscaping that will blend them into the natural settings and surrounding buildings.
  - (3) If an antenna is installed on a structure other than a tower, the antenna and supporting electrical and mechanical equipment must be of a neutral color that is identical to, or closely compatible with, the color of the supporting structure so as to make the antenna and related equipment as visually unobtrusive as possible.
- e. **Lighting.** Towers shall not be artificially lighted, unless required by the FAA or other applicable authority. If lighting is required, the lighting alternatives and design chosen must cause the least disturbance to the surrounding views.
- f. **State or Federal Requirements.** All towers must meet or exceed current standards or regulations of the FAA, the FCC and any other agency of the state or federal government with the authority to regulate towers and antennas. If such standards and regulations are changed, then the owners of the towers and antennas governed by this chapter shall bring such towers and antennas into compliance with such revised standards and regulations within six (6) months of the effective date of such standards and regulations, unless a more restrictive compliance schedule is mandated by the controlling state or federal agency. Failure to bring towers and antennas into compliance with such revised standards and regulations shall constitute grounds for the removal of the tower or antenna at the owner's expense.
- g. **Building Codes/Safety Standards.** Any owner or operator of an antenna, antenna structure or tower shall maintain the antenna, antenna structure or tower in compliance with the standards contained in the current and applicable state or local building codes and the applicable standards for towers that are published by the national electrical code NFPA 70 and international building code; radio, television sec. 3108, as amended from time to time. If, upon inspection, the City of Yorkville concludes that a tower fails to comply with such codes and standards and constitutes a danger to persons or property, then upon notice being provided to the owner of the tower, the owner shall have thirty (30) days to bring such tower into compliance with such standards. Failure to bring the antenna, antenna structure, or tower into compliance within the thirty (30) day period shall constitute grounds for the removal of the antenna, antenna structure or tower at the owner's expense.
- h. **Measurement.** For purposes of measurement, tower setbacks and tower separation distances shall be calculated and applied to facilities located in Yorkville irrespective of municipal and county jurisdictional boundaries.
- i. **Not Essential Services.** Antennas, antenna structures, and towers shall be regulated and permitted pursuant to this chapter and shall not be regulated or permitted as essential services, public utilities, or private utilities.
- j. **Public Notice.** For purposes of this chapter, any special use request, variance request, or appeal of an administratively approved use or special use shall require public notice and individual notice by the City of Yorkville to all abutting property owners and all properties that are located within two hundred fifty feet (250) feet of the zoning lot in question. Streets, alleys and watercourses shall not be considered in the determination of "abutting" nor in calculating the two hundred fifty (250) feet.
- k. **Signs.** No signs shall be allowed on an antenna or tower other than those required by the FCC.
- l. **Buildings and Support Equipment.** Buildings and support equipment associated with antennas or towers shall comply with the requirements of Section 10-4-15 (A)(4)(k) of this chapter.

- m. **Multiple Antenna/Tower Plan.** The City of Yorkville encourages all plans for towers and antenna sites to be submitted in a single application for approval of multiple towers and/or antenna sites. Applications for approval of multiple sites shall be given priority in the review process.
- n. **Antenna on Existing Structures.** Any antenna may be approved by the City of Yorkville as an accessory use to any commercial, industrial, professional, institutional, or multi-unit structure of eight (8) or more dwelling units, provided:
  - (1) The antenna does not extend more than thirty (30) feet above the highest point of the structure;
  - (2) The antenna complies with all applicable FCC and FAA regulations; and
  - (3) The antenna complies with all applicable building codes and safety standards as referenced in subsection g of this section.
- o. **Antennas on Existing Towers.** An antenna which is attached to an existing tower may be approved by the zoning officer and, to minimize adverse visual impacts associated with the proliferation and clustering of towers, collocation of antennas by more than one (1) carrier on existing towers shall take precedence over the construction of new towers, provided such collocation is accomplished in a manner consistent with the following:
  - (1) **Additional Antenna.** A tower which is modified or reconstructed to accommodate the collocation of an additional antenna shall be of the same tower type as the existing tower, unless the Zoning Officer allows reconstruction as a monopole.
  - (2) **Height.**
    - (a) An existing tower may be modified or rebuilt to a taller height, not to exceed thirty (30) feet over the tower's existing height, such height not exceeding one hundred fifty (150) feet in total, to accommodate the collocation of an additional antenna.
    - (b) The height change referred to in subsection (O)(2)(a) of this section may only occur one (1) time per communication tower.
    - (c) The additional height referred to in subsection (O)(2)(a) of this section shall not require an additional distance separation. The tower's premodification height shall be used to calculate such distance separations.
  - (3) **On-Site Location.**
    - (a) A tower which is being rebuilt to accommodate the collocation of an additional antenna may be moved on-site within fifty (50) feet of its existing location.
    - (b) After the tower is rebuilt to accommodate collocation, only one (1) tower may remain on the site.
    - (c) A relocated on-site tower shall continue to be measured from the original tower location for purposes of calculating separation distances between towers. The relocation of a tower hereunder shall in no way be deemed to cause a violation of this chapter.
    - (d) The on-site relocation of a tower which comes within the separation distances to residential units or residentially zoned lands as established in this zoning ordinance shall only be permitted when approved by the Zoning Officer.
  - (4) **New Towers in Nonresidential Zoning Districts.** An applicant may locate any new tower as provided in Table 10-3-12(B), provided that: a) a licensed professional engineer certifies the tower can structurally accommodate the number of shared users proposed by the applicant; b) the Zoning Officer concludes the tower is in conformity with the goals set forth in this subsection o and the requirements of this subsection; c)

the tower meets the setback and separation requirements Section 10-4-15(A)(4)(e) of this chapter; and d) the tower meets the following height and usage criteria:

- (a) For a single user, up to and including one hundred twenty (120) feet in height;
  - (b) For two (2) users, up to one hundred fifty (150) feet in height; and
  - (c) For three (3) or more users, up to and including one hundred eighty (180) feet in height.
- p. **Roadway Access.** All sites on which antennas, antenna structures and towers are located must have a passable roadway access of compacted macadam base not less than seven (7) inches thick surfaced with not less than two (2) inches of asphaltic concrete or some comparable dustless material.
- q. **Fencing.** The structures upon any site upon which an antenna, antenna structure, or tower is located shall be surrounded by an opaque screen which is no less than six (6) feet in height and equipped with an appropriate anticlimbing device. Screening materials shall include either wooden or chainlink fencing. Shrubbery and bushes shall be required, in addition to the wooden or chainlink fence, unless specifically waived by Yorkville in its discretion in appropriate cases.
- r. **Disguised Structures.** The provider of an antenna, antenna structure, or tower may propose to disguise the proposed antenna, antenna structure or tower. Any such disguise must be aesthetically consistent with the character of the surrounding area and environment, and be constructed in such a manner where the health or safety of Yorkville residents shall not be endangered. Yorkville may require the disguise of an antenna, antenna structure or tower as a condition of approval of a building permit or special use permit if the antenna, antenna structure or tower is to be erected on a golf course or other public recreational area.
- s. **Annual Administrative Fee and Certifications.**
- (1) The annual administration fee payable to the City of Yorkville by any owner and/or operator of an antenna, antenna structure, or tower shall be the sum of thirty-five (35) dollars which shall be due on or before January 10<sup>th</sup> of each calendar year commencing with calendar year 2001.
  - (2) In the event a tower is inspected and a certification provided by the owner and/or operator of said tower or related facility showing compliance with all regulations, the above fee shall be the only fee charged. In the event the owner and/or operator of an antenna, antenna structure, or tower fails to have the certification as is required annually to be filed with the City under the terms of this subsection, the owner and/or operator shall reimburse the City for the actual cost of the outside consultant the City deems necessary to conduct said inspection which shall be a minimum of three hundred fifty (350) dollars and any additional cost incurred therein.
  - (3) The City of Yorkville reserves the right to increase or decrease the amount of the administrative fee as it deems necessary. A separate administrative fee shall be paid by each user or collocator on a tower.
    - (a) **Permit Required.** Prior to the construction of an antenna, antenna structure or tower the provider of the radio, television, or telecommunications services shall obtain a permit from Yorkville for the erection of such antenna, antenna structure or tower. An applicant for a permit for an antenna, antenna structure, or tower shall pay a fee in accordance with the fee schedule set forth in title 8, chapter 10 of this Code, plus any reasonable legal, engineering, or consulting fees at the conclusion of the review.
    - (b) **Waiver of Provisions.** An applicant can request a waiver of any provision of this chapter upon the showing of appropriate justification and benefit to the public. Such request shall be treated as a request for a variance and the appropriate procedures thereto shall apply.

### 3. Permitted Uses.

- a. **General.** The following uses listed in this section are deemed to be permitted uses and shall not require a special use permit.
- b. **Uses.** Antennas, antenna structures and towers are permitted as an accessory use as provided in Table 10-3-12(B) except that part of any zoning district which is located in a floodplain, so long as said antennas or towers conform to the following and all other requirements of this title:
  - (1) Antennas and towers may be located on property owned, leased, or otherwise controlled by Yorkville, particularly and expressly including Yorkville's water tower sites, and City Hall and police station-sites, provided that a lease authorizing such antenna, antenna structure, or tower has been approved by Yorkville.
  - (2) Antennas or towers are permitted to be located on the Burlington Northern Railroad easement running southwest and northeast through Yorkville, subject to Section (A)(2)(a) through (s).

### 4. Special Uses and Accessory Uses.

#### a. General Provisions.

- (1) Radio and telecommunications and towers used for radio transmission, or television transmission when allowed as a Special Use shall be subject to the special use provisions contained within Section 10-8-5 of this title and applications for special use permits shall be subject to the procedures and requirements of this title, except as modified in this chapter.
- (2) In granting a special use permit, the Plan Commission may impose conditions to the extent the Plan Commission concludes such conditions are necessary to minimize any adverse effect of the proposed tower on adjoining properties.
- (3) Any information of an engineering nature that the applicant submits, whether civil, mechanical, or electrical, shall be certified by a licensed professional engineer.
- (4) An applicant for a special use permit shall submit the information described in this section and a nonrefundable fee as established by resolution of the City Council of Yorkville to reimburse Yorkville for the cost of reviewing the application.
- (5) Antennas, antenna structures and towers shall be allowed as special uses only consistent with all of the requirements of this chapter in the following zoning districts and for the following uses.
  - (a) R-1, Single-Unit Suburban Residence: For commercial/trade school, place of worship/assembly, golf course, or public utility facilities only;
  - (b) R-2, Single-Unit Traditional Residence: For commercial/trade school, place of worship/assembly, golf course, or public utility facilities.

- b. **Information Required.** In addition to any information required for applications for special use permits referenced above, each petitioner requesting a special use permit under this chapter for an antenna, antenna structures, and tower shall submit a scaled site plan and a scaled elevation view and other supporting drawings, calculations, and other documentation signed and sealed by appropriate licensed professionals, showing the location, type and dimensions of all improvements, including information concerning topography, radio frequency coverage, tower height requirements, setbacks, drives, proposed means of access, parking, fencing, landscaping, adjacent uses, adjacent roadway, and other information deemed necessary by Yorkville to be necessary to assess compliance for this chapter. In addition, the following information shall be supplied:
  - (1) Legal description of the parent track and leased parcel (if applicable);

- (2) The setback distance between the proposed structure and the nearest residential unit, platted residentially zoned properties and unplatted residentially zoned property;
  - (3) The separation distance from other structures in the inventory of existing sites submitted pursuant to Section 10-4-15 (A)(2)(c) shall be shown on an updated site plan or map and the applicant shall also identify the type of construction of the existing structure(s) and the owner/operator of the existing structure(s), if known;
  - (4) A landscape plan showing specific landscape materials; the method of fencing and finish color and, if applicable, the method of camouflage and illumination;
    - (a) A description of compliance with Sections 10-4-15 (A)(2)(c)(e)(f)(g)(h)(i)(m) of this chapter and all applicable federal, state or local laws;
    - (b) A notarized statement by the applicant as to whether construction of the tower will accommodate collocation of additional antennas for future users;
    - (c) Identification of the entities providing the backhaul network for the structure(s) described in the application and other cellular sites owned or operated by the applicant in Yorkville;
    - (d) A description of the suitability of the use of existing towers, other structures or alternative technology not requiring the use of towers or structures to provide the services to be provided through the use of the proposed new tower; and
    - (e) A description of the feasible location(s) of future towers or antennas within Yorkville based upon existing physical, engineering, technological or geographical limitations in the event the proposed tower is erected.
  - (5) An applicant shall be notified within thirty (30) days if the application is incomplete. The City shall make a decision on collocation within ninety (90) days and all other siting applications within one hundred fifty (150) days of the receipt of a completed application.
- c. **Factors Considered in Granting Special Use Permits:** The City of Yorkville shall consider the following factors in determining whether to issue a special use permit above and beyond those factors referenced in Section 10-8-5 of this title. The City of Yorkville may waive or reduce the burden on the petitioner of one (1) or more of these criteria if Yorkville concludes that the goals of this chapter are better served thereby.
- (1) Height of the proposed antenna, antenna structure or tower;
  - (2) Proximity of the antenna, antenna structure or tower to residential structures and residential district boundaries;
  - (3) Nature of uses on adjacent and nearby properties;
  - (4) Surrounding topography;
  - (5) Surrounding tree coverage and foliage;
  - (6) Design of the antenna, antenna structure or tower, with particular reference to design characteristics that have the effect of reducing or eliminating visual obtrusiveness;
  - (7) Proposed ingress and egress.
- d. **Height.** No antenna, antenna structure, or tower shall exceed a height of one hundred (100) linear feet in aerial height. Where an arm has been installed to facilitate collocation of an additional antenna on the existing antenna structure or tower, the arm shall not exceed a length of twelve (12) linear feet.

e. **Setbacks and Separation.**

- (1) **Setbacks.** Antennas, antenna structures or towers must be set back a distance equal to the height of the antenna, antenna structure, or tower from any off-site, residential structure. Antenna structures, guylines, and equipment shelters must satisfy the minimum setback requirements for the governing zoning district.
- (2) **Separation.** The following separation requirements shall apply to all towers and antennas for which a special use permit is required; provided, however, that the Plan Commission may reduce the standard separation requirements if the goals of this chapter would be better served thereby, or if enforcement of said setback would effectively prohibit said tower:

(a) **Separation From Off-Site Uses/Designated Area.**

- (i) Tower separation shall be measured from the base of the tower to the lot line of the off-site uses and/or designated areas as specified in Table 10-4-15(A)(4)(e)(2) of this section.
- (ii) Separation requirements for towers shall comply with the minimum standards established in Table 10-4-15(A)(4)(e)(2) of this section.

Off-Site Use/Designated Area	Separation Distance
<i>Single-unit or duplex principal use</i>	500 feet
<i>Vacant single-unit or duplex use on residentially zoned land which is either platted or has preliminary subdivision plan approval which is not expired</i>	500 feet
<i>Vacant unplatted residentially zoned lands, including unplatted residential use property without a valid preliminary subdivision plan or valid development plan approval and any multi-unit residentially zoned land</i>	500 feet
<i>Existing multi-unit residential</i>	100 feet or 100 percent of the tower height, whichever is greater
<i>Nonresidentially zoned land or nonresidential uses</i>	None
<i>The Fox River or any watercourse</i>	500 feet as measured from the shore
<i>Major highways (as defined in the Yorkville comprehensive plan)</i>	500 feet from the right-of-way

- (3) **Separation Distances Between Towers.** Separation distances between towers shall be applicable for and measured between the proposed tower and preexisting towers. The separation distances shall be measured by drawing or following a straight line between the base of the existing tower and the proposed base, pursuant to a site plan, of the proposed tower. The separation distances shall be as shown in Table 10-4-15(A)(4)(e)(3) of this section.

Existing Tower Type	Separation Distance (feet)			
	Lattice	Guyed	Monopole (Taller Than 75 Feet)	Monopole (Shorter Than 75 Feet)
<i>Lattice</i>	1,000	1,500	500	250
<i>Guyed</i>	1,000	1,750	1,500	1,250
<i>Monopole (Taller than 75 feet)</i>	500	1,500	250	250
<i>Monopole (Shorter than 75 feet)</i>	250	1,250	250	250

- f. **Siting on Wetland Prohibited.** No antenna, antenna structure, or tower shall be located in an area which has been designated as a wetland either by the City of Yorkville, Kendall County, the State of Illinois Department of Natural Resources, the United States Department of the Interior or the United States Army Corps of Engineers, and any and all governmental bodies and agencies having jurisdiction.
- g. **FCC Signage.** To the extent that signage is required by the FCC on an antenna structure, or tower, that signage shall constitute no more than five (5) percent of the square footage of the antenna, antenna structure, or tower or shall be no larger than is required by the FCC, whichever shall constitute the smallest signage area.
- h. **Preservation of Landscape.** Existing mature tree growth and natural landforms on the proposed antenna, antenna structure, or tower site shall be preserved to the maximum extent possible.
- i. **Utilities and Access Required.** Radio and telecommunications antennas, antenna structures, and towers, including, but not limited to, those used for small wireless services, small wireless facilities, and unlicensed wireless services, shall be required to include adequate utilities, access, and/or other facilities necessary for the servicing of the antenna, antenna structure or tower. All such utilities shall be buried.
- j. **Signal Interference.** No signal transmission from any antenna, antenna structure, or tower shall interfere with police, fire, public works or any other governmental radio band signals. In the case of the possibility of such interference based upon the frequencies selected for the proposed antenna, antenna structure, or tower, the petition for special use shall be denied.
- k. **Equipment Shelter and Equipment Cabinets.** A provider of a radio, television, or telecommunications antenna, antenna structure, or tower may provide an equipment shelter on the site of the antenna, antenna structure, or tower. The square footage of the equipment shelter may not exceed more than twenty (20) percent of the total square footage of the antenna, antenna structure or tower ground site or four hundred fifty (450) square feet, whichever is greater. At any antenna, antenna structure, or tower site in which more than one (1) antenna has been collocated, no more than three (3) equipment shelters shall be allowed. Multiple equipment shelters shall be contained under one (1) roof if at all practicably possible. No equipment shelter shall be approved as part of the site plan unless appropriate electrical power and road ingress and egress facilities are planned for inclusion at the equipment shelter site.
- l. **Equipment Cabinets.**
  - (1) In residential districts, the equipment cabinet or structure may be located in a front or side yard provided the cabinet or structure is no greater than four (4) feet in height or twenty-four (24) square feet of gross floor area and the cabinet/structure is located a minimum of six (6) feet from all lot lines. The cabinet/structure shall be screened by hedging or shrubbery with an ultimate height of at least forty-two (42) inches to forty-eight (48) inches and a planted height of at least thirty-six (36) inches.
  - (2) In a rear yard, provided the cabinet or structure is no greater than six (6) feet in height or sixty-four (64) square feet in gross floor area. The structure or cabinet shall be screened by hedging or shrubbery with an ultimate height of eight (8) feet and a planted height of at least thirty-six (36) inches. In all other instances, structures or cabinets shall be screened from view of all residential properties which abut or are directly across the street from the structure or cabinet by a solid fence six (6) feet in height or a hedge with an ultimate height of eight feet (8') and a planted height of thirty-six (36) inches.
  - (3) In business and manufacturing districts the equipment cabinet or structure shall be no greater than six (6) feet in height or sixty-four (64) square feet in gross floor area. The structure or cabinet shall be screened by a hedge or shrubbery with an ultimate height of eight (8) feet and a planted height of at least thirty-six (36) inches. In all other instances, structures or cabinets shall be screened from view of all residential properties which abut or are directly across the street from the structure or cabinet by a solid fence six (6) feet in height or a hedge with an ultimate height of eight (8) feet and a planted height of at least thirty-six (36) inches.

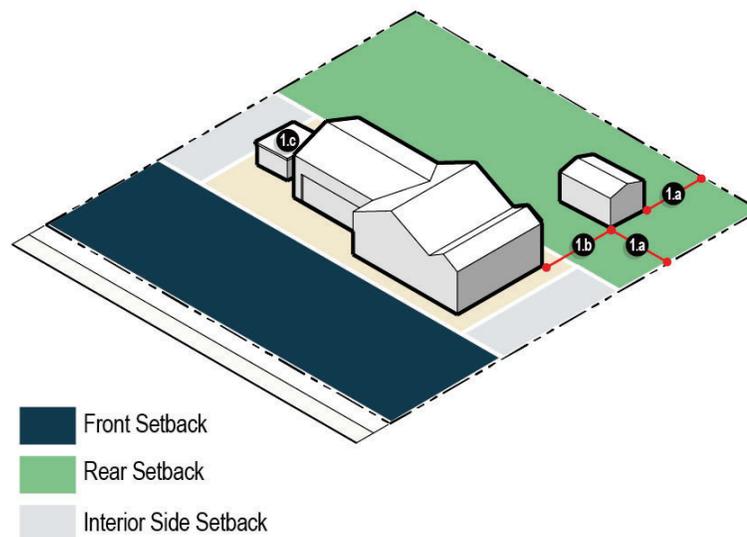
- m. **Code Requirements.** Any antenna, antenna structure, or tower must meet code requirements established by the National Electrical Code, NFPA 70 and International Building Code; Radio, Television Towers Codes currently in effect as required by Yorkville and all applicable marking and lighting standards as established by the Federal Aviation Administration.
  - n. **Removal of Abandoned Antennas, Antenna Structures, or Towers.** Any antenna, antenna structure, or tower that is not operated for a continuous period of twelve (12) months or for which the annual administrative fee is not paid within a twelve (12) month period shall be considered abandoned, and the owner of such antenna, antenna structure, or tower shall remove same from within ninety (90) days of receipt of written notice from Yorkville notifying the owner of such abandonment. If such antenna, antenna structure, or tower is not removed within said ninety (90) days Yorkville shall remove such antenna, antenna structure, or tower at the owner's expense and file a lien against the real estate for the cost of removal or such other action as provided by law. If there are two (2) or more users of a single antenna, antenna structure, or tower, then this provision shall not become effective until all users cease using the antenna, antenna structure, or tower.
  - o. **Collocation.** A request for approval of a special use permit for the installation of an antenna, alternative antenna, antenna structure or tower, the Zoning Board may by express condition require that the applicant shall allow, on a commercially reasonable basis, other providers of small wireless telecommunications services to collocate additional antennas or antenna structures on a freestanding pole which is part of applicant's proposed small wireless facility, where collocation is technologically feasible.
7. **Nonconforming Uses.**
- a. **Prohibited Expansion of Nonconforming Use.** Towers that are constructed and antennas that are installed in accordance with the provisions of this chapter shall not be deemed to constitute the expansion of a nonconforming use or structure.
  - b. **Preexisting Towers.** Preexisting towers shall be allowed to continue their usage as they presently exist. Routine maintenance (including replacement with a new tower of like construction and height) shall be permitted on such preexisting towers. New construction other than routine maintenance on a preexisting tower shall comply with the requirements of this chapter.
  - c. **Rebuilding Damaged or Destroyed Nonconforming Antennas, Antenna Structures or Towers.** Notwithstanding any provision in this chapter to the contrary, bona fide nonconforming antennas, antenna structures or towers or antennas that are damaged or destroyed may be rebuilt without having first obtained administrative approval or a special use permit and without having to meet the separation requirements specified elsewhere in this chapter. The type, height, and location of the tower on-site shall be of the same type and intensity as the original facility approved. Building permits to rebuild a facility shall comply with the then applicable building codes and shall be obtained within one hundred eighty (180) days from the date the facility is damaged or destroyed. If no permit is obtained within the time specified or if said permit expires, the tower or antenna shall be deemed abandoned as specified in Section 10-4-15 (A)(4)(n) of this chapter.
8. **Annual Reporting of Information.** Each owner of an antenna, antenna structure, or tower regulated under this chapter, and including those previously existing structures which would have been regulated under this chapter, shall, on an annual basis, furnish Yorkville with such information as is required by Yorkville to aid with the administration of this chapter, such as changes in availability of space on any tower for collocation of additional antennas, plans to abandon a position on a tower, thereby leaving space for the possible collocation of another antenna, plans and/or willingness to modify said tower and antenna structure so as to provide for the possibility of collocation, or intentions to abandon a tower structure, or other nonproprietary information as may be required by Yorkville. Upon written notice from the City of Yorkville to the owner thereof, the effective date of this chapter, which tower and/or antenna structure would otherwise be regulated by this chapter, shall register with Yorkville, and shall provide such nonproprietary information as is deemed useful by Yorkville for administration of this chapter. This section is specifically deemed to have retroactive effect.

## 10-4-16. Accessory Use Standards

### A. Accessory Buildings and Accessory Structures, Permanent.

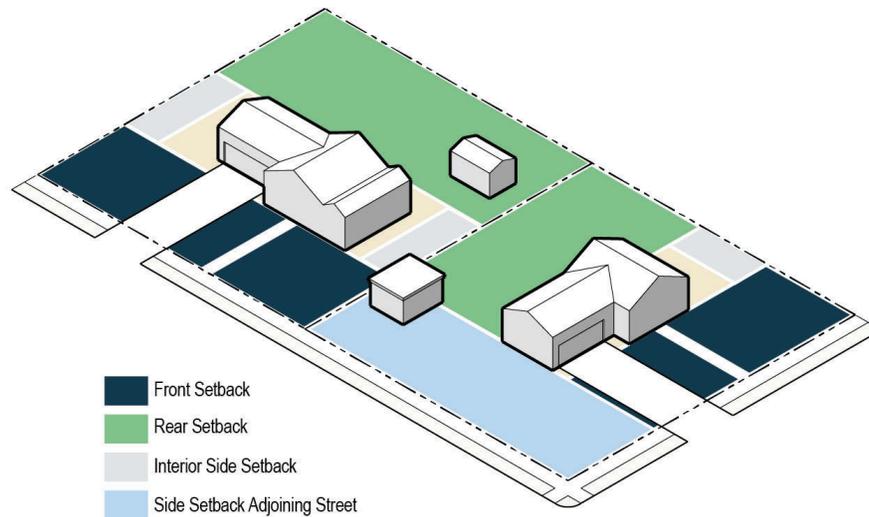
1. **Location.** Accessory buildings and structures shall be subject to the following locational requirements:
  - a. If located entirely within the required rear or side yard the accessory building or structure shall be located a minimum of five (5) feet from side and rear property lines.
  - b. Only accessory buildings shall be located at least ten (10) feet from the principal building, however, accessory structures may be attached to or located adjacent to the principal building.
  - c. If located entirely within the buildable area of the lot, the accessory building or structure shall not be located between the primary building and the front property line.
  - d. No permanent accessory building or structure shall be located within a public utility easement or within a designated stormwater overflow route.
  - e. If located partially in a required yard and partially in the buildable area of the lot, the accessory building or structure shall maintain the required side setback for the full length of the property and be a minimum of five (5) feet from the rear property line.

**Figure 4.11. Permanent Accessory Buildings and Accessory Structures Standards**



2. **Location on Reversed Corner Lots.** On a reversed corner lot in a residence district and within fifteen (15) feet of any adjacent property to the rear in a residence district, no accessory building or permanent accessory structure or portion thereof shall be closer to the side lot line abutting the street than a distance equal to sixty (60) percent of the minimum depth required in Table 10-3-9(A) for the front yard on such adjacent property to the rear. Further, in the above instance, no such accessory building or structure shall be located within five (5) feet of any part of a rear lot line which coincides with a side lot line or portion thereof of property in a residence district.

**Figure 4.12. Permanent Accessory Building and Accessory Standards - Location on Reversed Corner Lots**



3. **Time of Construction.** No accessory building or permanent accessory structure with a connected water supply shall be constructed on any zoning lot prior to the start of construction of the principal building to which it is accessory, or as provided in section 10-3-3 of this title for contiguous parcels.
4. **Height of Accessory Buildings or Structures in Required Rear Yards.** No accessory building or permanent accessory structure or portion thereof shall exceed fifteen (15) feet in height when located within the required rear yard.

**B. Accessory Commercial Unit**

1. Only one (1) ACU may be allowed per lot.
2. An accessory commercial unit (ACU) shall be located in a permanent accessory building or structure subject to all standards in Section 10-4-16(A).
3. Outdoor seating, drive-throughs, outdoor display areas, and rooftop decks associated with an ACU shall be prohibited.
4. An ADA-compliant pedestrian circulation system shall connect the primary entrance of the ACU building with the sidewalk in a way that does not require out-of-direction travel.
5. The hours of operation shall be limited to between 7 am and 9 pm daily.
6. The City Council may limit the number of customers or clientele served by the ACU per day during the Special Use Permit process.
7. The ACU shall use the same mailbox, water meter, and trash containers as the principal use. The use of additional mailboxes, water meters, or trash containers by the secondary dwelling unit separate from the principal use shall be prohibited.
8. The owner of the property on which the ACU is situated shall continue to occupy the principal residential structure on-site as their primary residence.

**C. Domestic Hens.** The keeping of domestic hens shall be subject to the provisions of Title 8, Chapter 19 of the City of Yorkville Code of Ordinances.

**D. Drive Throughs.**

1. Drive throughs shall be permitted a maximum of four (4) menu boards per lane.
2. Each menu board or pre-order board shall not exceed sixty (60) square feet in area and ten (10) feet in height. Menu boards and pre-order boards may utilize electrically activated changeable copy message centers for one hundred (100) percent of the permitted menu board or pre-order board area and must follow all regulations of Section 10-6-5(B).
3. Any structural element of a drive through, including pavement, speaker boxes, or menu signs shall be located a minimum distance of five hundred (500) feet from the property line of any residentially zoned parcel.
4. Any speaker or intercom associated with a drive through shall not be audible beyond the boundaries of the property.
5. Stacking spaces and lanes for drive through stations shall not impede on- and off-street traffic movement, shall not cross off-street parking areas or drive aisles and shall not impede pedestrian access to a public building entrance.
6. Drive through lanes shall be separated from off-street parking areas. Individual lanes shall be striped, marked, or otherwise delineated, subject to City Engineer approval.
7. Drive through facilities shall be provided with a bypass lane with a minimum width of twelve (12) feet unless an alternative means of exit is approved by the City Engineer.
8. Stacking lanes shall have a minimum depth of twenty (20) feet per stacking space and the following minimum lane widths:
  - a. One (1) lane: twelve (12) feet.
  - b. Two (2) or more lanes: ten (10) feet per lane.
  - c. Drive through facilities shall be required to provide a minimum number of stacking spaces as detailed in Table 10-4-15 (D).

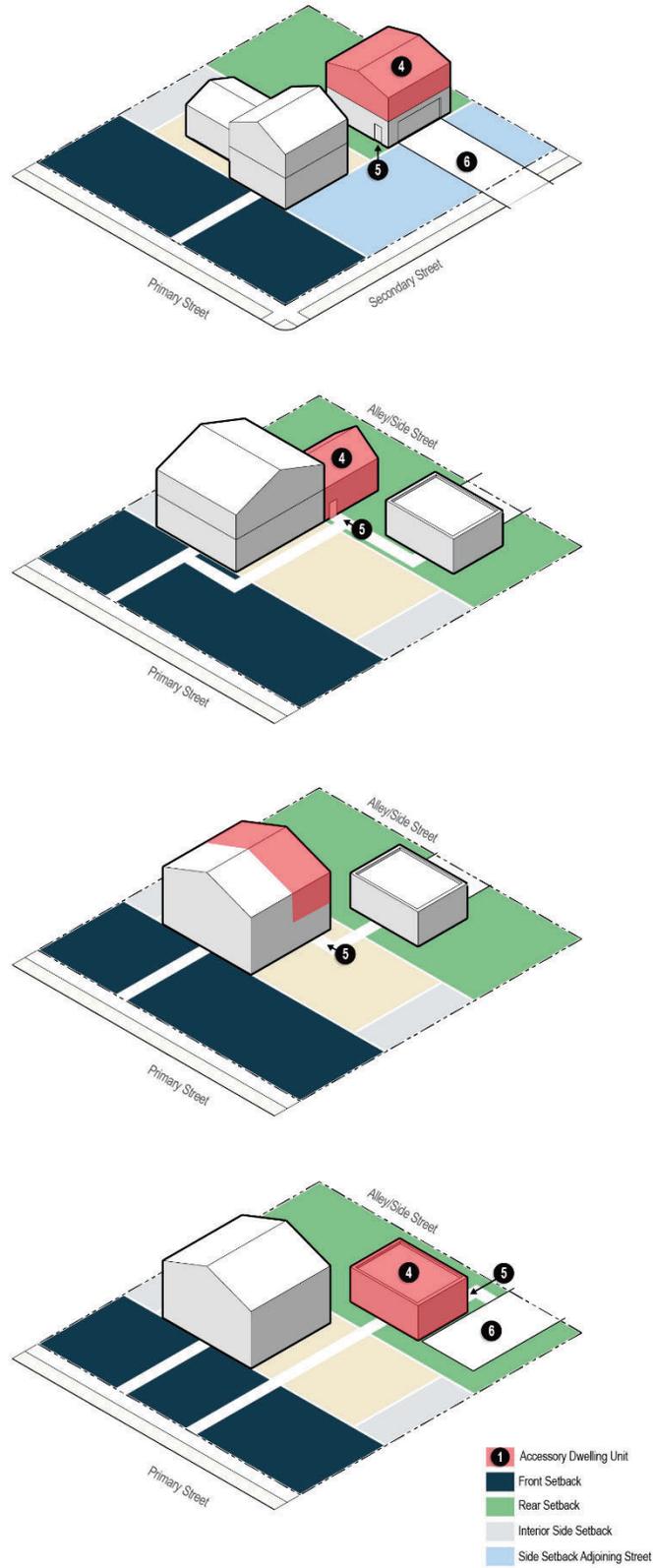
<b>Use</b>	<b>Minimum Stack</b>	<b>Measure From</b>
<i>Automated Teller Machine</i>	3 per machine	teller machine
<i>Bank Teller Lane</i>	2 per lane	teller or window
<i>Restaurant</i>	6 per order box	order box <sup>1</sup>
<i>Carwash Stall, Automatic</i>	5 per stall	stall entrance
<i>Carwash Stall, Manual</i>	3 per stall	stall entrance
<i>Oil Change Shop</i>	3 per service bay	service bay entrance
<i>Pharmacy</i>	4 per lane	machine or window
<i>Other</i>	as determined by the Zoning Officer	

1. Four (4) of the required stacking spaces are to be located between the order-box and pick-up window, including the stacking space at the order box.

**E. Dwelling, Accessory.**

1. One (1) accessory dwelling unit shall be permitted on a lot. The accessory dwelling shall only be allowed on a lot on which the sole principal use is a single-unit dwelling.
2. Detached accessory dwelling units shall not exceed nine hundred (900) square feet or ten (10) percent of size of the lot, whichever is less.
3. Attached accessory dwelling units shall not exceed nine hundred (900) square feet or thirty (30) percent of the size of the principal building, whichever is less.
4. Detached and attached secondary dwelling units shall be located to the rear of the primary building.
5. Only one (1) entrance shall be located on the front façade of the primary building. Entrances to secondary dwelling units must be located on the side or rear façade.
6. Both the principal structure and the accessory dwelling unit shall be served by one (1) common driveway connecting the principal and accessory dwelling units to a public or private road.
7. Parking for the accessory dwelling unit shall be in addition to the parking space(s) required for the primary dwelling unit. The parking for the accessory dwelling unit shall not be located in the required front yard setback. A tandem parking space, where one (1) car is parked behind another within the driveway, with the spaces required for the primary building shall be prohibited.
8. The accessory dwelling shall use the same mailbox, water meter, and trash containers as the principal dwelling unit. The use of additional mailboxes, water meters, and trash containers by the accessory dwelling unit separate from the principal dwelling unit shall be prohibited.
9. Accessory dwelling units shall be similar in character to the primary building and to abutting properties including roof pitch, eaves, exterior building cladding materials, windows, trim, color, and landscaping.

Figure 4.13. Accessory Dwelling Unit Standards



**F. Recreational Vehicle, Trailer, and Boat Parking.**

1. **Permanently Affixing to Ground Prohibited.** Recreational vehicles, trailers, and other recreational equipment shall not be permanently affixed to the ground as principal or accessory structures on a lot in any district.
2. **Improved Hard Surface.** Recreational vehicles, trailers, boats, and other recreational equipment shall be parked on a driveway or a parking pad as specified in Section 10-5-2(B)(4) if constructed in a front or side yard but may be parked on the grass if located in the rear yard as approved only by the City Engineer.
3. **Number.** A maximum of one (1) recreational vehicle, trailer, boat, or other recreational equipment shall be parked on a lot any given time, in addition to any automobiles permitted by the Zoning Ordinance.
4. **Location.** Recreational vehicles, trailers, boats, and other recreational equipment shall be located per the following:
  - a. If located entirely within the required rear yard the recreational vehicle, trailer, boat, or other recreational equipment shall be located a minimum of five (5) feet from side and rear property lines,
  - b. If located entirely within the buildable area of the lot the recreational vehicle, trailer, boat, or other recreational equipment shall not be located between the primary building and the front property line, or
  - c. If located partially in the required rear yard and partially in the buildable area of the lot the recreational vehicle, trailer, boat, or other recreational equipment shall maintain the required side yard setback for the full length of the property and be a minimum of five (5) feet from the rear property line.
5. **Screening.** If a recreational vehicle, trailer, boat, or other recreational equipment is parked on a driveway located within the required side yard setback it shall be screened from the adjacent property with a six (6) foot high opaque fence.

**G. Home Occupations.** The standards for home occupations are intended to ensure compatibility with other permitted uses and maintain the existing character of the surrounding area. Any gainful activity which is not a permitted home occupation as defined in this title shall be considered a business use and shall not be allowed under the provisions of this Section. Any such use existing on the effective date of this title shall be subject to provisions of Chapter 9 for the elimination of a nonconforming use.

1. Any customary home occupation shall be permitted provided that:
  - a. It is conducted entirely within the dwelling by the residents of the dwelling and when such home occupation is clearly incidental and secondary to the use of the dwelling for residential purposes.
  - b. It does not require internal or external alteration;
  - c. It does not involve construction features or use of equipment not customary in a dwelling;
  - d. The entrance to the space devoted to such occupation shall be from within the dwelling;
  - e. Not more than twenty-five (25) percent of the floor area, including the lookout basement, of the dwelling shall be devoted to such home occupation. If more than one (1) home occupation is operated in a residence, the combined total square footage devoted to all such home occupations shall not exceed twenty-five (25) percent of the floor area of the dwelling;
  - f. There is no display or activity that will indicate from the exterior of the dwelling that it is being used in part for any use other than a dwelling.
  - g. No electrical or mechanical equipment is used, except such as is customarily used for purely domestic or household purposes;
  - h. Off-street parking is provided in accordance with the provisions of Section 10-5-1(H), of this title;

- i. Limited amounts of goods, commodities or stock in trade shall be received, retained, used, or stored on, or physically transferred from the premises;
  - j. Teaching of musical instruments and dancing shall be conducted only in a single-unit detached dwellings; It does not interfere with the reasonable use and enjoyment of adjacent properties, such as, but not limited to, those home occupations that create any form of electromagnetic interference or cause fluctuation in line voltage outside of the dwelling in which the home occupation is conducted;
  - k. It does not generate any solid waste or sewage discharge in a volume or type which is not normally associated with a residential use in the zoning district; and
  - l. In-home daycare/childcare services shall meet the following provisions:
    - (1) Any person operating an in-home daycare/childcare service shall obtain a license from the Illinois Department of Children and Family Services before commencing the operation of such service.
    - (2) Any person operating an in-home daycare/childcare service shall obtain an operational permit from the Bristol Kendall Fire District.
    - (3) In home daycare/childcare services are limited to no more than twelve (12) children under the age of twelve (12) at any one (1) time, unless approved through a special use permit pursuant to Section 10-8-5 of this title.
2. Any home occupation requiring a local, state, or federal license shall be obtained.
3. The following home occupations are prohibited:
- a. Selling or manufacturing of firearms;
  - b. Automobile repair services;
  - c. Jobbing, wholesale, or retail businesses, unless conducted entirely by mail, electronically, or telephone;
  - d. Manufacturing business;
  - e. Medical clinic or hospital;
  - f. Animal hospital or kennel (animal grooming services are permitted);
  - g. Restaurant;
  - h. Mortuary and funeral parlors; and
  - i. Commercial automobile repair;
  - j. Any activity that produces noxious matter or employs or produces flammable matter.
- H. **Outdoor Displays.** In the business and manufacturing districts outdoor displays are permitted accessory uses provided that the following provisions are met. However, nothing in this section shall waive the prohibition of outdoor storage as defined and regulated in this title.
- 1. **Accessory Use.** Outdoor displays shall be permitted only as an accessory use on the same lot as a permitted or special use of the business or operation located there and shall not operate as a separate enterprise.
  - 2. **Nature of Merchandise.** The goods, merchandise, or products offered for sale in an outdoor display area must be of such a nature that they are not typically located within a permanent building or structure, such as vehicles, trailers, farming equipment, landscape supplies, propane or other material contained in a pressurized tank, ice/vending machines, recycling containers and automated teller machines (ATM). Goods, merchandise or products that are

typically located within a permanent building or structure, such as clothing and prepared food, shall not be offered for sale in a permanent outdoor display area.

3. **Location.**

- a. **Setbacks.** Outdoor display areas may be located in front of, on the side of, or behind the primary building, but shall not encroach upon the required minimum yard setbacks for the zoning district in which it is located.
- b. **Parking.** Outdoor display areas may be located within existing parking spaces but only if there is a sufficient number of other parking spaces available to meet the minimum parking requirements of the use(s) on the property, as provided in Section 10-5-1(H)(5) of this title.
- c. **Pedestrian Walkways.** Outdoor display areas may be located on a pedestrian walkway if an unobstructed portion of the walkway measuring not less than three (3) feet in width shall be continuously maintained for pedestrian access and no point of ingress or egress from any building or any individual unit within any building shall be blocked at any time.
- d. **Right-of-Way.** Unless otherwise provided by this title, outdoor display areas shall not be located on any public or private right-of-way.
- e. **Lawn.** Outdoor display areas may be located on concrete, asphalt, or brick paver areas and shall not be located on lawn areas or required landscape areas.
- f. **Near Single-Unit Residence District.** No outdoor display areas shall be located within fifty (50) feet of any single-unit residentially zoned district, exclusive of rights-of-way.

- 4. **Size.** Outdoor display areas shall be limited to thirty-five (35) percent of the gross floor area of the primary building or tenant space to which the outdoor display area is an accessory, with the exception of vehicle, trailer and farming equipment dealerships.
- 5. **Visibility.** Outdoor display areas shall comply with the Vision Clearance requirements of section 10-5-6 of this title.
- 6. **Maintenance.** All outdoor display areas must be maintained and displayed in a neat, orderly, and safe manner at all times.

## 10-4-17. Temporary Use Standards

### A. Accessory Structures, Temporary.

1. Temporary accessory structures shall be allowed for between thirty (30) days and six (6) months as approved through a temporary use permit as specified in Section 10-8-3(F).
2. If located entirely within the required yard the accessory building or structure shall be located a minimum of five (5) feet from side and rear property lines.
3. Temporary accessory structures may be attached to or located adjacent to the principal building.
4. If located entirely within the buildable area of the lot the temporary accessory structure shall not be located between the primary building and the front property line.
5. If located partially in the required rear yard and partially in the buildable area of the lot, the temporary accessory structure shall maintain the required side yard setback for the full length of the property and be a minimum of five (5) feet from the rear property line.
6. **Time of Construction.** No temporary accessory structure with a connected water supply shall be constructed on any zoning lot prior to the start of construction of the principal building to which it is accessory.

### B. Mobile Food Vendor Vehicles and Retail Vendor Vehicles.

1. **Purpose.** The purpose of this section is to encourage and regulate the operation of mobile food vendor and retail vendor vehicles subject to operational standards, on public and private property within the City. These operational standards and application procedures are intended to recognize the opportunity for unique outdoor portable fare and added convenience to persons living and working within Yorkville, while protecting the health, safety and welfare of the general public.
2. **General Provisions.**
  - a. Mobile food vendor vehicles and mobile retail vendor vehicles shall obtain a certificate of registration from the office of the City Clerk in accordance with title 3, chapter 5 of the City of Yorkville Municipal Code.
  - b. Mobile food vendor vehicles and mobile retail vendor vehicles must comply with all federal, state, county, and local business tax, sales tax, and other tax requirements.
  - c. It shall be a violation to operate a mobile food vendor vehicle or mobile retail vendor vehicle at any location except in compliance with the requirements of this section.
  - d. Mobile food vendor vehicles and mobile retail vendor vehicles are permitted in all zoning districts of the City, subject to the location and operational standards established in this title.
  - e. Mobile food vendor vehicles and mobile retail vendor vehicles shall not:
    - (1) obstruct or interfere with the free flow of pedestrian or vehicular traffic, including but not limited to, access to or from any business, public building, or dwelling;
    - (2) conflict with the vision clearance requirements of section 10-5-6 of this title; or
    - (3) prevent access of emergency vehicles.
  - f. Drive-through vending is prohibited. No vendor shall make sales to any person in a vehicle.
  - g. No amplified music or loudspeakers shall be permitted.

- h. Any exterior lighting provided on the mobile food vendor vehicles or mobile retail vendor vehicles shall comply with the standards of Section 10-5-7.
- i. No sales or service of alcohol shall be allowed by mobile food vendor vehicles.
- j. Mobile food vendor vehicles and mobile retail vendor vehicles shall provide at least one (1) trash receptacle for use by patrons and in a convenient location that does not impede pedestrian or vehicular traffic. All litter or debris generated immediately within the vicinity of the mobile food vendor vehicle or mobile retail vendor vehicle shall be collected and removed by the mobile operator.

**3. Location and Operational Standards.**

**a. Mobile Food Vendor Vehicles and Mobile Retail Vendor Vehicles Operating within the Public Right-of-Way.**

- (1) Mobile food vendor vehicles and mobile retail vendor vehicles shall be legally parked in full compliance with all State and local parking provisions which apply to the location at which it is parked, including any sign prohibiting the parking or standing of a vehicle or indicating a parking time limit.
- (2) Operation of mobile food vendor vehicles and mobile retail vendor vehicles within City parks shall be subject to rules and regulations established by the Park Board.
- (3) No unattended mobile food vendor vehicle or mobile retail vendor vehicle shall be parked or left overnight within a public right-of-way or on any other public property.
- (4) Mobile food vendor vehicles or mobile retail vendor vehicles shall not operate within the public right-of-way within five hundred (500) feet from any K-12 school building, as defined by the State of Illinois, between the hours of 7:00 a.m. and 4:00 p.m. on regular school days, unless as part of a permitted special event or rally.
- (5) Mobile food vendor vehicles or mobile retail vendor vehicles shall not be parked within twenty-five (25) feet from a street intersection with a crosswalk, traffic light, or stop sign, or within twenty-five (25) feet from a railroad crossing.
- (6) Mobile food vendor vehicles or mobile retail vendor vehicle operators shall be responsible for organizing customer queuing in a manner that maintains a clear path along the sidewalk that is at least four (4) feet wide and does not interfere with or obstruct the free passage of pedestrians.
- (7) All sales and service shall be limited solely to that side of the mobile food vendor vehicle or mobile retail vendor vehicle facing away from the public street.
- (8) Mobile food vendor vehicles and mobile retail vendor vehicles shall not encroach onto a public sidewalk with any part of the vehicle, or any other equipment or furniture related to the operation of its business, except for required refuse receptacles.
- (9) Mobile food vendor vehicles greater than thirty-five (35) feet in length, or that occupy more than two (2) on-street parking spaces, are not permitted to operate in the public right-of-way adjacent to residentially zoned properties.
- (10) Mobile food vendor vehicles or mobile retail vendor vehicles shall not block a lawfully placed monument sign of another business.

**b. Mobile Food Vendor Vehicles and Retail Vendor Vehicles Operating on Private Property.**

- (1) Mobile food vendor vehicles and retail vendor vehicles may be permitted to operate on private property as a temporary accessory use in all zoning districts.
- (2) Mobile food vendor vehicles and retail vendor vehicles shall not occupy more than eight (8) of the required parking spaces on an improved lot or exceed the maximum lot coverage for the district in which it is located on an unimproved lot.
- (3) The maximum number of mobile food vendor vehicles and retail vendor vehicles permitted on a site shall be determined as follows:
  - (a) One (1) mobile food vendor vehicle or retail vendor vehicle may operate on the site for every five hundred twenty-five (525) square feet of paved area (at least thirty-five (35) feet by fifteen (15) feet in dimension); except that mobile food vendor vehicles or retail vendor vehicles greater than thirty-five (35) feet in length require a space at least seventy feet (70) by fifteen (15) feet.
  - (b) Mobile food vendor vehicle and retail vendor vehicle operations shall occur upon a paved, level parking area or surface.
  - (c) Mobile food vendor vehicles and retail vendor vehicles parked within required parking areas shall not impede pedestrian or vehicle ingress or egress through the remainder of the parking area or adjacent public right-of-way.
  - (d) Mobile food vendor vehicles and retail vendor vehicles may be permitted to have canopies and outdoor seating areas, provided these additional outdoor accessories may not occupy more than two (2) parking spaces per mobile food vendor vehicle or retail vendor vehicle.

**c. Canteen Trucks Operating on Private Property.**

- (1) Canteen trucks may operate on an unimproved lot or parcel, only if such lot or parcel or an adjoining lot or parcel is undergoing permitted construction activity.
- (2) Canteen trucks shall not block fire lanes, designated construction traffic lanes for ingress or egress, or access to or from the construction site.
- (3) No unattended canteen truck shall be parked overnight on any property.

**d. Private Vendor Service by Mobile Food Vendor Vehicles and Mobile Retail Vendor Vehicles.**

- (1) Mobile food vendor vehicles and mobile retail vendor vehicles may provide private sales service within the public right-of-way and on private property in residential districts only.
- (2) Private vendor services by mobile food vendor vehicles and mobile retail vendor vehicles shall be limited to private guests of the event host only. No walk-up customers are permitted.
- (3) Payment shall occur directly between the event host and the mobile food vendor vehicle and retail vendor vehicle. No payment transactions shall occur for individual orders.
- (4) All operational standards for operating a mobile food vendor vehicle and mobile retail vendor vehicle as provided in this section shall apply.

**C. Storage of Roadway Construction Materials.**

1. A temporary use permit and building permit shall be required prior to the establishment of a storage area for roadway construction materials. In addition to all required permit application materials, the following shall be required:
  - a. A site plan depicting the location of proposed construction material storage locations, site ingress and egress, stormwater runoff control measures, other stormwater management practices, and any other information requested by the Zoning Officer shall be required; and
  - b. A traffic plan.
2. Roadway construction material storage areas shall be utilized between the hours of 7:00am and 10:00pm only.

**D. Portable Outdoor Storage Device.** Portable outdoor storage devices are allowed in any district provided they are issued a temporary use permit and meet the following conditions:

1. Only one portable outdoor storage device may be located on a lot at a time.
2. No portion of any portable outdoor storage device may extend onto the public right-of-way, including but not limited to sidewalks, parkways, streets, or alleys unless otherwise approved through the temporary use permit.
3. The portable outdoor storage device shall not exceed eight (8) feet in width, twelve (12) feet in length and eight (8) feet in height, or 768 cubic feet.
4. The portable outdoor storage device must be located on an impervious surface.
5. Placement of a portable outdoor storage device shall be limited to thirty (30) days per residential lot, per calendar year.
6. Placement of a portable outdoor storage device shall be limited to sixty (60) days per business, manufacturing, institutional, open space, or agricultural lot, per calendar year.
7. Every portable outdoor storage device must be locked and secured when not being loaded or unloaded.
8. The temporary use permit shall be prominently displayed during the approval period.
9. The Planning and Zoning Commission may approve containers that exceed the allowable number, size, surface, or length of time.

**E. Temporary and Seasonal Uses.**

1. **Purpose.** To further encourage the revitalization of the downtown and other areas within the City, these standards are intended to provide a temporary but unique environment for relaxation, social interaction, and food or beverage consumption within public rights-of-way and public sidewalks without impeding the free and safe flow of pedestrian or vehicular traffic.
2. **General Provisions.**
  - a. **Encroachment.** A sidewalk cafe or parklet cafe shall not be considered an "encroachment" so long as all outdoor facilities related thereto are temporary in nature, are not permanently affixed so as to extend below or above the sidewalk or public right-of-way, involve no penetration of the sidewalk surface or public right-of-way, are not attached to any building and are readily removable without damage to the surface of the sidewalk or public right-of-way.
  - b. **Time Period.** Sidewalk cafes and parklet cafes may be permitted from April 1st through October 31st. Time extensions may be granted for sidewalk cafe and parklet cafe operations per the discretion of the Zoning Administrator on a case-by-case basis. Parklet cafes not removed after October 31st and without an approved extension may be removed by the City at the owner's expense.

- c. **Permit.**
    - (1) Sidewalk cafes and parklet cafes shall require a permit pursuant to the standards established in 10-4-16(E) of this title.
    - (2) Outdoor dining on a public sidewalk or within the right-of-way may occur only pursuant to the issuance of a permit.
    - (3) A sidewalk cafe or parklet cafe permit is non-transferrable.
  - d. **Prohibited Locations.** Outside dining will not be permitted on sidewalks or within the public right-of-way designated by the City Council as shared bicycle and pedestrian trails or paths.
  - e. **Seating.** Seating in the sidewalk cafe or parklet cafe shall not be included to meet the required guest seating capacity for any license classification.
  - f. **Indemnification.** The permittee shall defend, indemnify, and hold the City, and its employees harmless from and against any loss or damage arising from the use or existence of the improvements or encroachment authorized under the sidewalk cafe or parklet cafe permit.
3. **Development and Design Standards.** The following standards, criteria, conditions and restrictions shall apply to all sidewalk cafes and parklet cafes, provided, however, that the Zoning Administrator or designee may impose additional conditions and restrictions to protect and promote the public health, safety, or welfare to prevent a nuisance from developing or continuing, and to comply with all other City ordinances and applicable state and federal laws.
- a. **Sidewalk Café.**
    - (1) **Design Elements.**
      - (a) Elements of a typical sidewalk cafe may include, but are not limited to, the following: barriers, planters, tables, chairs, umbrellas, menu display, heat lamps and ingress/egress access point.
      - (b) The design, material, and colors used for the furniture and fixtures within the sidewalk cafe shall complement the architectural style and colors of the building facade and public street furniture, if any, and withstand inclement weather.
    - (2) **Setbacks.**
      - (a) No element of the sidewalk cafe, as described above, may obstruct the pedestrian way in a manner which reduces the depth of the pedestrian way to less than five (5) feet. Light poles, tree wells, fire hydrants and other such items may fall within the pedestrian path allowed between the curb and the leading edge of the sidewalk cafe.
      - (b) A sidewalk cafe shall not unreasonably obstruct the visibility of neighboring businesses. In such cases a sidewalk cafe operator may be required to adjust the layout of the outdoor dining area per the recommendation of the Zoning Administrator or designee.
      - (c) Sidewalk cafes must be located a minimum distance of one hundred (100) feet from the nearest residential zoned district.
      - (d) The width of the sidewalk cafe must not extend beyond the frontage of the business establishment unless written notarized consent of the adjacent business and property owner has been provided to the Zoning Administrator.
      - (e) Sidewalk cafes located at a street corner must maintain a ten (10) foot setback from the corner of the building along both frontages.

