



## **United City of Yorkville**

800 Game Farm Road

Yorkville, Illinois 60560

Telephone: 630-553-4350

[www.yorkville.il.us](http://www.yorkville.il.us)

### **AGENDA ECONOMIC DEVELOPMENT COMMITTEE MEETING**

**Tuesday, April 5, 2022**

**6:00 p.m.**

City Hall Conference Room  
800 Game Farm Road, Yorkville, IL

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#### **Citizen Comments:**

**Minutes for Correction/Approval:** February 1, 2022

#### **New Business:**

1. EDC 2022-14 Building Permit Reports for January and February 2022
2. EDC 2022-15 Building Inspection Reports for January and February 2022
3. EDC 2022-16 Property Maintenance Reports for January and February 2022
4. EDC 2022-17 Economic Development Report for February and March 2022
5. EDC 2022-18 Fiscal Year 2023 Budget Proposal
6. EDC 2022-19 Aging-in-Community Memorandum of Understanding
7. EDC 2022-20 Bricolage 8721 Route 126 Rezoning
8. EDC 2022-21 Ordinance Approving the Second Amendment to the Annexation and Planned Unit Development Agreement for a Portion of the Windmill Farms Development (BW Properties Holdings, LLC/Bricolage Wellness, PLLC)
9. EDC 2022-22 Bristol Bay Unit 3 Final Plat Amendment
10. EDC 2022-23 Bristol Bay Unit 13 Final Plat

#### **Old Business:**

#### **Additional Business:**

2019 – 2021 City Council Goals – Economic Development Committee		
Goal	Priority	Staff
“Southside Development”	4	Bart Olson, Krysti Barksdale-Noble & Lynn Dubajic
“Downtown and Riverfront Development”	5	Bart Olson, Tim Evans & Krysti Barksdale-Noble
“Metra Extension”	7	Bart Olson, Rob Fredrickson, Eric Dhuse, Krysti Barksdale-Noble & Erin Willrett
“Manufacturing and Industrial Development”	8 (tie)	Bart Olson, Krysti Barksdale-Noble, Erin Willrett, Lynn Dubajic, Eric Dhuse & Brad Sanderson
“Expand Economic Development Efforts”	10	Krysti Barksdale-Noble & Lynn Dubajic
“Revenue Growth”	13	Rob Fredrickson, Krysti Barksdale-Noble & Lynn Dubajic
“Entrance Signage”	17	Krysti Barksdale-Noble & Erin Willrett



UNITED CITY OF YORKVILLE  
WORKSHEET  
ECONOMIC DEVELOPMENT COMMITTEE  
Tuesday, April 5, 2022  
6:00 PM  
CITY HALL CONFERENCE ROOM

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**CITIZEN COMMENTS:**

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**MINUTES FOR CORRECTION/APPROVAL:**

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1. February 1, 2022

- ☐ Approved \_\_\_\_\_
- ☐ As presented
- ☐ With corrections

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**NEW BUSINESS:**

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1. EDC 2022-14 Building Permit Reports for January and February 2022

- ☐ Informational Item
- ☐ Notes \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

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2. EDC 2022-15 Building Inspection Reports for January and February 2022

☐ Informational Item

☐ Notes \_\_\_\_\_  
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3. EDC 2022-16 Property Maintenance Reports for January and February 2022

☐ Informational Item

☐ Notes \_\_\_\_\_  
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4. EDC 2022-17 Economic Development Report for February and March 2022

☐ Informational Item

☐ Notes \_\_\_\_\_  
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5. EDC 2022-18 Fiscal Year 2023 Budget Proposal

☐ Moved forward to CC \_\_\_\_\_

☐ Approved by Committee \_\_\_\_\_

☐ Bring back to Committee \_\_\_\_\_

☐ Informational Item

☐ Notes \_\_\_\_\_

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6. EDC 2022-19 Aging-in-Community Memorandum of Understanding

☐ Moved forward to CC \_\_\_\_\_

☐ Approved by Committee \_\_\_\_\_

☐ Bring back to Committee \_\_\_\_\_

☐ Informational Item

☐ Notes \_\_\_\_\_

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7. EDC 2022-20 Bricolage 8721 Route 126 Rezoning

☐ Moved forward to CC \_\_\_\_\_

☐ Approved by Committee \_\_\_\_\_

☐ Bring back to Committee \_\_\_\_\_

☐ Informational Item

☐ Notes \_\_\_\_\_

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8. EDC 2022-21 Ordinance Approving the Second Amendment to the Annexation and Planned Unit Development Agreement for a Portion of the Windmill Farms Development (BW Properties Holdings, LLC/Bricolage Wellness, PLLC)

☐ Moved forward to CC \_\_\_\_\_

☐ Approved by Committee \_\_\_\_\_

☐ Bring back to Committee \_\_\_\_\_

☐ Informational Item

☐ Notes \_\_\_\_\_

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9. EDC 2022-22 Bristol Bay Unit 3 Final Plat Amendment

☐ Moved forward to CC \_\_\_\_\_

☐ Approved by Committee \_\_\_\_\_

☐ Bring back to Committee \_\_\_\_\_

☐ Informational Item

☐ Notes \_\_\_\_\_

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10. EDC 2022-23 Bristol Bay Unit 13 Final Plat

☐ Moved forward to CC \_\_\_\_\_

☐ Approved by Committee \_\_\_\_\_

☐ Bring back to Committee \_\_\_\_\_

☐ Informational Item

☐ Notes \_\_\_\_\_

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**ADDITIONAL BUSINESS:**  
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Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Minutes

Tracking Number

### Agenda Item Summary Memo

**Title:** Minutes of the Economic Development Committee – February 1, 2022

**Meeting and Date:** Economic Development Committee – April 5, 2022

**Synopsis:** \_\_\_\_\_  
\_\_\_\_\_

### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Majority

**Council Action Requested:** Committee Approval  
\_\_\_\_\_

**Submitted by:** Minute Taker

Name

Department

### Agenda Item Notes:

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**UNITED CITY OF YORKVILLE  
ECONOMIC DEVELOPMENT COMMITTEE**

**Tuesday, February 1, 2022, 6:00pm**

**City Council Chambers  
800 Game Farm Rd., Yorkville, IL**

**Note:** In accordance with Public Act 101-0640 and Gubernatorial Disaster Proclamation issued by Governor Pritzker pursuant to the powers vested in the Governor under the Illinois Emergency Management Agency Act, remote attendance was allowed for this meeting to encourage social distancing due to the ongoing Covid-19 pandemic.

**In Attendance:**

**Committee Members**

Chairman Jason Peterson/in-person

Alderman Ken Koch/in-person

Alderman Joe Plocher/in-person

Alderman Chris Funkhouser/in-person

**Other City Officials**

City Administrator Bart Olson/in-person

Assistant City Administrator Erin Willrett/electronic attendance

Community Development Director Krysti Barksdale-Noble/electronic attendance

Senior Planner Jason Engberg/electronic attendance

Alderman Craig Soling/in-person

Code Official Pete Ratos/electronic attendance

**Other Guests**

Lynn Dubajic Kellogg, City Consultant/in-person

Mike Williams, The Williams Group/in-person

Ed Williams, The Williams Group/in-person

The meeting was called to order at 6:00pm by Chairman Jason Peterson.

**Citizen Comments** None

**Minutes for Correction/Approval** January 4, 2022

The minutes were approved as presented.

**New Business**

***1. EDC 2022-08 Building Permit Report for December 2021***

Mr. Ratos reported 8 single-family attached homes with a total of 49 permits issued. This represents \$1.4 million in construction value which was down from last December.

Alderman Funkhouser asked if there was a difference in the increase between single-family homes month over month or year over year. Mr. Ratos said it was difficult to tell, but Lennar had obtained several permits earlier than usual so that foundations could be done.

**2. EDC 2022-09 Building Inspection Report for December 2021**

There were 695 inspections in December, mostly single family homes. Some are being outsourced, but a new inspector is being trained. No other new staff is anticipated for now. Mr. Ratos said B & F inspectors are handling some of the larger inspections such as Lennar.

**3. EDC 2022-10 Property Maintenance Report for December 2021**

In December there were 11 cases, primarily weeds and grass with some of those in Blackberry Woods Subdivision.

**4. EDC 2022-11 Economic Development Report for January 2022**

Ms. Dubajic Kellogg reported the following. She said The Williams Group was present tonight regarding a redevelopment agreement (see item #6 on agenda). She is also working on details for the Bright Farm. She said in July until mid-August, a group of 23 people from the CDC will be staying in Yorkville while they conduct a study of health and nutrition for kids and adults. It is one of 15 locations selected each year in the U.S. and this is the first time for Kendall County. Trailers will be set up by the county buildings for the study. She also reported Kendall Meat Market had a ribbon-cutting last week and will open in the coming week.

**5. EDC 2022-12 Resolution Approving an Intergovernmental Agreement for Reciprocal Building Inspection Services Between the United City of Yorkville and Kendall County**

Ms. Noble said this is the annual agreement update for the inspection services shared with Kendall County and begun in 2014. There are no changes to this agreement. She said the city did 10 inspections for the county in 2021. Committee members commented that it was beneficial to have backup if needed. Responding to a query by Chairman Peterson, the county has 1.5 inspectors on staff compared to 5 inspectors for the city. It is thought the county handles about 5-11 inspections a week.

**6. EDC 2022-13 Ordinance Approving a Redevelopment Agreement by and between the United City of Yorkville and the Williams Group, LLC**

A proposal was received from the Williams Group for redevelopment of the building on the southwest corner of the riverbank and Rt. 47. They are asking for TIF increment as it is generated on the building. Mr. Olson discussed the agreement and said the city is waiving half the permit fee in exchange for river frontage from the old post office to Rt. 47. He explained the TIF details and associated costs for this currently vacant property.

Along with a PowerPoint presentation, Mr. Mike Williams detailed their project and said there would be 3 retail units on the ground floor with one space already pre-leased for a tasting room. There will be 2 apartments on the second floor and a mead production facility in the basement. He discussed their budget with a breakdown of costs and Mr. Olson discussed a fee chart and discounts.

Committee members then shared comments and questions. Alderman Koch commented that the bike path near the building is in need of repair. Alderman Funkhouser said he



thinks the cost of rehab is somewhat light and Mr. Olson said the developers must turn in invoices and evidence of work completed prior to any disbursement.

Mr. Funkhouser asked if there are any plans to redevelop the other parts of the building. Mr. Williams stated there is a dog training facility there with a 3.5 year lease and it will remain. Mr. Peterson asked if there would be outdoor space with the meadory. Since there will be outdoor activity, possible noise was discussed, however, Mr. Olson said this type of business is not usually a noise-generator. A liquor license permit will also be needed.

The width of the easement along the river was discussed and it will run closer to the water's edge. Possible erosion control there was also questioned—this will be part of the permit process said Mr. Olson. Improvements of the trail would be done by the city. Dedicated parking for the apartments was also briefly mentioned. This item will move to the next City Council meeting on the regular agenda.

**Old Business:** None

**Additional Business:**

Alderman Funkhouser noted a law was recently passed expanding lobbying rules. City Attorney Orr is attempting to clarify the part regarding developers trying to solicit with the state to get approvals and if they could be considered lobbyists. Mr. Olson said municipal lobbying is currently not regulated.

There was no further business and the meeting adjourned at 6:35pm.

Minutes respectfully submitted by Marlys Young, Minute Taker/in-person



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #1

Tracking Number

EDC 2022-14

### Agenda Item Summary Memo

**Title:** Building Permit Reports for January and February 2022

**Meeting and Date:** Economic Development Committee – April 5, 2022

**Synopsis:** All permits issued in January and February 2022.

### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Informational

**Council Action Requested:** None

**Submitted by:** D. Weinert Community Development  
Name Department

### Agenda Item Notes:

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# UNITED CITY OF YORKVILLE

## BUILDING PERMIT REPORT

### January 2022

#### TYPES OF PERMITS

	Number of Permits Issued	SFD <i>Single Family Detached</i>	B.U.I.L.D <i>Single Family Detached Program Begins 1/1/2012</i>	SFA <i>Single Family Attached</i>	Multi- Family <i>Apartments Condominiums</i>	Commercial <i>Includes all Permits Issued for Commercial Use</i>	Industrial	Misc.	Construction Cost	Permit Fees
January 2022	58	14	0	0	0	7	0	37	3,615,286.00	94,653.90
Calendar Year 2022	58	14	0	0	0	7	0	37	3,615,286.00	94,653.90
Fiscal Year 2022	1176	164	0	136	0	82	0	794	55,134,663.00	1,998,786.79
January 2021	62	17	0	4	0	9	0	32	4,104,663.00	130,469.45
Calendar Year 2021	62	17	0	4	0	9	0	32	4,104,663.00	130,469.45
Fiscal Year 2021	1502	191	0	98	0	60	0	1153	52,877,347.00	2,415,297.71
January 2020	58	5	0	2	0	14	0	37	1,440,513.00	52,650.13
Calendar Year 2020	58	5	0	2	0	14	0	37	1,440,513.00	52,650.13
Fiscal Year 2020	1919	100	0	32	0	88	0	1699	43,104,963.00	1,301,870.12
January 2019	38	12	0	0	0	10	0	16	2,880,727.00	148,531.75
Calendar Year 2019	38	12	0	0	0	10	0	16	2,880,727.00	148,531.75
Fiscal Year 2019	737	181	0	0	0	85	0	471	42,189,360.00	1,597,354.03



# UNITED CITY OF YORKVILLE

## BUILDING PERMIT REPORT

### February 2022

#### TYPES OF PERMITS

	Number of Permits Issued	SFD <i>Single Family Detached</i>	B.U.I.L.D <i>Single Family Detached Program Begins 1/1/2012</i>	SFA <i>Single Family Attached</i>	Multi- Family <i>Apartments Condominiums</i>	Commercial <i>Includes all Permits Issued for Commercial Use</i>	Industrial	Misc.	Construction Cost	Permit Fees
February 2022	54	5	0	8	0	5	0	36	2,293,576.00	56,496.90
Calendar Year 2022	111	19	0	8	0	12	0	72	5,884,589.00	151,150.80
Fiscal Period 2022	1,229	169	0	144	0	87	0	829	57,403,966.00	2,062,133.69
February 2021	60	19	0	10	0	4	0	27	4,874,589.00	184,226.48
Calendar Year 2021	121	36	0	14	0	13	0	58	8,965,731.00	314,645.92
Fiscal Period 2021	1,561	210	0	108	0	64	0	1,179	57,738,415.00	2,606,674.19
February 2020	45	12	0	0	0	4	0	29	1,788,450.00	121,753.62
Calendar Year 2020	104	14	0	2	0	18	0	67	3,230,614.00	174,452.75
Fiscal Period 2020	1,965	112	0	32	0	92	0	1,729	44,895,064.00	1,426,273.74
February 2018	45	15	0	0	0	14	0	16	7,291,546.00	161,332.35
Calendar Year 2018	84	27	0	0	0	24	0	33	10,172,273.00	309,914.10
Fiscal Period 2018	783	196	0	0	0	99	0	488	49,480,906.00	1,763,636.38



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #2

Tracking Number

EDC 2022-15

### Agenda Item Summary Memo

**Title:** Building Inspection Reports for January and February 2022

**Meeting and Date:** Economic Development Committee – April 5, 2022

**Synopsis:** All inspections scheduled in January and February 2022.

### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Informational

**Council Action Requested:** None

**Submitted by:** D. Weinert Community Development  
Name Department

### Agenda Item Notes:

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DATE: 01/31/2022  
TIME: 10:58:03  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 1

INSPECTIONS SCHEDULED FROM 01/01/2022 TO 01/31/2022

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF		001-FOU FOUNDATION	20180071	841 GREENFIELD TURN	48		01/14/2022
		Comments1: 630-904-2288/SEE INSPECTION REPORT					
BF		AM 017-REI REINSPECTION	20201307	928 GILLESPIE LN	141		01/21/2022
		Comments1: 630-273-2528--FINALS BEM/FAILED BUILDING					
		Comments2: ONLY					
BF		AM 018-REI REINSPECTION				01/24/2022	
		Comments1: 630-273-2528/REINSPECTION FOR FINAL BUIL					
		Comments2: DING					
BF		AM 017-REI REINSPECTION	20201308	926 GILLESPIE LN	140		01/21/2022
		Comments1: 630-273-2528--FINALS BEM					
BC		010-RFR ROUGH FRAMING	20210151	3736 BAILEY RD	1351		01/28/2022
		Comments1: SEE INSPECTION REPORT					
BC		011-REL ROUGH ELECTRICAL					01/28/2022
BC		012-RMC ROUGH MECHANICAL					01/28/2022
PBF		013-PLR PLUMBING - ROUGH					01/28/2022
		Comments1: 224-358-1606					
BC		014-REI REINSPECTION				01/31/2022	
		Comments1: ROUGH-FRAME					
BC		010-RFR ROUGH FRAMING	20210152	3738 BAILEY RD	1352		01/24/2022
		Comments1: 224-358-1606					
BC		011-REL ROUGH ELECTRICAL					01/24/2022
BC		012-RMC ROUGH MECHANICAL					01/24/2022
PBF		013-PLR PLUMBING - ROUGH					01/24/2022
		Comments1: 224-358-1606/SEE INSPECTION REPORT					
PBF		014-REI REINSPECTION					01/27/2022
		Comments1: ROUGH PLUMBING REINSPECTION/224-358-1606					
		Comments2: --SEE INSPECTION REPORT					
BC		010-REL ROUGH ELECTRICAL	20210153	3740 BAILEY RD	1351		01/18/2022
BC		011-RFR ROUGH FRAMING					01/18/2022
BC		012-RMC ROUGH MECHANICAL					01/18/2022
PBF		013-PLR PLUMBING - ROUGH					01/18/2022
		Comments1: 224-358-1606					

DATE: 01/31/2022  
TIME: 10:58:03  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 2

INSPECTIONS SCHEDULED FROM 01/01/2022 TO 01/31/2022

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	014-INS INSULATION					01/24/2022
EEI	_____	017-EFL ENGINEERING - FINAL INSPE	20210154	3722 BAILEY RD	1361		01/14/2022
		Comments1: TEMP FOR MODEL USE					
BC	_____	018-FIN FINAL INSPECTION					01/21/2022
		Comments1: TEMP/MODEL					
BC	_____	019-FEL FINAL ELECTRIC					01/21/2022
BC	_____	020-FME FINAL MECHANICAL					01/21/2022
PBF	_____	021-PLF PLUMBING - FINAL OSR READ					01/14/2022
		Comments1: MODEL USE ZACH 224-340-5860					
PBF	_____	014-PLF PLUMBING - FINAL OSR READ	20210416	2072 WHITEKIRK LN	97		01/13/2022
		Comments1: DAVE 630-800-9005					
EEI	_____	015-EFL ENGINEERING - FINAL INSPE					01/13/2022
BC	_____	016-FIN FINAL INSPECTION					01/14/2022
BC	_____	017-EFL ENGINEERING - FINAL INSPE					01/14/2022
BC	_____	018-FME FINAL MECHANICAL					01/14/2022
EEI	_____	007-EFL ENGINEERING - FINAL INSPE	20210418	2082 WHITEKIRK LN	99		01/24/2022
		Comments1: WINTER CONDITIONS, OK TO TEMP/CORNER LOT					
BC	_____	015-FIN FINAL INSPECTION	20210421	2078 WHITEKIRK LN	98		01/10/2022
BC	_____	016-FEL FINAL ELECTRIC					01/10/2022
BC	_____	017-FME FINAL MECHANICAL					01/10/2022
PBF	_____	018-PLF PLUMBING - FINAL OSR READ					01/10/2022
		Comments1: DAVE 630-800-9005					
EEI	_____	019-EFL ENGINEERING - FINAL INSPE					01/07/2022
		Comments1: WINTER CONDITIONS, OK TO TEMP.					
BC	_____	015-FIN FINAL INSPECTION	20210425	512 WARBLER LN	359		01/13/2022
BC	_____	016-FEL FINAL ELECTRIC					01/13/2022
BC	_____	017-FME FINAL MECHANICAL					01/13/2022
PBF	_____	018-PLF PLUMBING - FINAL OSR READ					01/13/2022

DATE: 01/31/2022  
TIME: 10:58:03  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 3

INSPECTIONS SCHEDULED FROM 01/01/2022 TO 01/31/2022

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
EEI	_____	019-EFL ENGINEERING - FINAL INSPE					01/13/2022
		Comments1: PARKWAY TREE					
BC	_____	016-FIN FINAL INSPECTION	20210468	535 COACH RD	413		01/14/2022
BC	_____	017-FEL FINAL ELECTRIC					01/14/2022
BC	_____	018-FME FINAL MECHANICAL					01/14/2022
PBF	_____	019-PLF PLUMBING - FINAL OSR READ					01/14/2022
		Comments1: 847-456-8082					
EEI	_____	020-EFL ENGINEERING - FINAL INSPE					01/13/2022
		Comments1: NO PARKWAY TREE/PW DAMAGED, 1 SQUARE					
PR	_____	012-FIN FINAL INSPECTION	20210485	831 ALEXANDRA LN	26		01/11/2022
PR	_____	013-FEL FINAL ELECTRIC					01/11/2022
PR	_____	014-FME FINAL MECHANICAL					01/11/2022
PR	_____	015-PLF PLUMBING - FINAL OSR READ					01/11/2022
		Comments1: 630-977-1868 GARY					
EEI	_____	016-EFL ENGINEERING - FINAL INSPE					01/11/2022
		Comments1: WINTER CONDITIONS, OK TO TEMP					
BC	_____	018-FIN FINAL INSPECTION	20210513	567 COACH RD	416		01/10/2022
BC	_____	019-FEL FINAL ELECTRIC					01/10/2022
BC	_____	020-FME FINAL MECHANICAL					01/10/2022
PBF	_____	021-PLF PLUMBING - FINAL OSR READ					01/10/2022
		Comments1: 847-456-8082					
EEI	_____	022-EFL ENGINEERING - FINAL INSPE					01/10/2022
EEI	_____	013-EFL ENGINEERING - FINAL INSPE	20210530	2068 WHITEKIRK LN	96		01/13/2022
		Comments1: OK TO TEMP					
BC	_____	014-FIN FINAL INSPECTION					01/20/2022
BC	_____	015-FEL FINAL ELECTRIC					01/20/2022
BC	_____	016-FME FINAL MECHANICAL					01/20/2022
PBF	_____	017-PLF PLUMBING - FINAL OSR READ					01/20/2022
		Comments1: DAVE 630-800-9005					



DATE: 01/31/2022  
TIME: 10:58:03  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

PAGE: 4

INSPECTIONS SCHEDULED FROM 01/01/2022 TO 01/31/2022

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
GH		001-FIN FINAL INSPECTION	20210555	120 STRAWBERRY LN			01/13/2022
		Comments1: SHED					
BC		008-GPL GREEN PLATE INSPECTION	20210558	1232 HAWK HOLLOW DR	273		01/14/2022
BC		008-GPL GREEN PLATE INSPECTION	20210559	1234 HAWK HOLLOW DR	273		01/14/2022
EEI		AM 027-REI REINSPECTION	20210577	3965 SHOEGER DR	34		01/21/2022
		Comments1: BBOX 630-273-2528					
BC		016-FIN FINAL INSPECTION	20210684	1294 HAWK HOLLOW DR	267-1		01/27/2022
BC		017-FEL FINAL ELECTRIC					01/27/2022
BC		018-FME FINAL MECHANICAL					01/27/2022
PBF		019-PLF PLUMBING - FINAL OSR READ					01/27/2022
		Comments1: 630-549-9538					
EEI		020-EFL ENGINEERING - FINAL INSPE					01/27/2022
		Comments1: WINTER CONDITIONS, OK TO TEMP					
EEI		016-EFL ENGINEERING - FINAL INSPE	20210685	1292 HAWK HOLLOW DR	267-2		01/27/2022
		Comments1: WINTER CONDITIONS, OK TO TEMP					
BC		018-FIN FINAL INSPECTION	20210740	4877 W MILLBROOK CIR	156		01/06/2022
BC		019-FEL FINAL ELECTRIC					01/06/2022
BC		020-FME FINAL MECHANICAL					01/06/2022
PBF		021-PLF PLUMBING - FINAL OSR READ					01/06/2021
		Comments1: ANDREW 331-431-7342					
EEI		022-EFL ENGINEERING - FINAL INSPE					01/04/2022
		Comments1: WINTER CONDITIONS OK TO TEMP					
BC		016-FIN FINAL INSPECTION	20210741	4898 W MILLBROOK CIR	1		01/05/2022
BC		017-FEL FINAL ELECTRIC					01/05/2022
BC		018-FME FINAL MECHANICAL					01/05/2022
PBF		019-PLF PLUMBING - FINAL OSR READ					01/06/2022
		Comments1: ANDREW 331-431-7342					
EEI		020-EFL ENGINEERING - FINAL INSPE					01/04/2022
		Comments1: WINTER CONDITIONS OK TO TEMP					

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GH	_____	014-INS INSULATION	20210785	1284 HAWK HOLLOW DR	268		01/03/2022
GH	_____	015-STP STOOP Comments1: FRONT STOOP					01/14/2022
GH	_____	013-INS INSULATION	20210786	1282 HAWK HOLLOW DR	268		01/04/2022
GH	_____	014-STP STOOP Comments1: FRONT					01/14/2022
BF	_____	014-FIN FINAL INSPECTION	20210787	1159 HAWK HOLLOW DR	305		01/18/2022
BF	_____	015-FEL FINAL ELECTRIC					01/18/2022
BF	_____	016-FME FINAL MECHANICAL					01/18/2022
PBF	_____	017-PLF PLUMBING - FINAL OSR READ					01/18/2022
EEI	_____	018-EFL ENGINEERING - FINAL INSPE Comments1: PARKWAY TREE					01/18/2022
BF	_____	014-FIN FINAL INSPECTION	20210788	1161 HAWK HOLLOW DR	305		01/18/2022
BF	_____	015-FEL FINAL ELECTRIC					01/18/2022
BF	_____	016-FME FINAL MECHANICAL					01/18/2022
PBF	_____	017-PLF PLUMBING - FINAL OSR READ					01/18/2022
EEI	_____	018-EFL ENGINEERING - FINAL INSPE					01/18/2022
EEI	_____	014-EFL ENGINEERING - FINAL INSPE	20210789	1163 HAWK HOLLOW DR	305		01/18/2022
BC	_____	015-FIN FINAL INSPECTION					01/24/2022
BC	_____	016-FEL FINAL ELECTRIC					01/24/2022
BC	_____	017-FME FINAL MECHANICAL					01/24/2022
PBF	_____	018-PLF PLUMBING - FINAL OSR READ Comments1: 847-456-8082					01/24/2022
EEI	_____	015-EFL ENGINEERING - FINAL INSPE Comments1: PARKWAY TREE	20210790	1165 HAWK HOLLOW DR	305		01/18/2022
BC	_____	016-FIN FINAL INSPECTION					01/25/2022
BC	_____	017-FEL FINAL ELECTRIC					01/25/2022

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BC	_____	018-FME FINAL MECHANICAL					01/25/2022
PBF	_____	019-PLF PLUMBING - FINAL OSR READ Comments1: 847-456-8082					01/25/2022
GH	_____	002-FIN FINAL INSPECTION Comments1: FENCE - VINYL COATED CHAIN LINK	20210848	120 STRAWBERRY LN			01/13/2022
BC	_____	018-FIN FINAL INSPECTION	20210887	2220 HEARTHSTONE AVE	440	01/31/2022	
BC	_____	019-FEL FINAL ELECTRIC				01/31/2022	
BC	_____	020-FME FINAL MECHANICAL				01/31/2022	
PBF	_____	021-PLF PLUMBING - FINAL OSR READ Comments1: 847-456-8082				01/31/2022	
EEI	_____	022-EFL ENGINEERING - FINAL INSPE				01/31/2022	
BC	_____	008-REL ROUGH ELECTRICAL	20210892	1272 HAWK HOLLOW DR	2691	01/31/2022	
BC	_____	009-RFR ROUGH FRAMING				01/31/2022	
BC	_____	010-RMC ROUGH MECHANICAL				01/31/2022	
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: 630-549-9538				01/31/2022	
BC	_____	008-RFR ROUGH FRAMING	20210893	1274 HAWK HOLLOW DR	2691		01/27/2022
BC	_____	009-REL ROUGH ELECTRICAL Comments1: REINSPECT WITH INSULATION. SEE INSPECTI Comments2: ON TICKET					01/27/2022
BC	_____	010-RMC ROUGH MECHANICAL					01/27/2022
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: 630-549-9538					01/27/2022
GH	_____	001-FIN FINAL INSPECTION Comments1: SIDING	20210904	1981 BANBURY AVE	28		01/21/2022
PR	_____	019-FIN FINAL INSPECTION	20210940	701 OMAHA DR	13		01/10/2022
PR	_____	020-FEL FINAL ELECTRIC					01/10/2022
PR	_____	021-FME FINAL MECHANICAL					01/10/2022

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PR	_____	022-PLF PLUMBING - FINAL OSR READ					01/10/2022
EEI	_____	023-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS OK TO TEMP					01/10/2022
EEI	_____	024-EFL ENGINEERING - FINAL INSPE				01/14/2022	
PR	_____	017-FIN FINAL INSPECTION	20210942	2954 OLD GLORY DR	265		01/18/2022
PR	_____	018-FEL FINAL ELECTRIC					01/18/2022
PR	_____	019-FME FINAL MECHANICAL					01/18/2022
PR	_____	020-PLF PLUMBING - FINAL OSR READ					01/18/2022
EEI	_____	021-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS OK TO TEMP					01/18/2022
BC	_____	014-FIN FINAL INSPECTION	20210950	3125 JUSTICE DR	686		01/07/2022
BC	_____	015-FEL FINAL ELECTRIC					01/07/2022
BC	_____	016-FME FINAL MECHANICAL					01/07/2022
PBF	_____	017-PLF PLUMBING - FINAL OSR READ					01/07/2022
EEI	_____	018-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITION OK TO TEMP					01/06/2022
BF	_____	002-FOU FOUNDATION Comments1: 845-456-8082	20210953	1254 HAWK HOLLOW DR	271-1		01/04/2022
BF	_____	003-BKF BACKFILL					01/13/2022
PBF	_____	AM 004-WSS WATER & STORM SEWER					01/18/2022
BF	_____	002-FOU FOUNDATION Comments1: 847-456-8082	20210954	1252 HAWK HOLLOW DR	271-2		01/04/2022
BF	_____	003-BKF BACKFILL					01/13/2022
PBF	_____	AM 004-WSS WATER & STORM SEWER					01/18/2022
BC	_____	016-FIN FINAL INSPECTION	20210974	2721 POTTER CT	142		01/14/2022
BC	_____	017-FEL FINAL ELECTRIC					01/14/2022
BC	_____	018-FME FINAL MECHANICAL					01/14/2022

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PBF		019-PLF PLUMBING - FINAL OSR READ Comments1: 331-223-6615					01/14/2022
EEI		020-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS OK TO TEMP					01/18/2022
BC		013-RFR ROUGH FRAMING Comments1: DECK/SEE INSPECTION TICKET	20210975	2725 POTTER CT	143		01/04/2022
BC		014-REI REINSPECTION Comments1: ROUGH FRAMING/DECK					01/11/2022
EEI		015-EFL ENGINEERING - FINAL INSPE Comments1: OK TO TEMP					01/18/2022
BC		PM 016-FIN FINAL INSPECTION					01/19/2022
BC		PM 017-FEL FINAL ELECTRIC					01/19/2022
BC		PM 018-FME FINAL MECHANICAL					01/19/2022
PBF		PM 019-PLF PLUMBING - FINAL OSR READ Comments1: 331-431-7342					01/19/2022
BC		018-FIN FINAL INSPECTION	20210980	2202 HEARTHSTONE AVE	439		01/18/2022
BC		019-FEL FINAL ELECTRIC					01/18/2022
BC		020-FME FINAL MECHANICAL					01/18/2022
PBF		021-PLF PLUMBING - FINAL OSR READ					01/18/2022
EEI		022-EFL ENGINEERING - FINAL INSPE Comments1: PARKWAY TREE					01/18/2022
GH		008-INS INSULATION	20210981	1154 HAWK HOLLOW DR	304-4		01/05/2022
BC		009-RFR ROUGH FRAMING					01/03/2022
BC		010-REL ROUGH ELECTRICAL					01/03/2022
BC		011-RMC ROUGH MECHANICAL					01/03/2022
PBF		012-PLR PLUMBING - ROUGH Comments1: 847-456-8082/SEE INSPECTION REPORT					01/03/2022
GH		010-INS INSULATION	20210982	1156 HAWK HOLLOW DR	304-3		01/04/2022

