



## **United City of Yorkville**

800 Game Farm Road

Yorkville, Illinois 60560

Telephone: 630-553-4350

[www.yorkville.il.us](http://www.yorkville.il.us)

**AGENDA**  
**CITY COUNCIL MEETING**  
**Tuesday, April 12, 2022**  
**7:00 p.m.**

City Hall Council Chambers  
800 Game Farm Road, Yorkville, IL

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**Call to Order:**

**Pledge of Allegiance:**

**Roll Call by Clerk:** WARD I

Ken Koch

Dan Transier

WARD II

Arden Joe Plocher

Craig Soling

WARD III

Chris Funkhouser

Matt Marek

WARD IV

Seaver Tarulis

Jason Peterson

**Establishment of Quorum:**

**Amendments to Agenda:**

**Presentations:**

1. Yorkville Christian High School Basketball Team Class 1A IHSA State Championship
2. Yorkville Christian High School Wrestling Team Class 1A IHSA State Championship

**Public Hearings:**

1. Ordinance Approving the Second Amendment to the Annexation and Planned Unit Development Agreement for a Portion of the Windmill Farms Development (BW Properties Holdings, LLC/Bricolage Wellness PLLC)

**Citizen Comments on Agenda Items:**

**Consent Agenda:**

1. Minutes of the Regular City Council – March 8, 2022
2. Bill Payments for Approval
  - \$ 1,227,481.71 (vendors)
  - \$ 134,486.59 (wire payments)
  - \$ 667,885.46 (payroll periods ending 03/18/2022 & 04/01/2022)
  - \$ 2,029,853.76 (total)

**Mayor's Report:**

1. CC 2022-05 Bright Farms Development Agreement
2. CC 2022-13 Ordinance Amending Title 3, Chapter 3 of the Code of Ordinances Amending a Liquor License Class (Micro-winery/Winery)

**Public Works Committee Report:**

**Economic Development Committee Report:**

1. EDC 2022-19 Aging-in-Community Memorandum of Understanding

**Public Safety Committee Report:**

**Administration Committee Report:**

**Park Board:**

**Planning and Zoning Commission:**

**City Council Report:**

**City Clerk's Report:**

**Community and Liaison Report:**

**Staff Report:**

**Mayor's Report (cont'd):**

3. CC 2021-04 City Buildings Updates
4. CC 2021-38 Water Study Update
5. CC 2022-14 Ordinance Approving the 2022-2023 Fiscal Budget for the United City of Yorkville

**Additional Business:**

**Citizen Comments:**

**Executive Session:**

1. For the discussion of minutes of meetings lawfully closed under the Open Meetings Act, whether for purposes of approval by the body of the minutes or semi-annual review of the minutes.

**Adjournment:**

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COMMITTEES, MEMBERS AND RESPONSIBILITIES

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**ADMINISTRATION: April 20, 2022 – 6:00 p.m. – City Hall Conference Room**

<u>Committee</u>	<u>Departments</u>	<u>Liaisons</u>
Chairman:	Alderman Soling	Finance
Vice-Chairman:	Alderman Funkhouser	Administration
Committee:	Alderman Transier	
Committee:	Alderman Tarulis	Library



**ECONOMIC DEVELOPMENT: May 3, 2022 – 6:00 p.m. – City Hall Conference Room**

<u>Committee</u>	<u>Departments</u>	<u>Liaisons</u>
Chairman: Alderman Peterson	Community Development	Planning & Zoning Commission
Vice-Chairman: Alderman Koch	Building Safety & Zoning	Kendall Co. Plan Commission
Committee: Alderman Plocher		
Committee: Alderman Funkhouser		

**PUBLIC SAFETY: May 5, 2022 – 6:00 p.m. – City Hall Conference Room**

<u>Committee</u>	<u>Departments</u>	<u>Liaisons</u>
Chairman: Alderman Transier	Police	School District
Vice-Chairman: Alderman Tarulis		
Committee: Alderman Soling		
Committee: Alderman Marek		

**PUBLIC WORKS: April 19, 2022 – 6:00 p.m. – City Hall Conference Room**

<u>Committee</u>	<u>Departments</u>	<u>Liaisons</u>
Chairman: Alderman Marek	Public Works	Park Board
Vice-Chairman: Alderman Plocher	Engineering	YBSD
Committee: Alderman Koch	Parks and Recreation	
Committee: Alderman Peterson		

UNITED CITY OF YORKVILLE  
WORKSHEET  
CITY COUNCIL  
**Tuesday, April 12, 2022**  
7:00 PM  
CITY COUNCIL CHAMBERS

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**AMENDMENTS TO AGENDA:**

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**PRESENTATIONS:**

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1. Yorkville Christian High School Basketball Team Class 1A IHSA State Championship
2. Yorkville Christian High School Wrestling Team Class 1A IHSA State Championship

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**PUBLIC HEARING:**

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1. Ordinance Approving the Second Amendment to the Annexation and Planned Unit Development Agreement for a Portion of the Windmill Farms Development (BW Properties Holdings, LLC/Bricolage Wellness PLLC)

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**CITIZEN COMMENTS ON AGENDA ITEMS:**

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**CONSENT AGENDA:**

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1. Minutes of the Regular City Council – March 8, 2022

☐ Approved: Y \_\_\_\_\_ N \_\_\_\_\_    ☐ Subject to \_\_\_\_\_

☐ Removed \_\_\_\_\_

☐ Notes \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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2. Bill Payments for Approval

☐ Approved \_\_\_\_\_

☐ As presented

☐ As amended

☐ Notes \_\_\_\_\_

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\_\_\_\_\_

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## MAYOR'S REPORT:

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1. CC 2022-05 Bright Farms Development Agreement

☐ Approved: Y \_\_\_\_\_ N \_\_\_\_\_ ☐ Subject to \_\_\_\_\_

☐ Removed \_\_\_\_\_

☐ Notes \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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2. CC 2022-13 Ordinance Amending Title 3, Chapter 3 of the Code of Ordinances Amending a Liquor License Class (Micor-winery/Winery)

☐ Approved: Y \_\_\_\_\_ N \_\_\_\_\_ ☐ Subject to \_\_\_\_\_

☐ Removed \_\_\_\_\_

☐ Notes \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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## ECONOMIC DEVELOPMENT COMMITTEE:

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1. EDC 2022-19 Aging-in-Community Memorandum of Understanding

☐ Approved: Y \_\_\_\_\_ N \_\_\_\_\_ ☐ Subject to \_\_\_\_\_

☐ Removed \_\_\_\_\_

☐ Notes \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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**MAYOR'S REPORT (CONT'D):**

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## 3. CC 2021-04 City Buildings Updates

☐ Approved: Y \_\_\_\_\_ N \_\_\_\_\_    ☐ Subject to \_\_\_\_\_☐ Removed \_\_\_\_\_☐ Notes \_\_\_\_\_

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## 4. CC 2021-38 Water Study Update

☐ Approved: Y \_\_\_\_\_ N \_\_\_\_\_    ☐ Subject to \_\_\_\_\_☐ Removed \_\_\_\_\_☐ Notes \_\_\_\_\_

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## 5. CC 2022-14 Ordinance Approving the 2022-2023 Fiscal Budget for the United City of Yorkville

☐ Approved: Y \_\_\_\_\_ N \_\_\_\_\_    ☐ Subject to \_\_\_\_\_☐ Removed \_\_\_\_\_☐ Notes \_\_\_\_\_

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**ADDITIONAL BUSINESS:**  
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**CITIZEN COMMENTS:**  
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Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Public Hearing #1

Tracking Number

EDC 2022-21

### Agenda Item Summary Memo

**Title:** Windmill Farms – 2<sup>nd</sup> Amendment to Annexation Agreement

**Meeting and Date:** City Council – April 12, 2022

**Synopsis:** \_\_\_\_\_  
\_\_\_\_\_

### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** \_\_\_\_\_

**Council Action Requested:** \_\_\_\_\_  
\_\_\_\_\_

**Submitted by:** Krysti J. Barksdale-Noble, AICP Community Development  
Name Department

### Agenda Item Notes:

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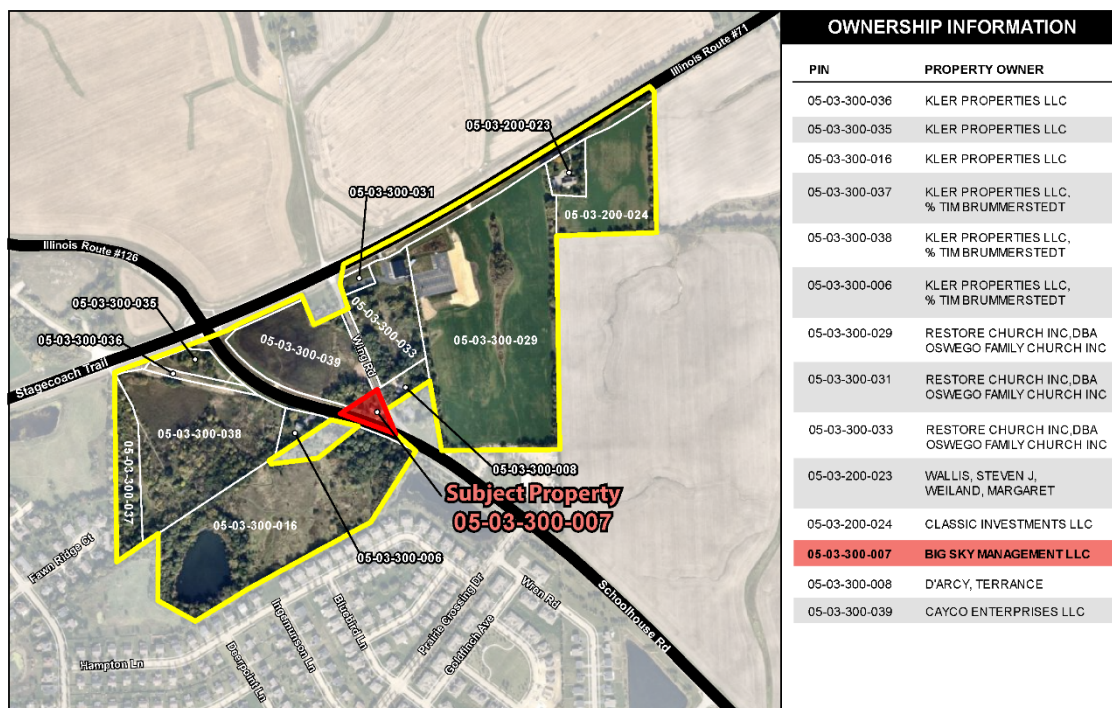


subject property from the previously approved annexation agreement. Since the annexation agreement is not set to expire until 2028, each property owner must seek City Council approval to remove themselves from the agreement's provisions by amendment. Once removed, the property will only retain its zoning, which is the PUD District zoning. Since the City no longer has a Planned Unit Development (PUD) zoning district, the property will be required to rezone. The proposed agreement amendment is being considered concurrently with a request for rezoning from PUD to B-3 General Business District by the Planning and Zoning Commission.

## **DEVELOPMENT BACKGROUND:**

In 2008, Windmill Farms was annexed into Yorkville and zoned within the Planned Unit Development (PUD) District via ordinances 2008-40 and 2008-42. The developer at that time, Jake Land Group, LLC, annexed eight (8) parcels totaling roughly 78-acres and assembled those with five (5) already annexed parcels to create a thirteen (13) parcel, an approximately 91-acre site, with a mix of residential and commercial land uses. Some of the parcels were purchased by the developer, while others were under contract. As part of the annexation agreement, certain B-3 General Business District and R-4 General Multi-Family Residence District land uses were permitted, and development was subject to the approved Windmill Farms concept land plan.

The annexation and zoning were the only approvals granted for the Windmill Farm development. Since that time, the Jake Land Group, LLC parcels were foreclosed upon and the contracts with the owners of the other parcels fell through. The property has remained vacant and undeveloped since the original approvals in 2008. Additionally, some parcels have been further subdivided. The current ownership of the parcels is depicted in the following map:



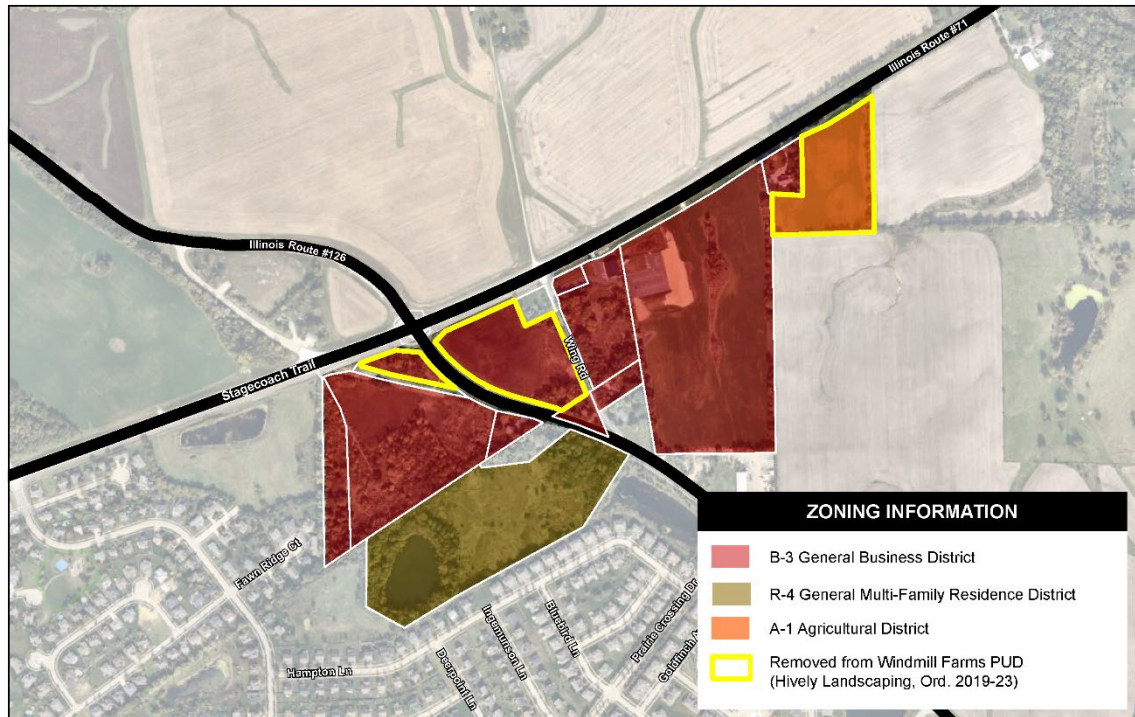
## **Windmill Farms Ownership Map**

United City of Yorkville, Illinois  
April 6, 2022



## **ZONING ANALYSIS:**

The existing Windmill Farms Annexation and Planned Unit Development Agreement presents a unique land approval dilemma for successor property owners, specifically related to zoning of the parcels currently for sale and future land use development. The annexation agreement, which is nearing 15 years of its 20-year term, established a Planned Unit Development (PUD) zoning district for the development with portions of the property subject to certain B-3 business and R-4 multi-family residential land uses. In 2019, Hively Landscaping petitioned for annexation amendment through an identical entitlement process for three (3) parcels they purchased in the Windmill Farms development and successfully rezoned them from PUD to B-3 General Business District and A-1 Agriculture as depicted in the zoning map below:



## Windmill Farms Zoning Map

United City of Yorkville, Illinois  
April 6, 2022



According to the 2006 annexation agreement for Windmill Farms, a preliminary process for the approval of a PUD as a special use was anticipated with the adoption of the concept plan. However, the concept plan was never formalized via an ordinance approving the special use for a Planned Unit Development (PUD) and final plat of subdivision. With the passage of time, the concept plan for the Windmill Farm development is no longer valid. Therefore, it is staff and the City Attorney's recommendation to amend the only authorizing document for the Windmill Farms development, the annexation and PUD agreement, to remove the subject parcel and thereby allowing it to be rezoned. Further, the rezoning will have no effect on the validity of the annexation itself.

### **PROPOSED AMENDMENT:**

As prepared by the City Attorney, the proposed amendment deletes Paragraph 1: Annexation and Zoning of the original annexation agreement and replaces it with the following:

*The City has adopted an ordinance annexing to the City the Subject Property and shall adopt an ordinance zoning the Subject Property into the B-3 General Business zoning district, which may be further changed without amendment of this Agreement pursuant to the procedures of the Zoning Code.*

Paragraph 2A of the annexation agreement is proposed to be deleted, as it relates solely to the concept plan that was never adopted into a final plat for a special use PUD. And finally, paragraphs B and D of Section 3 of the original annexation agreement regarding the requirement for connection to City water and annexing into the Yorkville Bristol Sanitary District is deleted in its entirety, too.

**STAFF COMMENTS:**

Staff is highly supportive of the proposed annexation agreement amendment based upon legal counsel recommendation and in consideration of the length of time the area has remained undeveloped under the current concept plan and zoning. Staff and the petitioner will be available at Tuesday night's meeting to answer any questions.

**ATTACHMENTS:**

1. Draft Ordinance Approving 2<sup>nd</sup> Amendment to the Annexation Agreement
2. Draft 2<sup>nd</sup> Amendment to the Annexation Agreement
3. Petitioner's Application
4. Ord. 2008-40
5. Public Hearing Notice

**Ordinance No. 2022-\_\_\_\_\_**

**AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS,  
APPROVING THE SECOND AMENDMENT TO THE ANNEXATION AND PLANNED UNIT  
DEVELOPMENT AGREEMENT FOR A PORTION OF THE WINDMILL FARMS DEVELOPMENT  
(BW Properties Holdings, LLC/Bricolage Wellness, PLLC)**

**WHEREAS**, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

**WHEREAS**, Jake Land Group, LLC (the “Original Owner”) entered into an *ANNEXATION AND PLANNED UNIT DEVELOPMENT AGREEMENT TO THE UNITED CITY OF YORKVILLE WINDMILL FARMS* (the “Original Annexation Agreement”) dated May 27, 2008 that was approved by the Mayor and City Council (the “Corporate Authorities”) by Ordinance No. 2008-40 on May 27, 2008 and recorded with the Kendall County Recorder on July 17, 2008 as document 200800016874; and,

**WHEREAS**, the Original Annexation Agreement provided for the annexation and zoning of approximately 62.82 acres of land to the City and the development of 15.32 acres already annexed to the City; and,

**WHEREAS**, on April 9, 2019, by Ordinance No. 2019-22, the Original Agreement was amended as it related to 16.21 acres of the Windmill Farms to rezone three (3) parcels to the City’s A-1 Agricultural District and B-3 General Business District for the development of a landscape nursery business (the "First Amendment"); the First Amendment was recorded with the Kendall County Recorder's Office on May 2, 2019 as document #201900005298; and,

**WHEREAS**, BW Properties Holdings, LLC (“Developer”) is the contract purchaser of approximately 1.17 acres of the Windmill Farms property that is legally described on Exhibit A attached hereto and made a part hereof (the “Subject Property”) with PIN Number: 05-03-300-007; and,

**WHEREAS**, Developer has petitioned the City to amend the Original Annexation Agreement to rezone the Subject Property pursuant to the current United City of Yorkville Zoning Ordinance (the “Zoning Code”) in order to permit the Developer to proceed with operation under the City’s B-3 General Business District for a professional services office use; and,

**WHEREAS**, the Corporate Authorities conducted a public hearing on the amendment of the Original Annexation Agreement on April 12, 2022 and the statutory procedures provided in 65 ILCS 5/11-15.1-1, as amended, for the approval of this Second Amendment have been complied with.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

**Section 1:** The above recitals are incorporated and made a part of this Ordinance.

**Section 2:** That the *SECOND AMENDMENT TO THE ANNEXATION AGREEMENT BETWEEN JAKE LAND GROUP LLC AND THE UNITED CITY OF YORKVILLE (Windmill Farms)*, attached hereto and made a part hereof by reference as Exhibit A be and is hereby approved and the

Mayor and City Clerk are hereby authorized and directed to execute and deliver said Second Amendment.

**Section 3:** This Ordinance shall be in full force and effect upon its passage, approval, and publication as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois this \_\_\_\_ day of \_\_\_\_\_, A.D. 2022.

\_\_\_\_\_  
CITY CLERK

KEN KOCH	_____	DAN TRANSIER	_____
ARDEN JOE PLOCHER	_____	CRAIG SOLING	_____
CHRIS FUNKHOUSER	_____	MATT MAREK	_____
SEAVER TARULIS	_____	JASON PETERSON	_____

**APPROVED** by me, as Mayor of the United City of Yorkville, Kendall County, Illinois this \_\_\_\_ day of \_\_\_\_\_, A.D. 2022.

\_\_\_\_\_  
MAYOR

**SECOND AMENDMENT  
TO THE ANNEXATION AGREEMENT  
BETWEEN JAKE LAND GROUP LLC AND THE UNITED CITY OF YORKVILLE  
(*Windmill Farms*)**

This Second Amendment (the “Amendment”) to the Annexation Agreement dated May 27, 2008, pertaining to the Windmill Farms properties, is entered into this \_\_\_ day of April, 2022, by and between the United City of Yorkville, Illinois, a municipal corporation (the “City”) and BW Properties Holdings, LLC d/b/a Bricolage Wellness, PPLC, the contract purchaser of a portion of the Windmill Farms properties (the “DEVELOPER”); and,

**WHEREAS**, Jake Land Group, LLC (the “Original Owner”) entered into an *ANNEXATION AND PLANNED UNIT DEVELOPMENT AGREEMENT TO THE UNITED CITY OF YORKVILLE WINDMILL FARMS* (the “Original Annexation Agreement”) dated May 27, 2008 that was approved by the Mayor and City Council (the “Corporate Authorities”) by Ordinance No. 2008-40 on May 27, 2008 and recorded with the Kendall County Recorder on July 17, 2008 as document 200800016874; and,

**WHEREAS**, the Original Annexation Agreement provided for the annexation of approximately 62.82 acres of land to the City and the development of 15.32 acres already annexed to the City (the “Property”), when due to the changes in the economic conditions in the country and most particularly in the region, the Original Owner lost ownership of the Property; and,

**WHEREAS**, on April 9, 2019, by Ordinance No. 2019-22, the Original Agreement was amended as it related to 16.21 acres of the Windmill Farms to rezone three (3) parcels to the City’s A-1 Agricultural District and B-3 General Business District for the development of a landscape nursery business (the "First Amendment"); the First Amendment was recorded with the Kendall County Recorder's Office on May 2, 2019 as document #201900005298; and,

**WHEREAS**, DEVELOPER is the contract purchaser of approximately 1.17 acres of the Windmill Farms property that is legally described on Exhibit A attached hereto and made a part hereof (the “Subject Property”) with PIN Number: 05-03-300-007; and,

**WHEREAS**, DEVELOPER has petitioned the City to rezone the Subject Property pursuant to the current United City of Yorkville Zoning Ordinance (the “Zoning Code”) in order to permit DEVELOPER to proceed with operation under the City’s B-3 General Business District for a professional services office use; and,

**WHEREAS**, the DEVELOPER is prepared to participate in all public hearings as required by law to accomplish this Amendment to the Original Annexation Agreement and as may be required to rezone the Property under the Zoning Code.

**NOW, THEREFORE**, the parties hereto agree as follows:

1. The above recitals are incorporated herein and made a part of this Agreement.
2. That the fifth whereas clause be and is hereby repealed.
3. That Paragraph 1 of the Original Annexation Agreement is hereby deleted and replaced with the following:

#### ANNEXATION AND ZONING

The City has adopted an ordinance annexing to the City the Subject Property and shall adopt an ordinance zoning the Subject Property into the B-3 General Business District for parcel 05-03-300-007, which may be further changed without amendment of this Agreement pursuant to the procedures of the Zoning Code.

4. That Paragraph 2A of the Original Annexation Agreement is hereby deleted in its entirety.

5. That Paragraph 9, Notice, of the Original Annexation Agreement is hereby amended by deleting the person named to receive notice for the Developer and insert the following:

To Developer:

Dawn Leprich-Graves  
BW Property Holdings, LLC/Bricolage Wellness, PPLC  
477 E. Butterfield Road  
Suite 212  
Lombard, IL 60148

With a copy to:

Jeff M. Goldberg  
Hinshaw and Culbertson, LLP  
151 N. Franklin St.  
Suite 2500  
Chicago, IL 60606

6. That Paragraphs B and D of Section 3, of the Original Annexation Agreement regarding the requirement for connection to City water and annexing into the Yorkville Bristol Sanitary District is hereby deleted in its entirety.

**IN WITNESS WHEREOF**, the parties hereto have caused this Second Amendment to the Original Annexation Agreement to be executed by their duly authorized officers on the above date at Yorkville, Illinois.

United City of Yorkville, an Illinois municipal  
Corporation

By: \_\_\_\_\_  
Mayor



*Attest:*

\_\_\_\_\_  
City Clerk

DEVELOPER

By:

\_\_\_\_\_  
BW Property Holdings, LLC/Bricolage Wellness, PPLC

*Attest:*

\_\_\_\_\_  
Witness

## **EXHIBIT A**

### **LEGAL DESCRIPTION**

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1,995.6 FEET TO THE CENTERLINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG SAID CENTERLINE OF ILLINOIS ROUTE 71, 1,411.3 FEET TO THE CENTERLINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG THE EXTENDED CENTERLINE AND THE CENTERLINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25 MINUTES TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTERLINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FROM THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47 MINUTES TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTERLINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE OF ILLINOIS ROUTE 126 TO THE CENTERLINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTERLINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

PIN# 05-03-300-007



United City of Yorkville  
800 Game Farm Road  
Yorkville, Illinois, 60560  
Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: [www.yorkville.il.us](http://www.yorkville.il.us)

# APPLICATION FOR AGREEMENT AMENDMENT

DATE: 2/7/2022	PZC NUMBER:	DEVELOPMENT NAME: Windmill Farms	
<b>PETITIONER INFORMATION</b>			
NAME: Dawn Leprieux Graves		COMPANY: BW Yorkville Holdings, LLC/Bricolage wellness, PLLC	
MAILING ADDRESS: 477 E. Butterfield Rd, Suite 212			
CITY, STATE, ZIP: Lombard, IL 60148		TELEPHONE: <input checked="" type="radio"/> BUSINESS <input type="radio"/> HOME 630-866-5666	
EMAIL: Dawn@bricolage-wellness.com		FAX:	
<b>PROPERTY INFORMATION</b>			
NAME OF HOLDER OF LEGAL TITLE: Big Sky Management, LLC/ Frances L. Alexander, owner			
IF LEGAL TITLE IS HELD BY A LAND TRUST, LIST THE NAMES OF ALL HOLDERS OF ANY BENEFICIAL INTEREST THEREIN:			
PROPERTY STREET ADDRESS: 8721 Route 126			
DESCRIPTION OF PROPERTY'S PHYSICAL LOCATION: South of IL Route 71, at the northwest intersection of Wing Road and IL State Route 126.			
CURRENT ZONING CLASSIFICATION: Planned Unit Development (PUD) underlying zoning of B-3			
LIST ALL GOVERNMENTAL ENTITIES OR AGENCIES REQUIRED TO RECEIVE NOTICE UNDER ILLINOIS LAW: N/A			
<b>ZONING AND LAND USE OF SURROUNDING PROPERTIES</b>			
NORTH: B-3 undeveloped/vacant land			
EAST: Planned Unit Development (PUD) underlying zoning of B-3; Unincorporated parcel residential			
SOUTH: Planned Unit Development (PUD) underlying zoning of B-3; Unincorporated parcel residential			
WEST: Planned Unit Development (PUD) underlying zoning of B-3 and R-4			
<b>KENDALL COUNTY PARCEL IDENTIFICATION NUMBER(S)</b>			
05-03-300-007			



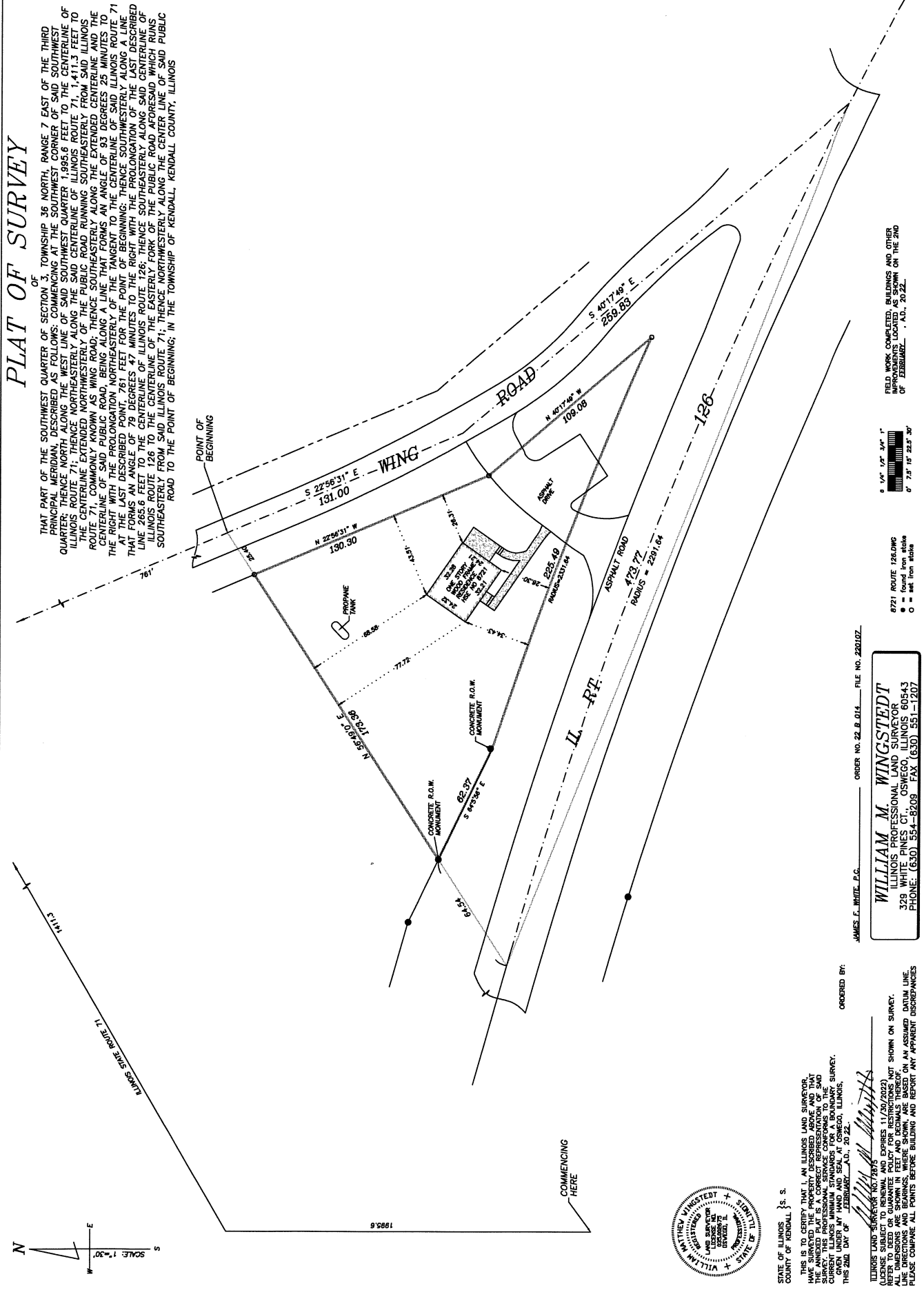
United City of Yorkville  
800 Game Farm Road  
Yorkville, Illinois, 60560  
Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: [www.yorkville.il.us](http://www.yorkville.il.us)

# APPLICATION FOR AGREEMENT AMENDMENT

PROPERTY INFORMATION
NAME OF AGREEMENT: Ord. No. 2008-40 Annexation and Planned Unit Development Agreement (Windmill Farms)
DATE OF RECORDING: 07-17-2008
SUMMARIZE THE ITEMS TO BE AMENDED FROM THE EXISTING AGREEMENT:  Purchase of existing residential structure that is currently vacant to utilize for a professional services business. Applicant is requesting the existing Planned Unit Development (PUD) for Windmill Farms be repealed for this parcel. Applicant is also requesting the underlying zoning of B-3 to remain.
ATTACHMENTS
Petitioner must attach a legal description of the property to this application and title it as "Exhibit A".  Petitioner must list the names and addresses of any adjoining or contiguous landowners within five hundred (500) feet of the property that are entitled notice of application under any applicable City Ordinance or State Statute. Attach a separate list to this application and title it as "Exhibit B".  Petitioner must attach a true and correct copy of the existing agreement and title it as "Exhibit C".  Petitioner must attach amendments from the existing agreement and title it as "Exhibit D".

# PLAT OF SURVEY

OF  
THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1,995.6 FEET TO THE CENTERLINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, 1,411.3 FEET TO THE CENTERLINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 83 DEGREES 51 MINUTES TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTERLINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT. 761 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47 MINUTES TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTERLINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE OF ILLINOIS ROUTE 126 TO THE CENTERLINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; IN THE TOWNSHIP OF KENDALL, COUNTY, ILLINOIS



FIELD WORK COMPLETED, BUILDINGS AND OTHER IMPROVEMENTS LOCATED AS SHOWN ON THE 2ND OF FEBRUARY, A.D., 2022.

6 1/4" 1/2" 3/4" 1" 0' 7.5' 15' 22.5' 30'

8721 ROUTE 126.DWG  
● = Found from stakes  
○ = Set from stakes

JAMES F. WHITE, P.C. ORDER NO. 22.B.014 FILE NO. 220102

**WILLIAM M. WINGSTEDT**  
ILLINOIS PROFESSIONAL LAND SURVEYOR  
329 WHITE PINES CT., OSWEGO, ILLINOIS 60543  
PHONE: (630) 554-8209 FAX (630) 551-1207

ORDERED BY:

ILLINOIS LAND SURVEYOR NO. 17878  
(LICENSE SUBJECT TO RENEWAL AND EXPIRES 11/30/2022)  
ALL DATA USED OR GUARANTEED POLICY OR RESTRICTIONS NOT SHOWN ON SURVEY.  
LINE DIRECTIONS AND BEARINGS, WHERE SHOWN, ARE BASED ON AN ASSUMED DATUM LINE.  
PLEASE COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY APPARENT DISCREPANCIES  
THIS 2ND DAY OF FEBRUARY, A.D., 2022.



STATE OF ILLINOIS } s. s.



United City of Yorkville  
800 Game Farm Road  
Yorkville, Illinois, 60560  
Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: www.yorkville.il.us

# APPLICATION FOR AGREEMENT AMENDMENT

## ATTORNEY INFORMATION

NAME: Jeff Goldberg

COMPANY: Hinshaw & Culbertson

MAILING ADDRESS: 151 N. Franklin St, Suite 2500

CITY, STATE, ZIP: Chicago, IL 60606

TELEPHONE: 312-704-3771

EMAIL: jgoldberg@hinshawlaw.com

FAX:

## ENGINEER INFORMATION

NAME:

COMPANY:

MAILING ADDRESS:

CITY, STATE, ZIP:

TELEPHONE:

EMAIL:

FAX:

## LAND PLANNER/SURVEYOR INFORMATION

NAME:

COMPANY:

MAILING ADDRESS:

CITY, STATE, ZIP:

TELEPHONE:

EMAIL:

FAX:

## AGREEMENT

I VERIFY THAT ALL THE INFORMATION IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE. I UNDERSTAND AND ACCEPT ALL REQUIREMENTS AND FEES AS OUTLINED AS WELL AS ANY INCURRED ADMINISTRATIVE AND PLANNING CONSULTANT FEES WHICH MUST BE CURRENT BEFORE THIS PROJECT CAN PROCEED TO THE NEXT SCHEDULED COMMITTEE MEETING.

I UNDERSTAND ALL OF THE INFORMATION PRESENTED IN THIS DOCUMENT AND UNDERSTAND THAT IF AN APPLICATION BECOMES DORMANT IT IS THROUGH MY OWN FAULT AND I MUST THEREFORE FOLLOW THE REQUIREMENTS OUTLINED ABOVE.

PETITIONER SIGNATURE

DATE

OWNER HEREBY AUTHORIZES THE PETITIONER TO PURSUE THE APPROPRIATE ENTITLEMENTS ON THE PROPERTY.

OWNER SIGNATURE

DATE

NOTARY PUBLIC STATE OF ILLINOIS  
MY COMMISSION EXPIRES 12/31/2025

**"OFFICIAL SEAL"**  
**Monica Rathman**  
**Notary Public, State of Illinois**  
My Commission Expires November 28, 2025

Notary

Monica Rathman, February 1, 2022





United City of Yorkville  
800 Game Farm Road  
Yorkville, Illinois, 60560  
Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: [www.yorkville.il.us](http://www.yorkville.il.us)

# APPLICANT DEPOSIT ACCOUNT/ ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY

PROJECT NUMBER:	FUND ACCOUNT NUMBER:	PROPERTY ADDRESS: 8721 Route 126, Yorkville
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**PETITIONER DEPOSIT ACCOUNT FUND:**

It is the policy of the United City of Yorkville to require any petitioner seeking approval on a project or entitlement request to establish a Petitioner Deposit Account Fund to cover all actual expenses occurred as a result of processing such applications and requests. Typical requests requiring the establishment of a Petitioner Deposit Account Fund include, but are not limited to, plan review of development approvals/engineering permits. Deposit account funds may also be used to cover costs for services related to legal fees, engineering and other plan reviews, processing of other governmental applications, recording fees and other outside coordination and consulting fees. Each fund account is established with an initial deposit based upon the estimated cost for services provided in the **INVOICE & WORKSHEET PETITION APPLICATION**. This initial deposit is drawn against to pay for these services related to the project or request. Periodically throughout the project review/approval process, the Financially Responsible Party will receive an invoice reflecting the charges made against the account. At any time the balance of the fund account fall below ten percent (10%) of the original deposit amount, the Financially Responsible Party will receive an invoice requesting additional funds equal to one-hundred percent (100%) of the initial deposit if subsequent reviews/fees related to the project are required. In the event that a deposit account is not immediately replenished, review by the administrative staff, consultants, boards and commissions may be suspended until the account is fully replenished. If additional funds remain in the deposit account at the completion of the project, the city will refund the balance to the Financially Responsible Party. A written request must be submitted by the Financially Responsible Party to the city by the 15th of the month in order for the refund check to be processed and distributed by the 15th of the following month. All refund checks will be made payable to the Financially Responsible Party and mailed to the address provided when the account was established.

**ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY**

NAME: Dawn Leprich-Graves	COMPANY: BW Yorkville Holdings, LLC/ Bricolage Wellness, PLLC
MAILING ADDRESS: 477 E. Butterfield Rd, Suite 212	
CITY, STATE, ZIP: Lombard, IL 60148	TELEPHONE: 630-866-5666
EMAIL: Dawn@bricolage-wellness.com	FAX:

**FINANCIALLY RESPONSIBLE PARTY:**

I acknowledge and understand that as the Financially Responsible Party, expenses may exceed the estimated initial deposit and, when requested by the United City of Yorkville, I will provide additional funds to maintain the required account balance. Further, the sale or other disposition of the property does not relieve the individual or Company/Corporation of their obligation to maintain a positive balance in the fund account, unless the United City of Yorkville approves a Change of Responsible Party and transfer of funds. Should the account go into deficit, all City work may stop until the requested replenishment deposit is received.

Dawn Leprich-Graves	Owner & Clinical Therapist
PRINT NAME	TITLE
SIGNATURE*	DATE

*\*The name of the individual and the person who signs this declaration must be the same. If a corporation is listed, a corporate officer must sign the declaration (President, Vice-President, Chairman, Secretary or Treasurer)*

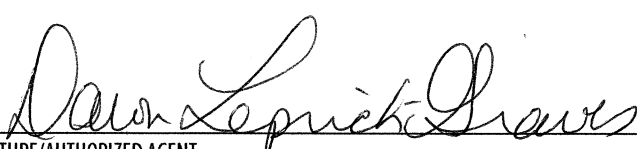
**INITIAL ENGINEERING/LEGAL DEPOSIT TOTALS**

ENGINEERING DEPOSITS:		LEGAL DEPOSITS:	
Up to one (1) acre	\$5,000	Less than two (2) acres	\$1,000
Over one (1) acre, but less than ten (10) acres	\$10,000	Over two (2) acres, but less than ten (10) acres	\$2,500
Over ten (10) acres, but less than forty (40) acres	\$15,000	Over ten (10) acres	\$5,000
Over forty (40) acres, but less than one hundred (100)	\$20,000		
In excess of one hundred (100.00) acres	\$25,000		



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Fax: 630-553-7575  
Website: [www.yorkville.il.us](http://www.yorkville.il.us)

# APPLICATION FOR PUBLIC HEARING SIGN

<b>PERMIT NUMBER:</b>		<b>DATE/TIME RECEIVED:</b>	
SITE ADDRESS: 8721 Route 126, Yorkville		PARCEL NUMBER:	
SUBDIVISION: Windmill Farms		LOT/UNIT:	
<b>APPLICANT INFORMATION</b>			
NAME: Dawn Leprich-Graves		TELEPHONE: <input type="radio"/> HOME <input checked="" type="radio"/> BUSINESS 630-866-5666	
ADDRESS: 477 E. Butterfield Rd, Suite 212		E-MAIL: <input type="radio"/> HOME <input checked="" type="radio"/> BUSINESS dawn@bricolage-wellness.com	
CITY, STATE, ZIP: Lombard, IL 60148		FAX:	
<b>SIGN INFORMATION</b>			
DATE OF PICK UP:		NUMBER OF SIGNS:	
DATE OF PUBLIC HEARING:		SIGN RETURN DATE:	
<p>The undersigned hereby states that they have acquired Public Hearing Signs from the United City of Yorkville's Community Development Department and agrees to return said sign/s to Yorkville City Hall, 800 Game Farm Road, Yorkville, Illinois, immediately following the date of the public hearing.</p> <p>Petitioner or Representative agrees to pay to the United City of Yorkville a deposit of \$50 for each sign. The deposit will be returned to the petitioner when the public hearing sign/s have been returned to the City.</p> <p>Petitioner or Representative further agrees to pay to the United City of Yorkville the full amount of the purchase price for each sign not returned to the United City of Yorkville within seven (7) days after the date of the public hearing.</p> <div><div> SIGNATURE/AUTHORIZED AGENT</div><div><u>2/8/2022</u> DATE</div></div>			
DATE RETURNED: _____			
RECEIVED BY: _____		PZC# _____	



STATE OF ILLINOIS       )  
                                  ) ss.  
COUNTY OF KENDALL     )

200800016874  
Filed for Record in  
KENDALL COUNTY, ILLINOIS  
RENNETTA S MICKELSON  
07-17-2008 At 09:50 am.  
ORDINANCE           102.00  
RHSP Surcharge       10.00

*Ordinance No. 2008- 40*

**AN ORDINANCE AUTHORIZING THE EXECUTION OF AN ANNEXATION  
AND  
PLANNED UNIT DEVELOPMENT AGREEMENT  
(Windmill Farms)**

**WHEREAS**, it is prudent and in the best interest of the United City of Yorkville, Kendall County, Illinois, to enter into a certain Annexation and Planned Unit Development Agreement pertaining to the annexation of real estate described on Exhibit A attached thereto and made a part hereof; and,

**WHEREAS**, said Annexation and Planned Unit Development Agreement has been reviewed, discussed and considered by the City Council; and,

**WHEREAS**, the legal owners of record of the territory which is the subject of said Agreement are ready, willing and able to enter into said Agreement and to perform the obligations as required hereunder; and,

**WHEREAS**, the statutory procedures as set forth in 65 ILCS 5/11-15.1-1, pertaining to the approval and execution of annexation and planned unit development agreement have been fully satisfied; and,

**WHEREAS**, the property is contiguous to the existing boundaries of the City.

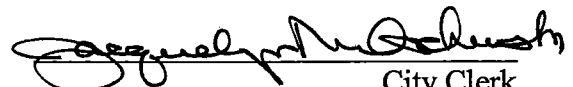
**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and City Council of the United City of Yorkville that the City Code of the City of Yorkville be amended as follows:

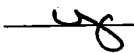


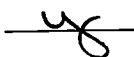
*Section 1.* The Mayor and City Council hereby approve the Annexation and Planned Unit Development Agreement a copy of which is attached to this Ordinance (the "*Annexation and Planned Unit Development Agreement*"), pertaining to the real estate legally described on *Exhibit A* also attached hereto.




*Section 2.* The Mayor and City Clerk are herewith authorized and directed to execute, on behalf of the City, said Annexation and Planned Unit Development Agreement and the Clerk is further directed to file said Annexation and Planned Unit Development Agreement with the Kendall County Recorder's Office.

*Section 3.* This Ordinance shall be in full force and effect immediately from and after its passage and approval according to law.

*Passed* by the City Council of the United City of Yorkville, Kendall County, Illinois, this 27 day of May, A.D. 2008.

  
City Clerk

ROBYN SUTCLIFF	
ARDEN JOE PLOCHER	
GARY GOLINSKI	
ROSE SPEARS	

JOSEPH BESCO	
WALLY WERDERICH	
MARTY MUNNS	

**APPROVED** by me, as Mayor of the United City of Yorkville, Kendall County, Illinois,  
this 27 day of may, A.D. 2008.

Valerie Burd  
Mayor

**EXHIBIT A**  
**LEGAL DESCRIPTION**

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH  $00^{\circ}14'45''$  EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH  $89^{\circ}50'00''$  WEST, 684.42 FEET; THENCE NORTH  $09^{\circ}30'00''$  WEST, 592.27 FEET; THENCE SOUTH  $57^{\circ}33'55''$  WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH  $21^{\circ}52'29''$  WEST, ALONG SAID EASTERLY LINE, 705.85 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71 FOR THE POINT OF BEGINNING; THENCE SOUTH  $21^{\circ}52'29''$  EAST, ALONG SAID EASTERLY LINE, 119.0 FEET; THENCE NORTH  $68^{\circ}07'31''$  EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH  $21^{\circ}52'29''$  WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE SOUTHWESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE RIGHT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 211.39 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 0.6060 ACRE.

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH  $00^{\circ}14'45''$  EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH  $89^{\circ}50'00''$  WEST, 684.42 FEET; THENCE NORTH  $09^{\circ}30'00''$  WEST, 592.27 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH  $57^{\circ}33'55''$  WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH  $21^{\circ}52'29''$  WEST, ALONG SAID EASTERLY LINE, 586.85 FEET TO A POINT ON SAID EASTERLY LINE WHICH IS 119.0 FEET (MEASURED ALONG SAID EASTERLY LINE) SOUTHEASTERLY OF THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTH  $68^{\circ}07'31''$  EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH  $21^{\circ}52'29''$  WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE LEFT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 261.03 FEET TO A LINE DRAWN NORTH  $09^{\circ}30'00''$  WEST FROM THE POINT OF BEGINNING; THENCE SOUTH  $09^{\circ}30'00''$  EAST, ALONG SAID LINE, 695.72 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 5.6041 ACRES.