- (f) For sidewalk cafes located adjacent to a driveway or an alley, setback distances will be at the discretion of the Zoning Administrator in locations where unusual circumstances exist or where public safety would be jeopardized.

(3) **Barriers.**

- (a) The perimeter of sidewalk cafes that extend more than three (3) feet into the public right-of-way shall be enclosed by barriers that are durable, removable, and maintained in good condition.
- (b) Sidewalk cafes that extend three (3) feet or less into the public right-of-way and do not serve alcohol are not required to be enclosed by a barrier.
- (c) Sidewalk cafes that serve alcohol must be surrounded by a barrier in all cases. Barrier access point must be controlled by the sidewalk cafe operator/business establishment. Business establishment owners should maintain compliance with Yorkville's Liquor Control Ordinance standards for serving alcohol outside of enclosed businesses.
- (d) Moveable barriers and all furniture shall be removed at the end of each business day unless otherwise approved by the Zoning Administrator or designee. Moveable barriers shall be capable of being removed through the use of recessed sleeves and posts, wheels that can be locked in place, and/or weighted bases. Barrier segment bases should be flat with tapered edges that are between one-fourth (0.25) inch and one-half (0.5) inch thick.
- (e) The maximum height of any barrier shall not exceed three (3) feet six (6) inches. The lowest point in the barrier should be no more than six (6) inches in height above the ground to comply with ADA detectable warning regulations.
- (f) Rigid fence sections may be placed end-to-end to create the appearance of a single fence. Sectional fencing shall be composed of metal or wood and shall be painted or finished in a complementary color to the building color or accent materials. Sectional fencing may be constructed from other materials such as but not limited to aircraft cable, fabric, steel or iron elements if approved by the Zoning Administrator or designee.

(g) **Planters.**

- (i) Planters may also be used as a barrier or planter boxes as barrier components.
- (ii) Planters must be no more than three (3) feet in height and plant materials may be up to three (3) feet tall.
- (iii) Planters shall be kept in clean condition, contain living plants, and be removed at the end of each business day.
- (h) Access openings must be kept clear of all materials and should measure no less than forty-four (44) inches wide.

(4) **Awnings and Umbrellas.**

- (a) The use of awnings over the outdoor dining area or removable table umbrellas may be permitted provided they do not interfere with street trees.
- (b) No portion of the awning shall be less than eight (8) feet above the sidewalk and no portion of the umbrella shall be less than seven (7) feet above the sidewalk.
- (c) Awnings may extend up to five (5) feet from the front of the building's facade or cover up to fifty (50) percent of the outdoor dining area, whichever is less.

- (d) Awnings shall have no support posts located within the public right-of-way.
- (e) A separate building permit must be obtained prior to the installation of the awning.
- (f) Notwithstanding any provisions in this Code, signs and logos shall be permitted on umbrellas or awnings in outdoor dining areas.

(5) **Prohibited Items.**

- (a) Permanently affixed furniture to the public sidewalk is prohibited.
- (b) Shelves, serving stations, flimsy plastic tables and chairs, unfinished lumber or splintering wooden materials, rusted metal, and loudspeakers, are prohibited.
- (c) Tying or otherwise securing sidewalk cafe elements to trees, lamp posts, street signs, streetlights, and/or hydrants is prohibited.
- (d) Chain link, rope rails, and chain are prohibited as barrier materials.
- (e) Rails, buckets, flag poles, and newspaper stands are prohibited.
- (f) No alterations or coverings should be made to the sidewalks or placed over the sidewalk cafe space. Platforms, artificial turf, paint, or carpet in sidewalk cafe areas is prohibited.
- (g) If wait service is not provided in the sidewalk cafe area, the business establishment is required to supply a waste receptacle. If wait service is provided, the business establishment is prohibited from placing a waste receptacle in the sidewalk cafe.

b. **Parklet Café.**

- (1) The parklet cafe site shall be located on at least one (1) parking spot within the public way and appurtenances thereof shall be a minimum of two (2) feet from the nearest edge of sidewalk. Parklet cafes are restricted to City of Yorkville public streets and shall not be permitted on any state, county or township roadways.
- (2) Tables, chairs, umbrellas or other fixtures in the parklet cafe:
  - (a) Shall not be placed within five (5) feet of fire hydrants, alleys or bike racks.
  - (b) Shall not be placed within five (5) feet of a pedestrian crosswalk.
  - (c) Shall not block designated ingress, egress, or fire exits from or to the business establishment or any other structures.
  - (d) Shall not be physically attached, chained, or in any manner affixed to any structure, tree, signpost, or light pole.
  - (e) May be removed by the City at owner's expense if not installed per approved plans or installed after permit expiration.
  - (f) Shall be maintained in a clean, sanitary, and safe manner.
  - (g) Shall consist of commercial-grade furniture.
  - (h) Shall not be placed outside or hang over the designated parklet cafe area.

- (3) The parklet cafe shall be located in such a manner that a distance of not less than four (4) feet is maintained at all times as a clear and unobstructed pedestrian path. For the purpose of the minimum clear path, traffic signs, trees, light poles and all similar obstacles shall be considered obstructions.
- (4) The parklet cafe, along with the sidewalk and roadway immediately adjacent to it, shall be maintained in a neat and orderly manner at all times. Debris shall be removed as required during the day and again at the close of each business day. Maintenance details shall include access panels and how drainage will be provided along the existing drainage way.
- (5) Parklet cafe decking must be flush with the curb and may not have more than a one-half (0.5) inch gap from the curb.
- (6) The parklet cafe platform shall allow for access underneath the platform and curbside drainage may not be impeded.
- (7) All rails around the parklet cafe must be capable of withstanding a two hundred (200) pound horizontal force.
- (8) The parklet cafe shall be required to have reflective tape, soft hit posts, wheel stops and, depending on the proposed location, may be required by the Zoning Administrator or designee to have edging such as planters, railing or cables.
  - (a) If cables are used, vertical spacing between cables may not exceed six (6) inches.
- (9) Umbrellas and other decorative material shall be made of treated wood, canvas, cloth, or similar material that is manufactured to be fire-resistant. No portion of an umbrella shall be less than six (6) feet eight (8) inches above the sidewalk. Umbrellas must be secured.
- (10) Temporary signage such as menu boards or easels may be permitted in parklet cafes.
- (11) No food preparation, food or beverage storage, refrigeration apparatus or equipment shall be allowed in the parklet cafe unless authorized by the Zoning Administrator or designee as part of a special event.
- (12) No amplified entertainment shall be allowed in the parklet cafe unless authorized by the Zoning Administrator or designee as part of a special event.
- (13) Parklet cafes shall meet the vision clearance requirements of Section 10-5-6 of this title.

## Chapter 5. Development Standards

10-5-1. Off-Street Parking and Loading .....	1
10-5-2. Driveways .....	18
10-5-3. Landscape .....	22
10-5-4. Screening .....	36
10-5-5. Fences .....	39
10-5-6. Vision Clearance .....	41
10-5-7. Outdoor Lighting .....	42

### 10-5-1. Off-Street Parking and Loading

- A. **Purpose.** The purpose of this section is to regulate off-street parking and loading areas on private property outside the public right-of-way. The regulations are intended to achieve the following:
1. Relieve traffic congestion on streets by providing adequate, but not excessive, off-street parking;
  2. Encourage the use of alternate forms of transportation including bicycling, transit, walking, and ride sharing services;
  3. Avoid unnecessary conflicts between vehicles, bicycles, and pedestrians; and
  4. Minimize negative impacts on adjacent properties and the environment.
- B. **General Provisions.**
1. **Application.** The off-street parking and loading provisions in this section shall apply to the following:
    - a. **New Development.** All new buildings, structures, and land uses established after the adoption of this title must comply with the parking and loading regulations established in this section.
    - b. **Expansion.** When an existing building or structure increases in intensity or is expanded, the number of parking spaces and/or loading facilities must be modified to meet the parking and loading regulations. The number of parking spaces and/or loading facilities that must be modified will be determined by the unit of measurement specified for that land use in Table 10-5-1(H)(5). However, no building or structure lawfully erected or use lawfully established prior to the effective date shall be required to provide additional parking spaces and/or loading facilities unless the aggregate increase in units of measurements is greater than fifteen (15) percent.
    - c. **New Use.** Whenever the existing use of a building or structure is changed to a new use, parking or loading facilities shall be provided as required for such new use, unless otherwise approved as a Variation as detailed in Section 10-8-9. However, if said building or structure was erected prior to the effective date of this title, additional parking or loading facilities are mandatory only in the amount by which the requirements for the new use would exceed those for the existing use if the latter were subject to the parking and loading provisions of this title.
  2. **Existing Parking and Loading Facilities.** Accessory off-street parking or loading facilities which are located on the same lot as the building or use served and were in existence on the effective date of this title shall not be required to reduce the amount of parking and loading facilities regulated in this title. A change of occupancy is not a change of use unless the new occupant is considered in a different use classification.

3. **Control of Off-Site Parking Facilities.** Where required parking facilities are provided on land other than the zoning lot on which the building or use served by such facilities is located, they shall be and remain in the same possession or ownership as the zoning lot occupied by the building or use to which the parking facilities are necessary. No such off-site parking facilities shall be authorized and no zoning certificate shall be issued where the plans call for parking facilities other than on the same zoning lot until and unless approved as an Variation as detailed in Section 10-8-9. Prior to approval as an Administrative Exception, the owners of the multiple properties shall provide an agreement in a form approved by the City Administrator with consultation from the City Attorney attesting that the off-site parking facilities will be maintained at all times during the life of the proposed use or building.

**C. Use of Parking Areas.**

1. All required off-street parking areas shall continually be available for the parking of operable vehicles of intended users of the site.
2. No off-street parking area shall be used for storage of equipment or materials except where otherwise approved.

**D. Requirements For All Parking.**

1. Drive aisles shall be required in the parking areas that have five (5) or more spaces.
2. All required parking lots, by this Code, shall comply with the accessibility requirements of the State of Illinois Accessibility Code and the ADA.

**E. Parking Stall and Aisle Dimensions.**

1. **Standard Parking Stall and Aisle Dimensions.** Standard parking spaces, including interlocking standard parking spaces, shall comply with the minimum dimensional and layout requirements specified in Table 10-5-1(E)(1) and as generally illustrated in Figure 5.1.

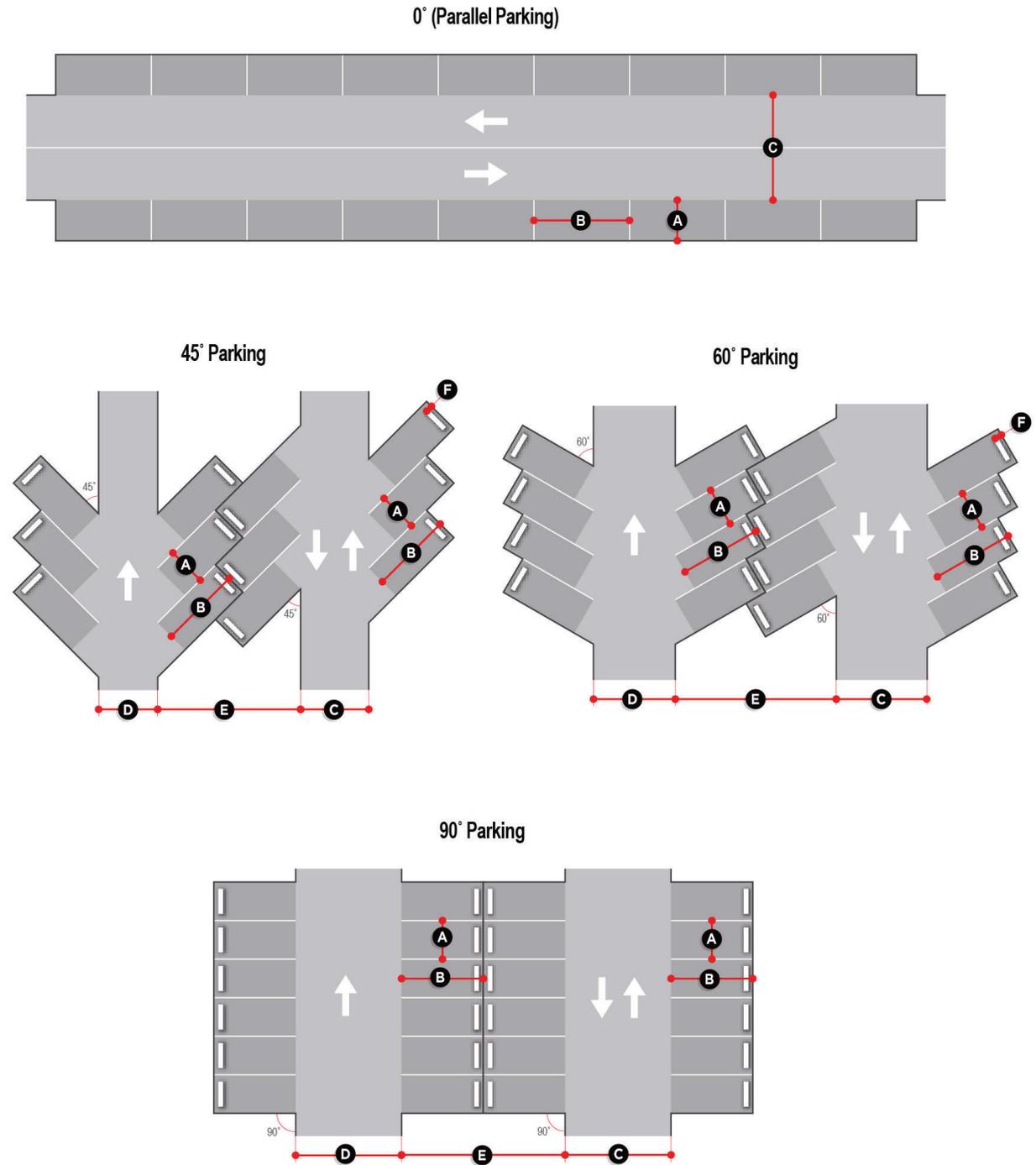
Table 10-5-1(E)(1) Standard Parking Stall and Aisle Dimensional Requirements						
Parking Angle (degrees)	Figure Reference					
	A	B	C	D	E	F
	Space Width	Space Depth	Aisle Width (2-Way)	Aisle Width (1-Way)	Depth of Interlocking Spaces	Overhang
0	9'	20'	24'	12'	n/a	n/a
45	9'	18'	24'	12'	28.25'	2'
60	9'	18'	24'	18'	32'	2'
90	9'	18'	24'	24'	36'	2'

2. **Compact Parking and Motorcycle Stall and Aisle Dimensions.**

- a. Compact parking stalls and aisles shall comply with the minimum dimensional and layout requirements specified in Table 10-5-1(E)(2).
- b. In parking areas containing more than ten (10) spaces, up to five (5) percent of the spaces exceeding the first ten (10) spaces may be designed for compact vehicles.
- c. Compact parking spaces shall be labeled for such purposes.
- d. Compact parking stalls shall be grouped together and separated from standard parking stalls. Striping of at least one half (1/2) foot in width shall be used to visually delineate the edge of the area used for compact vehicle parking spaces from standards parking stalls.

<b>Table 10-5-1(E)(2) Compact Parking Space Dimensional Requirements</b>						
<b>Parking Angle (degrees)</b>	<i>Figure Reference</i>					
	<b>A</b>	<b>B</b>	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
	<b>Space Width</b>	<b>Space Depth</b>	<b>Aisle Width (2-Way)</b>	<b>Aisle Width (1-Way)</b>	<b>Depth of Interlocking Spaces</b>	<b>Overhang</b>
0	7.5'	18'	18'	12'	n/a	n/a
45	7.5'	15.5'	18'	12'	28.25'	1.5'
60	7.5'	16.25'	18'	16'	32'	1.5'
90	7.5'	15.5'	24'	24'	36'	n/a

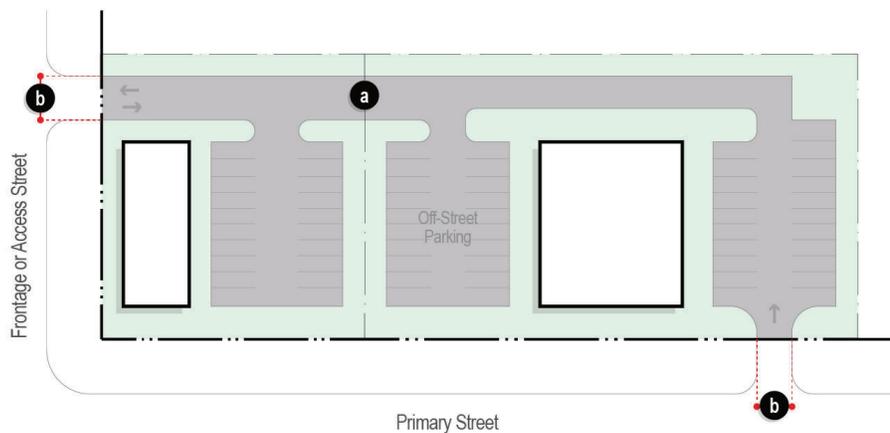
Figure 5.1. Dimensional Requirements of Parking Spaces and Drive Aisles



F. **Access and Cross Access.**

1. **Access.** To ensure safe and efficient means of automobile access for all parking spaces, each required off-street parking space shall open directly upon an aisle or driveway unless the facility is serviced by a parking attendant.
2. **Cross Access.** To facilitate vehicular access between adjoining developments, encourage shared vehicle parking, and minimize access points along streets, new multi-unit, nonresidential, and mixed-use development or redevelopment shall comply with the following standards:
  - a. Internal vehicular circulation systems shall be designed to allow for vehicular cross-access between the development's vehicle parking facilities and vehicle parking facilities in an adjoining multi-unit, nonresidential, or mixed-use development, or to the boundary of adjoining vacant land zoned to allow multi-unit, nonresidential, or mixed-use development.
  - b. Required vehicular cross access between the adjoining lots shall be provided through the use of a frontage or service street (if the lots front on a major thoroughfare right-of-way), a single two-way maneuvering lane, or two one-way maneuvering lanes that are sufficiently wide to accommodate traffic by automobiles, service vehicles, loading vehicles, and emergency vehicles.
  - c. The Zoning Administrator may waive or modify the requirement for vehicular cross access on determining that such cross access is impractical or undesirable because it would require crossing a significant physical barrier or environmentally sensitive area, would create unsafe conditions, or there exists an inability to connect to adjacent property. City Council shall have the authority to waive or modify vehicular cross access requirements for all public review processes involving review by City Council.
  - d. Easements allowing cross access to and from properties served by a vehicular cross-access, along with agreements defining maintenance responsibilities of property owners, shall be recorded with the Register of Deeds for the county in which the properties are located before issuance of a Building Permit for the development.

**Figure 5.2. Cross Access Standards**



3. **Surfacing.** All open off-street parking areas shall be surfaced with a material and at a thickness per use type as specified in the City of Yorkville Standard Specifications Driveway and Parking Lot Paving Standards.

- G. **Location.** Off-street parking spaces may be located in any yard defined by this title. The location of off-street parking spaces in relation to the use served shall be as prescribed below. All distances specified shall be property line to parking space and a main entrance to the use served.

1. **Residence Districts.** Parking spaces accessory to dwellings shall be located on the same zoning lot as the use served. Spaces accessory to uses other than dwellings may be located on a lot adjacent to, or directly across a street or alley from the lot occupied by the use served, but in no case at a distance in excess of three hundred (300) feet from such use.
2. **Business and Manufacturing Districts.** All required parking spaces shall be within one thousand (1,000) feet of the use served, except for spaces accessory to dwelling units (except those located in a hotel) which shall be within three hundred (300) feet of the use served. However, no parking spaces accessory to a use in a business or manufacturing district shall be located in a residence district unless authorized by the Planning and Zoning Commission in accordance with this title.

**H. Off-Street Parking Requirements.**

1. **Minimum Requirements.** Except as otherwise expressly stated, off-street parking spaces shall be provided in accordance with the parking ratio requirements established in Table 10-5-1(H)(5) Minimum Parking Requirements. Parking spaces reserved for specific user groups, other than ADA compliant spaces and spaces with electric vehicle charging stations, shall not count towards the minimum requirement.
2. **Maximum Requirements.** To minimize excessive areas of pavement, no off-street parking area for nonresidential or multi-unit uses shall exceed the required minimum number of parking spaces by more than twenty (20) percent, except as approved by the Zoning Administrator. In approving additional spaces, the Zoning Administrator shall determine that the parking is needed based on documented evidence of actual use and demand provided by the applicant.
3. **Parking in the B-2 District.** Nonresidential uses in the B-2 Mixed Use District shall be exempted from providing off-street parking as required in the form-based code.
4. **Calculations.** The following rules shall apply when calculating the required minimum number of parking spaces.
  - a. **Fractions.** When measurements of the number of required spaces result in a fractional number, the fraction shall be rounded up to the next highest whole number.
  - b. **Area Measurements.** Unless otherwise expressly stated, all area-based (square footage) parking standards must be computed on the basis of net floor area (NFA) as defined in Section 10-2-6(L) of this ordinance.
5. **Unlisted Uses.** In the case of uses not listed in Table 10-5-1(H)(5) Minimum Parking Requirements, the number of spaces for a similar use, as determined by the Zoning Administrator, shall apply.

**Table 10-5-1(H)(5) Minimum Parking Requirements**

Use	Minimum Parking Requirement, 8,000 sq ft or less	Minimum Parking Requirement, more than 8,000 sq ft
<i>Agricultural Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Agricultural uses		
Apiaries	n/a	n/a
Campground	1/campsite	1/campsite
Commercial feeding of fish, poultry, livestock		
Cultivation of nonfood crops and seeds used of cellulosic biofuels production		
Farming/Cultivation		
Forestation		
Grain elevators and storage	n/a	n/a
Nursery/greenhouses	1/1,000 sqft	0.5/1,000 sqft

**Table 10-5-1(H)(5) Minimum Parking Requirements**

Use	Minimum Parking Requirement, 8,000 sq ft or less	Minimum Parking Requirement, more than 8,000 sq ft
Recreational camp - private	1/campsite	1/campsite
Riding academies with stables	1/6 stalls	1/6 stalls
Roadside stand	1/200 sq ft	1/200 sq ft
Stables or paddocks	n/a	n/a
<i>Residential Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Dwelling, duplex	1/unit	1/unit
Dwelling, multi-unit	1.25/unit	1.25/unit
Dwelling, single-unit		
Dwelling, accessory		
Dwelling, townhouse	1/unit	1/unit
Senior housing, dependent	0.25/unit	0.25/unit
Senior housing, independent	0.5/unit	0.5/unit
<i>Lodging Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Bed and breakfast inn		
Hotel		
Motel		
Short-term rental	1/lodging unit	0.5/lodging unit
<i>Commercial Retail Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Adult uses		
Building material sales		
Liquor store		
Pawnbrokers/pawnshops		
Retail store, general - less than one (1) acre		
Retail store, general greater than one (1) acre	3/1,000 sq ft	2/1,000 sq ft
<i>Commercial Service Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Adult daycare facility		
Animal hospital		
Art galleries/art studio		
Auction house		
Bank		
Commercial laboratory		
Commercial/trade school		
Daycare facility		
Dry cleaning establishment		
Entertainment production studio		
Financial institutions and services		
Funeral home/mortuary/crematorium		
Health and fitness club/center		
Indoor shooting gallery/range	3/1,000 sq ft	2/1,000 sq ft

**Table 10-5-1(H)(5) Minimum Parking Requirements**

Use	Minimum Parking Requirement, 8,000 sq ft or less	Minimum Parking Requirement, more than 8,000 sq ft
Kennel, commercial or private dog kennels		
Massage establishment		
Off track betting (OTB) establishments		
Professional care services		
Professional services/offices	2/1,000 sq ft	1/1,000 sq ft
Radio and television studios	3/1,000 sq ft	2/1,000 sq ft
Storage, indoor single-building climate controlled	3/10 storage units	3/12 storage units
Storage, outdoor self storage	1/45 storage units	1/55 storage units
Tattoo and body piercing establishment		
Veterinary clinic	3/1,000 sq ft	2/1,000 sq ft
<b>Commercial Entertainment Uses</b>	<b>8,000 sq ft or less</b>	<b>More than 8,000 sq ft</b>
Amusement park		
Commercial entertainment, indoor		
Commercial entertainment, outdoor		
Community / Recreation center		
Golf course, miniature		
Golf course		
Golf driving range		
Indoor Event/Recreation Conversion		
Outdoor music venues		
Skating rink		
Stadium		
Swimming pool - indoor		
Theater, live performance	As deemed appropriate by the City Engineer	As deemed appropriate by the City Engineer
Theater, motion picture	As deemed appropriate by the City Engineer	As deemed appropriate by the City Engineer
<b>Eating and Drinking Uses</b>	<b>8,000 sq ft or less</b>	<b>More than 8,000 sq ft</b>
Brewery/Winery/Distillery tasting room		
Brewpub		
Microbrewery, microdistillery, and microwinery		
Prepared Food Service Establishment		
Restaurant		
Tavern - nightclub or lounge	3/1,000 sq ft	2/1,000 sq ft
<b>Medical Uses</b>	<b>8,000 sq ft or less</b>	<b>More than 8,000 sq ft</b>
Hospital		
Medical clinic / office		
Treatment center	1/300 sq ft	1/300 sq ft
<b>Vehicle Related Uses</b>	<b>8,000 sq ft or less</b>	<b>More than 8,000 sq ft</b>
Automobile parts/accessories sales		
Automobile rental	1/1,000 sq ft	0.5/1,000 sq ft
Automobile repair	1/200 sq ft	1/200 sq ft

**Table 10-5-1(H)(5) Minimum Parking Requirements**

Use	Minimum Parking Requirement, 8,000 sq ft or less	Minimum Parking Requirement, more than 8,000 sq ft
Automobile sales enclosed and service/open sales lot		
Boat sales and rental		
Boat storage	1/1,000 sq ft	0.5/1,000 sq ft
Car wash	1/car wash bay	1/car wash bay
Gasoline service station	1/gas pump and 1/300 sq ft accessory retail space	1/gas pump and 1/300 sq ft accessory retail space
Heavy machinery and equipment rental		
Recreational vehicle sales and service	1/1,000 sq ft	1.5/1,000 sq ft
Semi-truck repair	1/service bay	1/service bay
Truck and trailer sales/rental	1/1,000 sq ft	0.5/1,000 sq ft
Truck, truck-tractor, truck trailer, car trailer or bus storage yard - not include motor freight terminal	n/a	n/a
<i>Energy Industrial Uses</i>	<i>As specified below</i>	<i>As specified below</i>
Battery Uses		More than 70,000 sq ft: 0.3 / 1,000 sq ft
Data Center	70,000 sq ft or less: 20	
Refrigerated Warehouse (Cold Storage)	150,000 sq ft or less: 0.5/1,000 sq ft	More than 150,000 sq ft: 0.3/1,000 sq ft
<i>Industrial Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Aggregate materials extraction, processing and site reclamation (stone and gravel quarries)		
Artisan manufacturing		
Assembly, production, manufacturing, testing, repairing, or processing		
Bakery (wholesale - retail component special use)		
Blacksmith or welding shop		
Brewery/winery/distillery		
Contractor facilities with outdoor storage		
Dry cleaning plant		
Manufacturer of firearms and ammunition		
Newspaper publishing		
Research laboratories		
Wholesaling and warehousing - local cartage express facilities - including motor freight terminal	0.5/1,000 sq ft	0.3/1,000 sq ft
<i>Transportation Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Airport		
Bus or truck garage or streetcar house		
Bus or truck storage yard		
Motor freight terminals		
Railroad passenger station		
Railroad repair shops, maintenance buildings and switching yards	As determined by parking demand study (1)	As determined by parking demand study (1)
<i>Alternative Energy Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Solar farm	2	n/a
Building mounted solar energy systems	n/a	n/a

**Table 10-5-1(H)(5) Minimum Parking Requirements**

Use	Minimum Parking Requirement, 8,000 sq ft or less	Minimum Parking Requirement, more than 8,000 sq ft
Freestanding solar energy systems - accessory use		
Freestanding solar energy systems - principal use		
Wind farm	max of 2	n/a
Wind energy system, building-mounted		
Wind energy system, freestanding - accessory use	n/a	n/a
Wind energy system freestanding - principal use	max of 2	n/a
<i>Medical and Adult Cannabis Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Cannabis Craft Grower	n/a	n/a
Cannabis Cultivation Center	1/1,000 sq ft	0.5/1,000 sq ft
Cannabis Dispensing Organization	3/1,000 sq ft	2/1,000 sq ft
Cannabis Infuser Organization		
Cannabis Processing Organization	0.5/1,000 sq ft	0.3/1,000 sq ft
Cannabis Transporting Organization	As determined by parking demand study (1)	As determined by parking demand study (1)
<i>Institutional, Public, and Utility Uses</i>	<i>8,000 sq ft or less</i>	<i>More than 8,000 sq ft</i>
Cemetery		
College, university or junior college		
Communications use		
Electric substation		
Filtration plant		
Fire station		
Library		
Parks	As determined by parking demand study(1)	As determined by parking demand study (1)
Place of worship/assembly	1/6 seats	0.5/6 seats
Playground	As determined by parking demand study (1)	As determined by parking demand study (1)
Police station		
Post office		
Preschool	3/1,000 sq ft	3/1,000 sq ft
Public utility - electric substations and distribution centers, gas regulation centers and underground gas holder stations		
Public utility facilities (other)		
Radio and television towers - commercial		
Sanitary landfill		
School, public or private		
Sewage treatment plant		
Solid waste disposal site		
Utility company maintenance yard		
Utility service yard or garage	As determined by parking demand study (1)	As determined by parking demand study (1)

<sup>(1)</sup> The applicant shall propose an appropriate parking requirement specific to their proposal, which shall be supported by a parking study, and shall be approved by the City Engineer.

- I. **Fee-In-Lieu of Off-Street Parking.** An applicant may request to pay a fee-in-lieu of the off-street parking required in this Section. The City will allocate the fee to construct and maintain public parking facilities.
  1. All requests for a fee-in-lieu of off-street parking shall be subject to approval by the City Council. A maximum of twenty (20) percent of the off-street parking required in this subsection may be substituted for the provision of a fee-in-lieu of parking.
  2. The developer shall provide the average cost of an off-street parking space as provided per the City of Yorkville's adopted ordinances and as verified by the City Engineer.
  3. An approved payment in lieu of providing parking shall be paid prior to issuance of a building permit.
- J. **Reserved Parking Spaces.**
  1. **Curb-Side Pickup.**
    - a. A maximum of five (5) percent of required parking spaces specified in Table 10-5-1(H)(5) may be reserved for curb-side pickup patrons.
    - b. Parking spaces reserved for curb-side pickup patrons shall be located either to the side of the principal building, in the rear of the parking lot, away from main building entrances so as not to inhibit pedestrian travel between the principal building entrance and off-street parking areas, near employee exits or in another location approved by the Zoning Administrator.
    - c. The Zoning Administrator may reduce the minimum number of parking spots required by one (1) space per parking spot reserved for curbside pickup patrons.
  2. **Ride Share Pickup and Drop Off.**
    - a. A maximum of five (5) percent of required parking spaces may be reserved for ride share pick up and drop off.
    - b. Parking spaces reserved for ride share pick up and drop off shall be located either to the side of the principal building, in the rear of the parking lot, away from main building entrances, or in another location approved by the Zoning Administrator.
    - c. The Zoning Administrator may reduce the minimum number of parking spots required by one-half (0.5) space per parking spot reserved for ride share pick up and drop off.
- K. **Electric Vehicle Charging Stations.**
  1. **Quantity Required.** Any parking structure, parking area serving a multiunit use, or any parking area with fifty (50) or more parking spaces, shall install the infrastructure required to accommodate a minimum of one (1) electric vehicle charging station per every fifty (50) parking spaces.
  2. **Measurement.** The number of electric vehicle charging stations required shall be determined based on the number of vehicle spaces provided that allow for electric vehicle charging. Double counting by using dual chargers per a single station but not providing the required number of vehicle spaces shall be prohibited.

- L. **Allowed Reductions to Required Parking.** Table 10-5-1(L) establishes reductions to required parking that may be approved by the Zoning Administrator.

<b>Table 10-5-1(L) Allowed Reductions to Required Parking</b>		
<b>Adjustment Type</b>	<b>Criteria</b>	<b>Adjustment Amount</b>
<i>Pedestrian Access</i>	Nonresidential use is located where residents of all residential and mixed-use areas within 1,320 feet of the subject property can walk to and from the nonresidential use on a continuous sidewalk system (ignoring intervening streets).	10% reduction
<i>Public Parking Lots</i>	Nonresidential use is located within 900 feet of a parking lot that is available for use by the public without charge (either directly or through a validation program in which the subject use participates).	10% reduction
<i>On-Street Parking</i>	Single-family or duplex residential is located along one or more public street frontages where public parking is permitted.	One legal on-street parking space (to a maximum of two parking spaces) can be substituted for every required off-street parking space provided the on-street space is located on a public right-of-way immediately abutting the property or tenant space seeking the parking adjustment. Where a partial space straddles an extension of a side property line, the space may be counted by the abutting property owner in front of whose property 50% or more of the space is located.
	Multifamily residential or nonresidential use located along one or more public street frontages where public parking is permitted.	One legal on-street parking space can be substituted for 0.5 of every required off-street parking space provided the on-street space is located on a public right-of-way immediately abutting the property or tenant space seeking the parking adjustment.
<i>Curbside Parking</i>	Commercial retail or eating and drinking use offering an online curbside pickup option.	One curbside parking space can be substituted for every required off-street parking space to a maximum 5% reduction of the total number of off-street parking spaces.

**M. Shared Parking.**

1. **Purpose.** Shared parking is the use of a parking space by vehicles generated by two (2) or more individual land uses without conflict or encroachment. Shared parking for multiple uses creates better pedestrian connections and reduces reliance on private vehicles because multiple trips may be taken by walking. Shared parking is encouraged for the benefits it provides as long as the use follows the conditions and standards listed below.
2. The ability to share spaces is the result of two (2) conditions:
  - a. Vehicles accumulate at different times; either by hours, days, or seasons.
  - b. Relationship of the uses allows for multiple visits in one (1) auto trip.
3. **Shared Parking Uses.** The uses listed subsections (a) and (b) are uses that are generally considered prime candidates for shared parking. While these are considered the main uses to have shared parking, the Zoning Administrator has the final authority on what uses may or may not share parking regardless of if the use is listed in the subsections below or not.
  - a. For purposes of this Section, the following uses are considered daytime uses:
    - (1) Office Uses,
    - (2) Commercial Service Uses,
    - (3) Commercial Retail Uses,
    - (4) Industrial Uses, and
    - (5) Other similar primarily daytime uses, as determined by the City Council.
  - b. For purposes of this Section, the following uses are considered evening or weekend uses:
    - (1) Physical Health and Entertainment Uses,
    - (2) Public/Semi-Public Uses,
    - (3) Eating and Drinking Uses, and
    - (4) Other similar primarily nighttime or weekend uses, as determined by the City Council.

**4. Standards.**

- a. The applicant must demonstrate that the shared parking area has a sufficient amount of spaces for the uses they intend to share the area with. The Zoning Administrator may require the applicant to provide data to support the sufficient parking claim.
- b. The nearest parking space shall be no farther than one thousand (1,000) feet from the principal buildings, structures, or uses. The path from the parking space to the principal building should consider:
  - (1) Adequate lighting.
  - (2) Separation from the right-of-way.
  - (3) Legal crosswalks for right-of-way crossing.
  - (4) Asphalt, concrete, or similar surface material.
- c. A legal document between the property owners that guarantees access to the shared parking must be submitted to the Zoning Administrator. The document will be approved by the City before being recorded. The termination of the agreement must be approved by the City and the owners must provide proof that each establishment meets the criteria within this title.

**N. Pedestrian Circulation Standards.**

1. Off-street parking areas shall include on-site pedestrian circulation systems to ensure the safety of pedestrians, bicyclists, and motorists.
2. The on-site pedestrian circulation system shall comply with all ADA standards.
3. The on-site pedestrian circulation system shall be marked and must connect all buildings on the site to one another and provide connections to the required vehicle and bicycle parking spaces.
4. The on-site pedestrian circulation system must connect building entrances to adjacent public rights-of-way along direct routes that do not require significant out-of-direction travel.
5. The on-site pedestrian circulation system shall provide at least one (1) connection to adjacent properties along a shared street frontage. Connections must provide access to existing walkways on adjacent properties, or to the likely future location of walkways on those properties. The Zoning Administrator may waive this requirement upon determining that no walkway exists, a future walkway is unlikely to exist, or such connection would create a safety hazard.
6. Connections to existing and future planned trails shall be provided.

- O. **Bicycle Parking.** The purpose of this section is to provide sufficient, safe, and convenient bicycle parking to encourage bicycling as a form of transportation, reducing traffic congestion, air pollution, wear and tear on roads, and use of fossil fuels, while fostering healthy physical activity.
1. **Types of Parking.** The following types of bicycle parking shall be allowed:
    - a. **Short-Term Parking.**
      - (1) **Bicycle Rack.** A bicycle rack is a device that is capable of supporting a bicycle in a stable position that secures the bicycle with at least two (2) points of contact. A single rack provides two (2) parking spots. The rack shall be no taller than three (3) feet tall and no less than eighteen (18) inches in length.
      - (2) **Bicycle Shelter.** A bicycle shelter is a covered parking area and provides all weather protection. The shelter should be designed to hold many bicycles. It is preferred that the shelter be close to other forms of transportation to encourage bicycle riding throughout the City.
    - b. **Long-Term Parking.**
      - (1) **Bicycle Locker.** A bicycle locker provides an all-weather, high security, and long-term parking solution. The enclosure should be made out of durable material that will keep the bicycle safe from weather or vandalism. The locker must be able to be locked to prevent theft and it must be able to be unlocked by the user for easy access. It is preferred that bicycle lockers are placed near other forms of transportation to encourage bicycle riding throughout the City.
      - (2) **Bicycle Station.** A bicycle station provides the highest level of service for long term parking. The station is intended to be a regional hub for bicycles in the area and it is expected for the station to provide services to cyclists. These services may include, but are not limited to, repair, lockers, showers, food and beverages, rental, and other storage facilities.
  2. **Off-Street Parking Reduction For Bicycle Parking.**
    - a. A reduction in the number of off-street vehicle parking spaces required shall be permitted for the provision of bicycle parking provided that:
      - (1) No fee is required for using the bicycle parking made available;
      - (2) When calculation of the maximum number of reduced parking spaces results in a fraction, the resulting number shall be rounded to the next highest integer.
    - b. The reduction in the number of vehicle parking spaces shall be reduced by no more than one (1) space for every two (2) bicycle parking spaces, but no more than five (5) percent of the total required spaces.
    - c. This provision is applicable to all land uses except single-unit residential and two-unit residential.
- P. **Land Banked Parking Facilities.** Land banking allows for the designation of a portion of land on a site that would be required for parking to be held and preserved as open space, rather than constructed as parking. This reduces the amount of impervious surface on a site for developments which otherwise would not have enough parked vehicles to fill the minimum required parking stalls, or "bank" the spaces until such time capacity warrants their construction.
1. **Standards.** The Planning and Zoning Commission may recommend to the City Council land banking of up to twenty-five (25) percent of the required parking spaces through the Variation process, as defined in Section 10-8-9 of this ordinance.
  2. **Land Bank Plans Required.** The owner of the property making a land bank request shall submit a detailed land banked parking plan for review by the Planning and Zoning Commission with final approval by the City Council. The

land banked parking plan shall show both full compliance with the parking regulations of this chapter and the land bank area showing the reduced number of parking spaces.

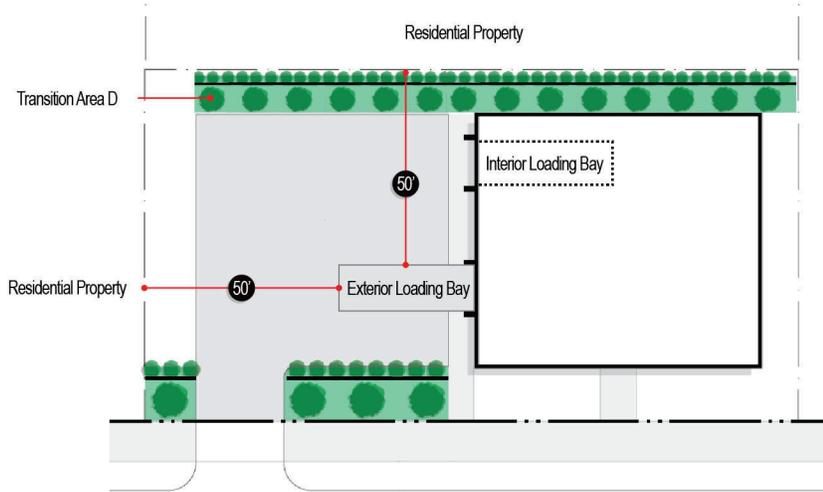
**3. Termination of Land Bank.**

- a. The City Council shall have the right in its discretion to require the property owner or successor, to construct all or a portion of the land banked parking facilities. Instances for termination, shall include, but not be limited to:
  - (1) The intensity of the use is increased,
  - (2) The type of use changes,
  - (3) There is an addition to the property or building.
- b. The Zoning Administrator will provide notice to the owner that the land banked parking facilities must be constructed and completed within one (1) year from the date of the notice.

**Q. Off-Street Loading Regulations and Requirements.**

- 1. **Location.** All loading berths shall be located on the same zoning lot as the use served. No loading berth for vehicles over two (2) tons of capacity shall be closer than fifty (50) feet to any property zoned or used for residential purposes unless all loading and unloading activities are located completely within the building, screened by the requirements for Transition Area D as detailed in Section 10-5-3(F)(3). No permitted or required loading berth that is open to the sky shall be located within any front or corner side yard and shall not be located within fifty (50) feet of the nearest point of intersection of any two (2) streets.
- 2. **Size.** Required size shall be determine on a case-by-case basis depending on the narrative provided by the petitioner or traffic study and shall be as approved by the Zoning Administrator.
- 3. **Surfacing.** All open off-street loading berths shall be improved with a compacted aggregate base not less than twelve (12) inches and surfaced with not less than four (4) inches of bituminous concrete or six (6) inches of concrete or some comparable all weather dustless material. The exact design to be determined based on projected use of the loading berth.
- 4. **Repair and Service.** No motor vehicle repair work or service of any kind shall be permitted in conjunction with loading facilities provided in any district.
- 5. **Loading Spaces Not to be Used for Parking Requirements.** Space allocated to any off-street loading berth shall not, while so allocated, be used to satisfy the space requirements for any off-street parking facilities or portions thereof.
- 6. **Special Uses.** For special uses other than prescribed hereinafter, loading berths adequate in number and size to serve such use, as determined by the Zoning Administrator, shall be provided.
- 7. **Required Off-Street Loading Spaces.** The number of loading spaces provided shall be determined on a case-by-case basis as approved by the Zoning Administrator and based on a narrative provided by the petitioner or traffic study. These spaces shall be provided in a manner that does not interfere with internal site circulation, ingress or egress to the site, access to or use of required off-street parking areas and pedestrian circulation areas, and with the public use of streets or alleys.

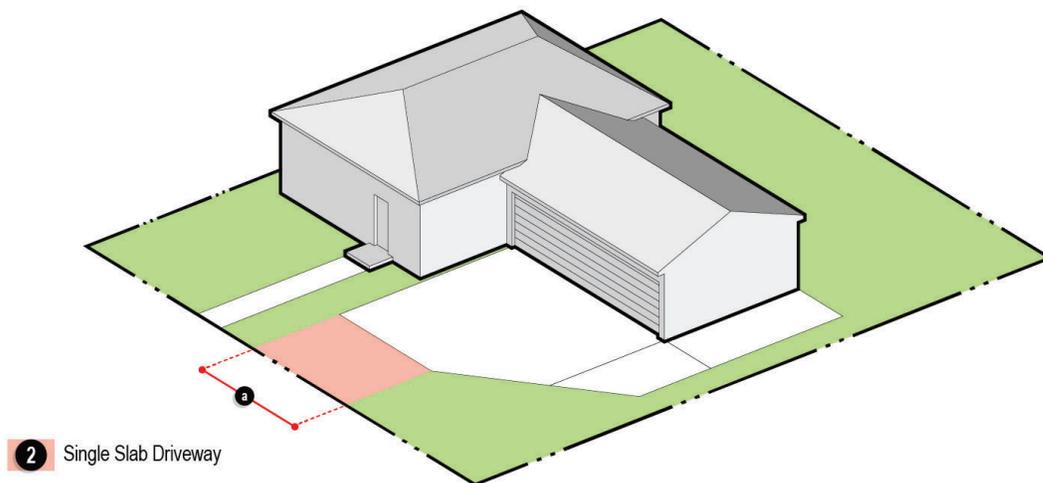
Figure 5.3. Off-Street Loading Spaces



## 10-5-2. Driveways

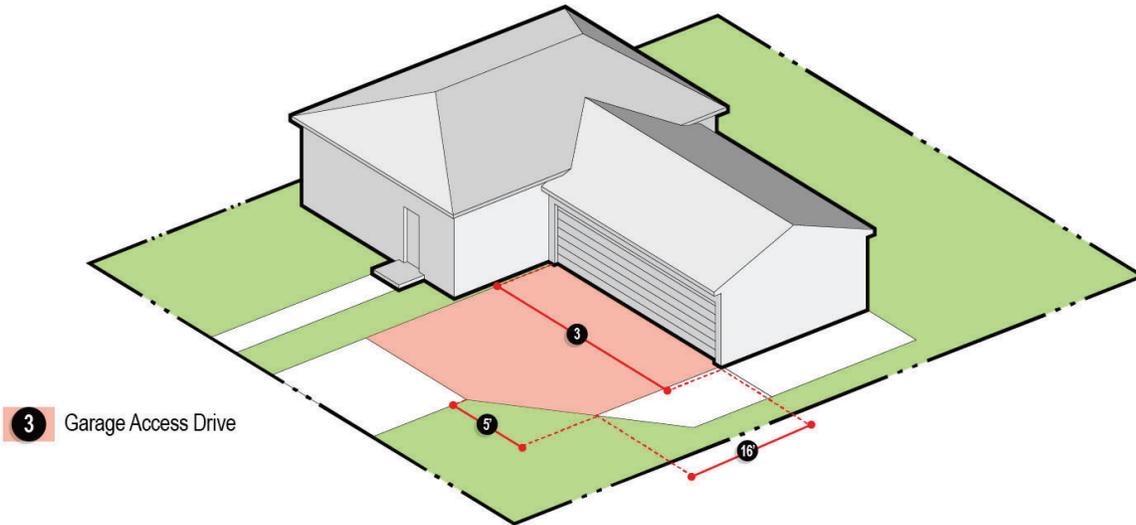
- A. **General Driveway Standards.** All driveways shall comply with the City of Yorkville's surfacing requirements as established in the City's Standard Specifications.
- B. **Single-Unit Driveway Standards.** A single slab driveway from the property line to legal, on-site parking shall be provided and shall be in conformance with the following criteria.
1. **Limit of One.** One (1) single slab driveway and one (1) curb cut shall be permitted per every seventy-five (75) feet of frontage of a single-unit residential lot. New residential parcels taking access from collector or arterial streets, shall share driveways in order to protect public safety by limiting curb cuts.
  2. **Single-Slab Driveway Design Standards.**
    - a. Single-slab driveways shall not exceed twenty-five (25) feet in width at the property line.
    - b. **Surfacing.** Single-slab driveways shall be surfaced as specified in the City of Yorkville's City Standard Specifications.

**Figure 5.4. Single-Unit Driveway Standards**



3. **Garage Access Drive.** A garage access drive, the width of the garage, as measured from the garage door(s) plus an additional one (1) foot on either side of the garage door(s), is permitted to extend for a distance of sixteen (16) feet from the garage doors before tapering, within five (5) feet, back to the maximum driveway width.

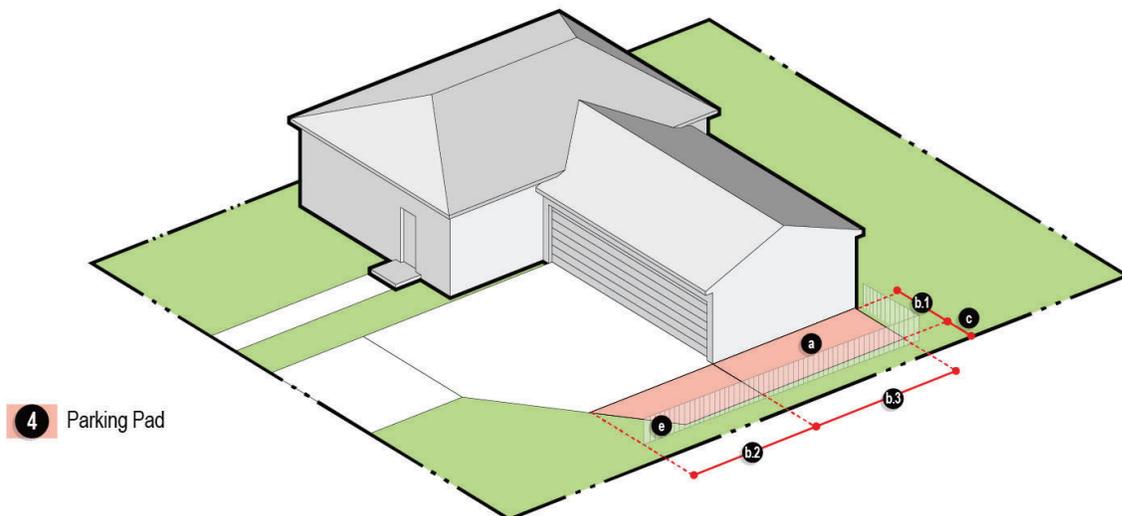
**Figure 5.5. Garage Access Drive Standards**



4. **Parking Pad.**

- a. **Limit of One.** A single-unit driveway may be extended to include one (1) parking pad.
- b. **Configuration.**
  - (1) A parking pad shall be a maximum of ten (10) feet in width.
  - (2) The portion of the parking pad adjacent to the driveway shall have a maximum length of twenty (20) feet, as measured from the front façade line of the garage. A minimum seven (7) foot taper shall be included in the twenty (20) foot maximum.
  - (3) The portion of the parking pad adjacent to the garage shall have a maximum length equal to the depth of the garage, as measured from the front façade line of the garage.
- c. **Location.** The parking pad shall be set back a minimum of five (5) feet from any side property line and shall be outside of all easements.
- d. **Surfacing.** Parking pads shall be surfaced with material and at a thickness as specified in the City of Yorkville's City Standard Specifications.
- e. **Screening.** All parking pads located within a required side yard shall be screened from view when facing adjoining property lines with material at least fifty (50) percent opacity and at a minimum height of five (5) feet. The provision of fencing subject to the requirements of Section 10-5-5 shall meet this requirement.
- f. **Covered Structures.** Covered structures located over parking pads shall not be allowed.
- g. **Vehicle Parking.** No vehicle over ten (10) feet in height may be parked on a parking pad.
- h. **Corner Lots.** Parking pads shall not be allowed on corner lots.

**Figure 5.6. Parking Pad Standards**



**D. Multi-unit and Nonresidential Driveway Standards.**

**1. Location.**

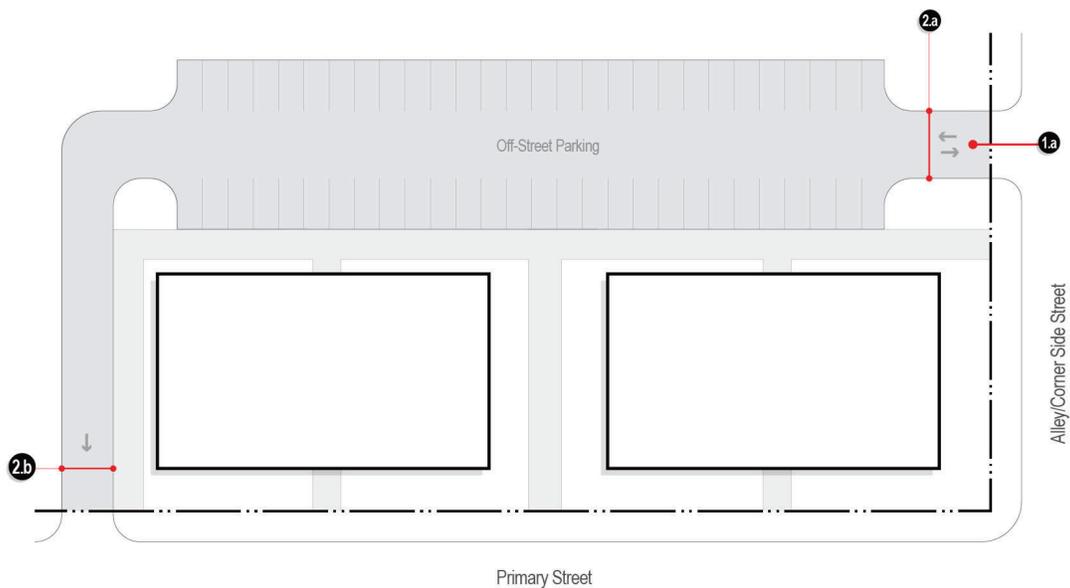
- a. Where an off-street parking area of a corner lot abuts an alley or a corner side street, access to the off-street parking area shall be obtained from a driveway off the alley or corner side street.
- b. No lot can have multiple driveways for purposes of vehicular ingress and egress without a minimum three hundred (300) foot separation between such curb cuts along a street.

**2. Driveway Design Standards.**

- a. Two-way driveways for multi-unit and nonresidential uses shall be a minimum of twenty-five (25) feet and a maximum of thirty-six (36) feet at the property line.
- b. One-way driveways for multi-unit and nonresidential uses shall be a minimum of sixteen (16) feet and a maximum of twenty (20) feet at the property line.
- c. Driveways for multi-unit and nonresidential uses shall be surfaced with an asphaltic concrete or portland cement pavement.

**E. Vehicle Stacking For Drive Throughs.** Vehicle stacking spaces for drive through uses shall be provided as specified in Section 10-4-15(D).