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BC	_____	013-FIN FINAL INSPECTION	20211004	3109 JUSTICE DR	684		01/26/2022
BC	_____	014-FEL FINAL ELECTRIC					01/26/2022
BC	_____	015-FME FINAL MECHANICAL					01/26/2022
PBF	_____	AM 016-PLF PLUMBING - FINAL OSR READ Comments1: 224-340-5860					01/27/2022
EEI	_____	017-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS, OK TO TEMP					01/27/2022
GH	_____	011-INS INSULATION	20211012	840 ALEXANDRA LN	40		01/04/2022
BC	_____	009-RFR ROUGH FRAMING	20211040	2161 COUNTRY HILLS DR	445		01/04/2022
BC	_____	010-REL ROUGH ELECTRICAL					01/04/2022
BC	_____	011-RMC ROUGH MECHANICAL					01/04/2022
PBF	_____	012-PLR PLUMBING - ROUGH Comments1: GEORGE 630-549-9538					01/04/2022
GH	_____	013-INS INSULATION					01/06/2022
BF	_____	009-REL ROUGH ELECTRICAL Comments1: 847-456-8082/SEE INSPECTION REPORT	20211041	2141 COUNTRY HILLS DR	446		01/18/2022
BF	_____	010-RFR ROUGH FRAMING Comments1: SEE INSPECTION REPORT					01/18/2022
BF	_____	011-RMC ROUGH MECHANICAL Comments1: SEE INSPECTION REPORT					01/18/2022
PBF	_____	012-PLR PLUMBING - ROUGH					01/18/2022
GH	_____	013-INS INSULATION					01/20/2022
BC	_____	AM 009-RFR ROUGH FRAMING	20211042	2121 COUNTRY HILLS DR	447		01/21/2022
BC	_____	AM 010-REL ROUGH ELECTRICAL					01/21/2022
BC	_____	AM 011-RMC ROUGH MECHANICAL					01/21/2022
PBF	_____	AM 012-PLR PLUMBING - ROUGH Comments1: 847-456-8082					01/21/2022
GH	_____	013-INS INSULATION					01/25/2022

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INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	015-FIN FINAL INSPECTION	20211073	2058 SQUIRE CIR	188		01/18/2022
BF	_____	016-FEL FINAL ELECTRIC					01/18/2022
BF	_____	017-FME FINAL MECHANICAL					01/18/2022
PBF	_____	018-PLF PLUMBING - FINAL OSR READ					01/18/2022
EEI	_____	019-EFL ENGINEERING - FINAL INSPE Comments1: TEMP					01/18/2022
EEI	_____	013-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS OK TO TEMP	20211074	2851 ALDEN AVE	288		01/18/2022
BF	_____	014-FIN FINAL INSPECTION Comments1: LALO 224-575-6665				01/24/2022	
BF	_____	015-FEL FINAL ELECTRIC				01/24/2022	
BF	_____	016-FME FINAL MECHANICAL				01/24/2022	
PBF	_____	017-PLF PLUMBING - FINAL OSR READ Comments1: LALO 224-575-6665					01/24/2022
BC	_____	008-REL ROUGH ELECTRICAL Comments1: CANCEL	20211098	2078 ABERDEEN CT	103	01/06/2022	
BC	_____	009-RFR ROUGH FRAMING Comments1: CANCEL				01/06/2022	
BC	_____	010-RMC ROUGH MECHANICAL Comments1: CANCEL				01/06/2022	
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: SEE INSPECTION REPORT					01/06/2022
BC	_____	012-REL ROUGH ELECTRICAL					01/13/2022
BC	_____	013-RFR ROUGH FRAMING					01/13/2022
BC	_____	014-RMC ROUGH MECHANICAL					01/13/2022
GH	_____	015-INS INSULATION					01/18/2022
GH	_____	014-INS INSULATION Comments1: OKAY TO DRYWALL HOUSE ONLY, NOT GARAGE	20211100	2068 ABERDEEN CT	102		01/07/2022
GH	_____	015-INS INSULATION Comments1: GARAGE ONLY - NEED TO ADD BLOWN-IN OR BA Comments2: TTS IN SOFFIT NEAR GARAGE SERVICE DOOR					01/12/2022

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BF	_____	012-FIN FINAL INSPECTION Comments1: 690-800-9005	20211101	2077 ABERDEEN CT	100		01/24/2022
BF	_____	013-FEL FINAL ELECTRIC					01/24/2022
BF	_____	014-FME FINAL MECHANICAL					01/24/2022
PBF	_____	015-PLF PLUMBING - FINAL OSR READ Comments1: 630-800-9005					01/24/2022
EEI	_____	016-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS, OK TO TEMP					01/24/2022
BC	_____	017-REI REINSPECTION Comments1: BUILDING REINSPECTION					01/25/2022
BC	_____	008-REL ROUGH ELECTRICAL	20211121	2466 JUSTICE CT	621		01/07/2022
BC	_____	009-RFR ROUGH FRAMING					01/07/2022
BC	_____	010-RMC ROUGH MECHANICAL					01/07/2022
PBF	_____	011-PLR PLUMBING - ROUGH					01/07/2022
GH	_____	012-INS INSULATION					01/11/2022
GH	_____	012-INS INSULATION	20211122	2471 JUSTICE CT	620		01/03/2022
BC	_____	001-MIS MISCELLANEOUS Comments1: PATIO DOOR/FINAL	20211135	2710 GOLDENROD DR	245		01/11/2022
BC	_____	011-GAR GARAGE FLOOR	20211140	1106 CARLY DR	27		01/03/2022
PR	_____	006-RFR ROUGH FRAMING	20211141	966 S CARLY CIR	104		01/18/2022
PR	_____	007-REL ROUGH ELECTRICAL					01/18/2022
PR	_____	008-RMC ROUGH MECHANICAL					01/18/2022
PR	_____	009-PLR PLUMBING - ROUGH					01/18/2022
PR	_____	010-INS INSULATION					01/24/2022
EEI	_____	AM 016-EFL ENGINEERING - FINAL INSPE Comments1: 630-365-7229/OSR NOT INSTALLED	20211144	3986 SHOEGER CT	25		01/05/2022
BF	_____	017-FIN FINAL INSPECTION					01/05/2022



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BF	_____	018-FEL FINAL ELECTRIC					01/05/2022
BF	_____	019-FME FINAL MECHANICAL					01/05/2022
PBF	_____	020-PLF PLUMBING - FINAL OSR READ Comments1: 630-365-7229					01/05/2022
PWK	_____	021-REI REINSPECTION Comments1: OUTSIDE READER/FINAL ENGINEERING					01/06/2022
BF	_____	AM 022-REI REINSPECTION Comments1: ABBY 630-365-7229 BUILDING					01/12/2022
PBF	_____	AM 023-REI REINSPECTION Comments1: PLUMBING 630-365-7229					01/13/2022
EEI	_____	AM 018-EFL ENGINEERING - FINAL INSPE Comments1: OSR NOT INST	20211145	3988 SHOEGER CT	25		01/05/2022
PWK	_____	019-REI REINSPECTION Comments1: OUTSIDE READER/FINAL ENGINEERING					01/06/2022
BF	_____	AM 020-FIN FINAL INSPECTION Comments1: 630-365-7229					01/25/2022
BF	_____	AM 021-FEL FINAL ELECTRIC Comments1: SEE INSPECTION REPORT					01/25/2022
BF	_____	AM 022-FME FINAL MECHANICAL					01/25/2022
PBF	_____	AM 023-PLF PLUMBING - FINAL OSR READ Comments1: 630-365-7229					01/25/2022
BF	_____	PM 024-REI REINSPECTION Comments1: FINAL ELECTRIC/630-365-7229					01/27/2022
BF	_____	AM 015-INS INSULATION Comments1: 630-365-7229/SEE INSPECTION REPORT	20211146	4023 SHOEGER CT	26		01/03/2022
BF	_____	AM 011-RFR ROUGH FRAMING Comments1: ABBY 630-365-7229	20211147	4025 SHOEGER CT	26		01/10/2022
BF	_____	012-REL ROUGH ELECTRICAL					01/10/2022
BF	_____	013-RMC ROUGH MECHANICAL					01/10/2022
BF	_____	AM 015-INS INSULATION					01/12/2022

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BF	_____	AM 016-FIN FINAL INSPECTION	20211148	4043 SHOEGER CT	27		01/04/2022
		Comments1: 630-365-7229/SEE INSPECTION REPORT					
BF	_____	AM 017-FEL FINAL ELECTRIC					01/04/2022
BF	_____	AM 018-FME FINAL MECHANICAL					01/04/2022
PBF	_____	AM 019-PLF PLUMBING - FINAL OSR READ					01/03/2022
		Comments1: 630-365-7229					
EEI	_____	AM 020-EFL ENGINEERING - FINAL INSPE					01/05/2022
		Comments1: WINTER CONDITIONS, OK TO TEMP					
BF	_____	021-FIN FINAL INSPECTION					01/05/2022
BF	_____	AM 016-FIN FINAL INSPECTION	20211149	4045 SHOEGER CT	27		01/03/2022
		Comments1: 630-365-7229					
BF	_____	AM 017-FEL FINAL ELECTRIC					01/03/2022
		Comments1: SEE INSPECTION REPORT					
BF	_____	AM 018-FME FINAL MECHANICAL					01/03/2022
		Comments1: SEE INSPECTION REPORT					
PBF	_____	AM 019-PLF PLUMBING - FINAL OSR READ					01/03/2022
		Comments1: 630-365-7229/SEE INSPECTION REPORT					
EEI	_____	AM 020-EFL ENGINEERING - FINAL INSPE					01/05/2022
		Comments1: WINTER CONDITIONS, OK TO TEMP					
BF	_____	021-FIN FINAL INSPECTION					01/05/2022
		Comments1: REINSPECTION					
BF	_____	023-FME FINAL MECHANICAL					01/05/2022
		Comments1: REINSPECTION					
BF	_____	AM 018-FIN FINAL INSPECTION	20211150	4063 SHOEGER CT	28		01/04/2022
		Comments1: 630-365-7229/SEE INSPECTION REPORT					
BF	_____	AM 019-FEL FINAL ELECTRIC					01/04/2022
BF	_____	AM 020-FME FINAL MECHANICAL					01/04/2022
PBF	_____	AM 021-PLF PLUMBING - FINAL OSR READ				01/04/2022	
		Comments1: 630-365-7229					
EEI	_____	AM 022-EFL ENGINEERING - FINAL INSPE					01/05/2022
		Comments1: WINTER CONDITIONS, OK TO TEMP					

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BF	_____	023-FIN FINAL INSPECTION					01/03/2022
BF	_____	024-FEL FINAL ELECTRIC					01/03/2022
BF	_____	025-FME FINAL MECHANICAL					01/03/2022
PBF	_____	026-PLF PLUMBING - FINAL OSR READ					01/04/2022
BF	_____	027-FIN FINAL INSPECTION Comments1: REINSPECTION 630-365-7229					01/05/2022
EEI	_____	AM 018-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS, OK TO TEMP	20211151	4065 SHOEGER CT	28		01/05/2022
BF	_____	AM 019-FIN FINAL INSPECTION					01/21/2021
BF	_____	AM 020-FEL FINAL ELECTRIC					01/21/2022
BF	_____	AM 021-FME FINAL MECHANICAL					01/21/2022
PBF	_____	AM 022-PLF PLUMBING - FINAL OSR READ				01/21/2022	
BF	_____	AM 023-REI REINSPECTION Comments1: 630-365-7229/REINSPECTION B AND E					01/25/2022
PBF	_____	024-REI REINSPECTION Comments1: FINAL PLUMBING 630-365-7229					01/27/2022
BC	_____	015-FIN FINAL INSPECTION	20211161	2710 NICKERSON CT	167		01/26/2022
BC	_____	016-FEL FINAL ELECTRIC					01/26/2022
BC	_____	017-FME FINAL MECHANICAL					01/26/2022
PBF	_____	018-PLF PLUMBING - FINAL OSR READ Comments1: 331-431-7342					01/27/2022
EEI	_____	019-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS, OK TO TEMP					01/27/2022
EEI	_____	017-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS OK TO TEMP	20211162	2056 SQUIRE CIR	189		01/18/2022
BF	_____	018-FIN FINAL INSPECTION Comments1: LALO 224-575-6665				01/24/2022	
BF	_____	019-FEL FINAL ELECTRIC				01/24/2022	

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BF	_____	020-FME FINAL MECHANICAL				01/24/2022	
PBF	_____	021-PLF PLUMBING - FINAL OSR READ Comments1: LALO 224-575-6665					01/24/2022
BF	_____	007-REL ROUGH ELECTRICAL Comments1: 847-456-8082	20211179	1151 HAWK HOLLOW DR	306		01/18/2022
BF	_____	008-RFR ROUGH FRAMING					01/18/2022
BF	_____	009-RMC ROUGH MECHANICAL					01/18/2022
PBF	_____	010-PLR PLUMBING - ROUGH Comments1: 847-456-8082					01/18/2022
GH	_____	011-INS INSULATION					01/21/2022
BC	_____	007-REL ROUGH ELECTRICAL	20211180	1153 HAWK HOLLOW DR	306		01/20/2022
BC	_____	008-RFR ROUGH FRAMING					01/20/2022
BC	_____	009-RMC ROUGH MECHANICAL					01/20/2022
PBF	_____	010-PLR PLUMBING - ROUGH Comments1: 847-456-8082					01/20/2022
BC	_____	011-INS INSULATION					01/24/2022
BC	_____	007-REL ROUGH ELECTRICAL Comments1: FAILED. SEE INSPECTION TICKET	20211181	1155 HAWK HOLLOW DR	306		01/27/2022
BC	_____	008-RFR ROUGH FRAMING Comments1: FAILED. SEE INSPECTION TICKET					01/27/2022
BC	_____	009-RMC ROUGH MECHANICAL					01/27/2022
PBF	_____	010-PLR PLUMBING - ROUGH Comments1: 847-456-8082					01/27/2022
GH	_____	011-INS INSULATION				01/31/2022	
GH	_____	013-INS INSULATION	20211240	601 ASHWORTH LN	514		01/03/2022
BC	_____	007-RFR ROUGH FRAMING Comments1: ANDREW 331-431-7342	20211243	2719 POTTER CT	141		01/04/2022
BC	_____	008-REL ROUGH ELECTRICAL					01/04/2022

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BC	_____	009-RMC ROUGH MECHANICAL					01/04/2022
PBF	_____	010-PLR PLUMBING - ROUGH Comments1: ANDREW 331-431-7342					01/04/2022
GH	_____	AM 011-INS INSULATION					01/07/2022
GH	_____	AM 012-GAR GARAGE FLOOR				01/31/2022	
GH	_____	AM 013-STP STOOP				01/31/2022	
GH	_____	013-INS INSULATION	20211244	2902 ALDEN AVE	323		01/03/2022
BF	_____	012-FIN FINAL INSPECTION Comments1: 630-800-9005	20211258	2067 ABERDEEN CT	101		01/24/2022
BF	_____	013-FEL FINAL ELECTRIC					01/24/2022
BF	_____	014-FME FINAL MECHANICAL					01/24/2022
PBF	_____	015-PLF PLUMBING - FINAL OSR READ Comments1: 630-800-9005					01/24/2022
EEI	_____	016-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS, OK TO TEMP					01/24/2022
BC	_____	017-REI REINSPECTION Comments1: BUILDING REINSPECTION					01/25/2022
BF	_____	008-RFR ROUGH FRAMING	20211272	4822 W MILLBROOK CIR	11		01/27/2022
BF	_____	009-REL ROUGH ELECTRICAL					01/27/2022
BF	_____	010-RMC ROUGH MECHANICAL					01/27/2022
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: 331-431-7342--SEE INSPECTION REPORT					01/27/2022
GH	_____	AM 012-INS INSULATION				01/31/2022	
BC	_____	001-FIN FINAL INSPECTION Comments1: GARAGE SERVICE DOOR--603-521-0444	20211275	1305 EVERGREEN LN	168		01/18/2022
BC	_____	007-GPL GREEN PLATE INSPECTION	20211292	3108 JUSTICE DR	624		01/19/2022
EEI	_____	014-EFL ENGINEERING - FINAL INSPE	20211308	2082 WHITEKIRK LN	99	01/24/2022	
BC	_____	008-REL ROUGH ELECTRICAL	20211310	2875 ROOD ST	319		01/05/2022

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BC	_____	009-RFR ROUGH FRAMING					01/05/2022
BC	_____	010-RMC ROUGH MECHANICAL					01/05/2022
PBF	_____	011-PLR PLUMBING - ROUGH					01/05/2022
GH	_____	012-INS INSULATION					01/07/2022
		Comments1: MISSING INSULATION OVER 1ST FLOOR BEDROO					
		Comments2: M WINDOW - SEND PICTURE WHEN CORRECTED.					
BC	_____	007-REL ROUGH ELECTRICAL	20211311	2898 ALDEN AVE	324		01/20/2022
BC	_____	008-RFR ROUGH FRAMING					01/20/2022
BC	_____	009-RMC ROUGH MECHANICAL					01/20/2022
PBF	_____	010-PLR PLUMBING - ROUGH					01/20/2022
GH	_____	011-INS INSULATION					01/25/2022
		Comments1: 1ST AM					
BF	_____	AM 012-PPS PRE-POUR, SLAB ON GRADE					01/18/2022
		Comments1: GARAGE AND STOOPS 815-839-8175					
BF	_____	AM 003-BKF BACKFILL	20211318	2288 RICHMOND AVE	475		01/03/2022
		Comments1: 847-551-9066/SEE INSPECTION REPORT					
PBF	_____	AM 004-ESW ENGINEERING - SEWER / WAT					01/05/2022
		Comments1: LATE MORNING PLEASE, 630-387-2001					
PBF	_____	AM 008-WAT WATER	20211335	4005 BRADY ST	8		01/20/2022
		Comments1: WINNINGER 630-364-8785					
BF	_____	AM 009-ELE ELECTRIC SERVICE	20211336	4043 BRADY ST	10		01/28/2022
BF	_____	009-ELE ELECTRIC SERVICE	20211337	4045 BRADY ST	10		01/28/2022
BF	_____	AM 009-ELE ELECTRIC SERVICE	20211338	4065 BRADY ST	11		01/28/2022
BF	_____	AM 009-ELE ELECTRIC SERVICE	20211339	4063 BRADY ST	11		01/28/2022
BF	_____	AM 008-ELE ELECTRIC SERVICE	20211340	4085 BRADY ST	12		01/28/2022
BF	_____	AM 008-ELE ELECTRIC SERVICE	20211341	4083 BRADY ST	12		01/28/2022
PBF	_____	007-WAT WATER	20211361	4097 BRADY ST	13		01/19/2022
		Comments1: WINNINGER 630-364-8785					

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BF	_____	AM 008-ELE ELECTRIC SERVICE					01/28/2022
PBF	_____	007-WAT WATER Comments1: WINNINGER 630-364-8785	20211362	4099 BRADY ST	13		01/19/2022
BF	_____	AM 008-ELE ELECTRIC SERVICE					01/28/2022
PR	_____	PM 008-FIN FINAL INSPECTION Comments1: GEORGE 630-327-1271	20211389	731 ERICA LN		01/20/2022	
PR	_____	009-FEL FINAL ELECTRIC				01/20/2022	
PR	_____	010-FME FINAL MECHANICAL				01/20/2022	
PR	_____	011-PLF PLUMBING - FINAL OSR READ				01/20/2022	
AS	_____	013-FIN FINAL INSPECTION				01/25/2022	
GH	_____	006-STP STOOP	20211400	3277 SEELEY ST	805		01/19/2022
BF	_____	007-RFR ROUGH FRAMING Comments1: 224-358-1606				01/31/2022	
BF	_____	008-REL ROUGH ELECTRICAL				01/31/2022	
BF	_____	009-RMC ROUGH MECHANICAL				01/31/2022	
PBF	_____	010-PLR PLUMBING - ROUGH Comments1: 224-358-1606				01/31/2022	
BC	_____	AM 001-FTG FOOTING	20211435	2182 FAIRFAX WAY	510		01/14/2022
BF	_____	AM 002-FOU FOUNDATION Comments1: SEE INSPECTION REPORT					01/18/2022
BF	_____	AM 003-BKF BACKFILL					01/24/2022
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT				01/27/2022	
BC	_____	003-BKF BACKFILL	20211459	3801 BISSEL DR	122-1		01/03/2022
PBF	_____	PM 004-WAT WATER Comments1: 847-526-3788					01/18/2022
BC	_____	003-BKF BACKFILL	20211460	3803 BISSEL DR	122-2		01/03/2022
PBF	_____	PM 004-WAT WATER Comments1: 847-526-3788					01/18/2022

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BC	_____	003-BKF BACKFILL	20211461	3805 BISSEL DR	122-3		01/03/2022
PBF	_____	PM 004-WAT WATER Comments1: 847-526-3788					01/18/2022
BC	_____	003-BKF BACKFILL	20211462	3807 BISSEL DR	122-4		01/03/2022
PBF	_____	PM 004-WAT WATER					01/18/2022
BC	_____	003-BKF BACKFILL	20211463	3809 BISSEL DR	122-5		01/03/2022
PBF	_____	PM 004-WAT WATER					01/18/2022
BC	_____	AM 005-GPL GREEN PLATE INSPECTION Comments1: SEE INSPECTION REPORT	20211480	4814 W MILLBROOK CIR	12		01/19/2022
BC	_____	006-GPL GREEN PLATE INSPECTION Comments1: REINSPECTION					01/20/2022
PBF	_____	007-PLU PLUMBING - UNDERSLAB Comments1: 331-431-7342					01/27/2022
BC	_____	AM 008-BSM BASEMENT FLOOR					01/28/2022
BF	_____	AM 003-BKF BACKFILL Comments1: 847-551-9066	20211484	2276 FAIRFAX WAY	503	01/03/2022	
BF	_____	AM 004-FOU FOUNDATION Comments1: SEE INSPECTION REPORT					01/04/2022
PBF	_____	AM 005-ESW ENGINEERING - SEWER / WAT Comments1: LATE MORNING, PLEASE/630-387-2001					01/05/2022
PR	_____	003-PLU PLUMBING - UNDERSLAB	20211491	1010 N BRIDGE ST		01/21/2022	
PR	_____	004-PPS PRE-POUR, SLAB ON GRADE				01/21/2022	
BC	_____	001-FIN FINAL INSPECTION Comments1: WINDOWS	20211495	4534 MARQUETTE ST	1218		01/25/2022
BC	_____	AM 006-BSM BASEMENT FLOOR	20211528	2142 WHITEKIRK LN	107		01/14/2022
PBF	_____	006-ESW ENGINEERING - SEWER / WAT Comments1: MIKE 815-210-3338 cancel	20211529	2162 WHITEKIRK LN	108	01/13/2022	
PBF	_____	007-ESW ENGINEERING - SEWER / WAT Comments1: MIKE 815-210-3338					01/14/2022



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BC	_____	AM 008-BSM BASEMENT FLOOR Comments1: CANCELLED				01/14/2022	
BC	_____	009-BSM BASEMENT FLOOR					01/18/2022
BF	_____	007-REL ROUGH ELECTRICAL Comments1: SEE INSPECTION REPORT	20211530	2112 WHITEKIRK LN	105		01/18/2022
BF	_____	008-RFR ROUGH FRAMING Comments1: SEE INSPECTION REPORT					01/18/2022
BF	_____	009-RMC ROUGH MECHANICAL Comments1: SEE INSPECTION REPORT					01/18/2022
PBF	_____	010-PLR PLUMBING - ROUGH					01/18/2022
GH	_____	011-INS INSULATION					01/21/2022
GH	_____	AM 012-REI REINSPECTION Comments1: MISSING INSULATION AT BASEMENT LANDING, Comments2: STEVE TO SEND PICTURE WHEN COMPLETED					01/26/2022
BC	_____	007-RFR ROUGH FRAMING	20211531	2122 WHITEKIRK LN	106		01/25/2022
BC	_____	008-REL ROUGH ELECTRICAL					01/25/2022
BC	_____	009-RMC ROUGH MECHANICAL					01/25/2022
PBF	_____	010-PLR PLUMBING - ROUGH Comments1: 630-546-1085/SEE INSPECTION REPORT					01/24/2022
GH	_____	011-INS INSULATION Comments1: NEED TO NET AND BLOW INSULATION IN GARAG Comments2: E CEILING (BEDROOM ABOVE)					01/27/2022
GH	_____	012-REI REINSPECTION Comments1: INSULATION - GARAGE NET & BLOW					01/31/2022
BC	_____	008-RFR ROUGH FRAMING Comments1: MARCUS 630-248-0918	20211540	722 OMAHA DR	46		01/13/2022
BC	_____	009-REL ROUGH ELECTRICAL					01/13/2022
BC	_____	010-RMC ROUGH MECHANICAL					01/13/2022
PBF	_____	011-PLR PLUMBING - ROUGH					01/13/2022
BC	_____	AM 012-INS INSULATION Comments1: MARCUS 630-248-0918					01/24/2022

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BC		013-REI REINSPECTION Comments1: MECHANICAL REINSPECTION					01/24/2022
BF		001-FIN FINAL INSPECTION Comments1: SOLAR EDDY 801-837-4586/CANCELLED	20211541	1172 MIDNIGHT PL	301	01/07/2022	
BF		002-FEL FINAL ELECTRIC Comments1: SOLAR EDDY 801-837-4586/CANCELLED				01/07/2022	
BF		003-FIN FINAL INSPECTION Comments1: SOLAR					01/13/2022
BF		AM 004-FEL FINAL ELECTRIC Comments1: 801-837-4586 EDDY					01/13/2022
BF		AM 005-REI REINSPECTION Comments1: EDDY 801-837-4586					01/20/2022
BF		AM 001-FIN FINAL INSPECTION Comments1: SOLAR JOSH 224-330-9458	20211547	494 WINTERBERRY DR	92		01/05/2022
BF		AM 002-FEL FINAL ELECTRIC Comments1: SOLAR					01/05/2022
BF		AM 006-BSM BASEMENT FLOOR	20211573	2881 ALDEN AVE	293		01/05/2022
BC		AM 006-BSM BASEMENT FLOOR	20211605	2056 DUNBAR CT	94		01/28/2022
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: James 331-223-6615	20211607	3002 MCLELLAN BLVD	526		01/18/2022
BC		AM 006-BSM BASEMENT FLOOR					01/18/2022
BC		AM 007-BSM BASEMENT FLOOR					01/19/2022
BC		003-FIN FINAL INSPECTION Comments1: SEE INSPECTION REPORT	20211627	1162 TAUS CIR	126		01/21/2022
BF		AM 001-FIN FINAL INSPECTION Comments1: SOLAR/ DAN- 630-401-5867	20211643	742 KENTSHIRE DR	116	01/31/2022	
BF		AM 002-FEL FINAL ELECTRIC				01/31/2022	
GH	10:30	001-PHF POST HOLE - FENCE	20211654	808 BEHRENS ST			01/18/2022
BC		AM 001-FTG FOOTING	20211660	2362 RICHMOND AVE	480		01/14/2022
BF		AM 002-FOU FOUNDATION					01/18/2022

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BF	_____	AM 003-BKF BACKFILL					01/24/2022
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT				01/27/2022	
BF	_____	001-FIN FINAL INSPECTION	20211674	656 MANCHESTER LN	381	01/07/2022	
		Comments1: SOLAR EDDY 801-837-4586/CANCELLED					
BF	_____	002-FEL FINAL ELECTRIC				01/07/2022	
		Comments1: SOLAR/CANCELLED					
BF	_____	AM 003-FIN FINAL INSPECTION					01/13/2022
		Comments1: SOLAR					
BF	_____	004-FEL FINAL ELECTRIC					01/13/2022
		Comments1: 801-837-4586 EDDY					
BF	_____	AM 003-BKF BACKFILL	20211676	2722 POTTER CT	145		01/04/2022
		Comments1: MDW 815-839-8175					
PBF	_____	PM 004-WAT WATER					01/05/2022
		Comments1: 630-492-7635					
PR	_____	003-RFR ROUGH FRAMING	20211678	1002 S BRIDGE ST			01/11/2022
BC	_____	001-FTG FOOTING	20211683	2892 ROOD ST	304		01/12/2022
BF	_____	PM 002-FOU FOUNDATION					01/14/2022
		Comments1: SEE INSPECTION REPORT					
PBF	_____	PM 003-WAT WATER					01/19/2022
		Comments1: AL'S 630-492-7635					
BF	_____	AM 004-BKF BACKFILL					01/19/2022
PBF	_____	AM 005-REI REINSPECTION				01/20/2022	
		Comments1: CANCELLED DONE 1/19/22					
BC	_____	PM 006-GPL GREEN PLATE INSPECTION				01/31/2022	
BF	_____	AM 001-FTG FOOTING	20211685	3063 GRANDE TR	556		01/19/2022
BF	_____	PM 002-FOU FOUNDATION					01/20/2022
		Comments1: MIDWEST 815-839-8175					
BF	_____	AM 003-BKF BACKFILL					01/27/2022
BF	_____	AM 003-BKF BACKFILL	20211686	3053 GRANDE TR	558		01/04/2022
		Comments1: MDW 815-839-8175					

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PBF	_____	PM 004-WAT WATER					01/05/2022
		Comments1: 630-492-7635					
BC	_____	005-GPL GREEN PLATE INSPECTION					01/19/2022
PBF	_____	006-PLU PLUMBING - UNDERSLAB					01/27/2022
		Comments1: 331-223-6615					
BC	_____	001-FIN FINAL INSPECTION	20211692	530 FAIRHAVEN DR	47		01/18/2022
		Comments1: PAVER PATIO AND PERGOLA					
GH	14:00	001-PHF POST HOLE - FENCE	20211702	547 COACH RD	414		01/03/2022
BC	_____	001-FIN FINAL INSPECTION	20211703	306 E VETERANS PKWY		01/12/2022	
		Comments1: CANCEL/NOT READY					
BF	_____	AM 001-FIN FINAL INSPECTION	20211714	2983 GRANDE TR	391	01/28/2022	
		Comments1: 773-492-1294					
BF	_____	AM 002-FEL FINAL ELECTRIC					01/28/2022
		Comments1: Will the inspector give a courtesy call					
		Comments2: when en route? If so, the contact person					
		Comments3: from Ailey Solar Electric will be Matt					
		Comments4: Bart ?(224) 266-8687, or the main line a					
BF	_____	001-FIN FINAL INSPECTION	20211720	7665 S BRIDGE ST		01/07/2022	
		Comments1: SOLAR EDDY 801-837-4586/CANCELLED					
BF	_____	002-FEL FINAL ELECTRIC				01/07/2022	
		Comments1: SOLAR/CANCELLED					
BF	_____	003-FIN FINAL INSPECTION					01/13/2022
		Comments1: SOLAR					
BF	_____	AM 004-FEL FINAL ELECTRIC					01/13/2022
		Comments1: 801-837-4586 EDDY					
PR	_____	PM 001-RFR ROUGH FRAMING	20211721	301 E KENDALL DR		01/20/2022	
PR	_____	PM 002-REL ROUGH ELECTRICAL				01/20/2022	
PR	_____	PM 003-RMC ROUGH MECHANICAL				01/20/2022	
PR	_____	PM 004-PLR PLUMBING - ROUGH				01/20/2022	
BC	_____	AM 001-OCC OCCUPANCY INSPECTION	20211729	201 E VETERANS PKWY			01/07/2022
		Comments1: BETWEEN 9 AND NOON					

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BKF	_____	001-OCC OCCUPANCY INSPECTION	20211730	507 W KENDALL DR		01/05/2022	
BC	_____	002-OCC OCCUPANCY INSPECTION Comments1: SEE INSPECTION REPORT					01/06/2022
BC	_____	003-REI REINSPECTION Comments1: POP UP COVID OCC					01/12/2022
BF	_____	AM 001-FIN FINAL INSPECTION Comments1: SOLAR EDDY 801-837-4586	20211731	481 HONEYSUCKLE LN	154		01/14/2022
BF	_____	AM 002-FEL FINAL ELECTRIC					01/14/2022
BC	_____	001-FTG FOOTING	20211732	841 GREENFIELD TURN	48		01/12/2022
BF	_____	AM 002-BKF BACKFILL					01/27/2022
BC	_____	AM 001-FTG FOOTING	20211747	541 ASHWORTH LN	517		01/21/2022
BF	_____	AM 002-FOU FOUNDATION				01/31/2022	
BC	_____	AM 001-FTG FOOTING	20211750	2493 FAIRFIELD AVE	485		01/21/2022
BF	_____	AM 002-FOU FOUNDATION					01/24/2022
BF	_____	001-FTG FOOTING Comments1: 630-973-6699	20211751	2001 PRAIRIE GRASS LN	45		01/27/2022
BF	_____	001-FTG FOOTING	20211752	936 HAYDEN DR	44		01/27/2022
BC	_____	AM 001-OCC OCCUPANCY INSPECTION Comments1: SEE INSPECTION REPORT	20211755	223 S BRIDGE ST			01/18/2022
BC	_____	001-PHF POST HOLE - FENCE Comments1: VIA E-MAIL	20211759	2867 CRYDER WAY	474		01/14/2022
BC	_____	AM 001-REL ROUGH ELECTRICAL	20220001	557 REDBUD DR	45		01/07/2022
BC	_____	AM 002-RFR ROUGH FRAMING					01/07/2022
BC	_____	003-INS INSULATION					01/10/2022
BF	_____	AM 001-FTG FOOTING Comments1: COMEX 847-551-9066	20220002	2333 FAIRFIELD AVE	498		01/28/2022
BF	_____	AM 001-FTG FOOTING Comments1: COMEX 847-551-9066	20220005	2264 FAIRFAX WAY	504		01/28/2022