THAT PART OF THE NORTH 1/2 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE SOUTH 0 DEGREES, 07 MINUTES, 44 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST 1/4, 1284.36 FEET; THENCE NORTH 89 DEGREES, 47 MINUTES, 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES, 32 MINUTES, 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES, 05 MINUTES, 46 SECONDS WEST, 748.40 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE TIC. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES, 50 MINUTES, 30 SECONDS WEST AT THE LAST DESCRIBED POINT. 627.46; THENCE NORTH 60 DEGREES, 02 MINUTES, 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 12 DEGREES, 27 MINUTES, 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES, 27 MINUTES, 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 0 DEGREES, 47 MINUTES, 30 SECONDS WEST, 423.02 FEET TO SAID CENTER LINE; THENCE SOUTH 60 DEGREES, 02 MINUTES, 30 SECONDS WEST ALONG CENTER LINE, 291.76 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE NORTHEAST, NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1284.36 FEET; THENCE SOUTH 89 DEGREES 29 MINUTES 40 SECONDS WEST 680.30 FEET; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 10.0 FEET FOR A POINT OF BEGINNING; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 579.63 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 24 SECONDS WEST ALONG THE EAST LINE OF SAID BOYD TRACT 748.57 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 49 MINUTES 16 SECONDS WEST AT THE LAST DESCRIBED POINT 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 332.0 FEET; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST 202.0 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 30 SECONDS WEST 423.02 FEET TO SAID CENTER LINE; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 412.69 FEET TO A LINE DRAWN NORTH 00 DEGREES 10 MINUTES 46 SECONDS EAST PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER, FROM A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER WHICH IS 598.62 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID PARALLEL LINE 880.56 FEET TO SAID SOUTH LINE; THENCE SOUTH 89 DEGREES 34 MINUTES 48 SECONDS WEST ALONG SAID SOUTH LINE 598.62 FEET TO SAID SOUTHWEST CORNER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID EAST LINE 1275.36 FEET TO A LINE DRAWN SOUTH 89 DEGREES 40 MINUTES 33 SECONDS EAST FROM THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 40 MINUTES 33 SECONDS WEST 681.94 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 08 MINUTES 09 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTH 57 DEGREES 59 MINUTES 05 SECONDS EAST ALONG SAID OLD CLAIM LINE 299.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 1 DEGREE 51 MINUTES 32 SECONDS WEST, 402.10 FEET; THENCE SOUTH 59 DEGREES 55 MINUTES, 25 SECONDS EAST, 256.51 FEET; THENCE NORTH 59 DEGREES 55 MINUTES 25 SECONDS EAST 355.65 FEET; THENCE NORTH 62 DEGREES 43 MINUTES 29 SECONDS EAST, 853.57 FEET; THENCE NORTH 33 DEGREES 24 MINUTES 40 SECONDS EAST, 542.27 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2292.01 FEET AND A RADIAL BEARING OF SOUTH 29 DEGREES 23 MINUTES 51 SECONDS WEST AT THE LAST DESCRIBED POINT, 358.41 FEET TO A POINT WHICH IS 151.00 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE AND SAID OLD CLAIM LINE; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 265.70 FEET; THENCE SOUTH 73 DEGREES 54 MINUTES 28 SECONDS WEST, 102.86 FEET; THENCE SOUTH 84 DEGREES 11 MINUTES 54 SECONDS WEST, 280.96 FEET; THENCE NORTH 32 DEGREES 00 MINUTES 55 SECONDS WEST, 24.19 FEET TO SAID OLD CLAIM LINE; THENCE SOUTH 87 DEGREES 59 MINUTES 05 SECONDS WEST ALONG SAID OLD CLAIM LINE 789.92 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

A PERPETUAL EASEMENT FOR THE OPERATION, MAINTENANCE AND USE OF A SEPTIC FIELD FOR THE BENEFIT OF PARCEL ONE HEREINABOVE DESCRIBED, UNDER AND UPON THE FOLLOWING DESCRIBED PARCEL OF REAL ESTATE CONTIGUOUS TO PARCEL ONE TO WIT:

COMMENCING AT THE MOST NORTHERLY CORNER OF PARCEL ONE HEREINABOVE DESCRIBED ON THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 47.12 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF ILLINOIS STATE ROUTE NUMBER 126, FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 105.0 FEET; THENCE NORTH 32 DEGREES 08 MINUTES 38 SECONDS WEST, 152.18 FEET; THENCE SOUTH 76 DEGREES 09 MINUTES 49 SECONDS EAST, 5.28 PEEP; THENCE SOUTH 70 DEGREES 39 MINUTES 49 SECONDS EAST, 158.65 FEET, TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, ALL IN KENDALL COUNTY ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET A POINT OF BEGINNING THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID CLAIM LINE, 941.92 FEET TO A POINT ON A LINE DRAWN SOUTHWESTERLY, PERPENDICULAR TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FROM A POINT ON SAID CENTER LINE WHICH IS 1049.70 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE WITH THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTHEASTERLY TO SAID POINT ON SAID CENTER LINE OF ILLINOIS ROUTE 126 AFORESAID; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE AND TO SAID ROUTE 71 CENTER LINE; THENCE SOUTHWESTERLY ALONG SAID ROUTE 71 CENTER LINE, 30.58 FEET TO SAID WEST LINE; THENCE SOUTHERLY ALONG SAID WEST LINE, 78.83 FEET, TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 3; THENCE NORTH 00 DEGREES 00 MINUTES 38 SECONDS EAST, ON A BEARING REFERENCED TO AN ASSUMED NORTH, 1925.21 FEET ON THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS EAST 58.55 FEET TO THE EXISTING SOUTHEASTERLY RIGHT OF WAY LINE OF A.F.A.P. ROUTE 311 (IL ROUTE 71) AND THE POINT OF BEGINNING; THENCE NORTH 72 DEGREES 34 MINUTES 00 SECONDS EAST 35.28 FEET ON SAID SOUTHEASTERLY RIGHT OF WAY LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF S.B.I. ROUTE 66 (IL ROUTE 126); THENCE SOUTH 70 DEGREES 08 MINUTES 35 SECONDS EAST 125.66 FEET ON SAID SOUTHERLY RIGHT OF WAY LINE; THENCE NORTH 81 DEGREES 09 MINUTES 04 SECONDS WEST 51.85 FEET; THENCE NORTH 76 DEGREES 30 MINUTES 40 SECONDS WEST 103.47 FEET TO THE POINT OF BEGINNING), IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE FOR A POINT OF BEGINNING; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE SOUTHWESTERLY ALONG SAID CLAIM LINE, 188.42 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS

ROUTE 71; THENCE NORTHEASTERLY ALONG THE SAID CENTER LINE OF ILLINOIS ROUTE 71, 1411.3 FEET TO THE CENTER LINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG TILE EXTENDED CENTER LINE AND THE CENTER LINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25' TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTER LINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47' TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126 TO THE CENTER LINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; TO THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

GRANTEE HEREBY ASSUMES AND AGREES TO PAY THE UNPAID BALANCE ON THE EXISTING MORTGAGE RECORDED IN BOOK PAGE , THE DEBT SECURED THEREBY AND ALSO HEREBY ASSUMES -THE OBLIGATIONS UNDER THE TERN OF THE INSTRUMENTS CREATING THE LOANS DOCUMENT NO. 79—1053.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE - NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG -THE WEST LINE OF SAID SOUTHWEST QUARTER, - 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID CENTER LINE 30.45 FEET TO THE POINT OF INTERSECTION OF SAID CENTER LINE WITH CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FOR THE POINT OF BEGINNING; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 230.67 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT AT THE LAST DESCRIPTION POINT, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 761.0 FEET; THENCE SOUTH 58 DEGREES 16 MINUTES 47 SECONDS WEST 265.35 FEET TO SAID ROUTE 126 CENTER LINE; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE BEING ALONG A CURVE TO THE LEFT AND HAVING A RADIUS OF 2,292.01 FEET WHICH IS TANGENT TO A LINE DRAWN NORTH 72 DEGREES 57 MINUTES 06 SECONDS WEST FROM THE LAST DESCRIBED POINT 147.93 FEET; THENCE NORTH 16 DEGREES 38 MINUTES 49 SECONDS WEST ALONG SAID ROUTE 126 CENTERLINE 850.98 FEET; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTERLINE BEING ALONG A CURVE TO THE RIGHT AND HAVING A RADIUS OF 2,148.79 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 383.53 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36- NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG -THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 261.12 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 15,459.20 FEET WHICH IS TANGENT TO THE LAST-DESCRIBED COURSE 1141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD FOR THE POINT OF BEGINNING (THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 258.05 FEET; THENCE SOUTH 58 DEGREES 29 MINUTES 47 SECONDS WEST 200.0 FEET; THENCE NORTH 21 DEGREES 30 MINUTES 13 SECONDS WEST PARALLEL WITH SAID WING ROAD CENTER LINE 250.0 FEET TO SAID ROUTE 71 CENTER LINE; THENCE NORTHEASTERLY ALONG SAID ROUTE 71 CENTER LINE 200.16 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, (ILLINOIS, AND ALSO EXCEPTING, THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3 IN TOWNSHIP 38 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING FROM THE POINT OF BEGINNING; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 230.66 FEET ALONG SAID CENTERLINE; THENCE NORTHEASTERLY, 940.56 FEET ALONG AN 11,479.02 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 67 DEGREES 34 MINUTES 29 SECONDS EAST, 940.31 FEET; THENCE SOUTH 22 DEGREES 56 MINUTES 31 SECONDS EAST, 60.03 FEET; THENCE SOUTHWESTERLY, 418.10 FEET ON AN 11,539.02 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING SOUTH 66 DEGREES 16 MINUTES 29 SECONDS WEST, 418.08 FEET; THENCE SOUTH 59 DEGREES 24 MINUTES 09 SECONDS WEST, 71.10 FEET; THENCE SOUTH 25 DEGREES 14 MINUTES 24 SECONDS WEST, 60.52 FEET; THENCE SOUTHEASTERLY, 570.87 FEET ON AN 675.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING SOUTH 55 DEGREES 22 MINUTES 46 SECONDS EAST, 560.80 FEET; THENCE SOUTH 74 DEGREES 04 MINUTES 13 SECONDS EAST, 274.41 FEET; THENCE SOUTH 64 DEGREES 05 MINUTES 29 SECONDS EAST, 35.85 FEET; THENCE SOUTH 55 DEGREES 49 MINUTES 00 SECONDS WEST, 64.56 FEET TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE NORTHWESTERLY, 162.08 FEET ON SAID CENTERLINE BEING A 2,291.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 76 DEGREES 16 MINUTES 12 SECONDS WEST, 162.05 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 357.37 FEET ON SAID CENTERLINE; THENCE NORTH 53 DEGREES 52 MINUTES 46 SECONDS WEST, 96.76 FEET TO THE EXISTING NORTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 297.03 FEET ON A 990.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 45 DEGREES 17 MINUTES 03 SECONDS WEST, 295.92 FEET; THENCE NORTH 36 DEGREES 39 MINUTES 21 SECONDS WEST, 23.77 FEET; THENCE NORTH 77 DEGREES 19 MINUTES 36 SECONDS WEST, 64.74 FEET; THENCE SOUTH 69 DEGREES 03

MINUTES 36 SECONDS WEST, 100.61 FEET; THENCE SOUTH 69 DEGREES 55 MINUTES 52 SECONDS WEST, 149.98 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SAID IL 71; THENCE SOUTH 65 DEGREES 32 MINUTES 40 SECONDS WEST, 113.94 FEET TO THE CENTERLINE OF SAID IL 126; THENCE NORTHWESTERLY, 119.55 FEET ON SAID CENTERLINE BEING A 2,170.59 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 69 DEGREES 20 MINUTES 17 SECONDS WEST, 119.54 FEET TO THE POINT OF BEGINNING.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 07°44" EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1236.84 FEET TO A POINT ON SAID EAST LINE WHICH IS 1284.36 FEET SOUTH OF THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89°47'31" WEST, 684.42 FEET; THENCE NORTH 09°32'39" WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD 88 ON PAGE 399, FOR THE POINT OF BEGINNING; THENCE SOUTH 57°58'56" WEST ALONG THE SOUTHERLY LINE OF SAID BOYD TRACT AND SAID SOUTHERLY LINE EXTENDED 352.89 FEET TO THE CENTER LINE OF WING ROAD; THENCE SOUTH 21°28'35" EAST ALONG SAID CENTERLINE 131.00 FEET; THENCE NORTH 57°58'56" EAST PARALLEL WITH SAID SOUTHERLY LINE 323.58 FEET TO A POINT WHICH IS SOUTH 09°32'39" EAST, 139.37 FEET FROM THE POINT OF BEGINNING; THENCE NORTH 09°32'39" WEST, 139.37 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 7L; THENCE EASTERLY ALONG SAID CENTER LINE 32.2 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126, 1049.7 FEET FOR THE POINT, OF BEGINNING; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO SAID CENTER LINE, 339.9 FEET TO AN OLD CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID OLD CLAIM LINE WHICH MAKES AN ANGLE OF 44°21' (MEASURED CLOCKWISE FROM THE LAST DESCRIBED COURSE) 468.6 FEET TO THE CENTER LINE OF SAID ILLINOIS ROUTE 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE 328.1 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS. EXCEPT THEREFROM THE BELOW DESCRIBED PARCEL:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 399.15 FEET ALONG A 2,170.59 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF SOUTH 73 DEGREES 01 MINUTE 41 SECONDS EAST, 398.58 FEET THENCE SOUTH 78 DEGREES 17 MINUTES 46 SECONDS EAST, 649.36 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING, THENCE SOUTH 78° DEGREES 17 MINUTES 46 SECONDS EAST, 172.16 FEET ALONG SAID CENTERLINE; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 162.08 FEET ALONG A 2,291.64 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING OF SOUTH 76 DEGREES 16 MINUTES 12 SECONDS EAST, 162.05 FEET; THENCE SOUTH 56 DEGREES 32 MINUTES 11 SECONDS WEST, 65.63 FEET; THENCE NORTH 74 DEGREES 04 MINUTES 13 SECONDS WEST, 5.13 FEET; THENCE NORTH 65 DEGREES 29 MINUTES 14 SECONDS WEST, 50.57 FEET, TO THE SOUTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 61.11 FEET ON SAID RIGHT OF WAY LINE BEING ON A 2,251.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF NORTH 77 DEGREES 31 MINUTES 09 SECONDS WEST, 61.11 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 172.27 FEET ALONG SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 11 DEGREES 52 MINUTES 19 SECONDS EAST, 40.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.297 ACRE MORE OR LESS, OF WHICH 0.290 ACRE, MORE OR LESS, IS LYING WITHIN PUBLIC ROAD RIGHT OF WAY, SITUATED IN THE COUNTY OF KENDALL AND STATE OF ILLINOIS, HEREBY RELEASING AND WAVING ALL RIGHTS UNDER AND BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE.





WHEREAS, OWNER/DEVELOPER desires to annex into the CITY the PROPERTY described in the attached Exhibit "A-1" and depicted in the Annexation Plat which is attached hereto and incorporated herein as Exhibit "B" The CITY Plan Commission has considered the Petition to Annex and Zone and positively recommended the same and the City Council has heretofore both requested and approved the proposed land use and the zoning of the same at the request of OWNER/DEVELOPER; and

WHEREAS, with certain limitations, the CITY agrees to allow the real property described in the attached Exhibit "A" to be zoned for Planned Unit Development (PUD) allowing uses permitted within the B-3 Service Business District on a maximum of thirty-five (35) acres located on the East Parcel as depicted on the Concept PUD Plan prepared by Schoppe Design Associates, Inc. and dated revision 17, May 8, 2008; and, the CITY agrees to allow uses permitted within the B-3 Service Business District for the real property described in Exhibit "C" on a maximum of twenty-one (21) acres located on the West Parcel; and the CITY agrees to allow uses permitted within the R-4 General Residence District for the real property described in the attached Exhibit "D" on a maximum of two (2) acres of the real property allowing an age-restricted age fifty-five and over single story townhomes; and the area located south of the B-3 and immediately east of the aforementioned age restricted area allowing a multi-story assisted living facility consisting of approximately three and one-half (3 ½) acres with a minimum of ninety-nine (99) assisted living units allowed on the West Parcel as depicted on the Schoppe Design Associates, Inc. Concept PUD Plan (Exhibit "E"), and

WHEREAS, the City's Comprehensive Plan, Design Guidelines identifies Illinois State Route 71 and Illinois State Route 126 as 'Gateway Corridors'; and

WHEREAS, all parties to this Agreement desire to set forth certain terms and conditions upon which the land heretofore described will be annexed to the CITY in an orderly manner; and

WHEREAS, OWNER/DEVELOPER and its representatives have discussed the proposed annexation and have held a Public Hearing with the Plan Commission, and The City Council, prior to the execution hereof, duly published and held a public hearing was held to consider this Agreement in front of the City Council, as required by the statutes of the State of Illinois in such case made; and

WHEREAS, in accordance with the powers granted to the CITY by the provisions of 65 ILCS 5/11-15.1-1 through 5/11-15.1-5 (2006), inclusive, relating to Annexation Agreements, the parties hereto wish to enter into a binding agreement with respect to the annexation and zoning of the subject Property and to provide for various other matters related directly or indirectly to the annexation of the Property in the future, as authorized by, the provisions of said statutes; and

WHEREAS, pursuant to due notice and publication in the manner provided by law, the appropriate zoning authorities of the CITY have taken all further action required by the provisions of 65 ILCS 5/11-15.1.3 (2006) and the ordinances of the CITY relating to the

procedure for the authorization, approval and execution of this Annexation/Planned Unit Development Agreement by the CITY.

NOW THEREFORE, for and in consideration of the mutual promises and covenants herein contained, the parties agree, under the terms and authority provided in 65 ILCS 5/11-15.1-1 through 65 ILCS 5/11-15.1-5 (2006), as follows:

1. ANNEXATION AND ZONING.

- A. The CITY shall adopt an ordinance annexing to the City all of the real property described herein in the attached Exhibit "A-1"; furthermore, the City shall adopt an ordinance zoning the real property designated in the attached Exhibit "A" to PUD subject to all of the terms of this Agreement and as follows:
  - i. The real property described in Exhibit "C" is allowed uses permitted within the B-3 Service Business Zoning District subject to the alterations described by Exhibit "C-1". Said alterations include the removal of several uses as well as the allowance for one (1) bank, one (1) daycare and one (1) gasoline filling station/gas station as depicted on the Concept PUD Plan (Exhibit "E").
  - ii. The real property described in Exhibit "D" is allowed uses permitted within the R-4 General Residence Zoning District.

2. SITE DEVELOPMENT

A. OWNER/DEVELOPER shall develop the subject property including the preservation of open space, protection of the existing evergreen tree line on the west boundary of the West Parcel, and installation of a trail system, stormwater management facilities and roadway access points in general conformity with the Planned Unit Development Concept Plan dated May 8, 2008, prepared by Schoppe Design Associates, Inc. and which is attached hereto and incorporated by reference as Exhibit "E".

B. OWNER/DEVELOPER shall be responsible for providing landscaping, in conformance with CITY standards along all perimeter boundaries of the subject property.

C. OWNER/DEVELOPER shall establish the landscape buffer along Illinois State Route 71 and Illinois State Route 126 outside of the proposed Right-of-Way expansion line of the Illinois Department of Transportation. Said buffer shall be a minimum of 25 feet in width.

D. OWNER/DEVELOPER shall incorporate and apply all 'Site Planning Principles' as defined by the CITY's "Comprehensive Land Use Plan Update Southern Study Area" Design Guidelines a copy of which sections are attached in Exhibit "F" hereto and made

a part hereof.

E. OWNER/DEVELOPER shall relocate the existing overhead utility lines along the Illinois State Route 71 and Illinois State Route 126 frontage of the Subject Real Property prior to issuance of any building permit for the property. Said relocation shall include obtaining any and all necessary permits and approvals for the utility relocation and OWNER/DEVELOPER shall be responsible for all costs associated with said relocation.

F. OWNER/DEVELOPER agrees to provide a cross-access easement allowing all adjacent properties to access to and across the commercial portions of subject PROPERTY as described by Exhibit "C" at the time of Final Plat of Subdivision.

G. OWNER/DEVELOPER agrees to construct and fund the trail depicted on the Concept PUD Plan (Exhibit "E") at time of Final Plat of Subdivision.

H. OWNER/DEVELOPER agrees that in all respects, the subject PROPERTY shall be developed in conformance with the terms and conditions of the Yorkville Zoning Ordinance, Subdivision Control Ordinance, Stormwater, and all other applicable Ordinances.

I. OWNER/DEVELOPER, and successors, heirs, and assigns hereby agree that prior to development taking place on the PROPERTY, a site development plan shall be submitted along with approval of Preliminary Plat of Subdivision and Preliminary Engineering as well as Final Plats of Subdivision and Final Engineering prior to OWNER/DEVELOPER commencing construction on said PROPERTY.

J. The OWNER shall construct off-site right-of-way improvements within the Raintree Village subdivision to provide connection to infrastructure on Hampton Lane. The location of the said infrastructure shall be consistent with the location and typical pavement section depicted on Exhibit "G" of this Agreement.

K. OWNER agrees within 45 days of a written request from the CITY, which includes legal descriptions and exhibits as necessary, the OWNER/DEVELOPER shall grant permanent and temporary construction easements as necessary for the construction of extension of City utilities and appurtenances and/or other utilities to serve the subject property and other properties within the City of Yorkville.

L. Owner agrees within 45 days of a written request from the United City of Yorkville, which includes legal descriptions and exhibits as necessary, the OWNER/DEVELOPER shall convey by Warranty Deed, fee simple title of future highway or road right of way to the State of Illinois, Kendall County or the United City of Yorkville as necessary, regardless of whether or not these right of way needs have been previously identified in this agreement. Such request for conveyance of right of way shall have no impact on any previously entitled land development density.

3. CITY'S AGREEMENTS.

A.

- (i) The CITY agrees that as to any of the non-residential use and zoning classification parcels, OWNER/DEVELOPER has no obligation to pay School Transition Fees or School-Park Land-Cash Fees.
- (ii) The OWNER/DEVELOPER shall pay Land-Cash Fees for schools and parks at the time of Building Permit Application. For each dwelling unit all fees listed on attached Exhibit "H" shall be charged and paid likewise at the time of application for each respective building permit. The amounts listed in Exhibit "H" will remain for a period of 5 years commencing on the date of this Agreement. Following said five (5) year period, the OWNER/DEVELOPER shall be responsible to pay said fees at a rate currently required by the CITY.

B. OWNER/DEVELOPER shall be required by THE UNITED CITY OF YORKVILLE to hook-on to the City Water at the time of improving the subject property, and shall be responsible for the cost of main extensions to the PROPERTY if said mains do not touch the PROPERTY.

C. Upon annexation to the CITY, the OWNER/DEVELOPER will receive police protection, 911 service, , and all services as provided by CITY to its property owners and residents.

D. The CITY will require the OWNER/DEVELOPER to annex to Yorkville Bristol Sanitary District prior to the time of applying for a building permit seeking to hook up to the Sanitary District and the CITY Sanitary Sewer System. The OWNER/DEVELOPER shall be responsible for the cost of utility extensions to the PROPERTY if said utilities do not touch the PROPERTY.

E. CITY will use its best efforts to support issuance of a highway access permit by IDOT to the CITY and OWNER/DEVELOPER permitting access cuts onto Illinois State Routes 126 and 71 at the approximate locations shown on the Preliminary PUD Conceptual Plan as prepared by Shoppe Design Associates, Inc. and dated January 30, 2008.

4. RIGHTS AND OBLIGATIONS OF SUCCESSORS AND ASSIGNS.

It is specifically understood and agreed that OWNER/DEVELOPER and its successors and assigns shall have the right to sell transfer, mortgage and assign all or any part of the

subject property and the improvements thereon to other persons, trusts, partnerships, firms, or corporations, for investment, building, financing, developing and all such purposes, and that said persons, trusts, partnerships, firms, or corporations shall be entitled to the same rights and privileges and shall have the same obligations as OWNER/DEVELOPER under this Agreement and upon such transfer, the obligations pertaining to the property transferred or sold shall be the sole obligations of the transferee, except for any performance bonds or guaranties posted by OWNER/DEVELOPER on any subdivided or unimproved property for which an acceptable substitute performance bond or letter of credit has not been submitted to the CITY.

#### 5. DORMANT SPECIAL SERVICE AREA and PROPERTY OWNER ASSOCIATION

Owner/Developer agrees to incorporate covenants into the final subdivision plat that provide for the formulation of a Property Owners Association to be responsible to maintain all common facilities, including, but not limited to, private common areas, detention ponds, perimeter landscaping features and entrance signage within the Subject Realty.

Owner/Developer agrees to the City enacting at the time of final plat approval, or anytime thereafter, a Dormant Special Service Area (DSSA) to act as a back up in the event that the Property Owners' Association fails to maintain the Common Facilities, including, but not limited to, private common areas, detention ponds, perimeter landscaping features and entrance signage within the Subject Realty. Owner/Developer agrees to execute any and all documentation necessary or proper to create the Dormant Special Service Area and pay any and all fees, including legal expenses, for the preparation and approval of said documentation.

#### 6. TIME OF THE ESSENCE.

It is understood and agreed by the parties hereto that time is of the essence of this Agreement and that all of the parties will make every reasonable effort, to expedite the subject matter hereof. It is further understood and agreed by the parties that the successful consummation of this Agreement requires their continued cooperation.

#### 7. COVENANTS AND AGREEMENTS.

The covenants and agreements contained in this Agreement shall be deemed to be covenants running with the land during the term of this Agreement shall inure to the benefit of and be binding upon the heirs, successors and assigns of the parties hereto, including the CITY, its corporate authorities and their successors in office, and is enforceable by order of the court pursuant to its provisions and the applicable statutes of the State of Illinois.

8. BINDING EFFECT AND TERM.

This Annexation Agreement shall be binding upon and inure to the benefit of the parties hereto, and their successors and owners of record of land which is the subject of this Agreement, assignee, lessees, and upon any successor municipal authorities of said city, so long as development is commenced within a period of twenty years from the date of execution of this Agreement by the CITY.

9. NOTICE.

Any notices required hereunder shall be in writing and shall be served upon any other party in writing and shall be delivered personally or sent by registered or certified mail, return receipt requested, postage prepaid, addressed as follows:

If to the CITY:

City Clerk  
800 Game Farm Road  
Yorkville, IL 60560

With a copy to:

Kathleen Field Orr  
800 Game Farm Road  
Yorkville, IL 60560

To OWNER/DEVELOPER:

Jake Land Group, LLC  
c/o 25615 Plantation Road  
Plainfield, IL 60544

With a copy to:

Tony Perino  
608 Lookery Ln.  
Joliet, IL 60431

And with a copy to:

Law Offices of Daniel J. Kramer  
1107A S. Bridge St.  
Yorkville, IL 60560

or to such other addresses as any party may from time to time designate in a written notice to the other parties.

10. ENFORCEABILITY.

This Agreement shall be enforceable in any court of competent jurisdiction by any of the parties hereto by an appropriate action of law or in equity to secure the performance of the covenants herein contained.

In the event any portion of said agreement becomes unenforceable due to any change in Illinois Compiled Statutes or court decisions, said unenforceable portion of this Agreement shall be excised here from and the remaining portions thereof shall remain in full force and effect.

11. ENACTMENT OF ORDINANCES.

The CITY agrees to adopt any ordinances which are required to give legal effect to the matters contained in this Agreement or to correct any technical defects which may arise after the execution of this Agreement.

IN WITNESS WHEREOF, the undersigned have hereunto set their hands and seals this 27<sup>th</sup> day of May, 2008.

UNITED CITY OF YORKVILLE


By: Valerie Burd  
Valerie Burd, Mayor

Attest: [Signature]  
City Clerk

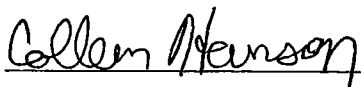
JAKE LAND GROUP, LLC

OWNER/DEVELOPER:

By:

 MEMBER

Attest:



Prepared by and Return to:

Law Offices of Daniel J. Kramer  
1107A S. Bridge Street  
Yorkville, Illinois 60560  
630.553.9500



## EXHIBIT LIST

Exhibit "A"	Legal Description – Subject Property
Exhibit "A-1"	Unincorporated Portion of Subject Property – Legal Description
Exhibit "A-2"	City of Yorkville Portion of Subject Property – Legal Description
Exhibit "B"	Annexation Plat
Exhibit "C"	B-3 Service Business District – Legal Description
Exhibit "C-1"	B-3 Service Business District Allowable Uses
Exhibit "D"	R-4 General Residence District – Legal Description
Exhibit "E"	Concept PUD Plan - Schoppe Design Associates Plan dated May 8, 2008
Exhibit "F"	Design Guidelines of the Comprehensive Land Use Plan Update Southern Study Area
Exhibit "G"	Offsite Infrastructure Improvements – Raintree Village/Hampton Lane Connection
Exhibit "H"	Fee Schedule

**EXHIBIT A  
LEGAL DESCRIPTION**

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH 00°14'45" EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH 89°50'00" WEST, 684.42 FEET; THENCE NORTH 09°30'00" WEST, 592.27 FEET; THENCE SOUTH 57°33'55" WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH 21°52'29" WEST, ALONG SAID EASTERLY LINE, 705.85 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71 FOR THE POINT OF BEGINNING; THENCE SOUTH 21°52'29" EAST, ALONG SAID EASTERLY LINE, 119.0 FEET; THENCE NORTH 68°07'31" EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH 21°52'29" WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE SOUTHWESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE RIGHT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 211.39 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 0.6060 ACRE.

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH 00°14'45" EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH 89°50'00" WEST, 684.42 FEET; THENCE NORTH 09°30'00" WEST, 592.27 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH 57°33'55" WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH 21°52'29" WEST, ALONG SAID EASTERLY LINE, 586.85 FEET TO A POINT ON SAID EASTERLY LINE WHICH IS 119.0 FEET (MEASURED ALONG SAID EASTERLY LINE) SOUTHEASTERLY OF THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTH 68°07'31" EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH 21°52'29" WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE LEFT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 261.03 FEET TO A LINE DRAWN NORTH 09°30'00" WEST FROM THE POINT OF BEGINNING; THENCE SOUTH 09°30'00" EAST, ALONG SAID LINE, 695.72 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 5.6041 ACRES.

THAT PART OF THE NORTH 1/2 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE SOUTH 0 DEGREES, 07 MINUTES, 44 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST 1/4, 1284.36 FEET; THENCE NORTH 89 DEGREES, 47 MINUTES, 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES, 32 MINUTES, 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES, 05 MINUTES, 46 SECONDS WEST, 748.40 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE TIC. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES, 50 MINUTES, 30 SECONDS WEST AT THE LAST DESCRIBED POINT. 627.46; THENCE NORTH 60 DEGREES, 02 MINUTES, 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 12 DEGREES, 27 MINUTES, 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES, 27 MINUTES, 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 0 DEGREES, 47 MINUTES, 30 SECONDS WEST, 423.02 FEET TO SAID CENTER LINE; THENCE SOUTH 60 DEGREES, 02 MINUTES, 30 SECONDS WEST ALONG CENTER LINE, 291.76 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE NORTHEAST, NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1284.36 FEET; THENCE SOUTH 89 DEGREES 29 MINUTES 40 SECONDS WEST 680.30 FEET; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 10.0 FEET FOR A POINT OF BEGINNING; THENCE NORTH 09 DEGREES. 33 MINUTES 27 SECONDS WEST 579.63 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 24 SECONDS WEST ALONG THE EAST LINE OF SAID BOYD TRACT 748.57 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 49 MINUTES 16 SECONDS WEST AT THE LAST DESCRIBED POINT 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 332.0 FEET; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST 202.0 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 30 SECONDS WEST 423.02 FEET TO SAID CENTER LINE; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 412.69 FEET TO A LINE DRAWN NORTH 00 DEGREES 10 MINUTES 46 SECONDS EAST PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER, FROM A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER WHICH IS 598.62 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID PARALLEL LINE 880.56 FEET TO SAID SOUTH LINE; THENCE SOUTH 89 DEGREES 34 MINUTES 48 SECONDS WEST ALONG SAID SOUTH LINE 598.62 FEET TO SAID SOUTHWEST CORNER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID EAST LINE 1275.36 FEET TO A LINE DRAWN SOUTH 89 DEGREES 40 MINUTES 33 SECONDS EAST FROM THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 40 MINUTES 33 SECONDS WEST 681.94 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 08 MINUTES 09 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTH 57 DEGREES 59 MINUTES 05 SECONDS EAST ALONG SAID OLD CLAIM LINE 299.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 1 DEGREE 51 MINUTES 32 SECONDS WEST, 402.10 FEET; THENCE SOUTH 59 DEGREES 55 MINUTES, 25 SECONDS EAST, 256.51 FEET; THENCE NORTH 59 DEGREES 55 MINUTES 25 SECONDS EAST 355.65 FEET; THENCE NORTH 62 DEGREES 43 MINUTES 29 SECONDS EAST, 853.57 FEET; THENCE NORTH 33 DEGREES 24 MINUTES 40 SECONDS EAST, 542.27 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2292.01 FEET AND A RADIAL BEARING OF SOUTH 29 DEGREES 23 MINUTES 51 SECONDS WEST AT THE LAST DESCRIBED POINT, 358.41 FEET TO A POINT WHICH IS 151.00 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE AND SAID OLD CLAIM LINE; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 265.70 FEET; THENCE SOUTH 73 DEGREES 54 MINUTES 28 SECONDS WEST, 102.86 FEET; THENCE SOUTH 84 DEGREES 11 MINUTES 54 SECONDS WEST, 280.96 FEET; THENCE NORTH 32 DEGREES 00 MINUTES 55 SECONDS WEST, 24.19 FEET TO SAID OLD CLAIM LINE; THENCE SOUTH 87 DEGREES 59 MINUTES 05 SECONDS WEST ALONG SAID OLD CLAIM LINE 789.92 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

A PERPETUAL EASEMENT FOR THE OPERATION, MAINTENANCE AND USE OF A SEPTIC FIELD FOR THE BENEFIT OF PARCEL ONE HEREINABOVE DESCRIBED, UNDER AND UPON THE FOLLOWING DESCRIBED PARCEL OF REAL ESTATE CONTIGUOUS TO PARCEL ONE TO WIT:

COMMENCING AT THE MOST NORTHERLY CORNER OF PARCEL ONE HEREINABOVE DESCRIBED ON THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 47.12 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF ILLINOIS STATE ROUTE NUMBER 126, FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 105.0 FEET; THENCE NORTH 32 DEGREES 08 MINUTES 38 SECONDS WEST, 152.18 FEET; THENCE SOUTH 76 DEGREES 09 MINUTES 49 SECONDS EAST, 5.28 FEET; THENCE SOUTH 70 DEGREES 39 MINUTES 49 SECONDS EAST, 158.65 FEET, TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, ALL IN KENDALL COUNTY ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET A POINT OF BEGINNING THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID CLAIM LINE, 941.92 FEET TO A POINT ON A LINE DRAWN SOUTHWESTERLY, PERPENDICULAR TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FROM A POINT ON SAID CENTER LINE WHICH IS 1049.70 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE WITH THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTHEASTERLY TO SAID POINT ON SAID CENTER LINE OF ILLINOIS ROUTE 126 AFORESAID; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE AND TO SAID ROUTE 71 CENTER LINE; THENCE SOUTHWESTERLY ALONG SAID ROUTE 71 CENTER LINE, 30.58 FEET TO SAID WEST LINE; THENCE SOUTHERLY ALONG SAID WEST LINE, 78.83 FEET, TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION. 3; THENCE NORTH 00 DEGREES 00 MINUTES 38 SECONDS EAST, ON A BEARING REFERENCED TO AN ASSUMED NORTH, 1925.21 FEET ON THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS EAST 58.55 FEET TO THE EXISTING SOUTHEASTERLY RIGHT OF WAY LINE OF A.F.A.P. ROUTE 311 (IL ROUTE 71) AND THE POINT OF BEGINNING; THENCE NORTH 72 DEGREES 34 MINUTES 00 SECONDS EAST 35.28 FEET ON SAID SOUTHEASTERLY RIGHT OF WAY LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF S.B.I. ROUTE 66 (IL ROUTE 126); THENCE SOUTH 70 DEGREES 08 MINUTES 35 SECONDS EAST 125.66 FEET ON SAID SOUTHERLY RIGHT OF WAY LINE; THENCE NORTH 81 DEGREES 09 MINUTES 04 SECONDS WEST 51.85 FEET; THENCE NORTH 76 DEGREES 30 MINUTES 40 SECONDS WEST 103.47 FEET TO THE POINT OF BEGINNING), IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE FOR A POINT OF BEGINNING; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE SOUTHWESTERLY ALONG SAID CLAIM LINE, 188.42 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS

ROUTE 71; THENCE NORTHEASTERLY ALONG THE SAID CENTER LINE OF ILLINOIS ROUTE 71, 1411.3 FEET TO THE CENTER LINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG THE EXTENDED CENTER LINE AND THE CENTER LINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25' TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTER LINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47' TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126 TO THE CENTER LINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; TO THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

GRANTEE HEREBY ASSUMES AND AGREES TO PAY THE UNPAID BALANCE ON THE EXISTING MORTGAGE RECORDED IN BOOK PAGE , THE DEBT SECURED THEREBY AND ALSO HEREBY ASSUMES -THE OBLIGATIONS UNDER THE TERM OF THE INSTRUMENTS CREATING THE LOANS DOCUMENT NO. 79—1053.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE - NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, - 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID CENTER LINE 30.45 FEET TO THE POINT OF INTERSECTION OF SAID CENTER LINE WITH CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FOR THE POINT OF BEGINNING; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 230.67 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT AT THE LAST DESCRIPTION POINT, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 761.0 FEET; THENCE SOUTH 58 DEGREES 16 MINUTES 47 SECONDS WEST 265.35 FEET TO SAID ROUTE 126 CENTER LINE; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE BEING ALONG A CURVE TO THE LEFT AND HAVING A RADIUS OF 2,292.01 FEET WHICH IS TANGENT TO A LINE DRAWN NORTH 72 DEGREES 57 MINUTES 06 SECONDS WEST FROM THE LAST DESCRIBED POINT 147.93 FEET; THENCE NORTH 16 DEGREES 38 MINUTES 49 SECONDS WEST ALONG SAID ROUTE 126 CENTERLINE 850.98 FEET; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTERLINE BEING ALONG A CURVE TO THE RIGHT AND HAVING A RADIUS OF 2,148.79 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 383.53 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36- NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 261.12 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 15,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE 1141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD FOR THE POINT OF BEGINNING (THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 258.05 FEET; THENCE SOUTH 58 DEGREES 29 MINUTES 47 SECONDS WEST 200.0 FEET; THENCE NORTH 21 DEGREES 30 MINUTES 13 SECONDS WEST PARALLEL WITH SAID WING ROAD CENTER LINE 250.0 FEET TO SAID ROUTE 71 CENTER LINE; THENCE NORTHEASTERLY ALONG SAID ROUTE 71 CENTER LINE 200.16 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, (ILLINOIS, AND ALSO EXCEPTING, THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3 IN TOWNSHIP 38 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83): COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING FROM THE POINT OF BEGINNING; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 230.66 FEET ALONG SAID CENTERLINE; THENCE NORTHEASTERLY, 940.56 FEET ALONG AN 11,479.02 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 67 DEGREES 34 MINUTES 29 SECONDS EAST, 940.31 FEET; THENCE SOUTH 22 DEGREES 56 MINUTES 31 SECONDS EAST, 60.03 FEET; THENCE SOUTHWESTERLY, 418.10 FEET ON AN 11,539.02 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING SOUTH 66 DEGREES 16 MINUTES 29 SECONDS WEST, 418.08 FEET; THENCE SOUTH 59 DEGREES 24 MINUTES 09 SECONDS WEST, 71.10 FEET; THENCE SOUTH 25 DEGREES 14 MINUTES 24 SECONDS WEST, 60.52 FEET; THENCE SOUTHEASTERLY, 570.87 FEET ON AN 675.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING SOUTH 55 DEGREES 22 MINUTES 46 SECONDS EAST, 560.80 FEET; THENCE SOUTH 74 DEGREES 04 MINUTES 13 SECONDS EAST, 274.41 FEET; THENCE SOUTH 64 DEGREES 05 MINUTES 29 SECONDS EAST, 35.85 FEET; THENCE SOUTH 55 DEGREES 49 MINUTES 00 SECONDS WEST, 64.56 FEET TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE NORTHWESTERLY, 162.08 FEET ON SAID CENTERLINE BEING A 2,291.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 76 DEGREES 16 MINUTES 12 SECONDS WEST, 162.05 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 357.37 FEET ON SAID CENTERLINE; THENCE NORTH 53 DEGREES 52 MINUTES 46 SECONDS WEST, 96.76 FEET TO THE EXISTING NORTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 297.03 FEET ON A 990.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 45 DEGREES 17 MINUTES 03 SECONDS WEST, 295.92 FEET; THENCE NORTH 36 DEGREES 39 MINUTES 21 SECONDS WEST, 23.77 FEET; THENCE NORTH 77 DEGREES 19 MINUTES 36 SECONDS WEST, 64.74 FEET; THENCE SOUTH 69 DEGREES 03

MINUTES 36 SECONDS WEST, 100.61 FEET; THENCE SOUTH 69 DEGREES 55 MINUTES 52 SECONDS WEST, 149.98 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SAID IL 71; THENCE SOUTH 65 DEGREES 32 MINUTES 40 SECONDS WEST, 113.94 FEET TO THE CENTERLINE OF SAID IL 126; THENCE NORTHWESTERLY, 119.55 FEET ON SAID CENTERLINE BEING A 2,170.59 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 69 DEGREES 20 MINUTES 17 SECONDS WEST, 119.54 FEET TO THE POINT OF BEGINNING.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 07°44' EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1236.84 FEET TO A POINT ON SAID EAST LINE WHICH IS 1284.36 FEET SOUTH OF THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89°47'31" WEST, 684.42 FEET; THENCE NORTH 09°32'39" WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD 88 ON PAGE 399, FOR THE POINT OF BEGINNING; THENCE SOUTH 57°58'56" WEST ALONG THE SOUTHERLY LINE OF SAID BOYD TRACT AND SAID SOUTHERLY LINE EXTENDED 352.89 FEET TO THE CENTER LINE OF WING ROAD; THENCE SOUTH 21°28'35" EAST ALONG SAID CENTERLINE 131.00 FEET; THENCE NORTH 57°58'56" EAST PARALLEL WITH SAID SOUTHERLY LINE 323.58 FEET TO A POINT WHICH IS SOUTH 09°32'39" EAST, 139.37 FEET FROM THE POINT OF BEGINNING; THENCE NORTH 09°32'39" WEST, 139.37 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE EASTERLY ALONG SAID CENTER LINE 32.2 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126, 1049.7 FEET FOR THE POINT, OF BEGINNING; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO SAID CENTER LINE, 339.9 FEET TO AN OLD CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID OLD CLAIM LINE WHICH MAKES AN ANGLE OF 44°21' (MEASURED CLOCKWISE FROM THE LAST DESCRIBED COURSE) 468.6 FEET TO THE CENTER LINE OF SAID ILLINOIS ROUTE 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE 328.1 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS. EXCEPT THEREFROM THE BELOW DESCRIBED PARCEL:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 399.15 FEET ALONG A 2,170.59 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF SOUTH 73 DEGREES 01 MINUTE 41 SECONDS EAST, 398.58 FEET THENCE SOUTH 78 DEGREES 17 MINUTES 46 SECONDS EAST, 649.36 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING, THENCE SOUTH 78 DEGREES 17 MINUTES 46 SECONDS EAST, 172.16 FEET ALONG SAID CENTERLINE; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 162.08 FEET ALONG A 2,291.64 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING OF SOUTH 76 DEGREES 16 MINUTES 12 SECONDS EAST, 162.05 FEET; THENCE SOUTH 56 DEGREES 32 MINUTES 11 SECONDS WEST, 65.63 FEET; THENCE NORTH 74 DEGREES 04 MINUTES 13 SECONDS WEST, 5.13 FEET; THENCE NORTH 65 DEGREES 29 MINUTES 14 SECONDS WEST, 50.57 FEET, TO THE SOUTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 61.11 FEET ON SAID RIGHT OF WAY LINE BEING ON A 2,251.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF NORTH 77 DEGREES 31 MINUTES 09 SECONDS WEST, 61.11 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 172.27 FEET ALONG SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 11 DEGREES 52 MINUTES 19 SECONDS EAST, 40.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.297 ACRE MORE OR LESS, OF WHICH 0.290 ACRE, MORE OR LESS, IS LYING WITHIN PUBLIC ROAD RIGHT OF WAY, SITUATED IN THE COUNTY OF KENDALL AND STATE OF ILLINOIS, HEREBY RELEASING AND WAVING ALL RIGHTS UNDER AND BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE.

## EXHIBIT A-1

### PARCEL "B" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 0 DEGREES 7 MINUTES 44 SECONDS EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1,236.84 FEET TO A POINT ON SAID EAST LINE WHICH IS 1284.36 FEET SOUTH OF THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89 DEGREES 47 MINUTES 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES 32 MINUTES 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD 88 ON PAGE 399 FOR THE POINT OF BEGINNING; THENCE SOUTH 57 DEGREES 58 MINUTES 56 SECONDS WEST ALONG THE SOUTHERLY LINE OF SAID BOYD TRACT AND SAID SOUTHERLY LINE EXTENDED 352.89 FEET TO THE CENTER LINE OF WING ROAD; THENCE SOUTH 21 DEGREES 28 MINUTES 35 SECONDS EAST ALONG SAID CENTER LINE 131.0 FEET; THENCE NORTH 57 DEGREES 58 MINUTES 56 SECONDS EAST PARALLEL WITH SAID SOUTHERLY LINE 323.58 FEET TO A POINT WHICH IS SOUTH 09 DEGREES 32 MINUTES 39 SECONDS EAST, 139.37 FEET FROM THE POINT OF BEGINNING; THENCE NORTH 09 DEGREES 32 MINUTES 39 SECONDS WEST, 139.37 FEET TO THE POINT OF BEGINNING; IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

### PARCEL "D" DESCRIPTION

THAT PART OF THE NORTHEAST, NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, 1,284.36 FEET; THENCE SOUTH 89 DEGREES 29 MINUTES 40 SECONDS WEST, 680.30 FEET; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST, 10.0 FEET FOR A POINT OF BEGINNING; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST, 579.53 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 24 SECONDS WEST ALONG THE EAST LINE OF SAID BOYD TRACT, 748.57 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 49 MINUTES 16 SECONDS WEST AT THE LAST DESCRIBED POINT, 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 30 SECONDS WEST, 423.02

## EXHIBIT A-1

FEET TO SAID CENTER LINE; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE, 472.59 FEET TO A LINE DRAWN NORTH 00 DEGREES 10 MINUTES 48 SECONDS EAST PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER, FROM A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER WHICH IS 598.62 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID PARALLEL LINE, 880.56 FEET TO SAID SOUTH LINE; THENCE SOUTH 89 DEGREES 34 MINUTES 48 SECONDS WEST ALONG SAID SOUTH LINE, 598.62 FEET TO SAID SOUTHWEST CORNER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID EAST LINE, 1275.36 FEET TO A LINE DRAWN SOUTH 89 DEGREES 40 MINUTES 33 SECONDS EAST FROM THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 40 MINUTES 33 SECONDS WEST, 681.94 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

### PARCEL "E" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 0 DEGREES 08 MINUTES 09 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTH 57 DEGREES 59 MINUTES 05 SECONDS EAST ALONG SAID OLD CLAIM LINE, 299.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 1 DEGREE 51 MINUTES 32 SECONDS WEST, 402.10 FEET; THENCE SOUTH 59 DEGREES 25 MINUTES 54 SECONDS EAST, 256.51 FEET; THENCE NORTH 59 DEGREES 55 MINUTES 25 SECONDS EAST, 355.65 FEET; THENCE NORTH 62 DEGREES 43 MINUTES 29 SECONDS EAST, 853.57 FEET; THENCE NORTH 33 DEGREES 24 MINUTES 40 SECONDS EAST, 542.27 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2,292.01 FEET AND A RADIAL BEARING OF SOUTH 29 DEGREES 23 MINUTES 51 SECONDS WEST AT THE LAST DESCRIBED POINT, 358.41 FEET TO A POINT WHICH IS 151.00 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE AND SAID OLD CLAIM LINE; THENCE SOUTH 45 DEGREES 05 MINUTE 49 SECONDS WEST, 265.70 FEET; THENCE SOUTH 73 DEGREES 54 MINUTES 28 SECONDS WEST, 102.86 FEET; THENCE SOUTH 84 DEGREES 11 MINUTES 54 SECONDS WEST, 280.96 FEET; THENCE NORTH 32 DEGREES 00 MINUTES 55 SECONDS WEST, 24.19 FEET TO SAID OLD CLAIM LINE; THENCE SOUTH 87 DEGREES 59 MINUTES 05 SECONDS WEST ALONG SAID OLD CLAIM LINE, 789.92 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

## EXHIBIT A-1

### PARCEL "F" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET FOR A POINT OF BEGINNING; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID CLAIM LINE, 941.92 FEET TO A POINT ON A LINE DRAWN SOUTHWESTERLY, PERPENDICULAR TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FROM A POINT ON SAID CENTER LINE WHICH IS 1,049.70 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE WITH THE CENTER LINE OF ILLINOIS STATE ROUTE 71, THENCE NORTHEASTERLY TO SAID POINT ON SAID CENTER LINE OF ILLINOIS ROUTE 126 AFORESAID; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE AND TO SAID ROUTE 71 CENTER LINE; THENCE SOUTHWESTERLY ALONG SAID ROUTE 71 CENTER LINE, 30.58 FEET TO SAID WEST LINE; THENCE SOUTHERLY ALONG SAID WEST LINE, 78.83 FEET, TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 3; THENCE NORTH 00 DEGREES 00 MINUTES 38 SECONDS EAST, ON A BEARING REFERENCED TO AN ASSUMED NORTH, 1,925.21 FEET ON THE WEST LINE OF SAID SOUTHWEST QUARTER; THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS EAST, 58.55 FEET TO THE EXISTING SOUTHEASTERLY RIGHT OF WAY LINE OF A F.A.P. ROUTE 311 (IL ROUTE 71) AND THE POINT OF BEGINNING; THENCE NORTH 72 DEGREES 34 MINUTES 00 SECONDS EAST, 35.28 FEET ON SAID SOUTHEASTERLY RIGHT OF WAY LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF S.B.I. ROUTE 66 (IL ROUTE 126); THENCE SOUTH 70 DEGREES 08 MINUTES 35 SECONDS EAST, 125.66 FEET ON SAID SOUTHERLY RIGHT OF WAY LINE; THENCE NORTH 81 DEGREES 09 MINUTES 04 SECONDS WEST, 51.85 FEET; THENCE NORTH 76 DEGREES 30 MINUTES 40 SECONDS WEST, 103.47 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

### PARCEL "G" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:



## EXHIBIT A-1

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 798.60 FEET TO AN OLD CLAIM LINE FOR A POINT OF BEGINNING; THENCE NORTHERLY ALONG SAID WEST LINE, 1,118.27 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE SOUTHWESTERLY ALONG SAID CLAIM LINE, 188.42 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

### PARCEL "J" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG THE SAID CENTER LINE OF ILLINOIS ROUTE 71, A DISTANCE OF 1411.3 FEET TO THE CENTER LINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG THE EXTENDED CENTER LINE AND THE CENTER LINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25 MINUTES TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTER LINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47 MINUTES TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE, 265.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126 TO THE CENTER LINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

### PARCEL "K" DESCRIPTION

THAT PART OF THE NORTH HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

## EXHIBIT A-1

COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE SOUTH 0 DEGREES 07 MINUTES 44 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, 1284.36 FEET; THENCE NORTH 89 DEGREES 47 MINUTES 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES 32 MINUTES 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 46 SECONDS WEST, 748.40 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 50 MINUTES 30 SECONDS WEST AT THE LAST DESCRIBED POINT, 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 0 DEGREES 42 MINUTES 30 SECONDS WEST, 432.02 FEET TO SAID CENTER LINE; THENCE SOUTH 60 DEGREES 02 MINUTES 30 SECONDS WEST, ALONG CENTER LINE, 291.76 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

### PARCEL "L" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE EASTERLY ALONG SAID CENTER LINE 32.2 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126, 1049.7 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO SAID CENTER LINE, 339.9 FEET TO AN OLD CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID OLD CLAIM LINE WHICH MAKES AN ANGLE OF 44 DEGREES 21 MINUTES (MEASURED CLOCKWISE FROM THE LAST DESCRIBED COURSE) 468.6 FEET TO THE CENTER LINE OF SAID ILLINOIS ROUTE 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE 328.1 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS, EXCEPT THAT PREVIOUSLY ANNEXED.

(PARCELS CONTAIN 78.145 ACRES MORE OR LESS.)

## EXHIBIT A-2

### PARCEL "A" DESCRIPTION

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH 00 DEGREES 14 MINUTES 45 SECONDS EAST ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1,284.36 FEET; THENCE SOUTH 89 DEGREES 50 MINUTES 00 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES 30 MINUTES 00 SECONDS WEST, 592.27 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH 57 DEGREES 33 MINUTES 55 SECONDS WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH 21 DEGREES 52 MINUTES 29 SECONDS WEST ALONG SAID EASTERLY LINE 705.85 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,509.16 FEET; A DISTANCE OF 472.39 FEET TO A LINE DRAWN NORTH 09 DEGREES 30 MINUTES 00 SECONDS WEST FROM THE POINT OF BEGINNING; THENCE SOUTH 09 DEGREES 30 MINUTES 00 SECONDS EAST ALONG SAID LINE, 695.72 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

### PARCEL "H" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID CENTER LINE, 30.45 FEET TO THE POINT OF INTERSECTION OF SAID CENTER LINE WITH CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FOR THE POINT OF BEGINNING; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE, 230.67 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT AT THE LAST DESCRIPTION POINT, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE, 761.0 FEET; THENCE SOUTH 58 DEGREES 16 MINUTES 47 SECONDS WEST, 265.38 FEET TO SAID ROUTE 126 CENTER LINE; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE, BEING ALONG A CURVE TO THE LEFT AND HAVING A RADIUS OF 2,292.01 FEET WHICH IS TANGENT TO A LINE DRAWN NORTH 72 DEGREE

## EXHIBIT A-2

57 MINUTES 06 SECONDS WEST FROM THE LAST DESCRIBED POINT, 147.83 FEET; THENCE NORTH 76 DEGREES 38 MINUTES 49 SECONDS WEST ALONG SAID ROUTE 126 CENTER LINE, 850.98 FEET; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE, BEING ALONG A CURVE TO THE RIGHT AND HAVING A RADIUS OF 2,148.79 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 383.53 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE, 261.12 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD FOR THE POINT OF BEGINNING; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE, 258.05 FEET; THENCE SOUTH 68 DEGREES 29 MINUTES 47 SECONDS WEST, 200.0 FEET; THENCE NORTH 21 DEGREES 30 MINUTES 13 SECONDS WEST, PARALLEL WITH SAID WING ROAD CENTER LINE, 250.0 FEET TO SAID ROUTE 71 CENTER LINE; THENCE NORTHEASTERLY ALONG SAID ROUTE 71 CENTER LINE, 200.16 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS, AND ALSO EXCEPTING,

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3 IN TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83).

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER TO THE CENTER LINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTER LINE TO THE POINT OF BEGINNING; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 230.66 FEET ALONG SAID CENTER LINE; THENCE NORTHEASTERLY, 940.58 FEET ALONG AN 11,479.02 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 67 DEGREES 34 MINUTES 29 SECONDS EAST, 940.31 FEET; THENCE SOUTH 22 DEGREES 56 MINUTES 31 SECONDS EAST, 60.03 FEET; THENCE SOUTHWESTERLY, 418.10 FEET ON AN 11,539.02 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING SOUTH 66 DEGREES 16 MINUTES 29 SECONDS WEST, 418.08 FEET; THENCE SOUTH

## EXHIBIT A-2

59 DEGREES 24 MINUTES 09 SECONDS WEST, 71.10 FEET; THENCE SOUTH 25 DEGREES 14 MINUTES 24 SECONDS WEST, 60.52 FEET; THENCE SOUTHEASTERLY, 570.87 FEET ON AN 875.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING SOUTH 55 DEGREES 22 MINUTES 46 SECONDS EAST, 560.80 FEET; THENCE SOUTH 74 DEGREES 04 MINUTES 13 SECONDS EAST, 274.41 FEET; THENCE SOUTH 64 DEGREES 05 MINUTES 29 SECONDS EAST, 35.85 FEET; THENCE SOUTH 56 DEGREES 49 MINUTES 00 SECONDS WEST, 64.56 FEET TO THE CENTER LINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE NORTHWESTERLY, 162.08 FEET ON SAID CENTER LINE BEING A 2,291.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 76 DEGREES 16 MINUTES 12 SECONDS WEST, 162.05 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 357.37 FEET ON SAID CENTER LINE; THENCE NORTH 53 DEGREES 52 MINUTES 46 SECONDS WEST, 96.76 FEET TO THE EXISTING NORTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 297.03 FEET ON A 990.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 45 DEGREES 17 MINUTES 03 SECONDS WEST, 295.92 FEET; THENCE NORTH 36 DEGREES 39 MINUTES 21 SECONDS WEST, 23.77 FEET; THENCE NORTH 77 DEGREES 19 MINUTES 38 SECONDS WEST, 84.74 FEET; THENCE SOUTH 69 DEGREES 03 MINUTES 36 SECONDS WEST, 100.61 FEET; THENCE SOUTH 69 DEGREES 55 MINUTES 52 SECONDS WEST, 149.98 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SAID IL 71; THENCE SOUTH 65 DEGREES 32 MINUTES 40 SECONDS WEST, 113.94 FEET TO THE CENTER LINE OF SAID IL 126; THENCE NORTHWESTERLY, 119.55 FEET ON SAID CENTER LINE BEING A 2,170.59 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 69 DEGREES 20 MINUTES 17 SECONDS WEST, 119.54 FEET TO THE POINT OF BEGINNING.

(PARCELS CONTAIN 15.323 ACRES MORE OR LESS.)