**Figure 5.7. Multi-unit and Nonresidential Driveway Standards**



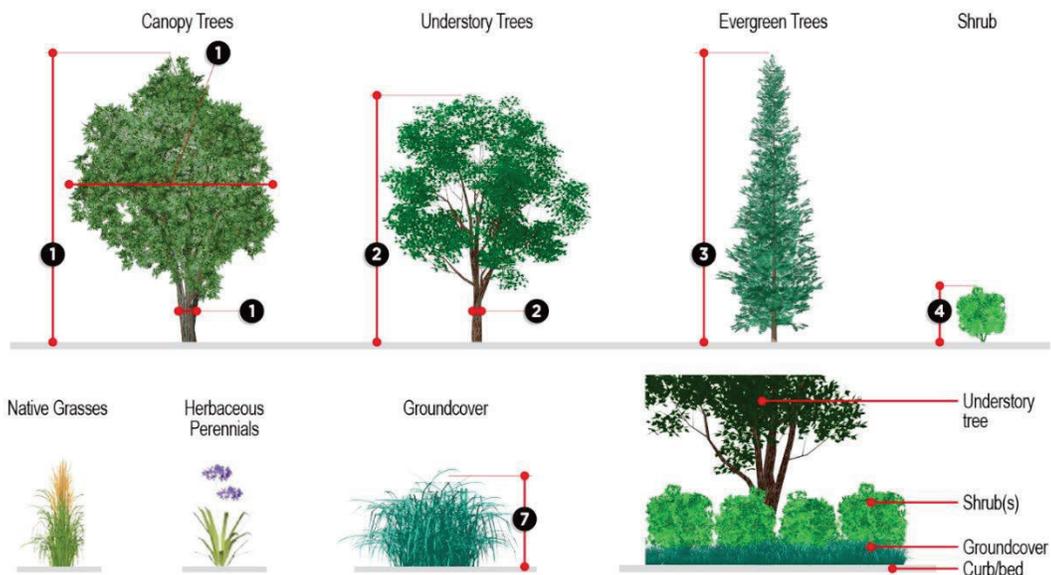
### 10-5-3. Landscape

Landscape improvements required by this section shall apply to all nonresidential, mixed use, and multi-unit development and consist of living vegetation in a combination of plants, trees, shrubs, native grasses, perennials, and/or groundcover. Unless otherwise stated in this section, all size specifications for plant materials shall be based upon the time of planting. When caliper is specified for tree planting, the caliper of the tree trunk shall be measured at average breast height (DBH typically 4.5 feet above ground). Any plant materials used to meet the requirements of this section shall not include any plant material identified as an invasive species by the Illinois Department of Natural Resources.

#### A. Planting Types.

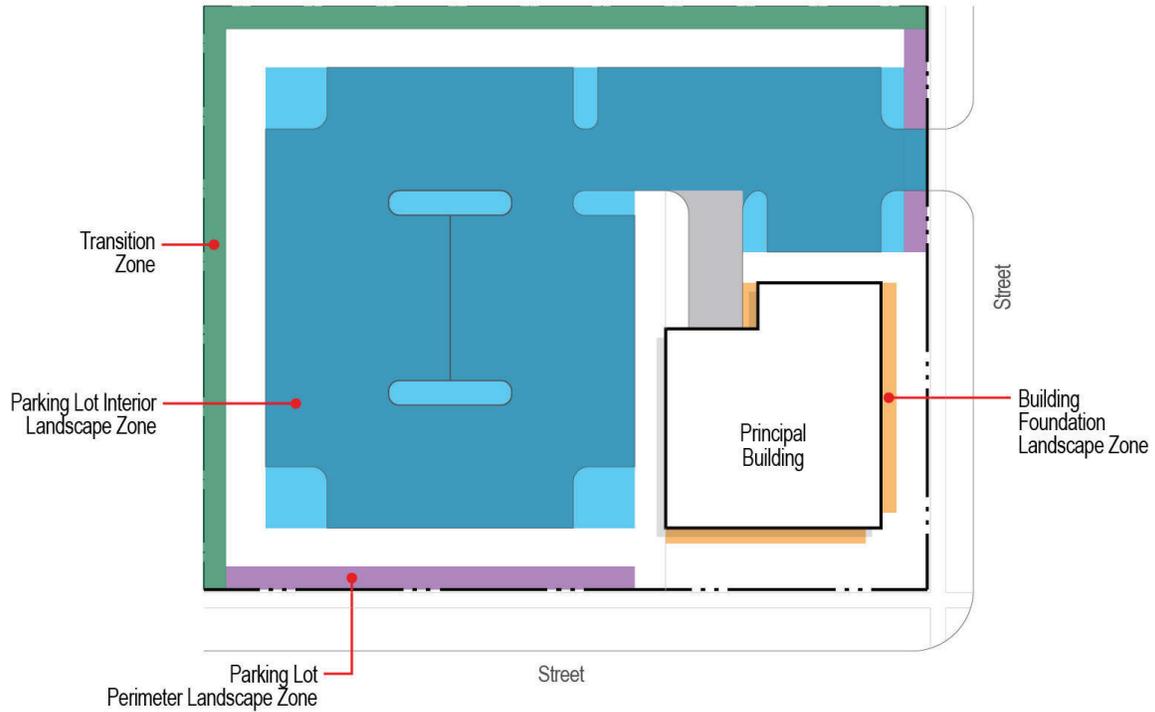
1. **Canopy Trees.** A woody plant (deciduous or evergreen) having not less than a two and one-half (2.5) inch caliper with single central axis which typically reaches a mature height of not less than forty (40) feet and a mature spread of not less than fifteen (15) feet.
2. **Understory Trees.** A woody plant having not less than a one and one-half (1.5) inch caliper, or six (6) feet tall for multiple stem species, that normally attains a mature height of at least fifteen (15) feet.
3. **Evergreen Trees.** A tree having foliage that persists and remains green throughout the year and has a height of not less than six (6) feet at installation and maturing to a height of not less than twenty (20) feet.
4. **Shrubs.** A woody plant (deciduous or evergreen) of low to medium height characterized by multiple stems continuous from its base and having a height of not less than two (2) feet, unless classified as a shrub by the State of Illinois.
5. **Native Grasses.** Grasses that are native to the State of Illinois or non-invasive ornamentals, but shall not include noxious weeds.
6. **Herbaceous Perennials.** Plants with non-woody stems whose above-ground growth largely or totally dies back during winter months but whose underground plant parts (roots, bulbs, etc.) survive.
7. **Groundcover.** Spreading herbaceous plants, other than turf grass, prostrate shrubs, or woody vines normally reaching an average maximum height of eighteen (18) inches at maturity.

Figure 5.8. Planting Types



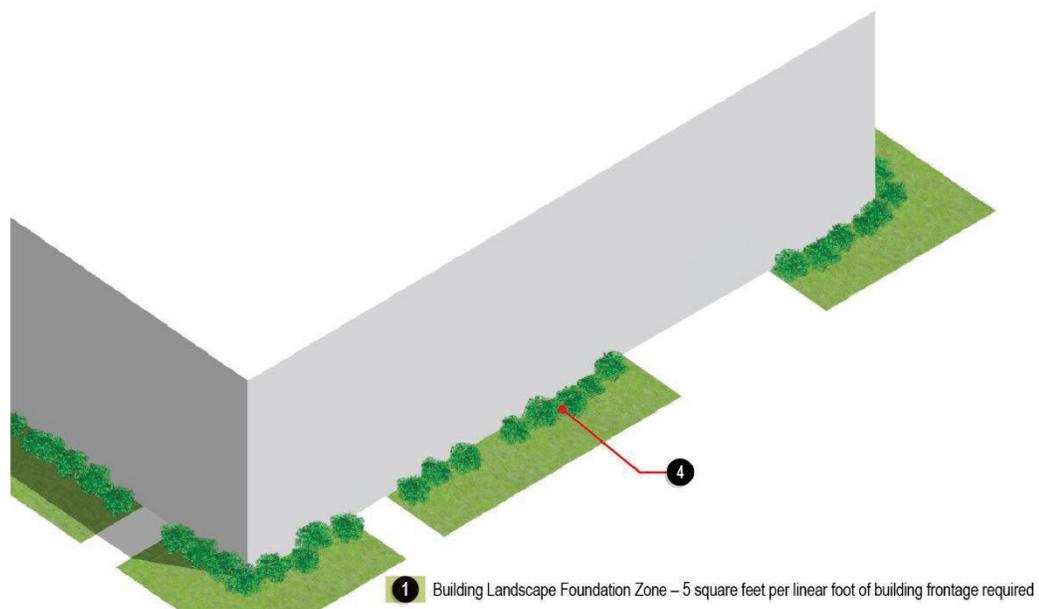
- B. **Required Landscape Zones.** Figure 5.9 illustrates the location of the required landscape zones as detailed in the following sections. The Zoning Administrator may approve exceptions to the required landscape zone as they deem necessary allow adequate construction and use of the site.

**Figure 5.9. Required Landscape Zones**



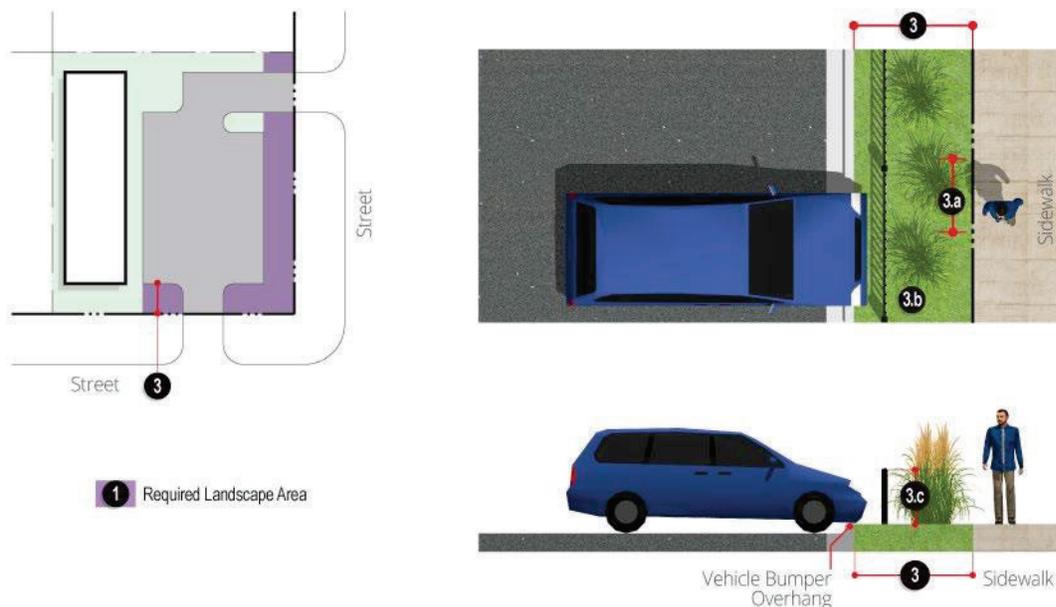
- C. **Building Foundation Landscape Zone.** All nonresidential, mixed-use, and multi-unit development where a front yard setback is required, with the exception of food processing facilities regulated by the FDA, shall include landscape located at the building foundation as required by this section. Landscape required by this section shall be in addition to landscape required under other sections of this title. It is the objective of this section to provide a softening effect at the base of buildings.
1. Applicable development is required to maintain a building foundation landscape zone at front and exterior side yards. Five (5) square feet of landscape area shall be provided per linear foot of building frontage facing the front and exterior side yards and shall be dispersed along the building foundation as approved by the Zoning Administrator.
  2. Foundation plantings shall be designed to supplement buffer yard plantings to frame important views, while visually softening long expanses of walls.
  3. Foundation plantings shall be installed in a manner that complements the architecture of the building, as approved by the Zoning Administrator, depending on site conditions and the location of walkways and driveways.
  4. Foundation plantings shall be installed in groupings or clusters of individual plants in a manner that enhances the site's appearance as proposed by the developer and deemed appropriate by the Zoning Administrator.
  5. Foundation plantings may include a mixture of the planting types specified in Section 10-5-3(A).
  6. Where the area between the building and parking lot or street curb is entirely paved for pedestrian use, landscaping may consist of canopy trees planted in structural soils beneath tree grates or permeable pavement, at the rate of one (1) tree per fifty (50) linear feet of building facade. Minimum structural soil volume shall be six hundred (600) cubic feet per tree.
  7. Above-ground stormwater planter boxes installed on-site may be substituted for foundation plantings as deemed appropriate by the Zoning Administrator.

**Figure 5.10. Building Foundation Landscape Zone**



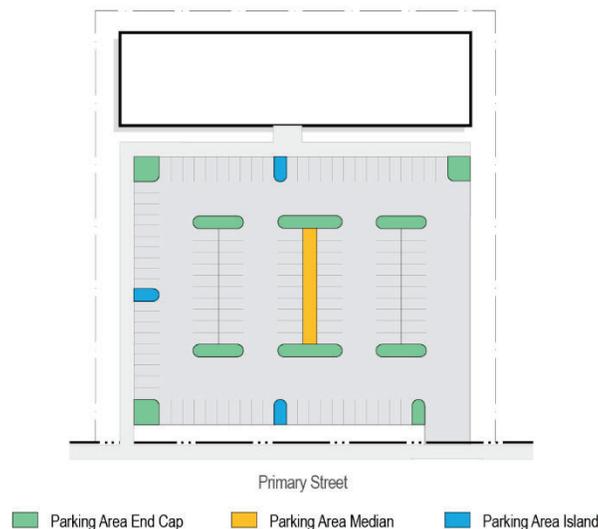
- D. **Parking Area Perimeter Landscape Zone.** Landscape required by this section shall be in addition to landscape required under other sections of this title. It is the objective of this section to provide screening between off-street parking areas and rights-of-way, and to provide for the integration of stormwater management with required landscaping.
1. **Location.** All off-street parking areas which abut a public or private right-of-way, excluding alleys, shall include landscape and trees as required by this section located between the back of curb of the off-street parking area and the right-of-way.
  2. **Applicability.** The parking lot perimeter landscape regulations of this section apply to the following:
    - a. The construction or installation of any new off-street parking area; and
    - b. The expansion of any existing off-street parking area, in which case the requirements of this section apply only to the expanded area.
  3. **Requirements.** Perimeter landscape shall be established along the edge of the off-street parking area and have a minimum width of seven (7) feet as measured from the back of curb of the off-street parking area, to accommodate vehicle bumper overhang and ensure planting areas that are adequate in size.
    - a. One (1) shrub or native grasses shall be planted for every three (3) feet of landscape area length.
    - b. Landscaped areas outside of shrubs/native grasses and tree masses shall be planted in finished groundcover including mulch or stonework.
    - c. A low masonry wall or fence the height of which provides effective screening to a maximum height of three (3) feet may be used in conjunction with required landscaping as detailed above. Plant materials shall be installed between the sidewalk and the fence or wall to provide a softening effect.

**Figure 5.11. Parking Area Perimeter Landscape Zone**



- E. **Parking Area Interior Landscape Zone.** All off-street parking areas shall include landscape and trees located within the off-street parking area as required by this section. Trees and landscape required by this section shall be in addition to trees and landscape required under other sections of this title. It is the objective of this section to provide shade within parking areas, break up large expanses of parking area pavement, support stormwater management where appropriate, improve the appearance of parking lots as viewed from rights-of-way, and provide a safe pedestrian environment.
1. **Applicability.** The parking area interior landscape zone regulations of this section apply to the following:
    - a. The construction or installation of any new off-street parking lot containing ten (10) or more parking spaces; and
    - b. The expansion of any existing off-street parking area if the expansion would result in ten (10) or more new parking spaces, in which case the requirements of this section apply only to the expanded area.
  2. **Requirements.** For off-street parking areas consisting of ten (10) or more continuous spaces, interior parking area landscape as described in this section shall be required. Off-street parking areas consisting of fewer than ten (10) continuous spaces that are located in front or to the side of the principal building shall be required to terminate all rows of parking with a parking area end cap meeting the standards of subsection 4 below. Off-street parking areas consisting of fewer than ten (10) continuous spaces that are located to the rear of the principal building shall be exempt from parking area interior landscape zone requirements.
  3. **Amount.** The amount of required parking area interior landscape shall be determined by the location of the off-street parking area in relation to the primary building as detailed below.
    - a. **Off-Street Parking Areas in Front or Side of Primary Building.**
      - (1) **Parking Area End Caps.** A parking area end cap shall be located at the end of any bay of parking bordered by a drive aisle, public or private street, or pedestrian circulation system.
      - (2) **Parking Area Median Amount Requirement.** Parking area medians shall be placed between every third bay of parking.
      - (3) **Parking Area Island Amount Requirement.** Parking area islands shall be located on parking bays which are not required to have parking area medians. Parking area islands shall be spaced not more than ten (10) continuous spaces apart.

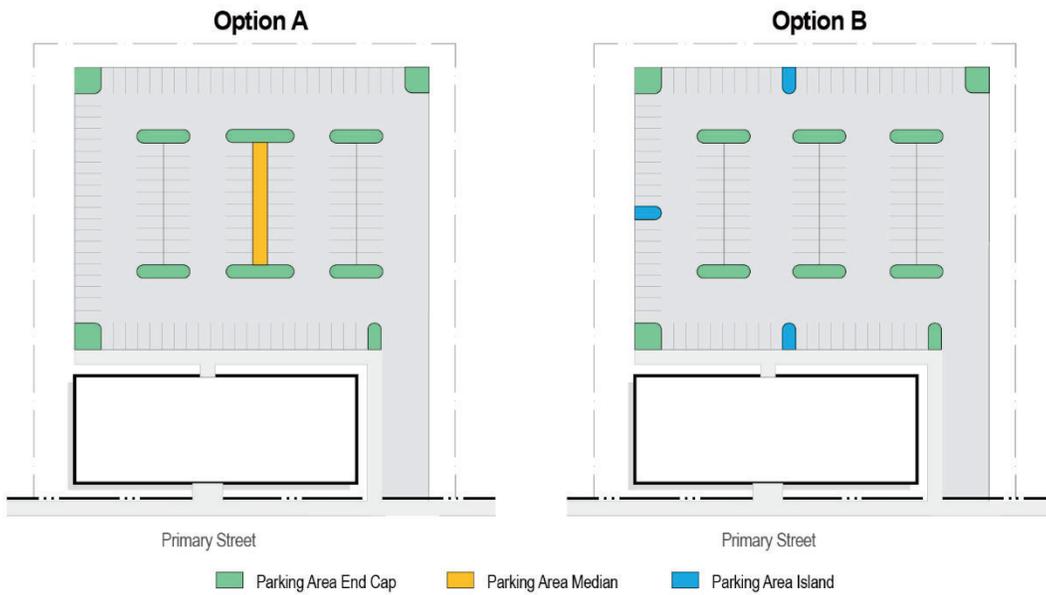
**Figure 5.12. Off-Street Parking Area Interior Landscape Zone in Front or Side of Primary Building**



b. **Off-Street Parking Areas in Rear of Primary Building.**

- (1) **Parking Area End Caps.** A parking area end cap shall be located at the end of any bay of parking bordered by a drive aisle, public or private street, or pedestrian circulation system.
- (2) **Parking Area Median or Parking Area Island Amount Requirement.** The developer may choose to install either parking area medians or parking area islands. If the developer chooses to install parking area medians, they shall be placed between every third bay of parking. If the developer chooses to install parking area islands, they shall be spaced not more than one-hundred eighty (180) feet or more than twenty (20) continuous spaces apart.

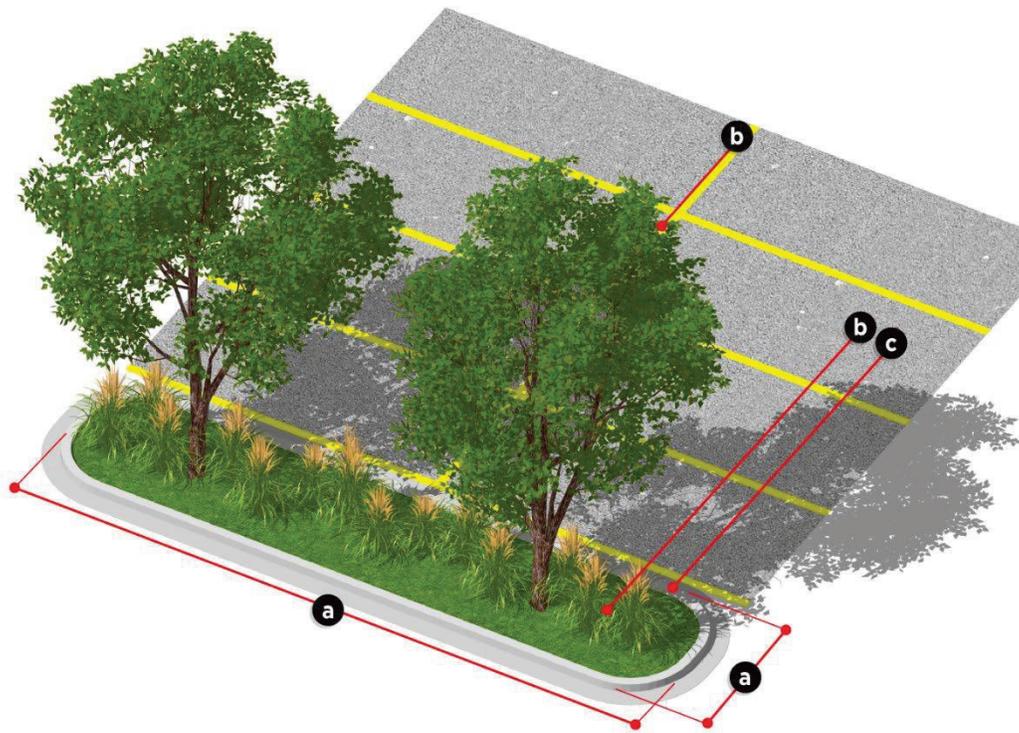
**Figure 5.13. Off-Street Parking Area Interior Landscape Zone in Rear of Primary Building**



4. **Parking Area End Cap Standards.**

- a. **Size.** Parking area end caps shall be a minimum of ten (10) feet wide by eighteen (18) feet long as measured from the back of the curb to back of the curb and shall have a minimum soil depth of thirty-six (36) inches. Double rows of parking shall provide parking area end caps opposite one another to form a continuous single end cap.
- b. **Planting.** A minimum of one (1) canopy tree and three (3) native grasses shall be provided for every parking area end cap. If the end cap extends the width of a double bay, then two (2) canopy trees shall be provided. The mature height of the shrubs or native grasses shall not exceed thirty-six (36) inches and all canopy trees shall not branch below eight (8) feet to preserve site lines and visibility within the parking lot.
- c. **Design.** Parking area end caps shall be protected with concrete curbing or other suitable barriers approved by the Zoning Administrator. Such end caps shall be properly drained or irrigated as appropriate to the site conditions to ensure survivability of plant materials and proper stormwater management function.

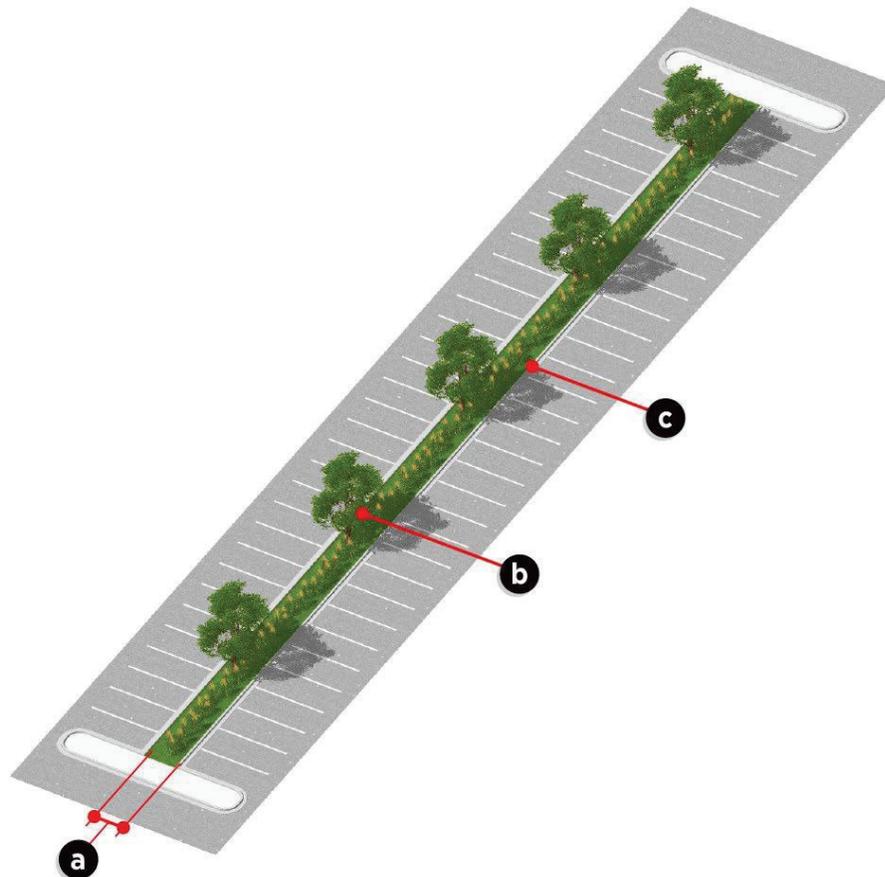
**Figure 5.14. Parking Area End Cap Standards - Double Bay Parking**



5. **Parking Area Median Standards.**

- a. **Size.** Parking area medians shall have a minimum width of ten (10) feet and minimum soil depth of thirty-six (36) inches.
- b. **Planting.** A minimum of one (1) canopy tree and fifteen (15) shrubs or native grasses shall be planted for each fifty (50) linear feet of parking area median. The mature height of the shrubs or native grasses shall not exceed thirty-six (36) inches and all canopy trees shall not branch below eight (8) feet to preserve site lines and visibility within the parking lot.
- c. **Design.** Parking area medians shall be protected with concrete curbing unless the parking area median is designed to be utilized for stormwater management in which case the perimeter shall be protect by wheel stops, or other suitable barriers approved by the Zoning Administrator. Such medians shall be properly drained or irrigated as appropriate to the site conditions to ensure survivability of plant materials and proper stormwater management function.

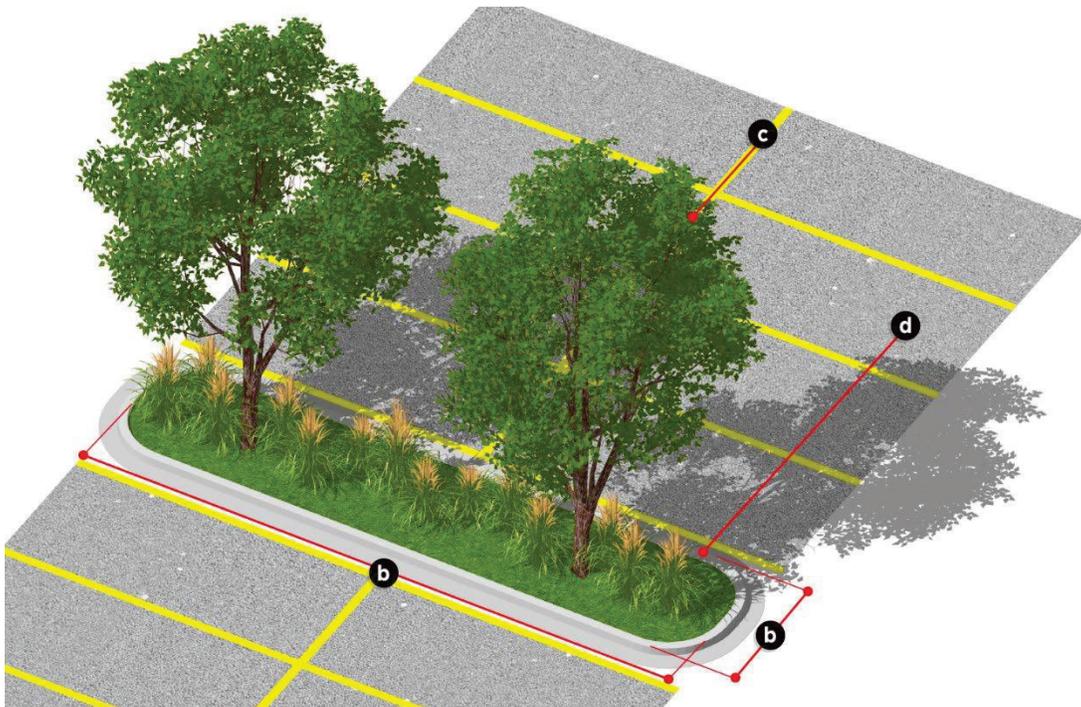
**Figure 5.15. Parking Area Median Standards**



## 6. Parking Area Island Standards.

- a. **Requirements.** Parking area islands shall only be required for parking areas with ten (10) or more contiguous spaces in a row.
- b. **Size.** Parking area islands shall be a minimum ten (10) feet wide by eighteen (18) feet long and shall have a minimum soil depth of thirty-six (36) inches. Double rows of parking shall provide parking area islands opposite one another to form continuous single islands.
- c. **Planting.** A minimum of one (1) understory tree shall be provided for every parking area island. If the island extends the width of a double bay, then two (2) understory trees shall be provided. Understory trees shall not branch below eight (8) feet to preserve site lines and visibility within the parking lot.
- d. **Design.** Parking area islands shall be protected with concrete curbing or other suitable barriers approved by the Zoning Administrator. Such islands shall be properly drained or irrigated as appropriate to the site conditions to ensure survivability of plant materials and proper stormwater management function.

**Figure 5.16. Parking Area Island Standards - Double Bay Parking**



7. **Pedestrian Circulation Systems.** Pedestrian circulation systems, as required in the interior of off-street parking areas in Section 10-5-1(N) shall be located along parking area medians. The Zoning Administrator may waive or modify this requirement on determining that locating pedestrian circulation systems along parking area medians is impractical due to site conditions or undesirable because it would create unsafe conditions.
8. **Pedestrian-Scale Lighting.** Pedestrian-scale lighting of an adequate height and design is encouraged to be provided at adequate intervals to illuminate the pedestrian circulation systems.

9. **Type of Landscape Material.** Except where areas are designed as vegetated stormwater management areas, canopy trees shall be the primary plant materials used in parking area islands and canopy trees and shrubs or native grasses shall be the primary plant materials used in parking area medians. Understory trees, perennials, groundcover, and other plant materials may be used to supplement the required plantings but shall not create visibility concerns for automobiles and pedestrians. If medians or islands are designed as stormwater management areas, deviations from required plantings may be approved by the Zoning Administrator.
10. **Groundcover.** The surface area of every parking area island and median shall be planted with a mix of rocks, plant material, or other materials approved by the Zoning Administrator.

F. **Transition Zone Landscape Requirements.** Transition zone landscape shall be required along interior side and rear property lines of all nonresidential, mixed use, and multi-unit development. It is not expected that the transition area will totally screen such uses but rather will minimize land use conflicts and enhance aesthetics. Landscape required by this section shall be in addition to landscape required under other sections of this title.

1. **Applicability.** Transition zone landscaping is required as follows:
  - a. The construction or installation of any new primary building or primary use; and
  - b. The expansion of any existing primary building or primary use that results in an increase in gross floor area by more than five (5) percent or one thousand (1,000) square feet, whichever is greater. In the case of expansions that trigger compliance with transition zone requirements, transition zone landscaping is required only in proportion to the degree of expansion. The Zoning Administrator is authorized to allow the transition zone to be established adjacent to the area of expansion or to disperse transition zone landscaping along the entire site transition zone.
2. **Application of Transition Zone Types.** Transition zones shall be provided based on Table 10-5-3(F)(2), except where adjacent uses are of a similar nature, scale, and intensity as determined by the Zoning Administrator. As per Table 10-5-3(F)(2), the type of required transition zone is dependent upon the land use type of the subject lot and the land use type of the adjacent lot(s).

Subject Lot Land Use	Adjacent Lot Land Use										
	Agricultural	Single-Unit Residential	All Other Residential	Public/Institutional	Retail	Service/Medical/Office	Lodging	Eating/Drinking	Entertainment	Vehicle Related	Industrial/Transportation
Agricultural	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Single-Unit Residential	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
All Other Residential	n/a	C	A	B	B	B	B	B	B	C	D
Public/Institutional	n/a	C	B	A	B	B	B	B	B	C	D
Retail	n/a	C	B	B	A	A	A	A	A	B	C
Service/Medical/Office	n/a	C	B	B	A	A	A	A	A	B	C
Lodging	n/a	C	B	B	A	A	A	A	A	B	C
Eating/Drinking	n/a	C	B	B	A	A	A	A	A	B	C
Entertainment	n/a	C	C	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Vehicle Related	n/a	D	D	B	A	A	A	A	A	B	C
Industrial/Transportation	n/a	D	D	D	D	D	D	D	D	D	D

3. **Transition Zone Types.** Four (4) transition zone types are established in recognition of the different contexts that may exist, as shown in Table 10-5-3(F)(3). Transition zones may include a combination of elements including setback distances for separation, planting types, solid fencing, green walls, vegetated stormwater management areas, living groundcover, or turf.

Table 10-5-3(F)(3) Transition Zone Types					
Specification		Type A (3)	Type B (3)	Type C (3)	Type D (3)
(a)	Minimum Zone Width (1)	8 feet	10 feet	15 feet	20 feet
(b)	Minimum Fence/Wall Height (2)	optional	optional	6 feet	6 feet
<i>Minimum Number of Landscape Elements per 100 Linear Feet</i>					
(c)	Understory Tree	optional	3	4	5
(d)	Canopy/Evergreen Tree	4	3	4	5
(e)	Shurbs/Native Grasses	optional	15	25	35
<b>Notes:</b>					
(1) Required yard setbacks may be utilized for transition zone landscape.					
(2) Fence or wall requirements may be satisfied by a solid evergreen hedge with a maximum height of six (6) feet, as approved by the Zoning Administrator.					
(3) Landscaping elements can be arranged to match to natural topography or natural features of the site and may be arranged in groupings to enhance site aesthetics as approved by the Zoning Administrator.					

Figure 5.17. Transition Zone Type A Standards

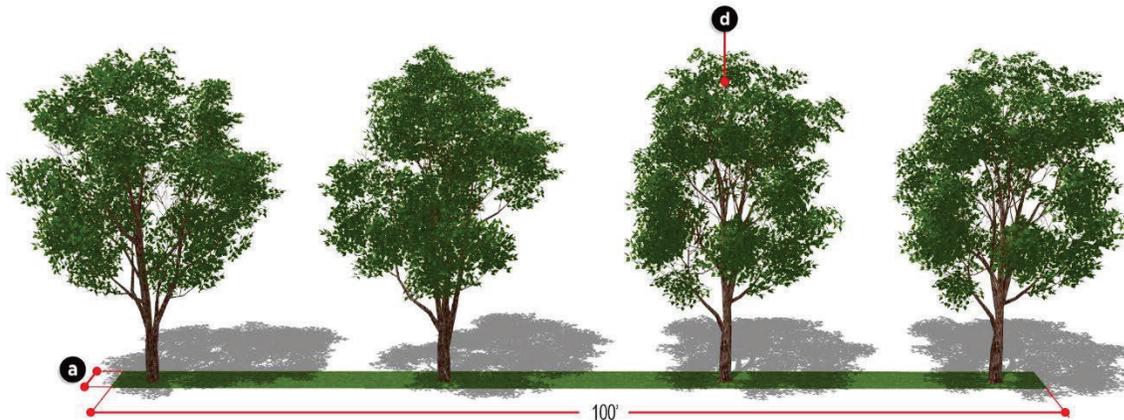


Figure 5.18. Transition Zone Type B Standards

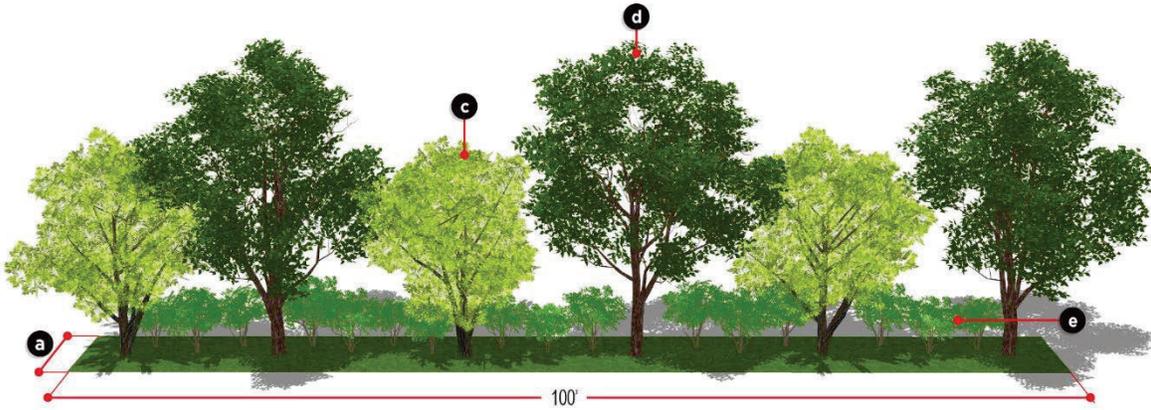


Figure 5.19. Transition Zone Type C Standards

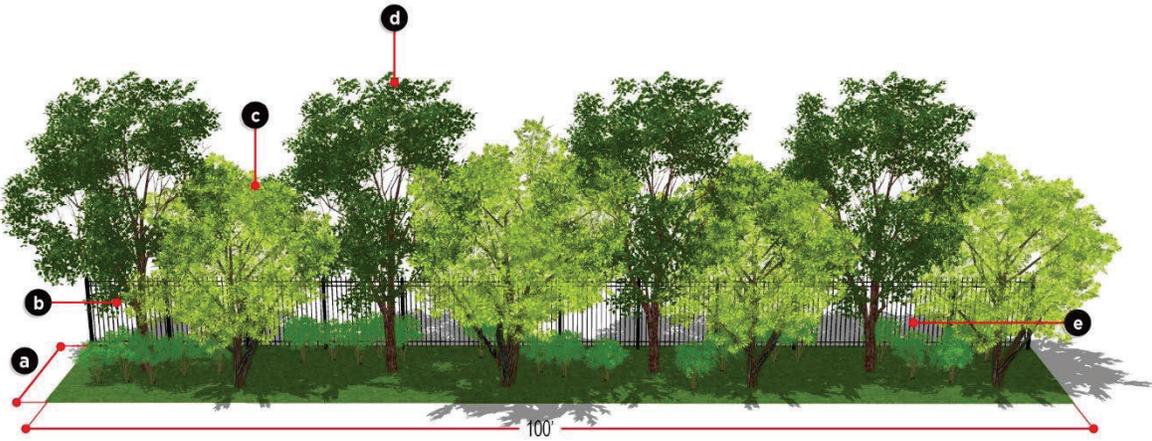


Figure 5.20. Transition Zone Type D Standards



- G. **Species Diversity Requirements.** The following species diversity requirements shall be required for all developments, unless otherwise approved by the Zoning Administrator in conjunction with approval of vegetated stormwater management areas
1. Total landscape elements, excluding turf, shall not be comprised of more than thirty (30) percent of any single species or fifty (50) percent of any genus on a parcel that is between one-half (0.5) and five (5) acres.
  2. Total landscape elements, excluding turf, shall not be comprised of more than twenty (20) percent of any single species or twenty-five (25) percent of any genus on a parcel that is greater than five (5) acres.
- H. **Tree Preservation and Removal.** No live tree(s) with a four (4) inch diameter at breast height may be removed without first applying for tree removal and receiving approval from the City as specified in Section ###.
1. **Tree Preservation and Removal Guidelines.** Every reasonable effort shall be made to retain existing trees shown in the tree survey prepared by a registered landscape architect through the integration of those trees into the site and landscape plan for a proposed development.
    - a. Critical areas such as floodplains, steep slopes, and wetlands, should be left in their natural condition or only partially cleared.
    - b. Roadways, storage areas, and parking lots should be located away from valuable tree stands.
    - c. Cutting and filling in the vicinity of valuable trees should be minimal.
    - d. If more than one-third of the tree's root zone is to be affected by construction, the tree should be part of the removal plan and replaced with the appropriate number of trees.
  2. **Tree Survey Requirements.** Every tree survey for any new development shall include the following:
    - a. Location, species (botanic and common name), and diameter at breast height (DBH) of all trees four (4) inches DBH or larger.
    - b. Survey must clearly identify which trees are proposed to be removed and which are proposed to be preserved.
    - c. A summary data table indicating total number of trees removed and trees to be replaced shall be provided on the survey.
  3. **Tree Replacement Standards.**
    - a. Any tree approved for removal shall be replaced with new trees in accordance with the following schedule:

<b>Table 10-5-3(H)(3)(a) Tree Replacement Approved For Removal</b>	
Caliper (Inches) of tree to be removed	Number of Replacement Trees
30 or Greater	6
13-29	5
8-12	4
4-7	2

- b. In the event that a tree identified to be preserved is removed or damaged, such tree shall be replaced as follows:

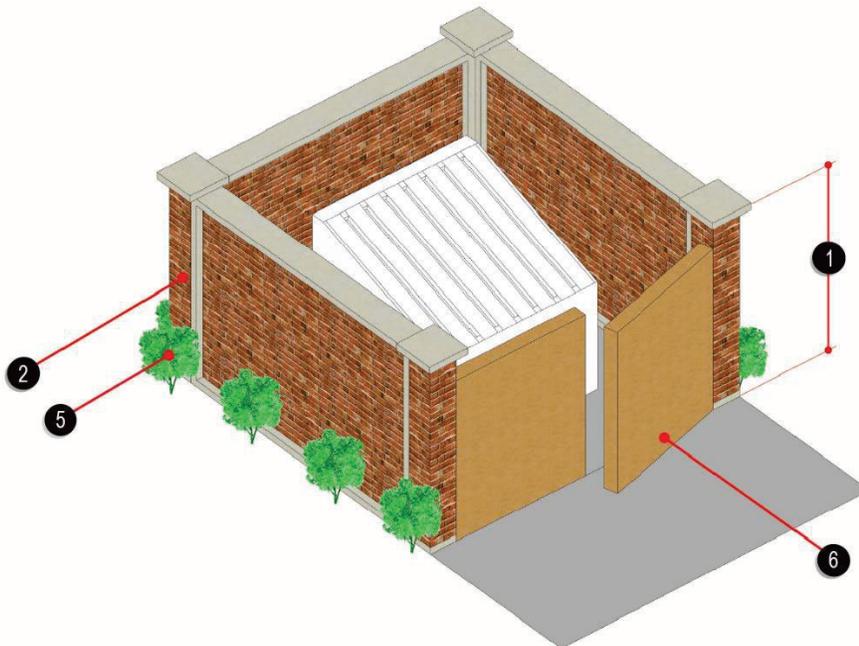
Table 10-5-3(H)(3)(b) Tree Replacement Identified For Preservation	
Caliper (Inches) of tree to be removed	Number of Replacement Trees
30 or Greater	12
13-29	10
8-12	8
4-7	4

- c. All replacement trees shall have a minimum caliper of two and one-half (2½) inches and shall consist of canopy and understory trees as deemed appropriate by Zoning Administrator.
- d. If the tree(s) approved for removal is (are) dead from natural causes prior to the date of the tree removal permit, then no replacement tree(s) are required for them.
4. **Preservation of Existing Trees.** Preservation of existing high-quality trees within a new development or redevelopment site is highly encouraged. Preserved trees may fulfill a portion of the landscape requirements established in this section. Should the applicant propose to maintain existing high-quality trees to count toward satisfying certain landscape requirements of this title, the Zoning Administrator may, upon receipt of a tree preservation plan, waive certain landscape requirements if mature, high-quality trees on a lot are proposed to be preserved. If, upon inspection at the conclusion of the project, trees identified for preservation have been removed, damaged, or are otherwise in declining condition, all waived required landscape shall be installed.
5. **Fee in Lieu.** A fee may be provided in lieu of the replacement of trees or preservation of existing trees as established in the City of Yorkville's adopted ordinances. These fees will be based upon wholesale pricing for a two and a half (2 ½) to three (3) inch tree and shall cover the cost of the tree and the estimated cost of the installation of the trees required to be planted. Money collected from the fee in lieu option shall be deposited into a Tree Bank Fund to be used towards tree replacement and plantings throughout the City.
6. **Tree Preservation Plan.** Development on all parcels four (4) acres or greater in area shall require the submittal and approval of a tree removal plan.
- I. **Installation and Maintenance of Landscape Areas.**
1. Immediately upon planting, all landscape shall conform to the American Standard for Nurserymen, published by the American Association of Nurserymen, Inc., as revised from time to time.
  2. The ground surface of landscape areas shall be covered with either turf, sod, mulch, and/or other types of pervious groundcover.

### 10-5-4. Screening

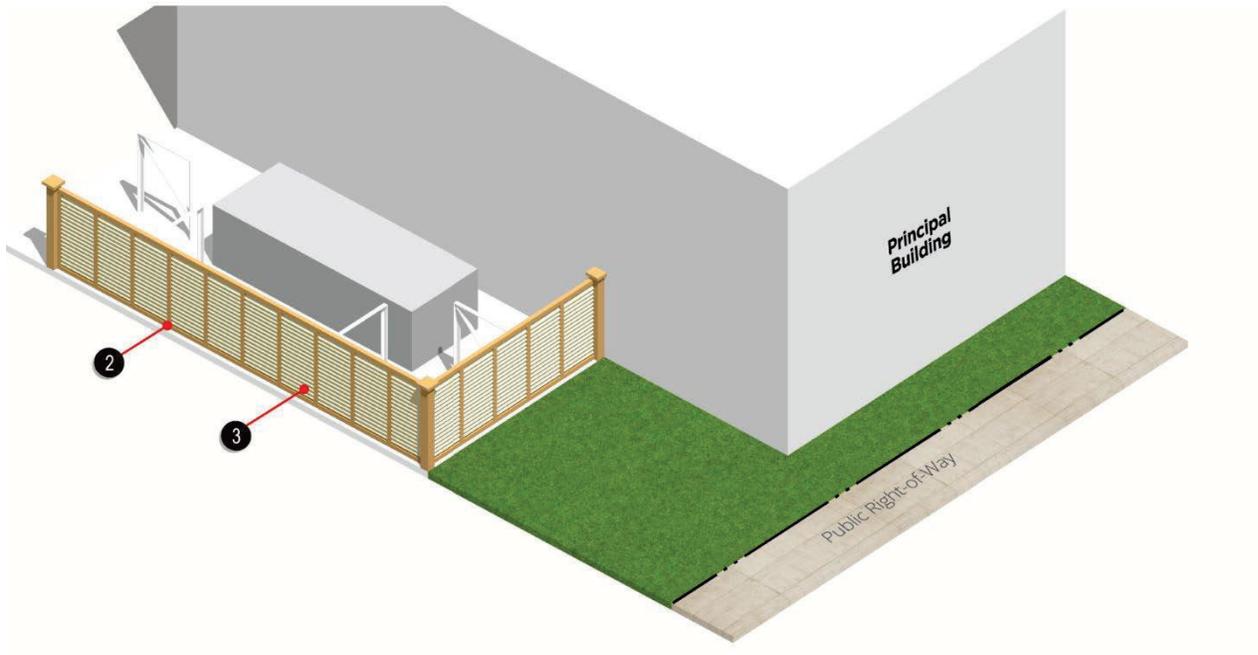
- A. **Trash and Recycling Receptacles.** The following regulations shall apply to all nonresidential, mixed use, and multi-unit development.
1. Trash and recycling receptacles shall be screened on three (3) sides with a solid, opaque material with a minimum height of six (6) feet and a maximum height of eight (8) feet.
  2. Materials used for screening shall complement the exterior building cladding materials of the primary building.
  3. Materials and elevations for enclosures that are attached to buildings shall be designed to be integrated into the primary building.
  4. If enclosures are to be attached to buildings, they shall comply with applicable fire and building codes.
  5. Shrubs shall be installed every five (5) feet along the exterior of the enclosure, with the exception of enclosure openings, to provide a softening effect.
  6. Enclosure openings shall be gated with an opaque material.
  7. Enclosure openings shall be kept closed at all times except for when the receptacle is being accessed.
  8. Access drives shall be constructed of materials and to a thickness which accommodates truck loading.
  9. Enclosures shall be of an adequate size to accommodate expected containers.
  10. Enclosure structures shall be designed to protect the walls from damage by containers. Such protection may be provided by the use of barrier curbing, reinforced masonry walls, or other similar means.
  11. Trash and recycling receptacle enclosures shall not occupy areas used for required parking spaces.

**Figure 5.21. Trash and Recycling Receptacle Screening Standards**



- B. **Ground/Wall Mounted Mechanical Units.** The following regulations shall apply to all ground/wall-mounted mechanical units, including but not limited to generators, air-conditioning condensers, heat pumps, ventilation units, computer cooling equipment, etc., and any related utility structures and equipment. Tanks and / or silos accessory to a brewery, winery, and/or distillery are exempt from these requirements.
1. Locating mechanical units within the primary building is strongly encouraged in order to minimize exterior visual impacts. Ground mounted mechanical units are prohibited within the front yard, regardless of whether screening is provided.
  2. Ground/wall mounted mechanical units that are visible from any public right-of-way or adjacent residential property shall be screened from public view.
  3. Materials used for screening shall be designed and established so that the area or element being screened is no more than twenty (20) percent visible through the screen. Evergreen hedges or non-transparent walls such as stone masonry shall be allowed.
  4. Chain-link fence or slats in chain-link fence shall not be used to meet this requirement.

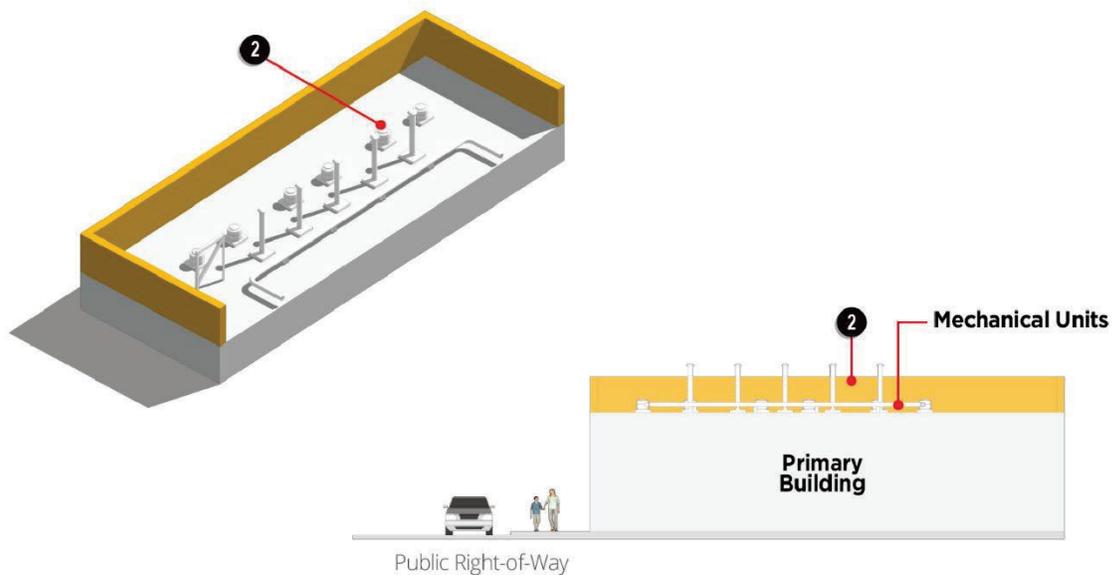
**Figure 5.22. Ground/Wall Mounted Mechanical Unit Screening Standards**



C. **Roof Mounted Mechanical Units.** The following regulations shall apply to all roof mounted mechanical units, including but not limited to air-conditioning condensers, heat pumps, ventilation units, computer cooling equipment, etc., and any related utility structures and equipment which service multi-unit, non-residential, or mixed-use developments.

1. Locating mechanical units within the primary building is strongly encouraged in order to minimize exterior visual impacts.
2. Roof mounted mechanical units that are visible from any public right-of-way or adjacent residential property shall be completely screened from public view.
3. Materials used for screening shall be architecturally integrated with the building and shall be continuous and permanent.
4. Screening shall be required when new equipment is installed and shall be provided around both new and existing roof mounted mechanical units in order to provide visual continuity. Normal maintenance of roof mounted mechanical units shall not mandate the screening requirements.
5. Additional screening may be required due to topographic differences in the adjoining properties.

**Figure 5.23. Roof-Mounted Mechanical Unit Screening Standards**



## 10-5-5. Fences

### A. Regulations for All Zoning Districts.

1. Fences thirty-six (36) inches or more in height require a building permit.
2. All fences must be erected so that the finished side of the fence faces outward or away from the lot on which the fence is erected.
3. No more than two (2) different types of fencing material are permitted per lot.
4. **Materials.** The materials listed below are acceptable for a fence in any district unless specific districts are specified in this subsection. These materials are an example of acceptable fencing. The Zoning Administrator has the right to approve similar materials not listed as long as they are consistent with the surrounding land use.
  - a. Stone,
  - b. Brick,
  - c. Natural rot resistant wood (cedar, cyprus, redwood),
  - d. Cast or wrought iron,
  - e. Plastic,
  - f. Aluminum,
  - g. Composite wood and plastic,
  - h. Vinyl coated chain-link (rear and side yard only on properties in nonresidential districts).
  - i. Galvanized chain-link (only on M-1 or M-2 properties adjacent to other M-1 or M-2 property).

### B. Placement.

1. Fences may be built up to the property line but shall not extend beyond the front plane of the primary building facade in residential and business districts and must be located entirely on the property of the owner constructing it.
2. Fences may be constructed within an easement, though future work within the easement may result in the removal of the fence. Fences are not allowed in some types of restricted easements, such as those dedicated for landscape, sidewalks, trails, access or where otherwise limited by an easement document.
3. The property owner is responsible for locating property lines, prior to the installation of the fence.
4. Fences, walls, or hedges shall not encroach on any public right-of-way.
5. It shall be the responsibility of the property owner to ensure that a fence does not block or obstruct the flow of stormwater.
6. All solid fences, walls, hedges, or shrubberies which exceed three (3) feet above the street grade shall comply with the vision clearance standards of Section 10-5-6 of this title.

### C. Prohibited Fences.

1. Fences or enclosures charged with or designed to be charged with electrical current are prohibited, except for underground dog fences.
2. Any fence made of, in whole or in part, cloth, canvas or other like material is prohibited.