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BC	_____	001-OCC OCCUPANCY INSPECTION	20220022	1304 GAME FARM RD	C		01/18/2022
BKF	_____	002-OCC OCCUPANCY INSPECTION				01/18/2022	
BC	_____	AM 001-RFR ROUGH FRAMING	20220039	397 WINDHAM CIR	25		01/28/2022
		Comments1: BASEMENT					
PBF	_____	AM 004-PLR PLUMBING - ROUGH					01/28/2022
		Comments1: BASEMENT/630-878-8244					

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-----							
PERMIT TYPE SUMMARY:		ADD ADDITION			3		
		BDO COMMERCIAL BUILD-OUT			5		
		BSM BASEMENT REMODEL			3		
		CCO COMMERCIAL OCCUPANCY PERMIT			8		
		DCK DECK			1		
		FNC FENCE			4		
		MSC MISCELLANEOUS			1		
		PRG PERGOLA			1		
		REM REMODEL			6		
		SFA SINGLE-FAMILY ATTACHED			162		
		SFD SINGLE-FAMILY DETACHED			262		
		SHD SHED/ACCESSORY BUILDING			1		
		SID SIDING			1		
		SOL SOLAR PANELS			21		
		WIN WINDOW REPLACEMENT			2		
INSPECTION SUMMARY:		BKF BACKFILL			16		
		BSM BASEMENT FLOOR			8		
		EFL ENGINEERING - FINAL INSPECTION			40		
		ELE ELECTRIC SERVICE			8		
		ESW ENGINEERING - SEWER / WATER			6		
		FEL FINAL ELECTRIC			46		
		FIN FINAL INSPECTION			59		
		FME FINAL MECHANICAL			38		
		FOU FOUNDATION			10		
		FTG FOOTING			11		
		GAR GARAGE FLOOR			2		
		GPL GREEN PLATE INSPECTION			7		
		INS INSULATION			30		
		MIS MISCELLANEOUS			1		
		OCC OCCUPANCY INSPECTION			6		
		PHF POST HOLE - FENCE			3		
		PLF PLUMBING - FINAL OSR READY			37		
		PLR PLUMBING - ROUGH			25		
		PLU PLUMBING - UNDERSLAB			4		
		PPS PRE-POUR, SLAB ON GRADE			2		
		REI REINSPECTION			22		
		REL ROUGH ELECTRICAL			27		
		RFR ROUGH FRAMING			30		
		RMC ROUGH MECHANICAL			26		
		STP STOOP			4		
		WAT WATER			11		
		WSS WATER & STORM SEWER			2		
INSPECTOR SUMMARY:		AS AMY SERBY, ENVIRONMENTAL KEN C			1		
		BC BOB CREADEUR			161		

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		BF	B&F INSPECTOR CODE SERVICE		130		
		BKF	BRISTOL KENDALL FIRE DEPT		2		
		EEI	ENGINEERING ENTERPRISES		40		
		GH	GINA HASTINGS		35		
		PBF	BF PLUMBING INSPECTOR		82		
		PR	PETER RATOS		28		
		PWK	PUBLIC WORKS		2		

STATUS SUMMARY:	A	BC	1
	C	BC	9
	C	BF	16
	C	EEI	3
	C	PBF	3
	E	BC	3
	E	EEI	1
	E	PBF	1
	I	AS	1
	I	BC	102
	I	BF	67
	I	BKF	2
	I	EEI	5
	I	GH	35
	I	PBF	49
	I	PR	16
	T	BC	46
	T	BF	46
	T	EEI	30
	T	PBF	29
	T	PR	12
	T	PWK	2
	V	BF	1
	V	EEI	1

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BC	_____	006-FIN FINAL INSPECTION	20180141	515 W MADISON ST	2		02/28/2022
BC	_____	007-FEL FINAL ELECTRIC					02/28/2022
EEI	_____	020-EFL ENGINEERING - FINAL INSPE	20201583	2798 GAINS CT	184		02/25/2022
NL	_____	002-FIN FINAL INSPECTION	20201873	258 WALSH CIR	112		02/28/2022
NL	_____	002-FIN FINAL INSPECTION Comments1: FENCE	20210002	424 SUTTON ST	226		02/28/2022
BF	_____	009-RFR ROUGH FRAMING Comments1: SEE INSPECTION REPORT	20210149	3732 BAILEY RD	1355		02/10/2021
BF	_____	010-REL ROUGH ELECTRICAL Comments1: SEE INSPECTION REPORT					02/10/2022
BF	_____	011-RMC ROUGH MECHANICAL Comments1: SEE INSPECTION REPORT					02/10/2022
PBF	_____	012-PLR PLUMBING - ROUGH					02/10/2022
PR	_____	013-INS INSULATION					02/15/2022
BC	_____	010-RFR ROUGH FRAMING	20210150	3734 BAILEY RD	1354		02/03/2022
BC	_____	011-REL ROUGH ELECTRICAL					02/03/2022
BC	_____	012-RMC ROUGH MECHANICAL					02/03/2022
PBF	_____	013-PLR PLUMBING - ROUGH Comments1: RESCHEDULED BY B&F FROM 2/2/22 TO 2/3/22 Comments2: . CHRIS 224-358-1606					02/03/2022
GH	_____	014-INS INSULATION					02/07/2022
GH	_____	015-INS INSULATION	20210151	3736 BAILEY RD	1351		02/03/2022
GH	_____	015-INS INSULATION	20210152	3738 BAILEY RD	1352		02/03/2022
BC	_____	016-FIN FINAL INSPECTION	20210155	3724 BAILEY RD	1362		02/16/2022
BC	_____	017-FEL FINAL ELECTRIC					02/16/2022
BC	_____	018-FMC FINAL MECHANICAL					02/16/2022
PBF	_____	019-PLF PLUMBING - FINAL OSR READ Comments1: GRANDE RESERVE -- ZACH-- 224-340-5860					02/16/2022

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EEI	_____	020-EFL ENGINEERING - FINAL INSPE					02/16/2022
		Comments1: WINTER CONDITIONS					
BC	_____	015-FIN FINAL INSPECTION	20210156	3726 BAILEY RD	1363		02/16/2022
BC	_____	016-FEL FINAL ELECTRIC					02/16/2022
BC	_____	017-FMC FINAL MECHANICAL					02/16/2022
PBF	_____	018-PLF PLUMBING - FINAL OSR READ					02/16/2022
		Comments1: GRANDE RESERVE -- ZACH 224-340-5860					
EEI	_____	019-EFL ENGINEERING - FINAL INSPE					02/16/2022
		Comments1: WINTER CONDITIONS					
BC	_____	014-FIN FINAL INSPECTION	20210157	3728 BAILEY RD	1364		02/16/2022
BC	_____	015-FEL FINAL ELECTRIC					02/16/2022
BC	_____	016-FMC FINAL MECHANICAL					02/16/2022
PBF	_____	017-PLF PLUMBING - FINAL OSR READ					02/16/2022
		Comments1: GRANDE RESERVE - ZACH 224-340-5860					
EEI	_____	018-EFL ENGINEERING - FINAL INSPE					02/16/2022
		Comments1: WINTER CONDITIONS					
EEI	_____	016-EFL ENGINEERING - FINAL INSPE	20210236	1152 KATE DR	240		02/17/2022
PR	_____	017-FIN FINAL INSPECTION					02/16/2022
PR	_____	018-FEL FINAL ELECTRIC					02/16/2022
PR	_____	019-FME FINAL MECHANICAL					02/16/2022
PR	_____	020-PLF PLUMBING - FINAL OSR READ					02/16/2022
BC	_____	018-FIN FINAL INSPECTION	20210426	463 PARKSIDE LN	362		02/01/2022
BC	_____	019-FEL FINAL ELECTRIC					02/01/2022
BC	_____	020-FME FINAL MECHANICAL					02/01/2022
PBF	_____	021-PLF PLUMBING - FINAL OSR READ					02/01/2022
		Comments1: 847-456-8082					
EEI	_____	022-EFL ENGINEERING - FINAL INSPE					02/01/2022
		Comments1: OK TO TEMP/NO PARKWAY TREE					

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PBF	_____	023-REI REINSPECTION					02/03/2022
		Comments1: 847-456-8082 FINAL PLUMBING					
PR	_____	AM 001-FIN FINAL INSPECTION	20210571	204 BOOMBAH BLVD	2		02/04/2022
		Comments1: DENNIS 920 572-9422 MIDWEST REFRIDGE					
BF	_____	PM 001-FIN FINAL INSPECTION	20210657	493 KELLY AVE	109		02/23/2022
		Comments1: SOLAR GUILLERMO 801-500-2398 *CALL WHEN					
		Comments2: ON YOUR WAY*					
BF	_____	002-FEL FINAL ELECTRIC					02/23/2022
BC	_____	017-FIN FINAL INSPECTION	20210685	1292 HAWK HOLLOW DR	267-2		02/02/2022
BC	_____	018-FEL FINAL ELECTRIC					02/02/2022
BC	_____	019-FME FINAL MECHANICAL					02/02/2022
PBF	_____	020-PLF PLUMBING - FINAL OSR READ					02/03/2022
		Comments1: RESCHEDULED BY B&F FROM 2/2/22 TO 2/3/22					
		Comments2: . 630-549-9538 GEORGE					
BC	_____	021-REI REINSPECTION					02/03/2022
		Comments1: FINAL MECHANICAL AND FRAME REINSPECTION					
GH	_____	022-REI REINSPECTION					02/07/2022
		Comments1: FINAL MECHANICAL AND FRAME					
BC	_____	016-FIN FINAL INSPECTION	20210785	1284 HAWK HOLLOW DR	268		02/23/2022
BC	_____	017-FEL FINAL ELECTRIC					02/23/2022
BC	_____	018-FMC FINAL MECHANICAL					02/23/2022
PBF	_____	019-PLF PLUMBING - FINAL OSR READ					02/23/2022
		Comments1: RAINTREE -- 630-549-9538					
EEI	_____	020-EFL ENGINEERING - FINAL INSPE					02/23/2022
		Comments1: WINTER CONDITIONS, OK TO TEMP					
BC	_____	015-FEL FINAL ELECTRIC	20210786	1282 HAWK HOLLOW DR	268		02/23/2022
BC	_____	016-FMC FINAL MECHANICAL					02/23/2022
BC	_____	017-FIN FINAL INSPECTION					02/23/2022
PBF	_____	018-PLF PLUMBING - FINAL OSR READ					02/23/2022
		Comments1: RAINTREE - 630-549-9538					

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EEI	_____	019-EFL ENGINEERING - FINAL INSPE					02/23/2022
		Comments1: WINTER CONDITIONS, OK TO TEMP. REPLACE					
		Comments2: B-BOX CAP BEFORE FINAL INSP.					
GH	_____	012-INS INSULATION	20210892	1272 HAWK HOLLOW DR	2691		02/03/2022
		Comments1: REINSPECT FRAME WITH INSULATION					
GH	_____	AM 013-STP STOOP					02/24/2022
GH	_____	012-INS INSULATION	20210893	1274 HAWK HOLLOW DR	2691		02/03/2022
GH	_____	013-STP STOOP					02/24/2022
BF	_____	006-GPL GREEN PLATE INSPECTION	20210894	1244 HAWK HOLLOW DR	2722	02/11/2022	
		Comments1: RAINTREE VILLAGE - GEORGE 630-549-9538 (					
		Comments2: ((CANCELLED)))					
PR	_____	007-GPL GREEN PLATE INSPECTION					02/15/2022
BF	_____	006-GPL GREEN PLATE INSPECTION	20210895	1242 HAWK HOLLOW DR	2722	02/11/2022	
		Comments1: RAINTREE VILLAGE - GEORGE 630-549-9538 (					
		Comments2: ((CANCELLED)))					
PR	_____	007-GPL GREEN PLATE INSPECTION					02/15/2022
BC	_____	016-FIN FINAL INSPECTION	20210930	2263 RICHMOND AVE	441		02/01/2022
BC	_____	017-FEL FINAL ELECTRIC					02/01/2022
BC	_____	018-FME FINAL MECHANICAL					02/01/2022
PBF	_____	019-PLF PLUMBING - FINAL OSR READ					02/01/2022
		Comments1: 847-456-8082					
EEI	_____	020-EFL ENGINEERING - FINAL INSPE					02/01/2022
		Comments1: OK TO TEMP--NEEDS PARKWAY TREE.					
EEI	_____	013-EFL ENGINEERING - FINAL INSPE	20210949	3121 JUSTICE DR	685	02/09/2022	
		Comments1: WINTER CONDITIONS					
BF	_____	AM 014-FIN FINAL INSPECTION					02/10/2022
BF	_____	AM 016-FEL FINAL ELECTRIC					02/10/2022
BF	_____	AM 017-FMC FINAL MECHANICAL					02/10/2022
PBF	_____	AM 018-PLF PLUMBING - FINAL OSR READ					02/10/2022

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BF	_____	AM 002-FTG FOOTING	20210951	1264 HAWK HOLLOW DR	270-1		02/08/2022
		Comments1: RAINTREE VILLAGE - 630-330-6705 -- JEFF					
BF	_____	003-BKF BACKFILL					02/22/2022
		Comments1: 630-330-6705 jeff, RAINTREE					
PR	_____	PM 004-ESW ENGINEERING - SEWER / WAT					02/25/2022
		Comments1: VERUNA 630-387-2001					
BF	_____	AM 002-FTG FOOTING	20210952	1262 HAWK HOLLOW DR	270-2		02/08/2022
		Comments1: RAINTREE VILLAGE -- 630-330-6705 -- JEFF					
BF	_____	AM 003-FOU FOUNDATION					02/11/2022
		Comments1: RAINTREE VILLAGE - 630-340-6705 -- SEE I					
		Comments2: NSPECTION REPORT					
BF	_____	004-BKF BACKFILL					02/22/2022
		Comments1: 630-330-6705 jeff, RAINTREE					
PR	_____	PM 005-ESW ENGINEERING - SEWER / WAT					02/25/2022
		Comments1: VERUNA 630-387-2001					
BC	_____	PM 003-FIN FINAL INSPECTION	20210959	2399 IROQUOIS LN	1		02/15/2022
		Comments1: MIKE ZWIER 773-835-1358					
BC	_____	013-FIN FINAL INSPECTION	20211002	2463 JUSTICE CT	618		02/22/2022
		Comments1: GRANDE RESERVE 224-358-1606					
BC	_____	014-FEL FINAL ELECTRIC					02/22/2022
BC	_____	015-FME FINAL MECHANICAL					02/22/2022
		Comments1: GRANDE RESERVE 224-358-1606					
PBF	_____	016-PLF PLUMBING - FINAL OSR READ					02/18/2022
		Comments1: GRANDE RESERVE 224-358-1606					
EEI	_____	017-EFL ENGINEERING - FINAL INSPE					02/18/2022
BC	_____	014-FIN FINAL INSPECTION	20211003	2461 JUSTICE CT	617		02/18/2022
		Comments1: GRANDE RESERVE 224-358-1606					
BC	_____	015-FEL FINAL ELECTRIC					02/18/2022
BC	_____	016-FME FINAL MECHANICAL					02/18/2022
PBF	_____	017-PLF PLUMBING - FINAL OSR READ					02/18/2022
		Comments1: GRANDE RESERVE 224-358-1606					

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EEI	_____	018-EFL ENGINEERING - FINAL INSPE					02/18/2022
BC	_____	PM 012-GAR GARAGE FLOOR Comments1: GARY-630-977-1868	20211012	840 ALEXANDRA LN	40	02/15/2022	
EEI	_____	013-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS, OK TO TEMP	20211036	3105 JUSTICE DR	683		02/08/2022
BF	_____	AM 014-FIN FINAL INSPECTION					02/10/2022
BF	_____	AM 015-FEL FINAL ELECTRIC					02/10/2022
BF	_____	AM 016-FMC FINAL MECHANICAL					02/10/2022
PBF	_____	AM 017-PLF PLUMBING - FINAL OSR READ					02/10/2022
BF	_____	016-FIN FINAL INSPECTION Comments1: LENNAR 847-456-8082 RAINTREE	20211037	2243 RICHMOND AVE	442		02/10/2022
BF	_____	017-FEL FINAL ELECTRIC Comments1: LENNAR 847-456-8082 RAINTREE					02/10/2022
BF	_____	018-FME FINAL MECHANICAL Comments1: LENNAR 847-456-8082 RAINTREE					02/10/2022
PBF	_____	019-PLF PLUMBING - FINAL OSR READ Comments1: LENNAR 847-456-8082 RAINTREE					02/10/2022
EEI	_____	020-EFL ENGINEERING - FINAL INSPE Comments1: PARKWAY TREE					02/10/2022
PR	_____	016-FIN FINAL INSPECTION	20211038	2223 RICHMOND AVE	443		02/16/2022
PR	_____	017-FEL FINAL ELECTRIC					02/16/2022
PR	_____	018-FMC FINAL MECHANICAL					02/16/2022
PR	_____	019-PLF PLUMBING - FINAL OSR READ Comments1: RAINTREE VILLAGE -- 630-549-9538					02/16/2022
EEI	_____	020-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS					02/16/2022
EEI	_____	016-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS, OK TO TEMP. INTERIOR Comments2: LOT	20211039	2203 RICHMOND AVE	444		02/23/2022
BC	_____	017-FIN FINAL INSPECTION					02/24/2022

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BC	_____	018-FEL FINAL ELECTRIC					02/24/2022
BC	_____	019-FMC FINAL MECHANICAL					02/24/2022
PBF	_____	AM 020-PLF PLUMBING - FINAL OSR READ Comments1: JEFF RAINTREE 847-456-8082					02/24/2022
BF	_____	008-RFR ROUGH FRAMING Comments1: RAINTREE VILLAGE -- 630-549-9538	20211043	2091 COUNTRY HILLS DR	449		02/18/2022
BF	_____	009-REL ROUGH ELECTRICAL Comments1: RAINTREE VILLAGE -- 630-549-9538					02/18/2022
BF	_____	010-RMC ROUGH MECHANICAL Comments1: RAINTREE VILLAGE -- 630-549-9538					02/18/2022
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: RAINTREE VILLAGE -- 630-549-9538					02/18/2022
GH	_____	012-INS INSULATION					02/22/2022
PR	_____	006-RFR ROUGH FRAMING	20211044	2101 COUNTRY HILLS DR	448		02/07/2022
PR	_____	007-RMC ROUGH MECHANICAL					02/07/2022
PR	_____	008-REL ROUGH ELECTRICAL					02/07/2022
PBF	_____	009-PLR PLUMBING - ROUGH Comments1: 847-456-8082					02/07/2022
GH	_____	010-INS INSULATION Comments1: SEE INSPECTION REPORT					02/09/2022
GH	_____	013-FIN FINAL INSPECTION Comments1: DAVE 630-800-9005	20211099	2102 WHITEKIRK LN	104		02/11/2022
GH	_____	014-FEL FINAL ELECTRIC Comments1: DAVE 630-800-9005					02/11/2022
GH	_____	015-FME FINAL MECHANICAL Comments1: DAVE 630-800-9005					02/11/2022
PBF	_____	016-PLF PLUMBING - FINAL OSR READ Comments1: DAVE 630-800-9005 PRESTWICK					02/11/2022
EEI	_____	017-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS					02/10/2022

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EEI	_____	016-EFL ENGINEERING - FINAL INSPE	20211100	2068 ABERDEEN CT	102		02/16/2022
BC	_____	017-FIN FINAL INSPECTION					02/24/2022
BC	_____	018-FEL FINAL ELECTRIC					02/24/2022
BC	_____	019-FMC FINAL MECHANICAL					02/24/2022
PBF	_____	020-PLF PLUMBING - FINAL OSR READ Comments1: SEE INSPECTION REPORT					02/24/2022
PR	_____	001-ESW ENGINEERING - SEWER / WAT Comments1: JOHN SOPRIS 630-546-8057	20211120	1376 SPRING ST	216		02/24/2022
GH	_____ AM	013-STP STOOP	20211121	2466 JUSTICE CT	621		02/15/2022
PR	_____ AM	001-REL ROUGH ELECTRICAL	20211131	1537 STONERIDGE CT	63		02/08/2022
PR	_____ AM	002-RFR ROUGH FRAMING					02/08/2022
GH	_____	012-STP STOOP Comments1: FRONT	20211140	1106 CARLY DR	27		02/24/2022
GH	_____ AM	011-GAR GARAGE FLOOR	20211141	966 S CARLY CIR	104		02/24/2022
GH	_____ AM	012-STP STOOP	20211180	1153 HAWK HOLLOW DR	306		02/24/2022
GH	_____ AM	012-STP STOOP	20211181	1155 HAWK HOLLOW DR	306		02/24/2022
PR	_____	007-RFR ROUGH FRAMING	20211182	1157 HAWK HOLLOW DR	306		02/07/2022
PR	_____	008-REL ROUGH ELECTRICAL					02/07/2022
PR	_____	009-RMC ROUGH MECHANICAL					02/07/2022
PBF	_____	010-PLR PLUMBING - ROUGH					02/07/2022
GH	_____	011-INS INSULATION Comments1: SEE INSPECTION REPORT					02/10/2022
GH	_____ AM	012-STP STOOP Comments1: NEED TO ADD HEAT					02/24/2022
GH	_____	008-GPL GREEN PLATE INSPECTION Comments1: LENNAR 847-456-8082 RAINTREE	20211209	2266 RICHMOND AVE	472		02/10/2022
NL	_____ PM	009-PHD POST HOLE - DECK					02/25/2022



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BC	_____	008-GPL GREEN PLATE INSPECTION	20211210	2252 RICHMOND AVE	471		02/03/2022
NL	_____	AM 009-PHD POST HOLE - DECK					02/25/2022
NL	_____	AM 013-PHD POST HOLE - DECK	20211211	2201 COUNTRY HILL DR	470		02/25/2022
BF	_____	008-RFR ROUGH FRAMING	20211212	2221 COUNTRY HILLS DR	469		02/15/2022
BF	_____	009-REL ROUGH ELECTRICAL					02/15/2022
BF	_____	010-RMC ROUGH MECHANICAL					02/15/2022
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: RAINTREE VILLAGE -- 630-549-9538					02/15/2022
BC	_____	012-INS INSULATION					02/17/2022
NL	_____	AM 013-PHD POST HOLE - DECK					02/25/2022
BC	_____	014-FIN FINAL INSPECTION Comments1: ANDREW 331-431-7342 GRANDE RESERVE	20211242	4819 W MILLBROOK CIR	152		02/14/2022
BC	_____	015-FEL FINAL ELECTRIC Comments1: ANDREW 331-431-7342 GRANDE RESERVE					02/14/2022
BC	_____	016-FMC FINAL MECHANICAL Comments1: ANDREW 331-431-7342 GRANDE RESERVE					02/14/2022
PBF	_____	017-PLF PLUMBING - FINAL OSR READ Comments1: ANDREW 331-431-7342 GRANDE RESERVE					02/14/2022
EEI	_____	018-EFL ENGINEERING - FINAL INSPE					02/14/2022
EEI	_____	014-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS/OK TO TEMP	20211243	2719 POTTER CT	141		02/25/2022
BC	_____	015-FIN FINAL INSPECTION					02/25/2022
BC	_____	016-FEL FINAL ELECTRIC					02/25/2022
BC	_____	017-FMC FINAL MECHANICAL					02/25/2022
PBF	_____	018-PLF PLUMBING - FINAL OSR READ Comments1: GRANDE RESERVE -- 331-431-7342					02/25/2022
EEI	_____	014-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS	20211244	2902 ALDEN AVE	323		02/11/2022

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BF	_____	015-FIN FINAL INSPECTION					02/18/2022
		Comments1: GRANDE RESERVE - LALO 224-575-6665					
BF	_____	016-FEL FINAL ELECTRIC					02/18/2022
BF	_____	017-FMC FINAL MECHANICAL					02/18/2022
PBF	_____	018-PLF PLUMBING - FINAL OSR READ					02/18/2022
		Comments1: GRANDE RESERVE -- LALO 224-575-6665					
EEI	_____	013-EFL ENGINEERING - FINAL INSPE	20211245	2898 ROOD ST	303		02/11/2022
		Comments1: WINTER CONDITIONS					
BF	_____	014-FIN FINAL INSPECTION					02/17/2022
		Comments1: GRANDE RESERVE - LALO 224-575-6665					
BF	_____	015-FEL FINAL ELECTRIC					02/17/2022
BF	_____	016-FMC FINAL MECHANICAL					02/17/2022
PBF	_____	017-PLF PLUMBING - FINAL OSR READ					02/17/2022
		Comments1: GRANDE RESERVE - 224-575-6665					
GH	_____	007-GPL GREEN PLATE INSPECTION	20211246	621 ASHWORTH LN	513		02/10/2022
		Comments1: LENNAR 847-456-8082 RAINTREE -- SEE INSP					
		Comments2: ECTION REPORT					
PR	_____	012-FIN FINAL INSPECTION	20211257	802 ALEXANDRA LN	19		02/15/2022
PR	_____	013-FEL FINAL ELECTRIC					02/15/2022
PR	_____	014-FMC FINAL MECHANICAL					02/15/2022
PR	_____	015-PLF PLUMBING - FINAL OSR READ					02/15/2022
EEI	_____	016-EFL ENGINEERING - FINAL INSPE					02/15/2022
		Comments1: WINTER CONDITIONS					
PBF	_____	013-REI REINSPECTION	20211272	4822 W MILLBROOK CIR	11		02/04/2022
		Comments1: REINSPECT ROUGH PLUMBING -- 331-431-7342					
GH	_____	PM 014-GAR GARAGE FLOOR					02/09/2022
GH	_____	PM 015-STP STOOP					02/09/2022
GH	_____	003-REI REINSPECTION	20211278	568 POPLAR DR	151		02/14/2022
		Comments1: ROOF FINAL -- AUSTIN 815-280-8501					

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BF	_____	007-RFR ROUGH FRAMING	20211290	2464 JUSTICE CT	622		02/07/2022
		Comments1: CHRIS 224-358-1606 GRANDE RESERVE					
BF	_____	008-REL ROUGH ELECTRICAL					02/07/2022
		Comments1: CHRIS 224-358-1606 GRANDE RESERVE					
BF	_____	009-RMC ROUGH MECHANICAL					02/07/2022
		Comments1: CHRIS 224-358-1606 GRANDE RESERVE					
PBF	_____	010-PLR PLUMBING - ROUGH					02/07/2022
		Comments1: CHRIS 224-358-1606 GRANDE RESERVE					
GH	_____	012-INS INSULATION					02/14/2022
PR	_____ AM	013-STP STOOP					02/15/2022
BC	_____	007-RFR ROUGH FRAMING	20211291	2462 JUSTICE CT	623		02/14/2022
BC	_____	008-REL ROUGH ELECTRICAL					02/14/2022
BC	_____	009-RMC ROUGH MECHANICAL					02/14/2022
PBF	_____	010-PLR PLUMBING - ROUGH					02/14/2022
		Comments1: GRANDE RESERVE -224-358-1606					
BF	_____	011-INS INSULATION					02/16/2022
GH	_____	015-FIN FINAL INSPECTION	20211308	2082 WHITEKIRK LN	99		02/07/2022
GH	_____	016-FEL FINAL ELECTRIC					02/07/2022
GH	_____	017-FMC FINAL MECHANICAL					02/07/2022
PBF	_____	018-PLF PLUMBING - FINAL OSR READ					02/07/2022
GH	_____	007-GPL GREEN PLATE INSPECTION	20211309	2274 RICHMOND AVE	473		02/10/2022
		Comments1: LENNAR 847-456-8082 RAINTREE --SEE INSPE					
		Comments2: CTION REPORT					
NL	_____ PM	008-PHD POST HOLE - DECK					02/25/2022
GH	_____	007-GPL GREEN PLATE INSPECTION	20211312	2282 RICHMOND AVE	474		02/10/2022
		Comments1: LENNAR 847-456-8082 RAINTREE					
BF	_____ AM	008-BSM BASEMENT FLOOR					02/25/2022
		Comments1: RAINTREE COMEX 847-551-9066					
NL	_____ PM	009-PHD POST HOLE - DECK					02/25/2022

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BC	_____	005-GPL GREEN PLATE INSPECTION Comments1: JEFF, RAINTREE 847-456-8082	20211318	2288 RICHMOND AVE	475		02/16/2022
GH	_____	007-GPL GREEN PLATE INSPECTION Comments1: CHECK GARAGE AT ROUGH	20211319	581 ASHWORTH LN	515		02/24/2022
BC	_____	007-RFR ROUGH FRAMING	20211329	4838 W MILLBROOK CIR	9		02/04/2022
BC	_____	008-REL ROUGH ELECTRICAL					02/04/2022
BC	_____	009-RMC ROUGH MECHANICAL					02/04/2022
PBF	_____	010-PLR PLUMBING - ROUGH Comments1: 331-431-7342					02/04/2022
GH	_____	011-INS INSULATION					02/08/2022
GH	_____	012-GAR GARAGE FLOOR Comments1: HANNAH 815-839-8175					02/14/2022
BF	_____	AM 014-STP STOOP Comments1: FRONT -- HANNAH 815-839-8175					02/16/2022
PBF	_____	AM 004-WAT WATER Comments1: GRANDE RESERVE -- JENNIFER 630-364-8785	20211332	4028 BRADY ST	6		02/11/2022
PBF	_____	AM 004-WAT WATER Comments1: GRANDE RESERVE -- JENNIFER 630-364-8785	20211333	4026 BRADY ST	6		02/11/2022
PBF	_____	AM 008-WAT WATER Comments1: GRANDE RESERVE - 630-364-8785	20211334	4003 BRADY ST	8		02/10/2022
BF	_____	AM 010-RFR ROUGH FRAMING Comments1: GRANDE RESERVE -- 630-365-7229	20211336	4043 BRADY ST	10		02/09/2022
BF	_____	AM 011-REL ROUGH ELECTRICAL					02/09/2022
BF	_____	AM 012-RMC ROUGH MECHANICAL Comments1: GRANDE RESERVE -- 630-365-7229					02/09/2022
PBF	_____	013-PLR PLUMBING - ROUGH					02/10/2022
BF	_____	AM 014-INS INSULATION Comments1: GRANDE RESERVE -- 630-365-7229					02/14/2022
BF	_____	AM 010-RFR ROUGH FRAMING Comments1: GRANDE RESERVE -- 630-365-7229	20211337	4045 BRADY ST	10		02/09/2022

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BF	_____	AM 011-REL ROUGH ELECTRICAL					02/09/2022
BF	_____	AM 012-RMC ROUGH MECHANICAL					02/09/2022
PBF	_____	AM 013-PLR PLUMBING - ROUGH Comments1: GRANDE RESERVE -- 630-365-7229					02/09/2022
BF	_____	AM 014-INS INSULATION Comments1: RAINTREE VILLAGE 630-365-7229					02/14/2022
BF	_____	AM 010-RFR ROUGH FRAMING Comments1: GRANDE RESERVE -- 630-365-7229 Comments2: ECTION REPORT	20211338	4065 BRADY ST	11		02/24/2022
BF	_____	AM 011-REL ROUGH ELECTRICAL Comments1: SEE INSPECTION REPORT					02/24/2022
BF	_____	AM 012-RMC ROUGH MECHANICAL					02/24/2022
PBF	_____	AM 013-PLR PLUMBING - ROUGH Comments1: GRANDE RESERVE -- 630-365-7229					02/24/2022
BF	_____	AM 014-REI REINSPECTION Comments1: ROUGH BUILDING AND ELECTRICAL 630-365-72 Comments2: 29					02/28/2022
BF	_____	AM 010-RFR ROUGH FRAMING Comments1: GRANDE RESERVE -- 630-365-7229 Comments2: CTION REPORT	20211339	4063 BRADY ST	11		02/24/2022
BF	_____	AM 011-REL ROUGH ELECTRICAL Comments1: SEE INSPECTION REPORT					02/24/2022
BF	_____	AM 012-RMC ROUGH MECHANICAL					02/24/2022
PBF	_____	AM 013-PLR PLUMBING - ROUGH Comments1: GRANDE RESERVE -- 630-365-7229					02/24/2022
BF	_____	AM 014-REI REINSPECTION Comments1: ROUGH BUILDING AND ELECTRICAL 630-365-7 Comments2: 229					02/28/2022
BF	_____	009-REI REINSPECTION Comments1: REINSPECT ELECTRIC SERVICE 630-365-7229	20211361	4097 BRADY ST	13		02/03/2022
BF	_____	PM 010-REI REINSPECTION Comments1: REINSPECT ELECTRIC SERVICE 630-365-7229					02/04/2022