IN PART OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD  
PRINCIPAL MERIDIAN IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

**EXHIBIT B**

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH  $00^{\circ}14'45''$  EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH  $89^{\circ}50'00''$  WEST, 684.42 FEET; THENCE NORTH  $09^{\circ}30'00''$  WEST, 592.27 FEET; THENCE SOUTH  $57^{\circ}33'55''$  WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH  $21^{\circ}52'29''$  WEST, ALONG SAID EASTERLY LINE, 705.85 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71 FOR THE POINT OF BEGINNING; THENCE SOUTH  $21^{\circ}52'29''$  EAST, ALONG SAID EASTERLY LINE, 119.0 FEET; THENCE NORTH  $68^{\circ}07'31''$  EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH  $21^{\circ}52'29''$  WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE SOUTHWESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE RIGHT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 211.39 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 0.6060 ACRE.

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH  $00^{\circ}14'45''$  EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH  $89^{\circ}50'00''$  WEST, 684.42 FEET; THENCE NORTH  $09^{\circ}30'00''$  WEST, 592.27 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH  $57^{\circ}33'55''$  WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH  $21^{\circ}52'29''$  WEST, ALONG SAID EASTERLY LINE, 586.85 FEET TO A POINT ON SAID EASTERLY LINE WHICH IS 119.0 FEET (MEASURED ALONG SAID EASTERLY LINE) SOUTHEASTERLY OF THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTH  $68^{\circ}07'31''$  EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH  $21^{\circ}52'29''$  WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE LEFT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 261.03 FEET TO A LINE DRAWN NORTH  $09^{\circ}30'00''$  WEST FROM THE POINT OF BEGINNING; THENCE SOUTH  $09^{\circ}30'00''$  EAST, ALONG SAID LINE, 695.72 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 5.6041 ACRES.

THAT PART OF THE NORTH 1/2 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE SOUTH 0 DEGREES, 07 MINUTES, 44 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST 1/4, 1284.36 FEET; THENCE NORTH 89 DEGREES, 47 MINUTES, 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES, 32 MINUTES, 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES, 05 MINUTES, 46 SECONDS WEST, 748.40 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES, 50 MINUTES, 30 SECONDS WEST AT THE LAST DESCRIBED POINT. 627.46; THENCE NORTH 60 DEGREES, 02 MINUTES, 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 12 DEGREES, 27 MINUTES, 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES, 27 MINUTES, 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 0 DEGREES, 47 MINUTES, 30 SECONDS WEST, 423.02 FEET TO SAID CENTER LINE; THENCE SOUTH 60 DEGREES, 02 MINUTES, 30 SECONDS WEST ALONG CENTER LINE, 291.76 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE NORTHEAST, NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1284.36 FEET; THENCE SOUTH 89 DEGREES 29 MINUTES 40 SECONDS WEST 680.30 FEET; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 10.0 FEET FOR A POINT OF BEGINNING; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 579.63 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 24 SECONDS WEST ALONG THE EAST LINE OF SAID BOYD TRACT 748.57 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 49 MINUTES 16 SECONDS WEST AT THE LAST DESCRIBED POINT 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 332.0 FEET; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST 202.0 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 30 SECONDS WEST 423.02 FEET TO SAID CENTER LINE; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 412.69 FEET TO A LINE DRAWN NORTH 00 DEGREES 10 MINUTES 46 SECONDS EAST PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER, FROM A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER WHICH IS 598.62 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID PARALLEL LINE 880.56 FEET TO SAID SOUTH LINE; THENCE SOUTH 89 DEGREES 34 MINUTES 48 SECONDS WEST ALONG SAID SOUTH LINE 598.62 FEET TO SAID SOUTHWEST CORNER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID EAST LINE 1275.36 FEET TO A LINE DRAWN SOUTH 89 DEGREES 40 MINUTES 33 SECONDS EAST FROM THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 40 MINUTES 33 SECONDS WEST 681.94 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS

A PERPETUAL EASEMENT FOR THE OPERATION, MAINTENANCE AND USE OF A SEPTIC FIELD FOR THE BENEFIT OF PARCEL ONE HEREBINABOVE DESCRIBED, UNDER AND UPON THE FOLLOWING DESCRIBED PARCEL OF REAL ESTATE CONTIGUOUS

TO PARCEL ONE TO WIT:

COMMENCING AT THE MOST NORTHERLY CORNER OF PARCEL ONE HEREINABOVE DESCRIBED ON THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 47.12 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF ILLINOIS STATE ROUTE NUMBER 126, FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 105.0 FEET; THENCE NORTH 32 DEGREES 08 MINUTES 38 SECONDS WEST, 152.18 FEET; THENCE SOUTH 76 DEGREES 09 MINUTES 49 SECONDS EAST, 5.28 FEET; THENCE SOUTH 70 DEGREES 39 MINUTES 49 SECONDS EAST, 158.65 FEET, TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, ALL IN KENDALL COUNTY ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET A POINT OF BEGINNING THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID CLAIM LINE, 941.92 FEET TO A POINT ON A LINE DRAWN SOUTHWESTERLY, PERPENDICULAR TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FROM A POINT ON SAID CENTER LINE WHICH IS 1049.70 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE WITH THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTHEASTERLY TO SAID POINT ON SAID CENTER LINE OF ILLINOIS ROUTE 126 AFORESAID; THENCE NORTHEASTERLY ALONG SAID ROUTE 126 CENTER LINE AND TO SAID ROUTE 71 CENTER LINE; THENCE SOUTHWESTERLY ALONG SAID ROUTE 71 CENTER LINE, 30.58 FEET TO SAID WEST LINE; THENCE SOUTHERLY ALONG SAID WEST LINE, 78.83 FEET, TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION. 3; THENCE NORTH 00 DEGREES 00 MINUTES 38 SECONDS EAST, ON A BEARING REFERENCED TO AN ASSUMED NORTH, 1925.21 FEET ON THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS EAST 58.55 FEET TO THE EXISTING SOUTHEASTERLY RIGHT OF WAY LINE OF A.F.A.P. ROUTE 311 (IL ROUTE 71) AND THE POINT OF BEGINNING; THENCE NORTH 72 DEGREES 34 MINUTES 00 SECONDS EAST 35.28 FEET ON SAID SOUTHEASTERLY RIGHT OF WAY LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF S.B.I. ROUTE 66 (IL ROUTE 126); THENCE SOUTH 70 DEGREES 08 MINUTES 35 SECONDS EAST 125.66 FEET ON SAID SOUTHERLY RIGHT OF WAY LINE; THENCE NORTH 81 DEGREES 09 MINUTES 04 SECONDS WEST 57.85 FEET; THENCE NORTH 76 DEGREES 30 MINUTES 40 SECONDS WEST 103.47 FEET TO THE POINT OF BEGINNING), IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE FOR A POINT OF BEGINNING; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE SOUTHWESTERLY ALONG SAID CLAIM LINE, 188.42 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG THE SAID CENTER LINE OF ILLINOIS ROUTE 71, 1411.3 FEET TO THE CENTER LINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG THE EXTENDED CENTER LINE AND THE CENTER LINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25' TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTER LINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47' TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126 TO THE CENTER LINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; TO THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

GRANTEE HEREBY ASSUMES AND AGREES TO PAY THE UNPAID BALANCE ON THE EXISTING MORTGAGE RECORDED IN BOOK PAGE , THE DEBT SECURED THEREBY AND ALSO HEREBY ASSUMES -THE OBLIGATIONS UNDER THE TERM OF THE INSTRUMENTS CREATING THE LOANS DOCUMENT NO. 79-1053.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER;



THENCE - NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, - 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID CENTER LINE 30.45 FEET TO THE POINT OF INTERSECTION OF SAID CENTER LINE WITH CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FOR THE POINT OF BEGINNING; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 230.67 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 761.0 FEET; THENCE SOUTH 58 DEGREES 16 MINUTES 47 SECONDS WEST 265.35 FEET TO SAID ROUTE 126 CENTER LINE; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE BEING ALONG A CURVE TO THE LEFT AND HAVING A RADIUS OF 2,292.01 FEET WHICH IS TANGENT TO A LINE DRAWN NORTH 72 DEGREES 57 MINUTES 06 SECONDS WEST FROM THE LAST DESCRIBED POINT 147.93 FEET; THENCE NORTH 16 DEGREES 38 MINUTES 49 SECONDS WEST ALONG SAID ROUTE 126 CENTERLINE 850.98 FEET; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTERLINE BEING ALONG A CURVE TO THE RIGHT AND HAVING A RADIUS OF 2,148.79 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 383.53 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 - NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 261.12 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 15,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE 1141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD FOR THE POINT OF BEGINNING (THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 258.05 FEET; THENCE SOUTH 58 DEGREES 29 MINUTES 47 SECONDS WEST 200.0 FEET; THENCE NORTH 21 DEGREES 30 MINUTES 13 SECONDS WEST PARALLEL WITH SAID WING ROAD CENTER LINE 250.0 FEET TO SAID ROUTE 71 CENTER LINE; THENCE NORTHEASTERLY ALONG SAID ROUTE 71 CENTER LINE 200.16 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, (ILLINOIS, AND ALSO EXCEPTING, THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3 IN TOWNSHIP 38 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING FROM THE POINT OF BEGINNING; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 230.66 FEET ALONG SAID CENTERLINE; THENCE NORTHEASTERLY, 940.56 FEET ALONG AN 11,479.02 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 67 DEGREES 34 MINUTES 29 SECONDS EAST, 940.31 FEET; THENCE SOUTH 22 DEGREES 56 MINUTES 31 SECONDS EAST, 60.03 FEET; THENCE SOUTHWESTERLY, 418.10 FEET ON AN 11,539.02 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING SOUTH 66 DEGREES 16 MINUTES 29 SECONDS WEST, 418.08 FEET; THENCE SOUTH 59 DEGREES 24 MINUTES 09 SECONDS WEST, 71.10 FEET; THENCE SOUTH 25 DEGREES 14 MINUTES 24 SECONDS WEST, 60.52 FEET; THENCE SOUTHEASTERLY, 570.87 FEET ON AN 675.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING SOUTH 55 DEGREES 22 MINUTES 46 SECONDS EAST, 560.80 FEET; THENCE SOUTH 74 DEGREES 04 MINUTES 13 SECONDS EAST, 274.41 FEET; THENCE SOUTH 64 DEGREES 05 MINUTES 29 SECONDS EAST, 35.85 FEET; THENCE SOUTH 55 DEGREES 49 MINUTES 00 SECONDS WEST, 64.56 FEET TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE NORTHWESTERLY, 162.08 FEET ON SAID CENTERLINE BEING A 2,291.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 76 DEGREES 16 MINUTES 12 SECONDS WEST, 162.05 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 357.37 FEET ON SAID CENTERLINE; THENCE NORTH 53 DEGREES 52 MINUTES 46 SECONDS WEST, 96.76 FEET TO THE EXISTING NORTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 297.03 FEET ON A 990.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 45 DEGREES 17 MINUTES 03 SECONDS WEST, 295.92 FEET; THENCE NORTH 36 DEGREES 39 MINUTES 21 SECONDS WEST, 23.77 FEET; THENCE NORTH 77 DEGREES 19 MINUTES 36 SECONDS WEST, 64.74 FEET; THENCE SOUTH 69 DEGREES 03 MINUTES 36 SECONDS WEST, 100.61 FEET; THENCE SOUTH 69 DEGREES 55 MINUTES 52 SECONDS WEST, 149.98 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SAID IL 71; THENCE SOUTH 65 DEGREES 32 MINUTES 40 SECONDS WEST, 113.94 FEET TO THE CENTERLINE OF SAID IL 126; THENCE NORTHWESTERLY, 119.55 FEET ON SAID CENTERLINE BEING A 2,170.59 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 69 DEGREES 20 MINUTES 17 SECONDS WEST, 119.54 FEET TO THE POINT OF BEGINNING.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 07°44' EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1236.84 FEET TO A POINT ON SAID EAST LINE WHICH IS 1284.36 FEET SOUTH OF THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89°47'31" WEST, 684.42 FEET; THENCE NORTH 09°32'39" WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD 88 ON PAGE 399, FOR THE POINT OF BEGINNING; THENCE SOUTH 57°58'56" WEST ALONG THE SOUTHERLY LINE OF SAID BOYD TRACT AND SAID SOUTHERLY LINE EXTENDED 352.89 FEET TO THE CENTER LINE OF WING ROAD; THENCE SOUTH 21°28'35" EAST ALONG SAID CENTERLINE 131.00 FEET; THENCE NORTH 57°58'56" EAST PARALLEL WITH SAID SOUTHERLY LINE 323.58 FEET TO A POINT WHICH IS SOUTH 09°32'39" EAST, 139.37 FEET FROM THE POINT OF BEGINNING; THENCE NORTH 09°32'39" WEST, 139.37 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE EASTERLY ALONG SAID CENTER LINE 32.2 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126, 1049.7 FEET FOR THE POINT, OF BEGINNING; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO SAID CENTER LINE, 339.9 FEET TO AN OLD CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID OLD CLAIM LINE WHICH MAKES AN ANGLE OF 44°21' (MEASURED CLOCKWISE FROM THE LAST DESCRIBED COURSE) 468.6 FEET TO THE CENTER LINE OF SAID ILLINOIS ROUTE 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE 328.1 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS. EXCEPT THEREFROM THE BELOW DESCRIBED PARCEL:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 399.15 FEET ALONG A 2,170.59 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF SOUTH 73 DEGREES 01 MINUTE 41 SECONDS EAST, 398.58 FEET THENCE SOUTH 78 DEGREES 17 MINUTES 46 SECONDS EAST, 649.36 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING, THENCE SOUTH 78° DEGREES 17 MINUTES 46 SECONDS EAST, 172.16 FEET ALONG SAID CENTERLINE; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 162.08 FEET ALONG A 2,291.64 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING OF SOUTH 76 DEGREES 16 MINUTES 12 SECONDS EAST, 162.05 FEET; THENCE SOUTH 56 DEGREES 32 MINUTES 11 SECONDS WEST, 65.63 FEET; THENCE NORTH 74 DEGREES 04 MINUTES 13 SECONDS WEST, 5.13 FEET; THENCE NORTH 65 DEGREES 29 MINUTES 14 SECONDS WEST, 50.57 FEET, TO THE SOUTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 61.11 FEET ON SAID RIGHT OF WAY LINE BEING ON A 2,251.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF NORTH 77 DEGREES 31 MINUTES 09 SECONDS WEST, 61.11 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 172.27 FEET ALONG SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 11 DEGREES 52 MINUTES 19 SECONDS EAST, 40.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.297 ACRE MORE OR LESS, OF WHICH 0.290 ACRE, MORE OR LESS, IS LYING WITHIN PUBLIC ROAD RIGHT OF WAY, SITUATED IN THE COUNTY OF KENDALL AND STATE OF ILLINOIS, HEREBY RELEASING AND WAIVING ALL RIGHTS UNDER AND BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE.

**EXHIBIT "C-1"**  
**Windmill Farms - B-3 Service Business Permitted Uses**

This exhibit lists all permitted uses within the B-3 Service Business District as they exist in the current Zoning Ordinance. Uses excluded and not permitted by this Agreement are crossed out as follows: (~~not permitted use~~)

**OFFICE DISTRICT (O)**

Advertising agency.

**Bank (allowable by provisions of Windmill Agreement)**

Barber shop.

Beauty shop.

Bookkeeping service.

~~Club—private indoor.~~

Coffee shop.

College, university or junior college.

Commercial school, trade school - offering training in classroom study.

Detective agency.

Employment office.

Engineering office.

Government office.

Income tax service.

Insurance office.

Library.

Manufacturing agent's office.

Medical clinic.

Park.

Professional offices.

Public accountant.

Real estate office.

Stenographic service.

Stock broker.

Telegraph office.

~~Ticket office.~~

Title company.

Travel agency.

Utility office. (Ord. 1973-56A, 3-28-74)

Special Uses

~~Solid waste disposal site (Ord. 1973-56A, 3-28-1974; amd. Ord. 1995-20, 8-10-1995)~~

**LIMITED BUSINESS DISTRICT (B-1)**

All uses permitted in the O district.

Antique sales.

~~Apartments, single family, located in business buildings.~~

Bakery - retail.

Barbershop.  
Beauty shop.  
Bookstore.  
Cafeteria (diner).  
Camera shop.  
Church or other place of worship.  
~~Cigar, cigarette and tobacco store.~~  
Clothes - pressing and repair.  
~~Club - private indoor.~~  
~~Club - private outdoor.~~  
Community center.  
Dressmaker - seamstress.  
Drugstore.  
Florist sales.  
Fruit and vegetable market - retail.  
Gift shop.  
Grocery store - supermarket.  
Gymnasium.  
Health food store.  
Hobby shop.  
Hospital (general).  
Hospital or treatment center.  
Household furnishing shop.  
Ice cream shop.  
Jewelry - retail.  
Laundry, cleaning and dyeing - retail.  
Library.  
~~Magazine and newsstand.~~  
Meat market.  
Medical clinic.  
Mortuary - funeral home.  
Park.  
Photography studio.  
Playground.  
Post office.  
Professional building.  
Recreation center.  
Restaurant.  
Shoe and hat repair.  
~~Substation.~~  
Swimming pool - indoor.  
Tennis club - private or daily fee.  
~~Trailer. (Ord. 1973-56A, 3-28-1974; amd. 1994 Code; Ord. 1994-1A, 2-10-1994; Ord. 2003-41, 7-22-2003)~~

**GENERAL BUSINESS DISTRICT (B-2)**

All uses permitted in the O and B-1 Districts.

Appliances - sales.

Army/Navy surplus sales.

Art gallery - art studio sales.

Art supply store.

~~Auditorium.~~

Automatic food service.

Automobile accessory store.

Automobile rental.

Bicycle shop.

Billiard parlor.

Blueprint and photostat shop.

~~Bowling alley.~~

Carry-out food service.

Catalog sales office.

Clothing store - all types.

~~Dance hall.~~

Department store.

Discount store.

Drygoods store - retail.

Floor covering sales.

Furniture sales - new/used.

Hardware store.

Health club or gymnasium.

Hotel.

Interior decorating studio.

Junior department store.

Leather goods.

Locksmith.

Motel.

Music, instrument and record store.

Newspaper publishing.

Office equipment and supply sales.

Paint/wallpaper store.

~~Pawnshop.~~

Personal loan agency.

Pet store.

Picture frame store.

Radio and television studios.

~~Reducing salon, masseur and steam bath.~~

Sporting goods.

Stationery.

Taxidermist.

Theater.

Toy store.

Typewriter - sales and repair.

Variety store.

Watch and clock sales and repair.

Weaving and mending - custom. (Ord. 1973-56A, 3-28-1974; amd. 1994 Code)

**SERVICE BUSINESS DISTRICT (B-3)**

All uses permitted in the B-2 district.

Agricultural implement sales and service.

Appliance - service only.

Automotive sales and service.

~~Boat sales.~~

Building material sales.

Business machine repair.

Car wash without mechanical repair on the premises.

Catering service.

**Daycare (allowable by provisions of Windmill Agreement)**

Drive-in restaurant.

Electrical equipment sales.

Feed and grain sales.

Frozen food locker.

Furniture repair and refinishing.

**Gasoline Filling Station (allowable by provisions of Windmill Agreement)**

Golf driving range.

Greenhouse.

~~kennel.~~

Miniature golf.

Motorcycle sales and service.

Nursery.

Orchard.

Park - commercial recreation.

Plumbing supplies and fixture sales.

Pump sales.

Recreational vehicle sales and service.

~~Skating rink.~~

~~Sports arena.~~

~~Taxicab garage.~~

Tennis court - indoor.

~~Trailer rental.~~

~~Truck rental.~~

~~Truck sales and service.~~

Upholstery shop.

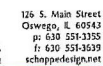
Veterinary clinic. (Ord. 1973-56A, 3-28-1974; amd. Ord. 1986-1, 1-9-1986; Ord. 1988-7, 4-14-1988; Ord. 1995-19, 8-10-1995; Ord. 1998-21, 6-25-1998; Ord. 2005-58, 7-12-2005)

EXHIBIT "D" R-4 GENERAL RESIDENCE DISTRICT

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 08 MINUTES 09 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTH 57 DEGREES 59 MINUTES 05 SECONDS EAST ALONG SAID OLD CLAIM LINE 299 .00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 1 DEGREE 51 MINUTES 32 SECONDS WEST, 402.10 FEET; THENCE SOUTH 59 DEGREES 55 MINUTES., 25 SECONDS EAST, 256.51 FEET; THENCE NORTH 59 DEGREES 55 MINUTES 25 SECONDS EAST 355.65 FEET; THENCE NORTH 62 DEGREES 43 MINUTES 29 SECONDS EAST, 853.57 FEET; THENCE NORTH 33 DEGREES 24 MINUTES 40 SECONDS EAST., 542.27 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2292 .01 FEET AND A RADIAL BEARING OF SOUTH 29 DEGREES 23 MINUTES 51 SECONDS WEST AT THE LAST DESCRIBED POINT, 358.41 FEET TO A POINT WHICH IS 151.00 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE AND SAID OLD CLAIM LINE; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 265 .70 FEET; THENCE SOUTH 73 DEGREES 54 MINUTES 28 SECONDS WEST, 102.86 FEET; THENCE SOUTH 84 DEGREES 11 MINUTES 54 SECONDS WEST, 280.96 FEET; THENCE NORTH 32 DEGREES 00 MINUTES 55 SECONDS WEST, 24.19 FEET TO SAID OLD CLAIM LINE; THENCE SOUTH 87 DEGREES 59 MINUTES 05 SECONDS WEST ALONG SAID OLD CLAIM LINE 789.92 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.







**Site Planning Principles**

The Site Planning Principles address issues that affect the way that individual sites should be developed in order to blend in with the existing character of the City.

- PRINCIPLE 4: *Incorporate existing site conditions into development plans*
- PRINCIPLE 5: *Provide a sense of architectural interest and unique identity throughout the City*
- PRINCIPLE 6: *Enhance pedestrian experience and establish sense of place through careful design and location of open spaces*
- PRINCIPLE 7: *Thoughtful consideration of vehicular and pedestrian circulation within individual developments*
- PRINCIPLE 8: *Appropriate design of parking lots, utilities, service areas and detention areas to reduce the negative impact of typically unattractive site components*

■ **Desirable Elements:**

The following elements shall be incorporated into development within the City:

- Richness of building surface and texture
- Articulated mass and bulk
- Clear visibility of entrances
- Well organized commercial signage
- Landscaped and screened parking
- Special paving identifying intersections and crosswalks
- Pedestrian friendly streetscapes and open spaces
- Thoughtful consideration of circulation
- Screening of mechanical equipment, service areas, parking lots and any undesirable elements
- Step-down of building scale along pedestrian routes and building entrances
- Recognition of building hierarchy
- Formal entry plazas and courtyards
- Detention used as an amenity
- Existing trees incorporated into development
- Multi-planed, pitched roofs
- Roof overhangs and arcades
- Provide defined entrance roads into developments and provide adequate vehicle storage bays at egress drives



*Richness of building materials creates visual interest*



*Landscaping softens the view of parking*

### ■ Undesirable Elements:

The following elements are discouraged in developments within the City:

- Concrete detention basins
- Large, blank, unarticulated wall surfaces
- Visible outdoor storage, loading, equipment and mechanical areas
- Disjointed parking areas and confusing circulation patterns
- Large expanses of parking/asphalt
- Service areas near major entries and/or that are easily visible from roadway
- Poorly defined site access points
- Large "boxlike" structures



*Avoid large expanses of parking lots*



*Avoid large blank wall surfaces*

### **PRINCIPLE 4: Incorporate existing site conditions into development plans**

New development shall protect the existing environmental features throughout the City and minimize the impact of the development on the site and the surrounding land.

#### ■ Drainage Patterns

Proposed site plans shall incorporate existing drainage patterns on site in an effort to avoid significantly altering the manner in which drainage flows offsite. At the time of site plan submittal to the City, a drainage and detention plan must be submitted. The location and type of drainage facilities must be shown.



*Drainage swale utilizes natural drainage patterns*

#### ■ Topography and Soils

- Minimize cut and fill on site to reduce effects upon the natural drainage pattern and natural character of the site.
- Minimize disturbance in areas of significant existing vegetation. If necessary for site development, consider using tree wells and retaining walls to preserve existing trees where possible.



*Work with existing topography to avoid large cut and fill*



- Development on unsuitable soils is prohibited. Incorporate unsuitable soils into an open space component of the site plan.
- Stockpile top soil for later use in landscape areas.
- **Vegetation**
  - Preserve existing trees

Every effort should be made in the planning process to incorporate quality, existing trees into the site plan design. Any quality, existing tree that occurs within the specific buffer yard as required per *PRINCIPLE 9* shall remain undisturbed and be protected as part of the landscape buffer.



*Preservation of existing vegetation as buffer*

**PRINCIPLE 5: Provide a sense of architectural interest and unique identity throughout the City**

The Architectural standards are provided to preserve and guide the character of architecture throughout the City while allowing for individual architectural interpretation. All architectural proposals must be compatible with the vernacular of the northern Illinois region. In order to ensure compliance with the following architectural guidelines, the City requires that building elevations, plans, materials samples, color samples and illustrations be submitted for review and approval prior to the commencement of building construction.



*Building orientation creates central open space on axis with the main entry drive*

▪ **Buildings**

- Orientation

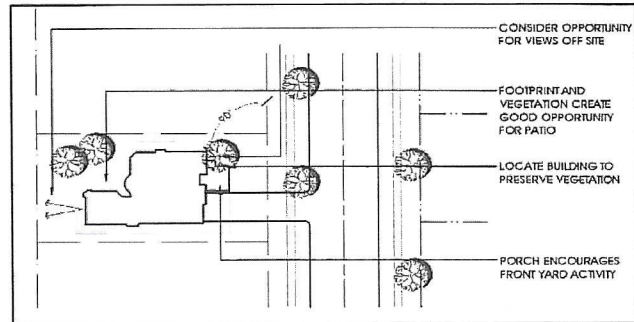
Building orientation should take advantage of the building to site relationship. The orientation and location of buildings defines open spaces and circulation corridors.

- Align focal architectural elements along major view or circulation axis.
- Define pedestrian spaces and streetscapes with building orientation.



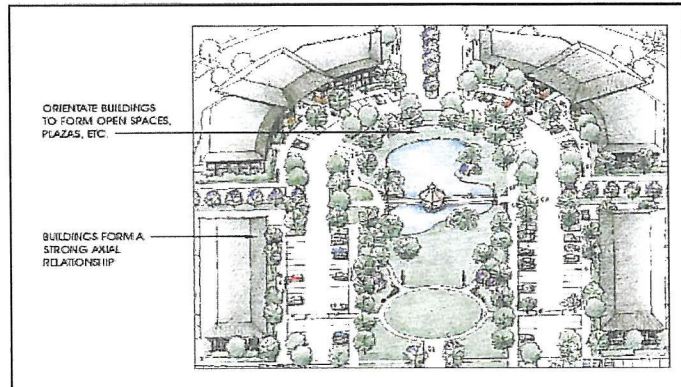
*Orient primary buildings on axis and use as focal points*

- Create view corridors between buildings, plazas, courtyards and adjacent buildings.
- Create pedestrian spaces and plazas by varying building facades.
- Cluster buildings whenever possible, creating opportunities for plazas and pedestrian malls. Prevent long, linear facades from dominating the view.



*Residential building orientation creates private, intimate backyard space*

- Buildings adjacent to Routes 47, 71 and 126 must face the primary roadway. No service access, storage, etc. is allowed to face Routes 47, 71 and 126.
- Develop sites in a comprehensive and coordinated manner to provide order and compatibility (especially in the case of large sites which will be developed in phases).



*Building orientation can define main activity areas*

- The exterior character and orientation of all buildings and the spaces they define should encourage and enhance pedestrian activity.
- Attention should be given to the quality and usability of the outdoor spaces formed by the exterior of a dwelling and adjacent dwellings. Avoid locating the private area of one dwelling adjacent to the public area of an adjacent dwelling.



*Rear and side facades should incorporate architectural design elements*



- In multi-family residential developments, buildings should be oriented to create functional outdoor spaces.
- In residential neighborhoods, consideration should also be given to the views from adjacent dwellings and public spaces.
- Facades

Building facades should achieve a high level of visual interest when viewed from automobile and pedestrian vantage points.

- In residential developments, front yards and porches should be used to create a sense of place and community.
- Natural stone and masonry materials are to be used on the lower portions of buildings to create a visual anchor to the ground and provide interest at the pedestrian level.
- Vary the planes of exterior walls in depth and/or direction.



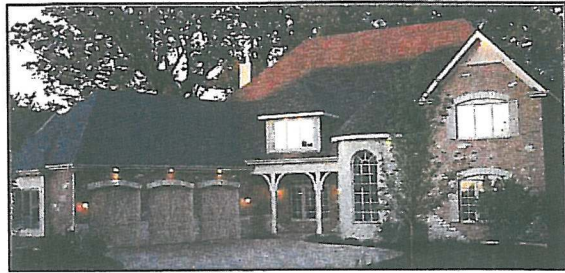
*Awnings along facade*

- Wall planes shall not run in a continuous direction more than 65 feet without an offset of at least 3 feet.
- Wall planes of more than 20 feet high are prohibited without incorporating meaningful techniques, such as awnings or a change in building material, to break up the perceived building mass.
- Awnings are encouraged along facades to provide color, shade and architectural interest. Where awnings are used along a row of contiguous buildings, a consistent form, material, color, location and mounting arrangement must be used.
- Awnings should be located to provide a consistent minimum 8 feet vertical clearance, with a maximum generally not to exceed 12 feet.
- Colors of awnings must complement the buildings.



*Awnings provide pedestrian scale element*

- Incorporate the awnings along with any signage to provide a uniformly designed building façade.
- Signs on awnings are permitted.
- Internally illuminated awnings are prohibited.

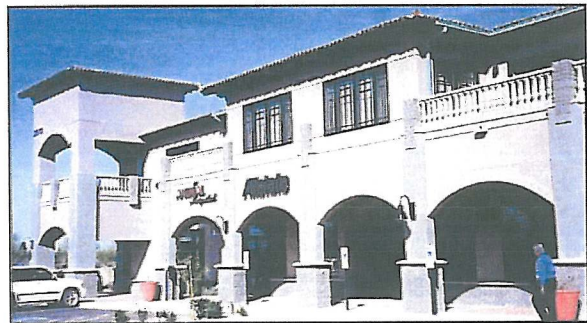


*Garage doors oriented to side*

- Awnings and canopies may be made of sheet metal or canvas membrane. Plastic or vinyl awnings are not permitted.
- In new residential neighborhoods, houses shall not repeat the same elevations without two lots of separation. Houses across the street from each other and back-to-back corner lots shall not be of the same elevation.
- In residential areas, garages should not dominate the street view. Rather, provide parking and garages to the side or rear of lots or set the garage face back from the primary façade of the house. Avoid allowing the garage to become the primary architectural feature.

#### ▪ Roof Treatment

Rooftops should be considered important design elements as viewed from a variety of vantage points such as at ground level, from other buildings and from adjacent perimeter roadways. A well-composed "roofscape" achieves an interesting skyline without becoming overly busy or contrived. Roof forms should serve as natural transitions from the ground level to intermediate masses to the tallest masses and back to the ground. Form should also be interesting when seen from above in adjacent buildings.



*Variation in roof treatments creates an interesting 'roofscape'*

#### ▪ Materials & Colors

Visual continuity in major building materials and colors is desired throughout the City. Specific criteria include the following:

- Material samples of all proposed buildings must be provided for review and be approved by the City.
- Materials should be consistent with the Community Character principles outlined in these guidelines.



- Wall materials that are muted, earth tone in color and have texture are to be used.
- Reserve the use of strongly contrasting materials and colors for accents, such as building entrances, railings and trim. Avoid an excessive variety of façade materials.
- Avoid using highly reflective materials and surfaces, such as polished metal, that generate glare, particularly at the pedestrian level.
- Materials which may be incorporated include: native stone, brick, stucco and textured concrete. Alternative materials that achieve similar looks and are of high quality and low maintenance may be considered.
- Common materials shall be located on all sides of the building with the exception of service areas not visible from a public street.



*Varying roofline breaks up long  
expanse of building facade*

- Coordinating materials within a development can tie together buildings of different sizes, uses and forms.
- In new residential neighborhoods at the time of initial building permit, houses shall not be the same color unless there are at least two lots of separation. Houses across the street from each other are not permitted to be the same color.
- Use contrasting but compatible building materials and textures to unify exterior building elements and to create depth, proportion and scale.
- In residential developments, buildings should complement each other by using materials and colors within the same "family".
- Building colors should be derived from, and related to, the finishes of primary building materials.

#### ▪ Height

The overall appearance of development shall be low and horizontal, with building heights throughout the community generally low to medium scale. Building heights are expected (and desired) to vary to ensure visual interest.

- Consider the use of taller buildings and/or elements to highlight significant intersections and pedestrian nodes.
- Building heights shall be determined in a manner which enhances an overall residential quality.



*Taller buildings help identify intersections*

- Maintain compatible relationships with adjacent dwellings and street frontages.
- Building heights shall be responsive to heights of homes located on slopes above and below the dwelling.
- Sight lines to greenbelts, open areas, water features and scenic horizon views are to be optimized and maintained to the fullest extent possible by minimizing the building height and obstruction.



*Front porch provides one-story element*

- Scenic view compatibility shall be considered in determining building height.
- Within a neighborhood, a combination of one, one and a half and two story dwellings is encouraged to add diversity to the streetscape. Entire neighborhoods or blocks of continuous two story dwellings are discouraged.
- For multilevel dwellings on corner lots, locate a one-story element of the dwelling at the street corner to help reduce the feeling of enclosure in the neighborhood.



*Front porch roof provides human scale element*

- A two-story dwelling can best relate to a neighboring one story if it contains a one-story element.

#### ▪ Scale

Buildings should appear to be of a "pedestrian" or "human" scale. When components in the built environment are designed in such a way that people feel comfortable, then human scale has been achieved. In general, this means that the size, patterns, textures, forms and overall three-dimensional composition can be appreciated at the pedestrian level.



*Varied building scale provides distinction between masses*

- Vary the height of buildings, and/or building elements where feasible, so they appear to be divided into distinct elements or masses.



- Avoid large-scale buildings that are "box-like" and typically dominate a site.

- Use building mass appropriate to the site. Place buildings with larger footprints, height and massing in core activity areas or in the heart of the development near similar densities. By doing so, the impact on adjacent land uses will be reduced.



*Pedestrian scale elements located along building facade*

- In residential areas, the relationship between the lot size, street width and building scale are important to creating a human scale. Elements such as trees, pedestrian path lighting and porches can aid in achieving human scale.

- Hierarchy

It is important to recognize that future projects will be developed using a variety of buildings with various uses. Vehicular and pedestrian traffic should be able to recognize the hierarchy of buildings and be able to decipher primary buildings from secondary buildings.



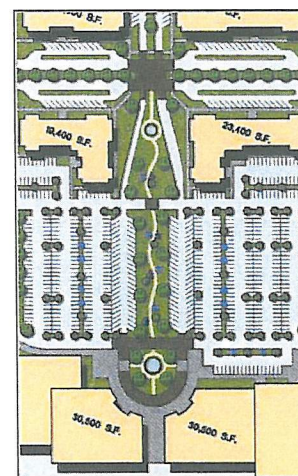
*Avoid 'box like' building scale*

- Primary Buildings

Primary buildings; such as major anchors, public buildings or major attractions, shall be located at prominent locations, anchoring a major view axis and serving as focal points in the community.

- Gateway Buildings

- Buildings at major entrances, corners, intersections or along significant roads should use special architectural elements to help identify that location as a "gateway". These elements also begin to define the sense of place for the community.



*Primary buildings located on axis and create focal point*

- Special architectural features may include corner towers, cupolas, clock towers, balconies, colonnades or spires.
- The use of vertical elements helps to frame the entrance and guide people into and through the development.



Gateway buildings

- Entrances
  - Primary entrances should be easily identifiable and relate to both human scale as well as the scale of the building(s) they serve.
  - Wherever possible, entrances should be inviting without becoming dark.
  - Main building entrances should be designed to be clearly identifiable from primary driveways and drop-offs. Additionally, they should be visible from parking areas.



Main entry to store clearly identifiable

- Retaining walls
  - All retaining walls must be faced (veneered) with masonry (stone, brick, stucco or approved equal).
  - Retaining walls adjacent to or visible from any street shall not exceed 4 feet in height. Grade changes that require retaining walls exceeding 4 feet must be terraced with a minimum of 4 feet clear separation between each wall. Exceptions may be reviewed and approved by the City in order to preserve existing tree stands.



- Walls should be designed as an integral part of the dwelling design. Stone sizes should be consistent and laid in a horizontal course. Masonry materials shall match or complement the facade of surrounding buildings.
- Walls at intersections must not interfere with safe sight distances.

**PRINCIPLE 6: Enhance pedestrian experience and establish sense of place through careful design and location of open spaces**

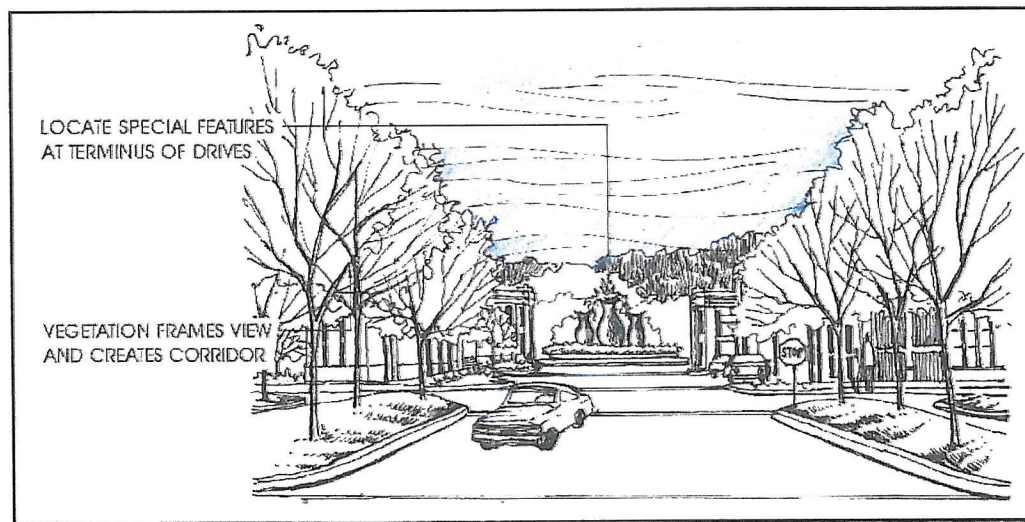
The creation of open space throughout the City is an essential technique used to break up building facades. The use of such pockets of interest creates views into the various developments. A wide range of open spaces such as public gathering plazas, open "greens", common play areas, neighborhood parks and natural preserves can be incorporated into development plans.

▪ **View Corridors**

- Open space is considered a valuable amenity, therefore careful consideration of vistas into open spaces from residential lots, streets and drives is required.
- Maintain view corridors to provide vistas of amenities, natural features, open spaces and other significant elements.
- Create focal points at main entries, on axis with major circulation route and pedestrian corridors to establish a strong identity and structure for the project.



*Community Park*



*View of amenity feature is framed by use of vegetation and road alignment, creating a signature element*

**Parks and Trails**

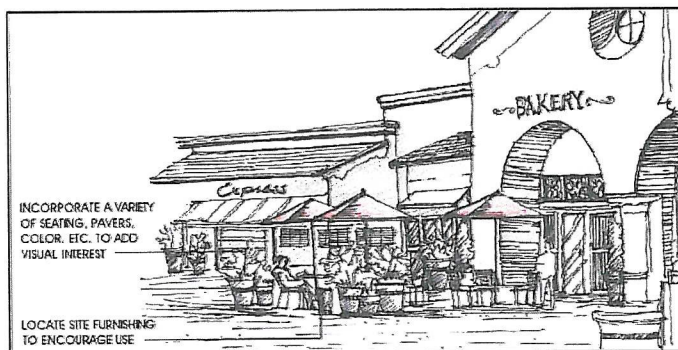
- In residential areas, parks should be located within a 5 minute walk (approximately 1,000 feet) from each home.
- Trail linkages should be provided from proposed neighborhoods to the City's comprehensive trail system, forest preserve trails and adjacent developments.

*Neighborhood Park*

- **Courtyards and Plazas**

Courtyards, plazas and terraces should be designed at a human scale and incorporated as public amenities around non-residential buildings. Interrupting building facades to create "outdoor rooms" as well as varying the width of walkways will help create pedestrian spaces. These pedestrian spaces will create opportunities for comfortable outdoor experiences and are critical in defining plazas and courtyards.

- Orient plazas and courtyards to views of site amenities such as open space, water features, sculptural elements or landscaped areas.
- Consider opportunities to orient plazas and courtyards toward views of significant buildings or down long corridors.
- Wherever possible, create a sense of enclosure for outdoor seating areas. Such areas should be light and airy while providing a sense of safety from the elements.
- Add elements such as trees, water features, a variety of seating areas and landscape color to give the public spaces an inviting appearance and visual interest.
- Incorporate pedestrian scaled lighting for safety and to promote use in the evening.
- Incorporate pavers and paving patterns to add interest and enhance the aesthetic quality of the spaces.
- Allow for outdoor tables and seating to promote use of the space. By doing so, an energy is created along the structure.

*Landscaping and special paving give the seating area a sense of enclosure**Plazas and courtyards offer spaces for outdoor cafes*



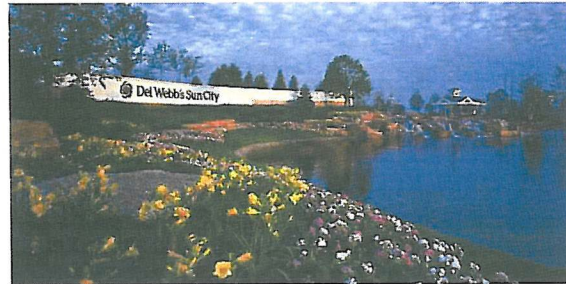
**PRINCIPLE 7: Thoughtful consideration of vehicular and pedestrian circulation within individual developments**

The purpose of the circulation standards is to minimize hazards and conflicts and establish logical circulation patterns. The appropriate integration of vehicular and pedestrian circulation is intended to provide safe and convenient access to all sites while being attractive, efficient and functional.

- **Vehicular Circulation**

- **Primary Site Entrances**

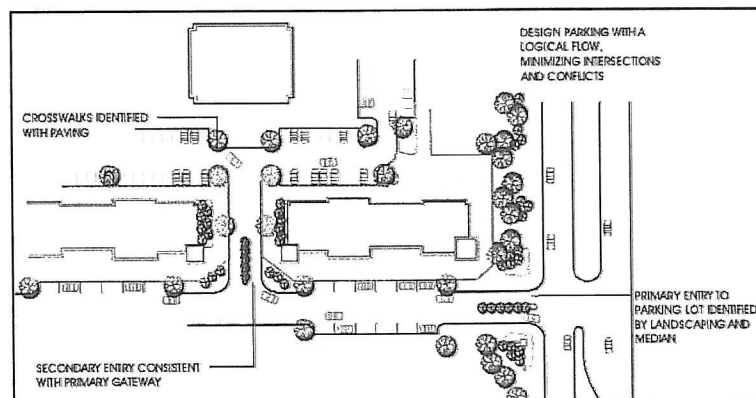
Each entrance to a parcel, individual building site or residential neighborhood from a primary roadway should be designed as a “gateway” to the area it serves. Design elements should be visually interesting and consistent with other streetscape materials used throughout the City.



*Primary residential entrance highlighted with signage, landscaping and water elements*

When designing entries into residential and non-residential tracts, developers shall:

- Coordinate with adjacent properties to consolidate entries and minimize access points along major roadways
- Minimize pedestrian and vehicle conflicts by reducing the quantity of crosswalks.
- Clearly identify site entries and provide a clear entry/arrival sequence.
- Provide “secondary” entries to parking lots and smaller residential neighborhoods from adjacent perpendicular minor roadways to major roadways. Paving material, plants, signs and lighting should match primary entrance treatments, although landscaping intensity and signage may be reduced in scale.
- Provide at least one “primary” entry to parking lots or residential communities. The use of medians and/or special paving or landscaping to identify primary entries is required.



*Single primary entrance reduces access points along Corridor*

- Internal Drives

All internal drives should visually lead drivers to building entries, site amenities or focal elements.

- Design drives and parking areas to fit the natural contours of the site in order to minimize cut and fill and maintain natural drainage.

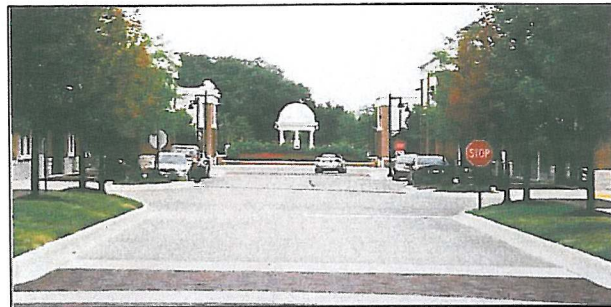
- Align streets and drives to offer views to significant architectural features and site amenities and to direct drivers.

- Internal streets shall be separated from parking lots by landscape islands and walkways.

- Drop-Off Areas

Drop-off areas for vehicle passengers shall be incorporated into development plans and should provide safe, convenient access to building entries, pedestrian plazas and public open spaces. Drop-off areas must conform to all ADA regulations and standards.

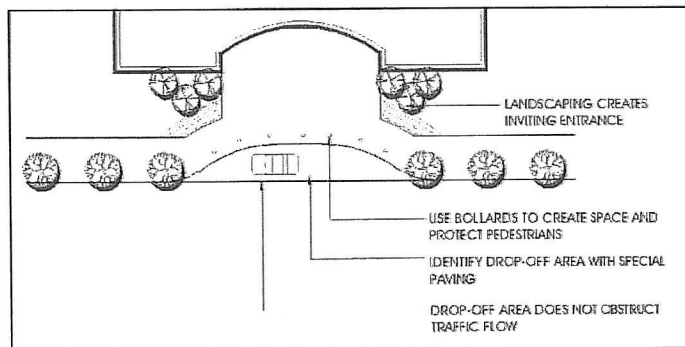
- Emphasize drop-off areas with special paving material.
- Design drop-off lanes so they do not obstruct traffic flow when vehicles are stopped.
- Install bollards at drop-offs to provide protection for buildings and pedestrian walkways.



*Street alignment offers views of significant architectural feature*



*Landscaped island separates parking lot from internal drive*



*Drop-off area doesn't conflict with regular traffic and is identified with paving and bollards*



**■ Service Areas**

Service vehicle circulation throughout the City shall be designed to provide safe and efficient delivery routes for all anticipated service and delivery vehicles. The design of individual parcels to accommodate truck access shall meet all regulatory requirements for turning movements without sacrificing other important design objectives.

- Locate service areas away from major streets and building entrances.
- A noise barrier is required in situations where service areas are adjacent to a residential land use.
- Minimize pedestrian and service vehicle conflicts.
- Hide/screen views into service areas. Screening can be provided with landscaping or screen walls. Screen walls shall repeat materials and elements of the primary building.
- Adjoining uses should share service drives where possible.
- Design service drives to accommodate the traffic intended to use them including all entrance roads and access aisles that will be used to access the service areas.



*Service area screened with landscaping*

**■ Pedestrian Circulation**

The purpose of pedestrian circulation standards is to establish guidelines for creating a pedestrian circulation system that is safe and efficient. Good walking environments include: continuous routes between sites, clearly defined access from parking areas, a variety of connected destinations and a feeling of safety and security. In essence, creating a sense of comfort.

**■ Sidewalks**

Sidewalks must be constructed to provide pedestrian access to adjacent development and connections to the pedestrian trails throughout the City. Within specific developments, sidewalks shall provide access to and from parking lots, neighborhoods, schools, parks and open spaces.

- Create distinct pedestrian corridors, which funnel pedestrians to logical gateways, plazas or other destinations.



*Path provides access to park and adjacent neighborhood*

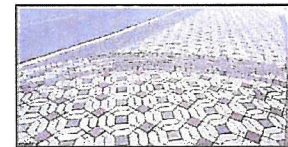
- Place special emphasis on pedestrian connections that link schools, recreation areas and other major activity areas.
- Neighborhoods should have access to open space and pocket parks by way of sidewalks and trails.
- In residential areas, sidewalks should be located on both sides of the street.
- Pavers or other changes in material should be used for walks adjacent to buildings and at street intersections to identify and enhance pedestrian routes.



*Pavers next to building enhance appearance*

#### ▪ Crosswalks

Crosswalks are required at all intersections and key pedestrian crossings. Crosswalks must be identified by a change in color, height, width, texture, or materials. Refer to ADA regulations and standards for any specific criteria regarding crosswalks and ramps.



*Enhanced paving delineates crosswalk*

#### ▪ Pedestrian Circulation in Parking Lots

Walkways that lead pedestrians from parking areas to buildings or plazas should be designed to facilitate easy movement and minimize crossing conflicts with vehicles. Pedestrians should feel comfortable about their walkways to buildings and pedestrian corridors should be clearly identified.

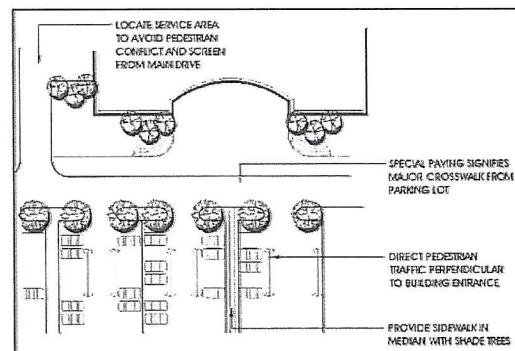
- Pedestrians should not be required to cross service drives to reach major entrances from primary parking lots.
- Where major pedestrian routes within parking lots cross roadways and drives, use textured or colored paving materials to distinguish the route.
- Medians with sidewalks allow for safe circulation and reduce circulation conflicts.
- Wherever feasible orient parking aisles perpendicular to building entrances.



*Landscaped median with sidewalk*



*Crosswalk delineated with paving and bollards*



*Median with sidewalk allows safe access to building entry*



### ▪ Accessibility

Owners and developers are expected to meet or exceed all requirements of the Americans with Disabilities Act (ADA), 1992, and all amendments thereto in the design and development of individual parcels, sites, buildings, and facilities. To the greatest extent possible, provide equal access in a manner that integrates ADA accessibility with ordinary accessibility, rather than separately.

### **PRINCIPLE 8: Appropriate design of parking lots, utilities, service areas and detention areas to reduce the negative impact of typically unattractive site components**

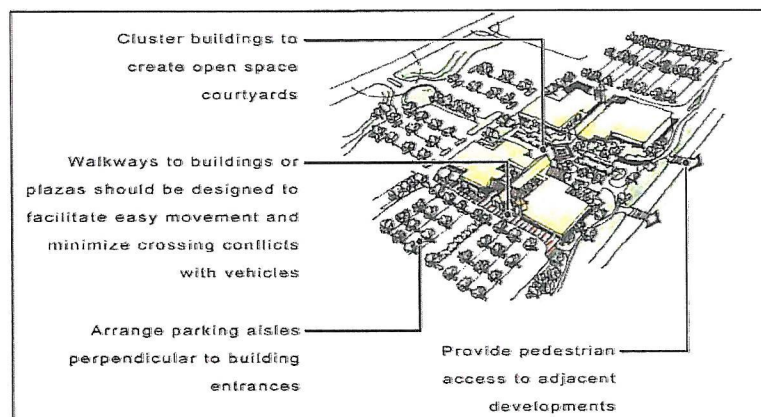
This section provides standards for the siting and layout of parking lots, service and loading areas, utilities, trash, storage and detention facilities. Specific landscaping criteria for these areas are included in the Landscape Principles section. Site plans specifying parking and circulation designs, utility and detention requirements shall be submitted to the City for review.

### ▪ Parking

- Parking ratios and quantity of spaces shall comply with the criteria set forth in the United City of Yorkville Zoning Ordinance.
- Parking areas should be designed and located so they provide safe and efficient vehicular and pedestrian circulation within a site.
- Minimize negative visual impacts from adjacent roadways.
- Break large expanses of pavement with landscape medians and islands.
- Divide parking areas which accommodate a large number of vehicles into a series of smaller, connected lots.
- Avoid situations where parking spaces directly abut structures.
- Separate parking aisles from interior collectors and entry drives whenever possible.



*Minimize negative visual impacts of parking from roadways*



- *Shared Parking*

Where opportunities exist for shared parking between uses with staggered peak parking demands, consider reducing the total number of parking spaces within each site or parcel. Parking should be shared between complementary uses such churches and office buildings.

- *Store Front & Street Parking Requirements*

All store front parking areas shall use angled parking or parallel parking. Areas shall be provided for sidewalks and landscaping between the store front and the edge of parking stall.

- *Bicycle*

To encourage and accommodate alternative transportation modes, provide bicycle parking within each building site. Locate bicycle parking areas so they are visible from building entrances and convenient for riders. Parking areas shall be landscaped in a manner consistent with pedestrian plazas. Also, bike racks should be of a style consistent with other site elements.