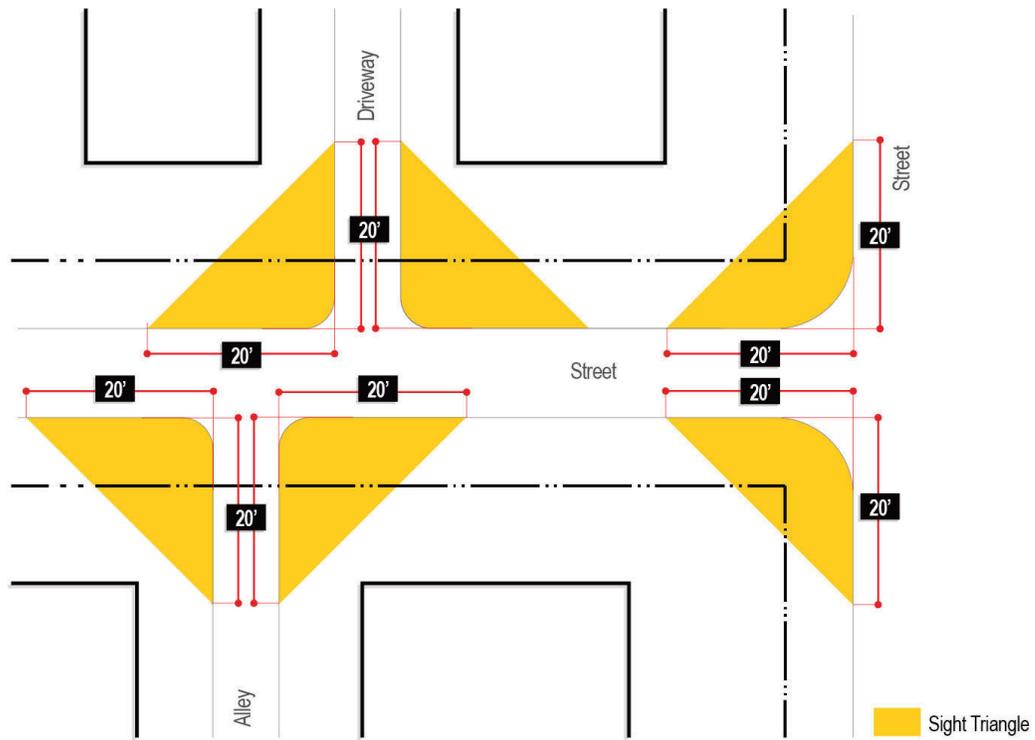
3. No fence shall be constructed of used or discarded materials in disrepair, including, but not limited to, pallets, tree trunks, trash, tires, junk, or other similar items as determined by the Zoning Administrator.
- D. **Height.** Except as otherwise permitted in this title, annexation agreements, planned unit developments or any other development related agreements or ordinances, fences shall not exceed the maximum height as listed in Table 10-5-5(D) of this section.

Table 10-5-5(D) Fence Height Standards				
District/Use	Maximum Height per Yard			
	Front Yard	Comer Side Yard	Interior Side Yard	Rear Yard
Residential Districts	3 feet <sup>1</sup>	6 feet	6 feet <sup>2</sup>	6 feet <sup>2</sup>
Business Districts	3 feet <sup>1</sup>	6 feet	6 feet <sup>2</sup>	6 feet <sup>2</sup>
Manufacturing District	8 feet	8 feet	8 feet	8 feet
Public Uses and Utilities	8 feet	8 feet	8 feet	8 feet
Notes:				
1. Fence may be a maximum of four (4) feet in height if opacity does not exceed fifty (50) percent.				
2. Fence may be a maximum of eight (8) feet in height if in a residential district and adjacent to a nonresidential use or in a business district and adjacent to a residential use.				

### 10-5-6. Vision Clearance

Clear sight distance shall be required at the intersection of a driveway and any right-of-way or at the intersection of two (2) or more streets. No building or structure shall be permitted that creates a visual obstruction taller than three (3) feet in the area measured extending twenty (20) feet from the curb at the intersection of the driveway and street, or from the curb at the intersection of two (2) or more streets.

Figure 5.24. Vision Clearance Standards



### 10-5-7. Outdoor Lighting

- A. **Applicability.** This section shall apply to the replacement of existing lighting units and fixtures and any lighting units or fixtures proposed to be added to a site with multiunit and nonresidential uses only.
- B. **Exceptions.** Temporary holiday lighting shall be exempt from the standards of this sections.
- C. **Fixture Classification.** All outdoor lighting fixtures, with the exception of wall mounted accent lighting and outdoor lighting in the A-1 District, shall either have a fixture cutoff classification of "Full Cutoff" or be fully shielded, unless otherwise expressly permitted in this UDO.
- D. **LED Fixtures.** Non light-emitting diode fixtures shall be allowed for building mounted, ornamental, or holiday lighting. Lighting fixtures for parking lots shall utilize a light-emitting diode (LED) fixtures.
- E. **Pole Mounted Outdoor Lighting.**
  - 1. **Pole Placement.** Pole-mounted outdoor lighting shall be located outside of utility easements, designed in coordination with required landscape zones as specified in Section 10-5-3.
  - 2. **Maximum Pole Height.**

Districts	Maximum Height
Residential Districts	20 feet
Institutional and Open Space Districts	20 feet
B-2 Mixed Use District	25 feet
Other Business and Manufacturing Districts	35 feet

- F. **Wall Mounted Accent Lighting.** Wall mounted accent lighting shall be integrated with the architectural character of the building and shall use low-luminosity lamps, with two thousand (2,000) source lumens or less. The illumination on any vertical surface shall not exceed one-half (0.5) maintained foot candle and shall not spill over roof lines or building edges.
- G. **Lighting Intensity.** The average foot-candle of any lighting fixture intensity should be two to two and one-half (2.0—2.5) foot-candles. The average to minimum light intensity ratio should be no more than six to one (6:1), and the maximum to minimum light intensity ratio should be no more than twenty to one (20:1).
- H. **Off-Street Parking Area Lighting.** Any lighting used to illuminate off-street parking areas shall be directed away from residential properties and public highways in such a way as not to create a nuisance. The City of Yorkville promotes the "dark sky" concept.
- I. **Maximum Light Level at Property Line.** All outdoor lighting fixtures, including lights from signage, shall be designed and located so that the maximum light level shall be zero (0) maintained foot candles at any property line.
- J. **Fixtures.** All outdoor lighting must employ full cut-off or fully shielded fixtures and the use of wall packs on buildings should be minimized.
- K. **Light Level Measurement.**
  - 1. **Location.** Light level measurements shall be made at the property line of the property upon which the light to be measured is being generated. If measurement on private property is not possible or practical, light level measurements may be made at the boundary of the public street right-of-way that adjoins the property of the complainant or at any other location on the property of the complainant. Measurements shall be made at finished grade (ground level), with the sensor in the horizontal position and not mounted more than six (6) inches above ground level, and with the light-registering portion of the meter held parallel to the ground and pointing upward.

2. **Light Meter Specifications.** Light levels shall be measured in foot candles with a direct-reading portable light meter as measured by the City. The meter shall:
  - a. Have cosine and color correction,
  - b. Have an accuracy tolerance of no greater than plus or minus five (5) percent, and
  - c. Have been calibrated within the last two (2) years.
- L. **Automatic Lighting Controls.** All outdoor lighting on non-residential lots must be controlled by a photo sensor, occupancy sensor, or timer to automatically reduce outdoor lighting when sufficient daylight is available, and to automatically extinguish lights no more than one hour following the close of business, excluding security lighting.
- M. **Photometric Plan.** A photometric plan as specified in the City of Yorkville Standard Specifications shall be required.

## Chapter 6. Sign Standards

10-6-1. Purpose and Scope .....	1
10-6-2. Limit on Sign Area .....	3
10-6-3. Sign Measurement .....	4
10-6-4. Permitted Sign Types .....	5
10-6-5. General Sign Standards .....	6
10-6-6. Permanent Sign Standards .....	7
10-6-7. Temporary Sign Standards.....	16
10-6-8. Comprehensive Sign Plan.....	23
10-6-9. Prohibited Signs and Content.....	24
10-6-10. Safety, Maintenance, and Abandonment .....	24

### 10-6-1. Purpose and Scope

- A. **Purpose.** The purpose of this Chapter is to set out regulations for the erection and maintenance to ensure the appropriate appearance of signs while preserving the right of free speech and expression in keeping with the following principles.
1. The ability to display signs of reasonable size and dimensions is vital to the health and sustainability of many businesses, and the display of signs with noncommercial messages is a traditional component of the freedom of speech, but the constitutional guarantee of free speech may be limited by appropriate and constrained regulation that is unrelated to the expression itself,
  2. The City has an important and substantial interest in preventing sign clutter, which is the proliferation of signs of increasing size and dimensions as a result of competition among property owners for the attention of passing motorists, because sign clutter degrades the character of the community, makes the community a less attractive place for commerce and private investment, and dilutes or obscures messages displayed along the City's streets by creating visual confusion and aesthetic blight,
  3. Sign clutter can be prevented by regulations that balance the legitimate needs of individual property owners to convey messages against the comparable needs of adjacent and nearby property owners and the interest of the community as a whole in providing for a high-quality community character,
  4. Temporary signs that are not constructed of weather-resistant materials are often damaged or destroyed by wind, rain, and sun, and after such damage or destruction, degrade the aesthetics of the City's streets if they are not removed,
  5. The City has an important and substantial interest in keeping its rights-of-way clear of obstructions and litter,
  6. The City has an important and substantial interest in protecting the health of its tree canopy, which contributes to the character and value of the community, and
  7. The uncontrolled use of off-premises advertising signs can be injurious to the public, and destructive to community character and property values, and that, as such, restrictions on the display of off-premises commercial signage are necessary and desirable.

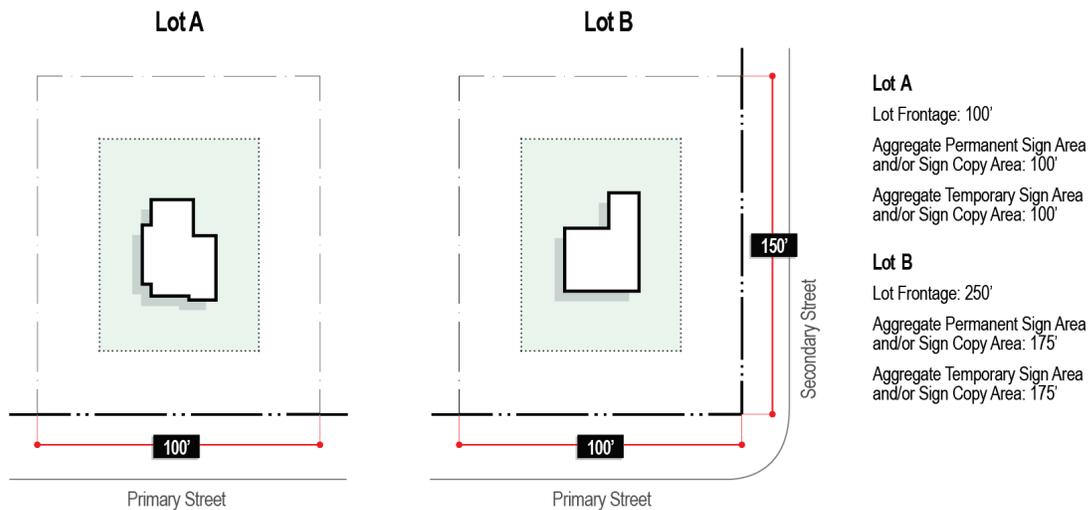
8.

- B. **Scope.** The regulations of this Chapter shall provide a balanced and fair legal framework for design, construction, and placement of signs that:
1. Promotes the safety of persons and property by ensuring that signs do not create a hazard by:
    - a. Collapsing, catching fire, or otherwise decaying,
    - b. Confusing or distracting motorists, or
    - c. Impairing drivers' ability to see pedestrians, obstacles, or other vehicles, or to read traffic signs.
  2. Promotes the efficient communication of messages, and ensures that persons exposed to signs:
    - a. Are not overwhelmed by the number of messages presented, and
    - b. Are able to exercise freedom of choice to observe or ignore said messages according to the observer's purpose, and
  3. Protects the public welfare and enhances the appearance and economic value of the community by protecting scenic views and avoiding sign clutter that can compromise the character, quality, and viability of commercial corridors,
  4. Ensures that signs are compatible with their surroundings, and prevents the construction of signs that are a nuisance to occupants of adjacent and contiguous property due to brightness, reflectivity, bulk, or height,
  5. Promotes the use of signs that are aesthetically pleasing, of appropriate scale, and integrated with the built environment, to meet the objectives related to the quality and character of development set forth in the Comprehensive Plan of the City of Yorkville,
  6. Enhances property values and business opportunities,
  7. Assists in wayfinding, and
  8. Provides fair and consistent permitting and enforcement.

### 10-6-2. Limit on Sign Area

- A. **Permanent Sign Area Limit.** Each lot with multiunit residential, mixed-use, or non-residential uses shall be allowed aggregate permanent sign area equal to one (1) square foot of sign area per linear foot of lot frontage.
- B. **Temporary Sign Area Limit.** Each lot shall be allowed aggregate temporary sign area equal to one (1) square foot of sign area per linear foot of frontage.
- C. **Premises Having Frontage on More Than One Dedicated Street.** Premises having frontage on more than one (1) dedicated street shall be allowed an additional one-half (0.5) square foot of aggregate sign area for each lineal foot of the secondary lot frontage; however additional sign area shall only be displayed on the secondary frontage.

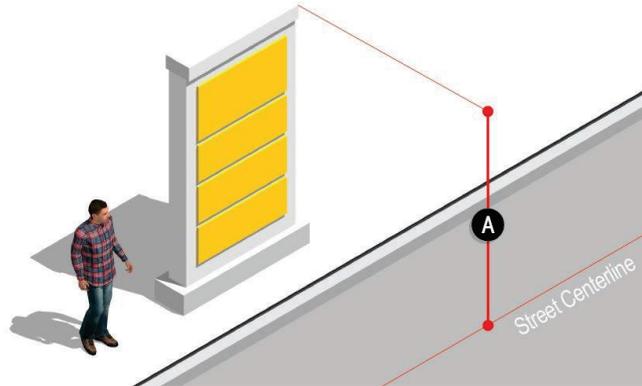
Figure 6.1. Limit on Sign Area



### 10-6-3. Sign Measurement

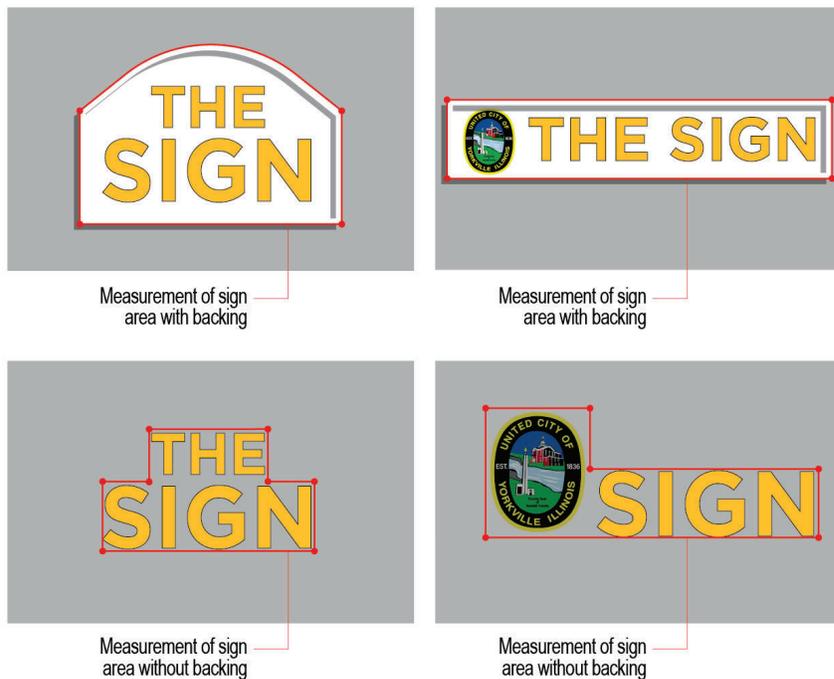
- A. **Sign Height.** The height of a sign shall be computed as the distance from the grade of the centerline of the adjacent street to the top of the highest attached component of the sign.

Figure 6.2. Sign Height Measurement



- B. **Sign Area.** Sign area shall be computed by means of the smallest square, rectangle, circle, triangle or combination thereof that shall encompass the extreme limits of the writing representation, emblem or other display, together with any material or color forming an integral part of the backing of the display or used to differentiate the sign from the sign base or structure against which it is placed. Sign area shall not include any supporting framework, bracing, decorative fence, or wall when such fence or wall otherwise meets this Title's regulations and is clearly incidental to the display itself. A double-faced sign shall count as a single sign.

Figure 6.3. Sign Area Measurements



### 10-6-4. Permitted Sign Types

- A. The following key is to be used in the interpretation of Table 10-6-4(A) Permitted Sign Types by district.
1. **Permitted Sign Types.** Sign types marked as “P” in the table shall be permitted subject to all applicable regulations of this Title and only after the issuance of a Sign Permit as detailed in Section 10-8-3(E).
  2. **Allowed Sign Types.** Sign types marked as “A” in the table shall be allowed subject to all applicable regulations of this Title without the issuance of a Sign Permit.
  3. **Prohibited Sign Types.** A blank space in the table indicates that a sign type is not allowed in the respective district.
  4. **Interpretation of Similar Sign Type.** If a proposed sign is not listed in the table, the Zoning Administrator shall determine if the sign is substantially similar to a sign listed in the table. If it is, the standards applied to the proposed sign shall be the standards applicable to the similar sign. If not, the sign shall be regarded as prohibited.
  5. **Exempt Signs.** Any sign located on private property less than two (2) square foot in area and mounted on a structure shall be exempt from the standards of this Chapter.
  6. **Unlisted Sign Types.** Sign types that are not included in Table 10-6-4(A) shall be considered prohibited.

Table 10-6-4(A) Permitted Sign Types by District									
Sign Type	District								
	R Districts	B-1	B-2	B-3	M-1	M-2	A-1	OS	PI
<i>Permanent Signs</i>									
Wall Sign	P (1)	P	P	P	P	P	P (1)	P	P
Single-Tenant Monument Sign	P (1)(2)	P	P	P	P	P	P (1)	P	P
Multi-Tenant Monument Sign		P	P	P	P	P			P
Awning/Canopy Sign	P (1)	P	P	P	P	P	P (1)	P	P
Projecting Sign		P	P	P				P	P
Window Sign		A	A	A	A	A		A	A
On-Site Traffic Directional Sign	P (1)	P	P	P	P	P		P	P
<i>Temporary Signs</i>									
Wall Mounted Banner Sign	P (1)	P	P	P	P	P	P (1)	P	P
Ground Mounted Banner Sign	P (1)	P	P	P	P	P	P (1)	P	P
Feather Sign		P	P	P	P	P		P	
A-Frame/Sandwich Board Sign	A (1)	A	A	A					
Post Sign	A	A	A	A	A	A	A	A	P
Yard Sign	A	A	A	A	A	A	A	A	P
Cold Air Inflatables		A	A	A	A	A	A	A	A
<i>Notes:</i>									
(1) Sign shall be permitted for nonresidential, mixed use, or multifamily developments only.									
(2) Sign shall be permitted at entryways or gateways to subdivisions or neighborhoods only.									

## 10-6-5. General Sign Standards

### A. Illumination.

1. **Location and Design of Light Source.** Whenever an external artificial light source is used for a sign, such source shall be located, shielded, and directed so as not to be directly visible from any public street or private residence. No receptacle or device housing a permitted light source for a sign shall protrude more than twelve (12) inches from the face of the sign or building to which it is attached except if such light source is ground mounted, locked in place, and cannot be redirected.
2. **Level of Illumination.** In no event shall the illumination of any sign, resulting from any internal or external artificial light source, exceed the outdoor lighting standards established in Section 10-5-7. All artificial illumination shall be so designed, located, shielded, and directed as to prevent the casting of glare or direct light upon adjacent property or streets.

### B. Electronic Message Boards. Single-tenant and multi-tenant monument signs may incorporate electronic message boards in accordance with the following:

1. The area of the sign devoted to an electronic message board shall be part of, not in addition to, the maximum sign area allowed.
2. The maximum sign area of any sign comprised entirely of an electronic message board shall be eighty (80) percent of the maximum sign area of the single-tenant or multi-tenant sign, as applicable.
3. The electronic message format shall conform to the following requirements:
  - a. The message shall contain a static message or image only and not have movement, or the appearance of movement, during the static display period.
  - b. The transition to change from one message or image to another shall be instant and not dissolve, fade, scroll, travel, or have similar transitions.
  - c. The message shall not change more frequently than once every ten (10) seconds.
4. Electronic message boards must be equipped with a default mechanism that shall stop the messaging or freeze the image in one position when a malfunction in electronic programming occurs.
5. Electronic message boards shall be equipped with a sensor or other device that automatically determines the ambient illumination and is programmed to automatically dim according to light conditions.
6. Illumination of electronic message signs shall not exceed 0.3 foot-candles over the ambient lighting conditions when measured at a distance equal to the square footage of the sign area.
7. Illumination of electronic message signs shall not be detectable across any property line.
8. Applications shall be reviewed by the Zoning Administrator to determine that the sign placement does not interfere with traffic control devices within three hundred (300) feet of the sign or traffic circulation upon roadways.

## 10-6-6. Permanent Sign Standards

### A. Wall Signs.

#### 1. Sign Area.

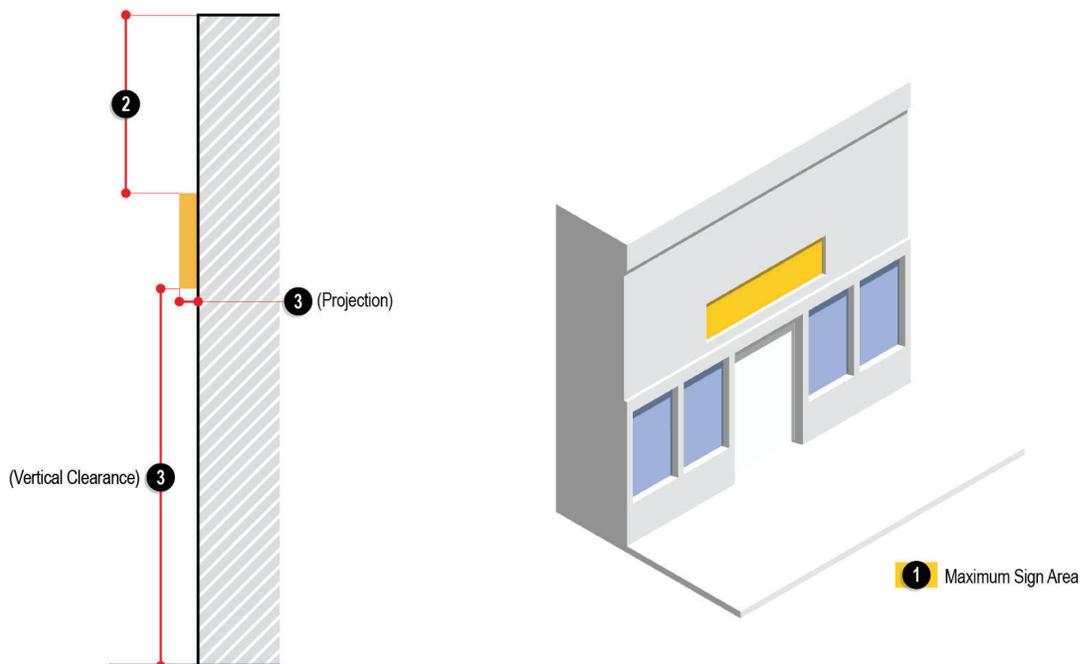
- a. **Signs Attached to a Wall With a Public Entrance or Facing a Public Right-of-Way.** The maximum sign area shall be two (2) square feet for every one (1) linear foot of the exterior wall to which it is affixed. The sign shall not to exceed seventy-five (75) percent of the width of the exterior wall to which it is attached.
- b. **Signs Attached to Any Other Wall.** The maximum sign area shall be one (1) square foot for every one (1) linear foot of the exterior wall to which it is affixed. The sign shall not exceed fifty (50) percent of the width of the exterior wall to which it is attached.

2. **Sign Height.** No wall sign shall be closer than one (1) foot from the highest roofline or the top of the parapet wall or mansard root.

#### 3. Projection and Clearance.

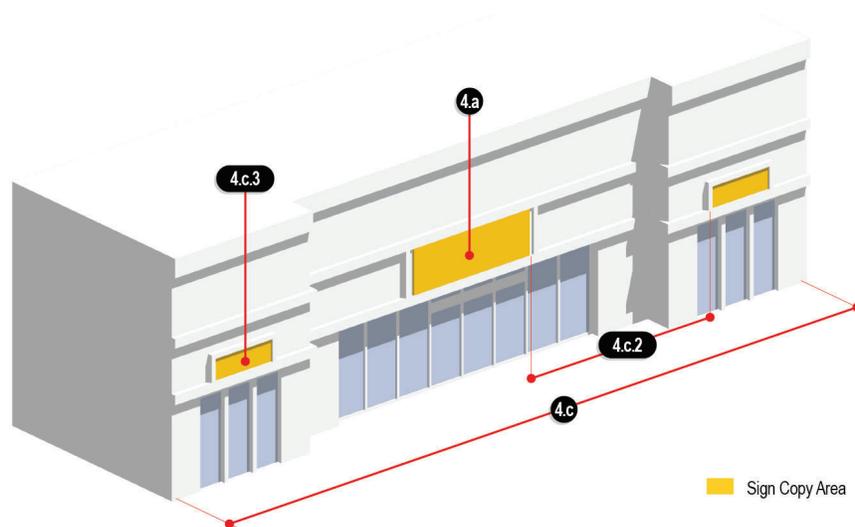
- a. **Projection.** If the wall sign projects more than six (6) inches from the wall of the building or structure to which it is attached, it shall maintain a vertical clearance of at least eight (8) feet.
- b. **Maximum Projection.** No wall sign shall project more than twelve (12) inches from the wall of the building or structure to which it is attached. Any sign which projects more than twelve (12) inches from the wall will be defined as a projecting sign as regulated in Section 10-6-6(D).

*Figure 6.4. Wall Sign Area, Height, and Projection*



4. **Number of Signs.**
  - a. Single tenant buildings shall be permitted a total of two (2) primary wall signs per one hundred (100) linear feet of building frontage. One (1) additional wall sign shall be allowed per additional hundred (100) feet of building frontage. Only one (1) primary wall sign shall be displayed on any single building façade.
  - b. Multi-tenant buildings shall be permitted one (1) wall sign per unit.
  - c. A maximum of two (2) secondary wall signs may be authorized for buildings with lineal frontage in excess of seventy-five (75) feet by the Zoning Administrator provided such additional signage is:
    - (1) In keeping with the overall design and architecture of the building,
    - (2) A minimum of ten (10) feet from the primary wall sign and other secondary wall signs,
    - (3) A maximum of fifty (50) percent of the size of the primary wall sign,
    - (4) Accessory to the building’s primary wall sign, and
    - (5) The total area of all primary and secondary wall signs does not exceed the maximum wall sign area as established in Section 10-6-6(A)(1).
5. **Sign Copy.** If the sign copy utilized on a wall sign is either individually affixed letters, raceway letters, applied vinyl, or printed, etched, or otherwise incorporated directly on the sign’s backing plate, the Zoning Administrator may approve an increase in sign copy area up to an additional five (5) percent of the total area of the face of the wall to which the sign is to be affixed.
6. **Other Provisions.** No wall sign shall be affixed to HVAC screening, elevator overrun, or other features protruding from the roof of the structure.

**Figure 6.5. Secondary Wall Sign Standards**



**B. Monument Signs.**

**1. General Monument Sign Standards**

a. **Sign Materials.** The following classes of sign materials shall be utilized in the determination of allowed sign area and sign height as detailed in Sections 10-6-3(A) and 10-6-3(B).

**(1) Base Quality Materials.**

- (a) Stone veneer systems,
- (b) Fiber cement,
- (c) Wood,
- (d) EIFs,
- (e) Precast panels, or
- (f) Other as determined by the Zoning Administrator.

**(2) High Quality Materials.**

- (a) Masonry,
- (b) Natural stone,
- (c) Steel/wrought iron, or
- (d) Other as determined by the Zoning Administrator.

b. **Landscape.**

- (1) All monument signs shall be required to plant and maintain a landscape area at the base of the sign.
- (2) The minimum area of the landscape area shall be equal to half (1/2) of the square footage of the sign area of the associated sign.
- (3) Landscape areas shall be planted with one (1) shrub or native grass, per every three (3) square feet of required landscape area.
- (4) Required shrubs and native grasses shall be approved by the Zoning Administrator as a landscape plan.

2. **Single-Tenant Monument Signs.**

a. **Sign Dimensions.**

(1) **Base Quality Single-Tenant Monument Signs.** Single-tenant monument signs utilizing base quality sign materials shall meet the following dimensional standards.

(a) **Sign Area.** The maximum sign area shall not exceed thirty-two (32) square feet.

(b) **Sign Height.** The maximum sign height of single-tenant monument signs shall not exceed eight (8) feet.

(2) **High Quality Single-Tenant Monument Signs.** Single-tenant monument signs utilizing high quality sign materials shall meet the following dimensional standards.

(a) **Sign Area.** The maximum sign area shall not exceed forty-eight (48) square feet.

(b) **Sign Height.** The maximum sign height of single-tenant monument signs shall not exceed twelve (12) feet.

b. **Number of Signs.** A maximum of one (1) single-tenant monument sign shall be permitted per every eight-hundred (800) continuous, linear feet of lot frontage.

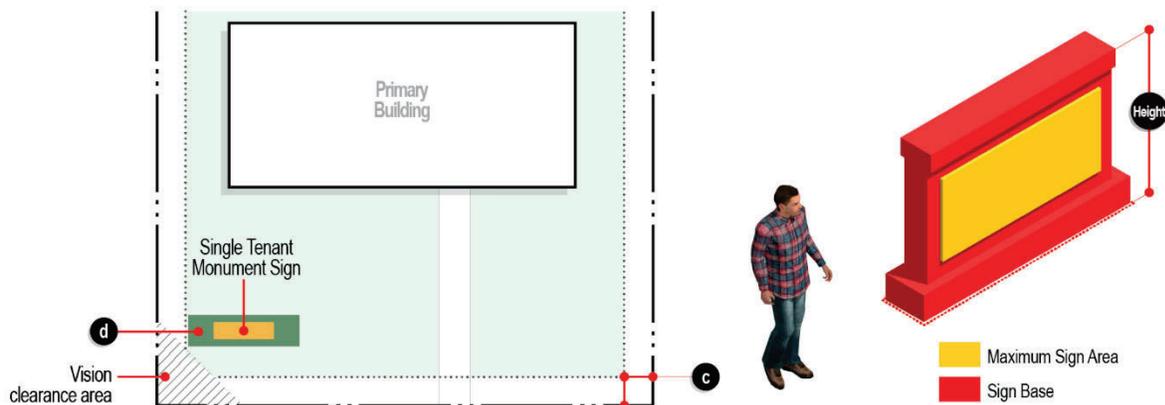
c. **Location.** Single-tenant monument signs shall be located the minimum distance established below per district type from property lines, rights-of-way, and utility easements, shall not block points of ingress or egress, be placed in any sidewalk or pedestrian circulation system, and shall not be located in a vision clearance area as detailed in Section 10-5-6.

(1) **Residential Districts:** Ten (10) feet

(2) **Nonresidential Districts:** Five (5) feet

d. **Landscape Requirement.** All single-tenant monument signs shall be required to plant and maintain a landscape area meeting the requirements of Section 10-6-6(B)(1)(d) at the base of the sign.

**Figure 6.6. Single-Tenant Monument Sign Standards**



3. **Multi-Tenant Monument Signs.**

a. **Sign Dimensions.**

(1) **Base Quality Multi-Tenant Monument Signs.** Multi-tenant monument signs utilizing base quality sign materials shall meet the following dimensional standards.

(a) **Sign Area.** The maximum sign area shall not exceed thirty-two (32) square feet.

(b) **Sign Height.** The maximum sign height of single-tenant monument signs shall not exceed ten (10) feet.

(2) **High Quality Multi-Tenant Monument Signs.** Multi-tenant monument signs utilizing high quality sign materials shall meet the following dimensional standards.

(a) **Sign Area.** The maximum sign area shall not exceed sixty-four (64) square feet.

(b) **Sign Height.** The maximum sign height of single-tenant monument signs shall not exceed fourteen (14) feet.

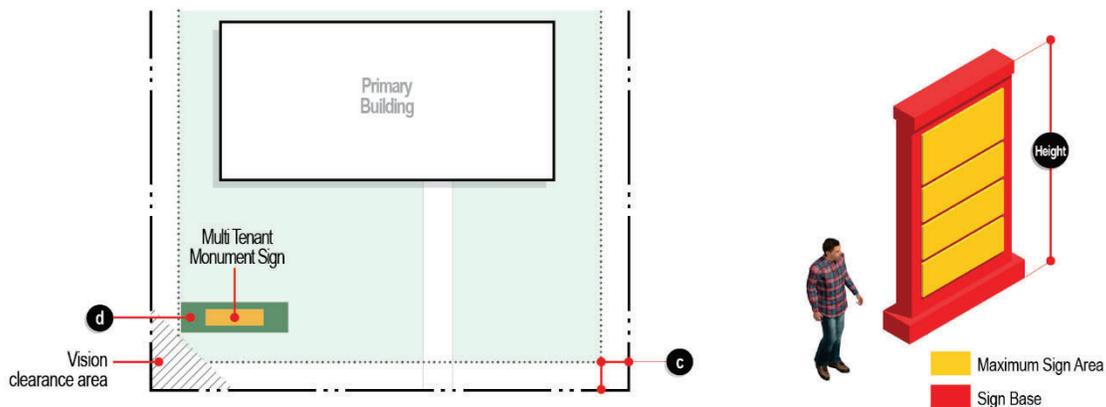
b. **Number of Signs.** A maximum of one (1) multi-tenant monument sign shall be permitted per lot frontage.

c. **Location.** Multi-tenant monument signs shall be located a minimum of five (5) feet from all property lines and rights-of-way, shall not block points of ingress or egress, be placed in any sidewalk or pedestrian circulation system and shall not be located in a vision clearance area as detailed in Section 10-5-6.

d. **Landscape Requirement.** All multi-tenant monument signs shall be required to plant and maintain a landscape area meeting the requirements of Section 10-6-6(B)(1)(d) at the base of the sign.

e. **Signs Within Landscaped Medians.** Any multi-tenant monument sign within a landscaped median shall be located outside vision clearance areas as specified in Section 10-5-6.

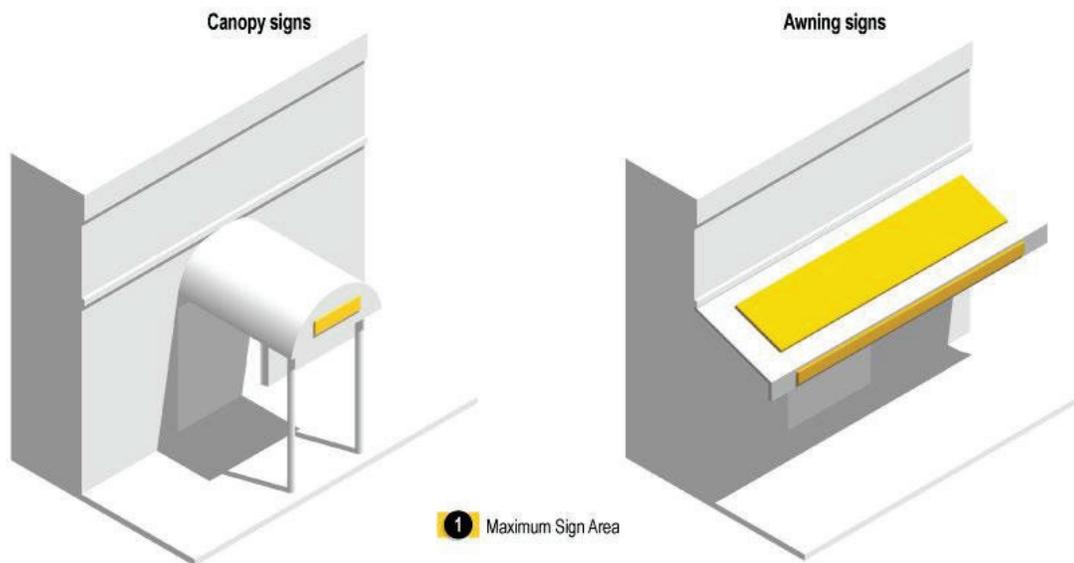
**Figure 6.7. Multi-Tenant Monument Sign Standards**



C. **Awning/Canopy Signs.**

1. **Sign Area.** The maximum sign area of awning/canopy signs shall be fifty (50) percent of the face of the awning or canopy upon which the sign shall be printed or affixed. The area of the awning or canopy sign copy shall count towards the maximum amount of sign area permitted for wall signs as detailed in Section 10-6-6(A)(1).
2. **Other Provisions.**
  - a. Signs required for public health, safety, and welfare that are posted on awnings/canopies, like "clearance" signs, shall not count towards allowed sign area.
  - b. Awning/canopy signs shall only be permitted on awnings/canopies extending above ground floor entrances or windows.

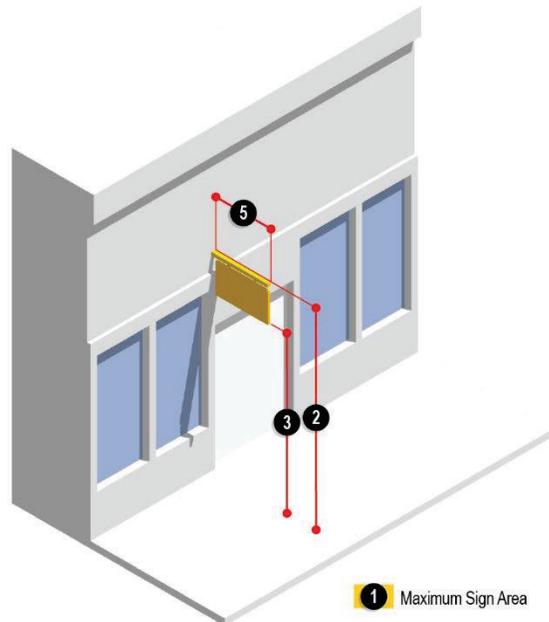
*Figure 6.8. Awning/Canopy Sign Standards*



#### D. Projecting Signs.

1. **Sign Area.** The maximum permitted sign copy area of projecting signs shall be sixteen (16) square feet.
2. **Height.** Projecting signs shall not extend above the roofline of the building to which it is attached, or a maximum of twelve (12) feet, whichever is less.
3. **Clearance.** Projecting signs shall maintain a minimum vertical clearance of eight (8) feet.
4. **Number of Signs.** A maximum of one (1) projecting sign shall be permitted per ground floor nonresidential tenant space. A projecting sign and a wall sign may be displayed on the same building frontage. A projecting sign and an awning or canopy sign shall not be displayed on the same building frontage.
5. **Projection.**
  - a. Signs which project over a public right-of-way may horizontally project a maximum of four (4) feet from the mean elevation of the building to which it is attached.
  - b. Signs which project over private property may horizontally project a maximum of eight (8) feet from the mean elevation of the building to which it is attached.
6. **Other Provisions.** Projecting signs may encroach upon, extend, or project over a public right-of-way or easement. The property owner may be required to provide a release or hold harmless to the City prior to issuing permits for any such signs.

**Figure 6.9. Projecting Sign Standards**

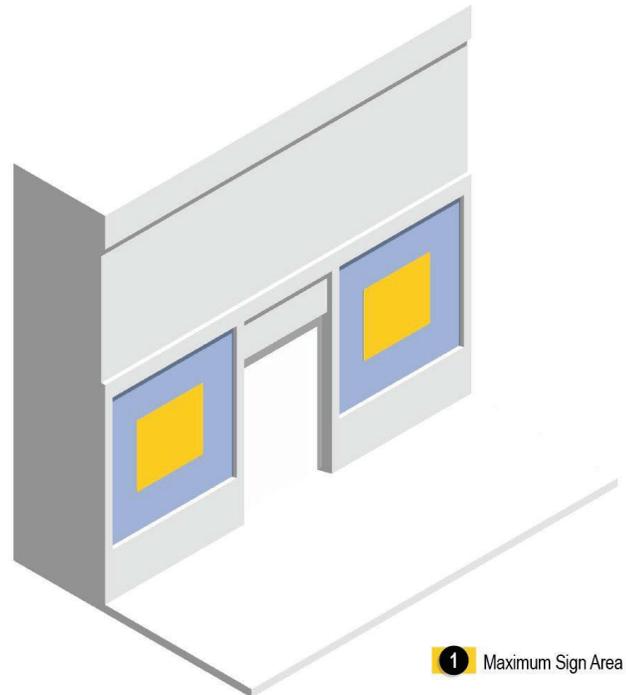


E. **Window Signs.**

1. **Sign Area.** The maximum permitted sign area of a window sign shall be fifty (50) percent of the square footage of the individual window on which the sign shall be located.

*Figure 6.10. Window Sign Standards*

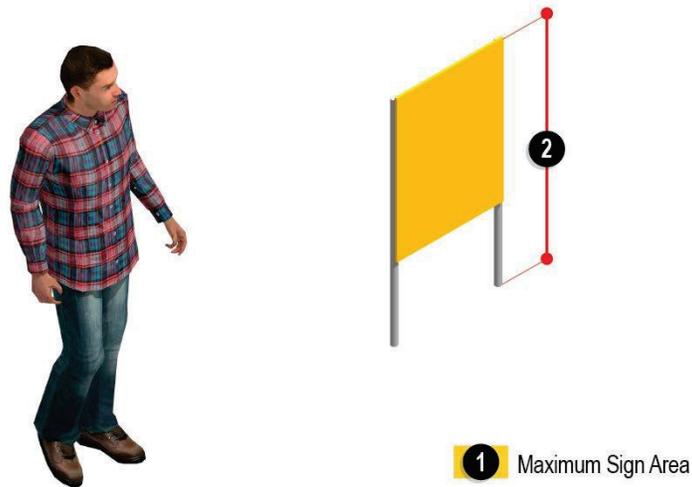
---



F. **On-Site Traffic Directional Signs.**

1. **Sign Area.** The maximum sign area of on-site traffic directional signs shall not exceed six (6) square feet. Permitted on-site traffic directional sign area shall not count towards aggregate sign area.
2. **Sign Height.** The maximum height of on-site traffic directional signs shall not exceed four (4) feet.
3. **Number of Signs.** The permitted number of on-site traffic directional signs shall be determined by the Zoning Administrator as necessary to assist in the safe movement of vehicular and pedestrian traffic on a property.

*Figure 6.11. On-Site Traffic Directional Sign Standards*



## 10-6-7. Temporary Sign Standards

### A. General Standards for Permitted Temporary Signs.

1. **Concurrent Display.** A maximum of two (2) permitted temporary signs, as permitted per district, may be displayed per lot concurrently, with the exception of feather signs as detailed in Section 10-6-7(D).

### B. Wall Mounted Banner Signs.

1. **Sign Area.**
  - a. The maximum sign area of wall mounted banner signs in residential districts or the B-1, B-2, A-1, OS, and PI Districts shall not exceed seven and one-half (7.5) percent of the total area of the face of the wall to which the sign is to be affixed.
  - b. The maximum sign area of wall mounted banner signs in the B-3, M-1, and M-2 Districts shall not exceed ten (10) percent of the total area of the face of the wall to which the sign is to be affixed.
2. **Sign Height.** No wall mounted banner sign shall protrude above the highest roofline or above the top of the parapet wall or mansard roof.
3. **Number of Signs.** A maximum of one (1) wall mounted banner sign shall be permitted per lot frontage of a single-tenant building or unit of a multi-tenant building.
4. **Location.** Wall mounted banner signs shall be affixed to a building.
5. **Projection.** Wall mounted banner signs shall be affixed flat against the building to which they are mounted.
6. **Duration.** Wall-mounted banner signs shall be limited to ninety (90) days in any calendar year.

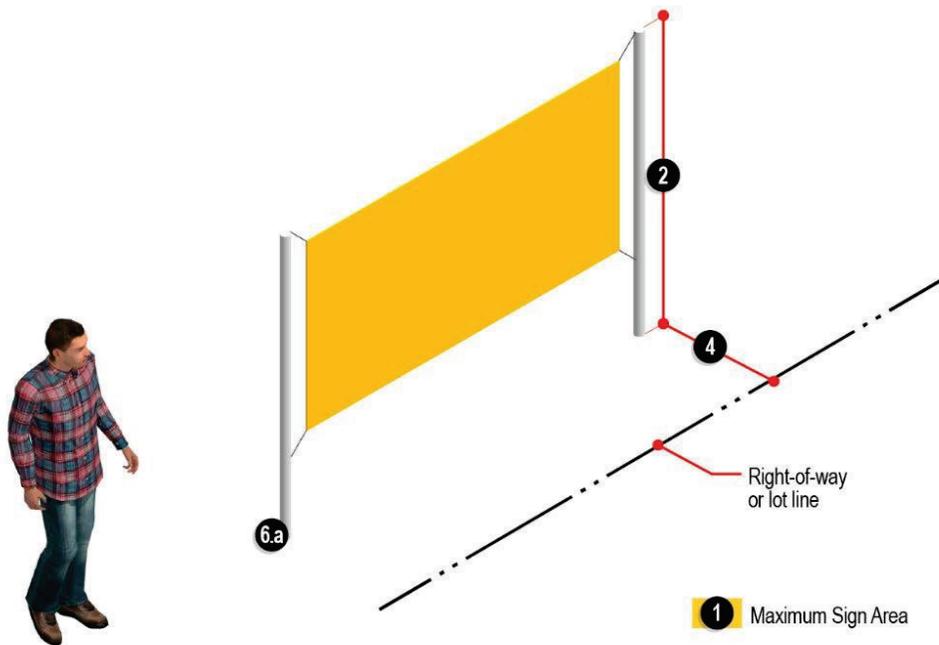
**Figure 6.12. Wall-Mounted Banner Sign Standards**



C. **Ground Mounted Banner Signs.**

1. **Sign Area.** The maximum sign area of a ground mounted banner sign shall not exceed thirty-two (32) square feet.
2. **Sign Height.** The maximum height of a ground mounted banner sign shall not exceed six (6) feet.
3. **Number of Signs.** A maximum of one (1) ground mounted banner sign shall be permitted per lot frontage.
4. **Location.** Ground mounted banner signs shall be located a minimum of five (5) feet from all property lines and shall not block points of ingress or egress, be placed in any sidewalk or pedestrian circulation system and shall not be located in a vision clearance area as detailed in Section 10-5-6.
5. **Duration.** Ground mounted banner signs shall be limited to ninety (90) days in any calendar year.
6. **Other Provisions.**
  - a. Ground mounted banner signs shall be securely anchored into the ground or secured in a portable base designed for such function.
  - b. Ground mounted banner signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.

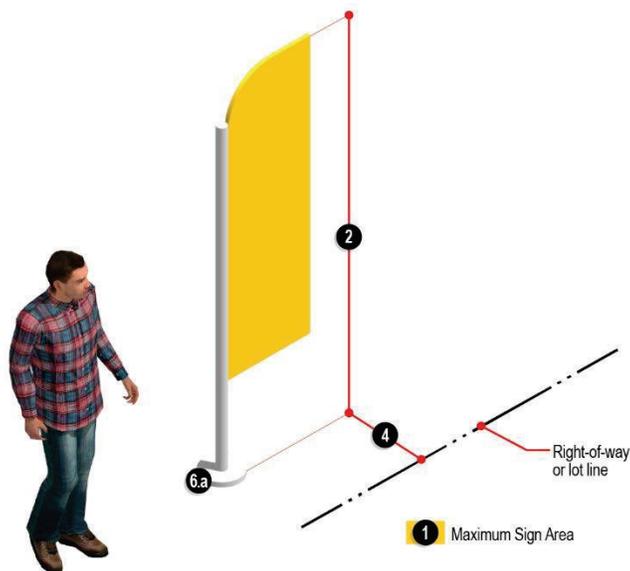
**Figure 6.13. Ground-Mounted Banner Sign Standards**



D. Feather Sign.

1. **Sign Area.** The maximum sign area of feather signs shall not exceed twenty-six (26) square feet.
2. **Sign Height.** The maximum height of a feather sign shall not exceed twelve (12) feet.
3. **Number of Signs.**
  - a. A maximum of three (3) feather signs sixteen (16) square feet or less shall be permitted per lot frontage. Only one (1) feather sign shall be permitted per frontage when the sign is over sixteen (16) square feet in area.
  - b. For multi-tenant buildings, only one (1) feather sign is permitted per business.
4. **Location.**
  - a. Feather signs shall be located a minimum of five (5) feet from all property lines and shall not block points of ingress or egress, be placed in any sidewalk or pedestrian circulation system, and shall not be located in a vision clearance area as detailed in Section 10-5-6.
  - b. For multi-tenant buildings, feather signs must be twenty-five (25) feet from any other feather sign.
5. **Duration.**
  - a. The permitted display period of a feather sign shall be a maximum of thirty (30) consecutive days.
  - b. A total of three (3) nonconcurrent display periods shall be permitted per property per calendar year.
  - c. Nonconcurrent display periods shall be separated by a minimum of thirty (30) days.
6. **Other Provisions.**
  - a. Feather signs shall be securely anchored into the ground or secured in a portable base designed for such function.
  - b. Feather signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.

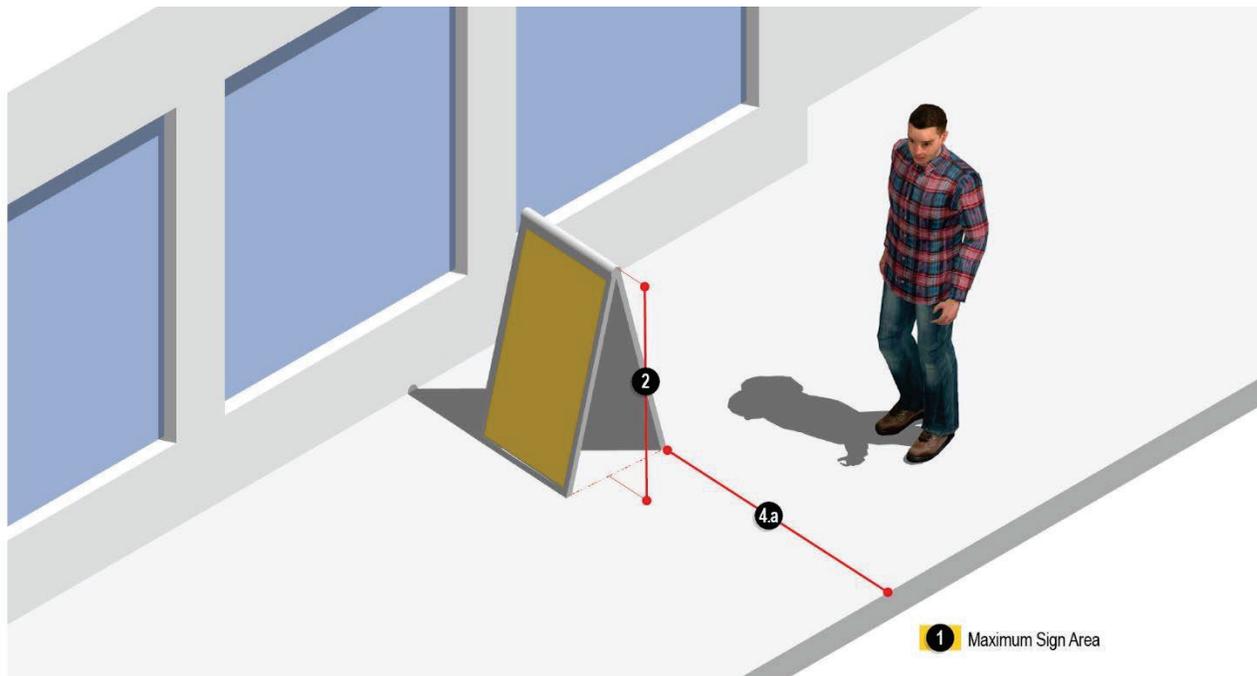
Figure 6.14. Feather Sign Standards



#### E. A-Frame/Sandwich Board Signs.

1. **Sign Area.** The maximum allowed sign area of a-frame/sandwich board signs shall be eight (8) square feet.
2. **Height.** The maximum allowed height of a a-frame/sandwich board sign shall be four (4) feet.
3. **Number of Signs.** A maximum of one (1) a-frame/sandwich board sign shall be permitted per ground floor nonresidential tenant space.
4. **Location.**
  - a. A-frame/sandwich board signs shall be placed in a manner that preserves a continuous sidewalk width of a minimum of three (3) feet.
  - b. No part of any a-frame/sandwich board sign shall block points of ingress or egress.
  - c. All a-frame/sandwich board signs shall be within seven-hundred fifty (750) feet of the entrance of the associated business.
5. **Other Provisions For Parcels within the Downtown Overlay District.**
  - a. A-frame/sandwich board signs shall be on-premises signs only, with the exception of B-2 zoned parcels.
  - b. The property owner of B-2 zoned parcels may locate an A-Frame/Sandwich Board sign off premise within the public right-of-way within the Downtown Overlay District. The owner shall be required to provide a release or hold harmless to the City prior to the display of any such signs located within a public right-of-way.
6. **Duration of Display.** The display of a-frame/sandwich board signs shall only be permitted during the operating hours of the use to which the sign is associated.

**Figure 6.15. A-Frame/Sandwich Board Sign Standards**



F. **Post Signs.**

1. **Sign Copy Area.**

- a. The maximum sign copy area of a post sign in a residential zoning district shall not exceed six (6) square feet.
- b. The maximum sign copy area of a post sign in a nonresidential zoning district shall not exceed thirty-two (32) square feet.

2. **Sign Height.** The maximum height of a post sign shall not exceed six (6) feet.