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BF	_____ AM	009-REI REINSPECTION	20211362	4099 BRADY ST	13		02/03/2022
		Comments1: REINSPECT ELECTRIC SERVICE - 630-365-722					
		Comments2: 9					
BF	_____ PM	010-REI REINSPECTION					02/04/2022
		Comments1: REINSPECT ELECTRIC SERVICE -- 630-365-72					
		Comments2: 29					
BF	_____ AM	001-FTG FOOTING	20211397	3155 JUSTICE DR	695	02/22/2022	
		Comments1: CHRIS 224-358-1606 GRANDE RESERVE					
BC	_____	002-FTG FOOTING					02/24/2022
BF	_____ AM	001-FTG FOOTING	20211398	3151 JUSTICE DR	694		02/22/2022
		Comments1: CHRIS 224-358-1606 GRANDE RESERVE					
BF	_____ AM	002-FOU FOUNDATION					02/25/2022
		Comments1: GRANDE RESERVE -- 630-453-9281					
BC	_____	011-REI REINSPECTION	20211400	3361 SEELEY ST	805		02/03/2022
		Comments1: ROUGHS FRAME, MECH, ELEC					
PBF	_____	012-REI REINSPECTION					02/03/2022
		Comments1: B&F RESCHEDULED FROM 2/2/22 TO 2/3/22. R					
		Comments2: OUGH PLUMB 224-358-1606					
GH	_____	013-INS INSULATION					02/03/2022
BC	_____ AM	014-GAR GARAGE FLOOR					02/15/2022
BC	_____	007-RFR ROUGH FRAMING	20211401	3365 SEELEY ST	806		02/25/2022
BC	_____	008-REL ROUGH ELECTRICAL					02/25/2022
BC	_____	009-RMC ROUGH MECHANICAL					02/25/2022
		Comments1: CHRIS 224-358-1606 GRANDE RESERVE					
PBF	_____	010-PLR PLUMBING - ROUGH					02/25/2022
		Comments1: GRANDE RESERVE CHRIS 224-358-1606					
PBF	_____ AM	004-WAT WATER	20211411	4006 BRADY ST	7		02/14/2022
		Comments1: GRANDE RESERVE -- 630-364-8785					
PBF	_____ AM	004-WAT WATER	20211412	4008 BRADY ST	7		02/14/2022
		Comments1: GRANDE RESERVE -- 630-364-8785					
PBF	_____ PM	005-ESW ENGINEERING - SEWER / WAT	20211435	2182 FAIRFAX WAY	510		02/01/2022

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GH	_____	006-GPL GREEN PLATE INSPECTION	20211455	3106 JUSTICE DR	625		02/08/2022
GH	_____ PM	006-GPL GREEN PLATE INSPECTION	20211456	3104 JUSTICE DR	626		02/28/2022
BF	_____	009-RFR ROUGH FRAMING Comments1: GRANDE RESERVE -- 630-549-9538	20211480	4814 W MILLBROOK CIR	12		02/18/2022
BF	_____	010-REL ROUGH ELECTRICAL Comments1: GRANDE RESERVE -- 630-549-9538					02/18/2022
BF	_____	011-RMC ROUGH MECHANICAL Comments1: GRANDE RESERVE -- 630-549-9538					02/18/2022
PBF	_____	012-PLR PLUMBING - ROUGH Comments1: GRANDE RESERVE -- 630-549-9538					02/18/2022
GH	_____	013-INS INSULATION Comments1: GRANDE RESERVE -- 630-549-9538					02/22/2022
BF	_____ AM	001-FTG FOOTING Comments1: RAINTREE -- JUAN 847-551-9066	20211483	641 ASHWORTH LN	512		02/16/2022
BF	_____ AM	002-FOU FOUNDATION Comments1: RAINTREE -- JUAN 847-551-9066 FOUNDATION Comments2: NOT READY FOR INSPECTION					02/18/2022
BC	_____	003-REI REINSPECTION Comments1: FOUNDATION					02/24/2022
PR	_____	004-ESW ENGINEERING - SEWER / WAT				02/28/2022	
BC	_____	006-GPL GREEN PLATE INSPECTION	20211484	2276 FAIRFAX WAY	503		02/25/2022
GH	_____	003-REI REINSPECTION Comments1: FINAL ROOF--AUSTIN 815-280-8501	20211490	2543 LYMAN LOOP	26		02/14/2022
PR	_____	007-RFR ROUGH FRAMING Comments1: STEVE 630-546-1085 PRESTWICK **ANCHOR BO Comments2: LTS MISSING GREASE--REINSPECT AT INSULAT Comments3: ION**	20211528	2142 WHITEKIRK LN	107		02/07/2022
PR	_____	008-REL ROUGH ELECTRICAL Comments1: STEVE 630-546-1085 PRESTWICK					02/07/2022
PR	_____	009-RMC ROUGH MECHANICAL Comments1: STEVE 630-546-1085 PRESTWICK					02/07/2022
PBF	_____	010-PLR PLUMBING - ROUGH Comments1: STEVE 630-546-1085 PRESTWICK					02/07/2022

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INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE
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GH	_____	011-INS INSULATION				02/09/2022
		Comments1: STEVE 630-546-1085 PRESTWICK **ANCHOR BO				
		Comments2: LTS MISSING GREASE--REINSPECT AT INSULAT				
		Comments3: ION** ANCHOR BOLTS STILL MISSING AT GARA				
		Comments4: GE - CHECK ON FINAL				
GH	_____	AM 012-STP STOOP				02/10/2022
GH	_____	AM 010-STP STOOP	20211529	2162 WHITEKIRK LN	108	02/10/2022
		Comments1: FRONT				
BC	_____	011-RFR ROUGH FRAMING				02/15/2022
		Comments1: COMPLETE TRUSS BRACING & SECURELY NAIL E				
		Comments2: XISTING BRACES, INSTALL BOLTS IN POST/BE				
		Comments3: AM CONNECTION IN BASEMENT				
BC	_____	012-REL ROUGH ELECTRICAL				02/15/2022
BC	_____	013-RMC ROUGH MECHANICAL				02/15/2022
PBF	_____	014-PLR PLUMBING - ROUGH				02/15/2022
		Comments1: STEVE 630-546-1085				
BC	_____	015-INS INSULATION				02/17/2022
		Comments1: STEVE 630-546-1085				
BC	_____	AM 016-REI REINSPECTION				02/16/2022
		Comments1: ROUGH FRAMIN FAILED ON 2-15-2022				
GH	_____	AM 013-STP STOOP	20211530	2112 WHITEKIRK LN	105	02/10/2022
		Comments1: FRONT				
GH	_____	AM 013-STP STOOP	20211531	2122 WHITEKIRK LN	106	02/10/2022
BC	_____	001-FIN FINAL INSPECTION	20211539	115 E KENDALL DR	13	02/15/2022
		Comments1: WINDOWS 708-267-9873				
GH	_____	AM 007-GAR GARAGE FLOOR	20211573	2881 ALDEN AVE	293	02/01/2022
GH	_____	AM 008-STP STOOP				02/01/2022
		Comments1: FRONT AND BACK				
BF	_____	009-RFR ROUGH FRAMING				02/10/2022
		Comments1: 331-223-6615				
BF	_____	010-REL ROUGH ELECTRICAL				02/10/2022
BF	_____	011-RMC ROUGH MECHANICAL				02/10/2022



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PBF	_____	012-PLR PLUMBING - ROUGH Comments1: 331-223-6615					02/10/2022
GH	_____	013-INS INSULATION					02/14/2022
PBF	_____	PM 007-ESW ENGINEERING - SEWER / WAT Comments1: MIKE 815-210-3338	20211605	2056 DUNBAR CT	94		02/01/2022
BF	_____	008-RFR ROUGH FRAMING Comments1: STEVE PRESTWICK 630-546-1085					02/22/2022
BF	_____	009-REL ROUGH ELECTRICAL Comments1: STEVE PRESTWICK 630-546-1085					02/22/2022
BF	_____	010-RMC ROUGH MECHANICAL Comments1: STEVE PRESTWICK 630-546-1085					02/22/2022
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: STEVE PRESTWICK 630-546-1085					02/22/2022
GH	_____	012-INS INSULATION Comments1: STEVE PRESTWICK 630-546-1085					02/28/2022
BF	_____	008-RFR ROUGH FRAMING Comments1: 331-223-6615	20211607	3002 MCLELLAN BLVD	526		02/17/2022
BF	_____	009-REL ROUGH ELECTRICAL					02/17/2022
BF	_____	010-RMC ROUGH MECHANICAL					02/17/2022
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: RYAN 331-223-6615, GRANDE RESERVE					02/17/2022
GH	_____	012-INS INSULATION				02/21/2022	
BF	_____	PM 013-GAR GARAGE FLOOR Comments1: GRANDE RESERVE, MIDWEST 815-839-8175					02/15/2022
BF	_____	AM 014-STP STOOP Comments1: FRONT STOOP - HANNAH-815-839-8175					02/16/2022
BC	_____	001-FIN FINAL INSPECTION Comments1: WINDOWS	20211667	217 W ELIZABETH ST			02/22/2022
GH	_____	PM 001-PHF POST HOLE - FENCE Comments1: MIKE 630-406-8410, EXT 208	20211672	2251 FAIRFAX WAY	376	02/14/2022	
NL	_____	PM 002-PHF POST HOLE - FENCE Comments1: (((((CANCELLED))))))				02/28/2022	

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BC	_____	005-GPL GREEN PLATE INSPECTION	20211676	2722 POTTER CT	145		02/02/2022
PBF	_____	AM 006-PLU PLUMBING - UNDERSLAB Comments1: GRANDE RESERVE -- ANDREW 331-431-7342					02/11/2022
BF	_____	PM 007-BSM BASEMENT FLOOR Comments1: GRANDE HANNAH 815-839-8175					02/11/2022
NL	09:00	AM 001-PHF POST HOLE - FENCE	20211681	2034 GLENEAGLES DR	87		02/16/2022
NL	_____	AM 002-FIN FINAL INSPECTION					02/23/2022
PBF	_____	007-PLU PLUMBING - UNDERSLAB Comments1: 331-223-6615 ANDREW - GRANDE RESERVE	20211683	2892 ROOD ST	304		02/09/2022
GH	_____	PM 008-BSM BASEMENT FLOOR					02/09/2022
GH	_____	AM 005-GPL GREEN PLATE INSPECTION Comments1: GRANDE RESERVE -- 331-223-6615	20211685	3063 GRANDE TR	556	02/08/2022	
PBF	_____	AM 007-WAT WATER Comments1: GRANDE RESERVE 630-492-7635					02/09/2022
PBF	_____	008-PLU PLUMBING - UNDERSLAB Comments1: GRANDE RESERVE - JAMES -331-223-6615					02/15/2022
BF	_____	AM 009-BSM BASEMENT FLOOR Comments1: HANNAH 815-839-8175					02/16/2022
BF	_____	PM 007-BSM BASEMENT FLOOR Comments1: MIDWEST 815-839-6175	20211686	3053 GRANDE TR	558		02/07/2022
GH	_____	AM 008-STP STOOP Comments1: MIDWEST 815-839-8175					02/22/2022
GH	_____	AM 014-GAR GARAGE FLOOR					02/28/2022
BF	_____	AM 001-FIN FINAL INSPECTION Comments1: SOLAR PHIL 518-859-6282 *PLEASE CALL WHE Comments2: N ON YOUR WAY* **** CANCELLED 2/18/22*** Comments3: **	20211691	576 WARBLER LN	353	02/18/2022	
BF	_____	AM 002-FEL FINAL ELECTRIC Comments1: ***CANCELLED 2/18/22***				02/18/2022	
BF	_____	PM 003-FIN FINAL INSPECTION Comments1: PM SOLAR PHIL 518-859-6282 **PLEASE CALL Comments2: WHEN ON YOUR WAY**					02/22/2022

DATE: 03/01/2022  
TIME: 09:16:20  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 02/01/2022 TO 02/28/2022

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	PM 004-FEL FINAL ELECTRIC Comments1: SOLAR					02/22/2022
PR	_____	001-FIN FINAL INSPECTION Comments1: NO ICE & WATER INSPECTION CONDUCTED	20211694	1654 WALSH DR	24		02/16/2022
PR	_____	PM 001-RFR ROUGH FRAMING Comments1: BASEMENT	20211709	1212 HAWK HOLLOW DR			02/08/2022
PR	_____	PM 002-REL ROUGH ELECTRICAL Comments1: BASEMENT					02/08/2022
PR	_____	PM 003-RMC ROUGH MECHANICAL Comments1: BASEMENT					02/08/2022
BC	_____	004-FIN FINAL INSPECTION				02/17/2022	
BC	_____	005-FEL FINAL ELECTRIC				02/17/2022	
BC	_____	006-FME FINAL MECHANICAL				02/17/2022	
BF	_____	AM 001-FTG FOOTING Comments1: GRANDE RESERVE - HANNAH --815-839-8175-- Comments2: SEE INSPECTION REPORT	20211710	2712 NICKERSON CT	166	02/11/2022	
BC	_____	PM 002-FOU FOUNDATION					02/14/2022
PBF	_____	PM 003-WAT WATER Comments1: AL'S 630-492-7635 CANCELLED 2/17/2022				02/17/2022	
PBF	_____	PM 004-WAT WATER Comments1: AL'S 630-492-7365 *** CANCELLED 2-18-22* Comments2: **				02/18/2022	
BF	_____	AM 005-BKF BACKFILL Comments1: MIDWEST 815-839-8175					02/22/2022
BF	_____	PM 001-FTG FOOTING Comments1: MIDWEST 815-839-8175, GRANDE RESERVE	20211711	3020 MCLELLAN BLVD	528		02/09/2022
BF	_____	PM 002-FOU FOUNDATION Comments1: GRANDE RESERVE -- 815-839-8175				02/10/2022	
BF	_____	PM 003-BKF BACKFILL Comments1: GRANDE RESERVE -- HANNAH 815-839-8175					02/14/2022
PBF	13:00	PM 004-WAT WATER Comments1: AL'S630-492-7635				02/16/2022	

DATE: 03/01/2022  
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UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 02/01/2022 TO 02/28/2022

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	005-GPL GREEN PLATE INSPECTION					02/25/2022
		Comments1: ANCHOR BOLTS					
BF	_____	PM 001-FTG FOOTING	20211725	3012 MCLELLAN BLVD	527	02/15/2022	
		Comments1: GRANDE RESERVE, MIDWEST 815-839-8175 ((					
		Comments2: CANCELLED)))					
BF	_____	AM 002-FTG FOOTING					02/16/2022
		Comments1: GRANDE RESERVE, MIDWEST 815-839-8175					
BF	_____	PM 003-FOU FOUNDATION					02/17/2022
		Comments1: MIDWEST, GRANDE RESEVE 815-839-8175					
BF	_____	AM 004-BKF BACKFILL					02/24/2022
PR	_____	PM 005-WAT WATER				02/25/2022	
		Comments1: AL'S 630-492-7635					
BF	_____	PM 001-FTG FOOTING	20211726	2885 ROOD ST	320		02/23/2022
		Comments1: GRANDE RESERVE -- 815-839-8175**NO CHARG					
		Comments2: E FOR REI**					
BF	_____	PM 002-FOU FOUNDATION					02/02/2022
		Comments1: GRANDE RESERVE -- 815-839-8175					
PBF	_____	003-ESW ENGINEERING - SEWER / WAT	20211732	841 GREENFIELD TURN	48		02/01/2022
		Comments1: BOB 630-918-2348					
BF	_____	AM 003-BKF BACKFILL	20211747	541 ASHWORTH LN	517		02/04/2022
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT					02/11/2021
		Comments1: RAINTREE VILLAGE -- 630-387-2001					
BC	_____	AM 003-BKF BACKFILL	20211750	2493 FAIRFIELD AVE	485		02/01/2022
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT					02/11/2021
		Comments1: RAINTREE VILLAGE -- 630-387-2001					
BC	_____	002-FOU FOUNDATION	20211751	2001 PRAIRIE GRASS LN	45		02/15/2022
		Comments1: REMY 630-973-1751					
PBF	_____	AM 003-ESW ENGINEERING - SEWER / WAT					02/23/2022
		Comments1: RENY 630-973-6699 NOT READY					
BF	_____	AM 004-BKF BACKFILL					02/23/2022
		Comments1: RENY 630-973-6699					
PR	_____	005-ESW ENGINEERING - SEWER / WAT				02/25/2022	

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UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 02/01/2022 TO 02/28/2022

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	AM 002-FOU FOUNDATION Comments1: REMY 630-973-6699	20211752	936 HAYDEN DR	44		02/03/2022
BF	_____	AM 003-BKF BACKFILL Comments1: 630-973-6699					02/18/2022
PBF	_____	004-ESW ENGINEERING - SEWER / WAT Comments1: RENY 630-973-6699					02/23/2022
BC	_____	PM 004-FIN FINAL INSPECTION	20220001	557 REDBUD DR	45		02/04/2022
BC	_____	PM 005-REL ROUGH ELECTRICAL					02/04/2022
BF	_____	PM 002-FOU FOUNDATION	20220002	2333 FAIRFIELD AVE	498		02/04/2022
BF	_____	AM 003-BKF BACKFILL Comments1: RAINTREE VILLAGE - JUAN AT 847-551-9066					02/11/2022
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: RAINTREE VILLAGE -- 630-387-2001					02/14/2022
BF	_____	AM 001-FTG FOOTING Comments1: RAINTREE - 630-551-9066	20220003	2327 FAIRFIELD AVE	499		02/23/2022
BC	_____	AM 002-FOU FOUNDATION Comments1: COMEX 847-551-9066	20220005	2264 FAIRFAX WAY	504		02/01/2022
BF	_____	AM 003-BKF BACKFILL					02/04/2022
PBF	_____	PM 004-ESW ENGINEERING - SEWER / WAT Comments1: RAINTREE VILLAGE 630-387-2001					02/14/2022
BF	_____	AM 001-FTG FOOTING Comments1: COMEX 847-551-9066 RAINTREE	20220006	2248 FAIRFAX WAY	505		02/15/2022
BF	_____	AM 002-FOU FOUNDATION Comments1: COMEX 847-551-9066 RAINREE					02/18/2022
PR	_____	PM 003-ESW ENGINEERING - SEWER / WAT				02/28/2022	
BC	_____	PM 004-BKF BACKFILL				02/28/2022	
BF	_____	AM 001-FTG FOOTING Comments1: RAINTREE -630-551-9066	20220007	2236 FAIRFAX WAY	506		02/23/2022
NL	_____	PM 001-PHD POST HOLE - DECK	20220008	1503 MONTROSE CT	9		02/23/2022
PR	_____	001-REL ROUGH ELECTRICAL Comments1: GREG MARKER -- 630-977-1869 -- SUITE 2	20220024	608 E VETERANS PKWY		02/11/2022	

DATE: 03/01/2022  
TIME: 09:16:20  
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE  
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 02/01/2022 TO 02/28/2022

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	003-RFR ROUGH FRAMING				02/11/2022	
PR	_____	004-PLR PLUMBING - ROUGH				02/11/2022	
		Comments1: GREG MARKER -- 630-977-1869 -- SUITE 2					
GH	_____ PM	001-PHF POST HOLE - FENCE	20220026	1024 S CARLY CIR	114		02/14/2022
		Comments1: 630-551-3400					
BC	_____	001-FIN FINAL INSPECTION	20220027	707 MORGAN ST			02/18/2022
		Comments1: DAVID 331-481-1999					
NL	_____ PM	001-PHF POST HOLE - FENCE	20220029	2022 INGEMUNSON LN	140		02/16/2022
		Comments1: HOLLY- 630-551-3400					
NL	_____ AM	002-PHF POST HOLE - FENCE	20220030	2034 INGEMUNSON LN	141		02/17/2022
BF	_____ AM	002-FTG FOOTING	20220031	2288 FAIRFAX WAY	501		02/10/2022
BC	_____ AM	003-FOU FOUNDATION					02/14/2022
BF	_____ AM	004-BKF BACKFILL					02/23/2022
		Comments1: COMEX 847-551-9066 RAINTREE					
PR	_____ PM	005-ESW ENGINEERING - SEWER / WAT				02/28/2022	
BF	_____ AM	001-FTG FOOTING	20220032	2401 FAIRFIELD AVE	493		02/11/2022
		Comments1: RAINTREE VILLAGE -- JUAN AT 847-551-9066					
BF	_____ AM	002-FOU FOUNDATION					02/15/2022
		Comments1: COMEX 847-551-9066 RAINTREE					
BF	_____ AM	003-BKF BACKFILL					02/23/2022
		Comments1: COMEX 847-551-9066 RAINTREE					
PR	_____ PM	004-ESW ENGINEERING - SEWER / WAT				02/28/2022	
BF	_____ AM	001-FTG FOOTING	20220033	508 BRAEMORE LN	535	02/11/2022	
		Comments1: RAINTREE VILLAGE - JUAN AT 847-551-9066					
		Comments2: (((((CANCELLED))))))					
BC	_____ PM	003-FOU FOUNDATION					02/28/2022
BF	_____ AM	001-FIN FINAL INSPECTION	20220037	315 ESSEX CT	18		02/28/2022
		Comments1: SOLAR -- 630-506-0399					
BF	_____ AM	002-FEL FINAL ELECTRIC					02/28/2022
		Comments1: SOLAR -- 630-506-0399					

INSPECTIONS SCHEDULED FROM 02/01/2022 TO 02/28/2022

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	001-PPF PRE-POUR, COMMERCIAL FLOO	20220040	202 E COUNTRYSIDE PKWY			02/23/2022
		Comments1: SLAB					
BF	_____	PM 001-FIN FINAL INSPECTION	20220043	2391 AUTUMN CREEK BLVD	270		02/25/2022
		Comments1: SOLAR ZACH 708-738-4094					
BF	_____	PM 002-FEL FINAL ELECTRIC					02/25/2022
NL	_____	AM 001-PHF POST HOLE - FENCE	20220045	3208 BOOMBAH BLVD	136		02/16/2022
		Comments1: LATE AM IF POSSIBLE - HOLLY 630-551-3400					
NL	_____	AM 002-FIN FINAL INSPECTION					02/23/2022
		Comments1: FENCE					
GH	_____	AM 001-PHF POST HOLE - FENCE	20220046	805 BRISTOL AVE			02/10/2022
BF	_____	AM 001-FIN FINAL INSPECTION	20220059	2739 GOLDENROD DR	239		02/14/2022
		Comments1: WHISPERING MEADOWS -- EDDIE 801-837-4586					
BF	_____	AM 002-FEL FINAL ELECTRIC					02/14/2022
BF	_____	AM 001-FIN FINAL INSPECTION	20220060	2792 ELDEN DR	283		02/14/2022
		Comments1: WHISPERING MEADOWS -- EDDIE 801-837-4586					
		Comments2: -- SOLAR					
BF	_____	AM 002-FEL FINAL ELECTRIC					02/14/2022
GH	_____	AM 001-PHF POST HOLE - FENCE	20220061	401 HAZELTINE WAY	14	02/14/2022	
		Comments1: SHERRY - 815-836-8731					
NL	11:30	002-PHF POST HOLE - FENCE					02/15/2022
		Comments1: NORTHWEST CEDAR 815-836-8731					
BC	_____	PM 001-RFR ROUGH FRAMING	20220062	181 WOLF ST	C		02/17/2022
		Comments1: INSTALL HANDRAIL TO 2ND FLOOR, FILL TOP					
		Comments2: PLATE PENETRATIONS WITH FIRE FOAM					
BC	_____	PM 002-REL ROUGH ELECTRICAL					02/17/2022
		Comments1: LABEL ELECTRIC PANEL					
PBF	11:00	004-PLF PLUMBING - FINAL OSR READ					02/18/2022
		Comments1: 11AM-1PM **PLEASE TEXT/CALL DAVID 630-60					
		Comments2: 8-9308 WHEN 30 MIN AWAY**-----SEE INSPECT					
		Comments3: ION REPORT FOR COMMENTS					
BF	_____	AM 001-FIN FINAL INSPECTION	20220070	2723 GOLDENROD DR	242		02/28/2022
		Comments1: SOLAR EDDY 801-837-4586					

INSPECTIONS SCHEDULED FROM 02/01/2022 TO 02/28/2022

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	AM 002-FEL FINAL ELECTRIC					02/28/2022
NL	_____	002-FIN FINAL INSPECTION Comments1: ROOF FINAL	20220081	575 KELLY AVE	5		02/28/2022
BC	_____	AM 001-RFR ROUGH FRAMING Comments1: BASEMENT	20220084	2484 ELLSWORTH CT	355		02/22/2022
BC	_____	AM 002-REL ROUGH ELECTRICAL					02/22/2022
GH	_____	AM 001-ROF ROOF UNDERLAYMENT ICE & W Comments1: WORKING, NOT READY	20220093	607 HEUSTIS ST	4		02/28/2022
GH	_____	AM 001-PHD POST HOLE - DECK	20220097	284 WINDETT RIDGE RD	19		02/28/2022



INSPECTIONS SCHEDULED FROM 02/01/2022 TO 02/28/2022

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
-----							
PERMIT TYPE SUMMARY:		ADD ADDITION			1		
		BSM BASEMENT REMODEL			12		
		COM COMMERCIAL BUILDING			1		
		CRM COMMERCIAL REMODEL			6		
		DCK DECK			2		
		FNC FENCE			14		
		GAR GARAGE			2		
		REP REPAIR			1		
		ROF ROOFING			5		
		SFA SINGLE-FAMILY ATTACHED			95		
		SFD SINGLE-FAMILY DETACHED			269		
		SOL SOLAR PANELS			16		
		WIN WINDOW REPLACEMENT			3		
INSPECTION SUMMARY:		BKF BACKFILL			14		
		BSM BASEMENT FLOOR			5		
		EFL ENGINEERING - FINAL INSPECTION			23		
		ESW ENGINEERING - SEWER / WATER			17		
		FEL FINAL ELECTRIC			34		
		FIN FINAL INSPECTION			46		
		FMC FINAL MECHANICAL			16		
		FME FINAL MECHANICAL			9		
		FOU FOUNDATION			15		
		FTG FOOTING			17		
		GAR GARAGE FLOOR			8		
		GPL GREEN PLATE INSPECTION			17		
		INS INSULATION			22		
		PHD POST HOLE - DECK			8		
		PHF POST HOLE - FENCE			10		
		PLF PLUMBING - FINAL OSR READY			25		
		PLR PLUMBING - ROUGH			21		
		PLU PLUMBING - UNDERSLAB			3		
		PPF PRE-POUR, COMMERCIAL FLOOR			1		
		REI REINSPECTION			16		
		REL ROUGH ELECTRICAL			26		
		RFR ROUGH FRAMING			25		
		RMC ROUGH MECHANICAL			21		
		ROF ROOF UNDERLAYMENT ICE & WATER			1		
		STP STOOP			17		
		WAT WATER			10		
INSPECTOR SUMMARY:		BC BOB CREADEUR			93		
		BF B&F INSPECTOR CODE SERVICE			123		
		EEI ENGINEERING ENTERPRISES			23		
		GH GINA HASTINGS			59		
		NL NICK LEVITA			18		

INSPECTIONS SCHEDULED FROM 02/01/2022 TO 02/28/2022

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
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		PBF BF PLUMBING INSPECTOR				66	
		PR PETER RATOS				45	

STATUS SUMMARY:	C	BC				3	
	C	BF				10	
	C	EEI				4	
	C	GH				2	
	C	NL				4	
	C	PBF				2	
	C	PR				5	
	I	BC				53	
	I	BF				104	
	I	EEI				2	
	I	GH				50	
	I	NL				14	
	I	PBF				46	
	I	PR				32	
	T	BC				37	
	T	BF				9	
	T	EEI				17	
	T	GH				7	
	T	PBF				18	
	T	PR				8	

REPORT SUMMARY:

427



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #3

Tracking Number

EDC 2022-16

### Agenda Item Summary Memo

**Title:** Property Maintenance Reports for January and February 2022

**Meeting and Date:** Economic Development Committee – April 5, 2022

**Synopsis:** \_\_\_\_\_  
\_\_\_\_\_

### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Informational

**Council Action Requested:** None

**Submitted by:** Pete Ratos Community Development  
Name Department

### Agenda Item Notes:

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# Memorandum

To: Economic Development Committee  
From: Pete Ratos, Code Official  
CC: Bart Olson, Krysti Barksdale-Noble, Jori Behland  
Date January 28, 2022  
Subject: January Property Maintenance

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## Property Maintenance Report January 2022

There were 3 cases heard in January 2022.

### 1/3/2022

N 5803	451 Honeysuckle Ln	Fencing	Liabe \$500
N 5804	451 Honeysuckle Ln	Exterior Property	Liabe \$500
N 5805	577 E Kendall Dr	Temp Occupancy	Dismissed



## Case Report

1/1/2022 - 01/31/2022

Case #	Case Date	ADDRESS OF COMPLAINT	TYPE OF VIOLATION	STATUS	VIOLATION LETTER SENT	FOLLOW UP STATUS	CITATION ISSUED	DATE OF HEARING	POSTED	FINDINGS
20220023	1/31/2022	407 Woodworth Ave	trailer parking	PENDING		PENDING				
20220022	1/27/2022	1421 N BRIDGE ST	SIGNAGE	TO BE INSPECTED						
20220021	1/26/2022	1008 Sunset Ave.	Parking on Right of Way	CLOSED						
20220020	1/21/2022	3225 Longview Dr.	Trailer parking	IN VIOLATION		PENDING				
20220019	1/20/2022	2904 Mclellan Blvd	Work without Permit	CLOSED		PENDING				
20220018	1/20/2022	1545 Coral Dr.	Work without permit	CLOSED		COMPLIANT				NO VIOLATION
20220017	1/20/2022	405 Woodworth	Car parked on Apron	CLOSED						
20220016	1/19/2022	301 Sanders Ct.	trailer parking	CLOSED		COMPLIANT				
20220014	1/19/2022	703 E Main St.	trailer parking	COMPLIANT		COMPLIANT				
20220013	1/19/2022	9600 RT 71	DEBRIS	CLOSED						
20220012	1/18/2022	807 E Main St	trailer parking	IN VIOLATION		IN VIOLATION				
20220011	1/18/2022	9630 Route 71	Junk, Trash and Refuse	CLOSED						
20220010	1/14/2022	407 Woodworth St	Unlicensed Vehicles	CLOSED		COMPLIANT				
20220009	1/13/2022	402 Fairhaven Dr.	Agricultural Animals	CLOSED	1/13/2022					
20220008	1/13/2022	405 Woodworth	trailer parking	CLOSED		COMPLIANT				
20220007	1/11/2022	1541-1561 Sycamore Rd.	Dumpster screening	PENDING	1/12/2022					
20220006	1/11/2022	505 Blaine St	Trailer Parking	CLOSED		COMPLIANT				
20220005	1/11/2022	204 A Hillcrest Ave	Unlicensed vehicle	IN VIOLATION	1/18/2022					
20220004	1/4/2022	613 Greenfield Turn	Roof still has tarp from storm damage	IN VIOLATION	1/4/2022		1/14/2022	2/14/2022		
20220003	1/4/2022	451 Honeysuckle Ln	Fence Installed without Permit	IN VIOLATION	1/4/2022		1/14/2022	2/14/2022		
20220002	1/4/2022	451 Honeysuckle Ln	Junk, Trash & Refuse	IN VIOLATION	1/4/2022		1/14/2022	2/14/2022		
20220001	1/3/2022	407 Woodworth St	Trailer Parking	CLOSED	1/13/2022		1/24/2022	2/28/2022		

Total Records: 22

1/31/2022



# Memorandum

To: Economic Development Committee  
From: Pete Ratos, Code Official  
CC: Bart Olson, Krysti Barksdale-Noble, Jori Behland  
Date February 25, 2022  
Subject: February Property Maintenance

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## Property Maintenance Report February 2022

There were 3 cases heard in February 2022.