- **Substations/Water/Wastewater Stations**

Proposed electric substations, water pump stations and wastewater lift stations shall be screened from public views by a means of a 6 foot masonry wall on all sides with the exception of the area for gate access to the facility combined with landscaping. Service access shall be considered and incorporated into the screening program.

- **Detention**

- Drainage facilities should be used as an amenity to a development. If the existing topography allows, the location can be incorporated into an entry feature or can be the foundation for a park with trails and open space.
- Natural and/or vegetated drainage swales provide open space connections, filter runoff and improve the aesthetic appearance of development.
- Detention facilities should not be designed as to require chain link fencing or concrete walls. If such designs are required due to engineering requirements, consider using decorative modular stone to give the appearance of a retaining wall.
- Detention ponds located in the front yard building setback shall be designed as a curvilinear, contoured shape.



*Lake serves as main entry feature*



*Naturalistic drainage channel provides opportunities for trail connection*



**■ Location of Utilities**

Visual and sound impacts of utilities, mechanical equipment, data transmission dishes, towers and other equipment should be minimized in all development plans.

- Design and install all permanent utility service lines underground.
- During construction and maintenance, minimize disruptions to other sites and businesses within the City.
- Temporary overhead distribution power and telephone lines are permitted during construction but shall be removed immediately upon completion of site and building construction.
- Wherever possible, mount data transmission and receiving telecommunication devices at ground level to the rear of structures and screen views from adjacent roadways, pedestrian paths and building sites.
- Screen all electrical transformers, gas meters and other utility cabinets from view.
- Structures are prohibited from being located in utility easements. Avoid locating signs, special landscape features, etc. in utility easements.
- Air conditioning units, vent systems and other mechanical systems that must be located on building roofs shall be screened from sight at the ground plane.
- In residential communities:
  - Items requiring screening should be located on the rear or side yards when possible and should be integrated into the unit design.
  - Air conditioning units must be located behind a screen wall or planting hedge.
  - Utility meters must be located on side or rear elevations of the dwelling.

**■ Location of Service/Delivery/Trash/Storage Areas**

The visual impacts of service, delivery, trash and outdoor equipment or storage areas should be minimized, particularly relative to views from public roadways and pedestrian corridors. Thoughtful placement and integration into the architecture and site design is a priority for all sites.

- Orient service entrances, loading docks, waste disposal areas and other similar uses toward service roads and away from major streets and primary building entrances.
- Locate loading, service, trash and delivery areas so they do not encroach on any setbacks.



*Screen dumpsters with walls and materials that match architecture of primary building*

- Avoid locating service areas where they are visible from adjacent buildings or where they may impact view corridors. Such facilities are more appropriate at the rear of buildings or sites.
- Trash enclosures must be located away from residential property lines.
- Wherever possible, coordinate the locations of service areas between adjacent users or developments, so that service drives can be shared.
- Locate parking areas for outdoor equipment, trucks, trailers, service vehicles, etc. away from public parking lots and major pedestrian circulation routes. Unless totally out of view, screen these areas architecturally and with landscaping.
- All proposed dumpsters, trash receptacles, refuse storage containers, outdoor storage, and ground mounted equipment should be located within an enclosure providing screening along with landscaping along the perimeter. Such enclosures shall repeat materials and elements on the primary building.



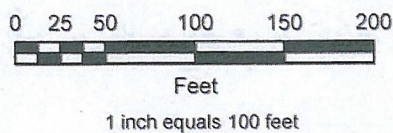
*Screen dumpsters with walls and materials that match architecture of primary building*

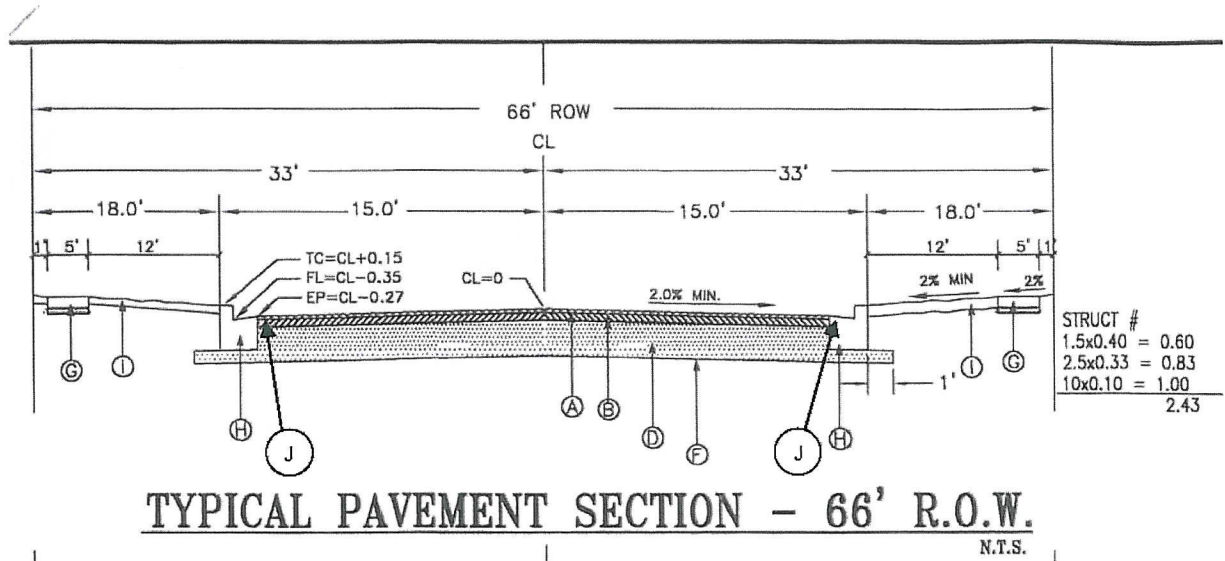


The Data is provided without warranty or any representation of accuracy, timeliness, or completeness. It is the responsibility of the "Requester" to determine accuracy, timeliness, completeness, and appropriateness of its use. The United City of Yorkville makes no warranties, expressed or implied, to the use of the Data.  
-Parcel Data provided by Kendall County GIS



# Windmill Farms Exhibit "G"





- (A) 1.5" BITUMINOUS CONCRETE SURFACE COURSE, CL 1, TY. 2, MIX. D
- (B) 2.5" BITUMINOUS CONCRETE BINDER COURSE, CL 1, TY. 2
- (C) 4.5" BITUMINOUS CONCRETE BINDER COURSE, CL 1, TY. 2 (2 LIFTS)
- (D) 10" CRUSHED AGGREGATE SUB-BASE, TY. B.
- (E) 12" CRUSHED AGGREGATE SUB-BASE, TY. B.
- (F) COMPACTED SUBGRADE WITH GEO-TEXTILE FABRIC, AMOCO 4551 OR APPROVED EQUAL
- (G) 5" PCC SIDEWALK WITH W/4" CRUSHED AGG. SUB-BASE
- (H) COMB. CONC. CURB AND GUTTER, TYPE B-6.12
- (I) 6" TOP SOIL AND SEEDING

(J) Joint filling with hot-poured rubberized asphalt cement

EXHIBIT H - WINDMILL FARMS ANNEXATION - RESIDENTIAL FEE SCHEDULE			
	Name of Fee	Amount	Time of Payment
1	School District Transition Fee	\$3,000 per unit	Paid to School District Office prior to issuance for building permit
2	Yorkville Bristol Sanitary District Connection Fee	\$1,400 per unit	At time of building permit, paid at City Hall with separate check made out to YBSD
3	Yorkville Bristol Sanitary District Annexation Fee	3806 per acre	Paid for entire development, at time of annexation to sanitary district
4	Yorkville Bristol Sanitary District Infrastructure Fee	3806 per acre	Paid for entire development, at time of annexation to sanitary district
5	Residential Building Permit Fee	\$650 + \$.020 per square foot	Building Permit
6	Residential Water Connection Fee	\$3,700 per unit	Building Permit
7	Water Meter Cost (not applicable to fee lock)	\$390 per unit for SF	Building Permit
8	Residential City Sewer Connection Fee	\$2,000 per unit	Building Permit
9	Water and Sewer Inspection Fee	\$25 per unit	Building Permit
10	Public Walks and Driveway Inspection Fee	\$35 per unit	Building Permit
11a	Public Works (Development Impact Fee)	\$700 per unit	Building Permit
11b	Police (Development Impact Fee)	\$300 per unit	Building Permit
11c	Municipal Building (Development Impact Fee)	see "time of payment"	Municipal Building Impact Fee is set up as \$5,509 per unit if paid at time of permit, or \$3,288 per unit if paid at time of final plat for all units in the entirety of the annexed development.
11d	Library (Development Impact Fee)	\$500 per unit	Building Permit
11e	Parks and Rec (Development Impact Fee)	\$50 per unit	Building Permit
11f	Engineering (Development Impact Fee)	\$100 per unit	Building Permit
11g	Bristol Kendall Fire District (Development Impact Fee)	\$1,000 per unit	Building Permit
12	Parks Land Cash Fee	Calculated by ordinance, \$101,000 per acre	Building Permit or Final Plat, depending on annexation/development agreement and land/cash donations negotiated
13	School Land Cash Fee	Calculated by ordinance, \$101,000 per acre	Building Permit or Final Plat, depending on annexation/development agreement and land/cash donations negotiated
14	Road Contribution Fund	\$2,000 per unit	Building Permit
15	County Road Fee	\$1,707 per unit, escalating each calendar year at a rate determined by ordinance	Building Permit
16	Weather Warning Siren	\$75 per acre	Final Plat
17	Administration Review Fee	1.75% of Approved Engineer's Estimate of Cost of Land Improvements	Final Plat
18	Engineering Review Fee	1.25% of Approved Engineer's Estimate of Cost of Land Improvements	Final Plat
19	Engineering Coordination Fee	0.35% of Approved Engineer's Estimate of Cost of Land Improvements	Final Plat



# United City of Yorkville

EXHIBIT H - COMMERCIAL PERMIT FEES

County Seat of Kendall County  
800 Game Farm Road  
Yorkville, Illinois, 60560  
Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: [www.yorkville.il.us](http://www.yorkville.il.us)

## COMMERCIAL PERMIT FEES

### Permit/Plan Review

Building Permit	\$750.00 plus \$0.20 per square foot
Plan Review	Based on building size (See Attached)

### Contributions

Development Fee	\$3000.00* - See Attached Ordinance 2004-55 (Increase in Bristol-Kendall Fire Protection District Fee)
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### Water/Sewer

Sewer Tap	See Attached Ordinance #96-11	
Water Tap	<u>Water Meter Size</u>	<u>Water Connection Fee</u>
	1"	\$ 3,700
	1 1/2"	\$ 4,000
	2"	\$ 5,000
	3"	\$ 8,000
	4"	\$15,000
	6" and larger	TBD

Water Meter	<u>Water Meter Size</u>	<u>Water Meter Price</u>
	1"	\$ 485.00
	1 1/2"	\$ 790.00
	2"	\$2800.00
	3"	\$3550.00
	4"	\$5420.00
	6"	\$8875.00

Engineering Inspections	\$60.00
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River Crossing Fee	\$25.00 per drain unit. See attached Ordinance 97-11
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\*\*Engineering and Landscaping review fees will be billed separately.

\*\*\* Please call the Yorkville Bristol Sanitary District for sanitary permit fees (630) 553-7657



# EXHIBIT H - MULTI-FAMILY PERMIT FEES

A. New Construction Per Unit	\$350.00 plus \$0.15 per s.f.
B. Remodeling Per Unit	\$175.00 plus \$0.10 per s.f.
C. Detached Garage Per Unit without Electrical	\$50.00
D. Detached Garage Per Unit with Electrical	\$100.00
E. Temporary to Start Construction	25% of full permit fee, not to be applied to the full permit fee
F. Temporary Certificate of Occupancy when Requested by the Builder when Circumstances <u>Do Not</u> Warrant	\$50 per unit (non-refundable)

## ALL OTHER USE GROUPS

<input type="checkbox"/> A. New Construction	\$750.00 plus \$0.20 per square foot
B. Additions	\$500.00 plus \$0.20 per square foot
C. Remodeling	\$350.00 plus \$0.10 per square foot
D. Temporary to Start Construction	25% of full permit fee, not to be applied to the full permit fee
E. Temporary Certificate of Occupancy when Requested by the Builder when Circumstances <u>Do Not</u> Warrant	\$200.00 (non-refundable)

**NOTE:** Building permit fee does not include the plan review fee for the "multiple-family residential use group" and "other use group" categories. The plan review fee will be based on the schedule following the permit fees. Plan review fees to the inspection firm will be paid at the same time as the building permit fee.

PLAN REVIEW FEES (May vary due to outside consultant's fee schedules.)

BUILDING CODE

<i>Building Size</i>	<i>Fee</i>
1 to 60,000 cubic feet	\$355.00
60,001 to 80,000 cubic feet	\$400.00
80,001 to 100,000 cubic feet	\$475.00
100,001 to 150,000 cubic feet	\$550.00
150,001 to 200,000 cubic feet	\$650.00
over 200,000 cubic feet	\$650.00 + \$6.50 per 10,000 cubic feet over 200,000

REMODELING PLAN REVIEW      1/2 of Plan Review Fee Listed Above

ELECTRICAL, MECHANICAL, OR PLUMBING PLAN REVIEW ONLY  
1/4 of Plan Review Fee Listed Above

FIRE DETECTION/ALARM SYSTEMS

\$115.00 per 10,000 square feet of floor area

FIRE SPRINKLER SYSTEMS

<i>Number of Sprinklers</i>	<i>Pipe Schedule</i>	<i>Hydraulic Calculated</i>
Up to 200	\$250.00	\$500.00
201-300	\$300.00	\$575.00
301-500	\$400.00	\$775.00
Over 500	\$450.00	\$850.00
PLUS, for each Sprinkler over 500:	\$0.60/each	\$0.95/each

ALTERNATE FIRE SUPPRESSION SYSTEMS

Standpipe	\$175.00 per Standpipe Riser (No charge with Sprinkler Review)
Specialized Extinguisher Agent (Dry or Other Chemical Agent)	\$125.00 per 50 pounds agent
Hood & Duct Cooking Extinguisher Agent	\$150.00 flat rate per system.

**NOTE:** If any plan has to be sent to an outside consultant other than the inspection firm, the outside consultant's fee(s) will be charged and that fee paid directly to the outside consultant.

**Product(s):** SubTrib\_Aurora Beacon News, Publicnotices.com

**AdSize(s):** 1 Column

**Run Date(s):** Friday, March 18, 2022

**Zone:** Full Run

**Color Spec.** B/W

## Preview

**PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING  
BEFORE  
UNITED CITY OF YORKVILLE  
CITY COUNCIL**

**NOTICE IS HEREBY GIVEN** a public hearing shall be held on an amendment to that certain Annexation Agreement (Windmill Farms) dated May 27, 2008, by and among Jake Land Group, LLC ("Original Owner"), and the United City of Yorkville, Kendall County, Illinois, on **April 12, 2022** at 7:00 p.m. at City Hall at the United City of Yorkville, 800 Game Farm Road, Yorkville, Illinois for the purpose of amending the Windmill Farms Annexation Agreement related to the zoning of a certain parcel into the B-3 General Business District. The purpose of the amendment is to allow for the establishment and operation of a professional services business within the existing residential structure on the proposed B-3 zoned parcel. The real property is approximately 1.17 acres and is situated south of Illinois State Route 71, at the northwest intersection of Wing Road and Illinois State Route 126. The common address is 8721 Route 126 in Yorkville, Illinois.

The legal description of said parcel is as follows:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1,995.6 FEET TO THE CENTERLINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG SAID CENTERLINE OF ILLINOIS ROUTE 71, 1,411.3 FEET TO THE CENTERLINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY

# Chicago Tribune

ALONG THE EXTENDED CENTERLINE AND THE CENTERLINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25 MINUTES TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTERLINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FROM THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47 MINUTES TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTERLINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE OF ILLINOIS ROUTE 126 TO THE CENTERLINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTERLINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

PIN# 05-03-300-007

The public hearing may be continued from time to time without further notice being published.

All interested parties are invited to attend the public hearing and will be given an opportunity to be heard. Any written comments should be addressed to the United City of Yorkville Community Development Department, City Hall, 800 Game Farm Road, Yorkville, Illinois 60560, and will be accepted up to the date of the public hearing.

By order of the Corporate Authorities of the United City of Yorkville, Kendall County, Illinois.

JORI BEHLAND  
City Clerk  
3/18/22 7171893



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Consent Agenda #1

Tracking Number

### Agenda Item Summary Memo

**Title:** Minutes of the Regular City Council – March 8, 2022

**Meeting and Date:** City Council – April 12, 2022

**Synopsis:** Approval of Minutes

#### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Majority

**Council Action Requested:** Approval

**Submitted by:** Jori Behland Administration  
Name Department

#### Agenda Item Notes:

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**MINUTES OF THE REGULAR MEETING OF THE CITY COUNCIL**  
**OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS.**  
**HELD IN THE CITY COUNCIL CHAMBERS,**  
**800 GAME FARM ROAD ON**  
**TUESDAY, MARCH 8, 2022**

Mayor Pro-Tem Plocher called the meeting to order at 7:00 p.m. and led the Council in the Pledge of Allegiance.

**ROLL CALL**

City Clerk Behland called the roll.

Ward I	Koch	Present
	Transier	Present
Ward II	Plocher	Present
	Soling	Present
Ward III	Funkhouser	Present
	Marek	Present
Ward IV	Tarulis	Present
	Peterson	Absent

Staff in attendance at City Hall: City Clerk Behland, City Administrator Olson, Chief of Police Jensen, Attorney Orr, Public Works Director Dhuse, Finance Director Fredrickson, Parks and Recreation Director Evans, Purchasing Manager Gayle, Facilities Manager Raasch, and EEI Engineer Sanderson.

Staff in attendance electronically: Mayor John Purcell, Community Development Director Barksdale-Noble, and Assistant City Administrator Willrett.

Clerk’s Note: Due to COVID-19, in accordance with Public Act 101-0640 and Gubernatorial Disaster Proclamation issued by Governor Pritzker pursuant to the powers vested in the Governor under the Illinois Emergency Management Act, the United City of Yorkville encouraged social distancing by allowing remote attendance to the City Council meeting.

Members of the public were able to attend this meeting in person while practicing social distancing as well as being able to access the meeting remotely via Zoom which allowed for video, audio and telephonic participation.

A meeting notice was posted on the City’s website on the agenda, minutes and packets webpage with instructions regarding remote meeting access and a link was included for the public to participate in the meeting remotely: <https://us02web.zoom.us/j/89949198156?pwd=SU81R0RobGNxcmZZZWRpMkVTckZudz09>. The Zoom meeting ID was 899 4919 8156.

**QUORUM**

A quorum was established.

**AMENDMENTS TO THE AGENDA**

None.

**PRESENTATIONS**

**Yorkville Educational Foundation**

The Yorkville Educational Foundation recognized Parks and Recreation Director Tim Evans and Superintendent of Parks Scott Sleezer at the meeting for their partnership with the Yorkville School District 115 Park Rangers Program. This program allows elementary students the chance to explore local parks, ask questions, and make recommendations for new playground improvements within the City.

**Proposed Budget for Fisacl Year 2022-2023 Presentation**

City Administrator Olson gave a PowerPoint presentation on the fiscal year 2023 budget (*see attached*).

**PUBLIC HEARINGS**

**Proposed Budget for Fiscal Year 2022-2023**

Mayor Pro-Tem Plocher opened the public hearing for the proposed budget for fiscal year 2022-2023. He asked if anyone wished to comment on the proposed budget. Upon hearing no public comments, Mayor Pro-Tem Plocher then closed the public hearing.

**CITIZEN COMMENTS ON AGENDA ITEMS**

None.

**CONSENT AGENDA**

1. Minutes of the Regular City Council – February 22, 2022
2. Bill Payments for Approval
  - \$ 1,182,446.17 (vendors)
  - \$ 131,763.40 (wire payments)
  - \$ 334,261.45 (payroll period ending 02/18/2022)
  - \$ 1,648,471.02 (total)

Mayor Pro-Tem Plocher entertained a motion to approve the consent agenda. So moved by Alderman Soling; seconded by Alderman Koch.

Motion approved by a roll call vote. Ayes-7 Nays-0  
Koch-aye, Plocher-aye, Funkhouser-aye, Tarulis-aye,  
Transier-aye, Soling-aye, Marek-aye

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**REPORTS**

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**MAYOR’S REPORT**

**Bright Farms Development Agreement  
(CC 2022-05)**

There was no update given for the Bright Farms Development Agreement at the meeting.

**PUBLIC WORKS COMMITTEE REPORT**

**Resolution 2021-10**

**Approving an Intergovernmental Agreement Between  
Kendall County, Illinois and the United City of Yorkville,  
Relating to the Reconstruction and Maintenance of Fox Road  
from Fox Lawn Subdivision, East to Illinois Rte. 47  
(CC 2022-17)**

Alderman Marek made a motion to approve a Resolution Approving an Intergovernmental Agreement Between Kendall County, Illinois and the United City of Yorkville, Relating to the Reconstruction and Maintenance of Fox Road from Fox Lawn Subdivision, East to Illinois Rte. 47 and authorize the Mayor and City Clerk to Execute; seconded by Alderman Transier.

Motion approved by a roll call vote. Ayes-7 Nays-0  
Plocher-aye, Funkhouser-aye, Tarulis-aye, Transier-aye,  
Soling-aye, Marek-aye, Koch-aye

**ECONOMIC DEVELOPMENT COMMITTEE REPORT**

No report.

**PUBLIC SAFETY COMMITTEE REPORT**

**Resolution 2022-11**

**Authorizing the Purchase of Three 2022 AWD Ford Explorer  
Police Interceptors SUV Vehicles from Marrow Brothers Ford,  
Greenfield, Illinois in the Amount Not to Exceed \$180,000  
(PS 2022-07)**

Alderman Transier made a motion to approve a Resolution Authorizing the Purchase of Three 2022 AWD Ford Explorer Police Interceptors SUV Vehicles from Marrow Brothers Ford Greenfield, Illinois in the Amount Not to Exceed \$180,000 and authorize the Mayor and City Clerk to execute; seconded by Alderman Tarulis.

Motion approved by a roll call vote. Ayes-7 Nays-0  
Funkhouser-aye, Tarulis-aye, Transier-aye, Soling-aye,  
Marek-aye, Koch-aye, Plocher-aye

**ADMINISTRATION COMMITTEE REPORT**

No report.

**PARK BOARD**

No report.

**PLANNING AND ZONING COMMISSION**

No report.

**CITY COUNCIL REPORT**

No report.

**CITY CLERK’S REPORT**

No report.

**COMMUNITY & LIAISON REPORT**

No report.

**STAFF REPORT**

No report.

**MAYOR’S REPORT (cont’d)**

**City Buildings Updates  
(CC 2021-04)**

**a. Resolution 2022-12                      Approving an Agreement for the New City Hall & Police Facility  
Renovation with Lite Construction Inc., Montgomery, IL  
in an Amount Not to Exceed \$5,889,000.00**

Mayor Pro-Tem Plocher made a motion to approve a Resolution Approving an Agreement for the New City Hall & Police Facility Renovation with Lite Construction Inc., Montgomery, IL in an Amount Not to Exceed \$5,889,000.00 and authorize the Mayor and City Clerk to execute; seconded by Alderman Tarulis.

City Administrator Olson explained this motion covers the contract with Lite Construction for the renovations, replacing the HVAC unit, replacing the roof, and moving the generator away from the building to the garage. Then staff is looking for direction on whether the council would like to use gas or electric for the HVAC unit.

Alderman Koch asked about the backup generator. Facilities Manager Raasch said it was diesel and said they had to go with diesel based on the size. Alderman Funkhouser asked if they decided to switch to gas would they be able to amend the contract. Facilities Manager Raasch said it could be done through a change order. Alderman Plocher asked Lite Construction if they ever put electric HVAC units on roofs, and they said the majority is gas. All council members voted to go with gas for the HVAC unit.

Motion approved by a roll call vote. Ayes-7   Nays-0  
Tarulis-aye, Transier-aye, Soling-aye, Marek-aye,  
Koch-aye, Plocher-aye, Funkhouser-aye

**b. Resolution 2022-13                      Approving a Quotation for Prairie Pointe Furniture and  
Materials from Groupe LaCasse, Montreal, QC Canada,  
in an Amount Not to Exceed \$426,369.44**

Mayor Pro-Tem Plocher made a motion to approve a Resolution Approving a Quotation for Prairie Pointe Furniture and Materials from Groupe LaCasse, Montreal, QC Canada, in an Amount Not to Exceed \$426,369.44 and authorize the Mayor and City Clerk to execute; seconded by Alderman Marek.

Motion approved by a roll call vote. Ayes-7   Nays-0  
Transier-aye, Soling-aye, Marek-aye, Koch-aye,  
Plocher-aye, Funkhouser-aye, Tarulis-aye

**Water Study Update  
(CC 2021-38)**

There was no water study update given at the meeting.

**Proposed Budget for Fiscal Year 2022-2023**

There are proposed changes to the Fiscal Year 2023 draft budget within the packet material.

**ADDITIONAL BUSINESS**

**Yorkville Educational Foundation**

Alderman Marek wanted to congratulate Tim Evans and Scott Sleezer for their nominations. Matt said there were 115 nominations. The awards ceremony is planned for Wednesday, March 30<sup>th</sup> from 4:30 – 6:30 pm at the Kendall County Fairgrounds.

**CITIZEN COMMENTS**

**Lite Construction**

Lite Construction thanked the City for voting to move forward with their business on the New City Hall and Police Facility’s renovations.



**EXECUTIVE SESSION**

None.

**ADJOURNMENT**

Mayor Pro-Tem Plocher entertained a motion to adjourn the City Council meeting. So moved by Alderman Funkhouser; seconded by Alderman Marek.

Motion approved by a roll call vote. Ayes-7 Nays-0  
Soling-aye, Marek-aye, Koch-aye, Plocher-aye,  
Funkhouser-aye, Tarulis-aye, Transier-aye

Meeting adjourned at 7:44 p.m.

Minutes submitted by:

Jori Behland,  
City Clerk, City of Yorkville, Illinois

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UNITED CITY OF YORKVILLE  
KENDALL COUNTY, ILLINOIS

CITY COUNCIL MEETING  
PUBLIC HEARING

800 Game Farm Road  
Yorkville, Illinois

Tuesday, March 8, 2022  
7:00 p.m.

1           PRESENT (in person and via Zoom):

2                 Mr. John Purcell, Mayor;

3                 Mr. Ken Koch, Alderman;

4                 Mr. Dan Transier, Alderman;

5                 Mr. Arden Joe Plocher, Mayor Pro-Tem;

6                 Mr. Craig Soling, Alderman;

7                 Mr. Chris Funkhouser, Alderman;

8                 Mr. Matt Marek, Alderman;

9                 Mr. Seaver Tarulis, Alderman.

10  
11           ALSO PRESENT (in person and via Zoom):

12                 Mr. Bart Olson, City Administrator;

13                 Ms. Jori Behland, City Clerk;

14                 Ms. Erin Willrett, Assistant City  
15                 Administrator;

16                 Ms. Kathleen Field-Orr, City Attorney;

17                 Mr. Brad Sanderson, City Engineer;

18                 Mr. Eric Dhuse, Public Works Director;

19                 Ms. Krysti Barksdale-Noble, Community  
20                 Development Director;

21                 Mr. Rob Fredrickson, Finance Director;

22                 Mr. Tim Evans, Parks and Recreation  
23                 Director;

24                 Chief James Jensen, Yorkville Police

Department;

Ms. Shanel Gayle, Purchasing Manager;

Mr. Steve Raasch, Facilities Manager.

- - - - -

1 (WHEREUPON, the following  
2 proceedings were had in  
3 public hearing portion  
4 of the meeting:)

5 MAYOR PRO-TEM PLOCHER: All right.  
6 Moving along, first we'll have Bart give a short  
7 thing on -- as short as he can make it.

8 MR. OLSON: We'll see about that.

9 MAYOR PRO TEM PLOCHER: As short as he  
10 can, thing on the budget, and then we'll open it  
11 up for public hearing.

12 MR. OLSON: Okay. Thank you for the  
13 introduction. Again, I am Bart Olson, the City  
14 Administrator.

15 So Rob was kind enough to at the  
16 last meeting give a presentation on the budget,  
17 so I wanted to just reinforce a couple points  
18 from Rob's presentation and then expand a little  
19 bit for purposes of the public hearing.

20 So again, our second presentation on  
21 the budget is tonight, we do have the public  
22 hearing, it's going to open in a few minutes, and  
23 City Council has to approve the budget before the  
24 end of the fiscal year at the end of April.

1                   So tonight's outline, again, just  
2                   setting up the big picture, quick review of the  
3                   year-by-year of those projects, a few of the  
4                   items to note that are in the memo and then some  
5                   of the small picture items which I think are  
6                   relevant to some of our broader discussions, so  
7                   not specifically covered in tonight's Power Point  
8                   are all the funds that are listed there, so we  
9                   can do those in the committee or do those in the  
10                  future City Council meeting if you have any  
11                  questions. We can even do it outside of the  
12                  meeting if you'd like.

13                  Just a reminder, it is a five-year  
14                  budget, but only the fiscal year '23 budget is  
15                  approved by City Council, so really you've got  
16                  one column to approve and everything else is  
17                  planning.

18                  So these are the charts that Rob  
19                  showed at the last meeting just comparing last  
20                  year's five-year budget document to this year's  
21                  five-year budget document, and, in general, the  
22                  fund balance in the general fund is much better  
23                  than it was last fiscal year five-year proposal,  
24                  so when you take all the funds and lump them



1 together, we have a wild swing from the more  
2 steady five-year budget proposal last year to  
3 this year's, which is up and down, and that's  
4 because we are proposing to sell bonds and spend  
5 money on a couple large municipal buildings, so  
6 that's taking in the bond revenue one year and  
7 then spending it the next year.

8 So again, when you look at the  
9 aggregate city budget, we are in a better  
10 position overall in the five-year budget proposal  
11 than we thought we would be last year.

12 So again, that picture of the  
13 general fund and the aggregate is really  
14 explained by this chart here, which is all of our  
15 capital spending in the entire budget.

16 I don't know if this is a record, I  
17 am assuming it is, I did not go back and check,  
18 but between the municipal buildings, fully  
19 funding roads, water, sewer projects, some  
20 deferred maintenance from years with sidewalks  
21 and trails and pavement striping, vehicle  
22 purchases, you know, we're proposing to fund a  
23 capital program in fiscal year '23 that is much  
24 larger than it usually is.

1                   So again, just in this fiscal year  
2     '23, we've got some interim studies for Lake  
3     Michigan that Rob mentioned last week, or two  
4     weeks ago, we've got all of our normal road  
5     projects, which we'll get into on a fund-by-fund  
6     basis here, including almost all grants that we  
7     have applied for we're assuming get awarded and  
8     then they're funded in here, so we don't have to  
9     go through and do a budget amendment later, a  
10    full water and sewer capital improvement plan, so  
11    that is everything that Brad and Erik and Rob and  
12    Krysti and Erin can think of that we need to fund  
13    related to those systems, we've thrown them in  
14    the budget and figured out a way to pay for them,  
15    along with both of our building renovations,  
16    planning for the Public Works building, and then  
17    new programs related to playground maintenance,  
18    so Tim and Scott are here and can answer  
19    questions if you have any, but we are fully  
20    funding every playground that should come up for  
21    replacement within the next five years, which  
22    is -- it's close to ten if I remember right. Not  
23    that we'll do all those, but we have the funding  
24    available to do them if we notice that the

1 materials are breaking down. And parking lots,  
2 sidewalks, things that we have never funded  
3 before, we've got it in this budget.

4 Fiscal year '24 is more of the same,  
5 a lot of those same things carry forward,  
6 including a fully expanded better roads program,  
7 and then this is the first year that we have to  
8 figure out what we're doing with Lake Michigan.  
9 We've got, you know, a couple hundred thousand  
10 dollars in this five-year budget proposal for  
11 Lake Michigan, but based on our previous  
12 conversations, we know that that's going to be  
13 90-plus million dollars just in our share, and  
14 unfortunately all that is going to come due here  
15 in the next five years, so we're going to have to  
16 push more of that into next year's budget  
17 proposal.

18 And then in fiscal year '25 and  
19 beyond, we have the same programs to carry  
20 forward. We tried to maintain funding levels for  
21 what we currently have and expanded them a little  
22 bit where we can.

23 So this is the same slide you saw  
24 two weeks ago on Lake Michigan; again, the

1 interim studies are funded; we've got 90-plus  
2 million dollars, though, that we have to figure  
3 out how to plan in fiscal year '24 and beyond.

4 Based on our last public meetings  
5 that we had on this, where we had estimated that  
6 the average price of a water bill might go from  
7 \$45 or so up to about \$90 at the end, and that's  
8 assuming that you fund the entire water project  
9 out of the water fund and through water rates,  
10 you know, we figure we would propose something in  
11 the interim to sort of chip away at that bundle  
12 from the larger water projects in the next couple  
13 years and get us on that road to being able to  
14 pay for the project hopefully, you know, over  
15 time.

16 So again, so we have interim  
17 studies, we have an interim rate proposal for  
18 this upcoming year, and we did stagger a little  
19 bit, which is I think in a different slide, and  
20 then we have to figure out within the next year  
21 how we try and fund all these other projects  
22 related to it.

23 Also in this budget, again, as Rob  
24 mentioned a couple weeks ago, full Prairie Pointe

1 funding, so everything that we are going to  
2 discuss and review tonight is funded in the  
3 budget should you choose to authorize it. Same  
4 for the Public Works building plan. We put in  
5 there a 22 million dollar bond for a couple years  
6 from now to fund a 22 million dollar project at  
7 some point or other. Whether that gets approved  
8 by City Council or pared down is a different  
9 story, but we have at least planned for what we  
10 think is the worst case scenario of that  
11 situation.

12 Other items to note: There is a  
13 nice detailed section in there about when do we  
14 do a special census, cross 25,000 people, and  
15 that threshold gives us Home Rule authority,  
16 which gives us different control, local control  
17 over issues, and history has shown will actually  
18 usually reduce the tax burden on local property  
19 taxpayers through different revenue things that  
20 you can do, and forcing people that don't live in  
21 town basically to pay different taxes, so  
22 shifting the tax burden. So that's when you  
23 cross 25,000 people, and so the question is, you  
24 know, should we do a partial special census now,

1 basically to encapsulate and grab the revenue  
2 that the state shares with us when we have new  
3 people move to town, or should we just wait until  
4 we cross 25,000 people for sure and then do a  
5 special census at that point.

6 Based on our most recent estimates,  
7 we could cross that 25,000 threshold anywhere  
8 from fall of this year to two years from now, so  
9 it's pretty much a matter of when and not if  
10 given that we've built so many houses, and we are  
11 probably close to 23, 24,000 at this point,  
12 depending on when the enumerators came through  
13 those subdivisions and people moved in.

14 So another note about ARPA funds, so  
15 we did receive 2.8 million dollars from the  
16 federal government through the state for pandemic  
17 relief. We can use those funds for anything in  
18 general, so the way that the federal government  
19 certifies it allows us to use it for operations,  
20 capital, et cetera.

21 One of the issues we got into during  
22 the last large recession was using one-time  
23 revenues for ongoing, you know, operating  
24 expenditures. We're not doing that here. We're



1 basically saying we're taking in 2.8 million  
2 dollars, we took it in one trans last year and  
3 we'll take it in one trans this year, 1.4 million  
4 dollars each, and we put large down payments on  
5 our Prairie Pointe project and our Public Works  
6 building and a couple other things, so we've used  
7 those for one-time capital expenditures, nothing  
8 related to operations.

9 The budget that is in front of you  
10 does not address, again, 90-plus million dollars  
11 for Lake Michigan projects, we still have to  
12 figure that out next year, selling any city  
13 assets, if we decide to sell land or buildings  
14 because we're moving around, and it does not  
15 assume that we do a special census at any point.

16 When we actually make that decision  
17 internally, bring it to you for City Council  
18 approval, then we would start to update some of  
19 those budget estimates accordingly, but, in  
20 general, to err on the conservative side, we're  
21 not going to plan for that revenue or those  
22 expenditures until we actually decide to do it.  
23 So that's my big picture.

24 And I need to note just a couple

1 notes on the small picture -- and again, these  
2 are all included in detail in the budget memo,  
3 but I want to highlight a few of them -- we are  
4 proposing a general fund break-even budget, so  
5 revenues are matching expenditures despite all  
6 the capital programs that we are funding, so on  
7 the general fund side, on the revenue side,  
8 you're going to have a decision to make at the  
9 end of this calendar year for property taxes that  
10 will be paid in the summer of 2023.

11 Inflation is at not historical  
12 highs, but recent highs for sure, anywhere from  
13 7.6, eight percent range, somewhere in there.  
14 The way the property tax cap works, because we're  
15 still non-Home Rule, we can levy inflation plus  
16 new construction, and historically we have given  
17 up inflation, but if inflation is seven percent  
18 and we're capped at five percent for  
19 inflationary -- you know, if you don't take any  
20 of that, theoretically you keep falling farther  
21 behind, at least as far as tax levy related to  
22 inflation. That may be okay because that's a way  
23 to reduce property tax burden over time, but it  
24 is a choice that we have not been faced with in

1 the past two decades.

2 So on the police pension side, we  
3 had an absolutely amazing investment return last  
4 year, so those figures are very positive, and we  
5 are still continuing to fund at basically  
6 whatever the police pension fund actuaries have  
7 recommended, so we are on the path of hitting our  
8 '24 year target, and actually exceeded according  
9 to the state mandate. Our interim target is 100  
10 percent funded and the state mandates 90 percent,  
11 so we are on track to do that, which is good.

12 A note about sales taxes, we have  
13 been talking about that a lot in committee and in  
14 City Council. We have had two years and will  
15 have two years of double digit increases, which  
16 is not common. You look through the sales tax  
17 registers for other areas in the state and they  
18 are just starting to get back to pre-pandemic  
19 levels, and so during the pandemic our sales  
20 taxes actually went up because people were  
21 shopping locally, and we have a large residential  
22 base that orders a lot of things from online  
23 suppliers.

24 So again, everything in the budget

1 assumes that benchmark estimates that we talked  
2 about at previous City Council meetings are all  
3 going to waterfall into the capital funds,  
4 anything above ten percent year after year, so  
5 that is in there.

6 We are budgeting for the IML  
7 estimate of the state income tax, that's our  
8 share of income taxes paid throughout the state,  
9 even though there is actually -- seems to be some  
10 steam in Springfield to actually increasing this  
11 value share figure. Again, we are not planning  
12 for it, but if it comes to fruition here in the  
13 next couple months, we could actually see a  
14 double digit increase in the state income tax  
15 revenues.

16 Local use taxes are finally starting  
17 to level off. This is the online sales tax  
18 switch, things went from use tax to sales tax, so  
19 we're starting to see those things, you know,  
20 decrease a little bit.

21 Again, that dollar amount, though,  
22 is eclipsed in comparison to the increases in  
23 revenue that we're seeing for sales tax, so we're  
24 actually coming ahead on that switch in the long

1 run.

2 Federal grants is a large number for  
3 a past couple years; that is all the state and  
4 federal grants that we've ever gotten, so we've  
5 got the ARPA funds from this year, which is  
6 2.8 million, the CURE funds, which is the first  
7 pandemic relief stimulus payments of about  
8 \$750,000, the Downstate Small Business  
9 Stabilization Grants that we did, two pods of  
10 those, for local businesses, and then the  
11 business interruption grant funds, so same thing,  
12 so all those are in there, and there is nothing  
13 new on those for future years, but that's why you  
14 see the big jump with this total on '22, and then  
15 miscellaneous income is our municipal electric  
16 aggregation program. Should come up here this  
17 year for discussion.

18 Just a note about COVID-impacted  
19 revenues, hotel taxes, videogaming taxes,  
20 amusement taxes, all back up to pre-pandemic  
21 levels. You guys definitely saw some of these,  
22 hotel taxes, greater in the pandemic, but more  
23 people are going out locally, so they are  
24 spending money locally and that's helping our

1 revenues.

2 On the expenditure side, the same  
3 assumptions that we've talked about every year  
4 for the past several years are in place. We  
5 budget for all union wage increases, we budget  
6 for non-union wage increases, merits, STEP, all  
7 of those things. That's all baked into the  
8 budget at a conservative dollar amount.

9 We budget eight percent increases  
10 for health insurance, you're going to hear at the  
11 next admin committee meeting that our health  
12 insurance renewal is likely to be under that  
13 dollar amount, or under that percentage amount,  
14 slightly, which is good news, and then all of  
15 these other things, tuition reimbursement,  
16 training, conferences, we assumed that fuel  
17 prices are going to increase, although I'm  
18 guessing we probably shot low on that one based  
19 on the past couple weeks, what's occurred, and  
20 then on the department side, we've got police  
21 department, we've got the new police officers  
22 that have been there every year, one per year to  
23 keep up with population growth since last year's  
24 budget proposal, and then we do have another



1 police officer in fiscal year '27 basically to  
2 backfill for a promotion position, so there are  
3 new officers to keep up with population in there.

4 We do have the ERP system still in  
5 the budget for total overhaul of our computer  
6 systems. We have a contingency, and then we have  
7 transfers, basically it's all these other capital  
8 funds to fund all the things that we've been  
9 talking about.

10 So just some of those things, again,  
11 the city-wide capital fund, I mentioned grant  
12 proceeds, Bristol Ridge Road, Van Emmon, Fox  
13 Road, you know, those things are all assuming  
14 that they go forward with the different votes.  
15 The downtown grant, we are assuming that that  
16 occurs and so we have plugged in the ability to  
17 pay for our local contribution to that.

18 We have enhanced our new programs  
19 for sidewalk shared use path and city parking lot  
20 maintenance. So we've never had some of those  
21 things before, it's kind of just been wait until  
22 it goes bad and then we fund it. Now we're  
23 actually plugging money in so that we can do  
24 something every year.

Type text here

1 Kennedy Road sections, impact fees  
2 from the developer, Baseline Road is in there,  
3 historically that's been one of our pain points  
4 when we discuss, so we do have that fully funded,  
5 and then the Bristol Bay Street extensions, so  
6 when Route 47 is expanded a few years from now,  
7 we will actually connect the Bristol Bay  
8 subdivision at two points into Route 47, so those  
9 are all funded.

10 And then on the building and grounds  
11 fund side, again, we've got our buildings in  
12 there, Prairie Pointe, city hall and the police  
13 station is all funded, a 22 million dollar Public  
14 Works building, again, that's what we think is a  
15 high end estimate there, and then personnel costs  
16 for all of our shared services, buildings and  
17 employees is included in there also.

18 On the vehicle equipment fund side,  
19 you'll see increased line items for public works,  
20 police, parks, including on the parks side  
21 vehicles, equipment and the full playground  
22 replacement that I had mentioned previously.

23 We've actually upped our police  
24 vehicle allocation of the last five-year budget,

1 we had some years where we were buying two, some  
2 years we were buying three. It's three across  
3 the board from here on out, and so we've got that  
4 in front of you tonight for pre-authorization  
5 basically because it's a 40-week delivery time  
6 for squad cars.

7 And then Public Works vehicles, it  
8 is 1.2 million dollars in fiscal year '23, good  
9 portion of that is new vehicles. Some of these  
10 things you have already authorized, but we aren't  
11 going to be taking delivery until later in the  
12 year, so that's all there.

13 And then two last funds, the big one  
14 is water and sewer. Again, water fund, water  
15 sales have been good at least as far as  
16 generating revenues go, so we haven't had to  
17 adjust the inflationary rate in the past several  
18 years on the water side, but the staggered water  
19 increase that we're proposing is to fund  
20 basically the Lake Michigan project that we've  
21 talked about.

22 So when we met on this internally  
23 and discussed it with the mayor, we came up with  
24 we thought that it would probably be better to do

1 a base rate adjustment a few months from now,  
2 that way we have time to communicate what it is  
3 and, you know, address the impact that it has on  
4 people, and really what's going to happen in the  
5 next four or five years as we switch to Lake  
6 Michigan water, and then change the volume rate,  
7 which will tend to hit businesses more than  
8 residences will, on January 1st, so giving them  
9 even more time to plan for that.

10 So accompanying that, we're  
11 proposing to leave the infrastructure fees in  
12 place. We talked about wrapping them in, you can  
13 do that, it will still be the same dollar amount,  
14 we can make those estimates. We just figured no  
15 change there was probably easier to communicate  
16 than making a substantial change now, and then,  
17 like I said, we've got all of our capital  
18 projects on the water fund.

19 The sewer fund, similar conversation  
20 except there's not a volumetric, so that is kind  
21 of a flat fee, so we are proposing to implement  
22 an inflationary rating on the sewer side in order  
23 to fund these capital projects, including the  
24 Public Works building, over the next few years.

1           The sewer fee has not been touched I  
2 believe it's in five or six years, so this would  
3 be our first inflationary rate increase in that  
4 time on the sewer side, and again, then our ERP,  
5 our new Public Works building, do some  
6 infiltration addressing our sanitary sewers and  
7 other things that will improve the quality of  
8 that at the time.

9           So that's all I'm going to really do  
10 tonight. Again, our budget schedule is -- there  
11 is an agenda item last on the agenda where we can  
12 answer questions, we can talk about these things  
13 in committee, but it is up for discussion, debate  
14 and approval over the next three City Council  
15 meetings before we need to approve this by the  
16 last meeting in April at the latest, so with  
17 that, on our website we do have the full budget  
18 proposal PDF and the Excel version in there if  
19 anyone wants to take a look at that. So thank  
20 you.

21           MAYOR PRO-TEM PLOCHER: All right. With  
22 that, I will open the floor for the public  
23 hearing. Are there any citizens that would like  
24 to comment on the budget?

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(No response.)

MAYOR PRO-TEM PLOCHER: Is there any in  
Zoom that we know of?

(No response.)

MR. OLSON: Doesn't look like it.

MAYOR PRO-TEM PLOCHER: All right. Then  
we can close the public hearing.

(Which were all the  
proceedings had in the  
public hearing portion  
of the meeting.)

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1 STATE OF ILLINOIS )  
2 ) SS.  
3 COUNTY OF LASALLE )

4 I, Christine M. Vitosh, a Certified Shorthand  
5 Reporter, do hereby certify that I transcribed  
6 the proceedings had at the public hearing and that  
7 the foregoing, Pages 1 through 24, inclusive, is  
8 a true, correct and complete computer-generated  
9 transcript of the proceedings had at the time and  
10 place aforesaid.

11 I further certify that my certificate annexed  
12 hereto applies to the original transcript and  
13 copies thereof, signed and certified under my  
14 hand only. I assume no responsibility for the  
15 accuracy of any reproduced copies not made under  
16 my control or direction.

17 As certification thereof, I have hereunto set  
18 my hand this 17th day of March, A.D., 2022.

19 *Christine M Vitosh*

20 \_\_\_\_\_  
21 Christine M. Vitosh, CSR  
22 Illinois CSR No. 084-002883  
23  
24

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<b>value</b> <sup>[1]</sup> - 15:11 <b>Van</b> <sup>[1]</sup> - 18:12 <b>vehicle</b> <sup>[3]</sup> - 6:21, 19:18, 19:24 <b>vehicles</b> <sup>[3]</sup> - 19:21, 20:7, 20:9 <b>version</b> <sup>[1]</sup> - 22:18 <b>via</b> <sup>[2]</sup> - 2:1, 2:11 <b>videogaming</b> <sup>[1]</sup> - 16:19 <b>Vitosh</b> <sup>[2]</sup> - 24:3, 24:20 <b>volume</b> <sup>[1]</sup> - 21:6 <b>volumetric</b> <sup>[1]</sup> - 21:20 <b>votes</b> <sup>[1]</sup> - 18:14	
<b>W</b>	<b>Z</b>
<b>wage</b> <sup>[2]</sup> - 17:5, 17:6 <b>wait</b> <sup>[2]</sup> - 11:3, 18:21 <b>wants</b> <sup>[1]</sup> - 22:19 <b>water</b> <sup>[14]</sup> - 6:19, 7:10, 9:6, 9:8, 9:9, 9:12, 20:14, 20:18, 21:6, 21:18 <b>waterfall</b> <sup>[1]</sup> - 15:3 <b>website</b> <sup>[1]</sup> - 22:17 <b>week</b> <sup>[1]</sup> - 7:3 <b>weeks</b> <sup>[4]</sup> - 7:4, 8:24, 9:24, 17:19 <b>WHEREUPON</b> <sup>[1]</sup> - 4:1 <b>wide</b> <sup>[1]</sup> - 18:11 <b>wild</b> <sup>[1]</sup> - 6:1 <b>Willrett</b> <sup>[1]</sup> - 2:14 <b>works</b> <sup>[2]</sup> - 13:14, 19:19 <b>Works</b> <sup>[8]</sup> - 2:18, 7:16, 10:4, 12:5, 19:14, 20:7, 21:24, 22:5 <b>worst</b> <sup>[1]</sup> - 10:10 <b>wrapping</b> <sup>[1]</sup> - 21:12	<b>Zoom</b> <sup>[3]</sup> - 2:1, 2:11, 23:3
<b>Y</b>	
<b>year</b> <sup>[43]</sup> - 4:24, 5:3, 5:13, 5:14, 5:20,	



FY 23 BUDGET  
PRESENTATION

CITY COUNCIL

03-08-22

# United City of Yorkville

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# Budget Schedule

- Initial presentation at City Council
  - February 22, 2022
- Final presentation and one mandated public hearing
  - March 8, 2022
- City Council must approve budget before April 30, 2022

# Tonight's outline

- Big Picture
- Year-by-year overview
- Select Items to note
- The small picture
  - General Fund overview
  - Line-items of interest in other funds

# Tonight's outline

- Not covered in tonight's powerpoint
  - Fox Hill SSA
  - Sunflower SSA
  - Motor Fuel Tax (MFT)
  - Debt Service Fund
  - Land Cash Fund
  - Parks and Recreation Fund
  - Countryside TIF
  - Downtown TIF #1 and #2
  - Misc. Items to Note sections

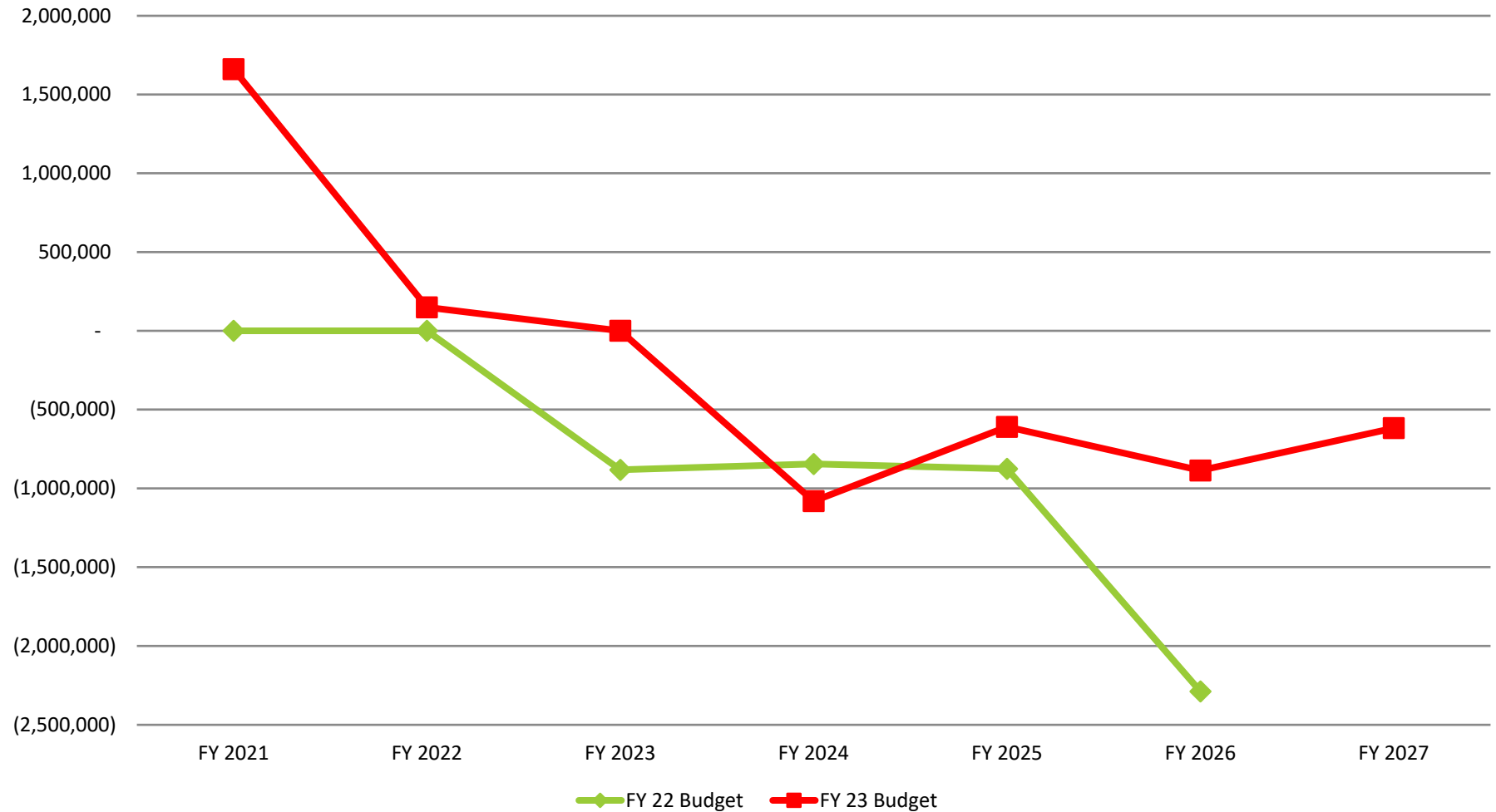
# Reminder

- City Council approves the FY 23 budget proposal only
- FY 24 and beyond are planning tools



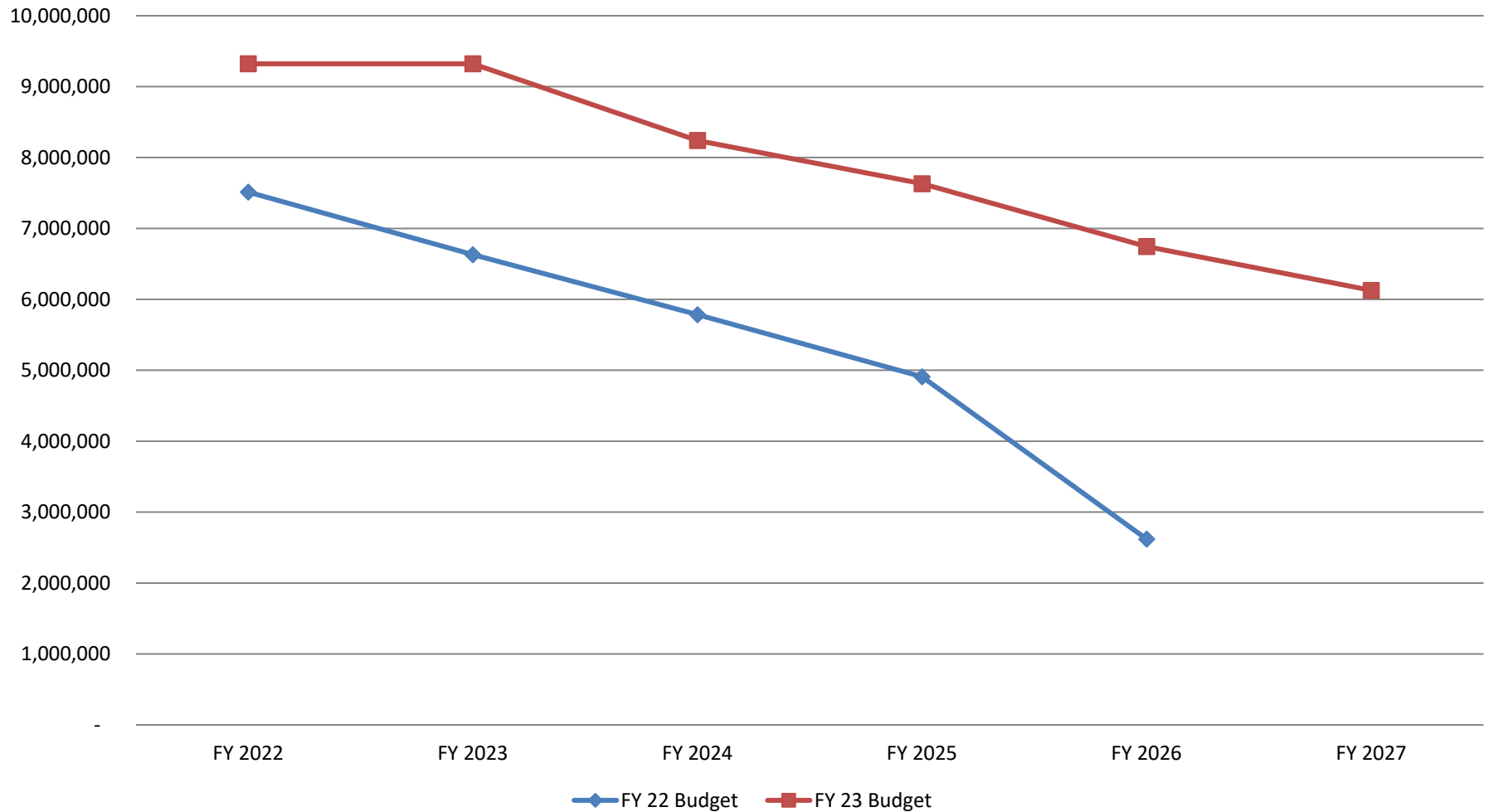
# How do things look?