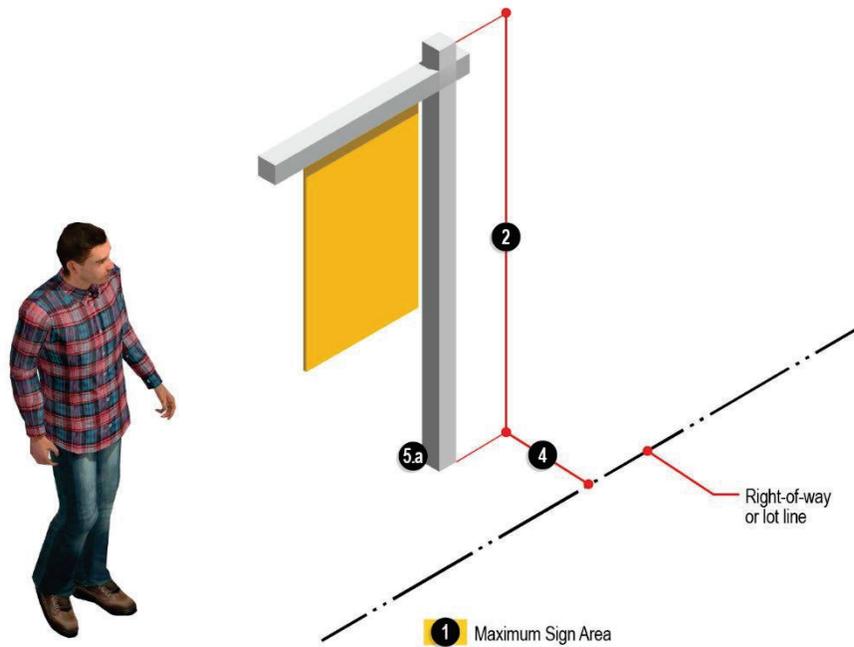
3. **Number of Signs.** A maximum of one (1) post sign shall be allowed per lot frontage.

4. **Location.** Post signs shall be located a minimum of five (5) feet from all property lines and shall not block points of ingress or egress, be placed in any sidewalk or pedestrian circulation system and shall not be located in a vision clearance area as detailed in Section 10-5-6.

5. **Other Provisions.**

- a. Post signs shall be securely anchored into the ground or secured in a portable base designed for such function.
- b. Post signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.

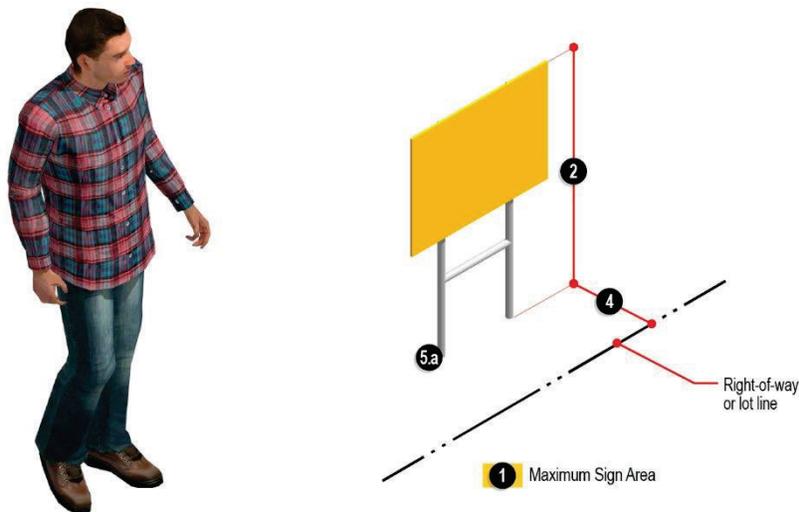
**Figure 6.16. Post Sign Standards**



G. **Yard Signs.**

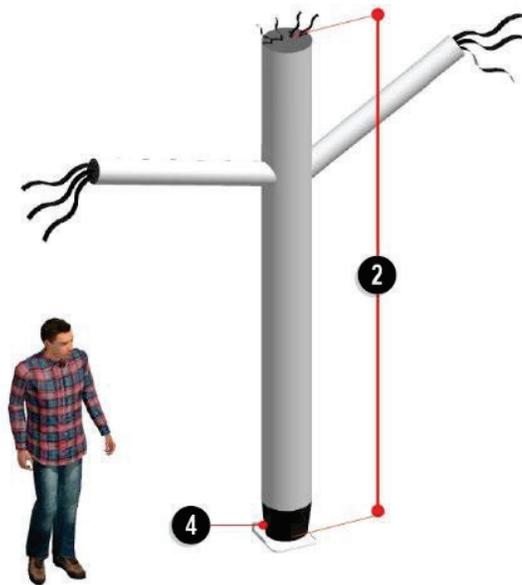
1. **Sign Area.** The maximum sign area of yard signs shall be as follows.
  - a. Thirty-two (32) square feet for parcels that have frontage along a major arterial road.
  - b. Sixteen (16) square feet for all other parcels.
2. **Sign Height.** The maximum height of a yard sign shall not exceed four (4) feet.
3. **Number of Signs.** A maximum of two (2) yard signs may be displayed concurrently. However, during the period sixty (60) days before and fifteen (15) days after a federal, state, or local election an unlimited number of yard signs may be displayed concurrently subject to all other applicable regulations of this section.
4. **Location.** Yard signs shall be located a minimum of five (5) feet from all property lines, rights-of-way, and utility easements, shall not block points of ingress or egress, shall not be placed in any sidewalk or pedestrian circulation system and shall not be located in a vision clearance area as detailed in Section 10-5-6.
5. **Other Provisions.**
  - a. Yard signs shall be securely anchored into the ground or secured in a portable base designed for such function.
  - b. Yard signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.
  - c. One (1) yard sign displayed for a period of up to seventy-two (72) hours shall be exempt from the requirements for this section.

**Figure 6.17. Yard Sign Standards**



- H. **Cold Air Inflatables.** Cold air inflatable signs shall be allowed in all districts with the exception of residential districts.
1. **Duration.** Cold air inflatable signs shall be allowed once per calendar year for a maximum of seventy-two (72) hours.
  2. **Sign Height.** The maximum height of a cold air inflatable sign shall be twenty-five (25) feet as measured from grade.
  3. **Location.** Inflatable signs shall not be installed below or interfere with any electrical conductors, phone conductors, CATV conductors, fire alarm conductors or any other similar installations.
  4. **Supports Required.** The inflatable structure shall be ground-mounted or attached to supports and guy wires ground-mounted or securely attached to the building roof. No inflatable structure shall be permitted to be secured to any mechanical equipment, parapet walls or other items normally found on the roof of a structure.
  5. **Encroachment.** Inflatable signs shall be anchored to prevent dislocation, entanglement or encroachment onto adjacent properties or public streets, or undue hazard to motorists or pedestrians.

*Figure 6.18. Cold Air Inflatable Sign Standards*



## 10-6-8. Comprehensive Sign Plan

- A. **Intent.** The intent of the comprehensive sign program is to provide an alternative procedure under which signs can be designed, constructed, and erected with innovation, imagination, and creative architecture. The objective of the comprehensive sign plan is to encourage a higher level of design and amenity than is possible to achieve under otherwise applicable sign regulations.
- B. **Applicability.** Any building or development may elect to submit a comprehensive sign plan. After the approval of a comprehensive sign plan, no permanent sign shall be erected, placed, or maintained except in conformance with the Comprehensive Sign Plan.
- C. **Conditions.** The Zoning Administrator may attach conditions, requirements, or standards necessary to assure that the signs covered by the Comprehensive Sign Plan will not be materially detrimental to persons or property in the vicinity. In making its determination, the Zoning Administrator shall not base any condition on the content of a sign.
- D. **Evaluation Criteria.**
1. **Placement.** All signs shall be placed where they are visible and legible. Factors to be considered include the location of a sign relative to traffic movement and access points, site features, other structures, and orientation relative to viewing distances and viewing angles. Wall Signs may be approved on building walls other than the wall of a unit of a multi-tenant building in which some units have little or no visibility from the street.
  2. **Quantity.** The number of signs that may be approved within any development shall be sufficient to provide necessary facilitation of internal circulation of vehicular and pedestrian traffic and wayfinding for safety of the occupants of vehicles and pedestrians. Factors to be considered shall be those that impact safety considerations such as the size of the development and the number of development sub-areas.
  3. **Size.** All signs shall be no larger than necessary for visibility and legibility but in no instance shall the sign area or sign height exceed the maximum established per sign type per district. Factors to be considered in determining appropriate size include topography, volume, and speed of traffic, viewing distances and angles, proximity to adjacent uses, and placement of display.
- E. **Application.** A comprehensive sign plan shall be submitted on a form established by the Zoning Administrator. The application shall contain the following information as well as all other information required by the Zoning Administrator to ensure compliance with the comprehensive sign plan evaluation criteria.
1. Name, address, and telephone number of the applicant.
  2. Location of building, structure, or lot to which or upon which the comprehensive sign plan shall apply.
  3. Name of person, firm, corporation, or association developing the comprehensive sign plan.
  4. Written consent of the owner or lessee of the building, structure, or land to which the proposed comprehensive sign plan is applicable.
  5. Scale drawing of all signs included in the comprehensive sign plan indicating the dimensions, the materials to be used, the type of illumination, if any, and the method of construction and attachment. Said drawings shall be drawn at a scale no smaller than one-eighth (1/8) inch equals one (1) foot and shall be prepared, signed, and sealed by a registered professional engineer when required by the Zoning Administrator.
  6. A scale drawing indicating the location and position of all signs included in the comprehensive sign plan in relation to nearby buildings or structures. Said drawing shall be at a scale no smaller than one (1) inch equals fifty (50) feet.
- F. **Review and Action.** The Zoning Administrator shall review the comprehensive sign plan application and approve, approve with conditions, or deny the application based on the evaluation criteria. A written decision including the findings on the evaluation criteria shall be rendered to the applicant.

- G. **Appeals.** Any applicant who receives a notice of denial from the Zoning Administrator may, within thirty (30) days after receipt of such decision, appeal such decision to the Board of Adjustment by filing a written notice of appeal with the Zoning Administrator with an explanation as to why said decision was not warranted according to the applicant.

### **10-6-9. Prohibited Signs and Content**

- A. **Prohibited Signs.** The following sign types shall be prohibited in all districts:

1. Pole/Pylon Signs
2. Billboards
3. Roof Signs
4. Outline Lighting
5. Signs located on City property without the City's permission
6. Signs which encroach on the public right-of-way

- B. **Prohibited Content.**

1. The following content is prohibited without reference to the viewpoint of the individual speaker:
  - a. Content that is prohibited or restricted per state or federal statute.
  - b. Text or graphics that advertise unlawful activity,
  - c. Text or graphics that are obscene, fighting words, defamation, incitement to imminent lawless action, or true threats, or
  - d. Text or graphics that present a clear and present danger due to their potential confusion with traffic control signs or signs that provide public safety information (for example, signs that use the words "Stop," "Yield," "Caution," or "Danger," or comparable words, phrases, symbols, or characters in such a manner as to imply a safety hazard that does not exist).
2. The narrow classifications of content that are prohibited by this subsection are either not protected by the United States or Illinois Constitutions or are offered limited protection that is outweighed by the substantial governmental interests in protecting the public safety and welfare. It is the intent of the City Council that each paragraph of this Subsection be individually severable in the event that a court of competent jurisdiction were to hold one or more of them to be inconsistent with the United States or Illinois Constitutions.

### **10-6-10. Safety, Maintenance, and Abandonment**

- A. Every sign and all parts thereof, including framework, supports, background, anchors and wiring systems shall be constructed and maintained in compliance with applicable building and other codes adopted by the City.
- B. All signs, together with all supports, braces, guys, and anchors shall be kept in proper repair in accordance with the provisions of this Title. When not galvanized or constructed of approved corrosion resistive, noncombustible materials, signs shall be painted when necessary to prevent corrosion, rust, peeling paint, and excessive fading. Failure of owners to keep signs maintained in good mechanical and visual repair shall be deemed a violation of this Title.
- C. It shall be the duty and responsibility of the owner or lessee of every sign to maintain the immediate premises occupied by the sign in a clean condition, free of rubbish.

- D. If the Zoning Administrator shall find that any sign is unsafe or unsecure, or is a threat to the public safety, or was, after the adoption of this Title constructed, erected, or maintained in violation of the provisions of this title, he or she shall give written notice per the provisions of this Title. Such notice shall specify the manner in which the sign is unsafe or in violation of this Title.
- E. Sign copy shall be removed and in the case of a wall sign, the building façade shall be repaired, by the owner or lessee of the premises upon which the sign is located when the use which the sign is associated is no longer conducted on the premises. The sign copy shall be removed within thirty (30) days of when the use ceases to operate. If the owner or lessee fails to remove the sign copy, the Zoning Administrator shall give the owner thirty (30) days written notice to remove it. Failure to comply with the notice shall be deemed a violation of this Title.

## Chapter 7. Subdivision Standards

10-7-1. Intent and Purpose .....	1
10-7-2. Lots.....	2
10-7-3. Street Design and Improvements .....	3
10-7-4. Circulation and Connectivity .....	13
10-7-5. Easements.....	13
10-7-6. Water, Sewer, and Stormwater .....	14
10-7-7. Cluster Development .....	15
10-7-8. Anti-Monotony Standards .....	16
10-7-9. Park and Recreation Land and School Site Dedication.....	18

### 10-7-1. Intent and Purpose

- A. The regulations of this Chapter are adopted to:
1. Protect the interests of the landowner, the investor in land, the homeowner, and the municipal unit;
  2. Conserve, protect, and enhance property and property values; to secure the most efficient use of land; and to facilitate the provisions of public improvements;
  3. Provide for orderly growth and development; to afford adequate facilities for the safe and efficient means for traffic circulation of the public; and to safeguard the public against flood damage;
  4. Prescribe reasonable rules and regulations governing the subdivision and platting of land; the preparation of plats; the location, width, and course of streets and highways; the installation of utilities, street pavements, and other essential improvements; and the provision of necessary public grounds for schools, parks, playgrounds, and other public open space; and
  5. Establish procedures for the submission, approval, and recording of plats, to provide the means for enforcement of this title, and to provide penalties for violations.
- B. **Provision of Improvements.** All improvements required by this Chapter shall be installed by the developer as part of a Subdivision as detailed in Section 10-8-6.
- C. **Conformance With Standard Specifications and Ordinances.** All improvements required in this Chapter shall be as specified in the City's standard specifications for improvements, the Kendall County Stormwater Management Ordinance, and other applicable County ordinances.

## 10-7-2. Lots

- A. **Conformance With District Standards.** All lots shall meet the minimum depth, width, and area requirements of the governing district, unless otherwise approved as a cluster development.
- B. **Lot Size and Shape.** The size, shape, and orientation of lots shall be appropriate for the location of the subdivision, and for the type of development and use contemplated, as determined by the Planning and Zoning Commission and City Council.
- C. **Orientation.** Where appropriate, lot orientation along an east-west longitudinal axis is recommended for increased energy efficiency for potential solar panels.
- D. **Double Frontage and Reverse Frontage Lots.**
  - 1. Double frontage and reverse frontage lots shall be avoided, except where necessary to overcome disadvantages of topography and orientation, and where a limited access highway, railroad right-of-way, major street, or similar situation exists.
  - 2. In these instances, double frontage lots shall be provided with suitable screen planting when adjoining roadways as follows:
    - a. **Local or Collector Roads.** Double frontage lots adjoining a local or collector road shall provide a type C transition yard as specified in Table 10-5-2(F)(3).
    - b. **Arterial Roads.** Double frontage lots adjoining a local or collector road shall provide a type D transition yard as specified in Table 10-5-2(F)(3).
  - 3. Double frontage lots may be subdivided and utilize a separate lot or outlot where the rear property line fronts an adjoining roadway for required transition yards.
- E. **Subdivisions to Include Entirety of Parent Parcels.** Subdivisions must include and plan for the entire parcel or parcel(s) being divided and shall not exclude portions of the parcel or parcel(s) being divided from the subdivision.
- F. **Access.**
  - 1. All lots shall front or abut on a public street.
  - 2. The fronting of residential lots on state and county highways or major thoroughfares, major collectors as designated in the comprehensive plan is prohibited. Each subdivision entrance shall be located not less than one thousand three hundred (1,300) feet apart, centerline to centerline, unless topography or existing street locations dictate otherwise.
  - 3. Non-access provisions controlling ingress and egress to streets may be required by the Planning and Zoning Commission and City Council to assure traffic safety and to relieve congestion at intersections.
  - 4. The distance between access points shall adhere to the City's standard specifications and be approved by the City Engineer.

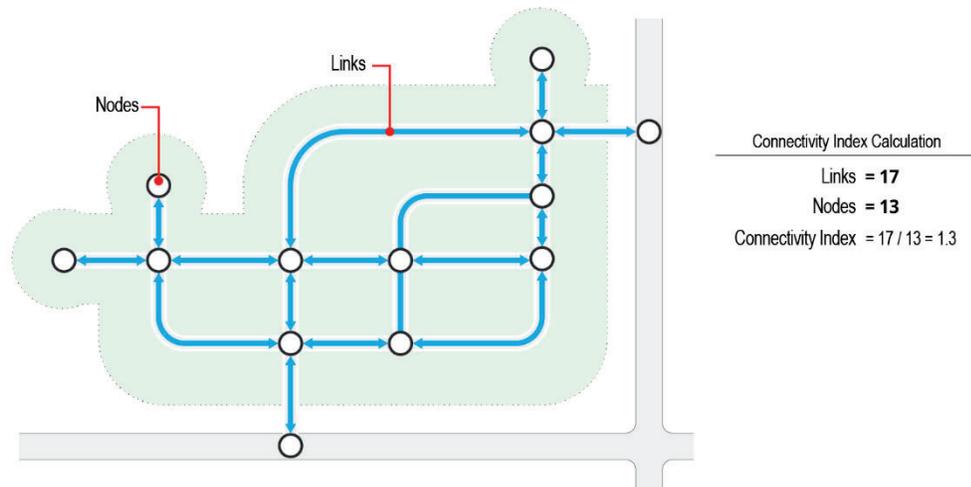
### 10-7-3. Street Design and Improvements

#### A. Street Network Design

##### 1. General Street Layout.

- a. In general, streets should be designed and located so that they relate to the topography, preserve natural features such as streams and tree growth, and provide adequate public safety and convenience for motorists, cyclists, and pedestrians alike.
- b. The proposed street layout shall also be coordinated with the existing street system of the surrounding area. Where a through street or a series of streets establishes a connection between two (2) public streets, such street shall be a public street.
- c. **Connectivity Index.** A connectivity index shall be used to determine the adequacy of street layout design. A connectivity index is calculated as the ratio of the number of street links (road sections between intersections) in the subdivision street layout divided by the number of street nodes (intersections and cul-de-sac heads). Streets within a subdivision shall have a minimum connectivity index measurement of one and two-tenths (1.2).

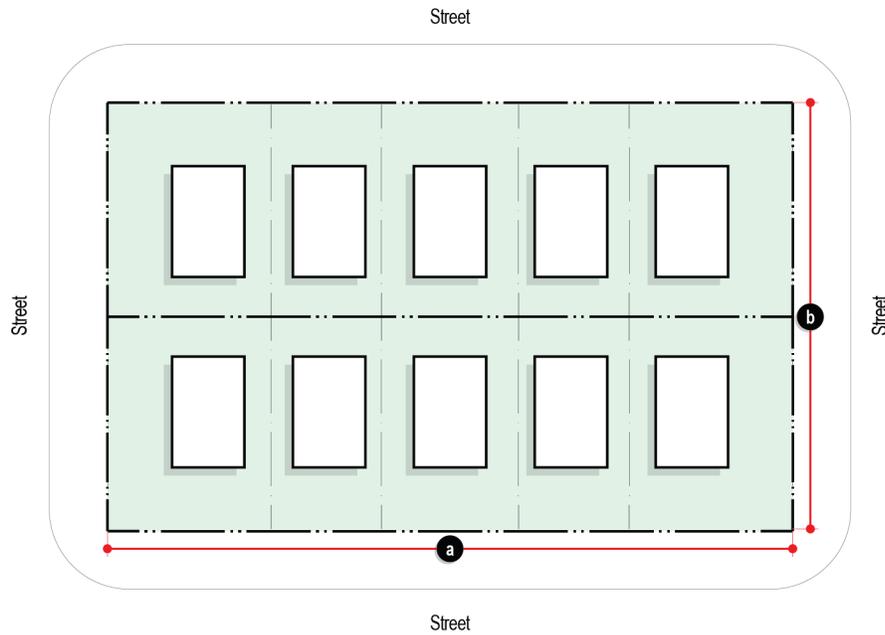
**Figure 7.1. Connectivity Index Calculation**



2. **Blocks.**

- a. **Length.** Blocks shall not exceed one thousand three hundred twenty (1,320) feet in length. Shorter blocks of eight hundred (800) feet or less in length are encouraged.
- b. **Width.** Lots shall have sufficient width to provide two (2) tiers of lots of appropriate depth, except on boundaries of a proposed subdivision or where required to separate and discourage through traffic between residential subdivisions and nonresidential development.

Figure 7.2. Blocks

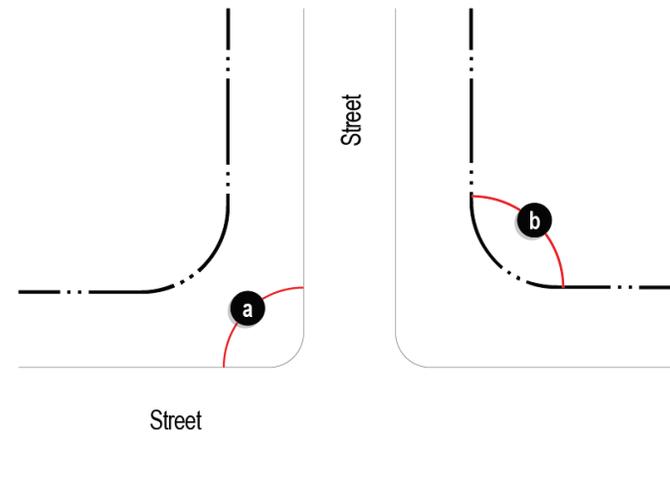


- 3. **Street Jogs.** Street intersection jogs with centerline offsets of less than one hundred fifty (150) feet shall be prohibited. Horizontal changes in alignment shall have a radius of twenty (20) feet to permit safe vehicular turning movements.

4. **Street Intersections.**

- a. Streets shall be laid out so as to intersect at right angles. Proposed intersections at angles of less than eighty (80) degrees shall not be acceptable. Proposed intersections at less than ninety (90) degrees shall be approved only when the proposed layout enhances the subdivision's overall layout and circulation pattern or is required due to natural constraints on the site as determined by the Zoning Administrator.
- b. Property lines at minor street intersections shall be rounded with a minimum radius of twenty-five (25) feet. Property lines at major streets or highway intersections shall be rounded with a minimum radius of thirty (30) feet.

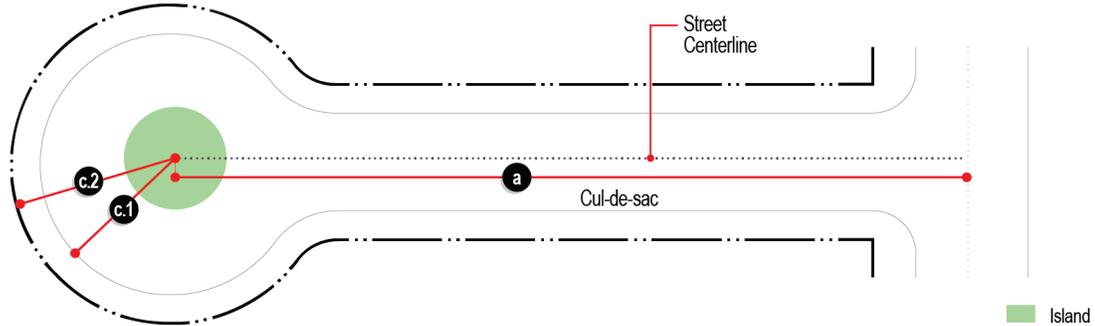
**Figure 7.3. Street Intersections**



5. **Cul-de-sacs.**

- a. Cul-de-sacs shall not exceed five hundred (500) feet in length, measured from the entrance to the center of the turn-around.
- b. **Islands.** Islands in the center of cul-de-sacs with a minimum radius of fifteen (15) feet shall be required. Islands may be planted with vegetation, however, such vegetation shall not exceed four (4) feet at maturity to allow for vision clearance across the cul-de-sac's diameter.
- c. **Adequate Turn-Around Required.** Cul-de-sac streets shall terminate in a circular paved area allowing for vehicular turn around and having a minimum radius of:
  - (1) Fifty (50) feet from the center of the island to the outside curb.
  - (2) Sixty (60) feet from the center of the island to the edge of right-of-way.

**Figure 7.4. Cul-De-Sac Standards**



6. **Street Stubs.**
  - a. In new developments the subdivider shall terminate streets as stubs at the outer perimeter boundaries of the development based on the criteria below. If the street in question meets at least two (2) of the criteria, then the street must be built to an appropriate collector street standard:
    - (1) The street intersects directly with any street designated as an arterial street and provides access to an area with an overall density of ten (10) dwelling units per acre or provides access to more than one hundred fifty (150) dwelling units.
    - (2) The street by its general configuration, in relationship to the existing development of the area, serves any collector function.
    - (3) The street extends into an undeveloped area in such a manner as to serve any future collector function.
    - (4) The street serves as the primary access to a significant nonresidential, institutional, or recreational land as well as an access to a residential area of twenty (20) or more acres.
  - b. Street stubs shall be clearly demarcated and identified for future street extension by street signage.
  - c. All street stubs shall terminate with a turn-around for vehicles.
  - d. All stub streets shall conform to the City's adopted version of the International Fire Code.
  - e. The City Engineer may deem that the street stub is impractical due to topographic conditions, environmental constraints, property shape, or property accessibility.
7. **Dead End Streets.** Dead end streets shall not be permitted except as street stubs per the requirements of this section.

**B. General Improvement Requirements.**

1. **Sidewalks.** Concrete sidewalks shall be at least five (5) feet in width.
2. **Shared Use Paths.** Shared use paths shall be at least eight (8) feet in width.
3. **Bicycle Facilities.**
  - a. Bicycle lanes shall be at least four (4) feet in width.
  - b. Shared bicycle and vehicle lanes and bike lanes shall be delineated in accordance with NACTO standards.
4. **Parkways.**
  - a. Parkway shall be at least seven (7) feet in width, however, parkways may be reduced to five (5) feet in width along minor streets or lower-traffic volume street types as approved by the City.
  - b. Parkway shall be located between the back of curb and sidewalk.
  - c. **Street Trees.** A minimum of one (1) canopy tree shall be planted per every forty (40) linear feet of parkway. Where overhead utility line conflicts are present, a minimum of one (1) understory tree shall be planted every twenty (20) feet. The spacing of trees shall take into consideration site-specific conditions and clear vision triangles.
    - (1) **Substitution on Private Property Allowed.** Up to twenty-five (25) percent of the street trees required in Section 10-7-3 (B)(4)(c) may be planted on private property within the subdivision provided the following are met.
      - (a) The trees located on private property shall be located within the same subdivision as the parkway trees they will be substituted for.
      - (b) The trees shall be located within the required front yard on each subject lot.
      - (c) The trees provided on private property shall be provided in addition to any landscaping required per Section 10-5-3.
      - (d) The trees provided on private property shall meet the planting specifications of Section 10-5-3(A) above.
      - (e) The substitution of street trees on private property shall enhance the visual quality of the neighborhood and achieve the same visual effects as trees planted in parkways as proposed by the developer and approved by the Zoning Administrator.
  - d. A complete streetlight system shall be installed in the required parkway in all subdivisions.
5. **On-Street Parking.**
  - a. On-street parking shall be parallel.
  - b. On-street parking spaces shall have the following minimum dimensions:
    - (1) Width: Eight (8) feet.
    - (2) Length: Twenty-three (23) feet.
  - c. On-street parking spaces shall be delineated with striping with a minimum width of four (4) inches. For all types of local streets, the striping of the on-street parking spaces may be provided but shall only be required when no curbing is provided.

d. On-street parking spaces shall be visually delineated from drive aisles with striping or other means.

**6. Medians.**

- a. Medians shall have a minimum width of ten (10) feet.
- b. Medians shall taper to a minimum of four (4) feet in width at intersections.
- c. Medians shall be planted with a minimum of fifteen (15) shrubs or native grasses every fifty (50) linear feet. Landscaped elements shall be maintained privately by a homeowners association or another organization associated with the development in which they are located.

**C. Street Design Requirements.**

1. **Right-of-Way Widths.** The minimum right-of-way widths of proposed streets shall be as detailed in Table 10-7-3(C)(1).

Type of Street	Minimum Right-of-Way Widths (Feet)
Arterial	85
Collector	70
Local Nonresidential	80
Local Residential	66

2. **Paving Widths.** The minimum paving widths from curb face shall be as detailed in Table 10-7-3(C)(2).

Type of Street	Minimum Paving Width (Feet)
Arterial	51
Collector	41
Local Nonresidential	39
Local Residential	30

3. **Required Street Design Elements.** Required street design elements shall be as established per street type in Table 10-7-3(C)(3).

- a. A “●” indicates an element that is required on one (1) side of a given street.
- b. A “○” indicates an element that is required on both sides of a given street.
- c. A “◇” indicates an element that is required.
- d. A “□” indicates an element that is required at the discretion of the City.

Type of Street	Required Street Design Element						
	Sidewalk	Shared Use Path	Parkway	Bicycle Lane	Shared Bicycle & Vehicle Lane	On-Street Parking	Median
Freeway or Expressway	As required by the IDOT						
Arterial	●	●	○	○			◇
Collector, Bike Lane & Median	●	●	○	○			◇
Collector, On-Street Parking	●	●	○		□	○	
Local Nonresidential, Bike Lane & Median	○		○	○			◇
Local Nonresidential, On-Street Parking	○		○		□	○	
Local Residential	○		○		□	○	

Figure 7.5. Arterial Design Standards

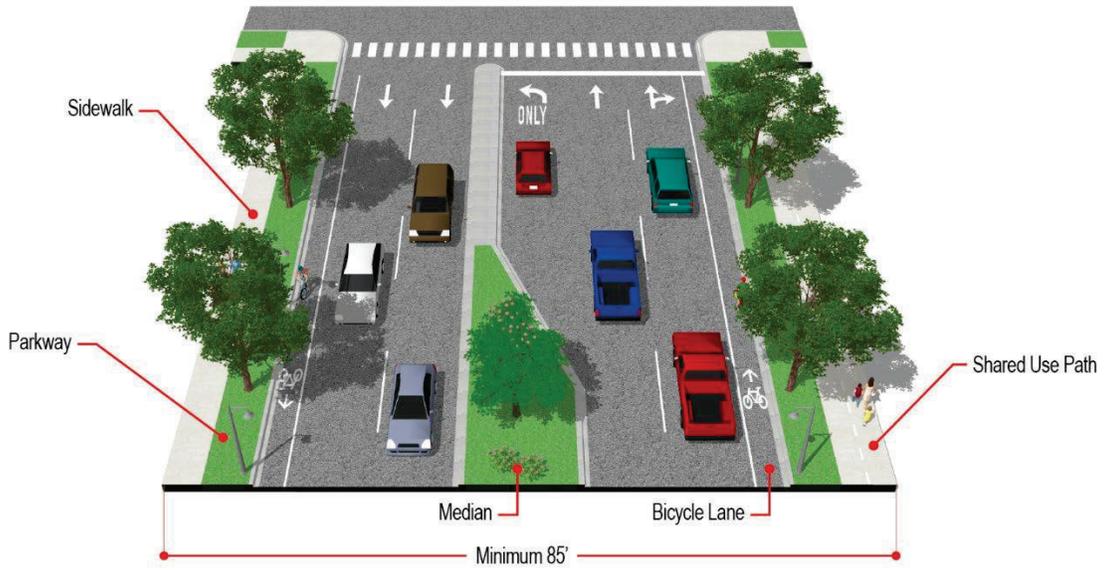


Figure 7.6. Collector Street With Bicycle Lane and Median Standards

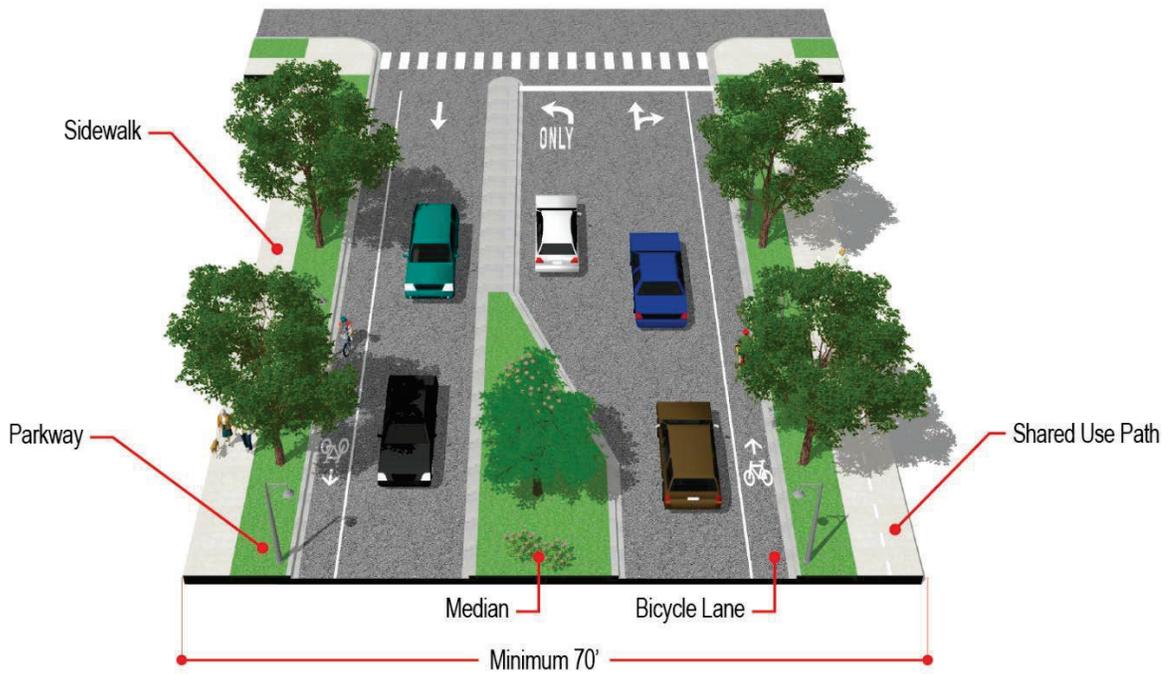


Figure 7.7. Collector Street With On-Street Parking Standards

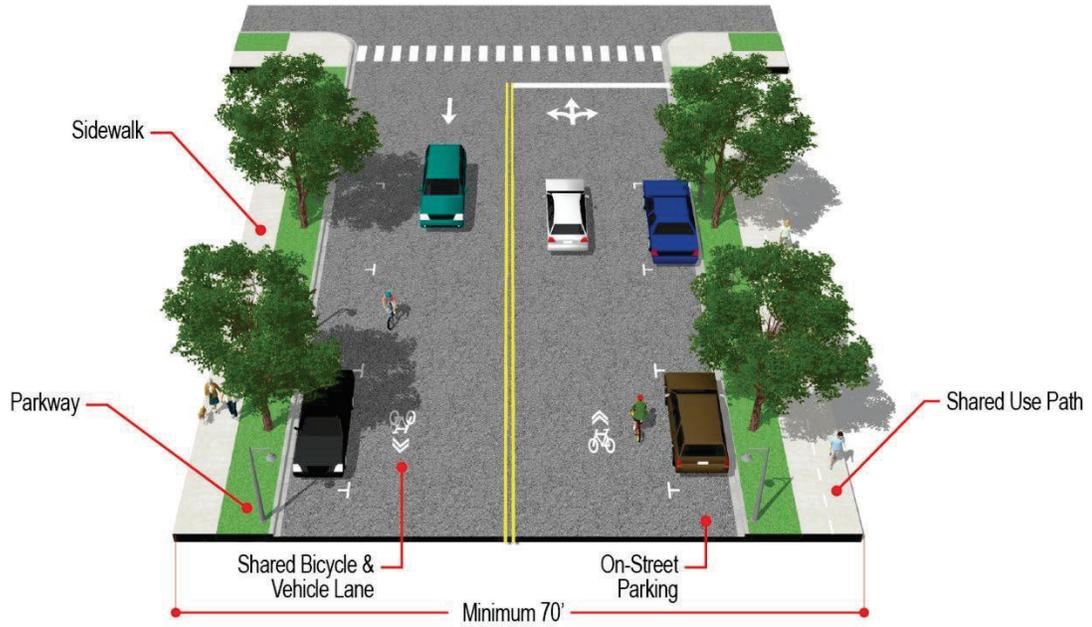


Figure 7.8. Local Nonresidential Street With Bicycle Lane and Median Standards

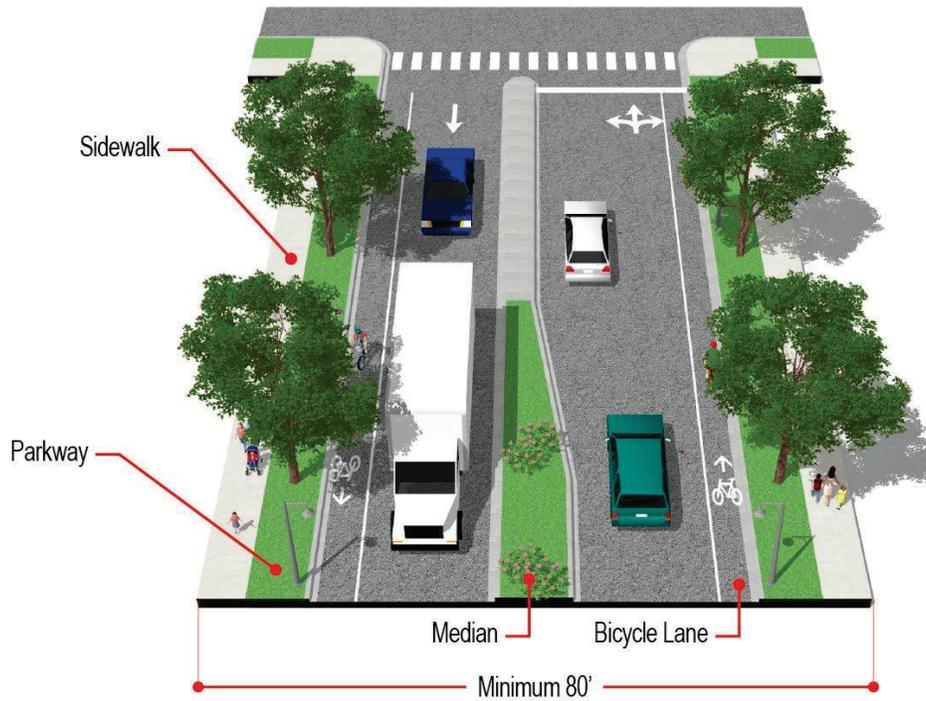


Figure 7.9. Local Nonresidential Street With Bicycle Lane and Median Design Standards

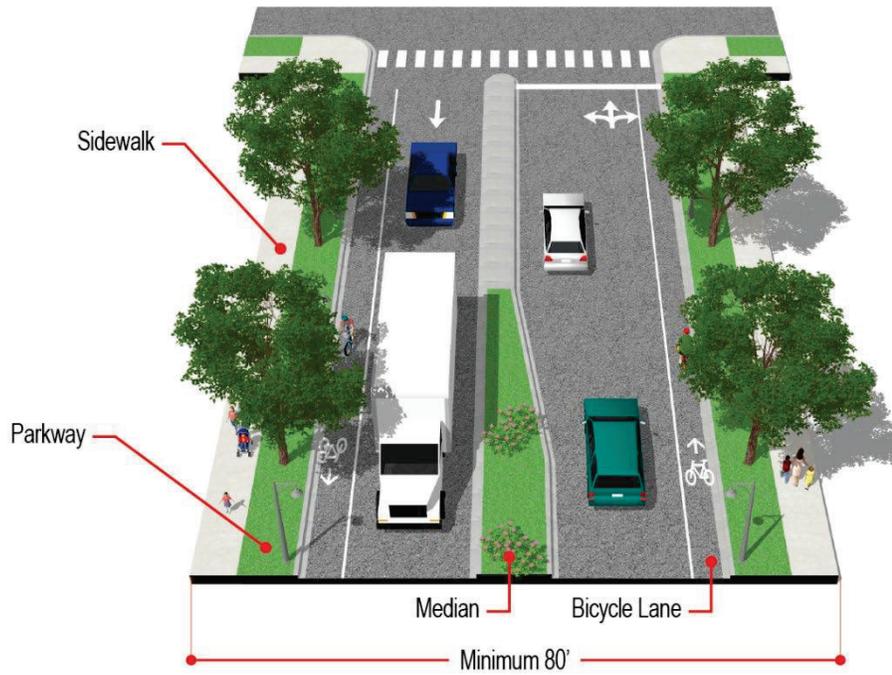
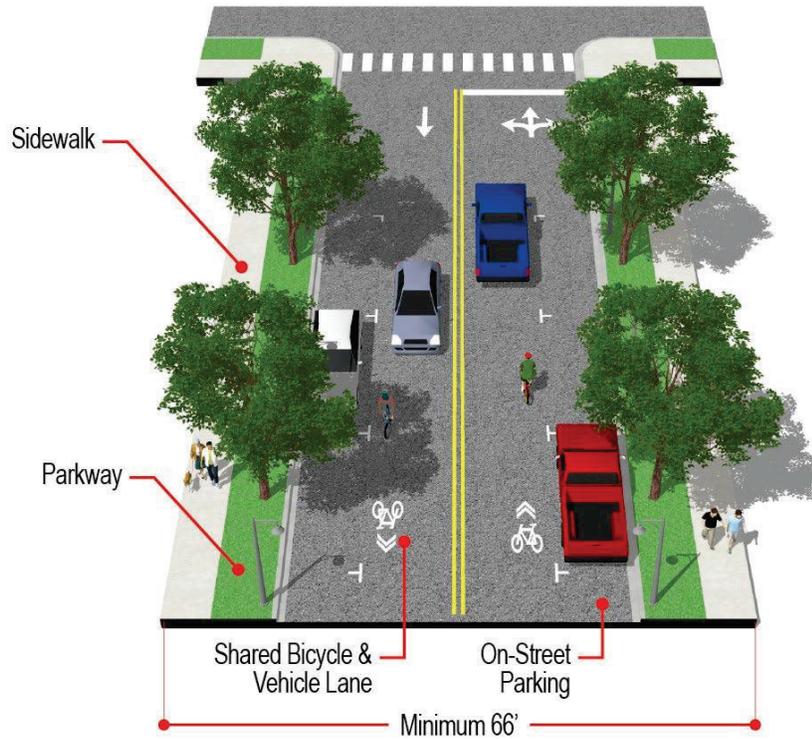


Figure 7.10. Local Residential Street Design Standards



## 10-7-4. Circulation and Connectivity

### A. Half Streets.

1. Half streets shall be prohibited, except where the Planning and Zoning Commission deems them essential to the reasonable development of the subdivision and where the Planning and Zoning Commission finds it will be practicable to require the dedication of the other half when the adjoining property is subdivided.
2. A right-of-way width of not less than forty (40) feet, and a pavement width of not less than twenty-two and one-half (22½) feet, shall be required for the half street.
3. Where a half street is adjacent to a tract to be subdivided, the other half of the street shall be platted and constructed within such tract.
4. In cases where half streets are accepted, the owner and subdivider shall be required to grade and improve the half street, the same as all other subdivision streets.

### B. Alleys.

1. **All Alleys.** All alleys shall be privately maintained.
2. **Commercial and Industrial.** Alleys shall be provided for all commercial and industrial districts, except that the City may waive this requirement where another definite and assured provision is made for service access, such as off-street loading and parking consistent with, and adequate for, the uses proposed.
3. **Residential.** Alleys are encouraged in subdivisions in the R-2D, R-3, and R-4 Districts and when provided shall have a minimum right-of-way width twenty (20) feet. Alleys shall be prohibited in the A-1, R-1, and R-2 Districts, unless deemed necessary by the City Engineer because of topography or other exceptional circumstances.
4. **Dead End.** Dead end alleys shall be avoided where possible, but where unavoidable, shall be provided with an adequate vehicle turn-around at the terminus as determined by the City Engineer.
5. **Obstructions.** No obstructions shall be permitted in areas reserved for alleys.

## 10-7-5. Easements

### A. Utility Easements Required.

1. Utility easements at least ten (10) feet wide shall be provided at the rear of all lots and shall be centered on the rear or side lot lines, unless otherwise approved by the City Council due to topography, natural features, or other site constraints.
2. Utility easements may be required at other locations than the rear of lots and at greater widths than ten (10) feet to accommodate proposed utilities and to provide space for future utilities, as deemed appropriate by the City Engineer.
3. Utility easements shall be provided along both sides of all road right-of-ways.

### B. Stormwater Control Facilities Easements Required.

Easements shall be required for all stormwater control facilities and for overflow routes.

### C. Watercourse Easements Required.

Where a watercourse, drainage channel, stream, or other body of water traverses a subdivision, appropriate dedications or easement provisions, with adequate width to accommodate the observed, computed, or anticipated stormwater drainage through and from the subdivision shall be made. The width of the easement shall depend on the area of land drained by the watercourse and shall be of adequate width to allow access for construction and maintenance equipment.

- D. **Transition Area Easements.** Transition zone easements may be required in accordance with the standards of Section 10-5-3(F). If said easement is to also be used for public utilities, only such plant materials that have an ultimate growth not exceeding fifteen (15) feet shall be used.

## **10-7-6. Water, Sewer, and Stormwater**

### **A. Water System Connection Required.**

1. All parcels within a subdivision shall be required to connect to the United City of Yorkville's Public Water Supply System, including required water main extensions off-site, to the sizes required by the City.
2. All subdivisions shall provide a looped, double fed water system, and extensions to the boundaries of the development, as directed by the City.

### **B. Sanitary Sewer Connection Required.**

1. All parcels within a subdivision shall be required to provide connection to the sanitary sewer system, including required sewer extensions off-site, to the sizes and depths required by the City.
2. The sanitary sewers shall be extended to the far boundaries of the development, as directed by the City.

### **C. Stormwater Drainage Required.**

1. Surface water drainage improvements consisting of storm sewers or open channels, inlets, catch basins, manholes, and/or detention facilities, shall be designed and constructed to adequately drain the area being developed and any other areas that naturally drain through the area being developed.
2. If the natural surface water drainage will be changed by the construction of the subdivision, adequate provision shall be made for collection and diversion of such surface waters into public areas or drains which the subdivider has a right to use. Surface waters shall not be deposited on the property of adjoining landowners in a manner that causes erosion or other damage.
3. The property owner shall maintain any drainage course across their property and shall keep their property free from features that restrict the natural drainage.

### 10-7-7. Cluster Development

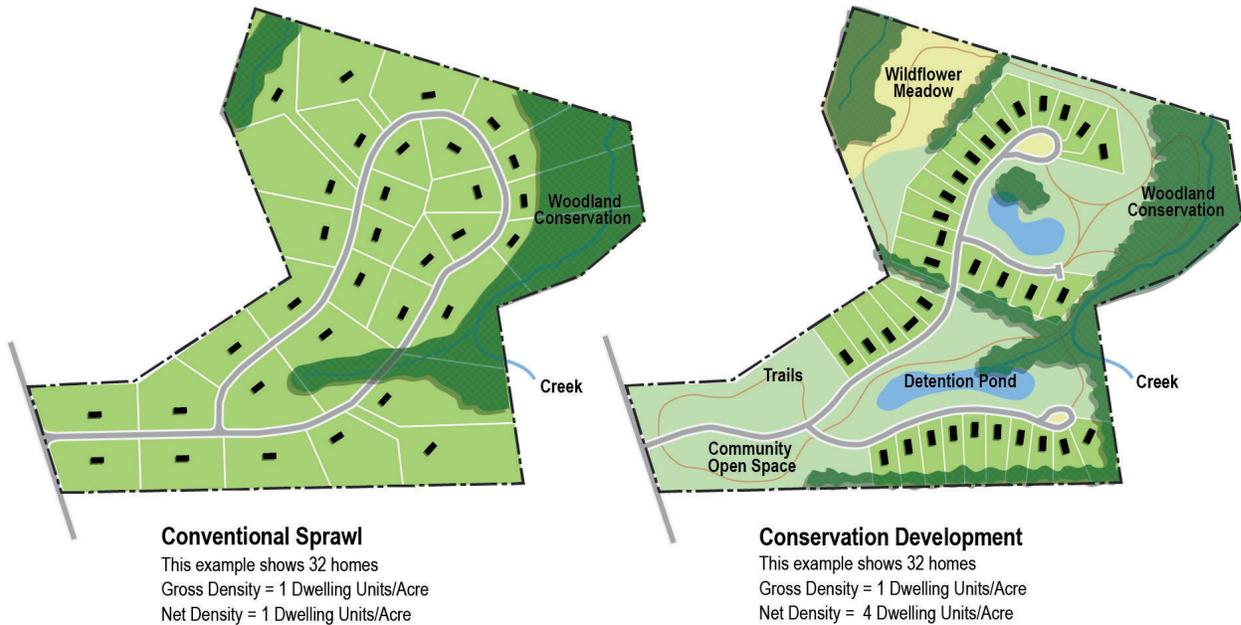
Cluster development is allowed in residential subdivisions in the R-1, R-2, and R-2D Districts to encourage and accommodate, in a unified project, creative and imaginative approaches to development that preserve sensitive natural areas and encourage compact, walkable design of subdivisions and neighborhoods.

- A. **Resources to be Conserved.** To qualify for cluster development any land located in a special flood hazard area, as determined by the Federal Emergency Management Agency, shall be placed in a conservation easement.
- B. **Maximum Density per Acre.** The gross density of a cluster development shall not exceed the maximum dwelling units per acre detailed in Table 10-7-7(B).

Zoning District	Maximum Density
R-1	3.63 dwelling units/acre
R-2	4.36 dwelling units/acre
R-2D	2.90 dwelling units/acre

- C. **Maximum Dimensional Standards Reduction.** The dimensional standards established in Table 10-3-9(A) may be reduced by thirty (30) percent or by the cumulative total land area to be placed in a conservation easement, whichever is less.
- D. **Density Bonus.** The maximum gross density per acre, per district, may be exceeded by a maximum of thirty (30) percent if either the natural resource conservation or subdivision design standards below are met.
  - 1. **Natural Resource Conservation.** A minimum of one (1) of the following sensitive natural areas are placed in a conservation easement. The maximum allowed density bonus shall be as determined by the City Council and shall be directly tied to the amount of land area placed in a conservation easement.
    - a. Native landscapes,
    - b. Mature tree stands,
    - c. Prime farmland,
    - d. Critical habitat, and/or
    - e. Other as approved by the Zoning Administrator.
  - 2. **Subdivision Design.** The subdivision provides an enhanced pedestrian environment throughout the neighborhood by fulfilling at least one (1) of the following standards. The maximum allowed density bonus shall be as determined by City Council and shall be directly tied to the enhancements to the pedestrian environment provided.
    - a. At least twenty (20) percent of blocks in the subdivision are eight-hundred (800) feet or less in length.
    - b. At least twenty (20) percent of the cul-de-sacs in the subdivision are four-hundred (400) feet or less in length.
- E. **Planned Unit Development Required.** Any subdivision employing cluster development techniques shall require approval through the Planned Unit Development Process as specified in Section 10-8-8.

Figure 7.11. Cluster Development



## 10-7-8. Anti-Monotony Standards

### A. Building Variety Standards.

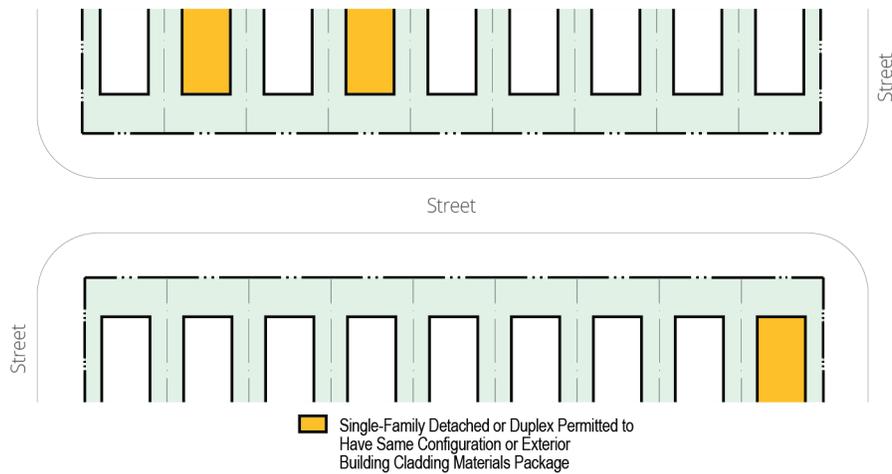
1. No new single-unit detached or duplex dwelling units shall be similar in appearance to any other single-unit detached or duplex dwelling units within two (2) units on either side of the subject property or on any of the five (5) units across the street from the subject property.
2. On cul-de-sac turnarounds, no single-unit detached or duplex dwelling shall be similar in appearance to another dwelling on the turnaround.

### B. Similarity Standards. Any two (2) dwelling units shall be considered similar in appearance if they are identical or nearly identical to one another in any three (3) or more of the following characteristics:

1. Roof type (gable, hip, mansard, gambrel, flat, or combination);
2. Similar roof pitch at an angle of ten (10) degrees or less;
3. Dimensions (height and/or length) of the front wall closest to the front lot line that are within twenty (20) percent the same as either the height or width shall constitute similarity;
4. Shape of the front elevation silhouette;
5. Relative location and size of windows on the front elevation;
6. Relative location and dimensions of garage door(s), if included on the front elevation; and
7. Type(s) of exterior building cladding materials on the front elevation. The following differences in construction material shall be deemed sufficient to render buildings containing such changes and built on adjacent lots to be dissimilar.
  - a. Four (4) inch exposure horizontal siding;

- b. Eight (8) inch exposure horizontal siding;
- c. Brick facing;
- d. Vertical siding;
- e. Stone facing; and
- f. Stucco/staccato board and trim.
- g. When materials are changed, the change must occur throughout the front facade or elevation for a minimum of one story in height.
- h. Color change shall be made by significant changes in adjacent colors. The change must be one of color rather than merely of the shade.

**Figure 7.12. Anti-Monotony Standards**



### 10-7-9. Park and Recreation Land and School Site Dedication

As a condition of approval of a final plat of a subdivision, the developer shall dedicate land for park and recreational purposes and for school sites to serve the needs of residents of the development, or a cash contribution in lieu of the land dedication, or a combination of both, at the discretion of the City, in accordance with the criteria and formula below.

**A. Criteria For Requiring Park and Recreation Land Dedication.**

- 1. Requirements and Population Ratio.** The quantity of land required for park dedication shall result directly from the total population of the proposed development. The total requirement shall be five and one half (5 ½) acres of land per one thousand (1,000) residents. The required five and one-half (5 ½) acres shall be allocated into different types of recreation areas as shown in Table 10-7-9(A)(1), or as may be required by City Council at its discretion.