### 2/14/2022

N 5806	613 Greenfield Turn	Roofs Drainage	Liabale \$500
N 5807	451 Honeysuckle Ln	Fencing Standards	Liabale \$500
N 5808	451 Honeysuckle Ln	Exterior Areas	Liabale \$500



# Case Report

02/01/2022 - 02/28/2022

Case #	Case Date	ADDRESS OF COMPLAINT	TYPE OF VIOLATION	STATUS	VIOLATION LETTER SENT	FOLLOW UP STATUS	CITATION ISSUED	DATE OF HEARING
20220044	2/24/2022	Shoeger Ct	Construction noise before 7AM	CLOSED		COMPLIANT		
20220043	2/24/2022	1901-1965 S Bridge St	Junk, Trash & Refuse	IN VIOLATION		PENDING		
20220042	2/23/2022	661 Windett Ridge	Unlicensed Vehicle	IN VIOLATION		PENDING		
20220041	2/22/2022	104 E Somonauk St	Fencing Standards	IN VIOLATION		PENDING		
20220040	2/22/2022	181 Wolf St	Sign without a permit	CLOSED		COMPLIANT		
20220039	2/18/2022	1636 Walsh Dr	Unlicensed vehicle	IN VIOLATION		PENDING		
20220038	2/17/2022	503 Blaine St	No violation	CLOSED		COMPLIANT		
20220037	2/15/2022	451 Honeysuckle Ln	Fence installed without permit	IN VIOLATION	2/17/2022	PENDING		
20220036	2/15/2022	451 Honeysuckle	Junk, Trash, Refuse	IN VIOLATION	2/17/2022	PENDING		
20220035	2/15/2022	1823	trailer parking	CLOSED		COMPLIANT		
20220034	2/15/2022	613 Greenfield Turn	Roof still has tarp from storm damage	IN VIOLATION	2/17/2022	PENDING		
20220033	2/15/2022	506 Walsh Ct.	Agricultural Animals	IN VIOLATION		PENDING		
20220032	2/11/2022	205 E	Pets	CLOSED				
20220031	2/8/2022	407 Woodworth	Trailer Parking	DUPLICATE		PENDING		

20220030	2/8/2022	303 E Somonauk St	Construction Vehicle Parking	CLOSED		COMPLIANT		
20220029	2/7/2022	910 N Bridge St	Sign Install Without Permit	TO BE INSPECTED		PENDING		
20220028	2/7/2022	407 McHugh Rd	Unlicensed vehicle	CLOSED	2/14/2022	COMPLIANT		
20220027	2/7/2022	2202 Iroquois Ln	Unlicensed Vehicle	CLOSED		COMPLIANT		
20220026	2/2/2022	314 E Blackberry Ln	Sinking Property	CLOSED		COMPLIANT		
20220025	2/2/2022	728 E Veterans Pkwy	Commercial Occupancy Without Permit	CLOSED		COMPLIANT		

Total Records: 20

3/1/2022





Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #4

Tracking Number

EDC 2022-17

### Agenda Item Summary Memo

**Title:** Economic Development Report for February and March 2022

**Meeting and Date:** Economic Development Committee – April 5, 2022

**Synopsis:** \_\_\_\_\_

\_\_\_\_\_

### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Informational

**Council Action Requested:** None

\_\_\_\_\_

**Submitted by:** Bart Olson Administration

Name Department

### Agenda Item Notes:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



651 Prairie Pointe Drive • Yorkville, Illinois • 60560  
Phone 630-553-0843 • Mobile 630-209-7151  
Monthly Report – for April 2022 EDC Meeting of the United City of Yorkville

## February & March 2022 Activity

### New Development:

- **Kendall Marketplace: Kendall Meat Company**, opened February 3, 2022
- **Kendall Marketplace: Sephora inside Kohl's**, previously reported...opening in 2022.
- **Yorkville Crossing: A/K/A Menard's Center: Belle Tire**, previously reported...opening in 2022. See attached press release.
- **Gerber Collison & Glass**, previously reported. Their architect, and civil are working on plans... opening in 2022.
- **BP and Graham's Marketplace**. (The northeast corner of Route 47 & Route 71) Previously reported... opening in late 2022. They have applied for rezoning, and special use.
- **Chipotle Mexican Grill**: Permit has been issued. Demo and rebuild will begin shortly. Opening targeted for fall of 2022.
- **Caring Hands Thrift Shop**: 4,000 square foot business expansion. The store will remain open during the construction. The project will be completed in late spring 2022.
- **The Williams Group: Former Investor Tools**. Purchase complete and redevelopment has begun.
- **Iconic Coffee Shop**- Yorkville resident, Laura Intrain, will open this new café in 750 square feet at 109 S. Bridge (The Williams Group). She is focusing on opening around July 1<sup>st</sup>, and will serve coffee, teas, espresso, baked goods, and snack bites.
- **Fox's Den Meadery**: Yorkville resident, Enrico "Rico" Bianchi, is preparing to be the first tenant in the 101 S. Bridge, redevelopment (The Williams Group). They will occupy 1,116 square feet on the first floor and 2,000 square feet in the basement. This business will make "Mead Wine". It is considered a micro-winery. Anticipated opening is around July 1<sup>st</sup>.
- **Dakotas** - New restaurant concept from Yorkville resident, Yonas Hagos. Location in downtown Yorkville and more information will be available in the near future. Opening planned for summer 2022.
- **Former Millhurst Ale House** – Barry Michael and Cory Knowles, restaurant industry veterans with a combined 50+ years of experience, are excited about purchasing the property. Closing, restaurant name, and concept announcement are coming very soon.
- **Continue working with a variety of other potential business owners**. There are a variety of parties doing due diligence on space to lease and buildings and land to purchase. Information will be forthcoming.

Respectfully submitted,

A handwritten signature in cursive script that reads "Lynn Dubajic".

Lynn Dubajic  
651 Prairie Pointe Drive  
Yorkville, IL 60560  
[lynn@dlkllc.com](mailto:lynn@dlkllc.com)  
630-209-7151 cell

## **BELLE TIRE LAUNCHES SECOND WAVE OF CHICAGOLAND EXPANSION, THREE MORE LOCATION OPENINGS THIS SPRING**

The Tire and Service Retailer Set to Open Stores in Aurora, Mokena and St. Charles

**CHICAGO** – March 22, 2022 – [Belle Tire](#), one of the fastest-growing and most trusted tire and service retailers in America, is entering its second influx of Illinois store openings after making its Chicagoland entrance in Naperville, Villa Park, Joliet and Shorewood this past fall. The retailer opened its fifth Chicagoland store in Aurora on March 18, with openings to follow in Mokena later this month and St. Charles in April. Each store will offer exclusive in-store deals including up to \$180 off sets of tires for the first 60 days the stores are open.

“After officially entering Illinois this past year, we are proud to continue our expansion and serve new communities,” stated Don Barnes III, President of Belle Tire. “As we celebrate our 100th anniversary this year, expanding our presence in Chicagoland allows us to continue to grow our long-standing mission, giving our neighbors peace of mind and the ability to trust we will get them back on the road quickly and affordably.”

**Belle Tire’s aggressive Illinois expansion will continue with plans to open locations in West Chicago, Romeoville and Orland Park by the end of summer 2022 with Yorkville and Montgomery locations set to follow after.** The retailer plans to open 60 Illinois stores over the next three years and anticipates this expansion will develop 1,000 jobs and make an economic impact of \$325 million in the region. Belle Tire is hosting weekly hiring events in the area and offering signing bonuses.

“Belle Tire is committed to our neighbors and the communities where we do business. Providing financially secure job opportunities is critical to a vibrant and strong community,” said John Szeliga, Vice President of Retail Operations at Belle Tire. “We’re grateful to the cities of Aurora, Mokena and St. Charles for adopting us into their communities and assisting us so we could begin opening our doors.”

Belle Tire Aurora, located at 750 Illinois Route 59, Mokena, located at 19966 South La Grange Road, and St. Charles, located at 101 S Randall Road, will be open:

- Monday 8 a.m. – 8 p.m.
- Tuesday 8 a.m. – 6 p.m.
- Wednesday 8 a.m. – 6 p.m.
- Thursday 8 a.m. – 8 p.m.
- Friday 8 a.m. – 6 p.m.
- Saturday 8 a.m. – 5 p.m.
- Sunday Closed

For more information about Belle Tire and to find a location near you, visit [www.belletire.com/chicago](http://www.belletire.com/chicago).

### **About Belle Tire**

Founded 100 years ago in Detroit, Belle Tire has grown into one of America's most trusted tire and vehicle service retailers. Today there are 132 stores across Michigan, Ohio, Indiana and Illinois with more opening soon. In addition to the “Lowest Tire Price, Period!” Belle Tire’s modern, state-of-the-art facilities offer a wide range of automotive services from alignments, brakes, batteries, shocks, struts, exhaust systems, glass replacement/repair and more. Additionally, Belle Tire offers free services like flat repair, air for tires 24 hours a day, alignment checks, brake checks, tire rotations, balancing and more to ensure that drivers are safe and get the most out of their tires and vehicles. For more information, go to [belletire.com/chicago](http://belletire.com/chicago).

###



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input checked="" type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #5

Tracking Number

EDC 2022-18

### Agenda Item Summary Memo

**Title:** Fiscal Year 2023 Budget Proposal

**Meeting and Date:** Economic Development Committee – April 5, 2022

**Synopsis:** A verbal discussion will take place at the meeting.

### Council Action Previously Taken:

Date of Action: CC – 03/08/22      Action Taken: Public Hearing was held

Item Number: CC 2022-09

**Type of Vote Required:** None

**Council Action Requested:** Informational

**Submitted by:** Bart Olson  
Name

Administration  
Department

### Agenda Item Notes:

FY 23 Proposed Budget Link - <https://www.yorkville.il.us/ArchiveCenter/ViewFile/Item/4453>



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Purchasing	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input checked="" type="checkbox"/>

Agenda Item Number

New Business #6

Tracking Number

EDC 2022-19

### Agenda Item Summary Memo

**Title:** Aging in Community – Aging in a Changing Region

**Meeting and Date:** Economic Development Committee – April 5, 2022

**Synopsis:** Proposed MOU for free workshops and technical planning document regarding “aging-in-community” concept.

#### Council Action Previously Taken:

Date of Action: \_\_\_\_\_ Action Taken: \_\_\_\_\_

Item Number: \_\_\_\_\_

**Type of Vote Required:** Majority

**Council Action Requested:** Vote

**Submitted by:** Krysti J. Barksdale-Noble Community Development  
Name Department

#### Agenda Item Notes:

See attached memo and documents.



# Memorandum

To: Economic Development Committee  
From: Krysti J. Barksdale-Noble, Community Development Director  
CC: Bart Olson, City Administrator  
Tim Evan, Parks and Recreation Director  
Date: March 16, 2022  
Subject: **Aging in a Changing Region**  
Proposed MOU for workshops and technical planning document  
regarding aging in community

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## **Summary:**

As part of staff's time serving on the Chicago Metropolitan Agency for Planning (CMAP) Land Use and Housing Committee, the member communities were asked if they were interested in participating in a free pilot program regarding aging in community.

The intent of this program is to analyze the member community's current aging population needs, provide public engagement workshops to assess the resident's aging population needs/goals, and provide technical assistance on how to meet those needs and advance those goals through local planning efforts (zoning code, comprehensive plan, etc.). This pilot program is a collaborative partnership between CMAP, the Metropolitan Mayors Caucus (MMC) and facilitated by the private firm Planning/Aging.

The program, fully funded by a private grant from the Retirement Research Foundation on Aging, requires a little bit of upfront staff time (about 2-3 internal meetings), community engagement via two (2) tailored public workshops, a self-assessment summary, and the final deliverable of a report of recommendations that can be incorporated into future city guiding documents. The estimated time for program completion is approximately 3-4 months.

Staff is seeking authorization to execute the attached memorandum of understanding (MOU) for the City of Yorkville to participate in this unique strategic planning exercise.

## **Aging in a Changing Region:**

### *Program Background*

With the ultimate goal of becoming a more age-friendly community, the aging-in-community concept is defined as a "whole government approach" to supporting the evolving needs and interests of its aging population. Since it is a continuing effort for communities to attract diverse populations and strive to be "livable" and "family-friendly", it is important to address the welfare of residents throughout their lifespan. Some specific issues of concern by older residents in a community may include:

- Homeowners aging in their houses, falling behind on repairs, with few available options to downsize;
- Residents lacking transportation options to run errands, get groceries, or go to the doctor;
- Residents stuck at home without broadband or a connection to their community;

- Services and facilities not designed for the growing share of older residents.

Research has shown that successful aging-in-community programs include champions among elected officials, staff leadership, dedicated human and financial resources, and the alignment of municipal priorities and key stakeholders.

### *Program Details*

The program will require the partnership of the Metropolitan Mayors Caucus (MMC), the Planning/Aging firm and the City of Yorkville. The roles of each partner are defined below and within the memorandum of understanding (MOU) engagement:

**MMC Role:** The MMC administers the Aging in a Changing Region program, which is a partnership between MMC, Planning/Aging, and the Chicago Metropolitan Agency for Planning. MMC's responsibilities will include:

- Facilitate Aging in a Changing Region assistance to Yorkville, a member of the MMC;
- Attend kickoff meeting to review MOU and help define goals and objectives for assistance;
- Serve as grant administrator and fiscal agent for a grant from the RRF Foundation on Aging, which will compensate Planning/Aging for all rendered services;
- Identify potential linkages to available technical assistance resources, including project partner the Chicago Metropolitan Agency for Planning or other regional organizations.

**Planning/Aging Role:** Planning/Aging leads all workshop activities associated with the Aging in a Changing Region program. Planning/Aging's responsibilities will include:

- Direct 2 workshops on aging-in-community with Yorkville;
- Develop internal assessment, to be completed by staff within Yorkville;
- Regularly communicate with lead staff contact to plan and conduct workshops;
- Develop final memorandum;
- Share follow up information with Yorkville when requested; and
- Identify potential linkages to other available technical assistance resources.

**Municipal Role:** Yorkville will be the direct recipient of all workshop services provided by Planning/Aging through MMC. Yorkville's responsibility will include:

- Designate at least two elected officials or department heads to sign MOU;
- Designate lead staff contact to plan and facilitate workshops with Planning/Aging;
- Attend kickoff meeting with leads and mayor and/or manager to define goals and objectives;
- Identify workshop participants, which could include elected or appointed officials, staff, and/or outside stakeholders;
- Work with Planning/Aging to schedule dates and times for each workshop;
- Ensure that all requested information is provided to Planning/Aging, and that all preparation and follow-up work is completed in a timely manner.

Workshops will include an aging-in-community background presentation, attendee input, and a facilitated discussion on local issues, challenges, and opportunities.

### *Program Status/Outcomes*

Since launching in 2021, the Aging in a Changing Region (AiaCR) program has had five (5) cohort member community participants, with three (3) communities completing their final reports. The final report is in the form of a “strategic guide” that provides policy and programmatic recommendations, based on the municipalities strengths and opportunities, to support the aging-in-community concept. Some recommendations are designed for “quick start” implementation (such as promote the City’s commitment to aging-in-community), while others are mid- and long-range goals (e.g. establish an “Aging-in-Community Commission or review existing ordinances and plans for aging-in-community consistency).

While the AiaCR pilot program has been live for just about a year, a tangible outcome for the Village of Park Forest, a 2021 cohort community, was a Technical Assistance grant from CMAP to help develop an Aging-in-Community handbook to help older residents navigate issues and access resources.

### **Staff Comments:**

The 2022 cohort cycle for the Aging in a Changing Region program is now open and accepting applications. Last year, Yorkville staff had expressed interest in having the city participate in the program but held off until the first cohort communities finished their assessment in 2021. Those communities included Bensenville, Calumet City, Hawthorne Woods, Mount Prospect and Park Forest, and the program seems to have been a success.<sup>1</sup>

Therefore, staff is seeking guidance and input from the Economic Development Committee regarding participation in the program. If the committee is interested, a recommendation to the City Council for staff to execute the attached memorandum of understanding (MOU) is required. Representatives from the Metropolitan Mayors Caucus (MMC) and Planning/Aging will be in attendance at Tuesday night’s meeting to answer any questions.

### **Attachments:**

1. Memorandum of Understanding
2. Aging-in-Community Application form
3. Aging-in-Community PowerPoint Presentation
4. Links to Final Community Reports:
  - a. <https://mayorscaucus.org/wp-content/uploads/2022/02/Park-Forest-final-AiaCR-report-2.2.2022.pdf>
  - b. <https://mayorscaucus.org/wp-content/uploads/2022/02/Calumet-City-final-AiaCR-report-2.16.2022.pdf>
  - c. <https://mayorscaucus.org/wp-content/uploads/2022/02/AiaCR-Final-Report-Bensenville-2.25.2022.pdf>

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<sup>1</sup> <https://mayorscaucus.org/initiatives/aging-in-community/aging-in-a-changing-region/#:~:text=Aging%20in%20a%20Changing%20Region%20is%20a%20partnership%20between%20the.in%20becoming%20more%20age%2Dfriendly>



## **Memorandum of Understanding Between The Metropolitan Mayors Caucus, Planning/Aging, and Yorkville for Aging in a Changing Region**

### **1. NATURE AND PARTNERSHIP**

The goal of this Memorandum of Understanding is to establish a partnership between the Metropolitan Mayors Caucus (“MMC”) and the firm Planning/Aging to provide Yorkville with strategic workshops around aging-in-community.

### **2. RESPONSIBILITIES UNDER THIS MOU**

The strategic workshops are a partnership between MMC as administrator, Planning/Aging as workshop facilitator, and Yorkville as a direct recipient of all workshop services. All workshop activities are to be tailored to the needs of Yorkville. While the workshops are customized, successful engagements have featured group facilitation by Planning/Aging; an internal assessment; and participation from elected officials, department heads, and residents.

*MMC Role:* The MMC administers the Aging in a Changing Region program, which is a partnership between MMC, Planning/Aging, and the Chicago Metropolitan Agency for Planning. MMC’s responsibilities will include:

- Facilitate Aging in a Changing Region assistance to Yorkville, a member of the MMC;
- Attend kickoff meeting to review MOU and help define goals and objectives for assistance;
- Serve as grant administrator and fiscal agent for a grant from the RRF Foundation on Aging, which will compensate Planning/Aging for all rendered services;
- Identify potential linkages to available technical assistance resources, including project partner the Chicago Metropolitan Agency for Planning or other regional organizations.

*Planning/Aging Role:* Planning/Aging leads all workshop activities associated with the Aging in a Changing Region program. Planning/Aging’s responsibilities will include:

- Direct 2 workshops on aging-in-community with Yorkville;
- Develop internal assessment, to be completed by staff within Yorkville;
- Regularly communicate with lead staff contact to plan and conduct workshops;
- Develop final memorandum;
- Share follow up information with Yorkville when requested; and
- Identify potential linkages to other available technical assistance resources.

*Municipal Role:* Yorkville will be the direct recipient of all workshop services provided by Planning/Aging through MMC. Yorkville’s responsibility will include:

- Designate at least two elected officials or department heads to sign MOU;
- Designate lead staff contact to plan and facilitate workshops with Planning/Aging;
- Attend kickoff meeting with leads and mayor and/or manager to define goals and objectives;

- Identity workshop participants, which could include elected or appointed officials, staff, and/or outside stakeholders;
- Work with Planning/Aging to schedule dates and times for each workshop;
- Ensure that all requested information is provided to Planning/Aging, and that all preparation and follow-up work is completed in a timely manner.

### 3. FINANCIAL CONSIDERATIONS

All technical assistance provided by Planning/Aging through MMC is supported by the RRF Foundation on Aging and will be of no cost to the Yorkville. The Yorkville is responsible for staff time incurred in planning and scheduling the workshops. The Yorkville will also provide meeting space.

### 4. PUBLICITY

Yorkville may publicize the technical assistance provided under this MOU. All publicity shall refer to this assistance using its program name, Aging in a Changing Region.

### 5. TERM

The MOU shall commence on the date on the last signature on this MOU and will terminate on December 31, 2022.

**IN WITNESS WHEREOF**, the parties hereto have signed this MOU, or caused it to be signed by their duly authorized representatives, as of the date written above.

AGREED:

\_\_\_\_\_

Date:

Kyle Smith  
Director of Housing & Community Development  
Metropolitan Mayors Caucus

\_\_\_\_\_

Date:

Brad Winick  
Principal  
Planning/Aging

\_\_\_\_\_

Date:

**ELECTED OFFICIAL OR AUTHORIZED DEPARTMENT HEAD  
MUNICIPALITY**

\_\_\_\_\_

Date:

**ELECTED OFFICIAL OR AUTHORIZED DEPARTMENT HEAD  
MUNICIPALITY**

# Aging in a Changing Region Workshop Application

What makes your community a good place for residents of all ages to live? How about your growing number of older residents? How do your community's priorities affect these older residents? As life expectancies increase while birth rates stagnate, the population of most communities is growing older. Many communities are thinking about the impacts of this age shift on all aspects of their community, such as its land use, housing stock, accessibility, open spaces and community places, goods and services, etc. Making a community age-friendlier for its older residents will make it age-friendlier for all residents.

The Metropolitan Mayors Caucus and Planning/Aging are proud to announce the Aging in a Changing Region Program, which will help selected communities with Tailored Workshops to help elected officials and staff develop some of the first steps towards becoming an age-friendly community.

Led by Planning/Aging, these aging-in-place workshops will be customized to each participating community. The workshops will include an aging-in-community background presentation, attendee input, and a facilitated discussion on local issues, challenges, and opportunities. Specific local issues of concern may include:

- Homeowners aging in their houses, falling behind on repairs, with few available options to downsize;
- Residents lacking transportation options to run errands, get groceries, or go to the doctor;
- Residents stuck at home without broadband or a connection to their community;
- Services and facilities not designed for the growing share of older residents.

Please fill out this Workshop Application to be considered for this free workshop-based assistance. The form includes a short assessment of existing municipal policy and activities to help us best tailor any assistance to your needs. All workshops will be scheduled in calendar year 2022 and will conclude with each municipality being provided a custom strategic guide with aging-in-community recommendations to assist them going forward. Strategic guides from the 2021 Aging in a Changing Region cohort can be found at: <https://mayorscaucus.org/initiatives/aging-in-community/aging-in-a-changing-region/>.

The Aging in a Changing Region initiative is generously supported by RRF Foundation for Aging, and participation is free for communities. For more information on how your community can get involved, please contact Kyle Smith, [ksmith@mayorscaucus.org](mailto:ksmith@mayorscaucus.org).

*Please fill out this application online at <https://tinyurl.com/AiaCR-2022-Application>*



# Municipal Contact Information

Please provide the contact information for your community.

\*Required

1. Organization Name\*

2. Contact Name\*

3. Contact Title\*

4. Contact E-mail\*

5. Contact Phone Number\*

## Self-Assessment

Please assess your current involvement in addressing aging-in-place in your community by answering the question below.

6. Please indicate which statement best reflects your municipality's engagement with aging-in-place/aging-in-community: \*

☐ **Interest** - We have become interested in addressing aging-in-place/aging-in-community.

*Answer questions on pages 4-6*

☐ **Early Involvement** - We explored this issue, but have not committed to a particular framework or decided on specific age/dementia-friendly initiatives.

*Answer questions on pages 7-11*

☐ **Advanced Involvement** - We have achieved age-friendly and/or dementia-friendly designation, and may have identified specific age/dementia-friendly initiatives.

*Answer questions on pages 12-16*

## Interest

Please answer the questions below. This section aims to initially assess your involvement with aging-in-place/aging-in-community to date. There are no right or wrong answers to this section. Planning/Aging and the Mayors Caucus intend to use it to customize workshop curricula to your local issues.

7. Please indicate the reasons you are interested in making your municipality more age/dementia-friendly. (Choose all that apply) \*

☐ Growth of our older adult population

☐ Desire for convenient support services for our older adult population ☐

Desire for appropriate housing options for our older adult population ☐

Desire for appropriate transportation for our older adult population

☐ Desire for safe/convenient municipal buildings and outdoor spaces for our older adult population

☐ Desire for improved inter & multi-generational opportunities in our municipality

☐

Other

8. What are some of your municipality's biggest challenges? (Choose all that apply) \*

- ☐ Safety - residents' concerns about perception of their safety within our municipality
- ☐ Housing - need to support older adults' ability to age in their current residences
- ☐ Housing - need to provide more/different housing options within the community
- ☐ Community connectivity - concerns about the condition of our streets and sidewalks
- ☐ Transportation - need to support older adults' ability to get around without relying on private automobiles
- ☐ Accessibility - need to make our municipal buildings and outdoor spaces more accessible
- ☐ Building condition - too many vacant or abandoned buildings
- ☐ Land use - too many vacant or abandoned buildings
- ☐ Basic services - need for better basic services such as food and health care
- ☐ Social engagement - improve the ability for residents to engage community services
- ☐

Other

9. Are there specific elected officials, commissioners, and/or municipal staff who are engaged on these issues? \*

☐ Yes

☐ No

10. If yes, who?

11. Can you identify other individuals or groups from either within or nearby your municipality who would benefit from training/education about age/dementia-friendly strategies? \*

☐ Yes  
☐ No

12. If yes, who?

13. Please provide any additional information or comments that your municipality would like to share as we consider your application.



## Early Involvement

Please answer the questions below. This section aims to initially assess your involvement with aging-in-place/aging-in-community to date. There are no right or wrong answers to this section. Planning/Aging and the Mayors Caucus intend to use it to customize workshop curricula to your local issues.

14. Please indicate the reasons you are interested in making your municipality more age/dementia-friendly. (Choose all that apply) \*

- ☐ Growth of our older adult population
- ☐ Desire for convenient support services for our older adult population
- ☐ Desire for appropriate housing options for our older adult population
- ☐ Desire for appropriate transportation for our older adult population
- ☐ Desire for safe/convenient municipal buildings and outdoor spaces for our older adult population
- ☐ Desire for improved inter & multi-generational opportunities in our municipality

☐

Other

15. What are some of your municipality's biggest challenges? (Choose all that apply) \*

- ☐ Safety - residents' concerns about perception of their safety within our municipality
- ☐ Housing - need to support older adults' ability to age in their current residences
- ☐ Housing - need to provide more/different housing options within the community
- ☐ Community connectivity - concerns about the condition of our streets and sidewalks
- ☐ Transportation - need to support older adults' ability to get around without relying on private automobiles
- ☐ Accessibility - need to make our municipal buildings and outdoor spaces more accessible
- ☐ Building condition - too many vacant or abandoned buildings
- ☐ Land use - too many vacant or abandoned buildings
- ☐ Basic services - need for better basic services such as food and health care
- ☐ Social engagement - improve the ability for residents to engage community services
- ☐

Other

16. Has your municipality's age/dementia-friendly effort identified specific goals related to any of these issues? \*

☐ Yes

☐ No

17. If yes, what are they, and how are you doing in meeting these goals?

18. Have you assessed the assets and challenges for your municipality's current age/dementia-friendly aspirations? \*

☐ Yes

☐ No

19. If no, are you planning to do so? What are there reasons you have been unable to do so to date? \*

20. Either based upon your assessment or your own observations, what are your municipality's current age/dementia-friendly strengths or assets? \*

21. Either based upon your assessment or your own observations, what are your municipality's current age/dementia-friendly weaknesses or challenges? \*

22. Can you identify specific training or education needs that would help your municipality's age/dementia-friendly efforts? \*

☐ Yes

☐ No

23. If yes, what are they?

24. Are there specific elected officials, commissioners, and/or municipal staff who are engaged on these issues? \*

☐ Yes

☐ No

25. If yes, who?

26. Can you identify other individuals or groups from either within or nearby your municipality who would benefit from training/education about age/dementia-friendly strategies? \*

☐ Yes  
☐ No

27. If yes, who?

28. Please provide any additional information or comments your municipality would like to share as we consider your application. \*

## Advanced Involvement

Please answer the questions below. This section aims to initially assess your involvement with aging-in-place/aging-in-community to date. There are no right or wrong answers to this section. Planning/Aging and the Mayors Caucus intend to use it to customize workshop curricula to your local issues.

29. Please indicate the reasons you are interested in making your municipality more age/dementia-friendly. (Choose all that apply) \*

- ☐ Growth of our older adult population
- ☐ Desire for convenient support services for our older adult population
- ☐ Desire for appropriate housing options for our older adult population
- ☐ Desire for appropriate transportation for our older adult population
- ☐ Desire for safe/convenient municipal buildings and outdoor spaces for our older adult population
- ☐ Desire for improved inter & multi-generational opportunities in our municipality

☐

Other

30. What are some of your municipality's biggest challenges? (Choose all that apply) \*

- ☐ Safety - residents' concerns about perception of their safety within our municipality
- ☐ Housing - need to support older adults' ability to age in their current residences
- ☐ Housing - need to provide more/different housing options within the community
- ☐ Community connectivity - concerns about the condition of our streets and sidewalks
- ☐ Transportation - need to support older adults' ability to get around without relying on private automobiles
- ☐ Accessibility - need to make our municipal buildings and outdoor spaces more accessible
- ☐ Building condition - too many vacant or abandoned buildings
- ☐ Land use - too many vacant or abandoned buildings
- ☐ Basic services - need for better basic services such as food and health care
- ☐ Social engagement - improve the ability for residents to engage community services
- ☐

Other

31. Has your municipality's age/dementia-friendly effort identified specific goals related to any of these issues? \*

☐ Yes

☒ No

32. If yes, what are they, and how are you doing in meeting these goals?

33. Have you assessed the assets and challenges for your municipality's current age/dementia-friendly aspirations? \*

☐ Yes

☒ No

34. If no, are you planning to do so? What are there reasons you have been unable to do so to date? \*

35. Either based upon your assessment or your own observations, what are your municipality's current age/dementia-friendly strengths or assets? \*



36. Either based upon your assessment or your own observations, what are your municipality's current age/dementia-friendly weaknesses or challenges? \*

37. Can you identify specific training or education needs that would help your municipality's age/dementia-friendly efforts? \*

☐ Yes

☐ No

38. If yes, what are they?

39. Are there specific elected officials, commissioners, and/or municipal staff who are engaged on these issues? \*

☐ Yes

☐ No

40. If yes, who?

41. Can you identify other individuals or groups from either within or nearby your municipality who would benefit from training/education about age/dementia-friendly strategies? \*

☐ Yes

☐ No

42. If yes, who?

43. Please provide any additional information or comments your municipality would like to share as we consider your application. \*

---

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# Aging in a Changing Region 2021 in Review

Age Friendly Communities Collaborative

March 3, 2022



Brad Winick  
Planning/Aging



# AiaCR 2021 - Background

- RRF Foundation for Aging is funding AiaCR for 2021 & 2022 (*Thank you!*)
- AiaCR is a partnership between the Metropolitan Mayors Caucus, CMAP (Chicago Metropolitan Agency for Planning) and Planning/Aging
- We called for applications from interested municipalities & were met with healthy interest
- We interviewed & selected a diverse 2021 Cohort of municipalities & are finalizing a similarly diverse 2022 Cohort
- A significant component of AiaCR is a pair of public workshops that each Cohort municipality hosts & Planning/Aging leads
- Following the workshops, each municipality receives a strategic “observations & recommendations” document to use going forward

# AiaCR 2021 - Cohort Municipalities



Municipality	County	Community Type	Total Population	Total Acreage	Density (People/Acre)	Racial Makeup % (White/Black/LatinX/AAPI)
<b>Bensenville</b>	DuPage/Cook (W)	Middle ring suburb	18,813	3,550.90	5.30	42.4 / 3.1 / 49.3 / 4.2
<b>Calumet City</b>	Cook (S)	Middle ring suburb	36,033	4,675.40	7.71	9.5 / 74.3 / 15.6 / 0.0
<b>Hawthorn Woods</b>	Lake	Rural/exurban	9,062	5,223.00	1.74	81.7 / 1.9 / 3.5 / 11.1
<b>Mount Prospect</b>	Cook (N)	Middle ring suburb	56,852	6,643.40	8.56	67.0 / 3.0 / 15.3 / 12.1
<b>Park Forest</b>	Cook (S)/Will	Outer ring suburb	21,687	3,176.10	6.83	25.0 / 66.0 / 4.6 / 0.5

# AiaCR 2021 - Workshops



Municipality	Aging-in-Community Involvement Level	AiaCR Core Team	Workshop Dates	Workshop Focus Audience
<b>Bensenville</b>	Early Involvement	1 Village Administration; 1 Community Development	October 27; November 3	1 -- Stakeholders; 2 -- Older Adult Residents
<b>Calumet City</b>	Early Involvement (AARP Network member)	3 Economic Development	October 22; December 3	1 & 2 -- Older Adult Residents & Stakeholders
<b>Hawthorn Woods</b>	Early Involvement	1 Village Trustee; 2 Parks & Recreation	October 13; December 8	1 -- ~ Older Adult Residents; 2 -- ~ Stakeholders
<b>Mount Prospect</b>	Advanced Involvement (AARP Network member)	1+ Human Services	September 29; December 1	1 -- Stakeholders; 2 -- Older Adult Residents
<b>Park Forest</b>	Early Involvement	1 Community Development; 1 Parks & Recreation; 1 Community Health	September 2; November 4	1 & 2 -- Older Adult Residents & Stakeholders