**General Fund - Surplus(Deficit) Comparison**



# How do things look?

**General Fund - Fund Balance**





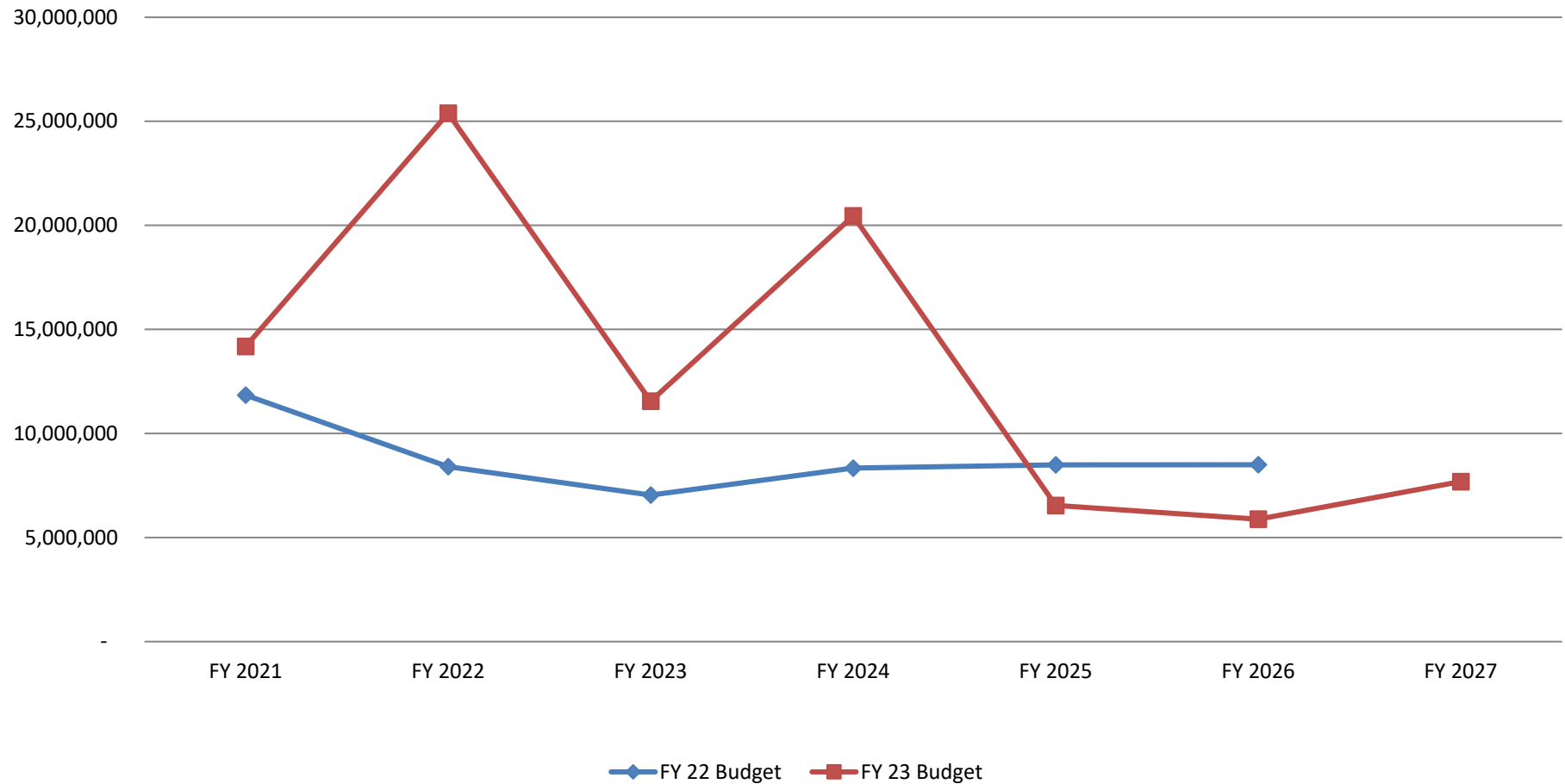
# How do things look?

**Aggregate City Budget - Surplus(Deficit) Comparison**



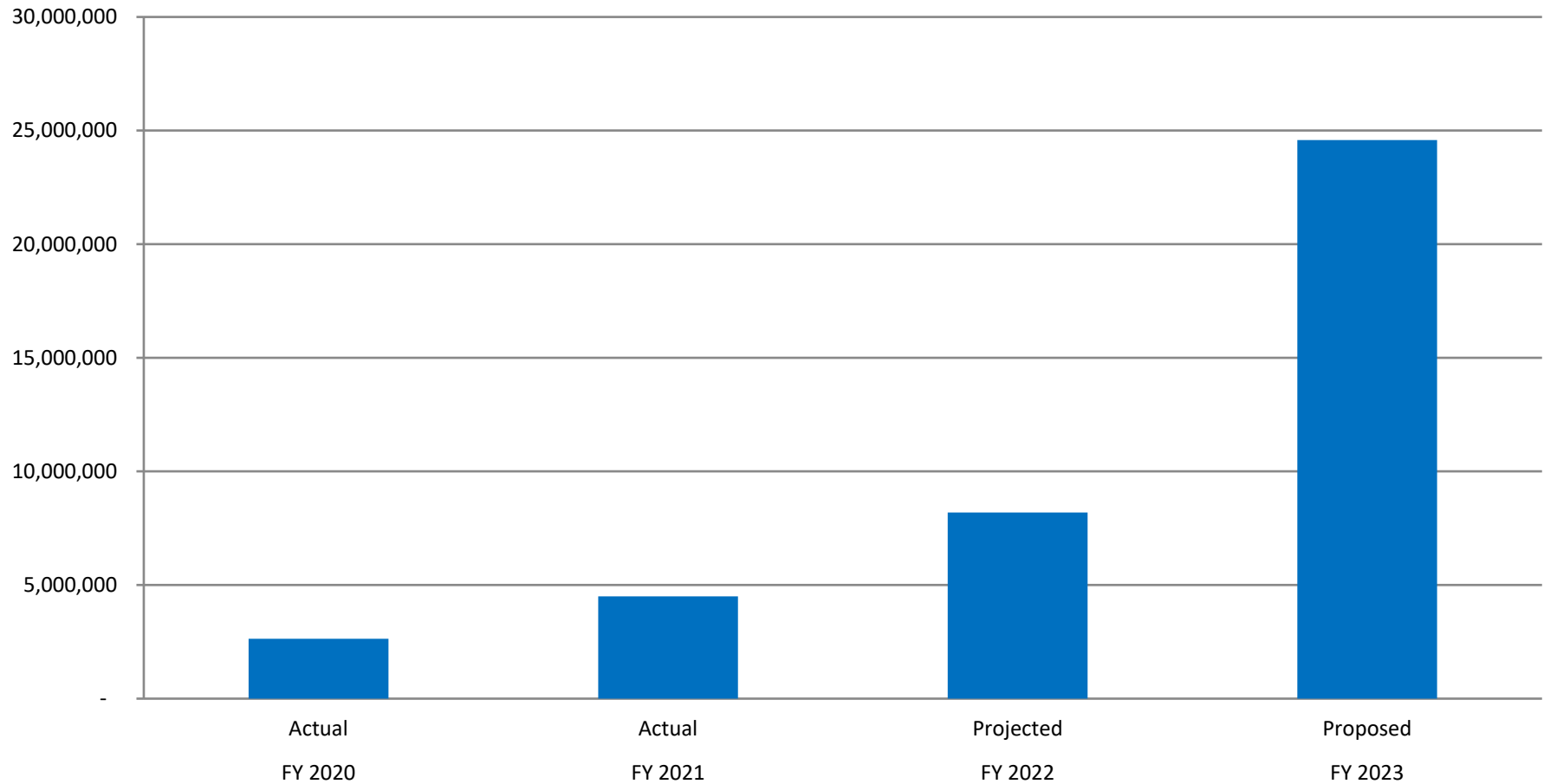
# How do things look?

**Aggregate City Budget - Fund Balance Comparison**



# BIG PICTURE

## Capital Budget Comparison - Fiscal Years 2020 - 2023



# Major initiatives

- FY 23
  - Lake Michigan studies and interim projects
  - Major Road to Better Roads program
  - Bristol Ridge Road LAFO grant
  - Kennedy Road intersection improvements and/or resurfacing
  - Fox Road IGA and resurfacing
  - Van Emmon LAFO grant, if awarded
  - ReBuild Downtown grant, if awarded
  - Full water and sewer CIP
  - Expanded/new programs for building maintenance, sidewalks, paths, parking lots and playgrounds
  - City Hall/Police Station renovation
  - Planning for new PW building construction

# Major initiatives

- FY 24
  - Lake Michigan water source project must be planned
  - Expanded Road to Better Roads program
  - Potential Kennedy Road intersection improvements and/or resurfacing
  - Full water and sewer CIP
  - Expanded/new programs for building maintenance, sidewalks, paths, parking lots and playgrounds
  - Public Works facility construction

# Major initiatives

- FY 25, FY 26, and FY 27
  - Lake Michigan water source project must be planned
  - Expanded Road to Better Roads program
  - Full water and sewer CIP
  - Expanded/new programs for building maintenance, sidewalks, paths, parking lots and playgrounds

# Items to Note

- Lake Michigan water source project
  - FY 23
    - Interim studies needed for ~\$500k
    - Interim water rate increase needed to fund these projects and chip away at larger increase expected
      - \$6 per month per household for most, under \$10 per month per household for 90% of households
  - FY 24
    - ~\$96m project needed to be planned
    - Accompanying water rates must be implemented
      - Discussion expected in Spring/Summer 2022



# Items to Note

- **Prairie Pointe Building Planning**
  - Bids up for consideration tonight
  - FY 23 budget contains budgeting for all upper end estimates of bids, alternates, and supplemental purchases
- **Public Works Building Planning**
  - \$22m bond planned for FY 23
    - Debt service covered by inflationary increase in sewer, and wrapped into broader water fund discussion
  - Funded out of Streets, Water, Sewer

# Items to Note

- Home Rule Status and Special Census
  - 2020 decennial census population - 21,533
  - 700 to 1,200 new houses constructed after decennial census, worth an estimated \$300,000 to \$600,000 annually
  - Partial special census should cost \$150,000
  - Should we wait for home rule status (25,000) or immediately conduct a special census now?

# Items to Note

- ARPA Funds
  - \$2.8m received in two \$1.4m payments in FY 22 and FY 23
  - City can use funds on anything, but we are planning to use them on one-time capital expenditures
  - Transferred into Building and Grounds and City-wide Capital funds in FY 22 and FY 23

# Items to Note

- Unknown
  - Full Lake Michigan project, timing, costs, eligible grants and loans, debt service payments, IGA, etc.
  - Selling City assets
  - Timing of partial special census

# Small picture

- Fund highlights
- Full descriptions included in the budget memo



# General Fund in FY 23

Revenues	22,278,659
<u>Expenditures</u>	<u>22,278,659</u>
Surplus (Deficit)	0

# (01) General Fund Revenues

- Property taxes, Corporate Levy
  - New construction only, but inflation is 7% and PTELL max is 5%
- Property taxes, Police Pension
  - Levying in excess of actuarial determined contribution \$1.33M v. \$1.32M
  - Pension fund had superior investment returns in FY 21 – 28% net
  - Investment returns for FY 22 TBD



# General Fund Revenues

- Municipal Sales Tax and Non-Home Rule Sales Tax
  - Double digit increases, second year in a row
  - Benchmarked estimates for FY 22, with overflow going to capital funds
- State Income Tax
  - Budgeting for IML estimate of \$132 per capita in FY 23
  - Legislative support to increase share going to municipalities (LGDF)!

# General Fund Revenues

- Local Use Tax
  - Finally starting to level off after online sales tax sourcing switch
- Federal Grants
  - ARPA, CURE, DSBSG, and BIG funds located here
- Miscellaneous Income
  - Civic grants from municipal electric aggregation program

# General Fund Revenues

- COVID impacted revenues
  - Hotel taxes up 65% in FY 22, compared to FY 21
  - Video gaming taxes are up 87%
  - Amusement taxes increased 52% in FY 22.


# General Fund Expenditures

- All Departments
  - COLA and merit/steps budgeted for bargaining units and non-union
  - Health insurance historically budgeted for an 8% increase
  - IMRF rates sharply decreased last year due to investment returns, expect to receive 2023 rate in April 2022
  - Tuition reimbursement for Deputy Chief and Sergeant
  - Training and Conferences for employees to state and national conferences
  - Commodity assumptions have conservative increases across the board

# General Fund Expenditures

- Police Dept
  - One new police officer filling vacancy in FY 23
  - One new police officer per FY, thru FY 27
- Admin Services Dept
  - IT services includes ERP system spread over FY 23 and FY 24
  - Contingency set at \$75,000
  - Enhanced transfers to Buildings & Grounds /City-Wide Capital /Parks & Rec related to capital expenditures


## (23) City-Wide Capital Fund

- Bristol Ridge Road & Van Emmon in FY 23 assuming award of grant proceeds
  - Rebuild Downtown Project, assuming award of DCEO grant proceeds
  - Sidewalk, shared use path, and City parking lot maintenance & replacement programs
  - Kennedy Road sections done with impact fees
  - Baseline Road resurfacing
  - Bristol Bay street extensions to Route 47
- 

## (24) Building and Grounds Fund

- Contains bond and other proceeds for City Hall / Police station renovation in FY 23
- Contains \$22m bond issuance in FY 25 for Public Works building construction
- Contains personnel costs for Facilities Manager and Building and Grounds Maintenance Worker
  - Plus supply and contractual amounts for existing City building maintenance

## (25) Vehicle and Equipment Fund

- Chargeback line-items offset difference between impact fees and vehicle purchases
  - Three Police vehicles budgeted for FY 23 thru FY 27, plus funding for body camera lease program
  - Public Works vehicles and equip totaling \$1.2M in FY 23
  - Parks vehicles, equipment, and playgrounds of ~\$500,000 budgeted
- 



## (51) Water Fund

- Water sales above budget expectations for FY 22
- Staggered water rate increases FY 23
  - Base Rate - \$17 to \$24 on Sept 1<sup>st</sup>
  - Volume Rate - \$4.30 to \$4.80 on Jan 1<sup>st</sup>
- No infrastructure fee changes proposed for FY 23
- ERP costs, water meter replacement program, DWC water sourcing, water tower painting, well rehabilitations, water main replacements, vehicles, Rebuild Downtown, cation media replacement and Public Works building costs all included

## (52) Sewer Fund

- Bright Farms sewer extension – pending CDBG grant proceeds
- Inflationary increase for sewer maintenance fees
  - \$20.87 to \$21.50 (bi-monthly)
- No infrastructure fee changes proposed for FY 23
- ERP costs, SSES rehab, crawler camera, vehicles and Public Works building costs all included

# Budget Schedule

- City Council discussion, debate and potential approval
  - April 12<sup>th</sup> and 26<sup>th</sup>

# Online

- Full budget proposal, including excel spreadsheet available at:

<https://www.yorkville.il.us/Archive.aspx?AMID=44>



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input checked="" type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Consent Agenda #2

Tracking Number

### Agenda Item Summary Memo

**Title:** Bills for Payment

**Meeting and Date:** City Council – April 12, 2022

**Synopsis:** \_\_\_\_\_  
\_\_\_\_\_

### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Majority

**Council Action Requested:** Approval  
\_\_\_\_\_

**Submitted by:** Amy Simmons Finance  
Name Department

### Agenda Item Notes:

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ID: AP225000.WOW

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	CHECK DATE	ACCOUNT #	ITEM AMT
131195	KCR	KENDALL COUNTY RECORDER'S			03/15/22		
	127730	03/15/22	01	RELEASE UTILITY LIEN		51-510-54-00-5448	67.00
			02	ORDINANCE APPROVING FINAL		90-154-00-00-0011	67.00
			03	PLAT OF KENDALL MARKETPLACE		** COMMENT **	
			04	LOT 52 PAHSE 2 & 3		** COMMENT **	
			05	PLAT OF EASEMENT FOR RAINTREE		01-000-24-00-2440	101.00
			06	VILLAGE UNIT 5 LOT 362		** COMMENT **	
				INVOICE TOTAL:			235.00 *
				CHECK TOTAL:			235.00
				TOTAL AMOUNT PAID:			235.00

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	CHECK DATE	ACCOUNT #	ITEM AMT
900115	FNBO	FIRST NATIONAL BANK OMAHA			03/25/22		
	032522-A.HERNANDEZ	02/28/22	01	REINDERS-REGISTRATION FOR 2		79-790-54-00-5412	198.00
			02	DAY GREEN INDUSTRY CONFERENCE		** COMMENT **	
			03	FOR HERANDEZ & SCOTT		** COMMENT **	
				INVOICE TOTAL:			198.00 *
	032522-A.SIMMONS	02/28/22	01	ADS-FEB-ANNUAL ALARM		82-820-54-00-5462	1,151.16
			02	MONITORING AT 902 GAME FARM		** COMMENT **	
			03	COMCAST-01/20-02/19 INTERNET		24-216-54-00-5440	288.32
			04	AT 651 PRAIRIE POINTE		** COMMENT **	
			05	WAREHOUSE-BUDET BINDERS & TABS		01-120-56-00-5610	85.44
			06	VERIZON-JAN 2022 IN CAR UNITS		01-210-54-00-5440	576.16
			07	VERIZON-JAN 2022 MOBILE PHONES		01-220-54-00-5440	275.60
			08	VERIZON-JAN 2022 MOBILE PHONES		01-110-54-00-5440	126.87
			09	VERIZON-JAN 2022 MOBILE PHONES		01-210-54-00-5440	839.54
			10	VERIZON-JAN 2022 TABLET		79-790-54-00-5440	36.01
			11	VERIZON-JAN 2022 MOBILE PHONES		79-795-54-00-5440	156.60
			12	VERIZON-JAN 2022 MOBILE PHONES		51-510-54-00-5440	235.81
			13	VERIZON-JAN 2022 HOTSPOT		82-820-54-00-5440	36.01
			14	VERIZON-JAN 2022 HOTSPOT		52-520-54-00-5440	36.01
				INVOICE TOTAL:			3,843.53 *
	032522-B.BEHRENS	02/28/22	01	FLEET PRIDE#93526100-JOINTS,		01-410-56-00-5628	346.58
			02	CONNECTORS, REDUCERS, BOLTS		** COMMENT **	
				INVOICE TOTAL:			346.58 *
	032522-B.OLSON	02/28/22	01	ZOOM-01/23-02/22 USAGE FEES		01-110-54-00-5462	209.96
				INVOICE TOTAL:			209.96 *
	032522-B.PFIZENMAIER	02/28/22	01	AMAZON-MOUNTING 7 PACKING TAPE		01-210-56-00-5610	19.79
			02	AMAZON-BATON HOLDER		01-210-56-00-5620	18.00
			03	IACP-2022 MEMBERSHIP DUES		01-210-54-00-5460	190.00
			04	HAMPTON-TRAINING		01-210-54-00-5415	178.08
			05	LODGING-SOEBBING		** COMMENT **	
			06	GALLS-WORK BOOTS		01-210-56-00-5600	424.94
			07	GALLS-WORK BOOTS-CARYLE		01-210-56-00-5600	302.20
			08	MINER#332237-REPLACE MISSING		01-210-54-00-5495	97.36
			09	ANTENNAS		** COMMENT **	
			10	MINER#332236-SPOTLIGHT REPAIR		01-210-54-00-5495	85.00
			11	MINER#332304-KEYBOARD REPAIR		01-210-54-00-5495	85.00
			12	CHICAGO COMMUNICATION-REPLACE		01-210-54-00-5495	85.00
			13	ANTENNA		** COMMENT **	
			14	MINER#333226-REPLACED		01-210-54-00-5495	125.95
			15	SPOTLIGHT HANDLE		** COMMENT **	
			16	STREICHERS-UNIFORM PANTS		01-210-56-00-5600	360.00
			17	STREICHERS#I1549207-BALLISTIC		01-210-56-00-5690	640.00

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	CHECK DATE	ACCOUNT #	ITEM AMT
900115	FNBO	FIRST NATIONAL BANK OMAHA			03/25/22		
	032522-B.PFIZENMAIER	02/28/22	18	VEST		** COMMENT **	
			19	STREICHERS#I1545683-BALLISTIC	01-210-56-00-5690		630.00
			20	VEST	** COMMENT **		
			22	GJOVICKS#412927-OIL CHANGE	01-210-54-00-5495		116.84
			23	GJOVICKS#412709-OIL CHANGE,	01-210-54-00-5495		562.37
			24	DEFROSTER REPAIR	** COMMENT **		
			25	GJOVICKS#412797-OIL CHANGE,	01-210-54-00-5495		218.35
			26	DIAGNOSTIC ON CHECK ENGINE	** COMMENT **		
			27	ISSUE	** COMMENT **		
			28	GJOVIKS#412718-REPLACE	01-210-54-00-5495		348.38
			29	STARTER	** COMMENT **		
			30	GJOVIKS#412951-REPLACE BRAKES	01-210-54-00-5495		783.32
			31	AND STRUST	** COMMENT **		
			32	GJOVIKS#412173-OIL CHANGE,	01-210-54-00-5495		265.96
			33	TIRE ROTATION	** COMMENT **		
			34	GJOVIKS#413318-OIL CHANGE	01-210-54-00-5495		19.89
			35	GJOVIKS#413500-REPLACE BULB	01-210-54-00-5495		54.20
			36	GJOVIKS#412923-OI CHANGE,	01-210-54-00-5495		418.76
			37	ALIGNMENT, REPLACE HUB &	** COMMENT **		
			38	BEARINGS	** COMMENT **		
			39	GJOVIKS#413328-TIRE REPAIR	01-210-54-00-5495		18.00
			40	GJOVIKS#413409-TIRE REPAIR	01-210-54-00-5495		21.95
			41	GJOVIKS#413558-OIL CHANGE	01-210-54-00-5495		19.89
			42	GJOVIKS#413556-OIL CHANGE	01-210-54-00-5495		19.89
			43	GJOVIKS#413649-HEADLIGHT	01-210-54-00-5495		114.28
			44	REPAIR	** COMMENT **		
			48	STEVENS#19414-EMBROIDERY	01-210-56-00-5600		20.00
			49	STEVENS#19350-EMBROIDERY	01-210-56-00-5600		60.00
			50	STEVENS#19366-EMBROIDERY	01-210-56-00-5600		30.00
			51	MINER#331464-INSTALLED	01-210-54-00-5495		1,105.00
			52	PRINTERS IN 13 SQUADS	** COMMENT **		
				INVOICE TOTAL:			7,438.40 *
	032522-D.BROWN	02/28/22	01	GRAINGER#9197261937-UNDERGROUN	51-510-56-00-5638		415.80
			02	D ENCLOSURE COVER	** COMMENT **		
				INVOICE TOTAL:			415.80 *
	032522-D.DEBORD	02/28/22	01	AMAZON-MONTHLY PRIME FEE	82-820-54-00-5460		12.99
				INVOICE TOTAL:			12.99 *
	032522-D.HENNE	02/28/22	01	UPS-CERTIFIED SHIPPING TO	01-410-54-00-5490		21.38
			02	CERTIFIED POWER	** COMMENT **		
				INVOICE TOTAL:			21.38 *
	032522-D.SMITH	02/28/22	01	MASTER	79-790-56-00-5646		2,164.20



CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	CHECK DATE	ACCOUNT #	ITEM AMT
900115	FNBO	FIRST NATIONAL BANK OMAHA			03/25/22		
	032522-D.SMITH	02/28/22	02	HALCO#1001293266-POSTS, BRACE	** COMMENT **		
			03	CLAMPS, RAIL CAMPS, TIES,	** COMMENT **		
			04	CARRAIGE BOLTS	** COMMENT **		
				INVOICE TOTAL:			2,164.20 *
	032522-E.DHUSE	02/28/22	01	NAPA#305705-TRANS FLUID	01-410-56-00-5628		104.28
			02	NAPA#305843-CAR POLISH	52-520-56-00-5628		25.38
			03	O'REILLY#5613-234033-WIPER	01-410-56-00-5628		46.61
			04	BLADES	** COMMENT **		
			05	NAPA#306156-SOCKETS	01-410-56-00-5630		27.58
			06	NAPA#306186-CLEANERS, CLOTH	01-410-56-00-5628		26.45
			07	NAPA#306191-BELT TENSIONER	01-410-56-00-5628		43.49
			08	NAPA#306187-BELT, IDLER PULEY	01-410-56-00-5628		61.10
			09	NAPA#306376-REPAIR KIT	01-410-56-00-5628		20.02
			10	NAPA#306370-ALARM	01-410-56-00-5628		38.84
			11	NAPA#306377-LAMP	79-790-56-00-5640		2.46
			12	NAPA#306372-REP PIPE, U-BOLT	01-410-56-00-5628		15.08
			13	NAPA#306638-CONNECTOR	01-410-56-00-5628		12.14
			14	NAPA#306444-LED GROMMET,	79-790-56-00-5640		24.03
			15	MOUNTING KIT	** COMMENT **		
			16	NAPA#306715-FILTERS	01-410-56-00-5628		25.96
			17	NAPA#306814-MUFFLER PATCH KIT	01-410-56-00-5628		15.18
			18	NAPA#306726-GROMMETS	79-790-56-00-5640		8.16
			19	NAPA#306795-CUT-OFF WHEEL	01-410-56-00-5630		22.41
			20	NAPA#306763-BATTERY	01-410-56-00-5630		70.98
			21	NAPA#307270-LAMPS, PLUG, GROMMET	79-790-56-00-5640		34.47
			22	NAPA#307301-FLEX TUBING	01-410-56-00-5628		43.40
			23	GJOVIKS#409117-REPLACE BATTERY	01-210-54-00-5495		149.26
			24	GJOVIKS#408858-COOLING FAN	01-210-54-00-5495		607.76
			25	REPAIR	** COMMENT **		
			26	GJOVIKS#409979-REPLACE	51-510-54-00-5490		1,317.65
			27	SOLENOIDS, COOLING SYSTEM	** COMMENT **		
			28	FLUSH	** COMMENT **		
			29	GJOVIKS#410715-INSTALLED NEW	01-410-54-00-5490		616.81
			30	SHIFTER TUBE, BUSHING AND	** COMMENT **		
			31	CABLE	** COMMENT **		
			32	GJOVIKS#411256-REPLACED	01-410-54-00-5490		1,832.78
			33	BRAKES	** COMMENT **		
			34	GJOVIKS#407555-REPAIR EXHAUST	51-510-54-00-5490		2,909.99
			35	LEAK, REPLACED TIE RODS,	** COMMENT **		
			36	REPLACED PINION BEARINGS	** COMMENT **		
			37	GJOVIKS#411024-REPLACED WHEEL	01-410-54-00-5490		1,655.89
			38	GJOVIKS#412724-REPLACED SHIFT	51-510-54-00-5490		361.35
			39	GJOVIKS#408615-OIL CHANGE,	01-220-54-00-5490		85.98
			40	WIPER BLADES	** COMMENT **		
				INVOICE TOTAL:			10,205.49 *

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	CHECK DATE	ACCOUNT #	ITEM AMT
900115	FNBO	FIRST NATIONAL BANK OMAHA			03/25/22		
	032522-E.HERNANDEZ	02/28/22	01	HENNESY'S#33675-BATTERY		79-790-56-00-5640	111.96
				INVOICE TOTAL:			111.96 *
	032522-E.SCHREIBER	02/28/22	01	TARGET-PRESCHOOL SUUPLIES		79-795-56-00-5606	29.72
			02	AMAZON-CHALK		79-795-56-00-5606	60.09
			03	AMAZON-SAND, MARACAS, LUNCH		79-795-56-00-5606	48.40
			04	BAGS		** COMMENT **	
			05	AMAZON-PENCILS, WIND UP TOYS,		79-795-56-00-5606	195.65
			06	TAPE, GLUE STICKS, TREAT BAGS		** COMMENT **	
			07	AMAON-WIGGLE EYES		79-795-56-00-5606	4.99
			08	AMAZON-INFLATABLE GLOBE		79-795-56-00-5606	7.69
			09	AMAZON-DR.SEUSS BOOKS		79-795-56-00-5606	166.80
			10	AMAZON-WOOD CRAFT STICKS		79-795-56-00-5606	21.50
			11	AMAZON-BOOK		79-795-56-00-5606	10.37
				INVOICE TOTAL:			545.21 *
	032522-E.WILLRETT	02/28/22	01	CDW-G-PRINTER POWER SUPPLY		01-640-54-00-5450	78.79
			02	MPIX-ELECTEDS2		01-110-54-00-5430	21.41
			03	DELL-OPTIPLEX 3080		01-640-54-00-5450	883.72
			04	ELEMENT FOUR-FEB 2022 OFFSITE		01-640-54-00-5450	1,155.75
			05	BACKUPS		** COMMENT **	
				INVOICE TOTAL:			2,139.67 *
	032522-G.JOHNSON	02/28/22	01	HOME DEPO-WORK GLOVES		51-510-56-00-5600	16.28
				INVOICE TOTAL:			16.28 *
	032522-G.NELSON	02/28/22	01	COMPUMATIC-RIBBON CARTRIDGE		01-110-56-00-5610	21.98
			02	FOR ELECTRONIC TIME CLOCKS		** COMMENT **	
				INVOICE TOTAL:			21.98 *
	032522-J.BAUER	02/28/22	01	IWWA-EXCAVATING & SHORING		51-510-54-00-5412	192.00
			02	SAFETY CLASS REGISTRATION FOR		** COMMENT **	
			03	4 EMPLOYEES		** COMMENT **	
				INVOICE TOTAL:			192.00 *
	032522-J.DYON	02/28/22	01	WALMART-INK CARTRIDGE		01-120-56-00-5610	11.17
			02	WALMART-INK CARTRIDGE		51-510-56-00-5620	16.85
			03	WALMART-INK CARTRIDGE		52-520-56-00-5610	4.86
				INVOICE TOTAL:			32.88 *
	032522-J.ENGBERG	02/28/22	01	APA-MAY 2022 ANNUAL		01-000-14-00-1400	785.00
			02	CONFERENCE REGISTRATION		** COMMENT **	
			03	APA-MAY 2022 ANNUAL		01-000-14-00-1400	127.48
			04	CONFERENCE AIRFAIR TRANSPORT		** COMMENT **	
			05	APA-MAY 2022 ANNUAL		01-220-54-00-5415	127.48

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900115	FNBO	FIRST NATIONAL BANK OMAHA			03/25/22		
	032522-J.ENGBERG	02/28/22	06	CONFERENCE AIRFAIR TRANSPORT		** COMMENT **	
			07	ADOBE-MONTHLY CLOUD FEE		01-220-54-00-5462	52.99
						INVOICE TOTAL:	1,092.95 *
	032522-J.GALAUNER	02/28/22	01	BSN SPORTS#915648398-SOFTBALLS		79-795-56-00-5606	822.01
			02	BSN SPORTS-916061752-SOCCER		79-795-56-00-5606	6,820.00
			03	JERSEYS		** COMMENT **	
						INVOICE TOTAL:	7,642.01 *
	032522-J.JENSEN	02/28/22	01	FBI-LEEDA-MEMBERSHIP RENEWAL		01-210-54-00-5460	50.00
						INVOICE TOTAL:	50.00 *
	032522-J.SLEEZER	02/28/22	01	AUTOZONE-WHEEL STUD		01-410-56-00-5628	23.31
						INVOICE TOTAL:	23.31 *
	032522-K.BALOG	02/28/22	01	ACCURINT-JAN 2022 SEARCHES		01-210-54-00-5462	150.00
			02	COMCAST-12/15-01/14 INTERNET		01-640-54-00-5449	1,163.48
			03	AMAZON-CORRECTION TAPE		01-210-56-00-5610	9.86
			04	FLORAL EXPRESSIONS-KUEHLEM		01-210-56-00-5650	92.31
			05	ARRANGEMENT		** COMMENT **	
			06	AMAZON-CD DVD SLEEVES		01-210-56-00-5610	97.33
			07	PRI-MANAGING POLICE RECORDS		01-210-54-00-5412	259.00
			08	SEMINAR REGISTRATION		** COMMENT **	
			09	SHREDIT-JAN 2022 ONSITE		01-210-54-00-5462	224.06
			10	SHREDDING		** COMMENT **	
			11	PHYSICIANS CARE-PRE EMPLOYMENT		01-210-54-00-5411	872.00
			12	EXAMS		** COMMENT **	
			13	FLORAL EXPRESSIONS-ODUM		01-210-56-00-5650	86.89
			14	ARRANGEMENT		** COMMENT **	
			15	COMCAST-02/08-03/07 CABLE		01-210-54-00-5440	4.22
						INVOICE TOTAL:	2,959.15 *
	032522-K.BARKSDALE	02/28/22	01	APA-MAY 2022 ANNUAL		01-220-54-00-5415	85.98
			02	CONFERENCE AIRFAIR TRANSPORT		** COMMENT **	
			03	APA-MAY 2022 ANNUAL		01-000-14-00-1400	85.98
			04	CONFERENCE AIRFAIR TRANSPORT		** COMMENT **	
			05	APA-MAY 2022 ANNUAL		01-000-14-00-1400	785.00
			06	CONFERENCE REGISTRATION		** COMMENT **	
			07	AMAZON-LAPTOP BRIEFCASE,		01-220-56-00-5620	52.68
			08	MONITOR RISER		** COMMENT **	
						INVOICE TOTAL:	1,009.64 *
	032522-K.GREGORY	02/28/22	01	JOHNSONS FLORAL-WRIGHT		01-110-56-00-5610	200.68
			02	ARRANGEMENT		** COMMENT **	
						INVOICE TOTAL:	200.68 *

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900115	FNBO	FIRST NATIONAL BANK OMAHA			03/25/22		
	032522-L.THOMAS	02/28/22	01	NEWEGG-CREDIT FOR SALES TAX		01-120-56-00-5610	-1.98
				INVOICE TOTAL:			-1.98 *
	032522-M.CARYLE	02/28/22	01	WIULETSB-APR 2022 WOMEN IN		01-210-54-00-5412	545.00
			02	CRIMINAL JUSTICE CONFERENCE		** COMMENT **	
			03	REGISTRATION FOR 3 STAFF		** COMMENT **	
			04	KENDALL PRINT#22-209-TRAFFIC		01-210-54-00-5430	46.45
			05	STOP RECEIPT PADS		** COMMENT **	
			06	ASP-INSTRUCTOR CERTIFICATE		01-210-54-00-5412	-100.00
			07	SECURITY DEPOSIT REFUND		** COMMENT **	
				INVOICE TOTAL:			491.45 *
	032522-M.SENG	02/28/22	01	FLEET SAFETY SUPPLY#77563-LEDS		01-410-56-00-5628	316.81
			02	BP-FEB 2022 DIESEL		01-410-56-00-5695	68.09
				INVOICE TOTAL:			384.90 *
	032522-P.MCMAHON	02/28/22	01	GOOGLE-01/28-02/28 NEST AWARE		01-210-54-00-5460	6.00
			02	AMAZON-FLASHDRIVES		01-210-56-00-5610	59.82
				INVOICE TOTAL:			65.82 *
	032522-P.RATOS	02/28/22	01	O'REILLY#5613-234093-WIPER		01-220-54-00-5490	30.90
			02	BLADES		** COMMENT **	
			03	AMAZON-WIPER BLADES		01-220-56-00-5620	67.96
			04	AMAZON-TAPE MEASURE,BINOCULARS		01-220-56-00-5620	107.97
			05	VOLTAGE TESTER		** COMMENT **	
			06	AMAZON-STEP LADDER		01-220-56-00-5620	111.87
			07	GJOVIKS#413593-REPLACE STARTER		01-220-54-00-5490	609.50
				INVOICE TOTAL:			928.20 *
	032522-P.SCODRO	02/28/22	01	RURAL KING-JEANS, SHIRT		51-510-56-00-5600	147.90
			02	HIVIS-SWEATSHIRT		51-510-56-00-5600	63.51
			03	SHEPLERS-COWBOY BOOTS, SOCKS		51-510-56-00-5600	216.68
			04	SHEPLERS-SHIRTS		51-510-56-00-5600	76.49
				INVOICE TOTAL:			504.58 *
	032522-R.FREDRICKSON	02/28/22	01	COMCAST-01/12-02/11 CABLE AT		01-110-54-00-5440	21.06
			02	800 GAME FARM RD		** COMMENT **	
			03	COMCAST-01/13-02/12 INTERNET		51-510-54-00-5440	111.85
			04	AT 610 TOWER WATER PLANT		** COMMENT **	
			05	COMCAST-01/15-02/14 INTERNET		79-795-54-00-5440	193.60
			06	AND CABLE AT 102 E VAN EMMON		** COMMENT **	
			07	NEWTEL-02/11-03/11 WEB HOSTING		01-640-54-00-5450	16.59
			08	COMCAST-01/24-02/23 INTERNET		79-790-54-00-5440	86.77
			09	AT 201 W HYDRAUIC		** COMMENT **	
			10	COMCAST-01/24-02/23 INTERNET		79-795-54-00-5440	65.08

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900115	FNBO	FIRST NATIONAL BANK OMAHA			03/25/22		
	032522-R.FREDRICKSON	02/28/22	11	AT 201 W HYDRAUIC		** COMMENT **	
			12	COMCAST-01/24-02/23 INTERNET		01-110-54-00-5440	61.36
			13	AT 800 GAME FARM RD		** COMMENT **	
			14	COMCAST-01/24-02/23 INTERNET		01-220-54-00-5440	52.59
			15	AT 800 GAME FARM RD		** COMMENT **	
			16	COMCAST-01/24-02/23 INTERNET		01-120-54-00-5440	35.06
			17	AT 800 GAME FARM RD		** COMMENT **	
			18	COMCAST-01/24-02/23 INTERNET		01-210-54-00-5440	226.89
			19	AT 800 GAME FARM RD		** COMMENT **	
			20	WASTE		01-540-54-00-5442	120,245.44
			21	MANAGEMENT#0051678-2011-6-JAN		** COMMENT **	
			22	2022 REFUSE SERVICE		** COMMENT **	
			23	WASTE		01-540-54-00-5441	3,979.61
			24	MANAGEMENT#0051678-2011-6-JAN		** COMMENT **	
			25	2022 SENIOR REFUSE SERVICE		** COMMENT **	
			26	COMCAST-01/29-02/28 INTERNET		79-790-54-00-5440	232.96
			27	CABLE & VOICE AT 185 WOLF ST		** COMMENT **	
			28	COMCAST-01/30-02/28 INTERNET		52-520-54-00-5440	39.48
			29	AT 610 TOWER		** COMMENT **	
			30	COMCAST-01/30-02/28 INTERNET		51-510-54-00-5440	118.42
			31	AT 610 TOWER		** COMMENT **	
			32	COMCAST-01/30-02/28 INTERNET		01-410-54-00-5440	78.95
			33	AT 610 TOWER		** COMMENT **	
			34	COMCAST-02/01-02/28 INTERNET		52-520-54-00-5440	20.82
			35	AT 610 TOWER OFC 2		** COMMENT **	
			36	COMCAST-02/01-02/28 INTERNET		01-410-54-00-5440	41.63
			37	AT 610 TOWER OFC 2		** COMMENT **	
			38	COMCAST-02/01-02/28 INTERNET		51-510-54-00-5440	62.45
			39	AT 610 TOWER OFC 2		** COMMENT **	
			40	IGFOA-MANAGING DIFFICULT		01-120-54-00-5412	20.00
			41	CONVERSATIONS WEBINAR		** COMMENT **	
			42	IGFOA-2022 PENSION INSTITUTE		01-120-54-00-5412	120.00
			43	WEBINAR		** COMMENT **	
				INVOICE TOTAL:			125,830.61 *
	032522-R.HORNER	02/25/22	01	WELDSTAR#00154782000-X TRACTOR		79-790-56-00-5630	1,497.78
			02	MINI PORTABLE WELDING		** COMMENT **	
				INVOICE TOTAL:			1,497.78 *
	032522-R.MIKOLASEK	02/25/22	01	KIESLER#IN182465-AMMUNITION		01-210-56-00-5696	3,200.40
			02	FBI-LEEDA#200065290-CLI		01-210-54-00-5412	695.00
			03	TRAINING		** COMMENT **	
			04	THR BLUE LINE #42845-POLICE		01-210-54-00-5411	298.00
			05	FFICER RECRUITMENT LISTING		** COMMENT **	
				INVOICE TOTAL:			4,193.40 *

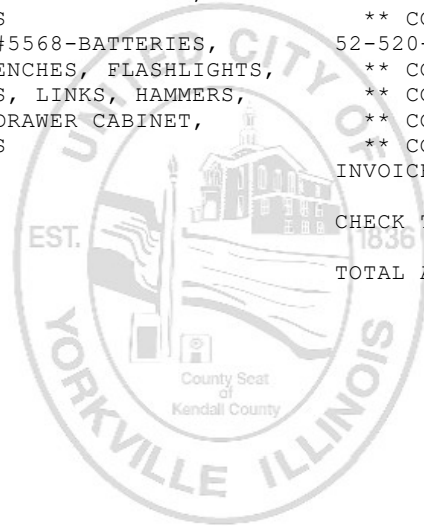
CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	CHECK DATE	ACCOUNT #	ITEM AMT
900115	FNBO	FIRST NATIONAL BANK OMAHA			03/25/22		
	032522-R.WOOLSEY	02/25/22	01	ARAMARK#610000243275-MATS		51-510-54-00-5485	39.15
			02	ARAMARK#610000249359-MATS		52-520-54-00-5485	39.15
			03	ARAMARK#610000246187-MATS		52-520-54-00-5485	39.15
			04	ARNESON#560765-JAN 2022 OIL		01-410-56-00-5695	320.00
			05	ARNESON#560765-JAN 2022 OIL		51-510-56-00-5695	319.99
			06	ARNESON#560765-JAN 2022 OIL		52-520-56-00-5695	319.99
			07	ARNESON#561338-FUEL HOSE		01-410-56-00-5695	16.66
			08	ARNESON#561338-FUEL HOSE		51-510-56-00-5695	16.67
			09	ARNESON#561338-FUEL HOSE		52-520-56-00-5695	16.66
			10	ARNESON#196780-JAN 2022 GAS		01-410-56-00-5695	472.47
			11	ARNESON#196780-JAN 2022 GAS		51-510-56-00-5695	472.47
			12	ARNESON#196780-JAN 2022 GAS		52-520-56-00-5695	472.47
			13	ARNESON#196780-JAN 2022 DIESEL		01-410-56-00-5695	332.80
			14	ARNESON#196780-JAN 2022 DIESEL		51-510-56-00-5695	332.80
			15	ARNESON#196780-JAN 2022 DIESEL		52-520-56-00-5695	332.82
			16	ARNESON#561340-DIESEL NOZZLE		01-410-56-00-5695	30.18
			17	ARNESON#561340-DIESEL NOZZLE		51-510-56-00-5695	30.18
			18	ARNESON#561340-DIESEL NOZZLE		52-520-56-00-5695	30.20
			19	ARNESON#195303-JAN 2022 DIESEL		01-410-56-00-5695	294.00
			20	ARNESON#195303-JAN 2022 DIESEL		51-510-56-00-5695	294.00
			21	ARNESON#195303-JAN 2022 DIESEL		52-520-56-00-5695	294.00
			22	ARNESON#195305-JAN 2022 GAS		01-410-56-00-5695	117.91
			23	ARNESON#195305-JAN 2022 GAS		51-510-56-00-5695	117.92
			24	ARNESON#195305-JAN 2022 GAS		52-520-56-00-5695	117.91
			25	ARNESON#195306-JAN 2022 GAS		01-410-56-00-5695	14.48
			26	ARNESON#195306-JAN 2022 GAS		51-510-56-00-5695	14.48
			27	ARNESON#195306-JAN 2022 GAS		52-520-56-00-5695	14.48
			28	AMAZON-FACE MASKS		01-110-56-00-5610	29.99
			29	AMAZON-POWER CORD		01-120-56-00-5610	7.85
			30	SHAW-52 WEEK SUBSCRIPTION		01-110-54-00-5460	65.00
			31	FLORAL EXPRESSIONS-KUEHLEM		01-110-56-00-5610	113.97
			32	ARRANGEMENT		** COMMENT **	
			33	LAWSON#9309043280-SCREWS,		01-410-56-00-5628	201.05
			34	WASHERS		** COMMENT **	
			35	LAWSON#9309215526-HAIR PINS,		01-410-56-00-5620	237.85
			36	SCREWS, NUTS, WASHERS, SLIDES,		** COMMENT **	
			37	CONNECTORS, COUPLER, FUESES		** COMMENT **	
			38	LAWSON#9309215526-HAIR PINS,		51-510-56-00-5620	237.85
			39	SCREWS, NUTS, WASHERS, SLIDES,		** COMMENT **	
			40	CONNECTORS, COUPLER, FUESES		** COMMENT **	
			41	LAWSON#9309215526-HAIR PINS,		52-520-56-00-5620	237.85
			42	SCREWS, NUTS, WASHERS, SLIDES,		** COMMENT **	
			43	CONNECTORS, COUPLER, FUESES		** COMMENT **	
			44	LAWSON#9309202163-NUTS,		01-410-56-00-5620	218.53
			45	BOLTS, CABLE TIES		** COMMENT **	

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900115	FNBO	FIRST NATIONAL BANK OMAHA			03/25/22		
	032522-R.WOOLSEY	02/25/22	46	LAWSON#9309224733-SCREWS		01-410-56-00-5620	16.96
			47	GJOVIKS#413599-BRAKE REPAIR		01-410-54-00-5490	1,233.99
			48	GJOVIKS#413402-BRAKE REPAIR		01-410-54-00-5490	1,630.92
			49	WELDSTAR#0002032209-CYLINDER		01-410-54-00-5485	46.50
			50	RENTAL		** COMMENT **	
			51	AMAZON-COPY PAPER		01-110-56-00-5610	214.95
			52	WAREHOUSE-NOTEPADS, MARKERS,		01-110-56-00-5610	66.36
			53	STAPLES		** COMMENT **	
			54	WAREHOUSE-STENO BOOKS		01-120-56-00-5610	7.07
			55	WAREHOUSE-STENO BOOKS		51-510-56-00-5620	10.66
			56	WAREHOUSE-STENO BOOKS		52-520-56-00-5610	3.08
			57	AMAZON-POWER CORDS		01-110-56-00-5610	23.58
			58	WAREHOUSE-PAPER CLIPS,		01-110-56-00-5610	38.69
			59	ENVELOPES, HIGHLIGHTERS		** COMMENT **	
				INVOICE TOTAL:			9,555.69 *
	032522-S.AUGUSTINE	02/28/22	01	FIRST BOOK-BOOKS		84-840-56-00-5686	170.20
			02	TRIBUNE-SUBSCRIPTION RENEWAL		82-820-54-00-5460	148.89
			03	AMAZON-FLASHDRIVES		82-820-56-00-5635	405.68
			04	AMAZON-FACE MASKS		82-820-56-00-5610	15.99
			05	METRONET-FEB 2022 INTERNET		82-820-54-00-5440	124.97
			06	FIRST BOOK-BOOKS		84-840-56-00-5686	38.53
			07	AMAZON-RETURNED MERCHANDISE		82-000-24-00-2480	-38.33
			08	FIRST BOOK-BOOK		84-840-56-00-5686	3.43
			09	ADS-MAR-FEB 2022 MONITORING		82-820-54-00-5462	320.28
			10	SMITHEREEN-FEB 2022 PEST		82-820-54-00-5462	82.00
			11	CONTROL		** COMMENT **	
			12	QUILL-LAMINATING POUCHES		82-820-56-00-5610	84.57
				INVOICE TOTAL:			1,356.21 *
	032522-S.IWANSKI	02/28/22	01	YORKVILLE POST-POSTAGE		82-820-54-00-5452	19.35
				INVOICE TOTAL:			19.35 *
	032522-S.REDMON	02/28/22	01	NET-EASTER TOY FILLED EGGS		79-795-56-00-5606	130.00
			02	AMAZON-EGG HUNT SUPPLIES		79-795-56-00-5606	64.56
			03	JEWEL-GLUE		79-795-56-00-5606	11.98
			04	FUN EXPRESS-EGG HUNT AND		79-795-56-00-5606	297.88
			05	PRESCHOOL SUPPLIES		** COMMENT **	
			06	AT&T U-VERSE-02/24-03/23		79-795-54-00-5440	78.53
			07	INTERNET FOR TOWN SQUARE PARK		** COMMENT **	
			08	SIGN		** COMMENT **	
			09	PETITE PALETTE-01/31/22 CLASS		79-795-54-00-5462	82.50
			10	INSTRUCTION		** COMMENT **	
			11	RUNCO-GLUE STICKS		79-795-56-00-5606	27.28
			12	ARNESON#195507-DEC 221 DIESEL		79-790-56-00-5695	257.12