Type of Recreation Area	Size Range	Minimum Acres Per 1,000 People
<i>Play lot</i>	Minimum - 8,000 square feet	n/a
<i>School/park (neighborhood playground)</i>	Minimum - 5 acres	1.25
<i>Neighborhood park</i>	Minimum - 3 1/2 acres	1
<i>District-wide park or play field</i>	Minimum - 4 acres, up to 30 acres	1.25
<i>Community-wide recreation park</i>	Minimum - 12 acres, up to 30 acres	2
<i>Total</i>		5.5

**B. Criteria For School Site Dedication.**

- 1. Requirement and Population Ratio.** The required dedication of land for school sites shall depend on the quantity of students projected to be generated within the subdivision. The land dedication requirement shall be determined by obtaining the ratio of the maximum number of students to be served in each such school classification as defined in Table 10-7-9(B)(1) and the minimum number of acres for a school site of each school classification defined in Table 10-7-9(B)(1). The product shall be the number of acres of land required for sufficient school sites to serve the estimated children in each such school classification.

School Classification Grade	Maximum Number of Students For Each School Classification	Minimum Number of Land Acres For Each School Site For Such Classification
<i>Elementary Schools - Grades K-5</i>	600 students	11 acres
<i>Junior High Schools - Grades 6-8</i>	900 students	19 acres
<i>High Schools - Grades 9-12</i>	2,300 students	48 acres

- C. Contribution in Lieu Procedure.** At the City’s discretion, it may require the developer to pay a contribution in lieu of the land dedication required. The cash contribution required in lieu of park and recreation and/or school facilities shall be per the City’s adopted ordinances. The cash contributions in lieu of park and recreation land dedication shall be held in trust solely for the acquisition of park and recreation land which will be available to serve the needs of the residents of the subdivision.

DRAFT FOR REVIEW

- D. **Estimated Population Per Dwelling Unit.** Table 10-7-9(D) of population density shall be used to calculate the quantity of dedicated acres of land for parkland or schools or to determine the required cash contribution in lieu of.

<b>Table 10-7-9(D): Estimated Population Per Dwelling Unit</b>						
<b>Type of Unit</b>	<b>Preschool</b>	<b>Elementary</b>	<b>Junior High</b>	<b>High School</b>	<b>Adults</b>	<b>Total Per Dwelling Unit</b>
	0-4 Years	5-10 Years	11-13 Years	14-17 Years	18+ Years	All Ages
<i>Dwelling, Single-Unit</i>						
<i>2 Bedroom</i>	0.113	0.136	0.048	0.020	1.700	2.017
<i>3 Bedroom</i>	0.292	0.369	0.173	0.184	1.881	2.899
<i>4 Bedroom</i>	0.418	0.530	0.298	0.360	2.158	3.764
<i>5 Bedroom</i>	0.283	0.345	0.248	0.300	2.594	3.770
<i>Dwelling Duplex, Dwelling, Townhome</i>						
<i>1 Bedroom</i>	0.000	0.000	0.000	0.000	1.193	1.193
<i>2 Bedroom</i>	0.064	0.088	0.048	0.038	1.752	1.990
<i>3 Bedroom</i>	0.212	0.234	0.058	0.059	1.829	2.392
<i>4 Bedroom</i>	0.323	0.322	0.154	0.173	2.173	3.145
<i>Dwelling, Multi-Unit</i>						
<i>Efficiency</i>	0.000	0.000	0.000	0.000	1.294	1.294
<i>1 Bedroom</i>	0.000	0.002	0.001	0.001	1.754	1.758
<i>2 Bedroom</i>	0.047	0.086	0.042	0.046	1.693	1.914
<i>3 Bedroom</i>	0.052	0.234	0.123	0.118	2.526	3.053

## Chapter 8. UDO Review and Approval Procedures

10-8-1. Administrative Authorities .....	1
10-8-2. General Application Requirements.....	4
10-8-3. Permits, Certificates, and Administrative Review .....	5
10-8-4. Board/Commission General Review and Action Procedures .....	10
10-8-5. Special Uses.....	11
10-8-6. Subdivision Procedures.....	15
10-8-7. Required Improvements. ....	20
10-8-8. Planned Unit Development.....	23
10-8-9. Variations.....	28
10-8-10. Appeals.....	30
10-8-11. Text Amendments .....	31
10-8-12. Map Amendments .....	32
10-8-13. Annexations.....	34
10-8-14. Economic Incentive/Development Agreement.....	35

### 10-8-1. Administrative Authorities

- A. **Zoning Administrator.** The Director of the Department of Community Development shall be the Zoning Administrator and shall enforce and administer the regulations of this Title, including the following responsibilities:
1. Assist in providing public information relative to all matter pertaining to this title and open records for public inspection, as deemed required by law.
  2. Receive and review applications for all procedures related to this Title.
  3. Receive applications for County mile and one-half reviews and forward to the Planning and Zoning Commission and City Council.
  4. Forward materials to the applicable review and/or decision-making committees as applicable.
  5. Interpret the regulations when questions arise, including but not limited to:
    - a. Determine which uses, though not contained by name in a zoning district list of permitted uses, are of the same general character and permit their establishment.
    - b. Determine the parking or loading class of a use which is not contained by name in a parking or loading class.
  6. Maintain permanent and current records pertaining to this Title, including, but not limited to, all maps, amendments, variations, appeals, and publications thereof.
  7. Administer the comprehensive plan and interpret the provisions pertaining to building and site design considering such factors as contextual appropriateness, consistency with the City's general policies, and community need or benefit.

8. Identify all nonconforming structures and uses.
  9. Delegate other duties as may be placed upon them by this Title.
- B. **Zoning Officer.** The Building Code Official shall be the Zoning Officer and be responsible for enforcing this Title, including the following responsibilities:
1. Issue all certificates of use and occupancy and maintain records thereof.
  2. Conduct inspections of building, structures, and use of land to determine compliance with the terms of this Title.
  3. Issue violation notices and citations for violations of this Title.
  4. Require that all construction or work of any type be stopped when such work is not in compliance with this Title; and revoke any permit which was unlawfully issued.
  5. Review all cases of encroachment in required yards.
  6. Issue citations and notify violators from decisions made by the Administration Adjudication Hearing Officer, Planning and Zoning Commission and City Council.
- C. **Plan Council.** The Plan Council may consist of the City Administrator, Community Development Director, City Engineer, Building Code Official, Public Works Director, Director of Parks and Recreation, Police Chief, Sanitary District Director, Fire District representative, or designee from each respective department. The Plan Council shall have the following responsibilities and procedures:
1. The Plan Council shall meet on an as needed basis and the petitioner(s) shall also be present at the meeting.
  2. The City Administrator shall have final authority regarding members and meeting schedule for the Plan Council.
  3. Review all development applications, requests, and documents including but not limited to site plans, concept plans, annexations, planned unit developments, map amendments, text amendments, special use, variance, preliminary and final plats for compliance with City ordinances, standards, and policies.
  4. Work cooperatively with the applicant(s) to find mutually acceptable site design and improvement solutions to specific site problems, in accordance with City ordinances, standards and policies.
  5. Prepare recommendations based upon review of site plans and documents to the applicant(s), committee(s), and Planning and Zoning Commission prior to holding of a public hearing on the application.
- D. **Economic Development Committee.** The Economic Development Committee consists of four (4) City Council members which are appointed by the mayor and shall have the following authorities and responsibilities:
1. Review development applications and serve as an advisory body to any petitioner(s) seeking approval on all documents including but not limited to text amendments, map amendments, planned unit developments, variations, special uses, and plat applications.
  2. Comments and advice given by the Economic Development Committee to any petitioner(s) is for general informational knowledge and to address any potential issues with an application with regards to City ordinances, standards, and policies.
- E. **Planning and Zoning Commission.** The Planning and Zoning Commission, which has been created and appointed by the mayor, shall have the following authorities and responsibilities.
1. To hear and make recommendations to the Mayor and City Council on all applications including but not limited to text amendments, map amendments, planned unit developments, variations, special uses, and plat applications.
  2. To initiate, direct, and review, from time to time, studies of the provisions of this Title, and to make reports of its recommendations to the Mayor and City Council.

DRAFT FOR REVIEW

3. To perform such duties of a Plan Commission as authorized by division 12 of the Illinois Municipal Code (65 ILCS 5/11-12-1 et seq.).
4. To hear and make recommendations to the Mayor and City Council on all matters upon which it is required to pass under this Title.
5. To prepare and recommend to the Mayor and City Council a comprehensive plan or updates thereto for the present and future development or redevelopment of the City.
6. To hear and act upon requests for interpretations of this Title and appeals of decisions made by the Zoning Administrator or Zoning officer.
7. To hear and decide all matters referred to it and upon which it is required to pass under the zoning ordinance as prescribed by statute.
8. To perform such duties of a Zoning Board of Appeals as authorized by division 13 of the Illinois Municipal Code (65 ILCS 5/11-13-1 et seq.).
9. Grant authorized Variations from the regulations as stated in Section 10-8-9 of this Title.
10. To perform such additional duties as are outlined in this Ordinance, the City of Yorkville Code of Ordinances, or the Illinois Municipal Code.

## 10-8-2. General Application Requirements

### A. Authorization.

1. An application for any request or procedure, except for amendments, may be filed only by the owner or lessee of the property, or by an agent or contract purchaser specifically authorized by the owner to file such application.
2. An application for an amendment may be filed by an owner, lessee, agent, or contract purchaser of property located in the City or by the City Council, Planning and Zoning Commission, Zoning Administrator, or City Administrator.

### B. Filing.

1. An application for any request or procedure shall be filed with the Zoning Administrator.
2. The application shall be on forms provided by the City and shall be filed in such number as the instructions provide.
3. All plans shall be at a scale sufficient to permit a clear and precise understanding of the proposal.
4. The application shall include all information, plans, and data, specified in the forms provided by the City and sufficient to determine whether the application will conform to the requirements set forth in this Title.

### C. Completeness.

1. The Zoning Administrator shall determine whether the application is complete.
2. If the application is not complete, the Zoning Administrator shall notify the applicant of any deficiencies and shall take no steps to process the application until the deficiencies are remedied.
3. **Dormant Applications.**
  - a. If the Zoning Administrator determines that the application is incomplete, it will become dormant under these circumstances:
    - (1) The applicant has been notified of such deficiencies and has not responded or provided a timeline for completing the application within ninety (90) days from the time of notification.
    - (2) The applicant has not responded in writing to a request for information or documentation from staff or the initial Planning and Zoning Commission review within six (6) months from the date of that request.
    - (3) The applicant has not responded to a request for legal or engineering deposit replenishment for City incurred costs and fees within ninety (90) days from the date of the request.
  - b. If the Zoning Administrator has sent the required notice and the applicant has not withdrawn their application or brought it into compliance, then the director shall terminate the application. After termination, the application shall not be reconsidered except after the filing of a completely new application.
  - c. Withdrawal or termination of an application shall not affect the applicant's responsibility for payment of any costs and fees, or any other outstanding debt owed to the city. The balance of any funds deposited with the city that is not needed to pay for costs and fees shall be returned to the applicant.
4. Once the Zoning Administrator has determined that the application is complete, the application shall be scheduled for consideration at the appropriate meeting, as needed.

### D. Fees.

1. Every application shall be accompanied by the required filing fee as established and modified, from time to time, by the City Council provided in Section 1-7-9 of the Yorkville Municipal Code.
2. No fees shall be waived, and no fees shall be refunded except those authorized by the Mayor, City Administrator, or their designee in their sole discretion.

- E. **Withdrawal of Application.** An applicant shall have the right to withdraw an application at any time prior to the decision on the application by the Planning and Zoning Commission or City Council. Such withdrawal shall be in writing.

**F. Successive Applications.**

1. A subsequent application shall not be reviewed or heard within one (1) year of the date of denial unless there is substantial new evidence available or if a significant mistake of law or of fact affected the prior denial.
2. Such subsequent applicant shall include a detailed statement of the grounds justifying its consideration.
3. The Zoning Administrator shall decide as to whether the subsequent application provides substantial new evidence.
4. If the Zoning Administrator finds that there are no grounds for consideration of the subsequent application, they shall summarily and without hearing deny the request.

**10-8-3. Permits, Certificates, and Administrative Review**

- A. **Summary of Administrative Review and Action.** Table 10-8-3(A) summarizes the Administrative Review and Approval Procedures and identifies the administrator that serves as the review and decision-making body.

Table 10-8-3(A): Summary of Administrative Review and Approval Procedures		
Administrative Review Procedure	Zoning Administrator	Zoning Officer
Building Permit	○	●
Certificate of Occupancy	○	●
Lot Split	●	
Sign Permit	○	●
Temporary Use Permit	●	○
<i>Key:</i>		
● = Review and Decision Making Body		
○ = Review Body		

**B. Building Permit.**

1. **Permit Required.** A building permit issued by the Zoning Officer shall be required for the construction, reconstruction, enlargement, or relocation of any building or structure. It shall be unlawful for any person to erect, move, add to, or structurally alter any building or structure, or to use or change the use of any building or land without a building permit.
2. **Placement.** The permit shall be posted in a prominent place on the premises prior to and during the period of construction, reconstruction, enlargement, or moving.
3. **Compliance.** Before a building permit is issued for the erection, moving, alteration, enlargement or occupancy of any building or structure or use of premises, the plans and intended use shall indicate conformity in all respects to the provisions of this Title.
4. **Requirements.**
  - a. **Site Plan.** Every application for a building permit submitted to the officer shall be accompanied by a site plan and/or plat of survey, drawn to scale, showing the lot and the building site and the location of existing building on the lot, accurate dimensions of the lot, yards and building or buildings, together with locations and uses, together with such other information as may be necessary to the enforcement of this title.
  - b. **PIN Number and Address.** Every application shall include the Property Index Number (PIN), lot number, and/or address of the parcel where the improvement is being located.
  - c. **Fees.** No approval shall be issued until appropriate fees have been paid as stated in Section 1-7-9 of the Yorkville Municipal Code.

5. **Review Process.**

- a. A building permit application shall be reviewed by both the Zoning Officer and Zoning Administrator or an appointed designee of their choosing.
- b. The Zoning Officer and Zoning Administrator or their appointed designee will ensure that every application is in compliance with this Title and all other adopted municipal regulations.
- c. Site plan review is required prior to the issuance of a building permit to certify compliance and shall be required for any development meeting one of the following criteria.
  - (1) New development, including the construction or placement of any new building(s) or expansion of any existing building.
  - (2) Any development which will increase the overall impervious lot coverage of a parcel.
  - (3) Any development subject to off-street parking and loading requirements.
- d. The Zoning Officer shall act upon each application after it is filed in compliance with the provisions of this Title and provide the applicant(s) with a fee receipt.
- e. In the case that an application is not in compliance with this Title or the application provided insufficient information then the Zoning Officer shall notify the applicant, in writing, of said official's refusal to issue an approval detailing the reason(s) for the refusal.

6. **Expiration and Lapse of Approval.** The applicant shall have six (6) months from the date of approval to secure a building permit to carry out the proposed improvements. If a building permit has not been obtained within six (6) months of the date of approval, the approval shall expire. An extension of the time requirements may be requested in writing and granted by the Zoning Administrator for good cause shown by the applicant, provided a written request is filed with the City at least two (2) weeks prior to the respective deadline.

C. **Certificate of Occupancy.**

- 1. A Certificate of Occupancy shall be required for any of the following, except buildings incidental to agricultural operations other than residences:
  - a. Occupancy and use of a building hereafter erected or enlarged.
  - b. Change in the use of an existing building.
  - c. Occupancy and use of vacant land except for the raising of crops.
  - d. Change in the use of land to a use of a different classification except for the raising of crops.
  - e. Any change in the use of a nonconforming use.
- 2. No such occupancy, use or change of use shall take place until a Certificate of Occupancy therefor shall have been issued.
- 3. **Review Process.**
  - a. A Certificate of Occupancy shall be reviewed by both the Zoning Officer and Zoning Administrator.
  - b. The Zoning Officer and Zoning Administrator shall ensure that every application is in compliance with this Title and all other adopted municipal regulations.
  - c. **Zoning Officer Action.** The Zoning Officer shall act on an application for a Certificate of Occupancy within ten (10) business days after a written request for the same has been submitted to the Zoning Officer.

4. **Temporary Certificate of Occupancy.** Pending the issuance of such a certificate, the Zoning Officer may issue a temporary Certificate of Occupancy for a period of not more than six (6) months during the completion of the construction of the building or of alterations which are required under the terms of any law or ordinance.
  - a. **Renewal.** Such temporary certificate may be renewed an additional six (6) months, but it shall not be construed in any way to alter the respective rights, duties, or obligations of the owner or of the City relating to the use or occupancy of the land or building, or any other matter covered by this title, and such temporary certificates shall not be issued except under such restrictions and provisions as will adequately ensure the safety of the occupants.
5. **Records Of Action.** A record of all certificates of occupancy shall be kept on file by the Zoning Officer and a copy shall be forwarded, on request, to any person having proprietary or tenancy interest in the building or land affected.

**D. Lot Splits.**

1. **Applicability.** A lot split is a subdivision which meets any one (1) if the following conditions.
  - a. The split of a single lot into three (3) or fewer lots.
  - b. Subdivisions solely for the creation of public right of way or other public tracts of land.
  - c. Lot line or boundary adjustments to a filed Final Plat.
  - d. Correction of errors or omissions on a filed Final Plat, such as legal description errors, typographical and mapping errors, lot identification errors, and surveyor corrections.
2. **Lot Split Review Criteria.**
  - a. **Comprehensive Plan Alignment.** The Lot Split is consistent with the goals, objectives, and policies set forth in the Comprehensive Plan and other adopted plans and policy documents of the City.
  - b. **Compliance.** The Lot Split is consistent with the provisions of this Title and the governing zoning district.
3. **Zoning Administrator Review and Action.** Upon the determination of completeness, the application shall be reviewed by the Zoning Administrator to ensure the application conforms to the criteria in Subsection 2 above. Based upon their review, the Zoning Administrator shall approve or deny the Lot Consolidation/Split application in writing.
4. **Advancement To Variance.** The Zoning Administrator may advance any Lot Consolidation/Split application to a Subdivision in instances that, in the opinion of the Zoning Administrator, require public input and review by the Planning and Zoning Commission to approve or deny. Any Lot Consolidation/Split advanced to a Subdivision shall follow the procedure in Section 10-8-6.

**E. Sign Permit.**

1. **Purpose.** A Sign Permit shall be required prior to the display, copy change, construction, erection, or alteration of a sign, and its structural components, on any property to verify compliance with all applicable standards of this Title and the applicable sections of the building code as adopted by the City. All electrical installations associated with the erection and installation of a sign must be done in accordance with the adopted Building and Electrical Codes.
2. **Exemptions.** Signs exempt from a permit are listed in Section 10-6-4 of this Title.
3. **Sign Permit Review Criteria.** To approve the issuance of a Sign Permit, the Zoning Administrator and Zoning Officer shall make an affirmative finding that all applicable provisions of this Title, the Building Code, and all other City ordinances are met.
4. **Review Process.**
  - a. A Sign Permit application shall be reviewed by both the Zoning Officer and Zoning Administrator.

- b. The Zoning Officer and Zoning Administrator shall ensure that every application complies with this Title, the Building Code, and all other adopted municipal regulations.
  - c. **Zoning Officer Action.** Based upon their review, the Zoning Officer shall approve or deny the Sign Permit application in writing.
5. **Expiration and Lapse of Approval.** A Sign Permit shall become null and void, if work authorized under the permit has not been completed within six (6) months of the date of issuance.
6. **Comprehensive Sign Plan.** Signage may also be approved through a Comprehensive Sign Plan as specified in Section 10-6-8.

**F. Temporary Use Permit.**

- 1. **Purpose.** A Temporary Use Permit shall be required prior to the commencement of a Temporary Use identified in Table 10-3-12.
- 2. **Temporary Use Permit Review Criteria.** To approve a Temporary Use Permit, the Zoning Administrator shall make an affirmative finding that the following criteria are met:
  - a. **Land Use Compatibility.** The Temporary Use shall be compatible with the purpose and intent of this Title and the district in which it will be located. The Temporary Use shall not impair the normal, safe, and effective operation of a permanent use on the same site. The Temporary Use shall not endanger or be materially detrimental to the public health, safety, or welfare, or injurious to property or improvements in the immediate vicinity, given the nature of the activity, its location on the site, and its relationship to parking and access points.
  - b. **Compliance with Other Regulations.** A Building Permit or temporary Certificate of Occupancy may be required before any structure used in conjunction with the Temporary Use Permit is approved, constructed, or modified. All structures and the site shall meet all applicable building code, UDO, and fire code standards and shall be promptly removed upon the cessation of the use or event. Upon cessation of the use or event, the site shall be returned to its previous condition, including the removal of all trash, debris, signage, attention attracting devices, or other evidence of the special event or use.
  - c. **Hours of Operation and Duration.** The duration and hours of operation of the Temporary Use shall be consistent with the intent of the event or use, and compatible with the surrounding land uses. The duration and hours of operation shall be established by the Zoning Administrator at the time of approval of the Temporary Use Permit.
  - d. **Traffic Circulation.** The Temporary Use shall not cause undue traffic congestion or accident potential given anticipated attendance and the design of adjacent streets, intersections, and traffic controls, as determined by the City Engineer.
  - e. **Off-Street Parking.** Adequate off-street parking shall be provided for the Temporary Use, as determined by the Zoning Administrator, and it shall not create a parking shortage for any of the other existing uses on the site.
  - f. **Public Conveniences and Litter Control.** Adequate on-site restroom facilities and on-site solid waste containers may be required as deemed appropriate by the Zoning Administrator. The applicant shall provide a written guarantee that all litter generated by the event or use shall be removed at no expense to the City.
  - g. **Appearance and Nuisances.** The Temporary Use shall be compatible in intensity, appearance, and operation with surrounding land uses, and shall not impair the usefulness, enjoyment, or value of adjacent property due to the generation of noise, dust, smoke, glare, spillover lighting, or other forms of environmental or visual pollution.
  - h. **Other Conditions.** The Zoning Administrator may establish any additional conditions deemed necessary to ensure land use compatibility and to minimize potential adverse impacts on nearby uses, including, but not limited to, time and frequency of operation, temporary arrangements for parking and traffic circulation, screening/buffering

requirements, and guarantees for site restoration and cleanup following the Temporary Use. Conditions may include, but shall not be limited to:

- (1) Modifications or restrictions on the hours of operation, duration of the event, size of the activity or other operational characteristics.
- (2) If the permit applicant requests the City to provide extraordinary services or equipment or if the Zoning Administrator otherwise determines that extraordinary services (e.g., traffic control or security personnel) or equipment should be provided to protect public health or safety, the applicant shall pay to the City a fee sufficient to reimburse the City for the costs of these services if not provided by the applicant. This requirement shall not apply if the event or use has been anticipated in the budget process and sufficient funds have been included in the budget to cover the costs incurred.

3. **Review Process.**

- a. A Temporary Use Permit shall be reviewed by both the Zoning Officer and Zoning Administrator or an appointed designee of their choosing.
- b. The Zoning Officer and Zoning Administrator shall ensure that every application complies with this Title, the Building Code, and all other adopted municipal regulations.
- c. **Zoning Administrator Review and Action.** Upon determination of completeness, the application shall be reviewed by the Zoning Administrator to ensure the application conforms to the criteria in Subsection (F)(2) above. Based upon their review, the Zoning Administrator shall approve or deny the Temporary Use Permit application in writing.

### 10-8-4. Board/Commission General Review and Action Procedures

- A. **Summary of Board/Commission Review and Approval Procedures.** Table 10-8-4(A) summarizes the Board and Commission Review and Approval procedures and identifies the appropriate boards or commissions that serve as recommending or decision-making bodies.

Table 10-8-4(A): Summary of Board/Commission Review and Approval Procedures				
Petition Review Procedure	Plan Council	Economic Development Committee	Planning and Zoning Commission	City Council
Special Use	A	A	R <sup>1</sup>	D
Subdivision	A	A	R	D
Planned Unit Development	A	A	R <sup>1</sup>	D
Variation	A	A	R <sup>1</sup>	D
Appeal			D	
Text Amendment		A	R <sup>1</sup>	D
Map Amendment	A	A	R <sup>1</sup>	D
Annexations	A	A		D
Economic Incentive/Development Agreement	A <sup>2</sup>	A		D
<b>Key:</b>				
A = Advisory Body				
R = Recommending Body				
D = Decision Making Body				
1 = Public Hearing Notice Required				
2 = Optional Review Step at the Zoning Administrator's discretion				

B. **Notice Requirements.**

1. **Notice Requirements by Procedure.** Table 10-8-4 (B)(1) summarizes the notice requirements per Board and Commission review and approval procedure.

Table 10-8-4(B)(1): Notice Methods by Board/Commission Review and Action Procedure		
Petition Review Procedure	Published Notice	Mailed Notice
Special Use	●	●
Special Use Major Amendment	●	●
Planned Unit Development	●	●
Planned Unit Development Major Amendment	●	●
Variation	●	●
Map Amendment	●	●
Text Amendment	●	
Annexations	●	●
Economic Incentive/Development Agreement		
<b>Key:</b>		
● = Required Notice Method		

2. **Published Notice.** The City shall cause a notice to be published in a newspaper of general circulation within the City. The notice shall include the date, time, place and purpose of such hearing, the name of the applicant and the address of the subject property. Such notice shall be published not less than fifteen (15) days nor more than thirty (30) days in advance of the scheduled hearing date.

3. **Mailed Notice.** The applicant shall mail notice by certified mail properly addressed as shown on the county tax assessor's rolls and with sufficient postage affixed thereto, with return receipt requested, to all owners of record whose lot or portion of a lot lies within five-hundred (500) feet of the applicable site's outermost property line.
    - a. **Affidavit Required.** The applicant shall file a sworn affidavit containing a complete list of the names and last known addresses of all owners of record entitled to notice and served, and attach thereto all United States Post Office return receipts as documentation of compliance with provisions in this subsection 3. Such affidavit and the return receipts must be submitted to the Zoning Administrator no later than twenty-four (24) hours in advance of the public hearing.
  4. **Cost of Notice.** All costs associated with mailed and published notice, as required by this UDO, shall be the responsibility of the applicant.
- C. **Recording of Documents.** Recording of documents as required by the City in instances of special use, variation, subdivision, consolidation, amendment, or Planned Unit Development or otherwise required by state statutes, shall be completed by the City Clerk and at the expense of the applicant. Notice of all fees shall be furnished to the applicant by the Zoning Administrator and paid prior to the recording of documents.

### 10-8-5. Special Uses

- A. **Purpose.** The Special Use process is intended to provide the City additional discretion in the approval process for uses which, because of their unique characteristics, require additional consideration due to the potential impact on neighboring land and of the public need for the particular use at the particular location.
- B. **Procedure.** The Special Use process will require the review of the following bodies unless otherwise determined by the Zoning Administrator:
  1. **Plan Council.** The Plan Council shall review the application and report to the Planning and Zoning Commission its findings and recommendations.
    - a. A community meeting of area/neighborhood property owners explaining the proposed Special Use conducted by the petitioner at their own expense and at a location of their choosing may be required as a recommendation from the Plan Council prior to the Planning and Zoning Commission public hearing date.
  2. **Economic Development Committee.** The Economic Development Committee shall review the application and report to the Planning and Zoning Commission its findings and recommendations.
  3. **Planning and Zoning Commission.** The Planning and Zoning Commission shall hold a public hearing on the application. The Planning and Zoning Commission shall report to the City Council its findings and recommendations, including the recommended stipulations of conditions and guarantees as part of the approval.
  4. **City Council.** The City Council shall consider the Planning and Zoning Commission's recommendation, the Zoning Administrator report, and public comment received at the Planning and Zoning Commission public hearing, and shall approve, conditionally approve, or deny the Special Use, or refer the Special Use back to the Planning and Zoning Commission for further consideration.
  5. **Recordation.** Any approved Special Use shall be recorded with the City Clerk.
- C. **Protest.** In the event of written protest against any proposed Special Use, signed and acknowledged by the owners of twenty (20) percent of the frontage adjacent thereto, or across an alley, or directly opposite therefrom, such Special Use shall not be granted except by the favorable vote of two-thirds ( $\frac{2}{3}$ ) of all members of the City Council. In such cases of written protest, a copy of the written protest shall be served by the protestor(s) on the applicant for the proposed Special Use and a copy upon applicant's Attorney, if any, by certified mail at the address of such applicant and attorney shown in the application for the proposed Special Use.

- D. **Standards.** No Special Use shall be recommended by the Planning and Zoning Commission or approved by the City Council unless the following are found:
1. The establishment, maintenance or operation of the Special Use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort, or general welfare.
  2. The Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purpose already permitted, nor substantially diminish and impair property values within or near the neighborhood in which it is to be located.
  3. The establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
  4. Adequate utilities, access roads, drainage or other necessary facilities have been or shall be provided.
  5. Adequate measures shall be taken to provide ingress or egress so designed as to minimize traffic congestion in the public streets.
  6. The proposed Special Use is not contrary to the objectives of the City's adopted Comprehensive Plan.
- E. **Conditions and Guarantees.** Prior to the granting of any Special Use, the Planning and Zoning Commission may recommend and the City Council may require conditions and restrictions, upon establishment, location, construction, maintenance, and operation of the Special Use as deemed necessary for the protection of the public interest and to secure compliance with the standards and requirements specified in Subsection F of this section. In all cases in which Special Uses are considered the Planning and Zoning Commission may recommend and the City Council may require such evidence and guarantees as it may deem necessary as proof that the conditions in connection with the Special Use are being and will be complied with as required.
- F. **Approval.** Any application for a Special Use which fails to receive a majority vote for favorable recommendation or favorable recommendation with conditions from the Planning and Zoning Commission shall not be approved except by the favorable vote of two-thirds ( $\frac{2}{3}$ ) of all the members of the City Council, and any Special Use application which receives the favorable recommendation or favorable recommendation with conditions from the Planning and Zoning Commission may be denied by a majority vote of the City Council.
- G. **Expiration and Lapse of Approval.** In any case where a Special Use has been granted pursuant to the provisions of this chapter, such approval shall become null and void unless it is constructed and in active use within three (3) years of the date of issuance. An applicant may request an extension of an additional year, to be approved by a majority vote of the City Council.
- H. **Amendments to Approved Special Uses.**
1. **Determination of Level of Change.** Upon receiving a Special Use amendment application, the Zoning Administrator shall determine whether the amendment is a minor amendment, or a major amendment based on the criteria detailed in Section 10-8-5(H)(2) below.
  2. **Major Amendment.** A major amendment is any proposed change to an approved Special Use that results in one or more of the following:
    - a. Increase in the intensity of the site's use,
    - b. Additional noise, glare, odor, or other impacts that are detectable from off-site
    - c. Affects the subject property in a manner that inhibits its continued use or reuse, or
    - d. Results in a change inconsistent with any standards or conditions imposed by the City Council in approving the Special Use, as determined by the Zoning Administrator

3. **Minor Amendment.** A minor amendment is any proposed change to an approved Special Use that is consistent with the standards and conditions upon which the Special Use was approved, which does not alter the concept or intent of the Special Use and is not considered a major amendment as detailed in Section 10-8-5(H)(2).
4. **Approval Process.**
  - a. **Major Amendments.** A major amendment to an approved Special Use shall follow the procedure for a Special Use approval set in Section 10-8-5(B).
  - b. **Minor Amendments.**
    - (1) **Zoning Administrator Review.** The minor amendment shall be reviewed by the Zoning Administrator for compliance with the Comprehensive Plan and the applicable standards of this UDO. The Zoning Administrator shall then make a recommendation to City Council to approve or deny the application.
    - (2) **City Council Review.** The minor amendment shall be reviewed by the City Council to ensure that the application meets the applicable review criteria. Based on the review, the City Council shall approve or deny the application. Any amendment shall not be approved except by the favorable vote of two-thirds ( $\frac{2}{3}$ ) of all the members of the City Council. Any minor amendment shall be approved by the City Council by ordinance.
    - (3) **Recordation.** The minor amendment shall be recorded with the City Clerk.

Figure 8.1. Special Use Procedure



## 10-8-6. Subdivision Procedures

- A. **Purpose.** The purpose of this section is to establish the procedures regarding the subdivision, development, and platting of land, the preparation of plats, installation of utilities, and extension of streets and highways.
- B. **General Provisions.**
1. **Zoning District Compliance.** No subdivision shall be approved unless it conforms to all of the requirements of this Title. Whenever there is a discrepancy between minimum standards or dimensions of this Title, building codes or other adopted regulations, codes, or ordinances, the most restrictive shall apply.
  2. **Comprehensive Plan Conformance.**
    - a. All proposed subdivisions shall conform to the most recently adopted Comprehensive Plan.
    - b. The arrangement, character, extent, width, grade, and location of all streets shall conform to all the elements of the Comprehensive Plan and shall be designed in accordance with sound planning and engineering principles as well as the improvement provisions outlined in this Section.
  3. **Subdivision Review Criteria.**
    - a. **Comprehensive Plan Alignment.** The Final Plat is consistent with the goals, objectives, and policies set forth in the Comprehensive Plan and other adopted plans and policy documents of the City.
    - b. **Compliance.** The Final Plat is consistent with the provisions of this Title and the governing zoning district.
- C. **Subdivisions.**
1. **Applicability.** Any subdivision of land dividing or consolidating two (2) or more lots or parcels.
  2. **Easements.** When a subdivision will result in a lot having inadequate access to utility easements, dedication of easements will be required in accordance with the requirements of the Zoning Administrator and the City Engineer.
  3. **Access and Streets.** The splitting of land shall provide each lot with access to a public street or highway, so that access to each lot is assured.
  4. **Preliminary Plan.** The petitioner or landowner may submit for a Preliminary Plan prior to a Final Plat.
    - a. Approval of the Preliminary Plan is tentative only and shall be effective for a period of twelve (12) months. If the Final Plat has not been recorded within this time limit, the Preliminary Plan must again be submitted for approval, unless upon application by the subdivider, the City Council grants an extension. An extension period shall not exceed two (2) twelve-month periods.
    - b. The procedure for a Preliminary Plan will follow the procedures outlined in Section 10-8-6(C)(7) of this Title.
  5. **Final Plan.** The petitioner or landowner may submit directly for a final plat.
  6. **Plat of Subdivision, Plat of Resubdivision or Plat of Consolidation Requirements.**
    - a. **Size.** The plat of subdivision shall be drawn in ink, at a scale of one (1) inch equals one hundred (100) feet or larger, on a nonfading, stable, Mylar material.
    - b. **Numbering.** When more than one (1) sheet is used for any document, each sheet shall be numbered consecutively and shall contain a notation giving the total number of sheets in the document and shall show the relation of that sheet to the other sheets.

c. **Information.**

- (1) **Legal Description.** Legal descriptions shall commence at the intersections of section lines and/or quarter section lines when reasonably practical to do so. The developer shall also submit the final plat to the City in digital form, in a format acceptable to the City. The coordinate system for the final plat shall be the Illinois State Plane Coordinate System, East Zone, NAD 83, or the current National Spatial Reference System.
- (2) **Monuments.** All monuments erected, corners, and other points established in the field in their proper places. The material of which monuments, corners, or other points are made shall be noted as the representation thereof, or by legend, except lot corners need not be shown.
- (3) **Exterior Boundary Lines.** The exact length and bearing of all exterior boundary lines, public grounds, meander lines, and easements, unless they parallel a noted boundary.
- (4) **Widths.** The exact width of all easements, streets, and alleys.
- (5) **Lot Lines.** The dimensions of all lot lines, to the nearest one-hundredth of a foot.
- (6) **Setback Lines.** Building setback lines on all lots.
- (7) **Consecutive Numbering.** All lots consecutively numbered within consecutively numbered blocks.
- (8) **Lot Angles.** The number of degrees, minutes, and seconds of all lot angles or bearings of same, other than ninety (90) degrees, except that when the line in any tier of lots is parallel, it shall be sufficient to mark only the outer lots. When any angle is between a curve and its tangent, the angle shown shall be that between the tangent and the main chord of the curve. When between curves of different radii, the angle between the main chords shall be shown.
- (9) **Circular Curves.** When a street is on a circular curve, the main chord of the centerline shall be drawn as a dotted line in its proper place; and, either on it, or preferably in adjoining table, shall be noted its bearing and length, the radius of the circle of which the curve is a part, and the central angle extended. The lot lines on the street sides may be shown in the same manner, or by bearings and distances. When a circular curve of thirty-foot radius or less is used to round off the intersection between two (2) straight lines, it shall be tangent to both straight lines; it shall be sufficient to show on the plat the radius of the curve and the tangent distances from the points of curvature to a point of intersection of the straight lines.
- (10) **Street Names.** The name of each road or street in the plat shall be printed thereon, which name shall not duplicate the name of any other street, unless it is an extension thereof.
- (11) **Abutment.** Abutting state highway lines and streets of adjoining plats shown in their proper location by dotted lines. The width, names, and recording document numbers of these streets and highways and plats shall also be given.
- (12) **Dedicated Lands.** All lands dedicated to public or private use, including roads, streets, and existing easements, shall be clearly marked and recording document numbers shown on the plat.
- (13) **Watercourses and Drainage.** All watercourses, drainage ditches, and other existing features pertinent to subdivision.
- (14) **Access to Lakes or Streams.** Where provisions are made for access from any subdivision to any lake or stream, the plat shall show the area over which the access is provided to the lake or stream, together with a small-scale drawing, clearly indicating the location of the subdivision in relation to the lake or stream, and the location of the area over which access is provided.
- (15) **Survey Monuments.** The description and location of all survey monuments placed in the subdivision shall be shown upon final plat. Permanent monuments shall be of concrete, reinforced with one (1) number four

vertical rod, and not less than five (5) inches in diameter by twenty-four (24) inches long or four (4) inches square by twenty-four (24) inches in length, set flush with the adjacent ground. Each permanent monument shall have a suitable mark in the center of the top. Concrete monuments shall be erected at a minimum of two (2) exterior boundary corners. Metal monuments not less than one-half inch in diameter and twenty-four (24) inches in length shall be placed in the ground at all lot corners, intersections of streets, intersections of streets and alleys with plat boundary lines, and at all points on street, alley, and boundary lines where there is a change in direction or curvature. All monuments and stakes shall be set in the ground before the streets and alleys are accepted for public maintenance.

(16) **Survey.** A surveyor holding a current, valid registration in Illinois shall perform the survey, and if the error in the latitude and departure closure of the survey is greater than the ratio of 1/5,000, the plat may be rejected.

(17) **Certificates of Approval.** The current City approved certificates of approval to be shown on final plat, as applicable:

- (a) Surveyor.
- (b) Owner.
- (c) Notary.
- (d) City Administrator.
- (e) Township Highway Commissioner, if applicable.
- (f) County Supervisor of Highways, if applicable.
- (g) Illinois Department of Transportation, if applicable.
- (h) City Clerk.
- (i) City Planning and Zoning Commission, Chairman.
- (j) City Council Certificate.
- (k) County Clerk.
- (l) County Recorder.
- (m) City Engineer.

7. **Procedure.** The subdivision process will require the review of the following bodies unless otherwise determined by the Zoning Administrator:

- a. **Plan Council.** The Plan Council shall review the Final Plat and report to the Planning and Zoning Commission its findings and recommendations.
  - (1) A community meeting of area/neighborhood property owners explaining the proposed Subdivision conducted by the petitioner at their own expense and at a location of their choosing may be required as a recommendation from the Plan Council prior to the Planning and Zoning Commission meeting.
- b. **Economic Development Committee.** The Economic Development Committee shall review the Final Plan and report to the Planning and Zoning Commission its findings and recommendations.
- c. **Planning and Zoning Commission.** After reviewing the Final Plat, the Planning and Zoning Commission shall recommend either approval or denial of the Final Plan to City Council in writing and its reasons for such recommendation.

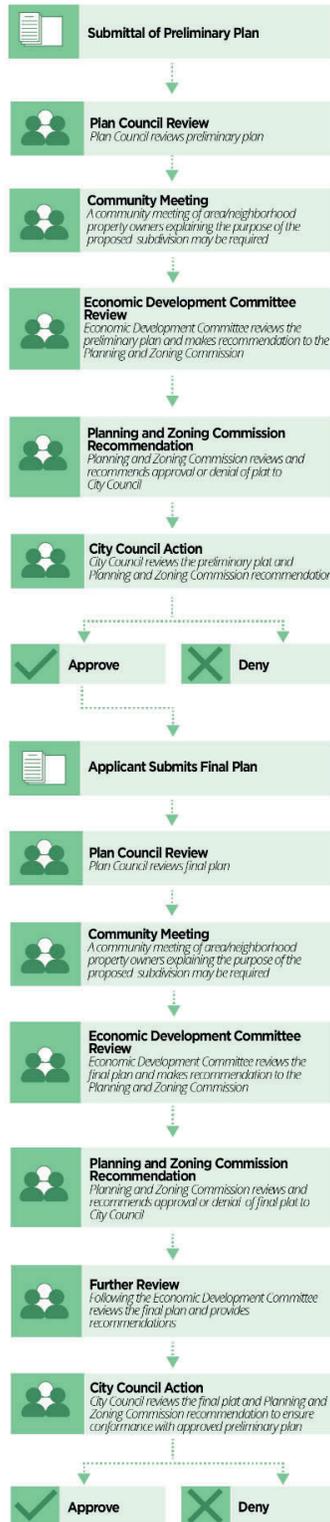
- d. **City Council.** The Final Plat shall be reviewed by the City Council to ensure that the application meets all the applicable review criteria. Based on the review, the City Council shall approve or deny the Final Plat. Any final plat shall be approved by the City Council by ordinance.
- e. **Recording of Final Plat.** The Final Plat shall be recorded by ordinance with the County Recorder of Deeds, within ninety (90) days from the date of final approval, or final approval shall be considered null and void. This requirement shall not apply when delay in recording a plat is due to circumstances beyond the control of the City or developer. All necessary fees owed to the City shall be satisfied in relation to the project and any required security posted prior to the recordation of the final plat is also required.

#### D. Amendments to Approved Subdivisions.

1. **Determination of Level of Change.** Upon receiving a Subdivision Amendment application, the Zoning Administrator shall determine whether the amendment is a major amendment, or a minor amendment based on the criteria in Section 10-8-6(D)(2) below.
2. **Major Amendment.** A major amendment is any proposed change to an approved Subdivision that results in one or more of the following changes:
  - a. Increase in density,
  - b. Increase in the number of dwelling units
  - c. Reduce open space by more than five (5) percent,
  - d. Modify the proportion of the housing types proposed,
  - e. Change parking areas in a manner that is inconsistent with those in the approved subdivision,
  - f. Alter alignment of roads, utilities, or drainage, or
  - g. Result in any other change inconsistent with any standard or condition imposed by the City Council in approving the Subdivision as determined by the Zoning Administrator.
3. **Minor Amendment.** A minor amendment is any proposed change to an approved Subdivision that is consistent with the standards and conditions upon which the Subdivision was approved, which does not alter the concept or intent of the Subdivision and is not considered a major amendment as detailed in Section 10-8-6(D)(2).
4. **Approval Process.**
  - a. **Major Amendments.** A major amendment to an approved Subdivision shall follow the procedure set in Section 10-8-6(C)(7).
  - b. **Minor Amendments.** A minor amendment to an approved Subdivision shall be reviewed as follows.
    - (1) **Zoning Administrator Review.** The minor amendment shall be reviewed by the Zoning Administrator for compliance with the Comprehensive Plan and the applicable standards of this UDO. The Zoning Administrator shall then make a recommendation to City Council to approve or deny the application.
    - (2) **City Council Review.** The minor amendment shall be reviewed by the City Council to ensure that the application meets all the applicable review criteria. Based on the review, the City Council shall approve or deny the minor amendment. Any minor amendment shall be approved by the City Council by ordinance.
    - (3) **Recordation.** An approved minor amendment shall be recorded by ordinance with the County Recorder of Deeds, within ninety (90) days from the date of final approval, or final approval shall be considered null and void. This requirement shall not apply when delay in recording a plat is due to circumstances beyond the

control of the City or developer. All necessary fees owed to the City shall be satisfied in relation to the project and any required security posted prior to the recordation of the final plat is also required.

Figure 8.2. Subdivision Procedure



## 10-8-7. Required Improvements.

1. **Improvement Requirements Prior to Filing Final Plat.** Upon approval of both the Final Plan and the plans and specifications for the required subdivision improvements by the Planning and Zoning Commission, Director of Public Works, and the City Engineer, and upon approval of the appropriate agencies as evidenced by state and county permits, where required, the applicant may construct and install the required subdivision improvements prior to filing the final plat with the Planning and Zoning Commission for final approval or post a construction guarantee for the public improvements. If construction does not begin within four (4) years of Final Plat approval, the subdivider may be required to revise the plat to comply with new City requirements.
2. **Subdivision Securities.**
  - a. **Construction Guarantee.** In lieu of construction in Section 10-8-7(E) of this chapter, the subdivider shall post with the City prior to recordation of the Final Plat, a construction guarantee in the form of an irrevocable letter of credit or irrevocable performance bond, payable to the United City of Yorkville, sufficient to cover the full cost, plus twenty (20) percent, of the required improvements, as estimated by the engineer employed by the subdivider and approved by the City Engineer, to ensure the satisfactory installation of required improvements as outlined in this chapter, and contained in the approved plans and specifications prior to the recording of the final plat. A surety or bank recognized by the State of Illinois, and carrying a rating sufficient to cover the cost of construction, and approved by the City Attorney, shall issue the bond or letter of credit posted. The subdivider shall use the standard bond form or letter of credit form used by the City. Construction guarantee shall not be reduced to below twenty (20) percent of the approved engineer's estimate prior to acceptance of the public improvements by the City. The construction guarantee shall not expire for at least one (1) year. Subsequent renewals of the construction guarantee shall also be for a period of at least one (1) year.
  - b. **Projects Nearing Two (2) Years.** Projects nearing (2) two years into construction will receive a status inquiry letter from the City Engineer and require an updated public improvement completion (PIC) schedule.
  - c. **Projects Nearing Three (3) Years.** Projects nearing (3) three years into construction will receive a status inquiry letter from the City Engineer with a punchlist of uncompleted improvements and will require an updated PIC schedule.
  - d. **Projects Nearing Four (4) Years.** Projects nearing four (4) years into construction will receive a status inquiry letter from the City Engineer with a punchlist of uncompleted improvements, require an updated PIC schedule and formal notification that the project will be in default if an extension is not requested and approved prior to the four-year construction deadline.
  - e. **Projects Over Four (4) Years.** Projects over four (4) years into construction will receive notification of default from the City Engineer, at the City Council direction, indicating that the letter of credit or performance bond is subject to a demand for call within sixty (60) days of the date of the notice should the developer not seek an extension for completion.
  - f. **Reduction of Subdivision Securities.** Final acceptance, approval of land improvements and corresponding reduction or release of letters of credit and/or performance bonds shall be as follows:
    - (1) The City Engineer shall issue a written recommendation including the basis for approving, denying, or modifying a request for reduction. The recommendation shall include the amount of the reduction based upon the engineer's estimate of probable cost as adjusted by an inflation factor from the initial date of issuance of the letter of credit or performance bond to the date of reduction. In order to calculate the inflation factor, the "Engineering News Record" construction cost index shall be used. The City Engineer shall also determine the remaining amount of the letter of credit and/or performance bond after the reduction.
    - (2) The City Engineer's written recommendation shall be forwarded to the City Administrator for approval.

- (3) Following the City Administrator's concurrence with the City Engineer's recommendation, the reduction shall be deemed approved or denied and the City Engineer is authorized to issue a letter to implement the decision.
- (4) In the event the City Administrator does not concur with the City Engineer's recommendation, the Mayor shall have the final authority to approve or deny the City Engineer's recommendation.
- (5) A developer may appeal the decision of the City Administrator to the Mayor, who shall review and make a final determination to affirm or reverse the City Administrator's initial decision.
- (6) The City Administrator or designee shall issue reports quarterly or more frequently as deemed appropriate, to the Mayor and City Council that summarize letter of credit and/or performance bond reduction requests that have been received and actions taken pursuant to those requests.

**3. Construction Warranty.**

- a. The subdivision irrevocable performance bond or letter of credit shall be released after an appropriate City Council action accepting the improvements for public ownership. Except as provided in subsection (b) of this section, this subdivision letter of credit or performance bond will not be released until a one-year maintenance bond or letter of credit is posted with the City Clerk for ten (10) percent of the land improvement cost, to ensure that all improvements will properly function as designed, with no defects before the City Council formal acceptance.
- b. A maintenance guarantee shall be required for all landscaping but shall not be required for improvements that are on private property that do not serve, benefit, or impact properties other than the one (1) being developed.
- c. It is a violation of this Code to fail to complete an infrastructure component that results in harm to the public improvement system or in the potential failure of the system.

**4. Filing.** Not more than ten (10) months after Final Plan approval, four (4) copies of the proposed Final Plans and specifications, engineer's estimates prepared and sealed by a professional engineer currently registered with the State of Illinois, and subdivision bond or letter of credit, shall be filed with the City Engineer, and shall provide all necessary information for the following, as applicable:

- a. Streets,
- b. Curbs and gutter,
- c. Storm drainage, including storm sewers and stormwater detention, building storm drains (footings, roof, etc.),
- d. Comprehensive drainage plan, including grades of surface drainageways,
- e. Sanitary sewerage system,
- f. Water supply and distribution,
- g. Public utility locations,
- h. Streetlights,
- i. Sidewalks,
- j. Street signs, guardrails, and other special requirements,
- k. Parkway trees, and
- l. Payment in full of all City fees.

**5. Construction and Inspection.**

- a. Written notice to proceed shall be obtained from the City Engineer prior to beginning any work covered by the approved plans and specifications for the above improvements. Authorization to begin work will be given upon receipt of all necessary permits, including all culvert permits required when proposed new or changed subdivision roads intersect any presently existing road, and work must proceed in accordance with construction methods of this section and the City's standard specifications for improvements.
  - b. The subdivider shall pay all expenses incurred by the United City of Yorkville to provide field inspections and testing of all construction work and materials before, during, and after construction.
  - c. On-street parking during build out of the development shall be limited to one (1) side only of all streets. In general, parking will not be allowed on the side of the street where fire hydrants are located. The developer shall post signage, as required by the Yorkville Police Department.
  - d. Dumpsters, work trailers, and construction materials shall not be stored or located in roadways or public rights-of-way at any time, without exception.
  - e. The subdivider is required to submit an acknowledgment of public improvement completion (PIC) schedule in a form approved by the City Attorney and City Engineer. The PIC schedule shall include the following information:
    - (1) The schedule when public improvements are to be completed.
    - (2) The schedule shall state that the City will place as a condition in the Final Plat of subdivision approval ordinance or PUD ordinance that the development must have all streets, sewers, water mains, streetlights, and other public improvements installed in a workmanship-like manner within four (4) years of initial construction.
    - (3) The schedule will require the subdivider/developer to provide proof by a title search that all accepted infrastructure is free and clear of all liens and encumbrances.
    - (4) The schedule shall state that the subdivider/developer will maintain the public improvements until they are approved and accepted by the City.
6. **As-Built Plans.** After completion of all public improvements, and prior to final acceptance of said improvements, the subdivider shall make, or cause to be made, a map showing the actual location of all valves, manholes, stubs, sewer and water mains, and such other facilities as the Director of Public Works shall require. This map shall bear the signature and seal of an Illinois registered professional engineer. The presentation of this map shall be a condition of final acceptance of the improvements, and release of the subdivision bond or letter of credit assuring their completion. The coordinate system for as built drawings shall be NAD27 Illinois State planes, east zone, U.S. foot (IL-E). The "as built" plans shall be submitted on reproducible Mylar, and digitally in a format acceptable to the City.
7. **Acceptance of Dedication, Improvements.**
- a. Final acceptance of the dedication of open space or other public areas shall mean the responsibility for the maintenance of the same. Approval of the Final Plat does not constitute final acceptance.
  - b. Recordation of the Final Plat shall be dependent on presentation of proof of responsibility for the maintenance of all community improvements.
  - c. All public improvements shall be accepted only by resolution of the City Council, after a formal petition for approval has been submitted by the subdivider to the City Clerk. Such petition shall be filed after completion of the public improvements. The City Engineer and the Director of Public Works shall, make recommendations in report form to the City Council. All petitions shall be acted upon by the City Council within thirty (30) days from receipt of such recommendations of the City Engineer and Director of Public Works. A maintenance bond will then be required in the amount of ten (10) percent of the cost of the land improvements, as specified in this title, after City Council acceptance.

## 10-8-8. Planned Unit Development

- A. **Purpose and Intent.** The purpose of the regulations, standards, and criteria contained in this Section is to provide an alternate procedure under which land can be developed or redeveloped with innovation, imagination, and creative architectural design when sufficiently justified under the provisions of this Section. The objective of the Planned Unit Development process is to accommodate a higher level of design and amenity than is possible to achieve under otherwise applicable UDO regulations. The end result can be a product which fulfills the objectives of City plans and policies, including but not limited to the Comprehensive Plan, while departing from the strict application of the regulations of this UDO. The Planned Unit Development is intended to permit and encourage such flexibility and to accomplish the following purposes:
1. To promote long term planning pursuant to the City of Yorkville Comprehensive Plan and other relevant plans and City policies.
  2. To stimulate creative approaches to the commercial, residential, and mixed-use development of land.
  3. To provide more efficient use of land.
  4. To preserve natural features and provide open space areas and recreation areas in excess of that required under this UDO.
  5. To develop new approaches to the living environment through variety in type, design and layout of buildings, transportation systems, and public facilities.
  6. To unify buildings and sites through design.
- B. **General Provisions.**
1. Any development encompassing four (4) or more acres in area shall be approved as a Planned Unit Development in accordance with this UDO.
  2. Each Planned Unit Development shall be presented and judged on its own merits. It shall not be sufficient to base justification for approval of a Planned Unit Development solely upon an already existing Planned Unit Development except to the extent such Planned Unit Development has been approved as part of a development master plan.
  3. The burden of providing evidence and persuasion that any Planned Unit Development is necessary and desirable shall rest with the applicant.
- C. **Planned Unit Development Relation to Base District Standards.**
1. A Planned Unit Development, if approved, shall be a Special Use.
  2. A Planned Unit Development, if approved, may allow for modifications to the standards of the base district. All such modifications shall be referred to as site development allowances.
  3. Notwithstanding any limitations on Variations which can be approved as contained elsewhere in this UDO, site development allowances may be approved provided the applicant specifically identifies each site development allowance in the Planned Unit Development application and demonstrates how each site development allowance would be compatible with surrounding development; is necessary for proper development of the site; and is aligned with a minimum of one (1) of the modification standards detailed in Section 10-8-8(D).
  4. All approved site development allowances shall be delineated in the ordinance approving the Planned Unit Development as a Special Use as it applies to the subject property.