# AiaCR 2021 - Common Recommendations



- Elevate and promote your commitment to aging-in-community
- Establish an ongoing Aging-in-Community Commission to play a key policy advising & review role
- Designate staff in multiple departments as aging-in-community point-persons
- Review existing ordinances, plans & programs for their aging-in-community consistency

# AiaCR 2021 - Specific Recommendations



## Bensenville

- Utilize aging-in-community to help better serve the diverse Bensenville community
- Maximize the new Senior Citizens Center's aging-in-community & intergenerational benefits
- Consider revisiting Accessory Dwelling Units as an aging-in-community benefit

## Calumet City

- Broadly promote Calumet City as the first designated south suburban Age-Friendly City
- Build upon the AiaCR workshops to create an annual Aging-in-Community Resource Fair
- Support establishing an affordable south suburban home repair/modification program

## Park Forest

- Make aging-in-community a strategic priority in Park Forest's current strategic planning
- Revisit the Jolly Trolley and public transportation services within Park Forest
- Develop aging-in-community handbook to help residents navigate issues & access resources





# AiaCR 2021 - Lessons Learned I

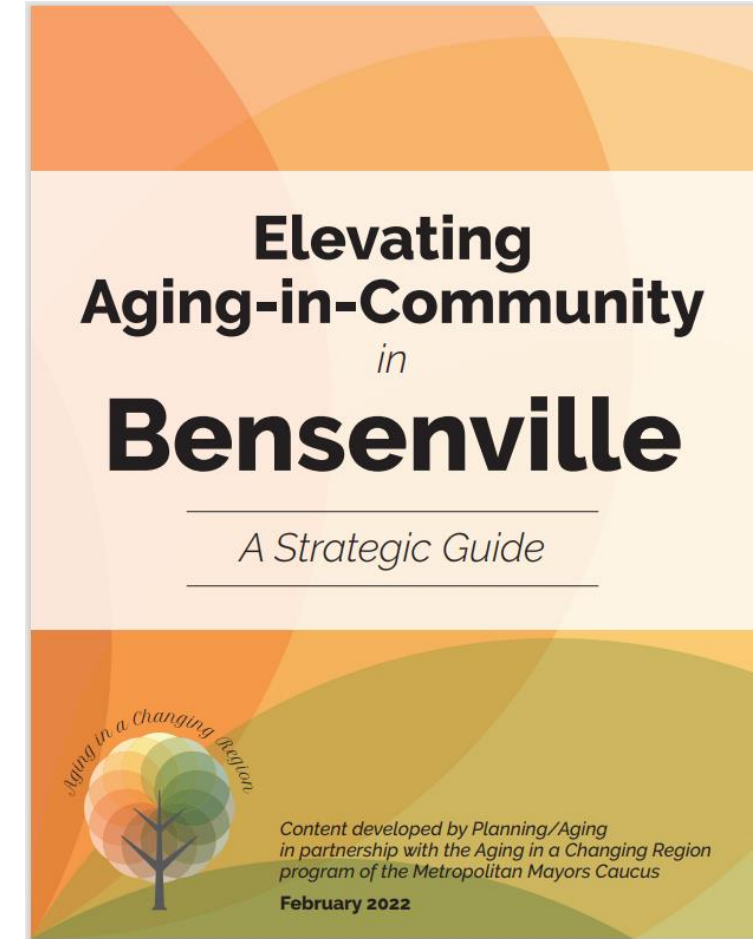
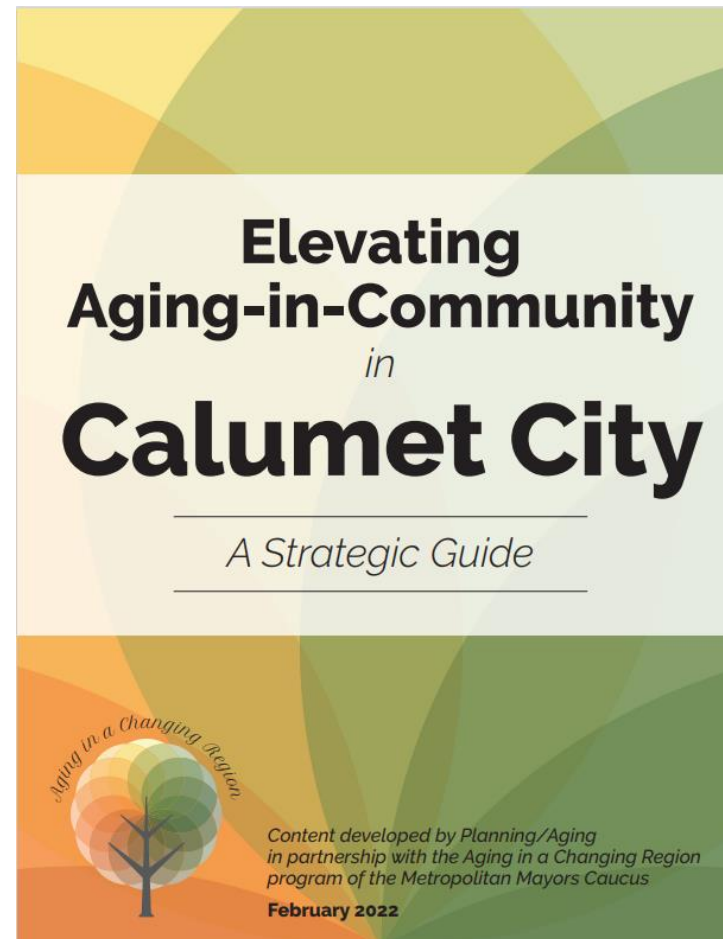
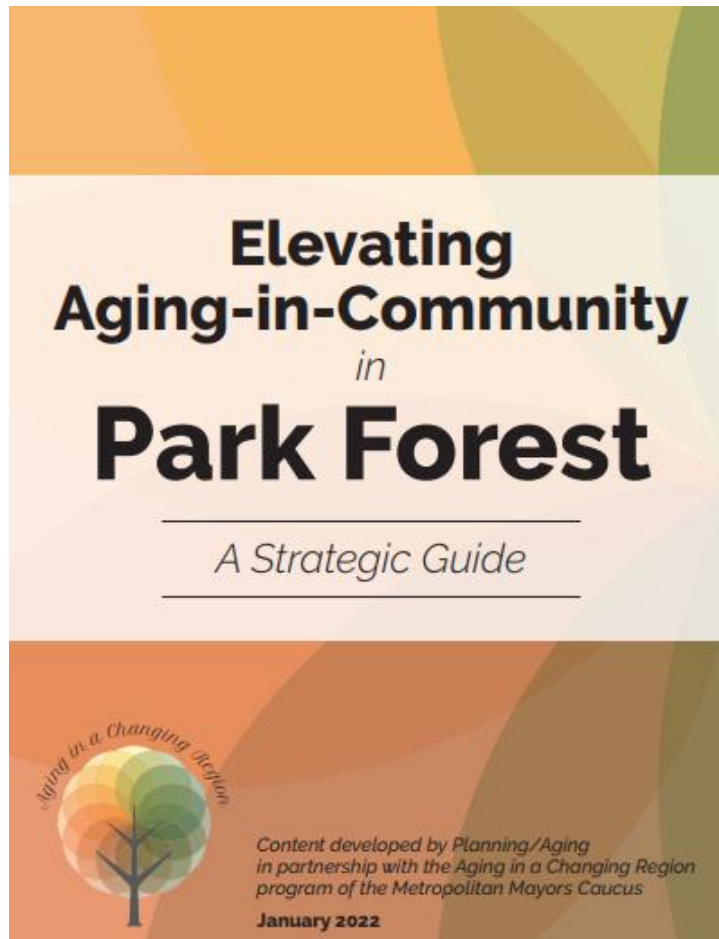
- 1) Different starting points – Regardless of where they currently are, each municipality can elevate its support of aging-in-community
- 2) No one size fits all – Both the AiaCR process & support for aging-in-community itself will look different in each municipality
- 3) Champions are important -- Municipal leadership support should begin at the kickoff meeting
- 4) Take a 'whole-of-government' approach – The Core Team should ideally represent multiple sectors or departments
- 5) Break down silos -- Engage key stakeholder partners (*from the aging network & others*) throughout the process



# AiaCR 2021 - Lessons Learned II

- 6) Assess current aging-in-community climate -- Informal assessments (*by stakeholders and – if possible – residents*) are very valuable
- 7) Share knowledge – Every municipality benefits from a broadly held basis of knowledge about available services & programs
- 8) Local framing -- Link aging-in-community to key issues important in each municipality (*e.g. sustainability, economic development, housing, public safety*)
- 9) Listen & learn – The facilitated discussions are the most valuable components of the workshops
- 10) Keep it simple & readable – Final reports are only helpful if they are used

# AiaCR 2021 – Final Reports



Read the strategic guides at <https://mayorscaucus.org/initiatives/aging-in-community/aging-in-a-changing-region/>



# AiaCR 2021 Municipalities Panel



**Mary Ribando**

Executive Assistant  
Village of Bensenville

**Val Williams**

Economic Development Department  
City of Calumet City

**Rob Gunther**

Director of Recreation, Parks & Community Health  
Village of Park Forest



# AiaCR 2021 – Panel Questions

- 1) How would you describe your municipality's experience in the AiaCR 2021 Cohort?
- 2) Do you think that the right number & types of stakeholders & residents participated in the Workshops? Why or why not?
- 3) Have you begun addressing any of the strategic recommendations in the final report? If so, which ones?
- 4) Are there things you would do differently if you had a do-over chance to be an AiaCR Cohort municipality?
- 5) What advice would you give to a municipality hoping to join a future AiaCR Cohort?
- 6) Do you have any other thoughts to share?



# AiaCR 2021 – Q & A

The floor is open...



# AiaCR 2021 – CMAP's Technical Assistance



As their part of the AiaCR program, CMAP has identified a technical assistance opportunity, and they have begun working with Park Forest on an Aging-in-Community Handbook

Here from CMAP to discuss this today are:

- Enrique Castillo – Senior Planner
- Dominick Argumedo – Senior Planner



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Purchasing Manager	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #7

Tracking Number

EDC 2022-20

### Agenda Item Summary Memo

**Title:** Bricolage Wellness – Windmill Farms PUD (Rezoning)

**Meeting and Date:** Economic Development Committee – April 5, 2022

**Synopsis:** Proposed professional services office on a parcel within the former Windmill Farms Development.

#### Council Action Previously Taken:

Date of Action: CC – 04/09/19 Action Taken: Approval of Ordinance 2019-23 for the Rezoning of Windmill Farms to B-3 & A-1 agricultural district near Rte 71 and 126

Item Number: PZC 2019-03 & EDC 2019-25

**Type of Vote Required:** Majority

**Council Action Requested:** Vote

**Submitted by:** Krysti J. Barksdale-Noble, AICP Community Development

Name Department

#### Agenda Item Notes:

See attached memorandum.



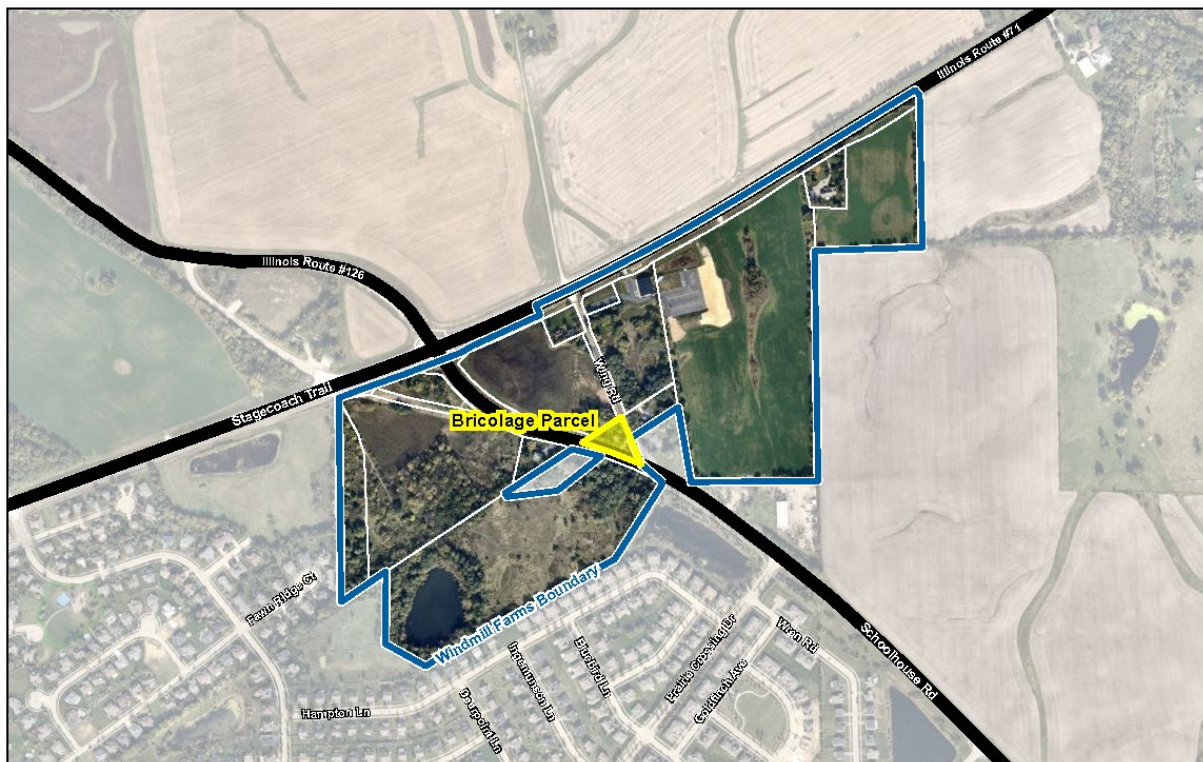


# Memorandum

To: Economic Development Committee  
From: Krysti J. Barksdale-Noble, Community Development Director  
CC: Bart Olson, City Administrator  
Jason Engberg, Senior Planner  
Date: March 18, 2022  
Subject: **PZC 2022-02 Bricolage Wellness – 8721 Route 126**  
Proposed Professional Services Office Use (Rezoning)

## SUMMARY:

The petitioner, Dawn Leprich-Graves, on behalf of BW Properties Holdings, LLC (dba Bricolage Wellness, PLLC), is the contract purchaser of an approximately 1.17-acre parcel located at 8721 Route 126 seeking rezoning approval. The property was included in the previously approved Windmill Farms Annexation and Planned Unit Development Agreement, which permitted certain land uses consistent with those found in the R-4 General Multi-Family Residence District and B-3 General Business zoning districts. The petitioner seeks to utilize the existing one-and-a-half story residential structure on the parcel as a professional office providing counselling and therapeutic services. The requested new zoning of B-3 General Business District would be consistent with the recently rezoned 7.5-acre parcel immediately to the west and remove the remnant Planned Unit Development zoning established as part of the Windmill Farms agreement. Below is a map of the subject property and the overall boundary of the Windmill Farms PUD.



## Windmill Farms Bricolage Location Map

United City of Yorkville, Illinois  
March 21, 2022



## **PROPERTY BACKGROUND:**

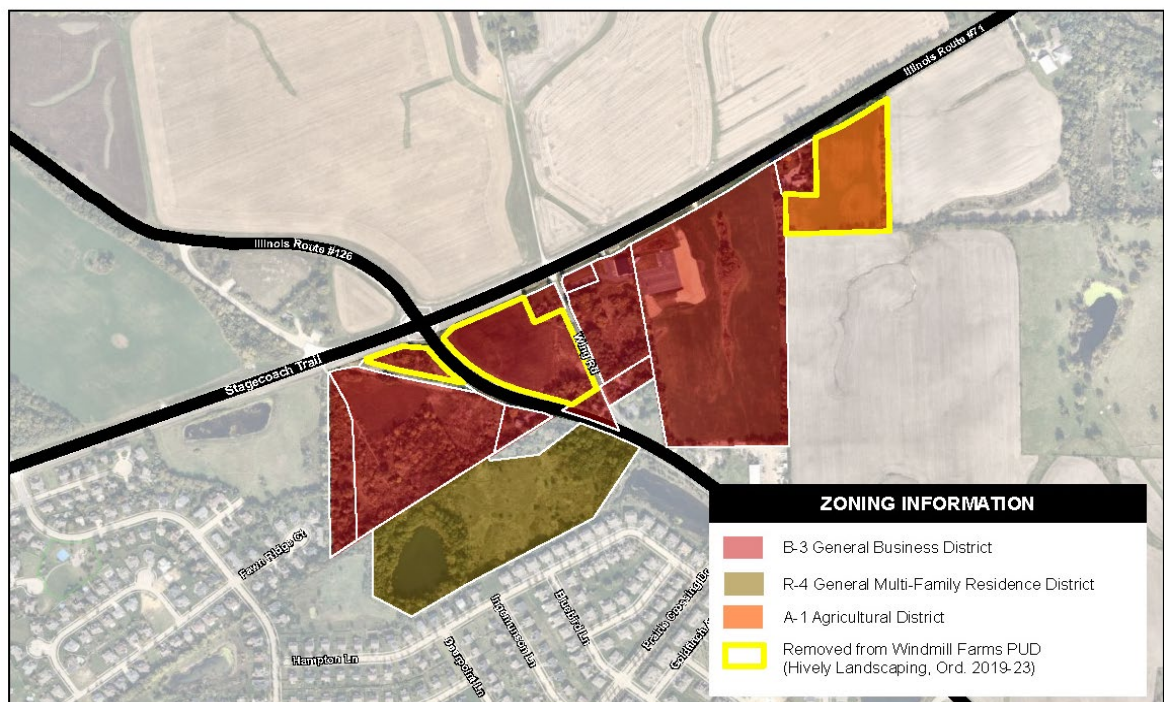
As stated, the subject property was zoned within the Planned Unit Development (PUD) District with B-3 General Business District and R-4 General Multi-Family Residence District land uses, as part of the Windmill Farms' annexation approved in 2008 per Ordinance 2008-40. Per Exhibit "E" of Ord. 2008-40, the approximately 91-acre site, of which the subject parcel is included, was to be developed with a mix of residential and commercial land uses. The annexation and concept site plan were the only approvals granted for the Windmill Farms development. Although zoned with underlining commercial and multi-family land uses since 2008, the subject property continued to be utilized as a residential dwelling originally constructed in 1948 until being placed on the market for sale this year.

Per the City Attorney, since the Windmill Farms Planned Unit Development was never formalized by final plat of subdivision, and with the passage of time, the approved concept plan for the development is no longer valid. Therefore, concurrent with this rezoning request, a separate Annexation and PUD agreement amendment has been requested that will invalidate the former PUD zoning classification and removes the provisions of the concept plan from the subject property. This process is identical to the 2019 rezoning approval for two (2) parcels totaling 16.21-acres, also part of the Windmill Farms PUD, purchased by Hively Landscaping.

## **SITE ANALYSIS:**

The following table and map illustrate the current zoning and land uses of the entire 91-acre Windmill Farms PUD, including the subject property:

Zoning		Land Use
North	B-3 General Business District	Vacant Farm Land
South	R-4 General Multi-Family Residence District	Vacant Farm Land
East	B-3 General Business District	Vacant Farm Land/Religious Institution
West	B-3 Business	Vacant Farm Land



## **Windmill Farms Zoning Map**

United City of Yorkville, Illinois  
March 21, 2022





## ***Zoning***

The proposed professional services office is outright permitted within the requested B-3 General Business District zoning. The B-3 zoning is also consistent with the underling zoning of the subject property established by the PUD, as the current residential land use is considered legally non-conforming. Further, the requested zoning is in keeping with the trend of development within the area immediately surrounding the subject property since seventy-five percent (75%) of the properties are zoned B-3. The most recent occurred in 2019 when Hively Landscaping petitioned to have the parcel directly north of the subject property rezoned from PUD to the B-3 General Business District for a commercial landscaping and greenhouse business.

## ***Comprehensive Plan (Future Land Use)***

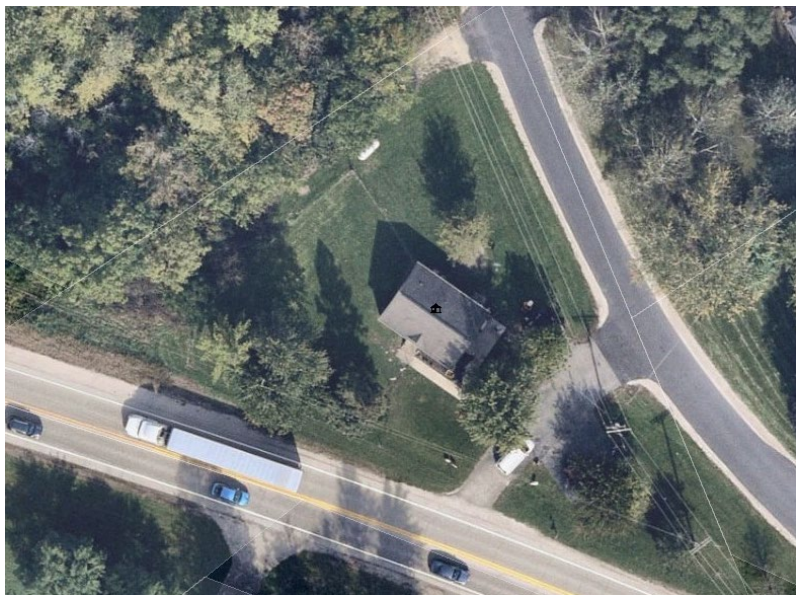
The subject property's future land use is classified as "Estate/Conservation Residential (ERC)" which is intended to provide flexibility for residential design in areas that can accommodate low-density detached single-family housing but also include sensitive environmental and scenic features that should be retained and enhanced. This land use category was implemented as a "holding" classification for those areas, particularly on the outskirts or along the perimeter of the City's corporate boundaries, that had an entitlement plan approved but lacked the public infrastructure to support the development of the land within the 10-year timeline of the 2016 Comprehensive Plan Update.

As conditions change, reevaluation of this guiding document is necessary and anticipated. Therefore, if the rezoning request is approved, an amendment to the Comprehensive Plan Future Land Use map will be required. This will provide a documentation of the change in the City's approval of the development conditions related to this property and align the proposed B-3 zoned parcel with a future land use designation suitable for the professional services office land use, such as "Destination Commercial (DC)". The "Destination Commercial" future land use, as defined in the 2016 Comprehensive Plan Update, is intended for a variety of low-scaled auto oriented commercial uses, including offices.

## ***Proposed Professional Services Office Use***

Bricolage is a professional therapeutic wellness center providing office-based and telehealth care for their patients. As the contract purchaser, Bricolage proposes to repurpose the existing one-and-a-half story residential structure as their third location for counselling and therapeutic professional services. Their other locations are in Lombard and the Chicago Lakeview/Lincoln Park area.

Currently, the petitioner is not seeking to substantially redevelop the property but may seek to construct an addition and expand/restripe the existing asphalt parking area.



The existing residential structure is newly remodeled and has three-bedrooms, one bath, a dormer-style upper level and full unfinished basement consisting of 900 square feet. Per Section 10-16-3: Off Street Parking in the Zoning Ordinance, the minimum required parking spaces for office uses in the B-3 zoning

district is 2 per 1,000 square feet, requiring 2 parking spaces for the property. The existing asphalt parking pad can easily accommodate the required off street parking stalls.

The following chart illustrates the minimum required yard setbacks for buildings/structures within the **B-3 General Business District**:

Minimum Requirement		Existing Setback
Front (IL Rte. 126)	50 feet	+/- 26' (approx. 50' to roadway)
Rear (Wing Road)	20 feet	+/- 26'
Corner Side (Wing Road/IL Rte. 126)	30 feet	+/- 150'
Interior Side	30 feet	+/- 68'

Additionally, parking lots within the B-3 zoning district must maintain a minimum of 20 feet setback from the property line when located adjacent to a major arterial roadway. While the existing parking pad (exclusive from the driveway) overhangs a portion of the property line, the paved area is approximately 25 feet from the asphalt edge of IL Route 126 (Schoolhouse Road). Wing Road is not considered a major arterial roadway.

### ***Utilities***

There are no nearby public utilities (water, sewer) in this area. The petitioner will utilize an existing well and septic field for the on-site needs of the property. Per City Code, however, once utilities are available within 250' of the subject property, they are required to connect to city water and sewer.

### ***Access/Transportation***

The subject property has convenient right-in and right-out access off of IL Route 126 (School House Road) and full access off of Wing Road. Each access point leading to the newly widened and reconstructed IL Route 71.

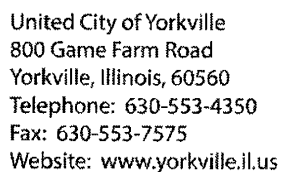
### **STAFF COMMENTS:**

Staff is supportive of the proposed rezoning; even though, if approved, would require an amendment to the Comprehensive Plan Update. Our recommendation is in consideration of the length of time the area has remained undeveloped under the current concept plan and zoning. This is in addition to the existing annexation agreement not correctly approving a special use authorizing a PUD for the Windmill Farm development and the recent rezoning of the adjacent parcel for the same requested B-3 zoning.

This rezoning request is tentatively scheduled for a public hearing before the Planning and Zoning Commission on April 13, 2022. Staff and the petitioner will be available at Tuesday night's meeting to answer any questions.

### **ATTACHMENTS:**

1. Petitioner Rezoning Application
2. Ordinance 2008-40 - Windmill Farms Annexation and PUD Agreement
3. Public Hearing Notice



# APPLICATION FOR REZONING

[illegible]



United City of Yorkville  
800 Game Farm Road  
Yorkville, Illinois, 60560  
Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: [www.yorkville.il.us](http://www.yorkville.il.us)

# APPLICATION FOR REZONING

## ATTORNEY INFORMATION

NAME: Jeff M. Goldberg

COMPANY: Hinshaw and Culbertson, LLP

MAILING ADDRESS: 151 N. Franklin St, Suite 2500

CITY, STATE, ZIP: Chicago, IL 60606

TELEPHONE: 312-704-3771

EMAIL: [jgoldberg@hinshawlaw.com](mailto:jgoldberg@hinshawlaw.com)

FAX:

## ENGINEER INFORMATION

NAME:

COMPANY:

MAILING ADDRESS:

CITY, STATE, ZIP:

TELEPHONE:

EMAIL:

FAX:

## LAND PLANNER/SURVEYOR INFORMATION

NAME:

COMPANY:

MAILING ADDRESS:

CITY, STATE, ZIP:

TELEPHONE:

EMAIL:

FAX:

## ATTACHMENTS

Petitioner must attach a legal description of the property to this application and title it as "Exhibit A".

Petitioner must list the names and addresses of any adjoining or contiguous landowners within five hundred (500) feet of the property that are entitled notice of application under any applicable City Ordinance or State Statute. Attach a separate list to this application and title it as "Exhibit B".



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Yorkville, Illinois, 60560  
Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: [www.yorkville.il.us](http://www.yorkville.il.us)

# APPLICATION FOR REZONING

## REZONING STANDARDS

PLEASE STATE THE EXISTING ZONING CLASSIFICATION(S) AND USES OF THE PROPERTY WITHIN THE GENERAL AREA OF THE PROPOSED REZONED PROPERTY:

The property is currently part of the Windmill Farms Development with an underlying zoning of B3. The property is currently adjacent to agricultural and low density housing.

PLEASE STATE THE TREND OF DEVELOPMENT, IF ANY, IN THE GENERAL AREA OF THE PROPERTY IN QUESTION, INCLUDING CHANGES, IF ANY, WHICH HAVE TAKEN PLACE SINCE THE DAY THE PROPERTY IN QUESTION WAS PLACED IN ITS PRESENT ZONING CLASSIFICATION:

There have been no advancements to the Windmill Farms development. There have been some commercial interests in the area on some of the nearby parcels.

PLEASE STATE THE EXTENT TO WHICH PROPERTY VALUES ARE DIMINISHED BY THE PARTICULAR ZONING RESTRICTIONS:

There will be no impact to property values by rezoning to B3, as it is currently a commercial underlying zone.

PLEASE STATE THE EXTENT TO WHICH THE DESTRUCTION OF PROPERTY VALUES OF PETITIONER PROMOTES THE HEALTH, SAFETY, MORALS, AND GENERAL WELFARE OF THE PUBLIC:

There is no destruction of property values.



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Yorkville, Illinois, 60560  
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Fax: 630-553-7575  
Website: [www.yorkville.il.us](http://www.yorkville.il.us)

# APPLICATION FOR REZONING

## REZONING STANDARDS

PLEASE STATE THE LENGTH OF TIME THE PROPERTY HAS BEEN VACANT AS ZONED CONSIDERED IN THE CONTEXT OF LAND DEVELOPMENT IN THE AREA IN THE VICINITY OF THE SUBJECT PROPERTY:

The property has been part of the Windmill Farms development since 2008 with an underlying B3 zoning. The property has been used as a residential home since before the PUD was established. This outright B3 zoning will follow the current trend of commercial development in the area.

PLEASE STATE THE COMMUNITY NEED FOR THE PROPOSED LAND USE:

This business benefits the community through providing mental health and wellness services to individuals, couples and groups.

WITH RESPECT TO THE SUBJECT PROPERTY, PLEASE STATE THE CARE WITH WHICH THE COMMUNITY HAS UNDERTAKEN TO PLAN ITS LAND USE DEVELOPMENT:

Yorkville's 2016 comprehensive plan outlines all future land usage within its planning boundary, including this property and area. While designated for estate/conservation residential, the plan indicates this use may change depending on future development trends in specific areas of Yorkville.

PLEASE STATE THE IMPACT THAT SUCH RECLASSIFICATION WILL HAVE UPON TRAFFIC AND TRAFFIC CONDITIONS ON SAID ROUTES; THE EFFECT, IF ANY, SUCH RECLASSIFICATION AND/OR ANNEXATION WOULD HAVE UPON EXISTING ACCESSES TO SAID ROUTES; AND THE IMPACT OF ADDITIONAL ACCESSES AS REQUESTED BY THE PETITIONER UPON TRAFFIC AND TRAFFIC CONDITIONS AND FLOW ON SAID ROUTES (ORD. 1976-43, 11-4-1976):

The business does not contribute to a large traffic count. On average, there are a maximum of 2-3 car trips per hour of operation. The businesses will be open during business hours throughout the week.





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Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: www.yorkville.il.us

# APPLICATION FOR REZONING

## REZONING STANDARDS

PLEASE STATE THE RELATIVE GAIN TO THE PUBLIC AS COMPARED TO THE HARDSHIP IMPOSED UPON THE INDIVIDUAL PROPERTY OWNER:

The community is being provided a service with limited hardships caused by a rezoning.

PLEASE STATE THE SUITABILITY OF THE SUBJECT PROPERTY FOR THE ZONED PURPOSES:

The property contains an existing structure to conduct its business, with existing access off of Wing Rd and Route 126. Route 126 is a major thoroughfare, which is ideal for commercial development.

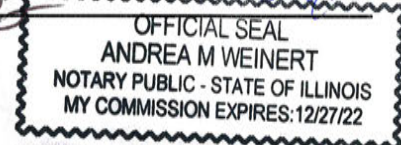
## AGREEMENT

I VERIFY THAT ALL THE INFORMATION IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE. I UNDERSTAND AND ACCEPT ALL REQUIREMENTS AND FEES AS OUTLINED AS WELL AS ANY INCURRED ADMINISTRATIVE AND PLANNING CONSULTANT FEES WHICH MUST BE CURRENT BEFORE THIS PROJECT CAN PROCEED TO THE NEXT SCHEDULED COMMITTEE MEETING.

I UNDERSTAND ALL OF THE INFORMATION PRESENTED IN THIS DOCUMENT AND UNDERSTAND THAT IF AN APPLICATION BECOMES DORMANT IT IS THROUGH MY OWN FAULT AND I MUST THEREFORE FOLLOW THE REQUIREMENTS OUTLINED ABOVE.

*Dawn Lepich-Graws*  
PETITIONER SIGNATURE

2/22/22  
DATE



OWNER HEREBY AUTHORIZES THE PETITIONER TO PURSUE THE APPROPRIATE ENTITLEMENTS ON THE PROPERTY.