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900115	FNBO	FIRST NATIONAL BANK OMAHA			03/25/22		
	032522-S.REDMON	02/28/22	13	ARNESON#195185-JAN 2022 GAS		79-790-56-00-5695	294.30
			14	ARNESON#795638-JAN 2022 GAS		79-790-56-00-5695	502.68
			15	ARNESON#195566-DEC 2021 GAS		79-790-56-00-5695	135.15
			16	PLUG&PAY-JAN 2022 FEES		79-795-54-00-5462	62.25
			17	AMAZON-TONER		79-795-56-00-5610	84.94
			18	RUNCO-TISSUE, CLOROX WIPES,		79-795-56-00-5606	89.20
			19	ENVELOPES		** COMMENT **	
			20	RUNCO-BATTERIES, PAPER TOWEL,		79-795-56-00-5640	111.68
			21	TOILET PAPER		** COMMENT **	
			22	AMAZON-PARADE CANDY		79-795-56-00-5606	216.95
			23	PARTY CITY-GREEN BEAD		79-795-56-00-5606	108.25
			24	NECKLACES		** COMMENT **	
			25	FUN EXPRESS-ST PATRICKS DAY		79-795-56-00-5606	55.65
			26	SUPPLIES		** COMMENT **	
			27	AMAZON-CHOCOLATE COINS,		79-795-56-00-5606	278.91
			28	SHAMROCK STICKERS		** COMMENT **	
			29	RUNCO-FILE FOLDERS		79-790-56-00-5620	41.96
			30	IPRA-JOB POSTING		79-795-54-00-5426	305.00
			31	AMAZON-ST PATRICKS INFLATABLE		79-795-56-00-5606	61.23
			32	ETSY-EASTER COLORING BOOK PDF		79-795-56-00-5606	3.99
				INVOICE TOTAL:			3,301.99 *
	032522-S.REMUS	02/28/22	01	NRPA-CPR RENEWALS		79-795-54-00-5412	65.00
				INVOICE TOTAL:			65.00 *
	032522-S.SLEEZER	02/28/22	01	MCCANN#P39210-PIN SEALS		79-790-56-00-5640	16.24
			02	MCCANN#P39041-BLADES, FILTERS		79-790-56-00-5640	254.03
			03	SHOREWOOD H&A-HAND GUARD,		79-790-56-00-5640	92.50
			04	CHAIN COVER		** COMMENT **	
			05	FLATSOS#22641-NEW TIRE		79-790-54-00-5495	217.29
				INVOICE TOTAL:			580.06 *
	032522-T.HOULE	02/28/22	01	FIRST PLACE RENT#327689-POINT		79-790-56-00-5630	29.95
			02	AMAZON-BATTERY		79-790-56-00-5620	8.75
			03	BRONZE MEMORIAL#706932-PLAQUE		79-790-56-00-5640	244.82
			04	PROCTOR INC-IL DEPARTMENT		79-790-54-00-5412	12.00
			05	OF AGRICULTURE GENERAL		** COMMENT **	
			06	STANDARDS EXAM		** COMMENT **	
				INVOICE TOTAL:			295.52 *
	032522-T.SOELKE	02/28/22	01	AUTO ZONE#2247961941-OIL CAP		01-410-56-00-5620	7.09
			02	AMAZON-GREASE GUN		52-520-56-00-5630	41.34
			03	AMAZON-FIRE STICK		52-520-56-00-5620	45.20
			04	FLATSOS#22606-VAC-CON TIRES		52-520-54-00-5490	1,640.00
			05	MENARDS-CARPET CLEANER		24-216-56-00-5656	56.20



CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	CHECK DATE	ACCOUNT #	ITEM AMT
900115	FNBO	FIRST NATIONAL BANK OMAHA			03/25/22		
	032522-T.SOELKE	02/28/22	06	FARM&FLEET#5568-BATTERIES,		01-410-56-00-5630	1,147.68
			07	PLIERS, WRENCHES, FLASHLIGHTS,		** COMMENT **	
			08	DRIVE SETS, LINKS, HAMMERS,		** COMMENT **	
			09	GLOVES, 6 DRAWER CABINET,		** COMMENT **	
			10	SOCKET SETS		** COMMENT **	
			11	FARM&FLEET#5568-BATTERIES,		51-510-56-00-5630	1,147.68
			12	PLIERS, WRENCHES, FLASHLIGHTS,		** COMMENT **	
			13	DRIVE SETS, LINKS, HAMMERS,		** COMMENT **	
			14	GLOVES, 6 DRAWER CABINET,		** COMMENT **	
			15	SOCKET SETS		** COMMENT **	
			16	FARM&FLEET#5568-BATTERIES,		52-520-56-00-5630	1,147.67
			17	PLIERS, WRENCHES, FLASHLIGHTS,		** COMMENT **	
			18	DRIVE SETS, LINKS, HAMMERS,		** COMMENT **	
			19	GLOVES, 6 DRAWER CABINET,		** COMMENT **	
			20	SOCKET SETS		** COMMENT **	
				INVOICE TOTAL:			5,232.86 *
				CHECK TOTAL:			195,195.49
				TOTAL AMOUNT PAID:			195,195.49



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CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536307	AACVB	AURORA AREA CONVENTION					
	02/22-SUNSET	03/28/22	01	FEB 2022 SUNSET HOTEL TAX	01-640-54-00-5481		50.40
					INVOICE TOTAL:		50.40 *
	2/22-SUPER	03/22/22	01	FEB 2022 SUPER 8 HOTEL TAX	01-640-54-00-5481		1,256.41
					INVOICE TOTAL:		1,256.41 *
					CHECK TOTAL:		1,306.81
536308	ADVDR00F	ADVANCED ROOFING INC.					
	1588	03/16/22	01	REPLACED EXISTING WIND DAMAGED	24-216-54-00-5446		682.12
			02	SHINGLES AT 2224 TREMONT	** COMMENT **		
					INVOICE TOTAL:		682.12 *
					CHECK TOTAL:		682.12
536309	ALLSTAR	ALL STAR SPORTS INSTRUCTION					
	222023	03/15/22	01	WINTER SESSION II SPORTS	79-795-54-00-5462		1,333.00
			02	INSTRUCTION	** COMMENT **		
					INVOICE TOTAL:		1,333.00 *
					CHECK TOTAL:		1,333.00
536310	AQUAFIX	AQUAFIX, INC.					
	IN001332	03/14/22	01	VITASTIM GREASE	52-520-56-00-5613		1,069.06
					INVOICE TOTAL:		1,069.06 *
					CHECK TOTAL:		1,069.06
536311	AREA47	AREA 47 TOWING & ROADSIDE					
	5084	03/15/22	01	TOWING	01-410-54-00-5490		100.00
					INVOICE TOTAL:		100.00 *
					CHECK TOTAL:		100.00

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536312	ATT AT&T						
	6305536805-0322	03/25/22	01	3/25-4/24 RIVERFRONT PARK	79-795-54-00-5440		50.68
			02	3/25-4/24 RIVERFRONT PARK	79-790-54-00-5440		50.68
				INVOICE TOTAL:			101.36 *
				CHECK TOTAL:			101.36
536313	BFCONSTR B&F CONSTRUCTION CODE SERVICES						
	15653	03/15/22	01	JAN 2022 INSPECTIONS	01-220-54-00-5459		7,920.00
				INVOICE TOTAL:			7,920.00 *
				CHECK TOTAL:			7,920.00
536314	BOOMBAH BOOMBAH						
	013122-STREBATE	03/22/22	01	NOV 2021-JAN 2022 SALES TAX	01-640-54-00-5492		2,483.52
			02	REBATE	** COMMENT **		
				INVOICE TOTAL:			2,483.52 *
				CHECK TOTAL:			2,483.52
D002441	BROWND DAVID BROWN						
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	51-510-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			45.00 *
				DIRECT DEPOSIT TOTAL:			45.00
536315	CALLONE PEERLESS NETWORK, inc						
	504288	03/15/22	01	03/15-04/14 ADMIN LINES	01-110-54-00-5440		1,261.35
			02	03/15-04/14 PD LINES	01-210-54-00-5440		466.37
			03	03/15-04/14 CITY HALL FIRE	01-210-54-00-5440		1,016.34

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536315	CALLONE	PEERLESS NETWORK, inc					
	504288	03/15/22	04	03/15-04/14 CITY HALL FIRE	01-110-54-00-5440		1,016.34
			05	03/15-04/14 PW LINES	51-510-54-00-5440		3,163.32
			06	03/15-04/14 SEWER DEPT LINES	52-520-54-00-5440		444.04
			07	03/15-04/14 TRAFFIC SIGNAL	01-410-54-00-5435		66.89
			08	MAINTENANCE	** COMMENT **		
			09	03/15-04/14 RECREATION LINES	79-795-54-00-5440		442.67
				INVOICE TOTAL:			7,877.32 *
				CHECK TOTAL:			7,877.32
536316	CAMBRIA	CAMBRIA SALES COMPANY INC.					
	42910	03/21/22	01	TOILET TISSUE, PAPER TOWEL	52-520-56-00-5620		135.53
				INVOICE TOTAL:			135.53 *
				CHECK TOTAL:			135.53
D002442	CONARDR	RYAN CONARD					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	51-510-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			45.00 *
				DIRECT DEPOSIT TOTAL:			45.00
536317	COREMAIN	CORE & MAIN LP					
	Q448269	03/02/22	01	METERS, CHAMBER	51-510-56-00-5664		37,335.00
				INVOICE TOTAL:			37,335.00 *
	Q449338	03/02/22	01	CHAMBER	51-510-56-00-5664		1,779.02
				INVOICE TOTAL:			1,779.02 *
				CHECK TOTAL:			39,114.02

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536318	CPS	CERTIFIED POWER , INC					
	50331381	03/08/22	01	SWITCHES	01-410-56-00-5628		725.75
					INVOICE TOTAL:		725.75 *
					CHECK TOTAL:		725.75
536319	DCONST	D. CONSTRUCTION, INC.					
	2100015.2P	03/24/22	01	ENGINEER PAYMENT ESTIMATE #2	15-155-60-00-6025		289,458.31
			02	- 2021 RD PROGRAM MFT	** COMMENT **		
					INVOICE TOTAL:		289,458.31 *
					CHECK TOTAL:		289,458.31
536320	DCONST	D. CONSTRUCTION, INC.					
	2100162.1	03/22/22	01	ENGINEER'S PAYMENT ESTIMATE #1	23-230-60-00-6025		298,156.92
			02	2021 ROAD PROGRAM-ADDITIONAL	** COMMENT **		
					INVOICE TOTAL:		298,156.92 *
					CHECK TOTAL:		298,156.92
536321	DELAGE	DLL FINANCIAL SERVICES INC					
	75778002	03/17/22	01	MAY 2021 MANAGED PRNT SRVS	01-000-14-00-1400		112.33
			02	MAY 2021 MANAGED PRNT SRVS-F	01-000-14-00-1400		37.44
			03	MAY 2021 MANAGED PRNT SRVS-PD	01-000-14-00-1400		112.33
			04	MAY 2021 MANAGED PRNT SRVS-S	01-000-14-00-1400		12.36
			05	MAY 2021 MANAGED PRNT SRVS	51-000-14-00-1400		50.18
			06	MAY 2021 MANAGED PRNT SRVS	52-000-14-00-1400		12.36
					INVOICE TOTAL:		337.00 *
	75861777	03/23/22	01	FEB 2022 COPIER LEASE	01-110-54-00-5485		113.46
			02	FEB 2022 COPIER LEASE	01-120-54-00-5485		75.64
			03	FEB 2022 COPIER LEASE	01-220-54-00-5485		189.10

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536321	DELAGE	DLL FINANCIAL SERVICES INC					
	75861777	03/23/22	04	FEB 2022 COPIER LEASE	01-210-54-00-5485		299.10
			05	FEB 2022 COPIER LEASE	01-410-54-00-5485		44.67
			06	FEB 2022 COPIER LEASE	51-510-54-00-5485		44.67
			07	FEB 2022 COPIER LEASE	52-520-54-00-5485		44.67
			08	FEB 2022 COPIER LEASE	79-790-54-00-5485		94.55
			09	FEB 2022 COPIER LEASE	79-795-54-00-5485		94.54
				INVOICE TOTAL:			1,000.40 *
				CHECK TOTAL:			1,337.40
D002443	DHUSEE	DHUSE, ERIC					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	51-510-54-00-5440		15.00
			02	REIMBURSEMENT	** COMMENT **		
			03	MAR 2022 MOBILE EMAIL	52-520-54-00-5440		15.00
			04	REIMBURSEMENT	** COMMENT **		
			05	MAR 2022 MOBILE EMAIL	01-410-54-00-5440		15.00
			06	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			45.00 *
				DIRECT DEPOSIT TOTAL:			45.00
536322	DIRENRGY	DIRECT ENERGY BUSINESS					
	1704706-220670048429	03/08/22	01	02/02-03/02 RT34 & BEECHER	23-230-54-00-5482		82.27
				INVOICE TOTAL:			82.27 *
	1704711-220740048500	03/15/22	01	02/09-03/10 KENNEDY & MILLS	23-230-54-00-5482		16.58
				INVOICE TOTAL:			16.58 *
	1704717-220770048541	03/18/22	01	02/14-03/14 RT47 & ROSENWINKLE	23-230-54-00-5482		36.45
				INVOICE TOTAL:			36.45 *
	1704718-220700048464	03/11/22	01	02/07-03/08 RT34 & CANNONBALL	23-230-54-00-5482		17.73
				INVOICE TOTAL:			17.73 *

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536322	DIRENRGY	DIRECT ENERGY BUSINESS					
	1704722-220670048429	03/08/22	01	02/01-03/02 2921 BRISTOL RDGE	51-510-54-00-5480		5,170.91
					INVOICE TOTAL:		5,170.91 *
					CHECK TOTAL:		5,323.94
D002444	DLK	DLK, LLC					
	243	03/30/22	01	MAR 2022 ECONOMIC DEVELOPMENT	01-640-54-00-5486		9,620.00
			02	HOURS	** COMMENT **		
					INVOICE TOTAL:		9,620.00 *
	253	03/30/22	01	JAN-MAR 2022 BANKED ECONOMIC	01-640-54-00-5486		11,100.00
			02	DEVELOPEMENT HOURS	** COMMENT **		
					INVOICE TOTAL:		11,100.00 *
					DIRECT DEPOSIT TOTAL:		20,720.00
536323	DOUBLED	DOUBLE D BOOKING					
	2022 HTD DEP	03/14/22	01	2022 HOMETOWN DAYS DEPOSIT	79-000-14-00-1400		525.00
					INVOICE TOTAL:		525.00 *
					CHECK TOTAL:		525.00
536324	ESTILUNV	EASTERN ILLINOIS UNIVERSITY					
	22-23 RNWL	03/25/22	01	IMTA MEMBERSHIP RENEWAL-	01-000-14-00-1400		100.00
			02	FREDRICKSON	** COMMENT **		
					INVOICE TOTAL:		100.00 *
					CHECK TOTAL:		100.00
D002445	EVANST	TIM EVANS					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	79-790-54-00-5440		22.50

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
D002445	EVANST	TIM EVANS					
	040122	04/01/22	02	REIMBURSEMENT	** COMMENT **		
			03	MAR 2022 MOBILE EMAIL	79-795-54-00-5440		22.50
			04	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			45.00 *
				DIRECT DEPOSIT TOTAL:			45.00
536325	FARMFLEE	BLAIN'S FARM & FLEET					
	1785-D.HENNE	03/14/22	01	PANTS, GLOVES, SOCKS, HOODIES	01-410-56-00-5600		370.69
				INVOICE TOTAL:			370.69 *
	2308-B.VALLES	03/19/22	01	HAT, HOODIE, PANTS	01-410-56-00-5600		141.26
				INVOICE TOTAL:			141.26 *
	565-L.GARCIA	03/13/22	01	SHIRTS, GLOVES	51-510-56-00-5600		84.56
				INVOICE TOTAL:			84.56 *
				CHECK TOTAL:			596.51
536326	FIRSTRSP	FIRST RESPONDERS WELLNESS					
	11030	03/10/22	01	35 YPD PERSONNEL ANNUAL	01-210-54-00-5462		6,125.00
			02	WELLNESS CHECKS	** COMMENT **		
				INVOICE TOTAL:			6,125.00 *
				CHECK TOTAL:			6,125.00
536327	FOXVALLE	FOX VALLEY TROPHY & AWARDS					
	36794	06/03/21	01	SPRING 2021 BASEBALL TROPHIES	79-795-56-00-5606		765.25
				INVOICE TOTAL:			765.25 *
	36813	06/22/21	01	SPRING 2021 SOFTBALL TROPHIES	79-795-56-00-5606		179.25
				INVOICE TOTAL:			179.25 *
				CHECK TOTAL:			944.50

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT



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CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
D002446	FREDRICR	ROB FREDRICKSON					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	01-120-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D002447	GALAUNEJ	JAKE GALAUNER					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	79-795-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D002448	GARCIAL	LUIS GARCIA					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	51-510-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
536328	GLATFELT	GLATFELTER UNDERWRITING SRVS.					
	139910125-4	12/23/21	01	2022 LIABILITY INS INSTALL #4	01-000-14-00-1400		13,201.42
			02	2022 LIABILITY INS INSTALL #4P	01-000-14-00-1400		2,744.89
			03	2022 LIABILITY INS INSTALL #4	51-000-14-00-1400		1,455.69
			04	2022 LIABILITY INS INSTALL #4	52-000-14-00-1400		697.80
			05	2022 LIABILITY INS INSTALL #4L	01-000-14-00-1400		1,094.20
					INVOICE TOTAL:		19,194.00 *
					CHECK TOTAL:		19,194.00
536329	GROUND	GROUND EFFECTS INC.					

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536329	GROUND	GROUND EFFECTS INC.					
	464869-000	03/15/22	01	SEDIMENT LOGS	52-520-56-00-5620		67.18
					INVOICE TOTAL:		67.18 *
					CHECK TOTAL:		67.18
536330	HARRIS	HARRIS COMPUTER SYSTEMS					
	MSIXT0000244	03/01/22	01	1095C TAX FORMS	01-120-56-00-5610		160.55
					INVOICE TOTAL:		160.55 *
					CHECK TOTAL:		160.55
D002449	HENNED	DURK HENNE					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	01-410-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D002450	HERNANDA	ADAM HERNANDEZ					
	031022-REIMB	03/11/22	01	REINDERS TURF CONFERENCE MEAL	79-790-54-00-5415		281.82
			02	PERDIEM AND REIMBRUSEMENT FOR	** COMMENT **		
			03	LODGING-HERNANDEZ	** COMMENT **		
					INVOICE TOTAL:		281.82 *
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		326.82
536331	HERNANDN	NOAH HERNANDEZ					

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

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CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536331	HERNANDN	NOAH HERNANDEZ					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					CHECK TOTAL:		45.00
D002451	HORNERR	RYAN HORNER					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D002452	HOULEA	ANTHONY HOULE					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
536332	IDNETWOR	ID NETWORKS					
	278924	03/01/22	01	LIVESCAN ANNUAL SERVICE	01-210-54-00-5469		1,995.00
			02	MAINTENANCE FEE	** COMMENT **		
					INVOICE TOTAL:		1,995.00 *
					CHECK TOTAL:		1,995.00
536333	ILPD4778	ILLINOIS STATE POLICE					
	041522	02/28/22	01	LIQ LICENSE BACKGROUND CHECK	01-110-54-00-5462		28.25
					INVOICE TOTAL:		28.25 *
					CHECK TOTAL:		28.25

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

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CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536334	ILPD4811	ILLINOIS STATE POLICE					
	022822	02/28/22	01	SOLICITOR BACKGROUND CHECK	01-110-54-00-5462		28.25
			02	CLEANING BACKGROUND CHECK	01-110-54-00-5462		28.25
			03	BACKGROUND CHECKS	79-795-54-00-5462		310.75
				INVOICE TOTAL:			367.25 *
				CHECK TOTAL:			367.25
536335	ILTREASU	STATE OF ILLINOIS TREASURER					
	115	04/01/22	01	RT47 EXPANSION PYMT #115	15-155-60-00-6079		6,148.89
			02	RT47 EXPANSION PYMT #115	51-510-60-00-6079		3,780.98
			03	RT47 EXPANSION PYMT #115	52-520-60-00-6079		1,873.48
			04	RT47 EXPANSION PYMT #115	88-880-60-00-6079		624.01
				INVOICE TOTAL:			12,427.36 *
				CHECK TOTAL:			12,427.36
536336	IPELRA	IPELRA					
	031522	03/15/22	01	03/04/22 EMPLOYMENT LAW	01-210-54-00-5412		20.00
			02	SEMINAR-JENSEN	** COMMENT **		
				INVOICE TOTAL:			20.00 *
				CHECK TOTAL:			20.00
536337	IPRF	ILLINOIS PUBLIC RISK FUND					
	76217	03/14/22	01	MAY 2022 WORKER COMP INS	01-000-14-00-1400		11,481.69
			02	MAY 2022 WORKER COMP INS-PR	01-000-14-00-1400		2,335.65
			03	MAY 2022 WORKER COMP INS	51-000-14-00-1400		1,088.80
			04	MAY 2022 WORKER COMP INS	52-000-14-00-1400		491.82
			05	MAY 2022 WORKER COMP INS-LIB	01-000-14-00-1400		928.04
				INVOICE TOTAL:			16,326.00 *
	78023	03/17/22	01	21/22 PAYROLL AUDIT	01-640-52-00-5231		1,139.31

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

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CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536337	IPRF	ILLINOIS PUBLIC RISK FUND					
	78023	03/17/22	02	ADDITIONAL PREMIUM	** COMMENT **		
			03	21/22 PAYROLL AUDIT	01-640-52-00-5231		231.76
			04	ADDITIONAL PREMIUM-PR	** COMMENT **		
			05	21/22 PAYROLL AUDIT	51-510-52-00-5231		108.04
			06	ADDITIONAL PREMIUM	** COMMENT **		
			07	21/22 PAYROLL AUDIT	52-520-52-00-5231		48.80
			08	ADDITIONAL PREMIUM	** COMMENT **		
			09	21/22 PAYROLL AUDIT	82-820-52-00-5231		92.09
			10	ADDITIONAL PREMIUM	** COMMENT **		
				INVOICE TOTAL:			1,620.00 *
				CHECK TOTAL:			17,946.00
D002453	JACKSONJ	JAMIE JACKSON					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	52-520-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			45.00 *
				DIRECT DEPOSIT TOTAL:			45.00
536338	JIMSTRCK	JIM'S TRUCK INSPECTION LLC					
	190569	03/03/22	01	TRUCK INSPECTION	01-410-54-00-5490		35.00
				INVOICE TOTAL:			35.00 *
	190858	03/18/22	01	TRUCK INSPECTION	01-410-54-00-5490		37.00
				INVOICE TOTAL:			37.00 *
				CHECK TOTAL:			72.00
D002454	JOHNGEOR	GEORGE JOHNSON					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	51-510-54-00-5440		22.50

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

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CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
D002454	JOHNGEOR	GEORGE JOHNSON					
	040122	04/01/22	02	REIMBURSEMENT	** COMMENT **		
			03	MAR 2022 MOBILE EMAIL	52-520-54-00-5440		22.50
			04	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			45.00 *
				DIRECT DEPOSIT TOTAL:			45.00
536339	JUSTSAFE	JUST SAFETY, LTD					
	37164	03/15/22	01	FIRST AID SUPPLIES	52-520-56-00-5620		40.80
				INVOICE TOTAL:			40.80 *
				CHECK TOTAL:			40.80
536340	KENCOM	KENCOM PUBLIC SAFETY DISPATCH					
	443	03/08/22	01	IP FLEXIBLE REACH MONTHLY FEE	01-210-54-00-5440		115.56
			02	FOR DEC 2021-FEB 2022	** COMMENT **		
				INVOICE TOTAL:			115.56 *
				CHECK TOTAL:			115.56
536341	KENDCPA	KENDALL COUNTY CHIEFS OF					
	875	03/17/22	01	MARCH MEETING FEE-6 STAFF	01-210-54-00-5415		96.00
				INVOICE TOTAL:			96.00 *
				CHECK TOTAL:			96.00
536342	KENDCROS	KENDALL CROSSING, LLC					
	AMU REBATE 02/22	03/15/22	01	FEB 2022 AMUSEMENT TAX REBATE	01-640-54-00-5439		1,587.66
				INVOICE TOTAL:			1,587.66 *
				CHECK TOTAL:			1,587.66

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARAY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

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CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
D002455	KLEEFISG	GLENN KLEEFISCH					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
536343	LINDCO	LINDCO EQUIPMENT SALES INC					
	220494P	03/07/22	01	NIPPLE KIT, PLATE PORTS,	01-410-56-00-5628		886.78
			02	ADAPTERS	** COMMENT **		
					INVOICE TOTAL:		886.78 *
	220526P	03/16/22	01	FLUSH KIT LID	01-410-56-00-5628		54.86
					INVOICE TOTAL:		54.86 *
					CHECK TOTAL:		941.64
536344	LORCHEM	LORCHEM TECHNOLOGIES, INC					
	75520	02/11/22	01	PRESSURE WASHER	51-510-56-00-5630		2,000.00
			02	PRESSURE WASHER	52-520-56-00-5630		2,000.00
			03	PRESSURE WASHER	01-410-56-00-5630		2,958.12
					INVOICE TOTAL:		6,958.12 *
					CHECK TOTAL:		6,958.12
536345	MCGREGOM	MATTHEW MCGREGORY					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	01-410-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					CHECK TOTAL:		45.00
536346	MENINC	MENARDS INC					

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536346	MENINC	MENARDS INC					
	013122-STREBATE	03/22/22	01	NOV 2021-JAN 2022 SALES TAX	01-640-54-00-5492		78,960.66
			02	REBATE	** COMMENT **		
					INVOICE TOTAL:		78,960.66 *
					CHECK TOTAL:		78,960.66
536347	MENLAND	MENARDS - YORKVILLE					
	36893	03/01/22	01	PAINT	79-790-56-00-5640		147.92
					INVOICE TOTAL:		147.92 *
	36896	03/01/22	01	PENNZOIL	01-210-56-00-5620		29.94
					INVOICE TOTAL:		29.94 *
	36959	03/02/22	01	STAR KNOB, RATCHETS	52-520-56-00-5620		73.96
					INVOICE TOTAL:		73.96 *
	37040	03/03/22	01	SANDING DISCS, SPRAY PAINT	79-790-56-00-5620		26.03
					INVOICE TOTAL:		26.03 *
	37107	03/04/22	01	SAWHORSES, CLAMPS, COMBO	24-216-56-00-5656		191.62
			02	SQUARE, SCREWS, CASTERS, DRILL	** COMMENT **		
			03	BIT SET, TAPE	** COMMENT **		
					INVOICE TOTAL:		191.62 *
	37114-22	03/04/22	01	SLEDGE HAMMERS, RAKES	79-790-56-00-5630		115.90
					INVOICE TOTAL:		115.90 *
	37126	03/04/22	01	GLOVES	79-790-56-00-5620		45.96
					INVOICE TOTAL:		45.96 *
	37127	03/04/22	01	CABLE CAMP	01-410-56-00-5620		1.38
					INVOICE TOTAL:		1.38 *
	37156	03/04/22	01	DUCT SEALING COMPOUND, PLIERS,	51-510-56-00-5620		57.66

01-110 ADMINISTRATION  
01-120 FINANCE  
01-210 POLICE  
01-220 COMMUNITY DEVELOPMENT  
01-410 STREETS OPERATION  
01-640 ADMINISTRATIVE SERVICES  
01-111 FOX HILL SSA

01-112 SUNFLOWER ESTATES  
15-155 MOTOR FUEL TAX  
23-216 MUNICIPAL BUILDING  
23-230 CITY-WIDE CAPITAL  
24-216 BUILDING & GROUNDS  
25-205 POLICE CAPITAL  
25-215 PUBLIC WORKS CAPITAL

25-225 PARK & REC CAPITAL  
42-420 DEBT SERVICE  
51-510 WATER OPERATIONS  
52-520 SEWER OPERATIONS  
72-720 LAND CASH  
79-790 PARKS DEPARTMENT  
79-795 RECREATION DEPARTMENT

82-820 LIBRARY OPERATIONS  
84-840 LIBRARAY CAPITAL  
87-870 COUNTRYSIDE TIF  
88-880 DOWNTOWN TIF  
89-890 DOWNTOWN TIF II  
90-XXX DEVELOPER ESCROW  
950-XXX ESCROW DEPOSIT



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CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536347	MENLAND	MENARDS - YORKVILLE					
	37156	03/04/22	02	TAPE, WIRELESS KEYBOARD, BLEACH	** COMMENT **		
					INVOICE TOTAL:		57.66 *
	37364	03/07/22	01	STORAGE CRATES	79-795-56-00-5606		11.93
					INVOICE TOTAL:		11.93 *
	37367-22	03/07/22	01	RATCHET BINDER, COILS, LINKS	01-410-56-00-5620		133.02
					INVOICE TOTAL:		133.02 *
	37373	03/07/22	01	CAUTION TAPE, CABLE TIES, ROPE	51-510-56-00-5665		65.98
			02	HAMMER, BLEACH	** COMMENT **		
					INVOICE TOTAL:		65.98 *
	37414	03/08/22	01	RETURNED MERCHANDISE CREDIT	24-216-56-00-5656		-31.87
					INVOICE TOTAL:		-31.87 *
	37443-22	03/08/22	01	PVC LG SWEEP	51-510-56-00-5638		5.98
					INVOICE TOTAL:		5.98 *
	37446	03/08/22	01	PAINT, BRUSHES	79-790-56-00-5630		54.80
					INVOICE TOTAL:		54.80 *
	37447	03/08/22	01	FLEX SEAL, FLEX PASTE, SCRAPER	79-790-56-00-5620		29.75
					INVOICE TOTAL:		29.75 *
	37448	03/08/22	01	BOARDS, ROLLER, ROLLER COVER	01-410-56-00-5628		321.26
					INVOICE TOTAL:		321.26 *
	37464-22	03/08/22	01	PLIERS	51-510-56-00-5630		19.95
					INVOICE TOTAL:		19.95 *
	37512	03/09/22	01	FEBREZE, CHAIN LUBE	79-790-56-00-5620		21.86
					INVOICE TOTAL:		21.86 *
	37543	03/09/22	01	FISH TAPE, CONTRACTOR BAGS	51-510-56-00-5665		24.98
					INVOICE TOTAL:		24.98 *

01-110 ADMINISTRATION  
01-120 FINANCE  
01-210 POLICE  
01-220 COMMUNITY DEVELOPMENT  
01-410 STREETS OPERATION  
01-640 ADMINISTRATIVE SERVICES  
01-111 FOX HILL SSA

01-112 SUNFLOWER ESTATES  
15-155 MOTOR FUEL TAX  
23-216 MUNICIPAL BUILDING  
23-230 CITY-WIDE CAPITAL  
24-216 BUILDING & GROUNDS  
25-205 POLICE CAPITAL  
25-215 PUBLIC WORKS CAPITAL

25-225 PARK & REC CAPITAL  
42-420 DEBT SERVICE  
51-510 WATER OPERATIONS  
52-520 SEWER OPERATIONS  
72-720 LAND CASH  
79-790 PARKS DEPARTMENT  
79-795 RECREATION DEPARTMENT

82-820 LIBRARY OPERATIONS  
84-840 LIBRARY CAPITAL  
87-870 COUNTRYSIDE TIF  
88-880 DOWNTOWN TIF  
89-890 DOWNTOWN TIF II  
90-XXX DEVELOPER ESCROW  
950-XXX ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536347	MENLAND	MENARDS - YORKVILLE					
	37590	03/10/22	01	DEGREASER, BRAKE CLEANER	79-790-56-00-5620		29.90
					INVOICE TOTAL:		29.90 *
	37654-22	03/11/22	01	BLEACH, STAPLES, FISH TAPE	51-510-56-00-5620		91.76
					INVOICE TOTAL:		91.76 *
	37904	03/14/22	01	BARRICADE FENCING, CABLE TIES,	52-520-56-00-5620		62.30
			02	VINYL TAPE	** COMMENT **		
					INVOICE TOTAL:		62.30 *
	37906	03/14/22	01	BROOM, PACKING TAPE, BULBS	24-216-56-00-5656		52.83
					INVOICE TOTAL:		52.83 *
	37927	03/14/22	01	CONTRACTOR BAGS	51-510-56-00-5638		11.99
					INVOICE TOTAL:		11.99 *
	37973	03/15/22	01	RATCHET, LEADER HOSE	51-510-56-00-5638		49.92
					INVOICE TOTAL:		49.92 *
	37974	03/15/22	01	ADAPTERS	79-790-56-00-5630		17.34
					INVOICE TOTAL:		17.34 *
	37981	03/15/22	01	UNION	51-510-56-00-5640		5.49
					INVOICE TOTAL:		5.49 *
	38001	03/15/22	01	PIPE, BULBS, CAULK, WIIRE	79-790-56-00-5640		35.22
					INVOICE TOTAL:		35.22 *
	38034	03/16/22	01	TAPE, REACH TOOL, MUD PAN,	24-216-56-00-5656		90.13
			02	TAPING KNIFE, PUTTY KNIFE,	** COMMENT **		
			03	PAINT KIT, DROP CLOTH, PAIL	** COMMENT **		
					INVOICE TOTAL:		90.13 *
	38104	03/17/22	01	LIGHT	01-410-56-00-5620		6.38
					INVOICE TOTAL:		6.38 *

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARAY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536347	MENLAND	MENARDS - YORKVILLE					
	38108-22	03/17/22	01	GREENBRIAR SIGN REPAIR	01-410-56-00-5640		145.16
					INVOICE TOTAL:		145.16 *
	38208	03/18/22	01	SOAP	52-520-56-00-5620		3.47
					INVOICE TOTAL:		3.47 *
	38225	03/18/22	01	MATS, CLEANERS, GLOVES	51-510-56-00-5638		47.76
					INVOICE TOTAL:		47.76 *
	7420	03/08/22	01	PIPE, FLEX COUPLE	51-510-56-00-5638		42.24
					INVOICE TOTAL:		42.24 *
					CHECK TOTAL:		2,039.90
536348	METIND	METROPOLITAN INDUSTRIES, INC.					
	INV034401	12/15/21	01	LIFT STATION CLOUD SERVICES-	52-520-54-00-5444		270.00
			02	FEB 2022	** COMMENT **		
					INVOICE TOTAL:		270.00 *
	INV035344	01/15/22	01	LIFT STATION CLOUD	52-520-54-00-5440		270.00
			02	SERVICES-MAR 2022	** COMMENT **		
					INVOICE TOTAL:		270.00 *
	INV036759	03/08/22	01	REPAIR TO RAINTREE PUMP	52-520-54-00-5444		3,536.00
					INVOICE TOTAL:		3,536.00 *
	INV036761	03/08/22	01	REPAIR TO RAINTREE PUMP	52-520-54-00-5444		4,129.00
					INVOICE TOTAL:		4,129.00 *
	INV036762	03/08/22	01	REPAIR TO PRESTWICK LIFT	52-520-54-00-5444		6,614.00
					INVOICE TOTAL:		6,614.00 *
					CHECK TOTAL:		14,819.00

01-110 ADMINISTRATION  
01-120 FINANCE  
01-210 POLICE  
01-220 COMMUNITY DEVELOPMENT  
01-410 STREETS OPERATION  
01-640 ADMINISTRATIVE SERVICES  
01-111 FOX HILL SSA

01-112 SUNFLOWER ESTATES  
15-155 MOTOR FUEL TAX  
23-216 MUNICIPAL BUILDING  
23-230 CITY-WIDE CAPITAL  
24-216 BUILDING & GROUNDS  
25-205 POLICE CAPITAL  
25-215 PUBLIC WORKS CAPITAL

25-225 PARK & REC CAPITAL  
42-420 DEBT SERVICE  
51-510 WATER OPERATIONS  
52-520 SEWER OPERATIONS  
72-720 LAND CASH  
79-790 PARKS DEPARTMENT  
79-795 RECREATION DEPARTMENT

82-820 LIBRARY OPERATIONS  
84-840 LIBRARY CAPITAL  
87-870 COUNTRYSIDE TIF  
88-880 DOWNTOWN TIF  
89-890 DOWNTOWN TIF II  
90-XXX DEVELOPER ESCROW  
950-XXX ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536349	MIDWSALT	MIDWEST SALT					
	P462898	03/24/22	01	BULK ROCK SALT	51-510-56-00-5638		2,763.18
					INVOICE TOTAL:		2,763.18 *
	P463020	03/21/22	01	BULK ROCK SALT	51-510-56-00-5638		2,797.20
					INVOICE TOTAL:		2,797.20 *
					CHECK TOTAL:		5,560.38
536350	MIKOLASR	RAY MIKOLASEK					
	032122-PER DIEM	03/24/22	01	FBI LEEDA COMMAND LEADERSHIP	01-210-54-00-5415		75.00
			02	INSTITUTE MEAL PER DIEMS	** COMMENT **		
					INVOICE TOTAL:		75.00 *
					CHECK TOTAL:		75.00
D002456	MILSCHET	TED MILSCHEWSKI					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	24-216-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
536351	MONTRK	MONROE TRUCK EQUIPMENT					
	337226	03/19/22	01	BOSS FASTNER KIT	01-410-56-00-5628		356.52
					INVOICE TOTAL:		356.52 *
					CHECK TOTAL:		356.52
536352	MUNCLRK	MUNICIPAL CLERKS OF ILLINOIS					
	2022 DUES	03/15/22	01	MCI MEMBERSHIP DUES-BEHLAND	01-110-54-00-5460		65.00
					INVOICE TOTAL:		65.00 *
					CHECK TOTAL:		65.00

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536353	NARVICK	NARVICK BROS. LUMBER CO, INC					
	76443	12/13/21	01	4000 PSI, MESH	23-230-56-00-5637		1,269.00
					INVOICE TOTAL:		1,269.00 *
					CHECK TOTAL:		1,269.00
536354	NEOPOST	QUADIENT FINANCE USA, INC					
	033022-CITY	03/30/22	01	POSTAGE METER REFILL	01-000-14-00-1410		500.00
					INVOICE TOTAL:		500.00 *
					CHECK TOTAL:		500.00
536355	NICOR	NICOR GAS					
	16-00-27-3553 4-0222	03/14/22	01	02/10-03/14 1301 CAROLYN CT	01-110-54-00-5480		92.79
					INVOICE TOTAL:		92.79 *
	31-61-67-2493 1-0222	03/11/22	01	02/09-03/11 276 WINDHAM CR	01-110-54-00-5480		51.73
					INVOICE TOTAL:		51.73 *
	37-35-53-1941 1-0222	03/09/22	01	02/07-03/09 185 WOLF ST	01-110-54-00-5480		623.45
					INVOICE TOTAL:		623.45 *
	40-52-64-8356 1-0222	03/08/22	01	02/03-03/08 102 E VAN EMMON	01-110-54-00-5480		672.69
					INVOICE TOTAL:		672.69 *
	45-12-25-4081 3-0222	03/15/22	01	02/09-03/11 201 W HYDRAULIC	01-110-54-00-5480		513.40
					INVOICE TOTAL:		513.40 *
	46-69-47-6727 1-0222	03/09/22	01	02/07-03/09 1975 N BRIDGE	01-110-54-00-5480		157.10
					INVOICE TOTAL:		157.10 *
	66-70-44-6942 9-0222	03/09/22	01	02/07-03/09 1908 RAINTREE	01-110-54-00-5480		186.00
					INVOICE TOTAL:		186.00 *

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536355	NICOR	NICOR GAS					
	80-56-05-1157 0-0222	03/09/22	01	02/07-03/09 2512 ROSEMONT	01-110-54-00-5480		85.32
					INVOICE TOTAL:		85.32 *
					CHECK TOTAL:		2,382.48
536356	OMALLEY	O'MALLEY WELDING & FABRICATING					
	20252	03/10/22	01	SIGN POST REPAIR WELDING	01-410-54-00-5462		210.00
					INVOICE TOTAL:		210.00 *
					CHECK TOTAL:		210.00
536357	PARADISE	PARADISE CAR WASH					
	224451	03/07/22	01	FEB 2022 CAR WASHES	79-790-54-00-5495		50.00
					INVOICE TOTAL:		50.00 *
	224458	03/08/22	01	FEB 2022 CAR WASHES	01-220-54-00-5462		13.00
					INVOICE TOTAL:		13.00 *
					CHECK TOTAL:		63.00
536358	PFIZENMB	BEHR PFIZENMAIER					
	FALL 2021 REIMB	03/21/22	01	FALL 2021 TUITION	01-210-54-00-5410		2,412.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		2,412.00 *
					CHECK TOTAL:		2,412.00
536359	PFPETT	P.F. PETTIBONE & CO.					
	181417	12/02/21	01	DIGITAL PHOTO ID-LOBDELL	01-210-54-00-5462		18.00
					INVOICE TOTAL:		18.00 *
					CHECK TOTAL:		18.00

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
D002457	PIAZZA	AMY SIMMONS					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	01-120-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
536360	PITSTOP	PIT STOP					
	2597	03/10/22	01	02/11-03/10 RIVERFRONT PARK	79-795-56-00-5620		182.00
			02	PORTOLET UPKEEP	** COMMENT **		
					INVOICE TOTAL:		182.00 *
					CHECK TOTAL:		182.00
536361	PLANFILL	PLANO CLEAN FILL					
	836	03/09/22	01	01/14-02/08 DUMPING	51-510-54-00-5462		375.00
					INVOICE TOTAL:		375.00 *
					CHECK TOTAL:		375.00
536362	PRINTSRC	LAMBERT PRINT SOURCE, LLC					
	2597	03/10/22	01	SOCCER SIGNS	79-795-56-00-5606		202.50
					INVOICE TOTAL:		202.50 *
	2598	03/11/22	01	DISCO GOLF DECALS	79-790-56-00-5640		228.00
					INVOICE TOTAL:		228.00 *
					CHECK TOTAL:		430.50
536363	PURCELLJ	JOHN PURCELL					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	01-110-54-00-5440		45.00

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536363	PURCELLJ	JOHN PURCELL					
	040122	04/01/22	02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					CHECK TOTAL:		45.00
536364	R0001996	KEITH CARTER					
	031722-RFND	03/17/22	01	REFUND OVERPAYMENT ON FINAL	01-000-13-00-1371		86.82
			02	BILLING FOR ACCT#0102632680-17	** COMMENT **		
					INVOICE TOTAL:		86.82 *
					CHECK TOTAL:		86.82
536365	R0002208	HARI DEVELOPMENT YORKVILLE LLC					
	013122-STREBATE	03/22/22	01	NOV 2021-JAN 2022 SALES TAX	01-640-54-00-5492		1,197.31
			02	REBATE	** COMMENT **		
					INVOICE TOTAL:		1,197.31 *
					CHECK TOTAL:		1,197.31
D002458	RATOSP	PETE RATOS					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	01-220-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D002459	REDMONST	STEVE REDMON					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	79-795-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT



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CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536366	REINDERS	REINDERS, INC.					
	4068148-00	03/17/22	01	PERFORMED WINTER SERVICE AND	79-790-54-00-5495		1,713.25
			02	SHARPENED BLADES	** COMMENT **		
					INVOICE TOTAL:		1,713.25 *
	4068149-00	03/07/22	01	PERFORMED WINTER SERVICE	79-790-54-00-5495		1,216.96
					INVOICE TOTAL:		1,216.96 *
					CHECK TOTAL:		2,930.21
D002460	ROSBOROS	SHAY REMUS					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	79-795-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
536367	SANDWPKD	SANDWICH PARK DISTRICT					
	031022	03/10/22	01	YOUTH SOFTBALL LEAGUES	79-795-56-00-5606		975.00
			02	SCHEDULING & PREPARATION	** COMMENT **		
					INVOICE TOTAL:		975.00 *
					CHECK TOTAL:		975.00
D002461	SCHREIBE	EMILY J. SCHREIBER					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	79-795-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D002462	SCODROP	PETER SCODRO					

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
D002462	SCODROP	PETER SCODRO					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	51-510-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			45.00 *
				DIRECT DEPOSIT TOTAL:			45.00
D002463	SCOTTTR	TREVOR SCOTT					
	031022-REIMB	03/11/22	01	REINDERS TURF CONFERENCE MEAL	79-790-54-00-5415		40.00
			02	PER DIEM-SCOTT	** COMMENT **		
				INVOICE TOTAL:			40.00 *
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			45.00 *
				DIRECT DEPOSIT TOTAL:			85.00
536368	SEBIS	SEBIS DIRECT					
	37483	03/08/22	01	FEB 2022 UTILITY BILLING	01-120-54-00-5430		64.21
			02	FEB 2022 UTILITY BILLING	51-510-54-00-5430		86.02
			03	FEB 2022 UTILITY BILLING	52-520-54-00-5430		40.12
				INVOICE TOTAL:			190.35 *
				CHECK TOTAL:			190.35
D002464	SENGM	MATT SENG					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	01-410-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			45.00 *
				DIRECT DEPOSIT TOTAL:			45.00

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536369	SIGSTAIR	D & D WOODWORKING, INC					
	11464	03/23/22	01	UT SLOTS IN POSTS FOR SIGN	01-410-54-00-5462		200.00
					INVOICE TOTAL:		200.00 *
					CHECK TOTAL:		200.00
D002465	SLEEZERJ	JOHN SLEEZER					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	01-410-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
	COSTCO-REIMB	03/10/22	01	REIMBURSEMENT FOR PANTS,	01-410-56-00-5600		107.70
			02	SHIRTS	** COMMENT **		
					INVOICE TOTAL:		107.70 *
					DIRECT DEPOSIT TOTAL:		152.70
D002466	SLEEZERS	SCOTT SLEEZER					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D002467	SMITHD	DOUG SMITH					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D002468	SOELKET	TOM SOELKE					

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
D002468	SOELKET	TOM SOELKE					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	52-520-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D002469	STEFFANG	GEORGE A STEFFENS					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	52-520-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D002470	THOMASL	LORI THOMAS					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	01-120-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
536370	TRICO	TRICO MECHANICAL , INC					
	6371	03/01/22	01	INSTALLED BATHROOM EXHAUST	24-216-54-00-5446		4,462.00
			02	FANS AT 800 GAME FARM RD	** COMMENT **		
					INVOICE TOTAL:		4,462.00 *
					CHECK TOTAL:		4,462.00
536371	UMBBANK	UMB BANK					
	013122-STREBATE	03/22/22	01	NOV 2021-JAN 2022 SALES TAX	01-640-54-00-5492		152,387.79
			02	REBATE	** COMMENT **		
					INVOICE TOTAL:		152,387.79 *
					CHECK TOTAL:		152,387.79

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536372	VALLASB	BRYAN VALLES-MATA					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	01-410-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					CHECK TOTAL:		45.00
536373	VITOSH	CHRISTINE M. VITOSH					
	CMV 2040	02/28/22	01	FEB 28 ADMIN HEARING	01-210-54-00-5467		125.00
					INVOICE TOTAL:		125.00 *
	CMV 2042	03/17/22	01	03/08/22 CC MEETING	01-110-54-00-5462		236.00
					INVOICE TOTAL:		236.00 *
	CMV 2044	03/23/22	01	03/22/22 CC MEETING	01-110-54-00-5462		156.00
					INVOICE TOTAL:		156.00 *
					CHECK TOTAL:		517.00
D002471	WEBERR	ROBERT WEBER					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	01-410-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
536374	WERDERW	WALLY WERDERICH					
	030422-FEB 2022	03/04/22	01	FEB 2022 ADMIN HEARINGS	01-210-54-00-5467		300.00
					INVOICE TOTAL:		300.00 *
					CHECK TOTAL:		300.00
536375	WEX	WEX BANK					

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARAY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536375	WEX	WEX BANK					
	79919545	03/31/22	01	MAR 2022 GASOLINE	01-210-56-00-5695		7,627.58
			02	MAR 2022 GASOLINE	79-790-56-00-5695		8.93
			03	MAR 2022 GASOLINE	01-220-56-00-5695		709.85
				INVOICE TOTAL:			8,346.36 *
				CHECK TOTAL:			8,346.36
D002472	WILLRETE	ERIN WILLRETT					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	01-110-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			45.00 *
				DIRECT DEPOSIT TOTAL:			45.00
536376	WOLFB	BRANDON WOLF					
	040122	04/01/22	01	MAR 2022 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			45.00 *
				CHECK TOTAL:			45.00
536377	YORKACE	YORKVILLE ACE & RADIO SHACK					
	175071	03/15/22	01	CHAIN LOOP	01-410-56-00-5620		41.98
				INVOICE TOTAL:			41.98 *
				CHECK TOTAL:			41.98
536378	YORKBIGB	YORKVILLE BIG BAND					
	2022 HTD DEPOSIT	03/11/22	01	2022 HOMETOWN DAYS DEPOSIT	79-000-14-00-1400		300.00
				INVOICE TOTAL:			300.00 *
				CHECK TOTAL:			300.00

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT

INVOICES DUE ON/BEFORE 04/12/2022

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
536379	YOUNGM	MARLYS J. YOUNG					
	030322	03/15/22	01	03/03/22 PUBLIC SAFETY MEETING	01-110-54-00-5462		85.00
			02	MINUTES	** COMMENT **		
					INVOICE TOTAL:		85.00 *
	031022	03/21/22	01	03/10/22 PLAN COUNCIL MEETING	90-179-00-00-0011		85.00
			02	MINUTES	** COMMENT **		
					INVOICE TOTAL:		85.00 *
	111821-PR	12/06/21	01	11/18/21 PARK BOARD MEETING	01-110-54-00-5462		25.00
			02	MINUTES	** COMMENT **		
					INVOICE TOTAL:		25.00 *
					CHECK TOTAL:		195.00

TOTAL CHECKS PAID: 1,009,506.70  
TOTAL DIRECT DEPOSITS PAID: 22,544.52  
TOTAL AMOUNT PAID: 1,032,051.22

01-110	ADMINISTRATION	01-112	SUNFLOWER ESTATES	25-225	PARK & REC CAPITAL	82-820	LIBRARY OPERATIONS
01-120	FINANCE	15-155	MOTOR FUEL TAX	42-420	DEBT SERVICE	84-840	LIBRARY CAPITAL
01-210	POLICE	23-216	MUNICIPAL BUILDING	51-510	WATER OPERATIONS	87-870	COUNTRYSIDE TIF
01-220	COMMUNITY DEVELOPMENT	23-230	CITY-WIDE CAPITAL	52-520	SEWER OPERATIONS	88-880	DOWNTOWN TIF
01-410	STREETS OPERATION	24-216	BUILDING & GROUNDS	72-720	LAND CASH	89-890	DOWNTOWN TIF II
01-640	ADMINISTRATIVE SERVICES	25-205	POLICE CAPITAL	79-790	PARKS DEPARTMENT	90-XXX	DEVELOPER ESCROW
01-111	FOX HILL SSA	25-215	PUBLIC WORKS CAPITAL	79-795	RECREATION DEPARTMENT	950-XXX	ESCROW DEPOSIT



# UNITED CITY OF YORKVILLE

## PAYROLL SUMMARY

### March 18, 2022

	REGULAR	OVERTIME	TOTAL	IMRF	FICA	TOTALS
<b>MAYOR &amp; LIQ. COM.</b>	\$ 908.34	\$ -	\$ 908.34	\$ -	\$ 69.49	\$ 977.83
<b>ALDERMAN</b>	4,000.00	-	4,000.00	-	306.00	4,306.00
<b>ADMINISTRATION</b>	17,335.36	-	17,335.36	1,521.48	1,299.53	20,156.37
<b>FINANCE</b>	13,320.89	-	13,320.89	1,185.56	998.05	15,504.50
<b>POLICE</b>	128,754.53	1,889.96	130,644.49	563.55	9,695.74	140,903.78
<b>COMMUNITY DEV.</b>	26,583.57	-	26,583.57	2,365.94	1,975.09	30,924.60
<b>STREETS</b>	21,332.60	1,874.39	23,206.99	2,065.39	1,708.74	26,981.12
<b>BUILDING &amp; GROUNDS</b>	2,095.20	-	2,095.20	186.47	160.28	2,441.95
<b>WATER</b>	18,370.56	609.18	18,979.74	1,689.23	1,387.30	22,056.27
<b>SEWER</b>	10,472.48	74.96	10,547.44	938.71	772.51	12,258.66
<b>PARKS</b>	25,600.40	92.78	25,693.18	2,246.80	1,904.37	29,844.35
<b>RECREATION</b>	18,579.99	-	18,579.99	1,416.86	1,386.22	21,383.07
<b>LIBRARY</b>	17,283.74	-	17,283.74	954.63	1,281.40	19,519.77
<b>TOTALS</b>	\$ 304,637.66	\$ 4,541.27	\$ 309,178.93	\$ 15,134.62	\$ 22,944.72	\$ 347,258.27

**TOTAL PAYROLL**

**\$ 347,258.27**





## UNITED CITY OF YORKVILLE PAYROLL SUMMARY April 1, 2022

	REGULAR	OVERTIME	TOTAL	IMRF	FICA	TOTALS
ADMINISTRATION	17,432.69	-	17,432.69	1,520.00	1,318.46	20,271.15
FINANCE	11,519.60	-	11,519.60	1,038.59	871.73	13,429.92
POLICE	118,280.70	1,520.08	119,800.78	537.73	8,896.88	129,235.39
COMMUNITY DEV.	21,630.48	-	21,630.48	1,965.17	1,630.61	25,226.26
STREETS	20,436.43	314.69	20,751.12	1,855.72	1,531.76	24,138.60
BUILDING & GROUNDS	2,095.20		2,095.20	199.82	171.76	2,466.78
WATER	19,893.84	735.39	20,629.23	1,836.01	1,512.16	23,977.40
SEWER	9,594.36	93.71	9,688.07	862.24	706.32	11,256.63
PARKS	26,886.80	-	26,886.80	2,375.30	2,013.32	31,275.42
RECREATION	16,782.55	-	16,782.55	1,370.03	1,248.72	19,401.30
LIBRARY	17,681.87	-	17,681.87	954.62	1,311.85	19,948.34
<b>TOTALS</b>	<b>\$ 282,234.52</b>	<b>\$ 2,663.87</b>	<b>\$ 284,898.39</b>	<b>\$ 14,515.23</b>	<b>\$ 21,213.57</b>	<b>\$ 320,627.19</b>

**TOTAL PAYROLL**

**\$ 320,627.19**



## UNITED CITY OF YORKVILLE BILL LIST SUMMARY

Tuesday, April 12, 2022

### ACCOUNTS PAYABLE

### DATE

Clerk's Check #131195 Kendall County Recorder <i>(Page 1)</i>	03/15/2022	\$	235.00
City MasterCard Bill Register <i>(Pages 2 - 12)</i>	03/25/2022		195,195.49
City Check Register <i>(Pages 13 - 42)</i>	04/12/2022		1,032,051.22

<b>SUB-TOTAL:</b>			<b>\$1,227,481.71</b>
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### WIRE PAYMENTS

Dearborn Insurance - Apr 2022	04/01/2022	\$	2,865.73
Blue Cross/ Blue Shield Insurance - Apr 2022	03/31/2022		131,620.86

<b>TOTAL PAYMENTS:</b>			<b>\$134,486.59</b>
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### PAYROLL

Bi - Weekly <i>(Page 43)</i>	03/18/2022	\$	347,258.27
Bi - Weekly <i>(Page 44)</i>	04/01/2022	\$	320,627.19

<b>SUB-TOTAL:</b>		<b>\$</b>	<b>667,885.46</b>
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<b>TOTAL DISBURSEMENTS:</b>		<b>\$</b>	<b>2,029,853.76</b>
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Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #1

Tracking Number

CC 2022-05

### Agenda Item Summary Memo

**Title:** Bright Farms Development Agreement

**Meeting and Date:** City Council – April 12, 2022

**Synopsis:** \_\_\_\_\_  
\_\_\_\_\_

#### Council Action Previously Taken:

Date of Action: CC – 03/08/22

Action Taken: \_\_\_\_\_

Item Number: CC 2022-05

**Type of Vote Required:** None

**Council Action Requested:** Informational

**Submitted by:** Bart Olson

Administration

Name

Department

#### Agenda Item Notes:

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*Have a question or comment about this agenda item?*

*Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at [agendas@yorkville.il.us](mailto:agendas@yorkville.il.us), post at [www.facebook.com/CityofYorkville](https://www.facebook.com/CityofYorkville), tweet us at @CityofYorkville, and/or contact any of your elected officials at <http://www.yorkville.il.us/320/City-Council>*



# Memorandum

To: City Council  
From: Bart Olson, City Administrator  
CC:  
Date: April 7, 2022  
Subject: Bright Farms development status update

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## **Summary**

Review of the development status of the Bright Farms development.