- D. **Modification Standards.** An applicant seeking a site development allowance shall be required to justify their request through the provision of tangible benefits to the City of Yorkville by meeting a minimum of one (1) of the modification standards detailed below.
1. **Landscape Conservation and Visual Enhancement.** The Planned Unit Development preserves and enhances existing landscape, trees, and natural features such as rivers, streams, ponds, groves, and landforms.
  2. **Sustainable Design.** The Planned Unit Development is designed with consideration given to various methods of site design and building location, architectural design of individual buildings, employment of an alternative energy system or solution, and landscaping design capable of reducing energy consumption and improving onsite stormwater management.
  3. **Public Gathering Space.** The Planned Unit Development includes public gathering space, the amount of which is proportional to the size of buildings or number of dwelling units. The public gathering space is activated through the use of moveable tables and chairs, a fountain or other water feature, a sculpture or other public art feature, benches, seat walls, raised landscape planters, pedestrian scale, and celebratory lighting such as string lights, and/or other features. The public gathering space is integrated into the overall design of the Planned Unit Development and has a direct functional or visual relationship to the main building(s) and is not of an isolated or leftover character.
  4. **Placemaking.** The Planned Unit Development has a distinctive identity and brand that is utilized in the signs, streetscape, architecture, public gathering spaces, open spaces, etc.
  5. **Universal Design.** the Planned Unit Development includes buildings designed with accessible features such as level access from the street and/or zero entry thresholds.
  6. **High Quality Building Materials.** The Planned Unit Development utilizes time and weather tested building materials that are of a higher quality than what is otherwise required by this UDO.
  7. **Age-Targeted Development.** The Planned Unit Development includes residential dwelling units, amenities, and design characteristics intended to accommodate the lifestyles and needs of senior citizens.
  8. **Affordability.** The Planned Unit Development includes residential dwellings that are deed restricted for households that make less than or equal to eighty (80) percent of the Kendall County median income.
  9. **Provision of a Public School.** The Planned Unit Development includes a facility that directly supports the functioning or operation of the Yorkville Community Unit School District or another public school district.
  10. **Provision of a Regional Park.** The Planned Unit Development includes a park of sufficient size and with high quality amenities adequate to draw visitors and provide recreational opportunities for residents throughout the region in addition to serving residents of Yorkville. The regional park is integrated into the design of the Planned Unit Development and has a direct relationship to the other main buildings and uses on-site.
  11. **Funding or Construction of Public Roadways.** The Planned Unit Development includes the construction of roadways adjacent to the subject site as planned in the City of Yorkville Comprehensive Plan, Kendall County Long-Range Transportation Plan, or another transportation plan adopted by a local, County, or regional entity.
  12. **Regional Utility Improvements.** The Planned Unit Development involves the construction of a utility improvement identified in the City or Yorkville Comprehensive Plan or other policy document adopted by a local, County, or regional entity.

- E. **Standards of Review.** The following standards for review shall be utilized in the review of a Planned Unit Development application as a whole, including any requested site development allowances and the modification standards proposed to justify those requests. The standards of review in this Section shall be considered in addition to the standards for Special Use Permits as specified in Section 10-8-5. No application for a Planned Unit Development shall be approved unless the City Council finds that the application meets all of the following standards:
1. **Plan and Policy Alignment.** The Planned Unit Development is consistent with the goals, objectives, and policies set forth in the Comprehensive Plan and other adopted plans and policy documents of the City.
  2. **Integrated Design with Identifiable Centers and Edges.** The Planned Unit Development shall be laid out and developed as a unit in accordance with an integrated overall design, in which the various land uses function as a cohesive whole and support one another. The design shall provide identifiable centers, which form focus areas of activity in the development, and edges, which define the outer borders of the development, through the harmonious grouping of buildings, uses, facilities, public gathering spaces, and open space.
  3. **Public Welfare.** The Planned Unit Development is designed, located, and proposed to be operated and maintained so that it will not impair an adequate supply of light and air to adjacent property and will not substantially increase the danger of fire or otherwise endanger the public health, safety, and welfare.
  4. **Compatibility with Adjacent Land Uses.** The Planned Unit Development includes uses which are generally compatible and consistent with the uses of adjacent parcels. If the uses are not generally compatible, all adverse impacts have been mitigated through screening, landscaping, public open space, and other buffering features that protect uses within the development and surrounding properties.
  5. **Impact on Public Facilities and Resources.** The Planned Unit Development is designed so that adequate utilities, road access, stormwater management, and other necessary facilities will be provided to serve it. The Planned Unit Development shall include such impact fees as may be reasonably determined by the City Council. These required impact fees shall be calculated in reasonable proportion to the impact of the Planned Unit Development on public facilities and infrastructure.
  6. **Archaeological, Historical or Cultural Impact.** The Planned Unit Development does not substantially adversely impact an archaeological, historical, or cultural resource, included on the local, state, or federal register, located on or off the parcel(s) proposed for development.
- F. **Procedure.**
1. **Plan Council Review.** Plan Council shall review and discuss the Planned Unit Development and make a recommendation to approve, approve with modifications, or deny the Planned Unit Development based on the applicable review criteria to the Planning and Zoning Commission.
    - a. A community meeting of area/neighborhood property owners explaining the proposed Special Use for Planned Unit Development conducted by the petitioner at their own expense and at a location of their choosing may be required as a recommendation from the Plan Council prior to the Planning and Zoning Commission public hearing date.
  2. **Economic Development Committee.** The Economic Development Committee shall review the Planned Unit Development and report to the Planning and Zoning Commission its findings and recommendations.
  3. **Public Hearing, Review, and Recommendation by the Planning and Zoning Commission.** The Planning and Zoning Commission shall hold a public hearing on the proposed Special Use for Planned Unit Development, and, at the close of the public hearing and after consideration of the staff report and public comment, make a recommendation to the City Council to approve, approve with modifications, or deny the Planned Unit Development based on the applicable review standards. The Zoning Administrator, on behalf of the Planning and Zoning Commission, shall transmit a report containing its recommendation to approve, approve with modifications, or deny the application to the City Council.

4. **City Council Action.** The City Council shall hear the proposed Planned Unit Development, and, at the close of the meeting and after consideration of the Planning and Zoning Commission recommendation, Zoning Administrator Report, and public comment either:
  - a. Approve the application,
  - b. Approve the application with modifications,
  - c. Deny the application,
  - d. Refer the application back to the Planning and Zoning Commission for further review, or
  - e. Postpone further consideration pending the submittal of additional information, including any application requirement previously waived.

**G. Amendments to Approved Planned Unit Development.**

1. **Determination of Level of Change.** Upon receiving a Planned Unit Development Amendment application, the Zoning Administrator shall determine whether the amendment is a major amendment, or a minor amendment based on the criteria detailed in Section 10-8-8(G)(2) below.
2. **Major Amendment.** A major amendment is any proposed change to an approved Planned Unit Development that results in one or more of the following changes:
  - a. Increase density,
  - b. Increase the height of buildings,
  - c. Reduce open space by more than five (5) percent,
  - d. Modify the proportion of housing types,
  - e. Change parking areas in a manner that is inconsistent with this UDO,
  - f. Increase the approved gross floor area by more than five hundred (500) square feet,
  - g. Alter alignment of roads, utilities, or drainage, or
  - h. Result in any other change inconsistent with any standard or condition imposed by the City Council in approving the Planned Unit Development and/or the approved Site Plan, as determined by the Zoning Administrator.
3. **Minor Amendment.** A minor amendment is any proposed change to an approved Planned Unit Development that is consistent with the standards and conditions upon which the Planned Unit Development was approved, which does not alter the concept or intent of the Planned Unit Development and is not considered a major amendment as detailed in Section 10-8-8(G)(2).
4. **Approval Processes.**
  - a. **Major Amendment.** A major amendment to an approved Planned Unit Development shall follow the procedure set in Section 10-8-8(F).
  - b. **Minor Amendment.**
    - (1) **Zoning Administrator Review.** The minor amendment shall be reviewed by the Zoning Administrator for compliance with the Comprehensive Plan and the applicable standards of this UDO. The Zoning Administrator shall then make a recommendation to City Council to approve or deny the application.

(2) **City Council Review.** The minor amendment shall be reviewed by the City Council to ensure that the application meets the applicable review criteria. Based on the review, the City Council shall approve or deny the application. Any amendment shall not be approved except by the favorable vote of two-thirds ( $\frac{2}{3}$ ) of all the members of the City Council. Any minor amendment shall be approved by the City Council by ordinance.

(3) **Recordation.** The minor amendment shall be recorded with the City Clerk.

H. **Expiration and Lapse of Approval.** For any Planned Unit Development in which there has been no Building Permit issued nor any portion of the property platted after three (3) years since approval by the City Council, the Planned Unit Development shall be considered null and void and shall be brought back before the Planning and Zoning Commission and the City Council for consideration prior to any development on the property. The underlining zoning of the Planned Unit Development shall not expire, only the Planned Unit Development overlay shall expire.

Figure 8.3. Planned Unit Development Procedure



## 10-8-9. Variations

- A. **Authority.** The Planning and Zoning Commission, after a public hearing, may recommend a Variation to the regulations of the UDO in harmony with their general purpose and intent, only in the specific instances hereinafter set forth, where the Planning and Zoning Commission holds a public hearing and makes findings of fact in accordance with the standards of this section, and further finds that there are practical difficulties or particular hardships in the way of carrying out the strict letter of the regulations of this UDO.
- B. **Authorized Variations.** Variations from the regulations of this title shall be granted by the Planning and Zoning Commission only in accordance with the standards established in subsection (C) of this section and may be granted only in the following instances:
1. To permit any yard or setback less than the yard or setback required by the zoning district, but by no more than twenty-five (25) percent.
  2. To permit the use of a lot or lots for a use otherwise prohibited solely because of insufficient size or widths of the lot or lots. In no event shall the respective size and width of the lot or lots be less than ninety (90) percent of the required area and width. The percentage set forth in this subsection is not to be reduced by any other percentage for minimum lot width and area set forth in this title.
  3. To reduce the applicable off-street parking facilities required by not more than one (1) parking space or loading space, or twenty (20) percent of the applicable regulations, whichever number is greater.
  4. To increase by not more than twenty-five (25) percent the maximum distance that required parking spaces are permitted to be located from the use served as specified in Section 10-5-1(G).
  5. To allow for the deferment, or land banking, of required parking facilities for a reasonable period.
  6. To increase by not more than ten (10) percent the maximum gross floor area of any use so limited by the applicable regulations as specified in Chapter 4.
  7. To exceed any of the authorized Variations allowed under this subsection when a lot of record or a zoning lot, vacant or legally used on the effective date hereof, is, by reason of the exercise of the right of eminent domain by any authorized governmental domain proceeding, reduced in size so that the remainder of said lot of record or zoning lot or structure on said lot does not conform with one (1) or more of the regulations of the district in which said lot of record or zoning lot or structure is located.
- C. **Standards for Variations.**
1. The Planning and Zoning Commission shall not grant a Variation from the regulations of this UDO unless it shall make findings based upon the evidence presented that the standards for hardships set forth in the Illinois Municipal Code are complied with in addition to the following:
    - a. A particular hardship to the owner would result because of the physical surroundings, shape, or topographical conditions of the subject property, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.
    - b. The conditions upon which the petition for a Variation is based are unique to the subject property and are not applicable, generally, to other properties within the same zoning district.
    - c. The difficulty or hardship is not created by any person presently having an interest in the property.
    - d. The Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

- e. The proposed Variation will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger to the public, or substantially diminish or impair property values within the neighborhood.
- f. The proposed Variation is consistent with the official comprehensive plan and other development standards and policies of the City.

**2. Land Banked Parking Facilities Review Standards.**

- a. Sufficient evidence is provided by the applicant that supports the reduced parking needs.
- b. Approval of a land bank parking plan which illustrates the area proposed for land banking of parking spaces in an area suitable for parking at a future time.
- c. Landscaping of the land banked area must be in full compliance of the zoning regulations with this title and, at a minimum, landscaped with turf. As a result of the site plan review process, the Zoning Board of Appeals Planning and Zoning Commission may require additional landscaping of the land banked area.
- d. The land banked area cannot be used for any other use and must be part of the same zoning lot and all under the same ownership.
- e. As part of the variance process, the applicant must show the area to be banked on the overall site plan and marked as "Land Banked Future Parking".

**3. Conditions.** The Planning and Zoning Commission may impose such conditions and restrictions upon the premises benefited by a Variation as may be necessary to comply with the standards established in this subsection to reduce or minimize the effect of such Variation upon other property in the neighborhood and to better carry out the general intent of this title.

**4. Procedure.** The variation process will require the review of the following bodies unless otherwise determined by the Zoning Administrator:

- a. **Plan Council.** The Plan Council shall review the variation request and report to the Planning and Zoning Commission its findings and recommendations.
- b. **Economic Development Committee.** The Economic Development Committee shall review the variation request and report to the Planning and Zoning Commission its findings and recommendations.
- c. **Planning and Zoning Commission.** The Planning and Zoning Commission shall hold a public hearing on the application. The Planning and Zoning Commission shall report to the City Council its findings and recommendations, including the recommended stipulations of conditions and guarantees as part of the approval.
- d. **City Council.** The application shall be reviewed by the City Council to ensure that the application meets all the applicable review criteria. Based on the review, the City Council shall approve or deny the application.

**5. Expiration and Lapse of Approval.** Where a Variation has been granted pursuant to the provisions of this section, such approval shall become null and void unless construction thereon is substantially under way within twelve (12) months of the date of issuance, unless extended by the Zoning Administrator.

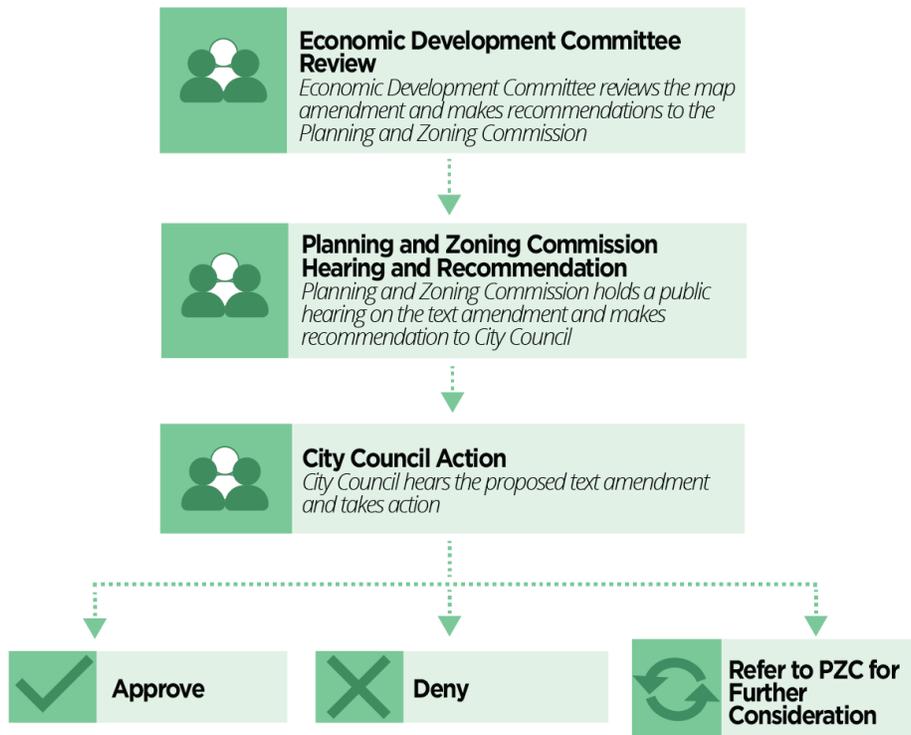
## 10-8-10. Appeals

- A. **Purpose.** An Appeal may be taken to the Planning and Zoning Commission for any order, requirement, decision, interpretation, or determination of the regulations of this title made by the Zoning Administrator by any individual aggrieved by the action taken under. The Planning and Zoning Commission shall hear the Appeal, hold a public meeting, and render a decision.
- B. **Initiation.** An Appeal may be taken within thirty (30) days of the action of the Zoning Administrator by filing a notice of Appeal specifying the grounds thereof, who shall forward such Appeal to the Planning and Zoning Commission.
- C. **Procedure.**
  - 1. **Planning and Zoning Commission.** The Planning and Zoning Commission shall review the Appeal at a regularly scheduled meeting. The Planning and Zoning Commission may reverse or affirm, wholly or partly, or may modify the order, requirement, decision, or determination relating to this title, made by the Zoning Administrator subject to the criteria in Section 10-8-10(D).
- D. **Appeal Review Criteria.** An Appeal of administrative decisions shall be granted only if the Planning and Zoning Commission makes one of the following findings.
  - 1. The decision constituted an erroneous application or interpretation of this UDO.
  - 2. The decision constituted an abuse of the administrative official's discretion to interpret or apply this UDO.
  - 3. The decision was rendered based upon an erroneous material fact.
- E. **Record of Action.** The Planning and Zoning Commission's decision shall be filed and recorded with the City Clerk.

### 10-8-11. Text Amendments

- A. **Initiation of Text Amendments.** Text Amendments to this UDO may be proposed by the Mayor and City Council, the Planning and Zoning Commission, City staff, majority beneficiary of land trust, contract purchaser, any property owner, or an authorized agent.
- B. **Text Amendment Review Criteria.**
  1. The proposed Text Amendment is consistent with the purpose of this UDO and the City's Comprehensive Plan.
  2. The Text Amendment will not adversely affect the public health, safety, or general welfare.
- C. **Procedure.** The text amendment process will require the review of the following bodies unless otherwise determined by the Zoning Administrator:
  1. **Economic Development Committee.** The Economic Development Committee shall review the text amendment request and report to the Planning and Zoning Commission its findings and recommendations.
  2. **Planning and Zoning Commission.** The Planning and Zoning Commission shall hold a public hearing on the application. The Planning and Zoning Commission shall report to the City Council its findings and recommendations, including the recommended modifications and guarantees as part of the approval.
  3. **City Council.** The City Council, upon receiving the recommendation of the Planning and Zoning Commission, may approve or deny a proposed Text Amendment in accordance with applicable Illinois Statutes or may refer to the Planning and Zoning Commission for further consideration.

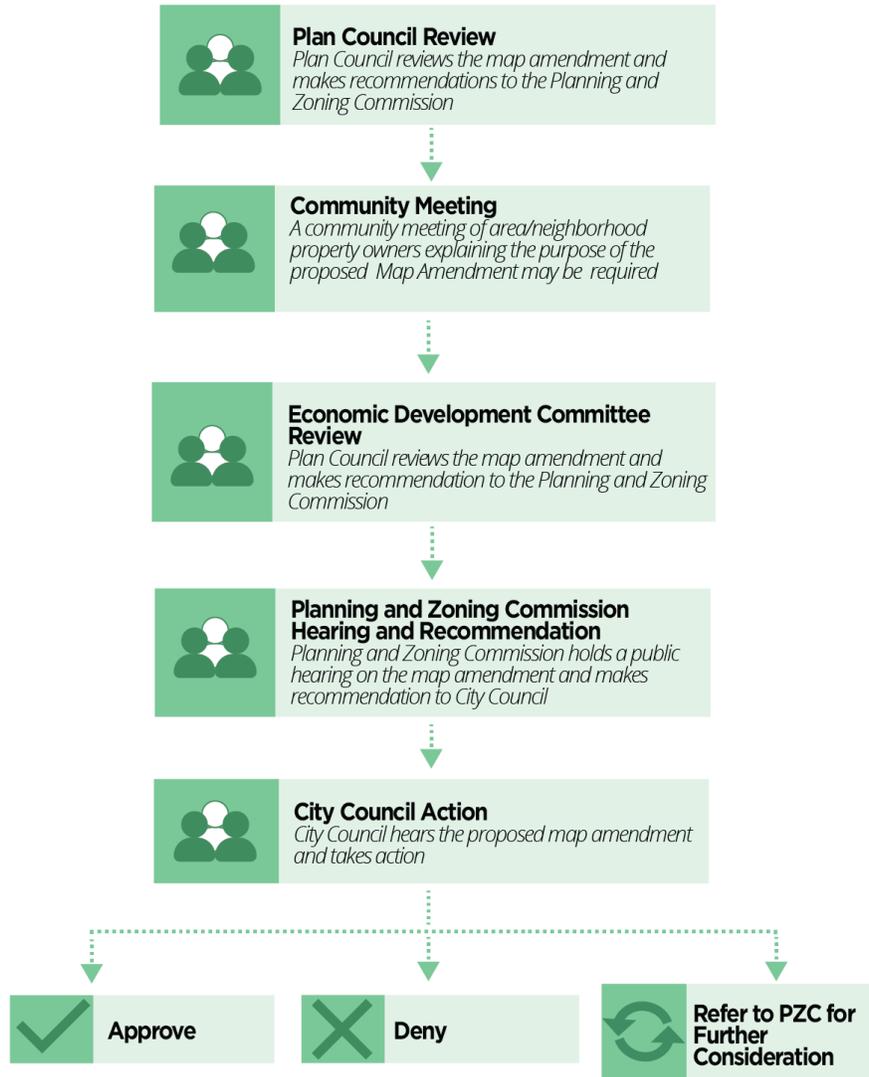
Figure 8.4. Text Amendment Procedure



## 10-8-12. Map Amendments

- A. **Initiation of Amendments.** Map Amendments may be proposed by the subject property owner, the Mayor and City Council, the Planning and Zoning Commission, Zoning Administrator, or another City official.
- B. **Map Amendment Review Standards.** The Planning and Zoning Commission shall approve Map Amendments only if the following standards are satisfied.
1. The proposed Map Amendment is consistent with the Comprehensive Plan and the purposes of this UDO.
  2. The proposed Map Amendment is consistent with the Comprehensive Plan and the purposes of this UDO.
  3. The proposed Map Amendment is consistent with the existing and planned uses and zoning of nearby properties.
  4. The subject property is suitable for the purposes of the proposed zoning district.
  5. The proposed Map Amendment will not result in an individual parcel zoned in one zoning district that is not shared by any adjacent parcels, and
  6. The proposed parcel(s) to be rezoned shall meet the minimum frontage and area requirements of the requested zoning district as specified in Section 10-3-9(A).
- C. **Procedure.** The map amendment process will require the review of the following bodies unless otherwise determined by the Zoning Administrator:
1. **Plan Council.** The Plan Council shall review the map amendment request and report to the Planning and Zoning Commission its findings and recommendations.
    - a. A community meeting of area/neighborhood property owners explaining the proposed Map Amendment conducted by the petitioner at their own expense and at a location of their choosing may be required as a recommendation from the Plan Council prior to the Planning and Zoning Commission public hearing date.
  2. **Economic Development Committee.** The Economic Development Committee shall review the map amendment request and report to the Planning and Zoning Commission its findings and recommendations.
  3. **Planning and Zoning Commission.** The Planning and Zoning Commission shall hold a public hearing on the application. The Planning and Zoning Commission shall report to the City Council its findings and recommendations.
  4. **City Council.** The City Council, upon receiving the recommendation of the Planning and Zoning Commission, may approve or deny a proposed Map Amendment in accordance with applicable Illinois Statutes or may refer to the Planning and Zoning Commission for further consideration.

Figure 8.5. Map Amendment Procedure



### 10-8-13. Annexations

- A. **Petition for Annexation.** All Annexations shall be initiated by the filing of a petition with the Zoning Administrator. Such petitions shall be verified under oath by all the record title owners, including mortgage holders, of all the lands included within the Annexation.
- B. **Procedure.** The annexation process will require the review of the following bodies unless otherwise determined by the Zoning Administrator:
  - 1. **Plan Council.** Plan Council shall review the application for annexation and report to the City Council its findings and recommendations as part of the approval.
    - a. A community meeting of area/neighborhood property owners explaining the proposed Annexation conducted by the petitioner at their own expense and at a location of their choosing may be required as a recommendation from the Plan Council prior to the Planning and Zoning Commission public hearing date.
  - 2. **Economic Development Committee.** The Economic Development Committee shall review the annexation request and report to the City Council its findings and recommendations.
  - 3. **City Council.** The City Council shall hold a public hearing on the proposed annexation. The City Clerk shall publish notice of the public hearing as required in Section 10-8-4(B). City Council shall approve or deny a proposed by a majority vote in accordance with applicable Illinois Statute.
- C. **Request for Zoning Map Amendments.** All petitions for Annexation agreement requesting a zoning classification other than the R-1, Single-Unit Suburban Residence Zoning District shall be processed in the same manner as a petition for a request for a Map Amendment as provided in Section 10-8-12 for lands within the jurisdictional limits of the City. All such requests for a Map Amendment or Variations shall be accompanied by the fees as provided in Section 10-7-9 of the Yorkville Code of Ordinances and the said fees shall be paid at the time of filing the petition for Annexation agreement.

Figure 8.6. Annexation Procedure



### 10-8-14. Economic Incentive/Development Agreement

- A. **Petition for Economic Incentive/Development Agreement.** Economic Incentive and Development Agreements are negotiated between the municipality and the developer and/or owner on a project-by-project basis. Such items considered as part of an economic incentive or development agreement are the amount of tax sharing, timing of payments, performance and compliance requirements and any other details. Applications will be evaluated on the merits of their impact to create or maintain jobs; further development; strengthen the commercial or industrial sector; enhance the tax base; and be in the overall best interest of the municipality.
- B. **Procedure.** The economic incentive/development agreement process will require review of the following bodies unless otherwise determined by the Zoning Administrator:
  1. **Plan Council.** The Plan Council shall review the economic incentive/development agreement request and report to the City Council its findings and recommendations.
  2. **Economic Development Committee.** The Economic Development Committee shall review the economic incentive/development agreement request and report to the City Council its findings and recommendations.
  3. **City Council.** The City Council, upon receiving the recommendation of the Economic Development Committee, may approve or deny a proposed economic incentive/development agreement in accordance with applicable Illinois Statutes or may refer to the Economic Development Committee for further consideration.

Figure 8.7. Economic Incentive/Development Agreement Procedure



# Chapter 9. Nonconforming Buildings, Structures, and Uses

10-8-1. Continuance of Uses and Structures..... 1  
10-8-2. Nonconforming Uses ..... 1  
10-8-3. Nonconforming Structures..... 2  
10-8-4. Elimination of Nonconforming Buildings, Structures, and Uses ..... 3  
10-8-5. Exempted Buildings, Structures, and Uses ..... 3

## 10-8-1. Continuance of Uses and Structures

- A. Any lawfully established use of a building or land on January 1, 2024, including any use which is rendered nonconforming by a subsequent amendment to this title, that does not conform to the use regulations for the district in which it is located shall be deemed to be a legal nonconforming use and may be continued subject to the provisions of this chapter.
- B. Any lawfully established building or structure on January 1, 2024, including any building or structure which is rendered nonconforming by a subsequent amendment to this title, that does not conform to the regulations for the district in which it is located shall be deemed to be a legal nonconforming building or structure and may be continued in use subject to the provisions of this chapter.

## 10-8-2. Nonconforming Uses

- A. **Relocation.** A nonconforming use shall not be relocated in whole or in part to any other location on the same property or to any other property unless the nonconforming use complies with all of the regulations of the zoning district into which it relocates.
- B. **Change in Use.** A nonconforming use of land shall not be changed to any other use except to a land use, specifically enumerated in the list of permitted uses for the zoning district in which the land is located. Whenever any part of a building, structure or land occupied by a nonconforming use is changed to or replaced by a conforming use, such premises shall not thereafter be used or occupied by a nonconforming use.
- C. **Expansion.** A nonconforming use shall not be extended, expanded, enlarged, or increased in any manner including, but not limited to, the following:
  - 1. A nonconforming use that does not involve a structure or which is accessory to the nonconforming use of a structure shall not be expanded or extended to any land area not occupied by such nonconforming use.
  - 2. A nonconforming use shall not be expanded within a structure to any portion of the floor area that was not occupied by such nonconforming use. A use permitted in the district in which it is located may expand in a nonconforming structure.
- D. **Abandonment.** A nonconforming use of any land or structure, including any accessory uses, shall not be reestablished subsequent to abandonment as follows:
  - 1. Whenever a nonconforming use of a building or structure, or part thereof, has been discontinued for a period of twelve (12) consecutive months, or whenever there is evident a clear intent on the part of the owner to abandon a

nonconforming use, such use shall not, after being discontinued or abandoned, be reestablished, and the use of the premises thereafter shall be in conformity with the regulations of the district.

2. Where there is a change in use, regardless of whether or not such change was made in compliance with all applicable codes and ordinances, the nonconforming use of any land or structure shall not be reestablished. Any subsequent use of such land or structure shall comply with the regulations of the zoning district in which it is located and with the provisions of the other titles of this UDO.
3. Where no building or structure is involved, discontinuance of a nonconforming use for a period of six (6) months shall constitute abandonment and shall not thereafter be used in a nonconforming manner.

### **10-8-3. Nonconforming Structures**

A. **Relocation.** A nonconforming structure shall not be relocated in whole or in part to any other location on the same property or to any other property unless the nonconforming structure complies with all of the provisions of this UDO.

B. **Maintenance, Repair, Alteration and Enlargement.**

1. A nonconforming structure which is designed or intended for a use that is not permitted in the zoning district in which it is located may be maintained or repaired, not including structural alterations, subject to compliance with all of the regulations of the zoning district in which it is located and with the provisions of the other titles of this Code, but such nonconforming structure shall not be altered or enlarged, unless such alteration or enlargement and the use thereof, conform to all of the regulations of the zoning district in which it is located, and does not extend or intensify the nonconforming use.
2. No structural alteration shall be made in a building or other structure containing a nonconforming use, except in the following situations:
  - a. When the alteration is required by law, or
  - b. When the alteration will actually result in elimination of the nonconforming use, or
  - c. When a building is in a residential district containing residential nonconforming uses, it may be altered in any way to improve livability, provided no structural alterations shall be made which would increase the number of dwelling units or the bulk of the building.
3. A nonconforming structure which is nonconforming only with respect to the bulk regulations for the zoning district in which it is located may be maintained, repaired, altered, or enlarged, provided that the maintenance, repair, alteration, or enlargement does not establish any additional nonconformity and complies with all of the regulations of the zoning district in which it is located and the provisions of the other titles of this UDO.

C. **Damage and Destruction.**

1. If a building or other structure containing a nonconforming use is damaged or destroyed by any means to the extent of fifty (50) percent or more of its fair market value prior to such damage, the building or other structure can be rebuilt or used thereafter only for conforming principal and accessory uses and in compliance with the provisions of the district in which it is located.
2. In the event the damage or destruction is less than fifty (50) percent of its market value, the building or structure may then be restored to its original condition and the occupancy or use of such building or structure may be continued which existed at the time of such partial destruction.
3. In either event, restoration, or repair of the building or other structure must be started within a period of six (6) months from the date of damage or destruction and completed within twenty-four (24) months.

4. The methodology for determining the extent of damage with regard to fair market value shall be as recommended by the Zoning Administrator and approved by the City Administrator.

**10-8-4. Elimination of Nonconforming Buildings, Structures, and Uses**

The period of time during which the following nonconforming uses, buildings, or structures may continue or remain nonconforming shall be limited from January 1, 2024, or when any use, building or structure is rendered nonconforming by a subsequent amendment to this title. Every such nonconforming use, building or structure shall be completely eliminated or removed from the premises at the expiration of the period of time specified below:

- A. Any nonconforming use of a building or structure having an assessed valuation not in excess of five hundred (500) dollars shall be removed after two (2) years.
- B. All nonconforming advertising devices, such as pennants, flags, movable signs, or portable outdoor displays in any business district shall be removed after two (2) years.
- C. Any nonconforming signs and any and all billboards and outdoor advertising structures shall be removed after five (5) years.
- D. Any nonconforming use of land where no enclosed building is involved, or where the only buildings employed are accessory or incidental to such use, or where such use is maintained in connection with a conforming building, shall be removed after a period of two (2) years.
- E. In all residence districts uses permitted only in the B-2 Mixed-Use Business and B-3 General Business Districts or the manufacturing districts, and which use is located in a building, all or substantially all of which is designed or intended for a residential accessory purpose, shall be entirely discontinued and shall thereafter cease operation in accordance with the following amortization schedule:

<b>Table 10-8-4(E): Amortization Periods</b>	
Description of Use	Amortization Period
Uses permitted in the B-2 and B-3 Districts	15 Years
Uses permitted only in the Manufacturing Districts	15 Years

- F. Requests for extensions to the elimination period may be sought before the City Council. In no case shall an extension be granted for a period longer than two (2) years.

**10-8-5. Exempted Buildings, Structures, and Uses**

Wherever a lawfully existing building or other structure otherwise conforms to the use regulations of the district in which it is located but is nonconforming only in the particular manner thereafter specified, the building and use thereof shall be exempt from the requirements of Section 10-8-4 and Section 10-8-3(B) of this chapter as follows:

- A. In any residence district where a dwelling is nonconforming only as to the number of dwelling units it contains, provided no such building shall be altered in any way so as to increase the number of dwelling units therein.
- B. Legally nonconforming duplex units zoned R-2, Single-Unit Traditional Residence District are exempt from subsection 10-15-3.C of this chapter; however if the total structure containing both units of the duplex building is damaged or destroyed by any means to the extent of seventy-five (75) percent or more of its fair market value prior to such damage, the building shall be rebuilt or used only for conforming principal and accessory uses in compliance with the R-2, Single-Unit Traditional Residence District.
- C. In any residence district where a use permitted in the B-1 Local Business District occupies ground floor space within a multiple-unit dwelling located on a corner lot.
- D. In any business or manufacturing district where the use is less distant from a residence district than that specified in the regulations for the district in which it is located.

- E. In any district where an established building, structure or use is nonconforming with respect to the standards prescribed herein for any of the following:
  - 1. Lot coverage;
  - 2. Lot size per dwelling unit;
  - 3. Yards front, side, rear or transitional;
  - 4. Off-street parking and loading;
  - 5. Lot size;
  - 6. Building height;
  - 7. Gross floor area.
  
- F. In any district, unless otherwise limited or restricted by an annexation agreement, agricultural uses that exist upon annexation of the property and become legal nonconforming shall continue to be legal nonconforming uses and shall not be subject to elimination by abandonment or amortization.



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #7

Tracking Number

EDC 2023-37

**Agenda Item Summary Memo**

**Title:** PZC 2023-14 – Kendall County Petition 23-28 (7557 & 7583 Clubhouse Drive)

**Meeting and Date:** Economic Development Committee – September 5, 2023

**Synopsis:** 1.5-Mile Review of a proposed plat of vacation.

**Council Action Previously Taken:**

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Majority

**Council Action Requested:** \_\_\_\_\_

**Submitted by:** Krysti J. Barksdale-Noble Community Development  
Name Department

**Agenda Item Notes:**

See attached memo.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# Memorandum

To: Economic Development Committee  
From: Krysti J. Barksdale-Noble, Community Development Director  
CC: Bart Olson, City Administrator  
Date: August 22, 2023  
Subject: **PZC 2023-28 – 7557 & 7583 Clubhouse Drive (Whitetail Ridge)**  
1.5 Mile Review (Plat of Vacation)

---

## **SUMMARY:**

Staff has reviewed a request from Kendall County Planning and Zoning Department along with the subsequent documents attached. This property is located within one and a half miles of the planning boundary for Yorkville, allowing the City the opportunity to review and provide comments to Kendall County. The petitioners, Troy M. Williams and Ashley L. Rusch, are requesting approval of a Plat of Vacation to vacate the public easements between two (2) parcels (Lots 100 and 101) within the Whitetail Ridge subdivision. The purpose of the request is to construct a single detached home that will straddle the common lot line between the parcels. The real property is located at 7557 and 7583 Clubhouse Drive which is generally located at the north of the East Schoolhouse Road (IL Route 126) between Grove Road and Hopkins Road in unincorporated Kendall County.

## **PROPERTY BACKGROUND:**

The property is located at 7557 and 7583 Clubhouse Drive in unincorporated Kendall County. The approximately 1.5-acre property, original platted as two (2) separate parcels each totaling ~33,000 sq. ft., was consolidated into a single parcel in 2022. Currently, the property is unimproved. While the parcel is not immediately adjacent to incorporated Yorkville, it is approximately 1.5 miles to the east of the Prestwick of Ashley Pointe subdivision.



## **REQUEST SUMMARY:**

The petitioners are proposing to vacate the existing combined ten (10) foot drainage and utility easements between Lots 100 and 101 within the Whitetail Ridge for the purpose of constructing a new single-family detached home in the center of the recently consolidated parcel. As proposed, the home would straddle across the drainage easement which is not permitted per Kendall County subdivision regulations. The petitioner has prepared a grading plan for the proposed development of the property with the new home and the drainage patterns from the Whitetail Ridge subdivision plan with runoff directed around the home from the front of the property to the rear. Further, no additional stormwater runoff from the other lots is directed to the common property line. The County's engineering consultant, WBK



Staff is seeking input from the Economic Development Committee as the one-and-a-half-mile review allows for the City to make comments and requests to the petitioner and County prior to their public meetings. This review will also be brought to the Planning and Zoning Commission at the November 9, 2022 meeting and the City Council at the September 13, 2023 meeting. This item was delivered to the City on August 17, 2023.

### **ATTACHMENTS**

1. Application with Attachments



---

---

**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

---

---

**Petition 23-28**

**Troy M. and Ashley L. Williams**

**Plat of Vacation of a Drainage and Utility Easement  
in Whitetail Ridge Subdivision**

**INTRODUCTION**

A ten foot (10') drainage and utility easement presently exists between Lots 100 and 101 in Whitetail Ridge Subdivision. Troy and Ashley Williams own the subject lots and would like to construct a home in the center of the combined lots.

The Petitioners previously combined the lots into one (1) parcel identification number.

**SITE INFORMATION**

PETITIONER Troy M. and Ashley L. Williams

ADDRESS 7557 and 7583 Clubhouse Drive, Yorkville (Lots 100 and 101 of Whitetail Ridge)

LOCATION Approximately 275 Feet Northwest of Legacy Circle on the West Side of Clubhouse Drive



TOWNSHIP Kendall Township

PARCEL # 05-12-276-011

LOT SIZE 1.5 +/- Acres

EXISTING LAND USE Residential/Vacant

ZONING RPD-2

LRMP	Current Land Use	One-Family Residential and Vacant
	Future Land Use	Rural Residential (Max 0.65 Du/Acre)
	Roads	Clubhouse Drive is a Township Road classified as a Local Road
	Trails	None
	Floodplain/Wetlands	None

**REQUESTED ACTION** Vacate a Ten Foot (10') Drainage and Utility Easement Between Lots 100 and 101

**APPLICABLE REGULATIONS** Section 7.06 (Subdivision Control Ordinance)

**SURROUNDING LAND USE**

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within 1/2 Mile
North	Single-Family Residential	RPD-2	Rural Residential (Max 0.65 DU/Acre)	N/A
South	Single-Family Residential and Golf Course	RPD-2 and RPD-2 SU	Rural Residential	N/A
East	Single-Family Residential and Common Area	RPD-2	Rural Residential	N/A
West	Single-Family Residential and Golf Course	RPD-2 and RPD-2 SU	Rural Residential	N/A

The RPD-2 special use is for a golf course.

**ACTION SUMMARY**

**KENDALL TOWNSHIP**

Kendall Township was emailed information on August 17, 2023.

**UNITED CITY OF YORKVILLE**

The United City of Yorkville was emailed information on August 17, 2023.

**BRISTOL-KENDALL FIRE PROTECTION DISTRICT**

The Bristol-Kendall Fire Protection District was emailed information on August 17, 2023.

**GENERAL**

The application materials are included as Attachment 1. The plat for this area of Whitetail Ridge is included as Attachment 2. The plat of vacation is included as Attachment 3. The topographic information is included as Attachment 4. The grading plan information is included as Attachment 5.

On August 9, 2023, Greg Chismark sent an email stating that he had no objections to the vacation from a ZPAC Memo – Prepared by Matt Asselmeier – August 17, 2023

drainage perspective. This email is included as Attachment 6.

On August 14, 2023, a representative from the Whitetail Ridge Homeowners' Association submitted an email stating the HOA was agreeable to the requested easement vacation. This email is included as Attachment 7.

The Petitioner contacted several of the utilities and no utilities would be impacted by vacating the easement. The Petitioner secured the signatures from the various utilities on the Mylar copies of the plat of vacation, which was not submitted as part of the application.

#### **RECOMMENDATION**

Staff recommends approval of the requested easement vacation provided that the Lots 100 and 101 remain under the same ownership.

#### **ATTACHMENTS**

1. Application Materials
2. Plat of Whitetail Ridge (The Subject Property Area Only)
3. Plat of Vacation
4. Topographic Information
5. Grading Information
6. August 9, 2023, Chismark Email
7. August 14, 2023, Whitetail Ridge Homeowners' Association Email



**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Yorkville, IL • 60560  
 (630) 553-4141 Fax (630) 553-4179

**APPLICATION**

PROJECT NAME \_\_\_\_\_ FILE #: \_\_\_\_\_

<b>NAME OF APPLICANT (Including First, Middle Initial, and Last Name)</b>		
Troy M. Williams		
<b>CURRENT LANDOWNER/NAME(s)</b>		
Troy & Ashley Williams		
<b>SITE INFORMATION</b>	<b>SITE ADDRESS OR LOCATION</b>	<b>ASSESSOR'S ID NUMBER (PIN)</b>
ACRES 1.50	7557 Clubhouse Drive, Yorkville, IL 60560	05-12-276-011
<b>EXISTING LAND USE</b>	<b>CURRENT ZONING</b>	<b>LAND CLASSIFICATION ON LRMP</b>
Vacant Lot	RPD-2	Rural Residential
<b>REQUESTED ACTION (Check All That Apply):</b>		
<input type="checkbox"/> SPECIAL USE	<input type="checkbox"/> MAP AMENDMENT (Rezone to _____)	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for: _____	<input type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT	<input type="checkbox"/> RPD ( <input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final)	<input type="checkbox"/> ADMINISTRATIVE APPEAL
<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT	<input checked="" type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.)
AMENDMENT TO A SPECIAL USE ( <input type="checkbox"/> Major; <input type="checkbox"/> Minor)		
<b>1 PRIMARY CONTACT</b>	<b>PRIMARY CONTACT MAILING ADDRESS</b>	<b>PRIMARY CONTACT EMAIL</b>
Troy Williams	[REDACTED]	[REDACTED]
<b>PRIMARY CONTACT PHONE #</b>	<b>PRIMARY CONTACT FAX #</b>	<b>PRIMARY CONTACT OTHER #(Cell, etc.)</b>
[REDACTED]	[REDACTED]	[REDACTED]
<b>2 ENGINEER CONTACT</b>	<b>ENGINEER MAILING ADDRESS</b>	<b>ENGINEER EMAIL</b>
David J. Zientek	[REDACTED]	[REDACTED]
<b>ENGINEER PHONE #</b>	<b>ENGINEER FAX #</b>	<b>ENGINEER OTHER #(Cell, etc.)</b>
[REDACTED]	[REDACTED]	[REDACTED]
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES. THE APPLICANT ATTESTS THAT THEY ARE FREE OF DEBT OR CURRENT ON ALL DEBTS OWED TO KENDALL COUNTY AS OF THE DATE OF THE APPLICATION.		
<b>SIGNATURE OF APPLICANT</b>		<b>DATE</b>
[REDACTED]		08/11/2023

FEE PAID:\$ 500.00  
 CHECK #: [REDACTED]

<sup>1</sup>Primary Contact will receive all correspondence from County

<sup>2</sup>Engineering Contact will receive all correspondence from the County's Engineering Consultants

**LEGAL DESCRIPTION OF EASEMENT RELEASE – LOT 100**

THAT PART OF LOT 100 IN WHITETAIL RIDGE SUBDIVISION, A SUBDIVISION OF PART OF SECTION 12, TOWNSHIP 36 NORTH, RANGE 7; PART OF SECTION 7, TOWNSHIP 36 NORTH, RANGE 8; AND PART OF THE FORMER WAISH-KEE-SHAW RESERVATION, IN KENDALL COUNTY AND NA-AU-SAY TOWNSHIPS, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 9, 2005 AS DOCUMENT NUMBER 2005 00015985, IN KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

THE SOUTHEAST FIVE FEET, EXCEPTING  
THEREFROM THE NORTHEAST FIFTEEN FEET AND  
THE SOUTHWEST TEN FEET THEREOF.

COMMON ADDRESS: 7557 CLUBHOUSE DRIVE, YORKVILLE, ILLINOIS  
PARCEL INDEX NUMBER: 05-12-276-006

**LEGAL DESCRIPTION OF EASEMENT RELEASE - LOT 101**

THAT PART OF LOT 101 IN WHITETAIL RIDGE SUBDIVISION, A SUBDIVISION OF PART OF SECTION 12, TOWNSHIP 36 NORTH, RANGE 7; PART OF SECTION 7, TOWNSHIP 36 NORTH, RANGE 8; AND PART OF THE FORMER WAISH-KEE-SHAW RESERVATION, IN KENDALL COUNTY AND NA-AU-SAY TOWNSHIPS, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 9, 2005 AS DOCUMENT NUMBER 2005 00015985, IN KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

THE NORTHWEST FIVE FEET, EXCEPTING  
THEREFROM THE NORTHEAST FIFTEEN FEET  
AND THE SOUTHWEST TEN FEET THEREOF.

COMMON ADDRESS: 7583 CLUBHOUSE DRIVE, YORKVILLE, ILLINOIS  
PARCEL INDEX NUMBER: 05-12-276-007



Cut on Dotted Line ✂

For future reference, IDFPR is now providing each person/business a unique identification number, 'Access ID', which may be used in lieu of a social security number, date of birth or FEIN number when contacting the IDFPR. Your Access ID is [REDACTED]

**202100013822**

DEBBIE GILLETTE  
RECORDER - KENDALL COUNTY, IL  
RECORDED: 6/1/2021 2:46 PM  
REC FEE: 57.00 RHSPS: 10.00  
STATE TAX: 150.00  
COUNTY TAX: 75.00  
PAGES: 2

**WARRANTY DEED**

Statutory (Illinois)

**THE GRANTOR,  
WHITETAIL DEVELOPMENT, LLC,  
an Illinois Limited Liability Company**

of the City of Yorkville  
in the County of Kendall  
and State of Illinois

for and in consideration of Ten and 00/100 Dollars in hand paid, **CONVEYS AND WARRANTS TO:**

Troy Williams and Ashley Rusch

Not as tenants in common but in Joint Tenancy,

whose address is:



all interest in the following described Real Estate situated in the County of Kendall In the State of Illinois, to wit:

LOTS 99, 100 AND 101 OF WHITETAIL RIDGE SUBDIVISION, A SUBDIVISION OF PART OF SECTION 12, TOWNSHIP 36 NORTH, RANGE 7 PART OF SECTION 7, TOWNSHIP 36 NORTH, RANGE 8 AND PART OF THE FORMER WAISH-KEE-SHAW RESERVATION, IN KENDALL AND NA-AU-SAY TOWNSHIPS, KENDALL COUNTY, ILLINOIS.

**SUBJECT TO:** Existing easements, covenants, and restrictions of record, and 2021 and subsequent years real estate taxes.

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

Permanent Real Estate Index Number:  
05-12-276-005  
05-12-276-006  
05-12-276-007

Address of Real Estate:  
7533 Clubhouse Drive, Yorkville, Illinois 60560  
7557 Clubhouse Drive, Yorkville, Illinois 60560  
7583 Clubhouse Drive, Yorkville, Illinois 60560

Return to:  
Wheatland Title Company  
105 W. Veterans Parkway, Yorkville, IL 60560

10/1 JWS  
5

# WARRANTY DEED

Statutory (Illinois)

**THE GRANTOR,  
WHITETAIL DEVELOPMENT, LLC,  
an Illinois Limited Liability Company**

of the City of Yorkville  
in the County of Kendall  
and State of Illinois

for and in consideration of Ten and 00/100 Dollars in hand paid, **CONVEYS AND WARRANTS TO:**

Troy Williams and Ashley Rusch

Not as tenants in common but in Joint Tenancy,

whose address is:



all interest in the following described Real Estate situated in the County of Kendall In the State of Illinois, to wit:

LOTS 99, 100 AND 101 OF WHITETAIL RIDGE SUBDIVISION, A SUBDIVISION OF PART OF SECTION 12, TOWNSHIP 36 NORTH, RANGE 7 PART OF SECTION 7, TOWNSHIP 36 NORTH, RANGE 8 AND PART OF THE FORMER WAISH-KEE-SHAW RESERVATION, IN KENDALL AND NA-AU-SAY TOWNSHIPS, KENDALL COUNTY, ILLINOIS.

**SUBJECT TO:** Existing easements, covenants, and restrictions of record, and 2021 and subsequent years real estate taxes.

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

Permanent Real Estate Index Number:

05-12-276-005

05-12-276-006

05-12-276-007

Address of Real Estate:

7533 Clubhouse Drive, Yorkville, Illinois 60560

7557 Clubhouse Drive, Yorkville, Illinois 60560

7583 Clubhouse Drive, Yorkville, Illinois 60560

**Return to:**

Wheatland Title Company  
105 W. Veterans Parkway, Yorkville, IL 60560

 lot 1 sub

Dated this 25th day of May, 20 21.

WHITE TAIL DEVELOPMENT, LLC

BY: [REDACTED]  
MATTHEW G. BLOCKER, Manager

Warranty Deed - Statutory

STATE OF ILLINOIS     )  
  ) SS.  
COUNTY OF KENDALL    )

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT Matthew G. Blocker personally known to me to be the same persons whose name is subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that he signed, sealed and delivered this instrument as his free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notarial seal this 25th day of May, 20 21.

[REDACTED]

Notary Public

SEND SUBSEQUENT TAX BILLS TO:  
Troy Williams and Ashley Rusch

[REDACTED]



THIS DOCUMENT PREPARED BY:  
Law Offices of Daniel J. Kramer

[REDACTED]

AFTER RECORDING RETURN TO:  
Attorney Patrick Clancy

[REDACTED]



Declaration ID: [REDACTED]

 Status: Closing Completed  
 Document No.: Not Recorded

State/County Stamp: Not Issued


**PTAX-203**  
**Illinois Real Estate**  
**Transfer Declaration**
**Step 1: Identify the property and sale information.**

1 7533, 7557 AND 7583 CLUBHOUSE DR

Street address of property (or 911 address, if available)

YORKVILLE 60560-0000

City or village ZIP

Kendall

Township

2 Enter the total number of parcels to be transferred. 3

3 Enter the primary parcel identifying number and lot size or acreage

05-12-276-005	.6	Acres	No
Primary PIN	Lot size or acreage	Unit	Split Parcel

4 Date of instrument: 5/25/2021  
Date
 5 Type of instrument (Mark with an "X."):  Warranty deed  
 Quit claim deed  Executor deed  Trustee deed  
 Beneficial interest  Other (specify):
6  Yes  No Will the property be the buyer's principal residence?7  Yes  No Was the property advertised for sale?  
(i.e., media, sign, newspaper, realtor)

8 Identify the property's current and intended primary use.

Current Intended

- a   Land/lot only
- b  Residence (single-family, condominium, townhome, or duplex)
- c  Mobile home residence
- d  Apartment building (6 units or less) No. of units: 0
- e  Apartment building (over 6 units) No. of units: 0
- f  Office
- g  Retail establishment
- h  Commercial building (specify):
- i  Industrial building
- j  Farm
- k  Other (specify):

9 Identify any significant physical changes in the property since January 1 of the previous year and enter the date of the change. Date of significant change: \_\_\_\_\_  
Date
 Demolition/damage  Additions  Major remodeling  
 New construction  Other (specify):

10 Identify only the items that apply to this sale.

- a  Fulfillment of installment contract  
year contract initiated: \_\_\_\_\_
- b  Sale between related individuals or corporate affiliates
- c  Transfer of less than 100 percent interest
- d  Court-ordered sale
- e  Sale in lieu of foreclosure
- f  Condemnation
- g  Short sale
- h  Bank REO (real estate owned)
- i  Auction sale
- j  Seller/buyer is a relocation company
- k  Seller/buyer is a financial institution or government agency
- l  Buyer is a real estate investment trust
- m  Buyer is a pension fund
- n  Buyer is an adjacent property owner
- o  Buyer is exercising an option to purchase
- p  Trade of property (simultaneous)
- q  Sale-leaseback
- r  Other (specify):
- s  Homestead exemptions on most recent tax bill:
- |                                     |      |
|-------------------------------------|------|
| 1 General/Alternative               | 0.00 |
| 2 Senior Citizens                   | 0.00 |
| 3 Senior Citizens Assessment Freeze | 0.00 |

**Step 2: Calculate the amount of transfer tax due.**

Note: Round Lines 11 through 18 to the next highest whole dollar. If the amount on Line 11 is over \$1 million and the property's current use on Line 8 above is marked "e," "f," "g," "h," "i," or "k," complete Form PTAX-203-A, Illinois Real Estate Transfer Declaration Supplemental Form A. If you are recording a beneficial interest transfer, do not complete this step. Complete Form PTAX-203-B, Illinois Real Estate Transfer Declaration Supplemental Form B.

11 Full actual consideration	11	150,000.00
12a Amount of personal property included in the purchase	12a	0.00



Declaration ID: 20210504727127

Status: Closing Completed  
 Document No.: Not Recorded

State/County Stamp: Not Issued

12b Was the value of a mobile home included on Line 12a?	12b	Yes	<input checked="" type="checkbox"/>	No
13 Subtract Line 12a from Line 11. This is the net consideration for real property	13	150,000.00		
14 Amount for other real property transferred to the seller (in a simultaneous exchange) as part of the full actual consideration on Line 11	14	0.00		
15 Outstanding mortgage amount to which the transferred real property remains subject	15	0.00		
16 If this transfer is exempt, identify the provision.	16	b	k	m
17 Subtract Lines 14 and 15 from Line 13. This is the net consideration subject to transfer tax.	17	150,000.00		
18 Divide Line 17 by 500. Round the result to the next highest whole number (e.g., 61.002 rounds to 62)	18	300.00		
19 Illinois tax stamps — multiply Line 18 by 0.50.	19	150.00		
20 County tax stamps — multiply Line 18 by 0.25.	20	75.00		
21 Add Lines 19 and 20. This is the total amount of transfer tax due	21	225.00		

**Step 3: Enter the legal description from the deed.** Enter the legal description from the deed.

LOTS 99, 100 AND 101 OF WHITETAIL RIDGE SUBDIVISION, A SUBDIVISION OF PART OF SECTION 12, TOWNSHIP 36 NORTH, RANGE 7 PART OF SECTION 7, TOWNSHIP 36 NORTH, RANGE 8 AND PART OF THE FORMER WAISH-KEE-SHAW RESERVATION, IN KENDALL AND NA-AU-SAY TOWNSHIPS, KENDALL COUNTY, ILLINOIS.