*Francis Alexander*  
OWNER SIGNATURE

2/18/22  
DATE

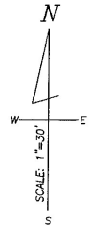


**THIS APPLICATION MUST BE  
NOTARIZED PLEASE NOTARIZE HERE:**

*Michelle M. Harris* 2/18/2022

# PLAT OF SURVEY

OF  
THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1,995.6 FEET TO THE CENTERLINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG THE SAID CENTERLINE OF ILLINOIS ROUTE 71, 1,411.3 FEET TO THE CENTERLINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG THE EXTENDED CENTERLINE AND THE CENTERLINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25 MINUTES TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTERLINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47 MINUTES TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.5 FEET TO THE CENTERLINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE OF ILLINOIS ROUTE 126 TO THE CENTERLINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS



ILLINOIS STATE ROUTE 71

COMMENCING  
HERE



STATE OF ILLINOIS } s. s.  
COUNTY OF KENDALL }

THIS IS TO CERTIFY THAT I, AN ILLINOIS LAND SURVEYOR, HAVE SURVEYED THE PROPERTY DESCRIBED ABOVE AND THAT THE ANNEXED PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL AT OSWEGO, ILLINOIS, THIS 2ND DAY OF FEBRUARY, A.D. 2022.

ORDERED BY:

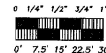
JAMES F. WHITE, P.C.

ORDER NO. 22-B-014 FILE NO. 220167

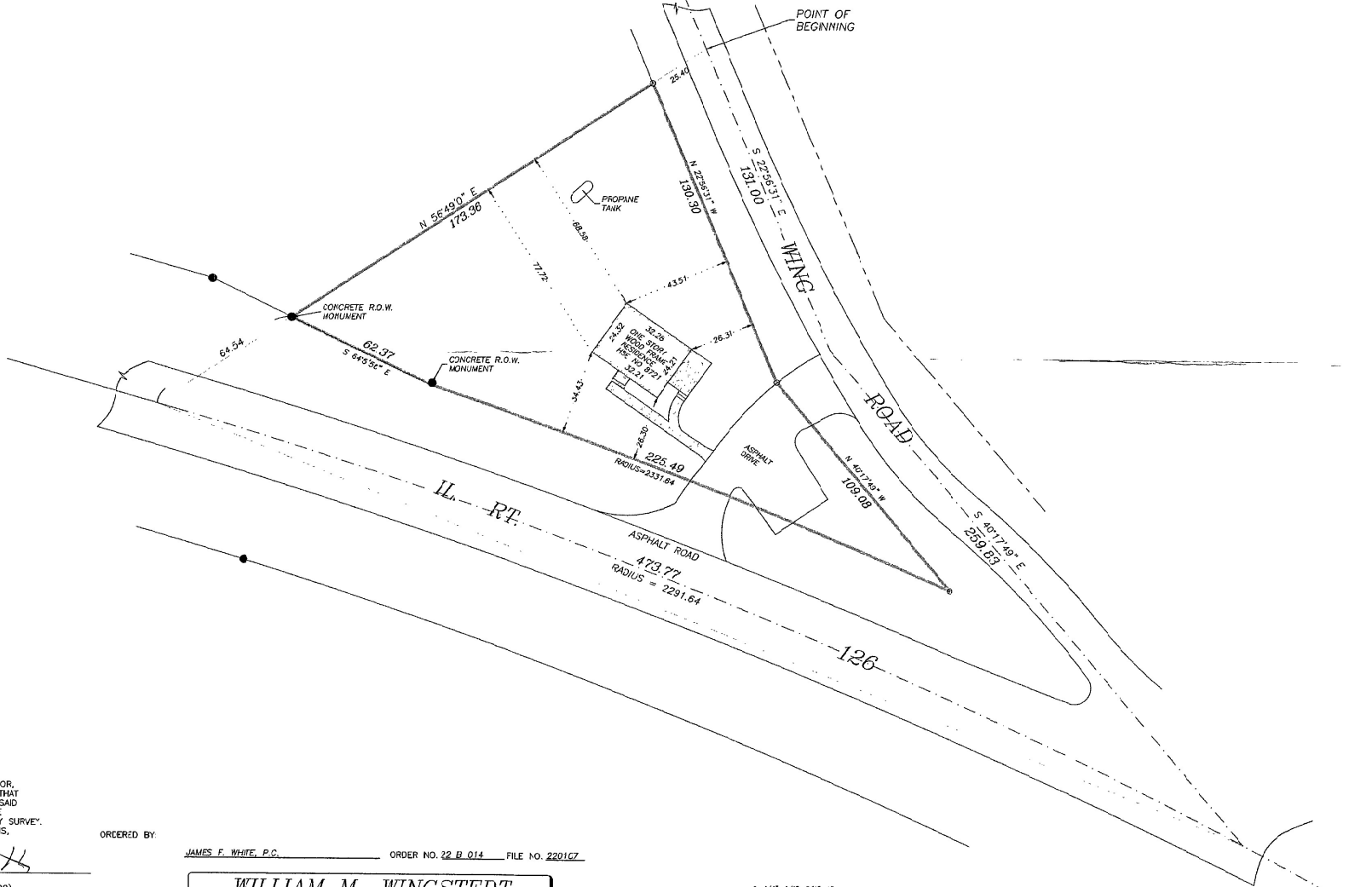
ILLINOIS LAND SURVEYOR NO. 2875  
LICENSE SUBJECT TO RENEWAL AND EXPIRES 11/30/2022.  
REFER TO DEED OR GUARANTEE POLICY FOR RESTRICTIONS NOT SHOWN ON SURVEY.  
ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.  
LINE DIRECTIONS AND BEARINGS, WHERE SHOWN, ARE BASED ON AN ASSUMED DATUM LINE.  
PLEASE COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY APPARENT DISCREPANCIES.

**WILLIAM M. WINGSTEDT**  
ILLINOIS PROFESSIONAL LAND SURVEYOR  
329 WHITE PINES CT., OSWEGO, ILLINOIS 60543  
PHONE: (630) 554-8209 FAX (630) 551-1207

8721 ROUTE 126.DWG  
● = found iron stake  
○ = set iron stake



FIELD WORK COMPLETED, BUILDINGS AND OTHER IMPROVEMENTS LOCATED AS SHOWN ON THE 2ND OF FEBRUARY, A.D. 2022.



STATE OF ILLINOIS       )  
                                  ) ss.  
COUNTY OF KENDALL     )

200800016874  
Filed for Record in  
KENDALL COUNTY, ILLINOIS  
RENNETTA S MICKELSON  
07-17-2008 At 09:50 am.  
ORDINANCE           102.00  
RHSP Surcharge       10.00

*Ordinance No. 2008- 40*

**AN ORDINANCE AUTHORIZING THE EXECUTION OF AN ANNEXATION  
AND  
PLANNED UNIT DEVELOPMENT AGREEMENT  
(Windmill Farms)**

**WHEREAS**, it is prudent and in the best interest of the United City of Yorkville, Kendall County, Illinois, to enter into a certain Annexation and Planned Unit Development Agreement pertaining to the annexation of real estate described on Exhibit A attached thereto and made a part hereof; and,

**WHEREAS**, said Annexation and Planned Unit Development Agreement has been reviewed, discussed and considered by the City Council; and,

**WHEREAS**, the legal owners of record of the territory which is the subject of said Agreement are ready, willing and able to enter into said Agreement and to perform the obligations as required hereunder; and,

**WHEREAS**, the statutory procedures as set forth in 65 ILCS 5/11-15.1-1, pertaining to the approval and execution of annexation and planned unit development agreement have been fully satisfied; and,

**WHEREAS**, the property is contiguous to the existing boundaries of the City.

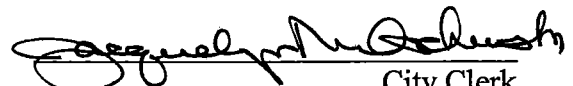
**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and City Council of the United City of Yorkville that the City Code of the City of Yorkville be amended as follows:

*Section 1.* The Mayor and City Council hereby approve the Annexation and Planned Unit Development Agreement a copy of which is attached to this Ordinance (the "*Annexation and Planned Unit Development Agreement*"), pertaining to the real estate legally described on *Exhibit A* also attached hereto.

*Section 2.* The Mayor and City Clerk are herewith authorized and directed to execute, on behalf of the City, said Annexation and Planned Unit Development Agreement and the Clerk is further directed to file said Annexation and Planned Unit Development Agreement with the Kendall County Recorder's Office.

*Section 3.* This Ordinance shall be in full force and effect immediately from and after its passage and approval according to law.

*Passed* by the City Council of the United City of Yorkville, Kendall County, Illinois, this 27 day of May, A.D. 2008.

  
City Clerk

ROBYN SUTCLIFF	<u>yg</u>
ARDEN JOE PLOCHER	<u>yg</u>
GARY GOLINSKI	<u>yg</u>
ROSE SPEARS	<u>yg</u>

JOSEPH BESCO	<u>yg</u>
WALLY WERDERICH	<u>yg</u>
MARTY MUNNS	<u>yg</u>

**APPROVED** by me, as Mayor of the United City of Yorkville, Kendall County, Illinois,  
this 27 day of may, A.D. 2008.

Valerie Burd  
Mayor

**EXHIBIT A**  
**LEGAL DESCRIPTION**

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH  $00^{\circ}14'45''$  EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH  $89^{\circ}50'00''$  WEST, 684.42 FEET; THENCE NORTH  $09^{\circ}30'00''$  WEST, 592.27 FEET; THENCE SOUTH  $57^{\circ}33'55''$  WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH  $21^{\circ}52'29''$  WEST, ALONG SAID EASTERLY LINE, 705.85 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71 FOR THE POINT OF BEGINNING; THENCE SOUTH  $21^{\circ}52'29''$  EAST, ALONG SAID EASTERLY LINE, 119.0 FEET; THENCE NORTH  $68^{\circ}07'31''$  EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH  $21^{\circ}52'29''$  WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE SOUTHWESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE RIGHT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 211.39 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 0.6060 ACRE.

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH  $00^{\circ}14'45''$  EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH  $89^{\circ}50'00''$  WEST, 684.42 FEET; THENCE NORTH  $09^{\circ}30'00''$  WEST, 592.27 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH  $57^{\circ}33'55''$  WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH  $21^{\circ}52'29''$  WEST, ALONG SAID EASTERLY LINE, 586.85 FEET TO A POINT ON SAID EASTERLY LINE WHICH IS 119.0 FEET (MEASURED ALONG SAID EASTERLY LINE) SOUTHEASTERLY OF THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTH  $68^{\circ}07'31''$  EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH  $21^{\circ}52'29''$  WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE LEFT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 261.03 FEET TO A LINE DRAWN NORTH  $09^{\circ}30'00''$  WEST FROM THE POINT OF BEGINNING; THENCE SOUTH  $09^{\circ}30'00''$  EAST, ALONG SAID LINE, 695.72 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 5.6041 ACRES.

THAT PART OF THE NORTH 1/2 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE SOUTH 0 DEGREES, 07 MINUTES, 44 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST 1/4, 1284.36 FEET; THENCE NORTH 89 DEGREES, 47 MINUTES, 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES, 32 MINUTES, 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES, 05 MINUTES, 46 SECONDS WEST, 748.40 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE TIC. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES, 50 MINUTES, 30 SECONDS WEST AT THE LAST DESCRIBED POINT. 627.46; THENCE NORTH 60 DEGREES, 02 MINUTES, 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 12 DEGREES, 27 MINUTES, 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES, 27 MINUTES, 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 0 DEGREES, 47 MINUTES, 30 SECONDS WEST, 423.02 FEET TO SAID CENTER LINE; THENCE SOUTH 60 DEGREES, 02 MINUTES, 30 SECONDS WEST ALONG CENTER LINE, 291.76 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE NORTHEAST, NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1284.36 FEET; THENCE SOUTH 89 DEGREES 29 MINUTES 40 SECONDS WEST 680.30 FEET; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 10.0 FEET FOR A POINT OF BEGINNING; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 579.63 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 24 SECONDS WEST ALONG THE EAST LINE OF SAID BOYD TRACT 748.57 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 49 MINUTES 16 SECONDS WEST AT THE LAST DESCRIBED POINT 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 332.0 FEET; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST 202.0 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 30 SECONDS WEST 423.02 FEET TO SAID CENTER LINE; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 412.69 FEET TO A LINE DRAWN NORTH 00 DEGREES 10 MINUTES 46 SECONDS EAST PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER, FROM A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER WHICH IS 598.62 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID PARALLEL LINE 880.56 FEET TO SAID SOUTH LINE; THENCE SOUTH 89 DEGREES 34 MINUTES 48 SECONDS WEST ALONG SAID SOUTH LINE 598.62 FEET TO SAID SOUTHWEST CORNER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID EAST LINE 1275.36 FEET TO A LINE DRAWN SOUTH 89 DEGREES 40 MINUTES 33 SECONDS EAST FROM THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 40 MINUTES 33 SECONDS WEST 681.94 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 08 MINUTES 09 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTH 57 DEGREES 59 MINUTES 05 SECONDS EAST ALONG SAID OLD CLAIM LINE 299.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 1 DEGREE 51 MINUTES 32 SECONDS WEST, 402.10 FEET; THENCE SOUTH 59 DEGREES 55 MINUTES., 25 SECONDS EAST, 256.51 FEET; THENCE NORTH 59 DEGREES 55 MINUTES 25 SECONDS EAST 355.65 FEET; THENCE NORTH 62 DEGREES 43 MINUTES 29 SECONDS EAST, 853.57 FEET; THENCE NORTH 33 DEGREES 24 MINUTES 40 SECONDS EAST, 542.27 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2292.01 FEET AND A RADIAL BEARING OF SOUTH 29 DEGREES 23 MINUTES 51 SECONDS WEST AT THE LAST DESCRIBED POINT, 358.41 FEET TO A POINT WHICH IS 151.00 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE AND SAID OLD CLAIM LINE; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 265.70 FEET; THENCE SOUTH 73 DEGREES 54 MINUTES 28 SECONDS WEST, 102.86 FEET; THENCE SOUTH 84 DEGREES 11 MINUTES 54 SECONDS WEST, 280.96 FEET; THENCE NORTH 32 DEGREES 00 MINUTES 55 SECONDS WEST, 24.19 FEET TO SAID OLD CLAIM LINE; THENCE SOUTH 87 DEGREES 59 MINUTES 05 SECONDS WEST ALONG SAID OLD CLAIM LINE 789.92 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

A PERPETUAL EASEMENT FOR THE OPERATION, MAINTENANCE AND USE OF A SEPTIC FIELD FOR THE BENEFIT OF PARCEL ONE HEREINABOVE DESCRIBED, UNDER AND UPON THE FOLLOWING DESCRIBED PARCEL OF REAL ESTATE CONTIGUOUS TO PARCEL ONE TO WIT:

COMMENCING AT THE MOST NORTHERLY CORNER OF PARCEL ONE HEREINABOVE DESCRIBED ON THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 47.12 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF ILLINOIS STATE ROUTE NUMBER 126, FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 105.0 FEET; THENCE NORTH 32 DEGREES 08 MINUTES 38 SECONDS WEST, 152.18 FEET; THENCE SOUTH 76 DEGREES 09 MINUTES 49 SECONDS EAST, 5.28 PEEP; THENCE SOUTH 70 DEGREES 39 MINUTES 49 SECONDS EAST, 158.65 FEET, TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, ALL IN KENDALL COUNTY ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET A POINT OF BEGINNING THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID CLAIM LINE, 941.92 FEET TO A POINT ON A LINE DRAWN SOUTHWESTERLY, PERPENDICULAR TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FROM A POINT ON SAID CENTER LINE WHICH IS 1049.70 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE WITH THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTHEASTERLY TO SAID POINT ON SAID CENTER LINE OF ILLINOIS ROUTE 126 AFORESAID; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE AND TO SAID ROUTE 71 CENTER LINE; THENCE SOUTHWESTERLY ALONG SAID ROUTE 71 CENTER LINE, 30.58 FEET TO SAID WEST LINE; THENCE SOUTHERLY ALONG SAID WEST LINE, 78.83 FEET, TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 3; THENCE NORTH 00 DEGREES 00 MINUTES 38 SECONDS EAST, ON A BEARING REFERENCED TO AN ASSUMED NORTH, 1925.21 FEET ON THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS EAST 58.55 FEET TO THE EXISTING SOUTHEASTERLY RIGHT OF WAY LINE OF A.F.A.P. ROUTE 311 (IL ROUTE 71) AND THE POINT OF BEGINNING; THENCE NORTH 72 DEGREES 34 MINUTES 00 SECONDS EAST 35.28 FEET ON SAID SOUTHEASTERLY RIGHT OF WAY LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF S.B.I. ROUTE 66 (IL ROUTE 126); THENCE SOUTH 70 DEGREES 08 MINUTES 35 SECONDS EAST 125.66 FEET ON SAID SOUTHERLY RIGHT OF WAY LINE; THENCE NORTH 81 DEGREES 09 MINUTES 04 SECONDS WEST 51.85 FEET; THENCE NORTH 76 DEGREES 30 MINUTES 40 SECONDS WEST 103.47 FEET TO THE POINT OF BEGINNING), IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE FOR A POINT OF BEGINNING; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE SOUTHWESTERLY ALONG SAID CLAIM LINE, 188.42 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS



ROUTE 71; THENCE NORTHEASTERLY ALONG THE SAID CENTER LINE OF ILLINOIS ROUTE 71, 1411.3 FEET TO THE CENTER LINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG TILE EXTENDED CENTER LINE AND THE CENTER LINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25' TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTER LINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47' TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126 TO THE CENTER LINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; TO THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

GRANTEE HEREBY ASSUMES AND AGREES TO PAY THE UNPAID BALANCE ON THE EXISTING MORTGAGE RECORDED IN BOOK PAGE , THE DEBT SECURED THEREBY AND ALSO HEREBY ASSUMES -THE OBLIGATIONS UNDER THE TERN OF THE INSTRUMENTS CREATING THE LOANS DOCUMENT NO. 79—1053.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE - NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG -THE WEST LINE OF SAID SOUTHWEST QUARTER, - 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID CENTER LINE 30.45 FEET TO THE POINT OF INTERSECTION OF SAID CENTER LINE WITH CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FOR THE POINT OF BEGINNING; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 230.67 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 761.0 FEET; THENCE SOUTH 58 DEGREES 16 MINUTES 47 SECONDS WEST 265.35 FEET TO SAID ROUTE 126 CENTER LINE; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE BEING ALONG A CURVE TO THE LEFT AND HAVING A RADIUS OF 2,292.01 FEET WHICH IS TANGENT TO A LINE DRAWN NORTH 72 DEGREES 57 MINUTES 06 SECONDS WEST FROM THE LAST DESCRIBED POINT 147.93 FEET; THENCE NORTH 16 DEGREES 38 MINUTES 49 SECONDS WEST ALONG SAID ROUTE 126 CENTERLINE 850.98 FEET; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTERLINE BEING ALONG A CURVE TO THE RIGHT AND HAVING A RADIUS OF 2,148.79 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 383.53 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36- NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG -THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 261.12 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 15,459.20 FEET WHICH IS TANGENT TO THE LAST-DESCRIBED COURSE 1141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD FOR THE POINT OF BEGINNING (THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 258.05 FEET; THENCE SOUTH 58 DEGREES 29 MINUTES 47 SECONDS WEST 200.0 FEET; THENCE NORTH 21 DEGREES 30 MINUTES 13 SECONDS WEST PARALLEL WITH SAID WING ROAD CENTER LINE 250.0 FEET TO SAID ROUTE 71 CENTER LINE; THENCE NORTHEASTERLY ALONG SAID ROUTE 71 CENTER LINE 200.16 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, (ILLINOIS, AND ALSO EXCEPTING, THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3 IN TOWNSHIP 38 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING FROM THE POINT OF BEGINNING; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 230.66 FEET ALONG SAID CENTERLINE; THENCE NORTHEASTERLY, 940.56 FEET ALONG AN 11,479.02 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 67 DEGREES 34 MINUTES 29 SECONDS EAST, 940.31 FEET; THENCE SOUTH 22 DEGREES 56 MINUTES 31 SECONDS EAST, 60.03 FEET; THENCE SOUTHWESTERLY, 418.10 FEET ON AN 11,539.02 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING SOUTH 66 DEGREES 16 MINUTES 29 SECONDS WEST, 418.08 FEET; THENCE SOUTH 59 DEGREES 24 MINUTES 09 SECONDS WEST, 71.10 FEET; THENCE SOUTH 25 DEGREES 14 MINUTES 24 SECONDS WEST, 60.52 FEET; THENCE SOUTHEASTERLY, 570.87 FEET ON AN 675.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING SOUTH 55 DEGREES 22 MINUTES 46 SECONDS EAST, 560.80 FEET; THENCE SOUTH 74 DEGREES 04 MINUTES 13 SECONDS EAST, 274.41 FEET; THENCE SOUTH 64 DEGREES 05 MINUTES 29 SECONDS EAST, 35.85 FEET; THENCE SOUTH 55 DEGREES 49 MINUTES 00 SECONDS WEST, 64.56 FEET TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE NORTHWESTERLY, 162.08 FEET ON SAID CENTERLINE BEING A 2,291.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 76 DEGREES 16 MINUTES 12 SECONDS WEST, 162.05 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 357.37 FEET ON SAID CENTERLINE; THENCE NORTH 53 DEGREES 52 MINUTES 46 SECONDS WEST, 96.76 FEET TO THE EXISTING NORTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 297.03 FEET ON A 990.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 45 DEGREES 17 MINUTES 03 SECONDS WEST, 295.92 FEET; THENCE NORTH 36 DEGREES 39 MINUTES 21 SECONDS WEST, 23.77 FEET; THENCE NORTH 77 DEGREES 19 MINUTES 36 SECONDS WEST, 64.74 FEET; THENCE SOUTH 69 DEGREES 03



MINUTES 36 SECONDS WEST, 100.61 FEET; THENCE SOUTH 69 DEGREES 55 MINUTES 52 SECONDS WEST, 149.98 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SAID IL 71; THENCE SOUTH 65 DEGREES 32 MINUTES 40 SECONDS WEST, 113.94 FEET TO THE CENTERLINE OF SAID IL 126; THENCE NORTHWESTERLY, 119.55 FEET ON SAID CENTERLINE BEING A 2,170.59 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 69 DEGREES 20 MINUTES 17 SECONDS WEST, 119.54 FEET TO THE POINT OF BEGINNING.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 07°44" EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1236.84 FEET TO A POINT ON SAID EAST LINE WHICH IS 1284.36 FEET SOUTH OF THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89°47'31" WEST, 684.42 FEET; THENCE NORTH 09°32'39" WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD 88 ON PAGE 399, FOR THE POINT OF BEGINNING; THENCE SOUTH 57°58'56" WEST ALONG THE SOUTHERLY LINE OF SAID BOYD TRACT AND SAID SOUTHERLY LINE EXTENDED 352.89 FEET TO THE CENTER LINE OF WING ROAD; THENCE SOUTH 21°28'35" EAST ALONG SAID CENTERLINE 131.00 FEET; THENCE NORTH 57°58'56" EAST PARALLEL WITH SAID SOUTHERLY LINE 323.58 FEET TO A POINT WHICH IS SOUTH 09°32'39" EAST, 139.37 FEET FROM THE POINT OF BEGINNING; THENCE NORTH 09°32'39" WEST, 139.37 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 7L; THENCE EASTERLY ALONG SAID CENTER LINE 32.2 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126, 1049.7 FEET FOR THE POINT, OF BEGINNING; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO SAID CENTER LINE, 339.9 FEET TO AN OLD CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID OLD CLAIM LINE WHICH MAKES AN ANGLE OF 44°21' (MEASURED CLOCKWISE FROM THE LAST DESCRIBED COURSE) 468.6 FEET TO THE CENTER LINE OF SAID ILLINOIS ROUTE 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE 328.1 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS. EXCEPT THEREFROM THE BELOW DESCRIBED PARCEL:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 399.15 FEET ALONG A 2,170.59 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF SOUTH 73 DEGREES 01 MINUTE 41 SECONDS EAST, 398.58 FEET THENCE SOUTH 78 DEGREES 17 MINUTES 46 SECONDS EAST, 649.36 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING, THENCE SOUTH 78° DEGREES 17 MINUTES 46 SECONDS EAST, 172.16 FEET ALONG SAID CENTERLINE; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 162.08 FEET ALONG A 2,291.64 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING OF SOUTH 76 DEGREES 16 MINUTES 12 SECONDS EAST, 162.05 FEET; THENCE SOUTH 56 DEGREES 32 MINUTES 11 SECONDS WEST, 65.63 FEET; THENCE NORTH 74 DEGREES 04 MINUTES 13 SECONDS WEST, 5.13 FEET; THENCE NORTH 65 DEGREES 29 MINUTES 14 SECONDS WEST, 50.57 FEET, TO THE SOUTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 61.11 FEET ON SAID RIGHT OF WAY LINE BEING ON A 2,251.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF NORTH 77 DEGREES 31 MINUTES 09 SECONDS WEST, 61.11 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 172.27 FEET ALONG SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 11 DEGREES 52 MINUTES 19 SECONDS EAST, 40.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.297 ACRE MORE OR LESS, OF WHICH 0.290 ACRE, MORE OR LESS, IS LYING WITHIN PUBLIC ROAD RIGHT OF WAY, SITUATED IN THE COUNTY OF KENDALL AND STATE OF ILLINOIS, HEREBY RELEASING AND WAVING ALL RIGHTS UNDER AND BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE.



WHEREAS, OWNER/DEVELOPER desires to annex into the CITY the PROPERTY described in the attached Exhibit "A-1" and depicted in the Annexation Plat which is attached hereto and incorporated herein as Exhibit "B" The CITY Plan Commission has considered the Petition to Annex and Zone and positively recommended the same and the City Council has heretofore both requested and approved the proposed land use and the zoning of the same at the request of OWNER/DEVELOPER; and

WHEREAS, with certain limitations, the CITY agrees to allow the real property described in the attached Exhibit "A" to be zoned for Planned Unit Development (PUD) allowing uses permitted within the B-3 Service Business District on a maximum of thirty-five (35) acres located on the East Parcel as depicted on the Concept PUD Plan prepared by Schoppe Design Associates, Inc. and dated revision 17, May 8, 2008; and, the CITY agrees to allow uses permitted within the B-3 Service Business District for the real property described in Exhibit "C" on a maximum of twenty-one (21) acres located on the West Parcel; and the CITY agrees to allow uses permitted within the R-4 General Residence District for the real property described in the attached Exhibit "D" on a maximum of two (2) acres of the real property allowing an age-restricted age fifty-five and over single story townhomes; and the area located south of the B-3 and immediately east of the aforementioned age restricted area allowing a multi-story assisted living facility consisting of approximately three and one-half (3 ½) acres with a minimum of ninety-nine (99) assisted living units allowed on the West Parcel as depicted on the Schoppe Design Associates, Inc. Concept PUD Plan (Exhibit "E"), and

WHEREAS, the City's Comprehensive Plan, Design Guidelines identifies Illinois State Route 71 and Illinois State Route 126 as 'Gateway Corridors'; and

WHEREAS, all parties to this Agreement desire to set forth certain terms and conditions upon which the land heretofore described will be annexed to the CITY in an orderly manner; and

WHEREAS, OWNER/DEVELOPER and its representatives have discussed the proposed annexation and have held a Public Hearing with the Plan Commission, and The City Council, prior to the execution hereof, duly published and held a public hearing was held to consider this Agreement in front of the City Council, as required by the statutes of the State of Illinois in such case made; and

WHEREAS, in accordance with the powers granted to the CITY by the provisions of 65 ILCS 5/11-15.1-1 through 5/11-15.1-5 (2006), inclusive, relating to Annexation Agreements, the parties hereto wish to enter into a binding agreement with respect to the annexation and zoning of the subject Property and to provide for various other matters related directly or indirectly to the annexation of the Property in the future, as authorized by, the provisions of said statutes; and

WHEREAS, pursuant to due notice and publication in the manner provided by law, the appropriate zoning authorities of the CITY have taken all further action required by the provisions of 65 ILCS 5/11-15.1.3 (2006) and the ordinances of the CITY relating to the

procedure for the authorization, approval and execution of this Annexation/Planned Unit Development Agreement by the CITY.

NOW THEREFORE, for and in consideration of the mutual promises and covenants herein contained, the parties agree, under the terms and authority provided in 65 ILCS 5/11-15.1-1 through 65 ILCS 5/11-15.1-5 (2006), as follows:

1. ANNEXATION AND ZONING.

- A. The CITY shall adopt an ordinance annexing to the City all of the real property described herein in the attached Exhibit "A-1"; furthermore, the City shall adopt an ordinance zoning the real property designated in the attached Exhibit "A" to PUD subject to all of the terms of this Agreement and as follows:
  - i. The real property described in Exhibit "C" is allowed uses permitted within the B-3 Service Business Zoning District subject to the alterations described by Exhibit "C-1". Said alterations include the removal of several uses as well as the allowance for one (1) bank, one (1) daycare and one (1) gasoline filling station/gas station as depicted on the Concept PUD Plan (Exhibit "E").
  - ii. The real property described in Exhibit "D" is allowed uses permitted within the R-4 General Residence Zoning District.

2. SITE DEVELOPMENT

A. OWNER/DEVELOPER shall develop the subject property including the preservation of open space, protection of the existing evergreen tree line on the west boundary of the West Parcel, and installation of a trail system, stormwater management facilities and roadway access points in general conformity with the Planned Unit Development Concept Plan dated May 8, 2008, prepared by Schoppe Design Associates, Inc. and which is attached hereto and incorporated by reference as Exhibit "E".

B. OWNER/DEVELOPER shall be responsible for providing landscaping, in conformance with CITY standards along all perimeter boundaries of the subject property.

C. OWNER/DEVELOPER shall establish the landscape buffer along Illinois State Route 71 and Illinois State Route 126 outside of the proposed Right-of-Way expansion line of the Illinois Department of Transportation. Said buffer shall be a minimum of 25 feet in width.

D. OWNER/DEVELOPER shall incorporate and apply all 'Site Planning Principles' as defined by the CITY's "Comprehensive Land Use Plan Update Southern Study Area" Design Guidelines a copy of which sections are attached in Exhibit "F" hereto and made

a part hereof.

E. OWNER/DEVELOPER shall relocate the existing overhead utility lines along the Illinois State Route 71 and Illinois State Route 126 frontage of the Subject Real Property prior to issuance of any building permit for the property. Said relocation shall include obtaining any and all necessary permits and approvals for the utility relocation and OWNER/DEVELOPER shall be responsible for all costs associated with said relocation.

F. OWNER/DEVELOPER agrees to provide a cross-access easement allowing all adjacent properties to access to and across the commercial portions of subject PROPERTY as described by Exhibit "C" at the time of Final Plat of Subdivision.

G. OWNER/DEVELOPER agrees to construct and fund the trail depicted on the Concept PUD Plan (Exhibit "E") at time of Final Plat of Subdivision.

H. OWNER/DEVELOPER agrees that in all respects, the subject PROPERTY shall be developed in conformance with the terms and conditions of the Yorkville Zoning Ordinance, Subdivision Control Ordinance, Stormwater, and all other applicable Ordinances.

I. OWNER/DEVELOPER, and successors, heirs, and assigns hereby agree that prior to development taking place on the PROPERTY, a site development plan shall be submitted along with approval of Preliminary Plat of Subdivision and Preliminary Engineering as well as Final Plats of Subdivision and Final Engineering prior to OWNER/DEVELOPER commencing construction on said PROPERTY.

J. The OWNER shall construct off-site right-of-way improvements within the Raintree Village subdivision to provide connection to infrastructure on Hampton Lane. The location of the said infrastructure shall be consistent with the location and typical pavement section depicted on Exhibit "G" of this Agreement.

K. OWNER agrees within 45 days of a written request from the CITY, which includes legal descriptions and exhibits as necessary, the OWNER/DEVELOPER shall grant permanent and temporary construction easements as necessary for the construction of extension of City utilities and appurtenances and/or other utilities to serve the subject property and other properties within the City of Yorkville.

L. Owner agrees within 45 days of a written request from the United City of Yorkville, which includes legal descriptions and exhibits as necessary, the OWNER/DEVELOPER shall convey by Warranty Deed, fee simple title of future highway or road right of way to the State of Illinois, Kendall County or the United City of Yorkville as necessary, regardless of whether or not these right of way needs have been previously identified in this agreement. Such request for conveyance of right of way shall have no impact on any previously entitled land development density.

3. CITY'S AGREEMENTS.

A.

- (i) The CITY agrees that as to any of the non-residential use and zoning classification parcels, OWNER/DEVELOPER has no obligation to pay School Transition Fees or School-Park Land-Cash Fees.
- (ii) The OWNER/DEVELOPER shall pay Land-Cash Fees for schools and parks at the time of Building Permit Application. For each dwelling unit all fees listed on attached Exhibit "H" shall be charged and paid likewise at the time of application for each respective building permit. The amounts listed in Exhibit "H" will remain for a period of 5 years commencing on the date of this Agreement. Following said five (5) year period, the OWNER/DEVELOPER shall be responsible to pay said fees at a rate currently required by the CITY.