## **Background**

This item was last discussed by the City Council at the March 22<sup>nd</sup> City Council meeting, when the City Council reviewed a development status memo and Sean O'Neill was present to answer questions. Since that meeting, development negotiations have been ongoing.

## **Water Well**

Water well information has been sent to staff. The analysis is complete with some recommendations to be made for regional wells. This material will be presented at the City Council meeting by City staff.

## **Draft Development Agreement Status**

The current state of the draft development agreement is attached. Per prior status memos, we provide the following overview:

- 1) Bright Farms project commitment – 120 acres with 1.9m total square feet of buildings at final development. Phased construction of four greenhouses of approximately 400,000 square feet each connected to two central processing headhouses of 150,000 square feet each.
  - a. Section 1.2
- 2) Approval to drill their own water well (requires City Council review and approval during the development agreement phase).
  - a. Section 1.3 and Section 2.8.
- 3) Payment of Bright Farm's direct costs for the sewer project, estimated at \$500,000 for their share of the 12" and 16" sewer lines, \$507,000 for annexation fees into the sanitary district, and \$507,000 for infrastructure fees into the sanitary district
  - a. The \$507,000 for annexation fees do not go to the sewer project; the fees go to the sanitary district to offset the cost of the sanitary district's general expenses.
  - b. Section 2.3, 2.4 and 2.5

- 4) Payment of tributary properties direct costs for the sewer project, with recapture due to Bright Farms in an amount and method to be determined, based on the ongoing funding gap discussion.
  - a. Section 2.5 and 2.6
- 5) An exhibit with the recapture agreement and related provisions due to Bright Farms
  - a. To be provided later.
- 6) Reconciliation of design engineering costs and credits for Bright Farms based on their share of the engineering agreement and their deposits to keep the engineering work moving along
  - a. Implicit to the agreement (work continues until funding stops, then the entire project costs are calculated later according to Section 2.5 and 2.6)
- 7) Clarification that if the CDBG sewer grant application is awarded, that the money will be sent to Bright Farms (they have the burden of providing financial information and project commitments to the state, the City is the pass-through entity) and that the grant application will not be used to offset the share of what other properties will eventually have to pay as recapture
  - a. Section 2.1
- 8) Authorize the City to design and construct the sewer project, with YBSD input.
  - a. Section 2.2
- 9) Authorizes YBSD and Bright Farms to negotiate the timing of the YBSD annexation fees and IPF payments to the district, as long as the City is not at risk for project costs during construction
  - a. Not applicable.
- 10) Commitment to complete the sewer project by January 2023, and if that design is not met, a commitment from the City to Bright Farms to allow them to use temporary onsite septic and process water until the permanent sewer is constructed.
  - a. Section 2.8
- 11) Bright Farms is asking for some relief in scope and timing for required improvements to Corneils Road adjacent to their property. Improving a road adjacent to a large development is a standard development obligation but we will review their request with appropriate context and present a recommendation to the City Council in the future.
  - a. Section 2.7. Current proposal is Corneils between Eldamain and the development entrance must be completed before occupancy permits are issued. Security for the remaining portion of Corneil must be posted before occupancy, but work on this section must be complete within 2 years from occupancy permit issuance.
- 12) Bright Farms is asking for some consideration on timing of payments related to the sewer construction to more closely coincide with the actual payments the City will make to the contractor. We are working with them to work this language out via payment bond, other

form of security, or contractor contract language so the City's risk is eliminated or minimized in a scenario where the contract is approved and the developer doesn't fulfill the payment obligations.

a. This will be in Section 2.5, but language is still being negotiated.

13) Bright Farms has asked for some consideration on the building permit fees for the project, for which our current estimate is more than \$350,000. As you might recall, the project will consist of four greenhouses of ~370,000 square feet each, plus two headhouses at ~145,000 square feet each, plus a headhouse connector building of 34,500 square feet. All in, this will be more than 1.8m square feet of buildings; our current building permit fee is \$750 plus \$0.20 per square foot. Their initial request is that they accept that they have to pay the full building permit fee on the headhouses and headhouse connector building, as these are standard industrial buildings with many modern components; but, they are requesting waivers or reductions on the greenhouses since they are more simplistic in nature and there will be four identical buildings. They have provided other information that other towns have waived these building permit fees or reduced them given the agricultural nature of the greenhouse buildings. We are reviewing our commercial permit fees relative to other Chicagoland towns who have a more established commercial/industrial base. In some of these towns, commercial permits are charged as a percentage of the total cost of the project (a couple quick examples showed a 1.1% and 2% fee). We are reviewing this material from other towns, their request for a fee waiver or reduction, how much time we think it will take our staff to plan review and inspect these buildings, and will provide a more detailed update and recommendation to City Council at a later date.

a. This will be in a future section, but the analysis and the agreement language is still being negotiated.

### **Recommendation**

This is an informational item.

**AGREEMENT BY AND AMONG THE UNITED CITY OF YORKVILLE,  
KENDALL COUNTY, ILLINOIS, YORKVILLE-BRISTOL SANITARY DISTRICT  
AND BRIGHTFARMS**

**ARTICLE 1: RECITALS**

1.1 United City of Yorkville, Kendall County, Illinois (the “City”), is a duly organized and validly existing non-home rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State. The Yorkville-Bristol Sanitary District (“YBSD”) is an independent municipal corporation validly organized under the Illinois Sanitary District Act of 1917; and, Illinois Greenhouse, LLC, is a Delaware corporation d/b/a BrightFarms, is a hydroponic indoor farming company producing lettuce and herbs for shipping to local retailers (“BrightFarms”).

1.2 BrightFarms has submitted a proposal to the City to develop approximately one-hundred twenty (120) acres at the northeast corner of Eldamain and Corneils Roads (the “Development Site”) to construct a 860,000 square foot greenhouse as Phase I, followed by a second 860,000 square foot greenhouse as Phase II for an indoor lettuce and herb growing operation, however, the Development Site is not served by water or sewer service.

1.3 BrightFarms has informed the City that it would not require City water service for its operations due to the fact that the presence of chlorine in the City’s potable water supply impacts lettuce growth and, therefore, has requested the City to permit it to drill a well at the Development Site and to approve such amendments to the City Code to permit the generation of a water supply from such wells at the Development Site.

**Commented [B01]:** Water well analysis still under review.

1.4 The City has investigated the route required to extend sewer services to the Development Site and has determined that the design of, land acquisition for, and construction of approximately 8,500 linear feet of 12”, 16” and 30” sanitary sewer interceptor from Rob Roy Creek to the Development Site (the “Project”), the acquisition of easements necessary for the sewer interceptor, permit fees and engineering design fees are estimated to be approximately \$3,000,000 to \$3,200,000 (the “Project Cost”).

1.5 The City, YBSD and BrightFarms agree that the Project Cost should be proportioned among the parties to this Agreement with the right to recapture portions of the Project Cost from future users.

1.6 BrightFarms has completed a traffic study, which has been reviewed and its recommendations validated by the City’s engineers.

**ARTICLE 2: RESPONSIBILITY OF THE PARTIES**

2.1 The City has applied to the Community Development Block Grant (“CDBG”) Program as established by the U.S. Housing and Development Act of 1974 for a grant in the maximum amount of \$1,000,000 for the sewer extension and such other required public infrastructure for the sewer extension. In the event any funds are received by the City as the result

of its CDBG application, the City agrees to remit the entire portion of the grant funds to BrightFarms within 60 days of receipt.

2.2 BrightFarms and YBSD agree that the City shall be solely responsible for the design, acquisition of easements and construction of the Project subject to the conditions hereinafter set forth. It is also understood and agreed that after construction and acceptance by YBSD, the City shall assign any and all easements rights relating to the 30" sanitary sewer interceptor portion of the Project and convey the title to that portion of the Project to YBSD.

2.3 BrightFarms hereby agrees to pay YBSD all appropriate annexation fees in effect at time of annexation into YBSD and all appropriate infrastructure participation fees at time of final plat into the City. Based on fees in effect in January 2022 and for illustrative purposes only, the current annexation fee is \$4,228 per acre. BrightFarms anticipates annexing all 120 acres of the property immediately after time of approval of this development agreement and will be estimated to owe YBSD \$507,360 at that time. Based on fees in effect of January 2022 and for illustrative purposes only, the current infrastructure fee is \$4,228 per acre. BrightFarms anticipates developing their property on a phased basis but shall commit to paying all 120 acres (i.e. \$507,360) before the City acquires any easement necessary to construct the Project. YBSD agrees to remit the \$507,360 for the infrastructure participation fee to the City, with an additional \$158,120 for the purpose of paying YBSD's proportionate share of the total Project Cost and applied to the cost of the 30" portion of the sanitary sewer interceptor "YBSD Contributions". YBSD's payment equivalent to its proportionate share of total Project Cost shall be paid to the City within 30 days from the time it is received by BrightFarms.

2.4 BrightFarms agrees to contribute an amount equal to the total Project Cost ("BrightFarms Funding Payments"), less the total amount paid to the City by the YBSD. The BrightFarms Funding Payments shall be payable to the City as stipulated in Paragraph 2.5.

2.5 A. BrightFarms agrees as follows:

- (i) To pay all annexation fees due to YBSD upon annexation to YBSD unless otherwise agreed to by the parties to construct the Project; and
- (ii) To pay all infrastructure participation fees due to YBSD prior to the acquisition of any easement necessary to construct the Project; and
- (iii) To pay all BrightFarms Funding Payments (which includes all engineering and design costs) to the City upon execution of a construction contract for the Project.

B. Notwithstanding that Funding Payments shall be deposited by BrightFarms with the City, the City agrees to make BrightFarms approval a requirement for release of progress payments on the construction contract for the Project, approval of which by BrightFarms shall not be unreasonable withheld if construction milestones have been met.

C. The City agrees to reimburse BrightFarms \$150,000 of the BrightFarms Funding Payments in four (4) equal annual payments of \$37,500 commencing on the date of completion of the construction of the sanitary sewer and approval thereof by the City and the three following anniversaries of such date.

**Commented [B02]:** Under review by BF, related to Section 2.5B below.

**Commented [B03]:** BF language – section under review.



D. YBSD agrees to pay the YBSD Contribution to the City within thirty (30) days of receipt of payment from BrightFarms.

2.6 Upon execution of this Agreement and the calculation of the Project Cost after the engineering contract and the construction contracts have been executed by the City BrightFarms shall be entitled to recapture an amount as set forth in the Recapture Agreement attached hereto as Exhibit A.

2.7 Corneils Road must be improved, per Exhibit WHATEVER, adjacent to the Subject Property, subject to the following conditions: (i) Corneils Rd between Eldamain Road and the entrance to the Bright Farms facility shall be completed prior to issuance of the occupancy permit for the first phase of the BrightFarms facility; and (ii) appropriate security to be received by the City for the roadway improvements on Corneils Rd between the BrightFarms facility entrance and the eastern edge of the property, said improvements to be completed within two years from issuance of the occupancy permit for the first phase of the BrightFarms facility;

2.8 The City agrees to undertake and agree to make amendments to the City Code which will be necessary to permit the drilling and use of wells to serve the Development Site.

2.8 The City and its contractors have assessed the project and indicate that completion of the construction of the sewer by February 1, 2023 (the "Target Date") is feasible. The City and its contractors shall make every reasonable effort to achieve that deadline, reporting to BrightFarms on progress, reviewing any challenges that arise and collaborating fully with BrightFarms in an effort to achieve the Target Date. If the City fails to achieve the Target Date, it will allow temporary permits for alternative arrangements for onsite septic and/or holding tanks, comparable to those that would be permitted on a construction site, to be paid for at BrightFarms sole cost, until the sewer construction is complete. It is noted that the City is not the permitting agency for septic systems, but the City will assist in securing any necessary permits from the Kendall County Health Department.

### **ARTICLE 3: IN GENERAL**

3.1 The term of this Agreement shall commence upon execution of the parties and terminate upon completion of the Project and the assignment of all easements and all infrastructure deemed part of the Project to YBSD and the City as follows:

- (a) Conveyance of the 30" sanitary sewer interceptor and all easements required for its maintenance, repair and replacement to YBSD; and,
- (b) Acceptance of the 16" and 12" sanitary sewer by the City and retention of all easements required for the maintenance, repair and replacement of said sewers.

3.2 In the event of failure to pay to the City the amounts agreed to be paid by YBSD or BrightFarms after thirty (30) days written notice as provided in Section 3.7 the City shall have the right to enforce or compel payment by suit, action mandamus or any other legal proceeding. The

defaulting party hereby agrees to pay and reimburse the City for all costs and expenses incurred by it in connection with action taken to seek payment, including reasonable attorney's fees and court costs.

3.3 Upon completion of the Project and the operation of the sanitary sewer main, serving BrightFarms, BrightFarms agrees to pay the sanitary sewer service fees in an amount equal to the sanitary fees paid to all other commercial uses of sanitary sewer services provided by YBSD and the City

3.4 This Agreement shall be binding upon and inure to the benefit of the successor of any of the parties hereto and any successor governmental legal entity (governmental or otherwise) that may assume and perform the duties of any party hereto. Notwithstanding the foregoing, this Agreement shall not be assigned by a party hereto without the prior written consent of the other parties to this Agreement.

3.5 The invalidity of any provisions of this Agreement shall not impair the validity of any other provisions. If any provision of this Agreement is determined by a court of competent jurisdiction to be unenforceable, that provision shall be deemed severed from this Agreement or as otherwise modified by the court.

3.6 This Agreement sets forth the entire understanding of the parties, and may only be amended, modified or terminated by a written instrument signed by the parties. 3.7 This Agreement shall be interpreted and construed in accordance with the laws of the State of Illinois.

3.7 All notices hereunder shall be in writing and must be served either personally or by registered or certified mail to:

*To the City:* United City of Yorkville  
800 Game Farm Road  
Yorkville, Illinois 60560  
Attention: City Administrator

*To the District:* Yorkville-Bristol Sanitary District  
304 River Street  
Yorkville, Illinois 60560

*To:* Illinois Greenhouse, LLC

3.8 This Agreement is executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and same instrument.

**IN WITNESS WHEREOF**, the parties hereto have caused this Agreement to be executed

by their duly authorized officers on the above date at Yorkville, Illinois.

United City of Yorkville, Kendall County,  
Illinois, a municipal corporation

By: \_\_\_\_\_  
Mayor

*Attest:*

\_\_\_\_\_  
City Clerk

Yorkville-Bristol Sanitary District

By: \_\_\_\_\_  
President

*Attest:*

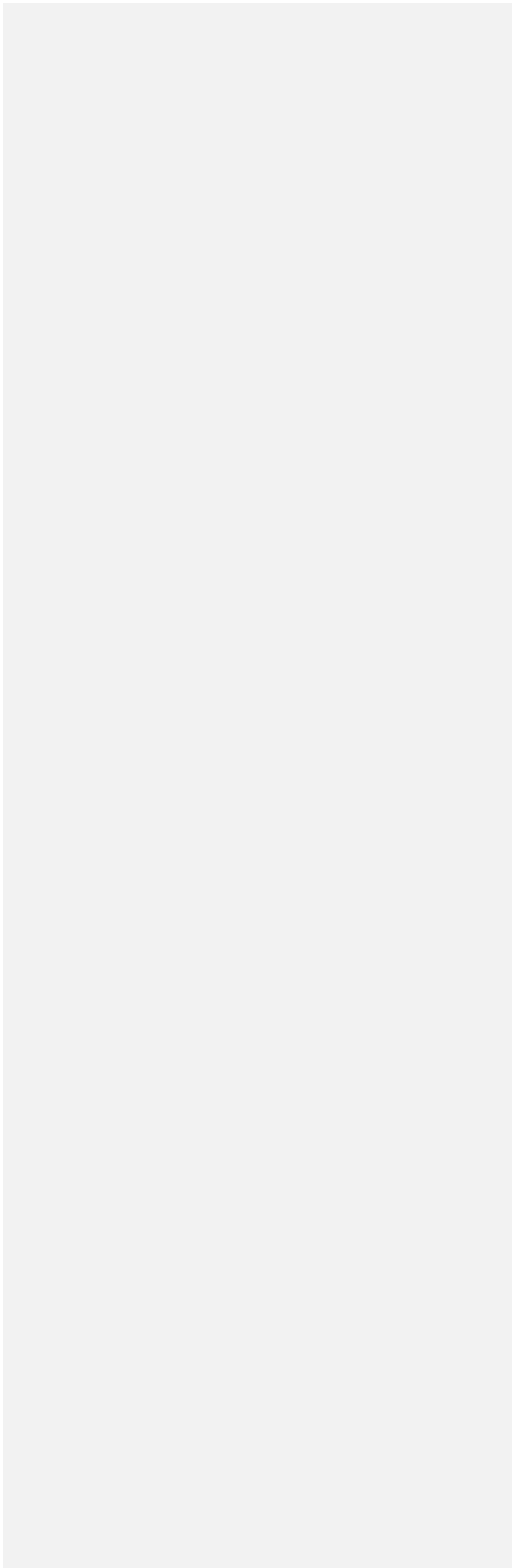
\_\_\_\_\_  
Secretary

Illinois Greenhouse, LLC

By: \_\_\_\_\_  
President

*Attest:*

\_\_\_\_\_  
Secretary



## RECAPTURE AGREEMENT

**THIS RECAPTURE AGREEMENT** ("*Agreement*"), is made and entered as of the \_\_\_\_ day of \_\_\_\_\_, 2022, by and between the United City of Yorkville, Kendall County, Illinois (the "City") and Illinois Greenhouse LLC, a Delaware corporation d/b/a BrightFarms ("*BrightFarms*").

### RECITALS:

A. The City, BrightFarms and the Yorkville-Bristol Sanitary District, a corporation organized under the Illinois Sanitary District Act of 1017 (the "YBSD") have shared the cost and expense to design and construct all mains, devices and any other equipment and appurtenances thereto required in connection with the extension of the City's sewer system (the "*Sewer System*"), as depicted on *Exhibit A* and serving the area legally described on *Exhibit B* both Exhibits being attached hereto.

B. The City and BrightFarms desire to recapture their respective contributions to the costs of constructing the Sewer System which will provide sewer service from the City to properties along the route as depicted on *Exhibit A* and as identified by parcel number on Exhibit C attached hereto (the "Benefitted Properties").

C. The City and BrightFarms are desirous of entering into this Agreement to provide for the fair and allocable recapture from owners of the Benefitted Properties of a proportion of their costs to provide the Benefitted Properties with the Sewer System, subject to the terms and conditions set forth in this Agreement.

**NOW, THEREFORE**, in consideration of the foregoing recitals and the mutual covenants hereinafter set forth, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged by the parties hereto, the parties hereby agree as follows:

*Section 1. Recapture Costs.* An estimate of the costs to construct the extension of the Sewer Service is set forth on *Exhibit D* attached hereto (the "*Recapture Costs*"). Upon completion of the construction of the Sewer System and acceptance by the City, an itemized list of the actual costs shall be appended hereto as Exhibit E (the "Final Project Costs").

*Section 2. Benefitted Properties.* Each Benefitted Property is eligible to connect to Sewer System upon satisfaction of the conditions hereinafter set forth. It is understood that at any time any one of the Benefitted Properties is subdivided into two or more parcels, all of such parcels shall be deemed to be added to the list of Benefitted Properties for purpose of receiving any potential benefit from a connection to the Sewer System.

*Section 3. Condition Precedent to Connection.* A Benefitted Property shall not be eligible to connect to the Sewer Service System unless the Owner has either annexed to the City or entered into a pre-annexation agreement with the City.

*Section 4. Recapture Cost Allocation.* The City and BrightFarms shall establish the equitable share of the Recapture Costs to be allocated to each Benefitted Property based upon the Final Project Costs, . The proportionate share of the cost of the Sewer System to be allocated to a Benefitted Property shall be based upon projected population equivalent (“PE”) for the use to be served. Once Final Project Costs are known and certified, a cost per PE shall be established and referred to herein as the *Recapture Allocation*. For purposes of this Agreement, and based on standard engineering practices, one PE shall be equal to 100 gallons of water per person per day.

*Section 5. Collection of Recapture Costs.* The City shall assess against and collect from the Benefitted Owner of a Benefitted Property, or any portion thereof, his or her successors and assigns, the Recapture Costs as allocated to such Benefitted Property. At such time as a Benefitted Property owner annexes and/or subdivides a Benefitted Property, or any portion thereof, or subdivides the Benefitted Property from a larger parcel of land, or applies to the City for issuance of a permit for connection to the Sewer System, whichever shall first occur, the City shall collect from such Benefitted Owner, or its agent or representative, the applicable Recapture Costs, owed hereunder by such Benefitted Property. No Benefitted Property shall be issued a connection permit to the Sewer System until such Benefitted Property has fully paid the allocated Recapture Cost, owed by such Benefitted Property under this Agreement.

*Section 6. Obligation of the City.* Upon annexation of any Benefitted Property to the City, its officers, employees and agents shall make all reasonable efforts to collect the Recapture Costs as calculated for each Benefitted Property payable to the City. The City and BrightFarms shall share the funds collected calculated upon their proportionate costs each contributed to the design and construction of Sewer System.

*Section 7. City’s Collection of other Fees and Charges.* Nothing contained in this Agreement shall limit or in any way affect the rights of the City to collect other fees and charges pursuant to City ordinances, resolutions, motions and policies. The Recapture Items provided for herein for each Benefitted Property is in addition to such other City fees and charges.

*Section 8. Term.* This Agreement shall remain in full force and effect for a period of twenty (20) years from the date hereof, unless sooner terminated. In the event no portion of a Benefitted Property and no connection permit as aforesaid is issued by the City for such Benefitted Property within twenty (20) years following the date of this Agreement, this Agreement, and each and every duty and undertaking set forth herein pertaining to such Benefitted Property, shall become null and void and of no further force and effect as to such Benefitted Property.

*Section 9. Lien.* This Agreement shall be recorded against the Benefitted Properties upon completion of the Sewer System and acceptance by the City and the attachment of Exhibit E with the actual costs of the Sewer System. The recordation by the City of this Agreement against the Benefitted Properties shall create and constitute a lien against each Benefitted Property, and each subdivided lot hereafter contained therein, in the amount of the Recapture Items, plus interest, applicable hereunder to such Benefitted Property.

*Section 10. Miscellaneous Provisions.*

A. Agreement: This Agreement may be amended upon the mutual consent of the parties hereto from time to time by written instrument and conformity with all applicable statutory and ordinance requirements and without the consent of any other person or corporation owning all or any portion of the Benefitted Properties.

B. Binding Effect: Except as otherwise herein provided, this Agreement shall inure to the benefit of and be binding upon the successors and assigns of the owner of a Benefitted Property.

C. Enforcement: Each party to this Agreement, and their respective successors and assigns, may either in law or in equity, by suit, action, mandamus, or other proceeding in force and compel performance of this Agreement.

D. Recordation: A true and correct copy of this Agreement shall be recorded with the Stephenson County Recorder's office by the County at its sole cost. This Agreement shall constitute a covenant running with the land and shall be binding upon the Benefitted Properties in accordance with the terms and provisions set forth herein.

E. Notices: Any notice required or desired to be given under this Agreement, unless expressly provided to the contrary herein, shall be in writing and shall be deemed to have been given on the date of personal delivery, on the date of confirmed telefacsimile transmission provided a hard copy of such notice is deposited in the U.S. mail addressed to the recipient within twenty-four hours following the telefacsimile transmission, or on the date when deposited in the U.S. Mail, registered or certified mail, postage prepaid, return receipt requested, and addressed as follows:

With a copy to:

United City of Yorkville  
800 Game Farm Road  
Yorkville, Illinois 60560  
Attn: City Administrator

Kathleen Field Orr  
Kathleen Field Orr & Associates  
2024 Hickory Road, Suite 205  
Homewood, Illinois 60430

*with a copy to:*

Illinois Greenhouse, LLC

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F. Severability: The invalidity or unenforceability of any of the provisions hereof, or any charge imposed as to any portion of the Benefitted Properties, shall not affect the validity or enforceability of the remainder of this Agreement or the charges imposed hereunder.

G. Complete Agreement: This Agreement contains all the terms and conditions agreed upon by the parties hereto and no other prior agreement, regarding the subject matter of this Agreement shall be deemed to exist to bind the parties. This Agreement shall be governed by the laws of the State of Illinois.

H. Captions and Paragraph Headings: Captions and paragraph headings incorporated herein are for convenience only and are not part of this Agreement, and further shall not be used to construe the terms hereof.

I. Recitals and Attachments: The recitals set forth at the beginning of this Agreement and the exhibits attached hereto are hereby incorporated into this Agreement and made a part of the substance hereof.

J. Enforceability: This Agreement shall be enforceable in the Circuit Court of Kendall County by any of the parties hereto by an appropriate action of law or in equity to secure the performance of the covenants herein contained.

[SIGNATURE PAGE TO FOLLOW]

**IN WITNESS WHEREOF**, the Parties have executed this Agreement as of the dates set forth below their respective signatures, to be effective as of the Effective Date.

**United City of Yorkville**

*Attest:*

By: \_\_\_\_\_  
Mayor

By: \_\_\_\_\_  
City Clerk

Date: \_\_\_\_\_, 2022

**Illinois Greenhouse, LLC**

*Attest:*

By: \_\_\_\_\_  
Its Manager

By: \_\_\_\_\_





Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #2

Tracking Number

CC 2022-13

### Agenda Item Summary Memo

**Title:** Ordinance Amending Liquor License Class (Micro-winery/Winery)

**Meeting and Date:** City Council – April 12, 2022

**Synopsis:** \_\_\_\_\_  
\_\_\_\_\_

#### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Majority

**Council Action Requested:** Approval  
\_\_\_\_\_

**Submitted by:** Jori Behland Administration  
Name Department

#### Agenda Item Notes:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# Memorandum

To: City Council  
From: Jori Behland, City Clerk  
CC: Bart Olson, City Administrator  
Date: March 28, 2022  
Subject: Liquor Code Amendment –  
Microbrewery/brewpub/micro-winery/winery

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## **Summary**

Proposed amendment to the liquor code for license class microbrewery/brewpub by adding micro-winery/winery to the same class.

## **Background**

Staff has received a request from Enrico Bianchi with Foxes Den Meadery to allow them to manufacture and sell wine as a micro-winery. Foxes Den Meadery is in the Williams Group building located at 101 S. Bridge Street – Unit 101. To accommodate this request, staff proposes adding micro-winery and winery to the current liquor license class of microbrewery/brewpub by grouping all four types into the same class.

While we are amending this class, staff is also proposing to remove the restaurant requirement due to feedback that breweries and wineries do not want to have a food component in order to apply for this license class.

## **Proposed Amendments to code**

3-3-4(A)(4) Classes of Licenses:

M - Microbrewery/brewpub/micro-winery/winery. A microbrewery/brewpub/micro-winery/winery license authorizes the manufacture, only at the designated licensed premises, less than one hundred fifty-five thousand (155,000) gallons of beer or fifty thousand (50,000) gallons of wine per year for sale on the premises for either on-premises or off-premises consumption. Sales may also be made to importing distributors, distributors, and to non-licensees for use and consumption. Microbrewery/brewpub/micro-winery/winery is also authorized to:

- a) sell beer, wine, and spirits not manufactured on-premises for consumption on the premises but can not total more than 50% of sales;
- b) furnish samples of the manufactured/produced wine or beer for consumption on the premises;
- c) sell the manufactured/produced wine or beer by the glass for consumption on the premises;
- d) sell the manufactured/produced wine or beer in the original corked, capped or sealed and labeled container for consumption on or off the premises; or
- e) permit a patron to remove one unsealed and partially consumed bottle of wine for off-premises consumption. A partially consumed bottle of wine that is to be removed from the premises shall be securely sealed by the licensee or an agent of the licensee prior to removal

from the premises and placed in a transparent onetime use tamperproof bag. The licensee or agent of the licensee shall provide a dated receipt for the bottle of wine to the patron.

3-3-5(B)(4) License Fees

M – Microbrewery/brewpub/micro-winery/winery - \$1,750.00

**Recommendation**

Staff recommends approval of the attached ordinance.

**AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS,  
AMENDING TITLE 3, CHAPTER 3 OF THE CODE OF ORDINANCES  
AMENDING A LIQUOR LICENSE CLASS**

**WHEREAS**, the United City of Yorkville, Kendall County, Illinois (the “City”) is a duly organized and validly existing non-home rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

**WHEREAS**, pursuant to section 5/4-1 of the Liquor Control Act of 1934, as amended, (235 ILCS 5/1-1 et seq.) the Mayor and City Council have the power to determine the number, kind and classification of liquor licenses and the regulations for the sale of alcoholic beverages; and in addition pursuant to its powers to protect the public’s health, welfare and safety this Ordinance is hereby adopted.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

*Section 1.* That Title 3, Chapter 3, Section 4, Subsection A.4.M of the United City of Yorkville Code of Ordinances is hereby amended by deleting Subsection A.4.M in its entirety and replacing it with the following:

“M - Microbrewery/brewpub/micro-winery/winery. A microbrewery/brewpub/micro-winery/winery license authorizes the manufacture, only at the designated licensed premises, less than one hundred fifty-five thousand (155,000) gallons of beer or fifty thousand (50,000) gallons of wine per year for sale on the premises for either on-premises or off-premises consumption. Sales may also be made to importing distributors, distributors, and to non-licensees for use and consumption. Microbrewery/brewpub/micro-winery/winery is also authorized to:

- a) sell beer, wine, and spirits not manufactured on-premises for consumption on the premises but can not total more than 50% of sales;
- b) furnish samples of the manufactured/produced wine or beer for consumption on the premises;
- c) sell the manufactured/produced wine or beer by the glass for consumption on the premises;
- d) sell the manufactured/produced wine or beer in the original corked, capped or sealed and labeled container for consumption on or off the premises; or

e) permit a patron to remove one unsealed and partially consumed bottle of wine for off-premises consumption. A partially consumed bottle of wine that is to be removed from the premises shall be securely sealed by the licensee or an agent of the licensee prior to removal from the premises and placed in a transparent onetime use tamperproof bag. The licensee or agent of the licensee shall provide a dated receipt for the bottle of wine to the patron.”

*Section 2:* Title 3, Chapter 3, Section 3-3-5, Subsection B of the Code of Ordinances of the City is hereby amended by deleting Subsection B.4.M in its entirety and replacing the following to number 4 under said Subsection B:

M – Microbrewery/brewpub/micro-winery/winery..... \$1,750.00

*Section 3.* This Ordinance shall be in full force and effect upon its passage, approval, and publication as provided by law.

*Passed* by the City Council of the United City of Yorkville, Kendall County, Illinois, this \_\_\_\_ day of \_\_\_\_\_, A.D. 2022.

\_\_\_\_\_  
CITY CLERK

KEN KOCH	_____	DAN TRANSIER	_____
ARDEN JOE PLOCHER	_____	CRAIG SOLING	_____
CHRIS FUNKHOUSER	_____	MATT MAREK	_____
SEAVER TARULIS	_____	JASON PETERSON	_____

**APPROVED** by me, as Mayor of the United City of Yorkville, Kendall County, Illinois this \_\_\_\_ day of \_\_\_\_\_, A.D. 2022.

\_\_\_\_\_  
MAYOR

*Attest:*

\_\_\_\_\_  
CITY CLERK



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input checked="" type="checkbox"/>

Agenda Item Number

Economic Development Committee #1

Tracking Number

EDC 2022-19

### Agenda Item Summary Memo

**Title:** Aging in Community – Aging in a Changing Region

**Meeting and Date:** City Council – April 12, 2022

**Synopsis:** Proposed MOU for free workshops and technical planning document regarding  
“aging-in-community” concept.

#### Council Action Previously Taken:

Date of Action: EDC 04/05/22 Action Taken: Moved forward to City Council agenda.

Item Number: EDC 2022-19

**Type of Vote Required:** Majority

**Council Action Requested:** Vote

**Submitted by:** Krysti J. Barksdale-Noble

Name

Community Development

Department

#### Agenda Item Notes:

See attached memo and documents.

*Have a question or comment about this agenda item?*

*Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at [agendas@yorkville.il.us](mailto:agendas@yorkville.il.us), post at [www.facebook.com/CityofYorkville](https://www.facebook.com/CityofYorkville), tweet us at @CityofYorkville, and/or contact any of your elected officials at [http://www.yorkville.il.us/gov\\_officials.php](http://www.yorkville.il.us/gov_officials.php)*



# Memorandum

To: Economic Development Committee  
From: Krysti J. Barksdale-Noble, Community Development Director  
CC: Bart Olson, City Administrator  
Tim Evan, Parks and Recreation Director  
Date: March 16, 2022  
Subject: **Aging in a Changing Region**  
Proposed MOU for workshops and technical planning document  
regarding aging in community

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## **Summary:**

As part of staff's time serving on the Chicago Metropolitan Agency for Planning (CMAP) Land Use and Housing Committee, the member communities were asked if they were interested in participating in a free pilot program regarding aging in community.

The intent of this program is to analyze the member community's current aging population needs, provide public engagement workshops to assess the resident's aging population needs/goals, and provide technical assistance on how to meet those needs and advance those goals through local planning efforts (zoning code, comprehensive plan, etc.). This pilot program is a collaborative partnership between CMAP, the Metropolitan Mayors Caucus (MMC) and facilitated by the private firm Planning/Aging.

The program, fully funded by a private grant from the Retirement Research Foundation on Aging, requires a little bit of upfront staff time (about 2-3 internal meetings), community engagement via two (2) tailored public workshops, a self-assessment summary, and the final deliverable of a report of recommendations that can be incorporated into future city guiding documents. The estimated time for program completion is approximately 3-4 months.

Staff is seeking authorization to execute the attached memorandum of understanding (MOU) for the City of Yorkville to participate in this unique strategic planning exercise.

## **Aging in a Changing Region:**

### *Program Background*

With the ultimate goal of becoming a more age-friendly community, the aging-in-community concept is defined as a "whole government approach" to supporting the evolving needs and interests of its aging population. Since it is a continuing effort for communities to attract diverse populations and strive to be "livable" and "family-friendly", it is important to address the welfare of residents throughout their lifespan. Some specific issues of concern by older residents in a community may include:

- Homeowners aging in their houses, falling behind on repairs, with few available options to downsize;
- Residents lacking transportation options to run errands, get groceries, or go to the doctor;
- Residents stuck at home without broadband or a connection to their community;

- Services and facilities not designed for the growing share of older residents.

Research has shown that successful aging-in-community programs include champions among elected officials, staff leadership, dedicated human and financial resources, and the alignment of municipal priorities and key stakeholders.

### *Program Details*

The program will require the partnership of the Metropolitan Mayors Caucus (MMC), the Planning/Aging firm and the City of Yorkville. The roles of each partner are defined below and within the memorandum of understanding (MOU) engagement:

**MMC Role:** The MMC administers the Aging in a Changing Region program, which is a partnership between MMC, Planning/Aging, and the Chicago Metropolitan Agency for Planning. MMC's responsibilities will include:

- Facilitate Aging in a Changing Region assistance to Yorkville, a member of the MMC;
- Attend kickoff meeting to review MOU and help define goals and objectives for assistance;
- Serve as grant administrator and fiscal agent for a grant from the RRF Foundation on Aging, which will compensate Planning/Aging for all rendered services;
- Identify potential linkages to available technical assistance resources, including project partner the Chicago Metropolitan Agency for Planning or other regional organizations.

**Planning/Aging Role:** Planning/Aging leads all workshop activities associated with the Aging in a Changing Region program. Planning/Aging's responsibilities will include:

- Direct 2 workshops on aging-in-community with Yorkville;
- Develop internal assessment, to be completed by staff within Yorkville;
- Regularly communicate with lead staff contact to plan and conduct workshops;
- Develop final memorandum;
- Share follow up information with Yorkville when requested; and
- Identify potential linkages to other available technical assistance resources.

**Municipal Role:** Yorkville will be the direct recipient of all workshop services provided by Planning/Aging through MMC. Yorkville's responsibility will include:

- Designate at least two elected officials or department heads to sign MOU;
- Designate lead staff contact to plan and facilitate workshops with Planning/Aging;
- Attend kickoff meeting with leads and mayor and/or manager to define goals and objectives;
- Identify workshop participants, which could include elected or appointed officials, staff, and/or outside stakeholders;
- Work with Planning/Aging to schedule dates and times for each workshop;
- Ensure that all requested information is provided to Planning/Aging, and that all preparation and follow-up work is completed in a timely manner.

Workshops will include an aging-in-community background presentation, attendee input, and a facilitated discussion on local issues, challenges, and opportunities.



### *Program Status/Outcomes*

Since launching in 2021, the Aging in a Changing Region (AiaCR) program has had five (5) cohort member community participants, with three (3) communities completing their final reports. The final report is in the form of a “strategic guide” that provides policy and programmatic recommendations, based on the municipalities strengths and opportunities, to support the aging-in-community concept. Some recommendations are designed for “quick start” implementation (such as promote the City’s commitment to aging-in-community), while others are mid- and long-range goals (e.g. establish an “Aging-in-Community Commission or review existing ordinances and plans for aging-in-community consistency).

While the AiaCR pilot program has been live for just about a year, a tangible outcome for the Village of Park Forest, a 2021 cohort community, was a Technical Assistance grant from CMAP to help develop an Aging-in-Community handbook to help older residents navigate issues and access resources.

### **Staff Comments:**

The 2022 cohort cycle for the Aging in a Changing Region program is now open and accepting applications. Last year, Yorkville staff had expressed interest in having the city participate in the program but held off until the first cohort communities finished their assessment in 2021. Those communities included Bensenville, Calumet City, Hawthorne Woods, Mount Prospect and Park Forest, and the program seems to have been a success.<sup>1</sup>

Therefore, staff is seeking guidance and input from the Economic Development Committee regarding participation in the program. If the committee is interested, a recommendation to the City Council for staff to execute the attached memorandum of understanding (MOU) is required. Representatives from the Metropolitan Mayors Caucus (MMC) and Planning/Aging will be in attendance at Tuesday night’s meeting to answer any questions.

### **Attachments:**

1. Memorandum of Understanding
2. Aging-in-Community Application form
3. Aging-in-Community PowerPoint Presentation
4. Links to Final Community Reports:
  - a. <https://mayorscaucus.org/wp-content/uploads/2022/02/Park-Forest-final-AiaCR-report-2.2.2022.pdf>
  - b. <https://mayorscaucus.org/wp-content/uploads/2022/02/Calumet-City-final-AiaCR-report-2.16.2022.pdf>
  - c. <https://mayorscaucus.org/wp-content/uploads/2022/02/AiaCR-Final-Report-Bensenville-2.25.2022.pdf>

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<sup>1</sup> <https://mayorscaucus.org/initiatives/aging-in-community/aging-in-a-changing-region/#:~:text=Aging%20in%20a%20Changing%20Region%20is%20a%20partnership%20between%20the.in%20becoming%20more%20age%2Dfriendly>

## **Memorandum of Understanding Between The Metropolitan Mayors Caucus, Planning/Aging, and Yorkville for Aging in a Changing Region**

### **1. NATURE AND PARTNERSHIP**

The goal of this Memorandum of Understanding is to establish a partnership between the Metropolitan Mayors Caucus (“MMC”) and the firm Planning/Aging to provide Yorkville with strategic workshops around aging-in-community.

### **2. RESPONSIBILITIES UNDER THIS MOU**

The strategic workshops are a partnership between MMC as administrator, Planning/Aging as workshop facilitator, and Yorkville as a direct recipient of all workshop services. All workshop activities are to be tailored to the needs of Yorkville. While the workshops are customized, successful engagements have featured group facilitation by Planning/Aging; an internal assessment; and participation from elected officials, department heads, and residents.

*MMC Role:* The MMC administers the Aging in a Changing Region program, which is a partnership between MMC, Planning/Aging, and the Chicago Metropolitan Agency for Planning. MMC’s responsibilities will include:

- Facilitate Aging in a Changing Region assistance to Yorkville, a member of the MMC;
- Attend kickoff meeting to review MOU and help define goals and objectives for assistance;
- Serve as grant administrator and fiscal agent for a grant from the RRF Foundation on Aging, which will compensate Planning/Aging for all rendered services;
- Identify potential linkages to available technical assistance resources, including project partner the Chicago Metropolitan Agency for Planning or other regional organizations.

*Planning/Aging Role:* Planning/Aging leads all workshop activities associated with the Aging in a Changing Region program. Planning/Aging’s responsibilities will include:

- Direct 2 workshops on aging-in-community with Yorkville;
- Develop internal assessment, to be completed by staff within Yorkville;
- Regularly communicate with lead staff contact to plan and conduct workshops;
- Develop final memorandum;
- Share follow up information with Yorkville when requested; and
- Identify potential linkages to other available technical assistance resources.

*Municipal Role:* Yorkville will be the direct recipient of all workshop services provided by Planning/Aging through MMC. Yorkville’s responsibility will include:

- Designate at least two elected officials or department heads to sign MOU;
- Designate lead staff contact to plan and facilitate workshops with Planning/Aging;
- Attend kickoff meeting with leads and mayor and/or manager to define goals and objectives;

- Identity workshop participants, which could include elected or appointed officials, staff, and/or outside stakeholders;
- Work with Planning/Aging to schedule dates and times for each workshop;
- Ensure that all requested information is provided to Planning/Aging, and that all preparation and follow-up work is completed in a timely manner.

### 3. FINANCIAL CONSIDERATIONS

All technical assistance provided by Planning/Aging through MMC is supported by the RRF Foundation on Aging and will be of no cost to the Yorkville. The Yorkville is responsible for staff time incurred in planning and scheduling the workshops. The Yorkville will also provide meeting space.

### 4. PUBLICITY

Yorkville may publicize the technical assistance provided under this MOU. All publicity shall refer to this assistance using its program name, Aging in a Changing Region.

### 5. TERM

The MOU shall commence on the date on the last signature on this MOU and will terminate on December 31, 2022.

**IN WITNESS WHEREOF**, the parties hereto have signed this MOU, or caused it to be signed by their duly authorized representatives, as of the date written above.

AGREED:

\_\_\_\_\_

Date:

Kyle Smith  
Director of Housing & Community Development  
Metropolitan Mayors Caucus

\_\_\_\_\_

Date:

Brad Winick  
Principal  
Planning/Aging

\_\_\_\_\_

Date:

**ELECTED OFFICIAL OR AUTHORIZED DEPARTMENT HEAD  
MUNICIPALITY**

\_\_\_\_\_

Date:

**ELECTED OFFICIAL OR AUTHORIZED DEPARTMENT HEAD  
MUNICIPALITY**

# Aging in a Changing Region Workshop Application

What makes your community a good place for residents of all ages to live? How about your growing number of older residents? How do your community's priorities affect these older residents? As life expectancies increase while birth rates stagnate, the population of most communities is growing older. Many communities are thinking about the impacts of this age shift on all aspects of their community, such as its land use, housing stock, accessibility, open spaces and community places, goods and services, etc. Making a community age-friendlier for its older residents will make it age-friendlier for all residents.

The Metropolitan Mayors Caucus and Planning/Aging are proud to announce the Aging in a Changing Region Program, which will help selected communities with Tailored Workshops to help elected officials and staff develop some of the first steps towards becoming an age-friendly community.

Led by Planning/Aging, these aging-in-place workshops will be customized to each participating community. The workshops will include an aging-in-community background presentation, attendee input, and a facilitated discussion on local issues, challenges, and opportunities. Specific local issues of concern may include:

- Homeowners aging in their houses, falling behind on repairs, with few available options to downsize;
- Residents lacking transportation options to run errands, get groceries, or go to the doctor;
- Residents stuck at home without broadband or a connection to their community;
- Services and facilities not designed for the growing share of older residents.

Please fill out this Workshop Application to be considered for this free workshop-based assistance. The form includes a short assessment of existing municipal policy and activities to help us best tailor any assistance to your needs. All workshops will be scheduled in calendar year 2022 and will conclude with each municipality being provided a custom strategic guide with aging-in-community recommendations to assist them going forward. Strategic guides from the 2021 Aging in a Changing Region cohort can be found at: <https://mayorscaucus.org/initiatives/aging-in-community/aging-in-a-changing-region/>.

The Aging in a Changing Region initiative is generously supported by RRF Foundation for Aging, and participation is free for communities. For more information on how your community can get involved, please contact Kyle Smith, [ksmith@mayorscaucus.org](mailto:ksmith@mayorscaucus.org).

*Please fill out this application online at <https://tinyurl.com/AiaCR-2022-Application>*



# Municipal Contact Information

Please provide the contact information for your community.

\*Required

1. Organization Name\*

2. Contact Name\*

3. Contact Title\*

4. Contact E-mail\*

5. Contact Phone Number\*

## Self-Assessment

Please assess your current involvement in addressing aging-in-place in your community by answering the question below.

6. Please indicate which statement best reflects your municipality's engagement with aging-in-place/aging-in-community: \*

☐ **Interest** - We have become interested in addressing aging-in-place/aging-in-community.

*Answer questions on pages 4-6*

☐ **Early Involvement** - We explored this issue, but have not committed to a particular framework or decided on specific age/dementia-friendly initiatives.

*Answer questions on pages 7-11*

☐ **Advanced Involvement** - We have achieved age-friendly and/or dementia-friendly designation, and may have identified specific age/dementia-friendly initiatives.

*Answer questions on pages 12-16*

## Interest

Please answer the questions below. This section aims to initially assess your involvement with aging-in-place/aging-in-community to date. There are no right or wrong answers to this section. Planning/Aging and the Mayors Caucus intend to use it to customize workshop curricula to your local issues.

7. Please indicate the reasons you are interested in making your municipality more age/dementia-friendly. (Choose all that apply) \*

☐ Growth of our older adult population

☐ Desire for convenient support services for our older adult population ☐

Desire for appropriate housing options for our older adult population ☐

Desire for appropriate transportation for our older adult population

☐ Desire for safe/convenient municipal buildings and outdoor spaces for our older adult population

☐ Desire for improved inter & multi-generational opportunities in our municipality

☐

Other

8. What are some of your municipality's biggest challenges? (Choose all that apply) \*

- ☐ Safety - residents' concerns about perception of their safety within our municipality
- ☐ Housing - need to support older adults' ability to age in their current residences
- ☐ Housing - need to provide more/different housing options within the community
- ☐ Community connectivity - concerns about the condition of our streets and sidewalks
- ☐ Transportation - need to support older adults' ability to get around without relying on private automobiles
- ☐ Accessibility - need to make our municipal buildings and outdoor spaces more accessible
- ☐ Building condition - too many vacant or abandoned buildings
- ☐ Land use - too many vacant or abandoned buildings
- ☐ Basic services - need for better basic services such as food and health care
- ☐ Social engagement - improve the ability for residents to engage community services
- ☐

Other

9. Are there specific elected officials, commissioners, and/or municipal staff who are engaged on these issues? \*

☐ Yes

☐ No

10. If yes, who?



11. Can you identify other individuals or groups from either within or nearby your municipality who would benefit from training/education about age/dementia-friendly strategies? \*

☐ Yes  
☐ No

12. If yes, who?

13. Please provide any additional information or comments that your municipality would like to share as we consider your application.

## Early Involvement

Please answer the questions below. This section aims to initially assess your involvement with aging-in-place/aging-in-community to date. There are no right or wrong answers to this section. Planning/Aging and the Mayors Caucus intend to use it to customize workshop curricula to your local issues.