**Step 4: Complete the requested information.**

The buyer and seller (or their agents) hereby verify that to the best of their knowledge and belief, the full actual consideration and facts stated in this declaration are true and correct. If this transaction involves any real estate located in Cook County, the buyer and seller (or their agents) hereby verify that to the best of their knowledge, the name of the buyer shown on the deed or assignment of beneficial interest in a land trust is either a natural person, an Illinois corporation or foreign corporation authorized to do business or acquire and hold title to real estate in Illinois, a partnership authorized to do business or acquire and hold title to real estate in Illinois, or other entity recognized as a person and authorized to do business or acquire and hold title to real estate under the laws of the State of Illinois. Any person who willfully falsifies or omits any information required in this declaration shall be guilty of a Class B misdemeanor for the first offense and a Class A misdemeanor for subsequent offenses. Any person who knowingly submits a false statement concerning the identity of a grantee shall be guilty of a Class C misdemeanor for the first offense and of a Class A misdemeanor for subsequent offenses.

**Seller Information**

WHITETAIL DEVELOPMENT, LLC

Seller's or trustee's name: [Redacted] Seller's trust number (if applicable - not an SSN or FEIN): [Redacted]

Street address (after sale): [Redacted] City: [Redacted] State: [Redacted] ZIP: [Redacted]

Seller's daytime phone: [Redacted] Phone extension: [Redacted] Country: [Redacted]

Under penalties of perjury, I state that I have examined the information contained on this document, and, to the best of my knowledge, it is true, correct, and complete.

**Buyer Information**

TROY WILLIAMS AND ASHLEY RUSCH

Buyer's trust number (if applicable - not an SSN or FEIN): [Redacted]

Street address (after sale): [Redacted] City: [Redacted] State: [Redacted] ZIP: [Redacted]

Buyer's daytime phone: [Redacted] Phone extension: [Redacted] Country: USA

Under penalties of perjury, I state that I have examined the information contained on this document, and, to the best of my knowledge, it is true, correct, and complete.

**Mail tax bill to:**

Name of company: [Redacted] Street address: [Redacted] City: [Redacted] State: [Redacted] ZIP: [Redacted]

Country: [Redacted]

**Preparer Information**

DANIEL KRAMER - LAW OFFICES OF DANIEL J. KRAMER

HC-2021KL-2443



Declaration ID: [Redacted]

Status: Closing Completed

State/County Stamp: Not Issued

Document No.: Not Recorded

Preparer and company name [Redacted]	Preparer's file number (if applicable) [Redacted]	Escrow number (if applicable) [Redacted]	
Street address [Redacted]	[Redacted]	State [Redacted]	ZIP [Redacted]
Preparer's email address (if available) [Redacted]	Preparer's daytime phone [Redacted]	Phone extension [Redacted]	Country [Redacted]

Under penalties of perjury, I state that I have examined the information contained on this document, and, to the best of my knowledge, it is true, correct, and complete.

Identify any required documents submitted with this form. (Mark with an "X.")  
 Extended legal description  Form PTAX-203-A  
 Itemized list of personal property  Form PTAX-203-B

**To be completed by the Chief County Assessment Officer**

1 County \_\_\_\_\_ Township \_\_\_\_\_ Class \_\_\_\_\_ Cook-Minor \_\_\_\_\_ Code 1 \_\_\_\_\_ Code 2 \_\_\_\_\_

2 Board of Review's final assessed value for the assessment year prior to the year of sale.  
 Land \_\_\_\_\_  
 Buildings \_\_\_\_\_  
 Total \_\_\_\_\_

3 Year prior to sale \_\_\_\_\_

4 Does the sale involve a mobile home assessed as real estate? Yes \_\_\_\_\_ No \_\_\_\_\_

5 Comments \_\_\_\_\_

Illinois Department of Revenue Use	Tab number
------------------------------------	------------



Declaration ID: [REDACTED]  
Status: Closing Completed  
Document No.: Not Recorded

State/County Stamp: Not Issued

---

**Additional parcel identifying numbers and lot sizes or acreage**

Property index number (PIN)	Lot size or acreage	Unit	Split Parcel?
05-12-276-006	.6	Acres	No
05-12-276-007	.6	Acres	No

**Personal Property Table**

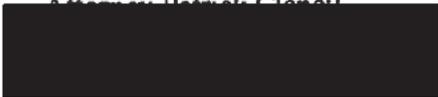
Description of Item	Value	Type of Property
---------------------	-------	------------------

TRANSMITTAL FORM

Wheatland Title Company  
105 W. Veterans Parkway  
Yorkville, Illinois 60560  
630-892-2323  
Fax: 630-892-2390

09/30/2021

Attorney Patrick Cloney



WTG File Number:



Customer Reference(s): Whitetail Development to Williams/Rusch

Please find the following documents attached to this transmittal:

Document(s):

. Owners Policy



Policy No.: [REDACTED]

## OWNER'S POLICY OF TITLE INSURANCE

Issued by

### FIDELITY NATIONAL TITLE INSURANCE COMPANY

**Any notice of claim and any other notice or statement in writing required to be given the Company under this Policy must be given to the Company at the address shown in Section 18 of the Conditions.**

#### COVERED RISKS

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B, AND THE CONDITIONS, FIDELITY NATIONAL TITLE INSURANCE COMPANY, a Florida corporation, (the "Company") insures as of Date of Policy and, to the extent stated in Covered Risks 9 and 10, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the Title. This Covered Risk includes but is not limited to insurance against loss from
  - (a) A defect in the Title caused by
    - (i) forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
    - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
    - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
    - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
    - (v) a document executed under a falsified, expired, or otherwise invalid power of attorney;
    - (vi) a document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
    - (vii) a defective judicial or administrative proceeding.
  - (b) The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
  - (c) Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Unmarketable Title.
4. No right of access to and from the Land.
5. The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
  - (a) the occupancy, use, or enjoyment of the Land;
  - (b) the character, dimensions, or location of any improvement erected on the Land;
  - (c) the subdivision of land; or
  - (d) environmental protection
 if a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.
6. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.
7. The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.
8. Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.
9. Title being vested other than as stated Schedule A or being defective
  - (a) as a result of the avoidance in whole or in part, or from a court order providing an alternative remedy, of a transfer of all or any part of the title to or any interest in the Land occurring prior to the transaction vesting Title as shown in Schedule A because that prior transfer constituted a fraudulent or preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws; or
  - (b) because the instrument of transfer vesting Title as shown in Schedule A constitutes a preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws by reason of the failure of its recording in the Public Records
    - (i) to be timely, or
    - (ii) to impart notice of its existence to a purchaser for value or to a judgment or lien creditor.

ALTA Owners Policy [REDACTED]

Copyright 2006-2016 American Land Title Association. All rights reserved. The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.



- 10. Any defect in or lien or encumbrance on the Title or other matter included in Covered Risks 1 through 9 that has been created or attached or has been filed or recorded in the Public Records subsequent to Date of Policy and prior to the recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The Company will also pay the costs, attorneys' fees, and expenses incurred in defense of any matter insured against by this Policy, but only to the extent provided in the Conditions

IN WITNESS WHEREOF, FIDELITY NATIONAL TITLE INSURANCE COMPANY has caused this policy to be signed and sealed by its duly authorized officers.

FIDELITY NATIONAL TITLE INSURANCE COMPANY

Wheatland Title Company



By:



Randy R. Quirk

President



Attest:

Marjorie Nemzura

Secretary

**EXCLUSIONS FROM COVERAGE**

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
  - (i) the occupancy, use, or enjoyment of the Land;
  - (ii) the character, dimensions or location of any improvement erected on the Land;
  - (iii) the subdivision of land; or
  - (iv) environmental protection;
 or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
   
(b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters:
  - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
  - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
  - (c) resulting in no loss or damage to the Insured Claimant;
  - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
  - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
  - (a) a fraudulent conveyance or fraudulent transfer; or
  - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

**CONDITIONS**

**1. DEFINITION OF TERMS**

The following terms when used in this policy mean:

ALTA Owners Policy



# **Fidelity National Title Insurance Company**

## **POLICY OF TITLE INSURANCE ALTA OWNERS POLICY**

ISSUING AGENT



09/30/2021

Fidelity National Title Insurance Company  
A.L.T.A. OWNERS FORM  
SCHEDULE A

Owner's Policy No.:

[REDACTED]

Lender's Policy No.:

WTG File No.:

[REDACTED]

Amount of Insurance: \$150,000.00

Date of Policy: June 01, 2021

1. Name of Insured:

Troy Williams and Ashley Rusch

2. The estate or interest in the Land that is insured by this policy is:

Fee Simple

3. Title is vested in:

Troy Williams and Ashley Rusch

4. The land referred to in the policy is described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

ISSUED BY  
Wheatland Title Company

[REDACTED]

Law Offices of Daniel J. Kramer

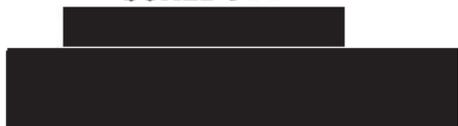
[REDACTED]

Agent for  
Fidelity National Title Insurance Company

09/30/2021

Fidelity National Title Insurance Company  
A.L.T.A. OWNERS FORM  
- SCHEDULE A -

Owner's Policy No.:  
Lender's Policy No.:  
WTG File No.:



LEGAL DESCRIPTION

LOTS 99, 100 AND 101 OF WHITETAIL RIDGE SUBDIVISION, A SUBDIVISION OF PART OF SECTION 12, TOWNSHIP 36 NORTH, RANGE 7 PART OF SECTION 7, TOWNSHIP 36 NORTH, RANGE 8 AND PART OF THE FORMER WAISH-KEE-SHAW RESERVATION, IN KENDALL AND NA-AU-SAY TOWNSHIPS, KENDALL COUNTY, ILLINOIS.

Permanent Tax Number: 05-12-276-005; 05-12-276-006; 05-12-276-007

ISSUED BY:  
Wheatland Title Company



Law Offices of Daniel J. Kramer



Agent for:  
Fidelity National Title Insurance Company

09/30/2021

Fidelity National Title Insurance Company  
A.L.T.A. OWNERS FORM  
SCHEDULE B

Owner's Policy No.:

Lender's Policy No.:

WTG File No.:

**EXCEPTIONS FROM COVERAGE**

Except as provided in Schedule B – Part II, this policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees, or expenses that arise by reason of:

**PART I**

1. The lien of all taxes for the year 2020 and thereafter.  
PERMANENT TAX NUMBER: 05-12-276-005

PERMANENT TAX NUMBER: 05-12-276-006

PERMANENT TAX NUMBER: 05-12-276-007

2. Rights or claims of parties in possession not shown by the public records.
3. Easements, or claims of easements, not shown by the public records.
4. Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey or inspection of the premises.
5. Any lien, or right to lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
6. Building setback line of 30 feet from the Northeasterly lot line; 50 feet from the Southwesterly and 10% of the lot width or 10 feet from the Northwesterly and Southeasterly lot line as shown on the Plat of Subdivision recorded June 9, 2005 as Document Number 200500015985.
7. Easement for Public Utilities and Drainage over and across the Northeasterly 15 feet; the Southwesterly 10 feet; and the Northwesterly and Southeasterly 5 feet of subject property as shown on the Plat of Subdivision recorded June 9, 2005 as

ISSUED BY:  
Wheatland Title Company

Law Offices of Daniel J. Krmer

Agent for:  
Fidelity National Title Insurance Company

Fidelity National Title Insurance Company  
A.L.T.A. OWNERS FORM  
- SCHEDULE B -

Owner's Policy No.:  
Lender's Policy No.:  
WTG File No.:



Document No. 200500015985.

8. Easement for Public Utilities over and across the Southeasterly 10 feet of subject property as shown on the Plat of Subdivision recorded June 9, 2005 as Document No. 200500015985.

Note: Affects Lot 99.

9. Easement for Public Utilities over and across the Northwesterly 10 feet of subject property as shown on the Plat of Subdivision recorded June 9, 2005 as Document No. 200500015985.

Note: Affects Lot 100.

10. Easements and Building Lines as shown on the Plat of Subdivision recorded June 9, 2005 as Document No. 200500015985.

11. Covenants, conditions, restrictions and easements contained in Declaration of Protective Covenants for Whitetail Ridge Subdivision Homeowners' Association recorded June 9, 2005 as Document No. 200500015992 in the Kendall County Recorder's Office.

Note: See copy for particulars.

12. Amendment to Declaration of Protective Covenants for Whitetail Ridge Subdivision Homeowners' Association recorded September 16, 2020 as Document Number 202000017966.

Note: See document copy for particulars.

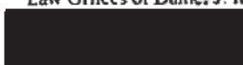
13. By-Laws for Whitetail Ridge Subdivision Homeowners' Association recorded July 1, 2011 as Document No. 201100010720 in the Kendall County Recorder's Office.

14. Terms and conditions contained in Consent to Creation of Special Service Tax Area dated March 16, 2005 and recorded June 9, 2005 as Document No. 200500015986 made by Whitetail Development, LLC recorded in the Kendall

ISSUED BY:  
Wheatland Title Company



Law Offices of Daniel J. Kramer



Agent for  
Fidelity National Title Insurance Company

09/30/2021

Fidelity National Title Insurance Company  
A.L.T.A. OWNERS FORM  
- SCHEDULE B -

Owner's Policy No.:

Lender's Policy No.:

WTG File No.:

County Recorder's Office.

15. Terms and conditions contained in an Ordinance establishing a back-up Special Tax Service Area Number 2005-32 for Whitetail Ridge Subdivision recorded June 9, 2005 as Document No. 200500015987 recorded in the Kendall County Recorder's Office.
16. Terms and conditions contained in an Ordinance Establishing a back-up Special Tax Service Area Number 2005-33 recorded June 9, 2005 as Document No. 200500015988 made by the County of Kendall, recorded in the Kendall County Recorder's Office.
17. Terms and conditions contained in a Grant of Conservation Easement dated May 16, 2005 and recorded June 9, 2005 as Document No. 200500015993 made by Whitetail Development, LLC to Whitetail Ridge Homeowners Association LLC recorded in the Kendall County Recorder's Office.
18. Rights of the public, the State of Illinois, the County, the Township and the Municipality in and to that part of the land, if any, taken or used for road purposes.
19. Rights of way for drainage ditches, tiles, feeders and laterals, if any.
20. The Standard Endorsement is attached hereto and made a part hereof.

- End Schedule B -

  
Daniel J. Kramer, Authorized Signatory

ISSUED BY:  
Wheatland Title Company

Law Offices of Daniel J. Kramer

Agent for:  
Fidelity National Title Insurance Company

# FIDELITY NATIONAL TITLE INSURANCE COMPANY

## ENDORSEMENT - STANDARD

Attached to Policy No. [REDACTED]  
File No. [REDACTED]  
Effective Date: June 1, 2021

The Policy is hereby amended in the following manner:

Standard Exceptions 2 & 5 on Schedule B of this Policy are hereby waived.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

- (a) "Amount of Insurance": The amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b), or decreased by Sections 10 and 11 of these Conditions.
- (b) "Date of Policy": The date designated as "Date of Policy" in Schedule A.
- (c) "Entity": A corporation, partnership, trust, limited liability company, or other similar legal entity.
- (d) "Insured": The Insured named in Schedule A.
  - (i) The term "Insured" also includes
    - (A) successors to the Title of the Insured by operation of law as distinguished from purchase, including heirs, devisees, survivors, personal representatives, or next of kin;
    - (B) successors to an Insured by dissolution, merger, consolidation, distribution, or reorganization;
    - (C) successors to an Insured by its conversion to another kind of Entity;
    - (D) a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the

Title

- (1) if the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured,
- (2) if the grantee wholly owns the named Insured,
- (3) if the grantee is wholly-owned by an affiliated Entity of the named Insured, provided the affiliated Entity and the named Insured are both wholly-owned by the same person or Entity, or
- (4) if the grantee is a trustee or beneficiary of a trust created by a written instrument established by the Insured named in Schedule A for estate planning purposes.
- (ii) With regard to (A), (B), (C), and (D) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured.

(e) "Insured Claimant": An Insured claiming loss or damage.

(f) "Knowledge" or "Known": Actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.

(g) "Land": The land described in Schedule A, and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.

(h) "Mortgage": Mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.

(i) "Public Records": Records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), "Public Records" shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.

(j) "Title": The estate or interest described in Schedule A.

(k) "Unmarketable Title": Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title to be released from the obligation to purchase, lease, or lend if there is a contractual condition requiring the delivery of marketable title.

## 2. CONTINUATION OF INSURANCE

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured, but only so long as the Insured retains an estate or interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title. This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

## 3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) of these Conditions, (ii) in case Knowledge shall come to an Insured hereunder of any claim of title or interest that is adverse to the Title, as insured, and that might cause loss or damage for which the Company may be liable by virtue of this policy, or (iii) if the Title, as insured, is rejected as Unmarketable Title. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company's liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice.

## 4. PROOF OF LOSS

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

## 5. DEFENSE AND PROSECUTION OF ACTIONS

(a) Upon written request by the Insured, and subject to the options contained in Section 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters



insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs, or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.

(b) The Company shall have the right, in addition to the options contained in Section 7 of these Conditions, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title, as insured, or to prevent or reduce loss or damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.

(c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the Company may pursue the litigation to a final determination by a court of competent jurisdiction, and it expressly reserves the right, in its sole discretion, to appeal any adverse judgment or order.

#### **6. DUTY OF INSURED CLAIMANT TO COOPERATE**

(a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title, or any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligations to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.

(b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection, and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect, and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath, produce any reasonably requested information, or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that claim.

#### **7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY**

In case of a claim under this policy, the Company shall have the following additional options:

(a) To Pay or Tender Payment of the Amount of Insurance.

To pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay.

Upon the exercise by the Company of this option, all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in this subsection, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

(b) To Pay or Otherwise Settle With Parties Other Than the Insured or With the Insured Claimant.

(i) To pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or

(ii) To pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

#### **8. DETERMINATION AND EXTENT OF LIABILITY**

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or damage by reason of matters insured against by this policy.

(a) The extent of liability of the Company for loss or damage under this policy shall not exceed the lesser of

(i) the Amount of Insurance; or

(ii) the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy.



(b) If the Company pursues its rights under Section 5 of these Conditions and is unsuccessful in establishing the Title, as insured,

(i) the Amount of Insurance shall be increased by 10%, and

(ii) the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.

(c) In addition to the extent of liability under (a) and (b), the Company will also pay those costs, attorneys' fees, and expenses incurred in accordance with Sections 5 and 7 of these Conditions.

#### **9. LIMITATION OF LIABILITY**

(a) If the Company establishes the Title, or removes the alleged defect, lien or encumbrance, or cures the lack of a right of access to or from the Land, or cures the claim of Unmarketable Title, all as insured, in a reasonably diligent manner by any method, including litigation and the completion of any appeals, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.

(b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title, as insured.

(c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.

#### **10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY**

All payments under this policy, except payments made for costs, attorneys' fees, and expenses, shall reduce the Amount of Insurance by the amount of the payment.

#### **11. LIABILITY NONCUMULATIVE**

The Amount of Insurance shall be reduced by any amount the Company pays under any policy insuring a Mortgage to which exception is taken in Schedule B or to which the Insured has agreed, assumed, or taken subject, or which is executed by an Insured after Date of Policy and which is a charge or lien on the Title, and the amount so paid shall be deemed a payment to the Insured under this policy.

#### **12. PAYMENT OF LOSS**

When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.

#### **13. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT**

(a) Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled to the rights of the Insured Claimant in the Title and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees, and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise, or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies.

If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.

(b) The Company's right of subrogation includes the rights of the Insured to indemnities, guaranties, other policies of insurance, or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights.

#### **14. ARBITRATION**

Either the Company or the Insured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be no joinder or consolidation with claims or controversies of other persons. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, any service in connection with its issuance or the breach of a policy provision, or to any other controversy or claim arising out of the transaction giving rise to this policy. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured. All arbitrable matters when the Amount of Insurance is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Insured. Arbitration pursuant to this policy and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

#### **15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT**

(a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.

(b) Any claim of loss or damage that arises out of the status of the Title or by any action asserting such claim shall be restricted to this policy.

ALTA Owners Policy



(c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.

(d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance.

**16. SEVERABILITY**

In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

**17. CHOICE OF LAW; FORUM**

(a) Choice of Law: The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefore in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of policies of title insurance of the jurisdiction where the Land is located.

Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title that are adverse to the Insured and to interpret and enforce the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.

(b) Choice of Forum: Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

**18. NOTICES, WHERE SENT**

Any notice of claim and any other notice or statement in writing required to be given to the Company under this policy must be given to the Company at FIDELITY NATIONAL TITLE INSURANCE COMPANY, Attn: Claims Department, P.O. Box 45023, Jacksonville, FL 32232-5023.



## **FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE**

Effective August 1, 2021

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, “FNF,” “our,” or “we”) respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary’s website and this Privacy Notice does not apply.

### **Collection of Personal Information**

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver’s license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

### **Collection of Browsing Information**

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an “FNF Website”) from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

### **Other Online Specifics**

**Cookies.** When you visit an FNF Website, a “cookie” may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer’s hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

**Web Beacons.** We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

**Do Not Track.** Currently our FNF Websites do not respond to “Do Not Track” features enabled through your browser.

**Links to Other Sites.** FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

### **Use of Personal Information**

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates’, and others’ products and services, jointly or independently.

### **When Information Is Disclosed**

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law. We may share your Personal Information with affiliates (other companies owned by FNF) to directly market to you. Please see “Choices with Your Information” to learn how to restrict that sharing.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

### **Security of Your Information**

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

### **Choices With Your Information**

If you do not want FNF to share your information among our affiliates to directly market to you, you may send an “opt out” request as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you without your consent.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

**For California Residents:** We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the “California Privacy” link on our website (<https://fnf.com/pages/californiaprivacy.aspx>) or call (888) 413-1748.

**For Nevada Residents:** You may be placed on our internal Do Not Call List by calling (888) 714-2710 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

**For Oregon Residents:** We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

**For Vermont Residents:** We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

### **Information From Children**

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

### **International Users**

FNF’s headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

### **FNF Website Services for Mortgage Loans**

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the “Service Websites”). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender’s privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender’s privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the

mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

**Your Consent To This Privacy Notice: Notice Changes**

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice.

**Accessing and Correcting Information: Contact Us**

If you have questions, would like to correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, visit FNF's [Opt Out Page](#) or contact us by phone at (888) 714-2710 or by mail to:

Fidelity National Financial, Inc.  
601 Riverside Avenue,  
Jacksonville, Florida 32204  
Attn: Chief Privacy Officer

PLAT OF SUBDIVISION  
**WHITETAIL RIDGE**  
 A SUBDIVISION OF PART OF SECTION 12-36-7, PART OF SECTION 7-36-8, AND  
 PART OF THE FORMER WAISH-KEE-SHAW RESERVATION, IN KENDALL &  
 NA-AU-SAY TOWNSHIPS, KENDALL COUNTY, ILLINOIS

**SMITH ENGINEERING CONSULTANTS**  
 CIVIL, STRUCTURAL ENGINEERS AND SURVEYORS  
 709 JOHN STREET  
 YORKVILLE, ILLINOIS 62450  
 PH: 630-593-7640 FAX: 630-563-7648  
 www.smitheng.com  
 \*MORNING \*AFTERNOON \*EVENING  
 ILLINOIS PROFESSIONAL DESIGN FIRM #

COMP. FILE: 040039-0.dwg  
 PLOT FILE: STD4000  
 VIEW: 040039-0-03

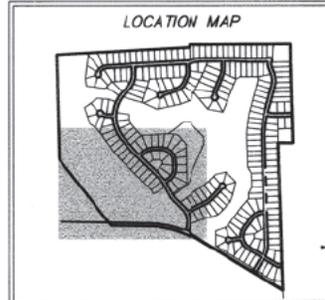
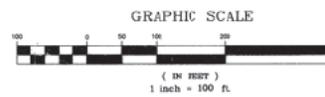
CHORD	BEARING	RADIUS	LENGTH
22.52	N51°36'22"E	275.00	01
46.98	N39°04'22"E	275.00	02
115.50	S76°19'14"E	275.00	03
124.73	N09°49'47"E	275.00	04
228.15	N46°35'27"E	275.00	05
252.11	S81°56'53"W	275.00	06
453.21	S11°31'43"E	275.00	07
300.76	N30°02'21"E	275.00	08
431.97	N46°17'34"W	275.00	09
192.46	S68°10'36"W	275.00	10
121.29	S83°24'55"E	415.00	11
108.87	N11°05'20"E	275.00	12
108.02	S11°03'39"W	275.00	13
144.19	S75°15'34"E	250.00	14
75.44	S87°22'17"E	750.00	16
75.44	N87°22'17"W	750.00	17
216.62	S63°32'29"W	1000.00	18
82.91	N82°05'09"E	500.00	19
181.86	S65°59'46"W	250.00	20
95.16	S17°53'41"W	100.00	21
239.36	N14°44'06"E	415.00	22
63.85	S02°37'09"W	415.00	23
57.45	S10°59'31"W	415.00	24
302.34	N03°04'48"W	415.00	25
192.07	S13°31'32"E	415.00	26
516.73	N02°43'46"W	415.00	27
120.97	S36°58'48"E	415.00	28
122.70	N37°05'57"W	415.00	29
72.90	S43°28'51"E	1000.00	30
1047.52	S01°28'40"W	700.00	31
344.13	N20°35'32"E	415.00	32
108.87	N11°05'20"E	275.00	33



SEE SHEET FOR CONTINUATION

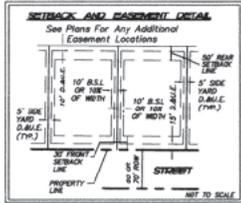
SEE SHEET FOR CONTINUATION

SEE SHEET FOR CONTINUATION



200900015945  
 Filed for Record in  
 KENDALL COUNTY, ILLINOIS  
 PAUL ANDERSON  
 06-29-2009 at 09:30 am.  
 PLAT OF SUB

Slot 1349



NO.	DESCRIPTION	DATE	BY	CHK BY	INT.	DATE	PROJECT
1	DES	07/12/04	JCS		INT.	11/12/04	04000
2	MR	07/28/05	JCS		INT.		
3	DWS	02/16/05	JCS		INT.		
4	DWS	01/18/05	JCS		INT.		
5	JCS	03/07/05	CLD		INT.		

REVISIONS

DWN BY: INT. DATE: 11/12/04 PROJECT: 04000

CHK BY: INT. DATE: 11/12/04 SHEET: 3 OF 3

DATE: 11/12/04 PROJECT: 04000

SCALE: 1"=100'

VERT. SCALE: 3 OF 3

ED LANDS

OUTLOT H  
 HEREBY CONVEYED  
 TO D.O.T.

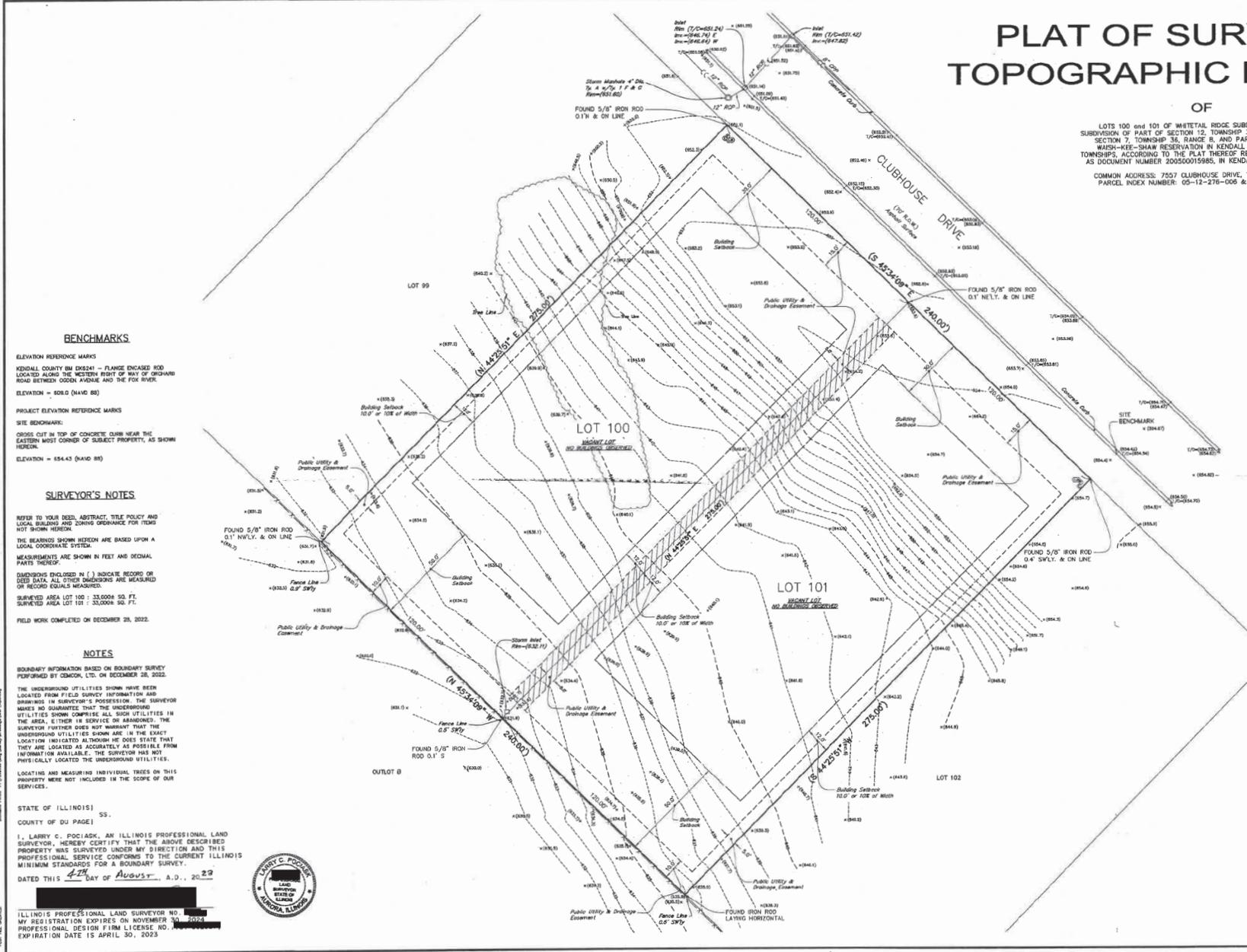
ILLINOIS ROUTE 126



# PLAT OF SURVEY/ TOPOGRAPHIC EXHIBIT

OF

LOTS 100 and 101 OF WHITEHALL RIDGE SUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 12, TOWNSHIP 36, RANGE 7, PART OF SECTION 7, TOWNSHIP 36, RANGE 8, AND PART OF THE FORMER WASH-AVE-SHAM RESERVATION IN KENDALL AND NA-AU-SAY TOWNSHIPS, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 9, 2005 AS DOCUMENT NUMBER 200500015985, IN KENDALL COUNTY, ILLINOIS.  
COMMON ADDRESS: 7557 CLUBHOUSE DRIVE, YORKVILLE, ILLINOIS  
PARCEL INDEX NUMBER: 05-12-276-006 & 05-12-276-007



**LINE/SYMBOL/ABBREVIATION LEGEND**

	BOUNDARY LIMITS
	ADJACENT PROPERTY OR R.O.W. LINE
	BUILDING LINE
	EASEMENT LINE/LIMITS OF EASEMENT
	R.O.W. RIGHT OF WAY
	ELEV. TO HUNDRETH IN PARENTHESIS INDICATES EXISTING LITHODIAL SURFACE ELEVATIONS (UNLESS OTHERWISE INDICATED)
	ELEV. TO TENTH INDICATES EXISTING NON-LITHODIAL SURFACE ELEVATIONS
	UNDERGROUND STORM LINE
	FENCE
	SIGN
	STORM MANHOLE
	CATCH BASIN
	INLET
	FLARED END SECTION
	GAS MARKER POST
	ELECTRIC PEDESTAL
	CABLE TV PEDESTAL
	TELEPHONE PEDESTAL
	CONCRETE SURFACE UNLESS OTHERWISE NOTED
	EASEMENT RELEASED PER DOCUMENT NO. _____

### BENCHMARKS

**ELEVATION REFERENCE MARKS**  
KENDALL COUNTY BM 058411 - FLANGE ENCASED ROD LOCATED ALONG THE WESTERN RIGHT OF WAY OF ORCHARD ROAD BETWEEN GOODEN AVENUE AND THE FOX RIVER.  
ELEVATION = 804.0 (NAID 85)

**PROJECT ELEVATION REFERENCE MARKS**  
SITE BENCHMARK:  
ORISSE CUT IN TOP OF CONCRETE CURB NEAR THE EASTERN MOST CORNER OF SUBJECT PROPERTY, AS SHOWN HEREON.  
ELEVATION = 854.43 (NAID 85)

### SURVEYOR'S NOTES

REFER TO YOUR DEED, ABSTRACT, TITLE POLY AND LOCAL BUILDING AND ZONING ORDINANCES FOR ITEMS NOT SHOWN HEREON.

THE BENCHMARKS SHOWN HEREON ARE BASED UPON A LOCAL COORDINATE SYSTEM.

MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

DIMENSIONS INCLOSED IN ( ) INDICATE RECORD OR DEED DATA. ALL OTHER DIMENSIONS ARE MEASURED OR RECORDED EQUAS MEASURED.

SURVEYED AREA LOT 100 = 33,000A SQ. FT.  
SURVEYED AREA LOT 101 = 33,000B SQ. FT.

FIELD WORK COMPLETED ON DECEMBER 20, 2022.

### NOTES

BOUNDARY INFORMATION BASED ON BOUNDARY SURVEY PERFORMED BY CEMCON, LTD. ON DECEMBER 28, 2022.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND DRAWINGS IN SURVEYOR'S POSSESSION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

LOCATING AND MEASURING INDIVIDUAL TREES ON THIS PROPERTY WERE NOT INCLUDED IN THE SCOPE OF OUR SERVICES.

STATE OF ILLINOIS )  
                          ) SS.  
COUNTY OF DU PAGE )

I, LARRY C. POCLASK, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY WAS SURVEYED UNDER MY DIRECTION AND THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 4<sup>TH</sup> DAY OF AUGUST, A.D., 2022

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. [REDACTED]  
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2024  
PROFESSIONAL DESIGN FIRM LICENSE NO. [REDACTED]  
EXPIRATION DATE IS APRIL 30, 2023



PREPARED BY:  
**CEMCON, Ltd.**  
Consulting Engineers, Land Surveyors & Planners  
2280 White Oak Circle, Suite 100 Aurora, Illinois  
60500-9679 PH: 630.822.2100 FAX: 630.822.2199  
E-Mail: info@cemcon.com Website: www.cemcon.com

DISC NO.: FILE NAME: FILE NAME  
DRAWN BY: FCC FLD. BK. / PG. NO.: BK./PG.  
COMPLETION DATE: 01-04-23 JOB NO.: 7599-100  
PROJECT REFERENCE:  
REVISIONS: 1-10-23 PER LP REVIEW  
CHECKED BY:

Copyright © 2023 Cemcon, Ltd. All rights reserved.



August 7, 2023

Kendall County  
111 W. Fox Street  
Yorkville, IL 60560-1498

Attn: Matthew H. Asselmeier, AICP, CFM  
Director, Kendall County Planning, Building and Zoning

Re: Lots 100 – 101 White Tail Ridge  
Easement Vacation

Dear Mr. Asselmeier,

The owner/developer of lots 100 and 101 of White Tail Ridge is electing to build one house on both lots. The proposed home will be built across the common property line and therefore requires the two 5-foot (total 10 feet) drainage and utility easements to be vacated.

The grading plan prepared for the new home maintains the drainage patterns from the master development plan with runoff directed around the home from the front of the property to the rear. No additional storm water runoff from other lots is directed to the common property line. The design presented does not require the easements and continues to provide proper storm water runoff route for the specific lots as well as the subdivision.

If you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

A large black rectangular redaction box covering the signature area.

Joseph P. Hammer, PE

N:\Tech\2023\0579\KendallCo\_LT\_JPH\_EasementVacation\_08-07-23.docx

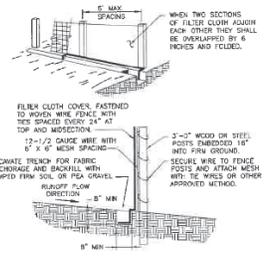
# DETAILED GRADING PLAN

LEGAL DESCRIPTION  
 LOT 100 & 101 IN WHITEHALL HOME SUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 12, TOWNSHIP 36 NORTH, RANGE 7 EAST AND PART OF SECTION 2, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF THE FORMER WASH-KEE-SHAW RESERVATION IN FEDERAL AND WIA-AN-SAY CENSUSES, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 6, 2005 AS DOCUMENT NO. 2005009098, IN KENDALL COUNTY, ILLINOIS.

LEGAL MAILING ADDRESS  
 TONY CLUSTRINE, DRIVE  
 YORKVILLE, ILLINOIS  
 PH 65-12-276-011



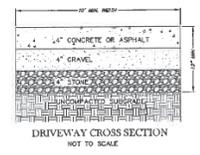
LEVEL	STEP ELEVATION
A	930.00
B	855.00 854.00
C	844.00 853.00
D	833.00 852.00
E	852.00 851.00
F	851.00 850.00
G	850.00 849.00
H	849.00 848.00
I	848.00 847.00
J	847.00 846.00
K	846.00 845.33
L	845.33 847.00
M	847.00 848.00
N	848.00 849.00
O	849.00 850.00
P	850.00 851.00
Q	851.00 852.00
R	852.00 853.50
S	853.50 854.00
T	854.00 855.00
U	855.00 856.00
V	856.00 857.00
W	857.00 858.00



1. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL SHALL BE REMOVED WHEN BRACES DEVELOP IN THE SILT FENCE.
2. FILTER CLOTH SHALL BE FILTER # 100, MESH # 100, STABILUM # 100, OR EQUAL.
3. PREFABRICATED UNIT SHALL BE GEOTEX, ENVIROFENCE, OR EQUAL.

### SILT FENCE INSTALLATION

NOT TO SCALE



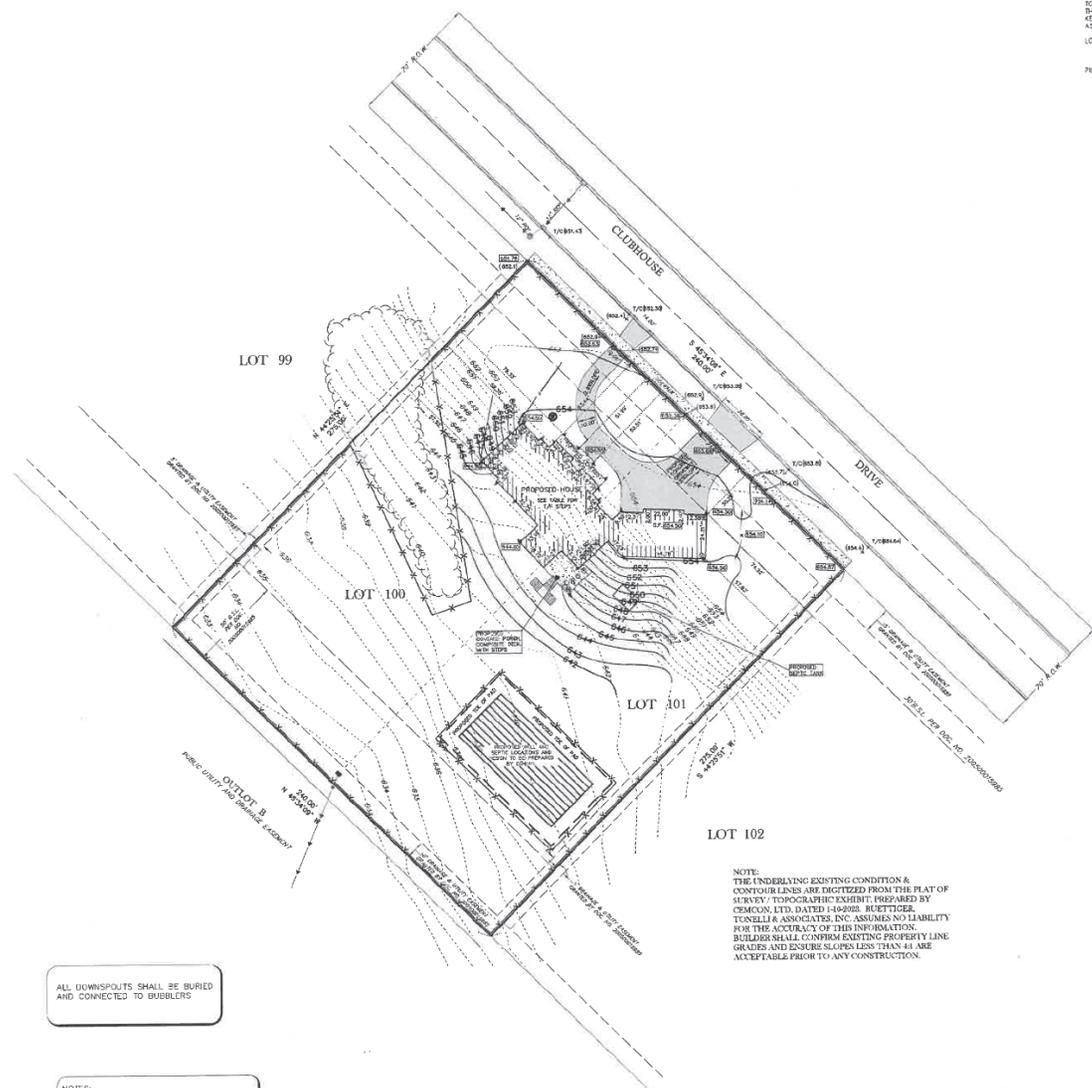
ALL DOWNSPOUTS SHALL BE BURIED AND CONNECTED TO BUBBLERS

- NOTES:
1. GRADE SLOPES NOT TO EXCEED 4 TO 1.
  2. DRAIN FOOTINGS AS REQUIRED TO PROVIDE ADEQUATE FROST PROTECTION.
  3. DEEP SIGNING OR DRAIN AS REQUIRED TO A MINIMUM OF 0.6 ABOVE GRADE.
  4. DRIVEWAY SLOPES NOT TO EXCEED 10%.
  5. EROSION CONTROL TO BE APPLIED PER THE ILLINOIS PROCEDURES FOR URBAN SOIL EROSION AND STABILIZATION CONTROL MANUAL, LATEST EDITION.

**THIS IS NOT A BOUNDARY SURVEY**

NO ACCURACY IN MEASUREMENT ENGINEERED UPON THIS GRADING PLAN SHOULD BE REPORTED TO THE SUBSCRIBER FOR EXPLANATION OR CORRECTION.

FOR BUILDING LINE AND OTHER RESTRICTIONS REFER TO YOUR INSTRUMENTS, CONTRACTS AND OTHER AGREEMENTS.



LEGEND

---	MEASURED
---	PROPOSED
---	CALCULATED
●	FOUND SURVEY MONUMENT
●	SET SURV MONUMENT UNLESS OTHERWISE NOTED
---	SUBJECT BOUNDARY LINE
---	ADJACENT BOUNDARY LINE
---	EXHIBIT LINE
---	BUILDING SETBACK LINE
---	DEMARCATE PROPERTY EXISTENCE
---	EXISTING ELEVATION
---	EXISTING TREE LINE
---	STONE BOUNDARY LINE
---	STONE FENCE LINE
○	TOP OF CURB
○	TOP OF FOUNDATION
○	TOP OF EXISTING FIBER OPTIC SERVICE/ TELEPHONE LINE (BY LOCAL TEL. NUMBER 618-10-215)
---	PROPOSED ELEVATION
---	FLOW LINE
---	PROPOSED SWAP LINE
---	PROPOSED EROSION CONTROL FENCE
---	PROPOSED CONTROL
---	PROPOSED GAS SERVICE LINE
---	PROPOSED ELECTRIC SERVICE LINE
---	PROPOSED WATER WELL (BY OTHER)
---	PROPOSED DOWNSPOUT

NOTE:  
 THE UNDERLYING EXISTING CONDITION & CONTOUR LINES ARE DIGITIZED FROM THE PLAT OF SURVEY/ TOPOGRAPHIC EXHIBIT, PREPARED BY CEMCON LTD. DATED 1-18-2005. RUTTEGGER, TONELLI & ASSOCIATES, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS INFORMATION. BUILDER SHALL CONFIRM EXISTING PROPERTY LINE GRADES AND ENSURE SLOPES LESS THAN 4:1 ARE ACCEPTABLE PRIOR TO ANY CONSTRUCTION.

BENCHMARKS:

SITE BENCHMARK:

CUT 7" IN TOP OF CURB APPROXIMATE CENTER OF LOT 101	ELEVATION: 648.37
CUT 7" IN TOP OF CURB APPROXIMATE CENTER OF LOT 101	ELEVATION: 653.87
CUT 7" IN TOP OF CURB AT LOTS 103 AND 124	ELEVATION: 658.90

LOTS 100 & 101 AREA = ±66,000 S.F.  
 BUILDING FOOTPRINT AREA = ±4,175 S.F.

REVISIONS		BY
1	DATE: 7-15-2023	REVISION: REVISED PER NEW PIN AND ADDRESS
2	DATE: 7-18-2023	REVISION: REVISED PER BUILDER COMMENT

DATE: 7-18-2023 SCALE: 1" = 30' DRAWN BY: ESH CHECKED BY: JLL

PREPARED FOR: KING'S COURT BUILDERS, INC. PO BOX 5078 BARRINGTON, ILLINOIS 60015-5078

DRAWING TITLE: DETAILED GRADING PLAN

323-0578-GP

I, DAVID J. ZENTKE, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF ILLINOIS, HEREBY CERTIFY THAT THIS DETAILED GRADING PLAN HAS BEEN PREPARED UNDER MY SUPERVISION BY RYAN TONELLI, REGISTERED PROFESSIONAL ENGINEER, LICENSE PROFESSIONAL DESIGN FIRM NO. [REDACTED]

DRAWN BY: ESH (EXPIRES 11-30-2023)

TO ENSURE ACCURACY OF THIS DRAWING, IT MUST BEAT THE SIGNED SEAL OF THE DESIGNER AND PROFESSIONAL SEALING AND THE DESIGNER.



**Matt Asselmeier**

---

**From:** Greg Chismark <gchismark@wbkengineering.com>  
**Sent:** Wednesday, August 9, 2023 11:37 AM  
**To:** Matt Asselmeier  
**Cc:** Seth Wormley  
**Subject:** RE: [External]7557 Clubhouse Drive - Lot Consolidation

Matt,

I see no drainage issues with the consolidation of these lots. I reviewed the subdivision plans as well as County topo and have no objection to approving the request to vacate the easement.

Greg

**Greg Chismark, PE**  
President  
Direct: (630) 338-8527 | Main: (630) 443-7755  
[gchismark@wbkengineering.com](mailto:gchismark@wbkengineering.com)

WBK Engineering, LLC  
116 W. Main Street, Suite 201, St. Charles, IL 60174  
*WBK is now a certified Disadvantaged Business Enterprise*

*Part of Bodwé Professional Services*

**From:** Matt Asselmeier <masselmeier@kendallcountyil.gov>  
**Sent:** Monday, August 7, 2023 6:02 PM  
**To:** Greg Chismark <gchismark@wbkengineering.com>  
**Cc:** Seth Wormley <swormley@kendallcountyil.gov>  
**Subject:** FW: [External]7557 Clubhouse Drive - Lot Consolidation

Greg:

The owners of the subject property would like to vacate the drainage and utility easement between the two lots and construct a new house in the middle of the combined lots.

From a drainage perspective, do you see any issues.

Thanks,

Matthew H. Asselmeier, AICP, CFM  
Director  
Kendall County Planning, Building & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498  
PH: 630-553-4139  
Fax: 630-553-4170

---

**Matt Asselmeier**

---

**From:** Debbie Mika [REDACTED]  
**Sent:** Monday, August 14, 2023 5:09 PM  
**To:** Matt Asselmeier  
**Subject:** [External]Re: 7557 Clubhouse

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Matt,

No issues, thanks for checking!

Debbie Mika

---

**From:** Matt Asselmeier <masselmeier@kendallcountyil.gov>  
**Sent:** Monday, August 14, 2023 10:21 AM  
**To:** Debbie Mika [REDACTED]  
**Subject:** 7557 Clubhouse

Debbie:

The County received a request from Troy Williams to vacate a public utility and drainage easement between Lots 100 and 101 in Whitetail Ridge in order to be able to construct a house in the middle of the combined lots.

Does the HOA have any objections to this vacation?

Thanks,

Matthew H. Asselmeier, AICP, CFM  
Director  
Kendall County Planning, Building & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498  
PH: 630-553-4139  
Fax: 630-553-4179



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #8

Tracking Number

EDC 2023-38

### Agenda Item Summary Memo

**Title:** Solar Farm Inspection Fees

**Meeting and Date:** Economic Development Committee – September 5, 2023

**Synopsis:** Please see the attached memo.

#### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Majority

**Council Action Requested:** Vote

**Submitted by:** Bart Olson Administration  
Name Department

#### Agenda Item Notes:

---

---

---

---

---

---



# Memorandum

To: City Council  
From: Bart Olson, City Administrator  
CC:  
Date: August 31, 2023  
Subject: Solar farm inspection fees

---

## Summary

Consideration of an ordinance setting a new building permit fee for solar installations to accurately offset the City's cost to permit and inspect.

## Background

After the City Council deferred action on the Bristol Ridge solar farms, the staff was reviewing various items related to solar farms and solar panel inspections. Based on our experience with the Kendall County solar farm, the Community Development Department disclosed that the effort spent to permit, review, inspect, and conduct follow up property maintenance inspections was far greater than the \$500 permit fee. For instance, with 6,000 solar panels in the Kendall County solar array, our in-house inspectors had to check connections and mounting points for every panel within the property. On average, the number of inspections, frequency, and intensity of those inspections was multiples greater than a normal building permit. Subsequently, the Mayor had asked staff to put together a proposal to better offset the City's cost to provide inspections for solar arrays.

In general, we anticipate between 30 and 70 inspections of varying length for every 1,000 solar panels. With the City's current negotiated inspection fees with our consultant, we spend a minimum of \$80 per inspection with some inspections hitting \$120 per inspection depending on length. We feel that this per inspection fee is actually under market cost; if we had to switch to a different vendor, we think we'd be at \$100 per inspection minimum. Taking these inspections in-house would result in a cost of between \$75 per inspection to \$150 per inspection, depending on the inspector and length of time spent on property. In order to properly cover the costs of the permit review and subsequent inspections, we recommend a fee that assumes \$140 of cost per inspection with 50 inspections per 1,000 solar panels. Accordingly, Attorney Orr has drafted an ordinance setting the solar installation building permit fee at \$7 per panel (\$7,000 per 1,000 panels).

### Example building permit fees:

- |  |                      |
|--|----------------------|
| 1) Kendall County – 6000 solar panels      | \$42,000 permit fee. |
| 2) New Leaf Solar – 9,700 solar panels     | \$67,900 permit fee  |
| 3) Bristol Ridge 105 – 13,910 solar panels | \$97,390 permit fee. |
| 4) Bristol Ridge 106 – 14,222 solar panels | \$99,554 permit fee. |

## **Recommendation**

Staff recommends approval of the ordinance setting the new building permit fee for solar installations.

**Ordinance No. 2023-\_\_\_\_\_**

**AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS  
AMENDING THE YORKVILLE CITY CODE, TITLE 10, CHAPTER 19, SECTION 10-19-9**

**WHEREAS**, the United City of Yorkville, Kendall County, Illinois (the “*City*”) is a duly organized and validly existing non-home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

**WHEREAS**, the City has established fees required in connection with all applications for annexation, zoning and special uses, construction of buildings, improvements to buildings and inspection of buildings; and,

**WHEREAS**, the amount of each fee has been based upon the actual time by staff consultants, commissions, committees and the City Council required to review any such application for each of the foregoing purposes; and,

**WHEREAS**, the City has further imposed fees in connection with inspections by professional City staff and consultants in order to ensure all construction to be in compliance with the requirements of the City Code, the International Building Code and all issued permits; and,

**WHEREAS**, Title 10, Chapter 9 of the City Code establishes the regulations pertaining to alternate energy systems such as solar farms and wind farms; and,

**WHEREAS**, the City has authorized the development of alternate energy systems where such systems have received approval as required by the City’s zoning code and has found that the number of inspections required is minimally more than three (3) times that required for any structure no matter how large; and,

**WHEREAS**, in order to permit the City to properly cover all its costs to perform such inspections, it is necessary to impose permit fees as hereinafter set forth for alternate energy systems for the numerous inspections of each solar panel for its wiring and panel mounting

integrity; and, for wind energy systems to assure adherence to Federal Aviation Requirements, mounting, size and height limitations, noise limitations, clearance requirements and the like; and,

**WHEREAS**, the City has considered the requirements for alternative energy systems and has determined that the City Code should be amended to establish the permitting fee for solar energy systems shall be based upon fifty (50) inspections at one hundred dollars (\$140.00) per inspection per one thousand (1,000) solar panels and one hundred dollars (\$100.00) for each wind energy system construction as hereinafter set forth.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

**Section 1.** That Title 10, Chapter 9, Section 10-19-9 is hereby deleted and replaced with the following:

“C.2. In addition, a solar energy farm shall be subject to a permit fee of five thousand dollars (\$7,000) per one thousand (1,000) solar panels; each wind energy system used for commercial purposes shall be subject to a two thousand dollars (\$2,000) permit fee; and, for each wind energy system used solely for residential purposes constructed in a residential zoning district shall be subject to a five hundred dollars (\$500.00) permit fee.”

**Section 2.** This Ordinance shall be in full force and effect after its passage, publication, and approval as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois this \_\_\_\_ day of \_\_\_\_\_, A.D. 2023.

---

CITY CLERK

KEN KOCH \_\_\_\_\_

DAN TRANSIER \_\_\_\_\_

ARDEN JOE PLOCHER \_\_\_\_\_

CRAIG SOLING \_\_\_\_\_

CHRIS FUNKHOUSER \_\_\_\_\_

MATT MAREK \_\_\_\_\_

SEAVER TARULIS \_\_\_\_\_

RUSTY CORNEILS \_\_\_\_\_

**APPROVED** by me, as Mayor of the United City of Yorkville, Kendall County, Illinois  
this \_\_\_\_ day of \_\_\_\_\_, A.D. 2023.

\_\_\_\_\_  
MAYOR

*Attest:*

\_\_\_\_\_  
CITY CLERK