14. Please indicate the reasons you are interested in making your municipality more age/dementia-friendly. (Choose all that apply) \*

- ☐ Growth of our older adult population
- ☐ Desire for convenient support services for our older adult population
- ☐ Desire for appropriate housing options for our older adult population
- ☐ Desire for appropriate transportation for our older adult population
- ☐ Desire for safe/convenient municipal buildings and outdoor spaces for our older adult population
- ☐ Desire for improved inter & multi-generational opportunities in our municipality

☐

Other

15. What are some of your municipality's biggest challenges? (Choose all that apply) \*

- ☐ Safety - residents' concerns about perception of their safety within our municipality
- ☐ Housing - need to support older adults' ability to age in their current residences
- ☐ Housing - need to provide more/different housing options within the community
- ☐ Community connectivity - concerns about the condition of our streets and sidewalks
- ☐ Transportation - need to support older adults' ability to get around without relying on private automobiles
- ☐ Accessibility - need to make our municipal buildings and outdoor spaces more accessible
- ☐ Building condition - too many vacant or abandoned buildings
- ☐ Land use - too many vacant or abandoned buildings
- ☐ Basic services - need for better basic services such as food and health care
- ☐ Social engagement - improve the ability for residents to engage community services
- ☐

Other

16. Has your municipality's age/dementia-friendly effort identified specific goals related to any of these issues? \*

☐ Yes

☐ No

17. If yes, what are they, and how are you doing in meeting these goals?

18. Have you assessed the assets and challenges for your municipality's current age/dementia-friendly aspirations? \*

☐ Yes

☐ No

19. If no, are you planning to do so? What are there reasons you have been unable to do so to date? \*

20. Either based upon your assessment or your own observations, what are your municipality's current age/dementia-friendly strengths or assets? \*

21. Either based upon your assessment or your own observations, what are your municipality's current age/dementia-friendly weaknesses or challenges? \*

22. Can you identify specific training or education needs that would help your municipality's age/dementia-friendly efforts? \*

☐ Yes

☐ No

23. If yes, what are they?

24. Are there specific elected officials, commissioners, and/or municipal staff who are engaged on these issues? \*

☐ Yes

☐ No

25. If yes, who?

26. Can you identify other individuals or groups from either within or nearby your municipality who would benefit from training/education about age/dementia-friendly strategies? \*

☐ Yes  
☐ No

27. If yes, who?

28. Please provide any additional information or comments your municipality would like to share as we consider your application. \*

## Advanced Involvement

Please answer the questions below. This section aims to initially assess your involvement with aging-in-place/aging-in-community to date. There are no right or wrong answers to this section. Planning/Aging and the Mayors Caucus intend to use it to customize workshop curricula to your local issues.

29. Please indicate the reasons you are interested in making your municipality more age/dementia-friendly. (Choose all that apply) \*

- ☐ Growth of our older adult population
- ☐ Desire for convenient support services for our older adult population
- ☐ Desire for appropriate housing options for our older adult population
- ☐ Desire for appropriate transportation for our older adult population
- ☐ Desire for safe/convenient municipal buildings and outdoor spaces for our older adult population
- ☐ Desire for improved inter & multi-generational opportunities in our municipality

☐

Other

30. What are some of your municipality's biggest challenges? (Choose all that apply) \*

- ☐ Safety - residents' concerns about perception of their safety within our municipality
- ☐ Housing - need to support older adults' ability to age in their current residences
- ☐ Housing - need to provide more/different housing options within the community
- ☐ Community connectivity - concerns about the condition of our streets and sidewalks
- ☐ Transportation - need to support older adults' ability to get around without relying on private automobiles
- ☐ Accessibility - need to make our municipal buildings and outdoor spaces more accessible
- ☐ Building condition - too many vacant or abandoned buildings
- ☐ Land use - too many vacant or abandoned buildings
- ☐ Basic services - need for better basic services such as food and health care
- ☐ Social engagement - improve the ability for residents to engage community services
- ☐

Other

31. Has your municipality's age/dementia-friendly effort identified specific goals related to any of these issues? \*

☐ Yes

☒ No



32. If yes, what are they, and how are you doing in meeting these goals?

33. Have you assessed the assets and challenges for your municipality's current age/dementia-friendly aspirations? \*

☐ Yes

☒ No

34. If no, are you planning to do so? What are there reasons you have been unable to do so to date? \*

35. Either based upon your assessment or your own observations, what are your municipality's current age/dementia-friendly strengths or assets? \*

36. Either based upon your assessment or your own observations, what are your municipality's current age/dementia-friendly weaknesses or challenges? \*

37. Can you identify specific training or education needs that would help your municipality's age/dementia-friendly efforts? \*

☐ Yes

☐ No

38. If yes, what are they?

39. Are there specific elected officials, commissioners, and/or municipal staff who are engaged on these issues? \*

☐ Yes

☐ No

40. If yes, who?

41. Can you identify other individuals or groups from either within or nearby your municipality who would benefit from training/education about age/dementia-friendly strategies? \*

☐ Yes

☐ No

42. If yes, who?

43. Please provide any additional information or comments your municipality would like to share as we consider your application. \*

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This content is neither created nor endorsed by Microsoft. The data you submit will be sent to the form owner.



# Aging in a Changing Region 2021 in Review

Age Friendly Communities Collaborative

March 3, 2022



Brad Winick  
Planning/Aging



# AiaCR 2021 - Background

- RRF Foundation for Aging is funding AiaCR for 2021 & 2022 (*Thank you!*)
- AiaCR is a partnership between the Metropolitan Mayors Caucus, CMAP (Chicago Metropolitan Agency for Planning) and Planning/Aging
- We called for applications from interested municipalities & were met with healthy interest
- We interviewed & selected a diverse 2021 Cohort of municipalities & are finalizing a similarly diverse 2022 Cohort
- A significant component of AiaCR is a pair of public workshops that each Cohort municipality hosts & Planning/Aging leads
- Following the workshops, each municipality receives a strategic “observations & recommendations” document to use going forward

# AiaCR 2021 - Cohort Municipalities



Municipality	County	Community Type	Total Population	Total Acreage	Density (People/Acre)	Racial Makeup % (White/Black/LatinX/AAPI)
<b>Bensenville</b>	DuPage/Cook (W)	Middle ring suburb	18,813	3,550.90	5.30	42.4 / 3.1 / 49.3 / 4.2
<b>Calumet City</b>	Cook (S)	Middle ring suburb	36,033	4,675.40	7.71	9.5 / 74.3 / 15.6 / 0.0
<b>Hawthorn Woods</b>	Lake	Rural/exurban	9,062	5,223.00	1.74	81.7 / 1.9 / 3.5 / 11.1
<b>Mount Prospect</b>	Cook (N)	Middle ring suburb	56,852	6,643.40	8.56	67.0 / 3.0 / 15.3 / 12.1
<b>Park Forest</b>	Cook (S)/Will	Outer ring suburb	21,687	3,176.10	6.83	25.0 / 66.0 / 4.6 / 0.5



# AiaCR 2021 - Workshops



Municipality	Aging-in-Community Involvement Level	AiaCR Core Team	Workshop Dates	Workshop Focus Audience
<b>Bensenville</b>	Early Involvement	1 Village Administration; 1 Community Development	October 27; November 3	1 -- Stakeholders; 2 -- Older Adult Residents
<b>Calumet City</b>	Early Involvement (AARP Network member)	3 Economic Development	October 22; December 3	1 & 2 -- Older Adult Residents & Stakeholders
<b>Hawthorn Woods</b>	Early Involvement	1 Village Trustee; 2 Parks & Recreation	October 13; December 8	1 -- ~ Older Adult Residents; 2 -- ~ Stakeholders
<b>Mount Prospect</b>	Advanced Involvement (AARP Network member)	1+ Human Services	September 29; December 1	1 -- Stakeholders; 2 -- Older Adult Residents
<b>Park Forest</b>	Early Involvement	1 Community Development; 1 Parks & Recreation; 1 Community Health	September 2; November 4	1 & 2 -- Older Adult Residents & Stakeholders

# AiaCR 2021 - Common Recommendations



- Elevate and promote your commitment to aging-in-community
- Establish an ongoing Aging-in-Community Commission to play a key policy advising & review role
- Designate staff in multiple departments as aging-in-community point-persons
- Review existing ordinances, plans & programs for their aging-in-community consistency



# AiaCR 2021 - Specific Recommendations



## Bensenville

- Utilize aging-in-community to help better serve the diverse Bensenville community
- Maximize the new Senior Citizens Center's aging-in-community & intergenerational benefits
- Consider revisiting Accessory Dwelling Units as an aging-in-community benefit

## Calumet City

- Broadly promote Calumet City as the first designated south suburban Age-Friendly City
- Build upon the AiaCR workshops to create an annual Aging-in-Community Resource Fair
- Support establishing an affordable south suburban home repair/modification program

## Park Forest

- Make aging-in-community a strategic priority in Park Forest's current strategic planning
- Revisit the Jolly Trolley and public transportation services within Park Forest
- Develop aging-in-community handbook to help residents navigate issues & access resources



# AiaCR 2021 - Lessons Learned I

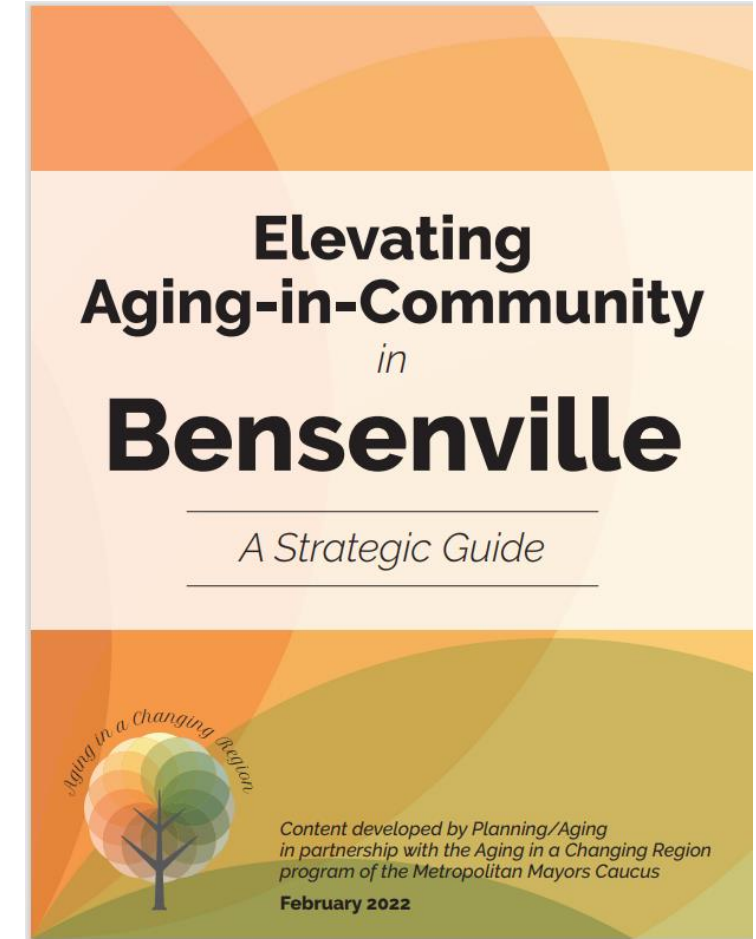
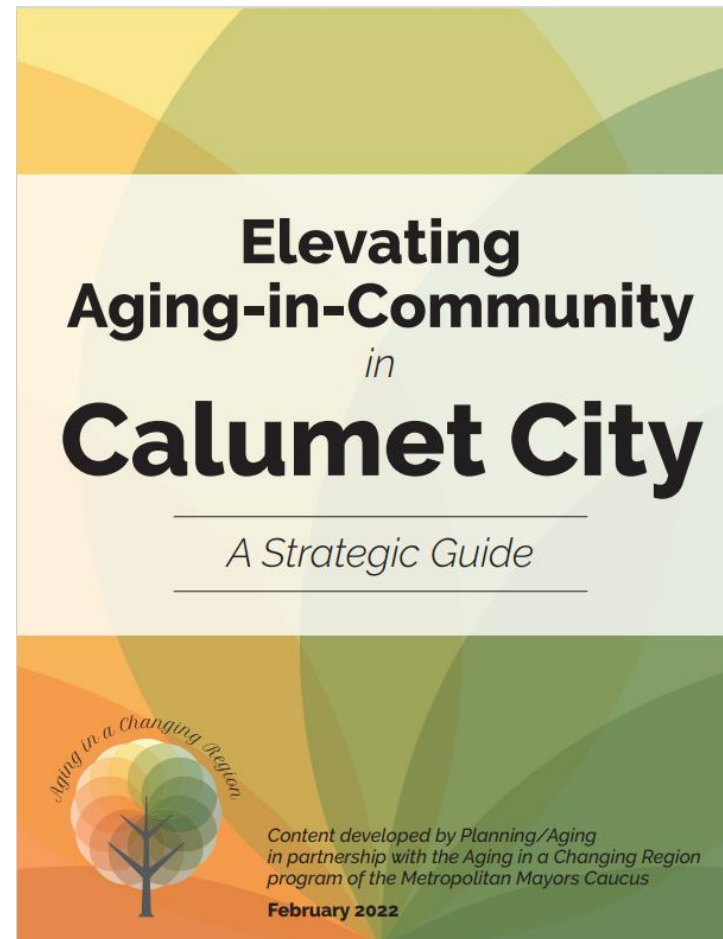
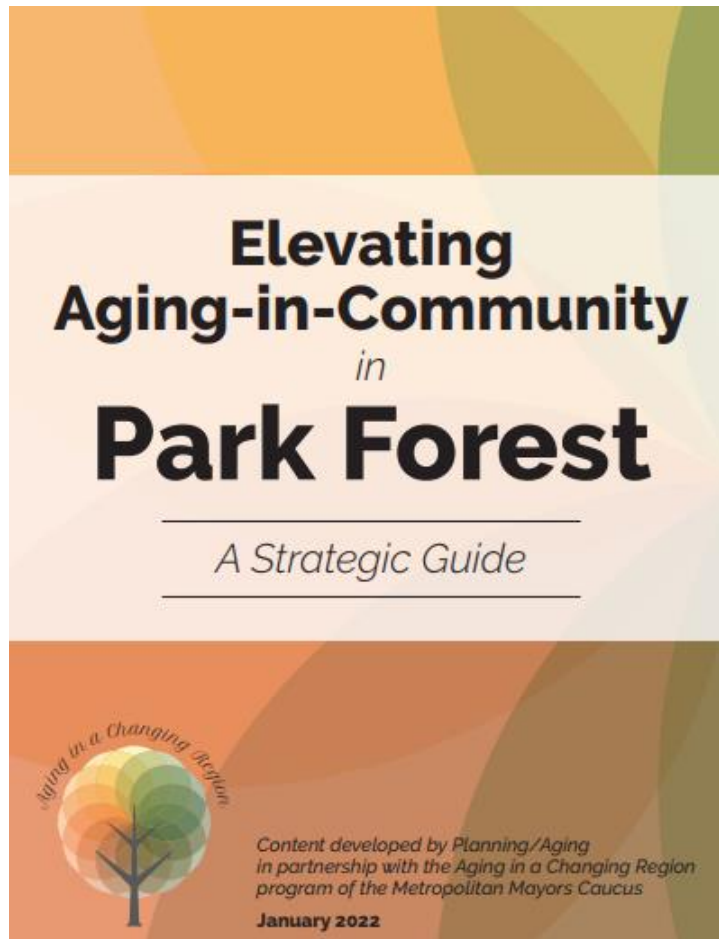
- 1) Different starting points – Regardless of where they currently are, each municipality can elevate its support of aging-in-community
- 2) No one size fits all – Both the AiaCR process & support for aging-in-community itself will look different in each municipality
- 3) Champions are important -- Municipal leadership support should begin at the kickoff meeting
- 4) Take a 'whole-of-government' approach – The Core Team should ideally represent multiple sectors or departments
- 5) Break down silos -- Engage key stakeholder partners (*from the aging network & others*) throughout the process



# AiaCR 2021 - Lessons Learned II

- 6) Assess current aging-in-community climate -- Informal assessments (*by stakeholders and – if possible – residents*) are very valuable
- 7) Share knowledge – Every municipality benefits from a broadly held basis of knowledge about available services & programs
- 8) Local framing -- Link aging-in-community to key issues important in each municipality (*e.g. sustainability, economic development, housing, public safety*)
- 9) Listen & learn – The facilitated discussions are the most valuable components of the workshops
- 10) Keep it simple & readable – Final reports are only helpful if they are used

# AiaCR 2021 – Final Reports



Read the strategic guides at <https://mayorscaucus.org/initiatives/aging-in-community/aging-in-a-changing-region/>



# AiaCR 2021 Municipalities Panel



**Mary Ribando**

Executive Assistant  
Village of Bensenville

**Val Williams**

Economic Development Department  
City of Calumet City

**Rob Gunther**

Director of Recreation, Parks & Community Health  
Village of Park Forest





# AiaCR 2021 – Panel Questions

- 1) How would you describe your municipality's experience in the AiaCR 2021 Cohort?
- 2) Do you think that the right number & types of stakeholders & residents participated in the Workshops? Why or why not?
- 3) Have you begun addressing any of the strategic recommendations in the final report? If so, which ones?
- 4) Are there things you would do differently if you had a do-over chance to be an AiaCR Cohort municipality?
- 5) What advice would you give to a municipality hoping to join a future AiaCR Cohort?
- 6) Do you have any other thoughts to share?



# AiaCR 2021 – Q & A

The floor is open...

# AiaCR 2021 – CMAP's Technical Assistance



As their part of the AiaCR program, CMAP has identified a technical assistance opportunity, and they have begun working with Park Forest on an Aging-in-Community Handbook

Here from CMAP to discuss this today are:

- Enrique Castillo – Senior Planner
- Dominick Argumedo – Senior Planner





Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #3

Tracking Number

CC 2021-04

### Agenda Item Summary Memo

**Title:** City Buildings Updates

**Meeting and Date:** City Council – April 12, 2022

**Synopsis:** \_\_\_\_\_  
\_\_\_\_\_

### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** None

**Council Action Requested:** Informational

**Submitted by:** Bart Olson Administration  
Name Department

### Agenda Item Notes:

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## Bart Olson

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**From:** Steve Raasch  
**Sent:** Thursday, April 7, 2022 12:43 PM  
**To:** Bart Olson  
**Cc:** James Jensen; Eric Dhuse; Peter Ratos; Steve Raasch  
**Subject:** Prairie Point Update for Council

Bart,

Here is the update as of this morning.

The second and third floor demolition is complete, with the exception of the lighting and some limited flooring. The first floor demolition started this week and will continue until it is completed. Lite Construction estimates the interior demolition to be completed on 4/20.

Carpenters have started new wall layouts on the second and third floor, and will start erecting walls soon. All walls on those floors are expected to be fully framed, by the end of April.

Electrician's have completed all demolition on the second and third floors, with the exception of the lighting. We are working with the contractors and engineer to complete the ComEd incentive application, for the new LED lighting. We hope to have that information submitted by early next week. Once Com Ed approves, all existing lighting will be removed.

Roofer's have removed the rock from the roof, and will start the roof replacement as soon as weather allows.

Please let me know if you have any questions or need additional information.

Thank you,

Steve Raasch  
Facilities Manager  
United City of Yorkville  
800 Game Farm Road  
Yorkville, IL 60560  
Phone: 630-536-9464  
[sraasch@yorkville.il.us](mailto:sraasch@yorkville.il.us)



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #4

Tracking Number

CC 2021-38

### Agenda Item Summary Memo

**Title:** Water Study Update

**Meeting and Date:** City Council – April 12, 2022

**Synopsis:** \_\_\_\_\_  
\_\_\_\_\_

### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** None

**Council Action Requested:** Informational

**Submitted by:** Bart Olson Administration  
Name Department

### Agenda Item Notes:

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# Camminer Law, LLC

WBE, DBE, ACDBE, BEP & WBENC Certified  
*Bridging the business and Law of Infrastructure*

Irene Schild Camminer  
Brian F. Camminer  
2612 W. Sunnyside Ave.  
Chicago, IL 60625  
773-263-4013

April 6, 2022

[bolson@yorkville.il.us](mailto:bolson@yorkville.il.us)

Bart Olson  
City Administrator  
United City of Yorkville

Re: WaterLink Status

Dear Mr. Olson:

I am writing to provide to you a status of the activities undertaken by the three communities of the United City of Yorkville, the Village of Montgomery, and the Village of Oswego, also known as WaterLink. The communities have been busy since December 2021 when City Council selected and approved Lake Michigan as its alternative water source and the DuPage Water Commission (DWC) to deliver it. The following is a short summary of the status of the activities being undertaken concurrently to date.

- 1) A Bill creating a 7th District for DWC was introduced and has passed both chambers of the General Assembly. This legislation will allow for WaterLink to be represented by a Commissioner at the DWC Commission.
- 2) A pre-requisite to receiving Lake Michigan water is receiving a Lake Michigan Water Allocation Permit. The permit is issued by the State of Illinois through its Illinois Department of Natural Resources (IDNR). Within the last couple of weeks, the United City of Yorkville and the Villages of Montgomery and Oswego each submitted permit applications to the IDNR and are awaiting further direction. The applications for Lake Michigan Water Allocation Permits include the outcome of last year's WaterLink Alternative Water Source Study and the decisions to stop taking water from the deep aquifer (well water) and purchase Lake Michigan water from the DuPage Water Commission. The IDNR will schedule a pre-hearing and then a hearing. Thereafter, the hearing officer will issue a ruling on the application permits. It is expected that the process can take up to a year to complete.
- 3) The United City of Yorkville, and the Villages of Montgomery and Oswego have all committed to continue to work together. We are in the process of entering into a formal agreement that lays out these commitments. This includes the continued sharing of resources and expertise as we continue with IDNR, an agreement with the DuPage Water Commission, and the design, construction, and coordination of the water pipes to bring water to our communities.



Bart Olson  
April 6, 2022  
Page -2-

4) WaterLink (the three communities) has started coordinating with the DuPage Water Commission. Paul May has started as the new Executive Director of the DuPage Water Commission. We have met with DWC, prior to Mr. May starting, to outline the steps and milestones for engineering and other professional services.

Please let me know if you have any questions or concerns.

Best,

A handwritten signature in cursive script, reading "Irene Schild Caminer".

Irene Schild Caminer  
Caminer Law, LLC





Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input checked="" type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #5

Tracking Number

CC 2022-14

### Agenda Item Summary Memo

**Title:** FY23 Draft Budget Revisions

**Meeting and Date:** City Council – April 12, 2022

**Synopsis:** \_\_\_\_\_  
\_\_\_\_\_

### Council Action Previously Taken:

Date of Action: CC – 03/08/22      Action Taken: Public Hearing was held.

Item Number: CC 2022-09

**Type of Vote Required:** Majority

**Council Action Requested:** Approval  
\_\_\_\_\_

**Submitted by:** Rob Fredrickson

Name

Finance

Department

### Agenda Item Notes:

FY 23 Proposed Budget Link - <https://www.yorkville.il.us/ArchiveCenter/ViewFile/Item/4453>  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Have a question or comment about this agenda item?*

*Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at [agendas@yorkville.il.us](mailto:agendas@yorkville.il.us), post at [www.facebook.com/CityofYorkville](https://www.facebook.com/CityofYorkville), tweet us at @CityofYorkville, and/or contact any of your elected officials at <http://www.yorkville.il.us/320/City-Council>*



# Memorandum

To: City Council  
From: Rob Fredrickson, Finance Director  
Date: April 6, 2022  
Subject: Fiscal Year 2023 Budget Revisions

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## **Summary**

Review of proposed changes to the Fiscal Year 2023 draft budget, as itemized on Exhibit A (attached), and corresponding budget ordinance.

## **Background**

This item was last discussed at the March 22<sup>nd</sup> City Council meeting. Since that meeting, staff has made ten additional revisions to the Proposed FY 23 budget as identified below:

### **Budget Adjustment #1 – (as proposed on March 8<sup>th</sup>)**

The FY 22 projected Federal Grants (82-41-4160) line item in the (82) Library Fund was increased by \$6,824, to reflect the receipt of a Library Service and Technology Grant (ARPA Funds); thus increasing fund balance by the aforementioned amount.

### **Budget Adjustment #2 – (as proposed on March 22<sup>nd</sup>)**

Staff was recently notified by the vendor that the anticipated purchase of the watermain break trailer, initially projected in FY 22, will need to be deferred to FY 23 due to ongoing supply chain issues. This offsetting adjustment will increase the fund balance equivalent in the (51) Water Fund by \$8,000 in FY 22, and then decrease the fund balance equivalent in FY 23 by the same amount.

Per the recommendation of Public Works Director Dhuse, \$8,400 has been added to the FY 23 equipment line item for a new utility locating unit. The unit under consideration has cellular data capabilities that will allow staff to upload utility locations into the “cloud”, which can then be downloaded into the GIS system. In addition to JULIE locates, this technology can also be utilized to collect data on street signs, light poles, hydrants, b-boxes, etc. Once this information is captured in the GIS system, staff will be able to locate City infrastructure items quickly and accurately. Please click on the link below for additional information:

<https://www.vivax-metrotech.com/vivax-product/vloc3-rtk-pro/>

### **Budget Adjustment #3 – (as proposed on March 22<sup>nd</sup>)**

The FY 22 projected Federal Grants (01-41-4160) line item in the (01) General Fund was increased by \$77,153, to reflect the receipt of Federal Emergency Management Agency (FEMA) reimbursements related to costs incurred by the City stemming from the COVID-19 pandemic. The City submitted a total of \$86,499 COVID related costs for reimbursement, of which \$77,153 (89%) were approved. Approved costs included expenses incurred for personal protective equipment (PPE), office cleaning and biohazard (i.e., cleaning and disinfecting of City buildings after an employee tested positive) services. Denied expenses were mostly comprised of costs incurred for thermometers, air purifiers and filters.

#### **Budget Adjustments #4 and #5 – (as proposed on March 22<sup>nd</sup>)**

At their meeting in March, the Library Board approved a policy change whereby fines will no longer assessed on past due books and materials, thus decreasing (82) Library Fund revenues between \$6,000 to \$6,500 per fiscal year through FY 27 (Budget Adjustment #4). The new policy language is included below:

*The library will no longer charge late fees for overdue items. Fine Free services are applied to all materials that are checked out at our Library regardless of which library the card holder and items belong to except for Laptops and Hotspots. Laptops and Hotspots will continue to accrue a \$5 per day fine for items not returned by the due date. While there are no more late fees, patrons can still accrue fees for damaged and/or lost materials. Both the Yorkville Public Library and the owing library of the item can charge a patron for damage or loss of library materials. Patrons will receive a:*

- first notice 3 days before an item is due*
- second notice 7 days overdue*
- third notice 14 days overdue*
- 21 days after an item is overdue, the item is considered lost, and patrons will be charged for the price of that item unless the item is returned.*

*In a Fine Free Library, when the material is returned, the fines will be cleared, and the patron can use their account once again. Items 9 months past their due date are billed & deleted the following month. At this point the item cannot be returned fine free and a full cost of replacement is assessed to the patron's account. A patron's account will be blocked when they have a lost or damaged item on their account, or when one or more items have been overdue for over 21 days.*

Budget Adjustment #5 reduces Library IMRF and FICA expenditures by ~\$2,400 due to the proposed Marketing Coordinator position being reclassified from full-time to part-time.

#### **Budget Adjustment #6 – (new item)**

This budget adjustment increases the Vehicle line item within the Public Works Capital cost center (215) of the (25) Vehicle & Equipment Fund by \$4,303 to account for the previously approved bucket truck increase from \$230,658 to \$234,961 by City Council on March 22<sup>nd</sup>.

#### **Budget Adjustment #7 – (new item)**

This budget adjustment increases the Professional Services line item in the (51) Water Fund by \$12,500 to expedite the completion of the leak detection survey on City water mains in FY 23, instead of FY 24. Staff has already completed the survey on 53 miles of water main, with approximately 100 miles of water main remaining to be analyzed. Completion of this survey is necessary, as it will aid the City in reducing water loss to under 10%, as required by the State in order to access Lake Michigan water. This survey will also benefit the City by reducing production costs and minimizing revenue loss from water sales. The net effect of these budgetary revisions in FY 23 and FY 24 would result in the reduction of fund balance equivalency in the amount of \$1,500.

#### **Budget Adjustment #8 – (new item)**

The first revision for Budget Adjustment #8 relates to the tax levy computation reports recently received from Kendall County, the City's share of Road & Bridge Tax will return to more of a historical norm (~\$120,000) in FY 23 at \$116,077. Over the last two fiscal years this revenue was tracking at approximately \$54,000, due to significant reductions in the levy of Bristol Township.

Also included in Budget Adjustment #8 is the purchase of a reflectometer machine. Over the last several years the costs related to sign replacement (signs, posts and hardware) have almost doubled. Instead of doubling the Street Departments Signs budget to meet the new costs, staff is proposing the purchase of a reflectometer



machine, which measures the reflectivity of signs before the City replaces them. Retroreflectivity rules were put in place over a decade ago to maintain a certain amount of reflectivity in road signs. When these rules were implemented, it was decided that the City would replace signs every 10 years to ensure compliance. At the time, this decision was made because signs were inexpensive and reflectometer machines were cost prohibitive. However, now the opposite is true, whereby costs related to signs and posts have increased significantly and the cost of the reflectometer has decreased substantially. Per Director Dhuse, purchasing this device will save the City a notable amount of money over the life of the unit. The cost of the reflectometer as quoted is ~\$12,000. If staff finds that half of the signs do not need to be replaced, the unit will pay for itself in approximately two years.

When the additional funds from the Road & Bridge Tax are netted against the reflectometer purchase and other budgetary adjustments in the General Fund (itemized elsewhere in this memo), these additional proceeds generate a surplus of \$32,580. In order to maintain parity with the originally proposed budget (i.e., a break-even General Fund Budget), staff recommends that this surplus be transferred to the (23) City-Wide Capital Fund to finance future roadway improvements, as noted on the last two line of Exhibit A for Budget Adjustment #8.

### **Budget Adjustments #9 / #10 / #11 – (new items)**

Based on the tax levy computation reports recently received from Kendall County, staff recommends several budgetary adjustments related to Property Taxes for the (87) Countryside TIF Fund, the (89) Downtown TIF II Fund and the (82) Library Operations Fund, as detailed below:

(87) Countryside TIF Fund – Budget Adjustment #9 – After increasing substantially in the current fiscal year (\$151,422 in FY 21 v. \$250,366 in FY 22), as Holiday Inn Express was added to the tax rolls for the first time, FY 23 incremental property taxes for the Countryside TIF will come in at \$232,133, which is ~7% less than the prior year. Staff has submitted an inquiry with the County in order to ascertain which parcels have declined in EAV and will report back once the results are known. This reduction in incremental property tax is projected to result in Countryside TIF fund balance declining by approximately \$26,000 per annum through FY 27, in comparison to what was originally budgeted.

(89) Downtown TIF II Fund – Budget Adjustment #10 – In contrast to the Countryside TIF, FY 23 incremental property taxes in the Downtown TIF II Fund are expected to increase by 26% over FY 22 amounts (\$96,975 in FY 22 v. \$99,353 in FY 23). This augmentation in incremental property tax is projected to result in Downtown TIF II fund balance increasing by approximately \$20,000 per annum through FY 27, in comparison to what was originally budgeted.

(82) Library Operations Fund – Budget Adjustment #11 – After initially levying \$934,000, the Library Operations levy was reduced to \$822,463 once P-TELL was applied by the County. This extended amount is \$10,890 more than what was initially projected for FY 23, and the proposed budget has been adjusted accordingly to reflect this enhancement to fund balance. Moreover, based on the updated figure for the base year (FY 23), FY 24 through FY 27 have been revised to reflect a projected increase to fund balance of ~\$12,000 per year.

### **Budget Adjustment #12 and #13 – (new items)**

Due to various supply chain issues, Budget Adjustment #12 is simply reallocating the timing of FY 22 budgeted expenditures related to park improvements and recreation equipment purchases between FY 22 and FY 23 within the Park & Recreation Capital cost center (225) of the (25) Vehicle & Equipment Fund, as itemized below. These adjustments will have no impact on budgetary fund balance, as they net to zero.

- Fox, Price & Sleezer Playground Replacements (\$150,000) – initially proposed to reflect \$80,000 being spent in FY 22 and \$70,000 being spent in in FY 23. The budget has been adjusted, moving the \$80,000 originally expected to be spent in FY 22 into FY 23; as shown in line item 25-225-60-00-6010.
- Recreation Equipment Purchases (\$8,000) – initially proposed to show the full \$8,000 being spent in FY 22. The budget has been revised, moving the \$8,000 originally expected to be spent in FY 22 into FY 23; as shown in line item 25-225-60-00-6060.
- Stepping Stones Playground - Replacement Climber (\$20,000) – initially proposed to show the \$20,000 being spent in FY 22. The budget has been revised, moving the \$20,000 originally expected to be spent in FY 22 into FY 23; as shown in line item 25-225-60-00-6010.
- Pickle Ball Court (\$50,000) – this developer funded project was initially proposed to reflect \$15,000 being spent in FY 22 and \$35,000 being spent in in FY 23. The budget has been adjusted, to show \$10,000 being spent in FY 22 and \$40,000 in FY 23; as shown in line items 25-225-60-00-6010 and 25-000-46-00-4692.

Budget Adjust #13 reflects the receipt of a Bristol Bay Park land cash contribution in the amount of \$50,000, pursuant to an annexation agreement approved in 2010 (Ord. 2010-32), which is expected to be received from the developer by the end of the month. These funds will be held in escrow (i.e., on the City's balance sheet) and will be used to offset related expenditures in a future fiscal period. How these funds will be used remains to be determined, as Park Board is currently considering a new baseball or soccer field tentatively set for FY 24.

### **Budget Adjustment #14 – (new item)**

This budget adjustment revises group health, dental and vision insurance amounts for the Community Development Department stemming from a recent employee resignation. Per the City's past budgetary practices, vacated positions are budgeted at the most expensive level (i.e., Family PPO), and the budget has been revised accordingly through FY 27 to reflect this assumption.

### **Budget Adjustment #15 – (new item - informational)**

As detailed in the FY 23 Budget Memo, staff initially proposed to purchase a new single axel dump truck for \$240,000 out of the Vehicle line item contained within the Public Works Capital cost center (215) of the (25) Vehicle & Equipment Fund. However, due to ongoing supply chain issues, it is unlikely that the City would be able to take possession of the dump truck until FY 24. As such, staff recommends reallocating those funds in order to purchase a new street sweeper which is currently available. This budgetary revision is reallocating previously proposed appropriations and has no impact on budgeted fund balance.

### **Recommendation**

Staff recommends that the adjustments presented above, and on Exhibit A, be incorporated into the FY 23 proposed budget. A budget ordinance, incorporating these changes, has also been included for your review and consideration.

<u>Fiscal Year</u>	<u>Fund</u>	<u>Department</u>	<u>Account Number</u>	<u>Description</u>	<u>Original Amount</u>	<u>Revised Amount</u>	<u>Effect on Fund Balance</u>	<u>Notes</u>
<b>Budget Adjustment # 1</b>								
2022	Library	Library Operations	82-000-41-00-4160	Federal Grants	764	7,588	6,824	Proposed by Management
								Library Services & Technology Act Grant (ARPA)
Overall Net Effect on Fund Balance							\$ 6,824	
<b>Budget Adjustment # 2</b>								
2022					20,000	12,000	8,000	Proposed by Management
	Water	Water Operations	51-510-60-00-6060	Equipment	Fiscal Year Subtotal		\$ 8,000	Watermain break trailer purchase postponed until after May 1st (FY 2023) due to supply chain issues - per vendor. Add new utility locating unit for \$8,400.
2023					30,000	46,400	(16,400)	
					Fiscal Year Subtotal		\$ (16,400)	
Overall Net Effect on Fund Balance							\$ (8,400)	
<b>Budget Adjustment # 3</b>								
2022	General	General Fund Revenues	01-000-41-00-4160	Federal Grants	1,436,189	1,513,342	77,153	Proposed by Management
								FEMA - COVID-19 Reimbursements
Overall Net Effect on Fund Balance							\$ 77,153	
<b>Budget Adjustment # 4</b>								
2023					7,000	1,000	(6,000)	Proposed by Library Board
					Fiscal Year Subtotal		\$ (6,000)	Fines will no longer be assessed on overdue Library books and other materials (excludes laptops and hotspots). New fine policy approved by the Library Board on March 14, 2022.
2024					7,500	1,000	(6,500)	
					Fiscal Year Subtotal		\$ (6,500)	
2025	Library	Library Operations	82-000-43-00-4330	Library Fines	7,500	1,000	(6,500)	
					Fiscal Year Subtotal		\$ (6,500)	
2026					7,500	1,000	(6,500)	
					Fiscal Year Subtotal		\$ (6,500)	
2027					7,500	1,000	(6,500)	
					Fiscal Year Subtotal		\$ (6,500)	
Overall Net Effect on Fund Balance							\$ (32,000)	
<b>Budget Adjustment # 5</b>								
2023	Library	Library Operations	82-820-52-00-5212	Retirement Plan Contribution	28,674	26,240	2,434	Proposed by Library Board
			82-820-52-00-5214	FICA Contribution	37,492	37,585	(93)	IMRF & FICA adjustments related to Marketing Coordinator position going from FT to PT.
Overall Net Effect on Fund Balance							\$ 2,341	

Fiscal Year	Fund	Department	Account Number	Description	Original Amount	Revised Amount	Effect on Fund Balance	Notes	
Budget Adjustment # 6									
2023	Veh & Equip	Public Works Capital	25-215-60-00-6070	Vehicles	782,171	786,474	(4,303)	Proposed by Management	
		Veh & Equip Rev	25-000-44-00-4421	Public Works Chargeback	545,105	549,408	4,303	Increase Vehicle line item by \$4,303 to account for the Bucket Truck price increase from \$230,658 to \$234,961 - approved by Council on March 22 <sup>nd</sup> .	
	General	Street Operations	01-410-54-00-5422	Vehicle & Equip Chargeback	545,105	549,408	(4,303)		
Overall Net Effect on Fund Balance							\$	(4,303)	
Budget Adjustment # 7									
2023	Water	Water Operations	51-510-54-00-5462	Professional Services	166,000	178,500	(12,500)	Proposed by Management	
					Fiscal Year Subtotal		\$	(12,500)	Increase Professional Services line by \$12,500 in FY 23 to expedite the completion of the leak detection survey on remaining water mains.
2024					159,750	148,750	11,000		
					Fiscal Year Subtotal		\$	11,000	
Overall Net Effect on Fund Balance							\$	(1,500)	
Budget Adjustment # 8									
2023	General	General Fund Revenues	01-000-41-00-4110	Road & Bridge Tax	55,000	116,077	61,077	Proposed by Management	
								Road & Bridge Tax increase based on tax levy extension report from Kendall County.	
	General	Street Operations	01-410-56-00-5630	Small Tools & Equipment	12,000	24,000	(12,000)	Purchase of a reflectometer.	
	General	Admin Services	01-640-99-00-9923	Transfer to City-Wide Capital	771,772	804,352	(32,580)	Transfer proposed FY 2023 General Fund surplus to City-Wide Capital to finance roadway improvements.	
	City-Wide Capital	CW Capital Rev	23-000-49-00-4901	Transfer From General	771,772	804,352	32,580		
Overall Net Effect on Fund Balance							\$	49,077	
Budget Adjustment # 9									
2023	Countryside TIF	Countryside TIF Revenues	87-000-40-00-4000	Property Taxes	256,625	232,133	(24,492)	Proposed by Management	
					Fiscal Year Subtotal		\$	(24,492)	Adjust Countryside TIF incremental property tax revenues, based on tax levy extension report received from Kendall County.
2024					263,041	237,936	(25,105)		
					Fiscal Year Subtotal		\$	(25,105)	
2025					269,617	243,884	(25,733)		
					Fiscal Year Subtotal		\$	(25,733)	
2026					276,357	249,981	(26,376)		
					Fiscal Year Subtotal		\$	(26,376)	
2027					283,266	256,231	(27,035)		
					Fiscal Year Subtotal		\$	(27,035)	
Overall Net Effect on Fund Balance							\$	(128,741)	

<u>Fiscal Year</u>	<u>Fund</u>	<u>Department</u>	<u>Account Number</u>	<u>Description</u>	<u>Original Amount</u>	<u>Revised Amount</u>	<u>Effect on Fund Balance</u>	<u>Notes</u>
<b>Budget Adjustment # 10</b>								
2023					80,733	99,353	18,620	Proposed by Management
					<b>Fiscal Year Subtotal</b>		<b>\$ 18,620</b>	
2024					82,751	101,837	19,086	
					<b>Fiscal Year Subtotal</b>		<b>\$ 19,086</b>	
2025	Downtown TIF II	Downtown TIF II Revenues	89-000-40-00-4000	Property Taxes	84,820	104,383	19,563	Adjust Downtown TIF II incremental property tax revenues, based on tax levy extension report received from Kendall County.
					<b>Fiscal Year Subtotal</b>		<b>\$ 19,563</b>	
2026					86,941	106,993	20,052	
					<b>Fiscal Year Subtotal</b>		<b>\$ 20,052</b>	
2027					89,115	109,668	20,553	
					<b>Fiscal Year Subtotal</b>		<b>\$ 20,553</b>	
<b>Overall Net Effect on Fund Balance</b>							<b>\$ 97,874</b>	
<b>Budget Adjustment # 11</b>								
2023					811,573	822,463	10,890	Proposed by Management
					<b>Fiscal Year Subtotal</b>		<b>\$ 10,890</b>	
2024					852,152	863,586	11,434	
					<b>Fiscal Year Subtotal</b>		<b>\$ 11,434</b>	
2025	Library	Library Operation Revenues	82-000-40-00-4000	Property Taxes - Library Ops	877,717	889,494	11,777	Adjust Library Operation property tax revenues, based on tax levy extension report received from Kendall County.
					<b>Fiscal Year Subtotal</b>		<b>\$ 11,777</b>	
2026					904,049	916,179	12,130	
					<b>Fiscal Year Subtotal</b>		<b>\$ 12,130</b>	
2027					931,170	943,664	12,494	
					<b>Fiscal Year Subtotal</b>		<b>\$ 12,494</b>	
<b>Overall Net Effect on Fund Balance</b>							<b>\$ 58,725</b>	
<b>Budget Adjustment # 12</b>								
		Park & Rec Capital	25-225-60-00-6010	Park Improvements	128,658	23,658	105,000	Proposed by Management
2022		Veh & Equip Rev	25-000-46-00-4692	Misc Reimb - Park Capital	15,000	10,000	(5,000)	
		Park & Rec Capital	25-225-60-00-6060	Equipment	56,835	48,835	8,000	
	Vehicle & Equipment				<b>Fiscal Year Subtotal</b>		<b>\$ 108,000</b>	Adjust the timing of expenditures related to Fox, Price and Sleezer playground replacements, a new climber at Stepping Stones, the construction of the new pickle ball court (Developer funded) and various recreation equipment purchases for programming.
		Park & Rec Capital	25-225-60-00-6010	Park Improvements	205,000	310,000	(105,000)	
2023		Veh & Equip Rev	25-000-46-00-4692	Misc Reimb - Park Capital	35,000	40,000	5,000	
		Park & Rec Capital	25-225-60-00-6060	Equipment	65,156	73,156	(8,000)	
					<b>Fiscal Year Subtotal</b>		<b>\$ (108,000)</b>	
<b>Overall Net Effect on Fund Balance</b>							<b>\$ -</b>	

<u>Fiscal Year</u>	<u>Fund</u>	<u>Department</u>	<u>Account Number</u>	<u>Description</u>	<u>Original Amount</u>	<u>Revised Amount</u>	<u>Effect on Fund Balance</u>	<u>Notes</u>						
<b><u>Budget Adjustment # 13</u></b>														
2024	Vehicle & Equipment	Veh & Equip Revenues	25-000-46-00-4692	Misc Reimb - Park Capital	52,096	102,096	50,000	Proposed by Management						
		Park & Rec Capital	25-225-60-00-6010	Park Improvements	234,096	284,096	(50,000)	Record Bristol Bay land cash contribution of \$50,000 for lot 1685 (fire station).						
Overall Net Effect on Fund Balance							\$	-						
<b><u>Budget Adjustment # 14</u></b>														
2023	General	Community Development	01-220-52-00-5216	Group Health Insurance	109,972	121,479	(11,507)	Proposed by Management						
			01-220-52-00-5223	Dental Insurance	9,123	9,733	(610)	Adjust Group Health, Dental and Vision Insurance line items in Community Development due to the resignation of Jr. Building Inspector. Assume new employee will have Family coverage, pursuant to City's past budgetary practices.						
			01-220-52-00-5224	Vision Insurance	1,422	1,499	(77)							
Fiscal Year Subtotal					\$	(12,194)								
2024			01-220-52-00-5216	Group Health Insurance	118,770	131,197	(12,427)		Adjust Group Health, Dental and Vision Insurance line items in Community Development due to the resignation of Jr. Building Inspector. Assume new employee will have Family coverage, pursuant to City's past budgetary practices.					
			01-220-52-00-5223	Dental Insurance	9,579	10,220	(641)							
			01-220-52-00-5224	Vision Insurance	1,465	1,544	(79)							
Fiscal Year Subtotal					\$	(13,147)								
2025			01-220-52-00-5216	Group Health Insurance	128,272	141,693	(13,421)			Adjust Group Health, Dental and Vision Insurance line items in Community Development due to the resignation of Jr. Building Inspector. Assume new employee will have Family coverage, pursuant to City's past budgetary practices.				
			01-220-52-00-5223	Dental Insurance	10,058	10,731	(673)							
			01-220-52-00-5224	Vision Insurance	1,509	1,590	(81)							
Fiscal Year Subtotal					\$	(14,175)								
2026			01-220-52-00-5216	Group Health Insurance	138,534	153,028	(14,494)				Adjust Group Health, Dental and Vision Insurance line items in Community Development due to the resignation of Jr. Building Inspector. Assume new employee will have Family coverage, pursuant to City's past budgetary practices.			
			01-220-52-00-5223	Dental Insurance	10,561	11,268	(707)							
			01-220-52-00-5224	Vision Insurance	1,554	1,638	(84)							
Fiscal Year Subtotal					\$	(15,285)								
2027			01-220-52-00-5216	Group Health Insurance	149,617	165,270	(15,653)					Adjust Group Health, Dental and Vision Insurance line items in Community Development due to the resignation of Jr. Building Inspector. Assume new employee will have Family coverage, pursuant to City's past budgetary practices.		
			01-220-52-00-5223	Dental Insurance	11,089	11,831	(742)							
			01-220-52-00-5224	Vision Insurance	1,601	1,687	(86)							
Fiscal Year Subtotal					\$	(16,481)								
Overall Net Effect on Fund Balance							\$	(59,088)						
<b><u>Budget Adjustment # 15 (Informational)</u></b>								Proposed by Management						
2023	Vehicle & Equipment	Public Works Capital	25-215-60-00-6070	Vehicles	786,471	786,471	-	Staff recommends purchasing a new street sweeper for \$240,000 and defer the purchase of the single-axel dump truck until FY 24.						
Overall Net Effect on Fund Balance							\$	-						



## Overall Effect of Proposed Budget Adjustments on Fund Balance/Fund Balance Equivalent

	FY 2022	FY 2023	FY 2024	FY 2025	FY 2026	FY 2027	Totals
	<u>Projected</u>	<u>Proposed</u>	<u>Projected</u>	<u>Projected</u>	<u>Projected</u>	<u>Projected</u>	
General	\$ 226,112	\$ -	\$ (1,093,921)	\$ (623,671)	\$ (901,588)	\$ (634,101)	<b>(3,027,169)</b>
Fox Hill SSA							
Sunflower SSA							
Motor Fuel Tax							
City-Wide Capital	1,731,500	(1,596,851)	(221,638)	-	-	-	<b>(86,989)</b>
Buildings & Grounds							
Vehicle & Equipment	3,205	(1,129,353)	(39,643)	-	-	-	<b>(1,165,791)</b>
Debt Service							
Water	(106,389)	(1,914,100)	(976,894)	(1,251,431)	1,074,822	2,059,733	<b>(1,114,259)</b>
Sewer							
Land Cash							
Parks & Recreation							
Library Ops	37,798	(12,047)	(11,501)	(19,478)	(23,061)	(28,298)	<b>(56,587)</b>
Library Capital							
Countryside TIF	28,508	4,842	9,536	15,896	(134,687)	(123,802)	<b>(199,707)</b>
Downtown TIF							
Downtown TIF II	40,959	68,853	88,837	85,383	88,889	91,040	<b>463,961</b>
<b>Entity-Wide Total</b>	<b>\$ 1,961,693</b>	<b>\$ (4,578,656)</b>	<b>\$ (2,245,224)</b>	<b>\$ (1,793,301)</b>	<b>\$ 104,375</b>	<b>\$ 1,364,572</b>	<b>(5,186,541)</b>



## City Fund Balance/Fund Balance Equivalent - Adjusted

	FY 2022		FY 2023		FY 2024		FY 2025		FY 2026		FY 2027	
	<u>Projected</u>		<u>Proposed</u>		<u>Projected</u>		<u>Projected</u>		<u>Projected</u>		<u>Projected</u>	
General	\$	9,398,466	\$	9,398,466	\$	8,304,545	\$	7,680,874	\$	6,779,286	\$	6,145,185
Fox Hill SSA		15,065		(22,635)		(12,275)		585		13,445		24,577
Sunflower SSA		(3,046)		754		4,114		7,474		10,834		12,466
Motor Fuel Tax		270,323		169,838		66,205		31,670		17,595		24,849
City-Wide Capital		1,851,069		254,218		32,580		32,580		32,580		32,580
Buildings & Grounds		10,641,399		777,068		12,041,616		602,671		-		-
Vehicle & Equipment		1,488,996		359,643		320,000		320,000		320,000		320,000
Debt Service		-		-		-		-		-		-
Water		3,794,969		1,880,869		903,975		(347,456)		727,366		2,787,099
Sewer		953,507		1,562,682		1,504,717		791,520		574,190		931,937
Land Cash		-		-		-		-		-		-
Park & Recreation		-		-		-		-		-		-
Countryside TIF		(1,182,714)		(1,177,872)		(1,168,336)		(1,152,440)		(1,287,127)		(1,410,929)
Downtown TIF		(1,638,038)		(1,629,650)		(1,618,595)		(1,608,057)		(1,598,103)		(1,588,806)
Downtown TIF II		(6,910)		61,943		150,780		236,163		325,052		416,092
<b>Adjusted City-Wide Total</b>	<b>\$</b>	<b>25,583,086</b>	<b>\$</b>	<b>11,635,324</b>	<b>\$</b>	<b>20,529,326</b>	<b>\$</b>	<b>6,595,584</b>	<b>\$</b>	<b>5,915,118</b>	<b>\$</b>	<b>7,695,050</b>



## Library Fund Balance Adjusted



	FY 2022		FY 2023		FY 2024		FY 2025		FY 2026		FY 2027	
	<u>Projected</u>		<u>Proposed</u>		<u>Projected</u>		<u>Projected</u>		<u>Projected</u>		<u>Projected</u>	
Library	\$	675,831	\$	663,784	\$	652,283	\$	632,805	\$	609,744	\$	581,446
Library Capital		<u>180,862</u>		<u>145,712</u>		<u>110,712</u>		<u>75,962</u>		<u>41,462</u>		<u>31,552</u>
<b>Adjusted Entity-Wide Total</b>	<b>\$</b>	<b>856,693</b>	<b>\$</b>	<b>809,496</b>	<b>\$</b>	<b>762,995</b>	<b>\$</b>	<b>708,767</b>	<b>\$</b>	<b>651,206</b>	<b>\$</b>	<b>612,998</b>

**Ordinance No. 2022-\_\_\_\_\_**

**ORDINANCE APPROVING THE 2022-2023 FISCAL BUDGET  
FOR THE UNITED CITY OF YORKVILLE**

WHEREAS, the Mayor and City Council of the UNITED CITY OF YORKVILLE have duly held all Public Hearings, allowed public input, and have duly considered formation of a budget for the 2022-2023 Fiscal Year; and

WHEREAS, a tentative budget was duly announced and available for examination at the City offices of the UNITED CITY OF YORKVILLE; and

WHEREAS, the Mayor and City Council of the UNITED CITY OF YORKVILLE deem it in the best interest of the City for the orderly operation thereof to pass and approve the 2022-2023 Fiscal Year Budget being submitted on April 12, 2022 at its regular City Council Meeting:

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois that the 2022-2023 Budget totaling \$61,645,956 including the amounts of \$22,339,736 General Fund, \$1,277,045 Motor Fuel Tax Fund, \$2,235,223 Vehicle & Equipment Fund, \$5,995,546 Sewer Fund, \$7,693,103 Water Fund, \$5,592,073 City-Wide Capital Fund, \$10,871,560 Buildings & Grounds Fund, \$330,075 Debt Service Fund, \$3,055,472 Parks & Recreation Fund, \$1,748,820 Library Operations Fund, \$85,500 Library Capital Fund, \$227,291 Countryside TIF Fund, \$87,612 Downtown TIF Fund, \$30,500 Downtown TIF II Fund, \$17,200 Sunflower SSA Fund, and \$59,200 Fox Hill SSA Fund is hereby adopted for the 2022-2023 Fiscal Year, as presented.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois this 12<sup>th</sup> day of April, A.D. 2022.

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CITY CLERK

KEN KOCH	_____	DAN TRANSIER	_____
ARDEN JOE PLOCHER	_____	CRAIG SOLING	_____
CHRIS FUNKHOUSER	_____	MATT MAREK	_____
SEAVER TARULIS	_____	JASON PETERSON	_____

Approved by me, as Mayor of the United City of Yorkville, Kendall County,  
Illinois, this 12<sup>th</sup> day of April, A.D. 2022.

\_\_\_\_\_  
MAYOR