B. OWNER/DEVELOPER shall be required by THE UNITED CITY OF YORKVILLE to hook-on to the City Water at the time of improving the subject property, and shall be responsible for the cost of main extensions to the PROPERTY if said mains do not touch the PROPERTY.

C. Upon annexation to the CITY, the OWNER/DEVELOPER will receive police protection, 911 service, , and all services as provided by CITY to its property owners and residents.

D. The CITY will require the OWNER/DEVELOPER to annex to Yorkville Bristol Sanitary District prior to the time of applying for a building permit seeking to hook up to the Sanitary District and the CITY Sanitary Sewer System. The OWNER/DEVELOPER shall be responsible for the cost of utility extensions to the PROPERTY if said utilities do not touch the PROPERTY.

E. CITY will use its best efforts to support issuance of a highway access permit by IDOT to the CITY and OWNER/DEVELOPER permitting access cuts onto Illinois State Routes 126 and 71 at the approximate locations shown on the Preliminary PUD Conceptual Plan as prepared by Shoppe Design Associates, Inc. and dated January 30, 2008.

4. RIGHTS AND OBLIGATIONS OF SUCCESSORS AND ASSIGNS.

It is specifically understood and agreed that OWNER/DEVELOPER and its successors and assigns shall have the right to sell transfer, mortgage and assign all or any part of the

subject property and the improvements thereon to other persons, trusts, partnerships, firms, or corporations, for investment, building, financing, developing and all such purposes, and that said persons, trusts, partnerships, firms, or corporations shall be entitled to the same rights and privileges and shall have the same obligations as OWNER/DEVELOPER under this Agreement and upon such transfer, the obligations pertaining to the property transferred or sold shall be the sole obligations of the transferee, except for any performance bonds or guaranties posted by OWNER/DEVELOPER on any subdivided or unimproved property for which an acceptable substitute performance bond or letter of credit has not been submitted to the CITY.

#### 5. DORMANT SPECIAL SERVICE AREA and PROPERTY OWNER ASSOCIATION

Owner/Developer agrees to incorporate covenants into the final subdivision plat that provide for the formulation of a Property Owners Association to be responsible to maintain all common facilities, including, but not limited to, private common areas, detention ponds, perimeter landscaping features and entrance signage within the Subject Realty.

Owner/Developer agrees to the City enacting at the time of final plat approval, or anytime thereafter, a Dormant Special Service Area (DSSA) to act as a back up in the event that the Property Owners' Association fails to maintain the Common Facilities, including, but not limited to, private common areas, detention ponds, perimeter landscaping features and entrance signage within the Subject Realty. Owner/Developer agrees to execute any and all documentation necessary or proper to create the Dormant Special Service Area and pay any and all fees, including legal expenses, for the preparation and approval of said documentation.

#### 6. TIME OF THE ESSENCE.

It is understood and agreed by the parties hereto that time is of the essence of this Agreement and that all of the parties will make every reasonable effort, to expedite the subject matter hereof. It is further understood and agreed by the parties that the successful consummation of this Agreement requires their continued cooperation.

#### 7. COVENANTS AND AGREEMENTS.

The covenants and agreements contained in this Agreement shall be deemed to be covenants running with the land during the term of this Agreement shall inure to the benefit of and be binding upon the heirs, successors and assigns of the parties hereto, including the CITY, its corporate authorities and their successors in office, and is enforceable by order of the court pursuant to its provisions and the applicable statutes of the State of Illinois.

8. BINDING EFFECT AND TERM.

This Annexation Agreement shall be binding upon and inure to the benefit of the parties hereto, and their successors and owners of record of land which is the subject of this Agreement, assignee, lessees, and upon any successor municipal authorities of said city, so long as development is commenced within a period of twenty years from the date of execution of this Agreement by the CITY.

9. NOTICE.

Any notices required hereunder shall be in writing and shall be served upon any other party in writing and shall be delivered personally or sent by registered or certified mail, return receipt requested, postage prepaid, addressed as follows:

If to the CITY:

City Clerk  
800 Game Farm Road  
Yorkville, IL 60560

With a copy to:

Kathleen Field Orr  
800 Game Farm Road  
Yorkville, IL 60560

To OWNER/DEVELOPER:

Jake Land Group, LLC  
c/o 25615 Plantation Road  
Plainfield, IL 60544

With a copy to:

Tony Perino  
608 Lookery Ln.  
Joliet, IL 60431

And with a copy to:

Law Offices of Daniel J. Kramer  
1107A S. Bridge St.  
Yorkville, IL 60560

or to such other addresses as any party may from time to time designate in a written notice to the other parties.

10. ENFORCEABILITY.

This Agreement shall be enforceable in any court of competent jurisdiction by any of the parties hereto by an appropriate action of law or in equity to secure the performance of the covenants herein contained.



In the event any portion of said agreement becomes unenforceable due to any change in Illinois Compiled Statutes or court decisions, said unenforceable portion of this Agreement shall be excised here from and the remaining portions thereof shall remain in full force and effect.

11. ENACTMENT OF ORDINANCES.

The CITY agrees to adopt any ordinances which are required to give legal effect to the matters contained in this Agreement or to correct any technical defects which may arise after the execution of this Agreement.

IN WITNESS WHEREOF, the undersigned have hereunto set their hands and seals this 27<sup>th</sup> day of May, 2008.

UNITED CITY OF YORKVILLE

By: Valerie Burd  
Valerie Burd, Mayor

Attest: [Signature]  
City Clerk

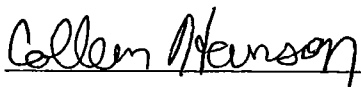
JAKE LAND GROUP, LLC

OWNER/DEVELOPER:

By:

 MEMBER

Attest:



Prepared by and Return to:

Law Offices of Daniel J. Kramer  
1107A S. Bridge Street  
Yorkville, Illinois 60560  
630.553.9500

## EXHIBIT LIST

Exhibit "A"	Legal Description – Subject Property
Exhibit "A-1"	Unincorporated Portion of Subject Property – Legal Description
Exhibit "A-2"	City of Yorkville Portion of Subject Property – Legal Description
Exhibit "B"	Annexation Plat
Exhibit "C"	B-3 Service Business District – Legal Description
Exhibit "C-1"	B-3 Service Business District Allowable Uses
Exhibit "D"	R-4 General Residence District – Legal Description
Exhibit "E"	Concept PUD Plan - Schoppe Design Associates Plan dated May 8, 2008
Exhibit "F"	Design Guidelines of the Comprehensive Land Use Plan Update Southern Study Area
Exhibit "G"	Offsite Infrastructure Improvements – Raintree Village/Hampton Lane Connection
Exhibit "H"	Fee Schedule

**EXHIBIT A  
LEGAL DESCRIPTION**

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH  $00^{\circ}14'45''$  EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH  $89^{\circ}50'00''$  WEST, 684.42 FEET; THENCE NORTH  $09^{\circ}30'00''$  WEST, 592.27 FEET; THENCE SOUTH  $57^{\circ}33'55''$  WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH  $21^{\circ}52'29''$  WEST, ALONG SAID EASTERLY LINE, 705.85 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71 FOR THE POINT OF BEGINNING; THENCE SOUTH  $21^{\circ}52'29''$  EAST, ALONG SAID EASTERLY LINE, 119.0 FEET; THENCE NORTH  $68^{\circ}07'31''$  EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH  $21^{\circ}52'29''$  WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE SOUTHWESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE RIGHT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 211.39 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 0.6060 ACRE.

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH  $00^{\circ}14'45''$  EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH  $89^{\circ}50'00''$  WEST, 684.42 FEET; THENCE NORTH  $09^{\circ}30'00''$  WEST, 592.27 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH  $57^{\circ}33'55''$  WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH  $21^{\circ}52'29''$  WEST, ALONG SAID EASTERLY LINE, 586.85 FEET TO A POINT ON SAID EASTERLY LINE WHICH IS 119.0 FEET (MEASURED ALONG SAID EASTERLY LINE) SOUTHEASTERLY OF THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTH  $68^{\circ}07'31''$  EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH  $21^{\circ}52'29''$  WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE LEFT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 261.03 FEET TO A LINE DRAWN NORTH  $09^{\circ}30'00''$  WEST FROM THE POINT OF BEGINNING; THENCE SOUTH  $09^{\circ}30'00''$  EAST, ALONG SAID LINE, 695.72 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 5.6041 ACRES.

THAT PART OF THE NORTH 1/2 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE SOUTH 0 DEGREES, 07 MINUTES, 44 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST 1/4, 1284.36 FEET; THENCE NORTH 89 DEGREES, 47 MINUTES, 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES, 32 MINUTES, 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES, 05 MINUTES, 46 SECONDS WEST, 748.40 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE TIC. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES, 50 MINUTES, 30 SECONDS WEST AT THE LAST DESCRIBED POINT. 627.46; THENCE NORTH 60 DEGREES, 02 MINUTES, 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 12 DEGREES, 27 MINUTES, 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES, 27 MINUTES, 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 0 DEGREES, 47 MINUTES, 30 SECONDS WEST, 423.02 FEET TO SAID CENTER LINE; THENCE SOUTH 60 DEGREES, 02 MINUTES, 30 SECONDS WEST ALONG CENTER LINE, 291.76 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE NORTHEAST, NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1284.36 FEET; THENCE SOUTH 89 DEGREES 29 MINUTES 40 SECONDS WEST 680.30 FEET; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 10.0 FEET FOR A POINT OF BEGINNING; THENCE NORTH 09 DEGREES. 33 MINUTES 27 SECONDS WEST 579.63 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 24 SECONDS WEST ALONG THE EAST LINE OF SAID BOYD TRACT 748.57 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 49 MINUTES 16 SECONDS WEST AT THE LAST DESCRIBED POINT 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 332.0 FEET; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST 202.0 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 30 SECONDS WEST 423.02 FEET TO SAID CENTER LINE; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 412.69 FEET TO A LINE DRAWN NORTH 00 DEGREES 10 MINUTES 46 SECONDS EAST PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER, FROM A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER WHICH IS 598.62 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID PARALLEL LINE 880.56 FEET TO SAID SOUTH LINE; THENCE SOUTH 89 DEGREES 34 MINUTES 48 SECONDS WEST ALONG SAID SOUTH LINE 598.62 FEET TO SAID SOUTHWEST CORNER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID EAST LINE 1275.36 FEET TO A LINE DRAWN SOUTH 89 DEGREES 40 MINUTES 33 SECONDS EAST FROM THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 40 MINUTES 33 SECONDS WEST 681.94 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 08 MINUTES 09 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTH 57 DEGREES 59 MINUTES 05 SECONDS EAST ALONG SAID OLD CLAIM LINE 299.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 1 DEGREE 51 MINUTES 32 SECONDS WEST, 402.10 FEET; THENCE SOUTH 59 DEGREES 55 MINUTES, 25 SECONDS EAST, 256.51 FEET; THENCE NORTH 59 DEGREES 55 MINUTES 25 SECONDS EAST 355.65 FEET; THENCE NORTH 62 DEGREES 43 MINUTES 29 SECONDS EAST, 853.57 FEET; THENCE NORTH 33 DEGREES 24 MINUTES 40 SECONDS EAST, 542.27 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2292.01 FEET AND A RADIAL BEARING OF SOUTH 29 DEGREES 23 MINUTES 51 SECONDS WEST AT THE LAST DESCRIBED POINT, 358.41 FEET TO A POINT WHICH IS 151.00 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE AND SAID OLD CLAIM LINE; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 265.70 FEET; THENCE SOUTH 73 DEGREES 54 MINUTES 28 SECONDS WEST, 102.86 FEET; THENCE SOUTH 84 DEGREES 11 MINUTES 54 SECONDS WEST, 280.96 FEET; THENCE NORTH 32 DEGREES 00 MINUTES 55 SECONDS WEST, 24.19 FEET TO SAID OLD CLAIM LINE; THENCE SOUTH 87 DEGREES 59 MINUTES 05 SECONDS WEST ALONG SAID OLD CLAIM LINE 789.92 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

A PERPETUAL EASEMENT FOR THE OPERATION, MAINTENANCE AND USE OF A SEPTIC FIELD FOR THE BENEFIT OF PARCEL ONE HEREINABOVE DESCRIBED, UNDER AND UPON THE FOLLOWING DESCRIBED PARCEL OF REAL ESTATE CONTIGUOUS TO PARCEL ONE TO WIT:

COMMENCING AT THE MOST NORTHERLY CORNER OF PARCEL ONE HEREINABOVE DESCRIBED ON THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 47.12 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF ILLINOIS STATE ROUTE NUMBER 126, FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 105.0 FEET; THENCE NORTH 32 DEGREES 08 MINUTES 38 SECONDS WEST, 152.18 FEET; THENCE SOUTH 76 DEGREES 09 MINUTES 49 SECONDS EAST, 5.28 FEET; THENCE SOUTH 70 DEGREES 39 MINUTES 49 SECONDS EAST, 158.65 FEET, TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, ALL IN KENDALL COUNTY ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET A POINT OF BEGINNING THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID CLAIM LINE, 941.92 FEET TO A POINT ON A LINE DRAWN SOUTHWESTERLY, PERPENDICULAR TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FROM A POINT ON SAID CENTER LINE WHICH IS 1049.70 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE WITH THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTHEASTERLY TO SAID POINT ON SAID CENTER LINE OF ILLINOIS ROUTE 126 AFORESAID; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE AND TO SAID ROUTE 71 CENTER LINE; THENCE SOUTHWESTERLY ALONG SAID ROUTE 71 CENTER LINE, 30.58 FEET TO SAID WEST LINE; THENCE SOUTHERLY ALONG SAID WEST LINE, 78.83 FEET, TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION. 3; THENCE NORTH 00 DEGREES 00 MINUTES 38 SECONDS EAST, ON A BEARING REFERENCED TO AN ASSUMED NORTH, 1925.21 FEET ON THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS EAST 58.55 FEET TO THE EXISTING SOUTHEASTERLY RIGHT OF WAY LINE OF A.F.A.P. ROUTE 311 (IL ROUTE 71) AND THE POINT OF BEGINNING; THENCE NORTH 72 DEGREES 34 MINUTES 00 SECONDS EAST 35.28 FEET ON SAID SOUTHEASTERLY RIGHT OF WAY LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF S.B.I. ROUTE 66 (IL ROUTE 126); THENCE SOUTH 70 DEGREES 08 MINUTES 35 SECONDS EAST 125.66 FEET ON SAID SOUTHERLY RIGHT OF WAY LINE; THENCE NORTH 81 DEGREES 09 MINUTES 04 SECONDS WEST 51.85 FEET; THENCE NORTH 76 DEGREES 30 MINUTES 40 SECONDS WEST 103.47 FEET TO THE POINT OF BEGINNING), IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE FOR A POINT OF BEGINNING; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE SOUTHWESTERLY ALONG SAID CLAIM LINE, 188.42 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS

ROUTE 71; THENCE NORTHEASTERLY ALONG THE SAID CENTER LINE OF ILLINOIS ROUTE 71, 1411.3 FEET TO THE CENTER LINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG THE EXTENDED CENTER LINE AND THE CENTER LINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25' TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTER LINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47' TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126 TO THE CENTER LINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; TO THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

GRANTEE HEREBY ASSUMES AND AGREES TO PAY THE UNPAID BALANCE ON THE EXISTING MORTGAGE RECORDED IN BOOK PAGE , THE DEBT SECURED THEREBY AND ALSO HEREBY ASSUMES -THE OBLIGATIONS UNDER THE TERM OF THE INSTRUMENTS CREATING THE LOANS DOCUMENT NO. 79—1053.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE - NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, - 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID CENTER LINE 30.45 FEET TO THE POINT OF INTERSECTION OF SAID CENTER LINE WITH CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FOR THE POINT OF BEGINNING; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 230.67 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT AT THE LAST DESCRIPTION POINT, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 761.0 FEET; THENCE SOUTH 58 DEGREES 16 MINUTES 47 SECONDS WEST 265.35 FEET TO SAID ROUTE 126 CENTER LINE; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE BEING ALONG A CURVE TO THE LEFT AND HAVING A RADIUS OF 2,292.01 FEET WHICH IS TANGENT TO A LINE DRAWN NORTH 72 DEGREES 57 MINUTES 06 SECONDS WEST FROM THE LAST DESCRIBED POINT 147.93 FEET; THENCE NORTH 16 DEGREES 38 MINUTES 49 SECONDS WEST ALONG SAID ROUTE 126 CENTERLINE 850.98 FEET; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTERLINE BEING ALONG A CURVE TO THE RIGHT AND HAVING A RADIUS OF 2,148.79 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 383.53 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36- NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 261.12 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 15,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE 1141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD FOR THE POINT OF BEGINNING (THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 258.05 FEET; THENCE SOUTH 58 DEGREES 29 MINUTES 47 SECONDS WEST 200.0 FEET; THENCE NORTH 21 DEGREES 30 MINUTES 13 SECONDS WEST PARALLEL WITH SAID WING ROAD CENTER LINE 250.0 FEET TO SAID ROUTE 71 CENTER LINE; THENCE NORTHEASTERLY ALONG SAID ROUTE 71 CENTER LINE 200.16 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, (ILLINOIS, AND ALSO EXCEPTING, THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3 IN TOWNSHIP 38 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83): COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING. FROM THE POINT OF BEGINNING; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 230.66 FEET ALONG SAID CENTERLINE; THENCE NORTHEASTERLY, 940.56 FEET ALONG AN 11,479.02 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 67 DEGREES 34 MINUTES 29 SECONDS EAST, 940.31 FEET; THENCE SOUTH 22 DEGREES 56 MINUTES 31 SECONDS EAST, 60.03 FEET; THENCE SOUTHWESTERLY, 418.10 FEET ON AN 11,539.02 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING SOUTH 66 DEGREES 16 MINUTES 29 SECONDS WEST, 418.08 FEET; THENCE SOUTH 59 DEGREES 24 MINUTES 09 SECONDS WEST, 71.10 FEET; THENCE SOUTH 25 DEGREES 14 MINUTES 24 SECONDS WEST, 60.52 FEET; THENCE SOUTHEASTERLY, 570.87 FEET ON AN 675.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING SOUTH 55 DEGREES 22 MINUTES 46 SECONDS EAST, 560.80 FEET; THENCE SOUTH 74 DEGREES 04 MINUTES 13 SECONDS EAST, 274.41 FEET; THENCE SOUTH 64 DEGREES 05 MINUTES 29 SECONDS EAST, 35.85 FEET; THENCE SOUTH 55 DEGREES 49 MINUTES 00 SECONDS WEST, 64.56 FEET TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE NORTHWESTERLY, 162.08 FEET ON SAID CENTERLINE BEING A 2,291.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 76 DEGREES 16 MINUTES 12 SECONDS WEST, 162.05 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 357.37 FEET ON SAID CENTERLINE; THENCE NORTH 53 DEGREES 52 MINUTES 46 SECONDS WEST, 96.76 FEET TO THE EXISTING NORTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 297.03 FEET ON A 990.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 45 DEGREES 17 MINUTES 03 SECONDS WEST, 295.92 FEET; THENCE NORTH 36 DEGREES 39 MINUTES 21 SECONDS WEST, 23.77 FEET; THENCE NORTH 77 DEGREES 19 MINUTES 36 SECONDS WEST, 64.74 FEET; THENCE SOUTH 69 DEGREES 03

MINUTES 36 SECONDS WEST, 100.61 FEET; THENCE SOUTH 69 DEGREES 55 MINUTES 52 SECONDS WEST, 149.98 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SAID IL 71; THENCE SOUTH 65 DEGREES 32 MINUTES 40 SECONDS WEST, 113.94 FEET TO THE CENTERLINE OF SAID IL 126; THENCE NORTHWESTERLY, 119.55 FEET ON SAID CENTERLINE BEING A 2,170.59 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 69 DEGREES 20 MINUTES 17 SECONDS WEST, 119.54 FEET TO THE POINT OF BEGINNING.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 07°44' EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1236.84 FEET TO A POINT ON SAID EAST LINE WHICH IS 1284.36 FEET SOUTH OF THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89°47'31" WEST, 684.42 FEET; THENCE NORTH 09°32'39" WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD 88 ON PAGE 399, FOR THE POINT OF BEGINNING; THENCE SOUTH 57°58'56" WEST ALONG THE SOUTHERLY LINE OF SAID BOYD TRACT AND SAID SOUTHERLY LINE EXTENDED 352.89 FEET TO THE CENTER LINE OF WING ROAD; THENCE SOUTH 21°28'35" EAST ALONG SAID CENTERLINE 131.00 FEET; THENCE NORTH 57°58'56" EAST PARALLEL WITH SAID SOUTHERLY LINE 323.58 FEET TO A POINT WHICH IS SOUTH 09°32'39" EAST, 139.37 FEET FROM THE POINT OF BEGINNING; THENCE NORTH 09°32'39" WEST, 139.37 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE EASTERLY ALONG SAID CENTER LINE 32.2 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126, 1049.7 FEET FOR THE POINT, OF BEGINNING; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO SAID CENTER LINE, 339.9 FEET TO AN OLD CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID OLD CLAIM LINE WHICH MAKES AN ANGLE OF 44°21' (MEASURED CLOCKWISE FROM THE LAST DESCRIBED COURSE) 468.6 FEET TO THE CENTER LINE OF SAID ILLINOIS ROUTE 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE 328.1 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS. EXCEPT THEREFROM THE BELOW DESCRIBED PARCEL:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 399.15 FEET ALONG A 2,170.59 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF SOUTH 73 DEGREES 01 MINUTE 41 SECONDS EAST, 398.58 FEET THENCE SOUTH 78 DEGREES 17 MINUTES 46 SECONDS EAST, 649.36 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING, THENCE SOUTH 78 DEGREES 17 MINUTES 46 SECONDS EAST, 172.16 FEET ALONG SAID CENTERLINE; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 162.08 FEET ALONG A 2,291.64 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING OF SOUTH 76 DEGREES 16 MINUTES 12 SECONDS EAST, 162.05 FEET; THENCE SOUTH 56 DEGREES 32 MINUTES 11 SECONDS WEST, 65.63 FEET; THENCE NORTH 74 DEGREES 04 MINUTES 13 SECONDS WEST, 5.13 FEET; THENCE NORTH 65 DEGREES 29 MINUTES 14 SECONDS WEST, 50.57 FEET, TO THE SOUTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 61.11 FEET ON SAID RIGHT OF WAY LINE BEING ON A 2,251.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF NORTH 77 DEGREES 31 MINUTES 09 SECONDS WEST, 61.11 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 172.27 FEET ALONG SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 11 DEGREES 52 MINUTES 19 SECONDS EAST, 40.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.297 ACRE MORE OR LESS, OF WHICH 0.290 ACRE, MORE OR LESS, IS LYING WITHIN PUBLIC ROAD RIGHT OF WAY, SITUATED IN THE COUNTY OF KENDALL AND STATE OF ILLINOIS, HEREBY RELEASING AND WAVING ALL RIGHTS UNDER AND BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE.

## EXHIBIT A-1

### PARCEL "B" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 0 DEGREES 7 MINUTES 44 SECONDS EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1,236.84 FEET TO A POINT ON SAID EAST LINE WHICH IS 1284.36 FEET SOUTH OF THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89 DEGREES 47 MINUTES 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES 32 MINUTES 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD 88 ON PAGE 399 FOR THE POINT OF BEGINNING; THENCE SOUTH 57 DEGREES 58 MINUTES 56 SECONDS WEST ALONG THE SOUTHERLY LINE OF SAID BOYD TRACT AND SAID SOUTHERLY LINE EXTENDED 352.89 FEET TO THE CENTER LINE OF WING ROAD; THENCE SOUTH 21 DEGREES 28 MINUTES 35 SECONDS EAST ALONG SAID CENTER LINE 131.0 FEET; THENCE NORTH 57 DEGREES 58 MINUTES 56 SECONDS EAST PARALLEL WITH SAID SOUTHERLY LINE 323.58 FEET TO A POINT WHICH IS SOUTH 09 DEGREES 32 MINUTES 39 SECONDS EAST, 139.37 FEET FROM THE POINT OF BEGINNING; THENCE NORTH 09 DEGREES 32 MINUTES 39 SECONDS WEST, 139.37 FEET TO THE POINT OF BEGINNING; IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

### PARCEL "D" DESCRIPTION

THAT PART OF THE NORTHEAST, NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, 1,284.36 FEET; THENCE SOUTH 89 DEGREES 29 MINUTES 40 SECONDS WEST, 680.30 FEET; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST, 10.0 FEET FOR A POINT OF BEGINNING; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST, 579.53 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 24 SECONDS WEST ALONG THE EAST LINE OF SAID BOYD TRACT, 748.57 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 49 MINUTES 16 SECONDS WEST AT THE LAST DESCRIBED POINT, 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 30 SECONDS WEST, 423.02



## EXHIBIT A-1

FEET TO SAID CENTER LINE; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE, 472.59 FEET TO A LINE DRAWN NORTH 00 DEGREES 10 MINUTES 48 SECONDS EAST PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER, FROM A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER WHICH IS 598.62 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID PARALLEL LINE, 880.56 FEET TO SAID SOUTH LINE; THENCE SOUTH 89 DEGREES 34 MINUTES 48 SECONDS WEST ALONG SAID SOUTH LINE, 598.62 FEET TO SAID SOUTHWEST CORNER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID EAST LINE, 1275.36 FEET TO A LINE DRAWN SOUTH 89 DEGREES 40 MINUTES 33 SECONDS EAST FROM THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 40 MINUTES 33 SECONDS WEST, 681.94 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

### PARCEL "E" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 0 DEGREES 08 MINUTES 09 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTH 57 DEGREES 59 MINUTES 05 SECONDS EAST ALONG SAID OLD CLAIM LINE, 299.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 1 DEGREE 51 MINUTES 32 SECONDS WEST, 402.10 FEET; THENCE SOUTH 59 DEGREES 25 MINUTES 54 SECONDS EAST, 256.51 FEET; THENCE NORTH 59 DEGREES 55 MINUTES 25 SECONDS EAST, 355.65 FEET; THENCE NORTH 62 DEGREES 43 MINUTES 29 SECONDS EAST, 853.57 FEET; THENCE NORTH 33 DEGREES 24 MINUTES 40 SECONDS EAST, 542.27 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2,292.01 FEET AND A RADIAL BEARING OF SOUTH 29 DEGREES 23 MINUTES 51 SECONDS WEST AT THE LAST DESCRIBED POINT, 358.41 FEET TO A POINT WHICH IS 151.00 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE AND SAID OLD CLAIM LINE; THENCE SOUTH 45 DEGREES 05 MINUTE 49 SECONDS WEST, 265.70 FEET; THENCE SOUTH 73 DEGREES 54 MINUTES 28 SECONDS WEST, 102.86 FEET; THENCE SOUTH 84 DEGREES 11 MINUTES 54 SECONDS WEST, 280.96 FEET; THENCE NORTH 32 DEGREES 00 MINUTES 55 SECONDS WEST, 24.19 FEET TO SAID OLD CLAIM LINE; THENCE SOUTH 87 DEGREES 59 MINUTES 05 SECONDS WEST ALONG SAID OLD CLAIM LINE, 789.92 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

## EXHIBIT A-1

### PARCEL "F" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET FOR A POINT OF BEGINNING; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID CLAIM LINE, 941.92 FEET TO A POINT ON A LINE DRAWN SOUTHWESTERLY, PERPENDICULAR TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FROM A POINT ON SAID CENTER LINE WHICH IS 1,049.70 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE WITH THE CENTER LINE OF ILLINOIS STATE ROUTE 71, THENCE NORTHEASTERLY TO SAID POINT ON SAID CENTER LINE OF ILLINOIS ROUTE 126 AFORESAID; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE AND TO SAID ROUTE 71 CENTER LINE; THENCE SOUTHWESTERLY ALONG SAID ROUTE 71 CENTER LINE, 30.58 FEET TO SAID WEST LINE; THENCE SOUTHERLY ALONG SAID WEST LINE, 78.83 FEET, TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 3; THENCE NORTH 00 DEGREES 00 MINUTES 38 SECONDS EAST, ON A BEARING REFERENCED TO AN ASSUMED NORTH, 1,925.21 FEET ON THE WEST LINE OF SAID SOUTHWEST QUARTER; THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS EAST, 58.55 FEET TO THE EXISTING SOUTHEASTERLY RIGHT OF WAY LINE OF A F.A.P. ROUTE 311 (IL ROUTE 71) AND THE POINT OF BEGINNING; THENCE NORTH 72 DEGREES 34 MINUTES 00 SECONDS EAST, 35.28 FEET ON SAID SOUTHEASTERLY RIGHT OF WAY LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF S.B.I. ROUTE 66 (IL ROUTE 126); THENCE SOUTH 70 DEGREES 08 MINUTES 35 SECONDS EAST, 125.66 FEET ON SAID SOUTHERLY RIGHT OF WAY LINE; THENCE NORTH 81 DEGREES 09 MINUTES 04 SECONDS WEST, 51.85 FEET; THENCE NORTH 76 DEGREES 30 MINUTES 40 SECONDS WEST, 103.47 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

### PARCEL "G" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

## EXHIBIT A-1

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 798.60 FEET TO AN OLD CLAIM LINE FOR A POINT OF BEGINNING; THENCE NORTHERLY ALONG SAID WEST LINE, 1,118.27 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE SOUTHWESTERLY ALONG SAID CLAIM LINE, 188.42 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

### PARCEL "J" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG THE SAID CENTER LINE OF ILLINOIS ROUTE 71, A DISTANCE OF 1411.3 FEET TO THE CENTER LINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG THE EXTENDED CENTER LINE AND THE CENTER LINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25 MINUTES TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTER LINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47 MINUTES TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE, 265.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126 TO THE CENTER LINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

### PARCEL "K" DESCRIPTION

THAT PART OF THE NORTH HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

## EXHIBIT A-1

COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE SOUTH 0 DEGREES 07 MINUTES 44 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, 1284.36 FEET; THENCE NORTH 89 DEGREES 47 MINUTES 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES 32 MINUTES 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 46 SECONDS WEST, 748.40 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 50 MINUTES 30 SECONDS WEST AT THE LAST DESCRIBED POINT, 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 0 DEGREES 42 MINUTES 30 SECONDS WEST, 432.02 FEET TO SAID CENTER LINE; THENCE SOUTH 60 DEGREES 02 MINUTES 30 SECONDS WEST, ALONG CENTER LINE, 291.76 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

### PARCEL "L" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE EASTERLY ALONG SAID CENTER LINE 32.2 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126, 1049.7 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO SAID CENTER LINE, 339.9 FEET TO AN OLD CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID OLD CLAIM LINE WHICH MAKES AN ANGLE OF 44 DEGREES 21 MINUTES (MEASURED CLOCKWISE FROM THE LAST DESCRIBED COURSE) 468.6 FEET TO THE CENTER LINE OF SAID ILLINOIS ROUTE 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE 328.1 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS, EXCEPT THAT PREVIOUSLY ANNEXED.

(PARCELS CONTAIN 78.145 ACRES MORE OR LESS.)

## EXHIBIT A-2

### PARCEL "A" DESCRIPTION

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH 00 DEGREES 14 MINUTES 45 SECONDS EAST ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1,284.36 FEET; THENCE SOUTH 89 DEGREES 50 MINUTES 00 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES 30 MINUTES 00 SECONDS WEST, 592.27 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH 57 DEGREES 33 MINUTES 55 SECONDS WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH 21 DEGREES 52 MINUTES 29 SECONDS WEST ALONG SAID EASTERLY LINE 705.85 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,509.16 FEET; A DISTANCE OF 472.39 FEET TO A LINE DRAWN NORTH 09 DEGREES 30 MINUTES 00 SECONDS WEST FROM THE POINT OF BEGINNING; THENCE SOUTH 09 DEGREES 30 MINUTES 00 SECONDS EAST ALONG SAID LINE, 695.72 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

### PARCEL "H" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID CENTER LINE, 30.45 FEET TO THE POINT OF INTERSECTION OF SAID CENTER LINE WITH CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FOR THE POINT OF BEGINNING; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE, 230.67 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT AT THE LAST DESCRIPTION POINT, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE, 761.0 FEET; THENCE SOUTH 58 DEGREES 16 MINUTES 47 SECONDS WEST, 265.38 FEET TO SAID ROUTE 126 CENTER LINE; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE, BEING ALONG A CURVE TO THE LEFT AND HAVING A RADIUS OF 2,292.01 FEET WHICH IS TANGENT TO A LINE DRAWN NORTH 72 DEGREE

## EXHIBIT A-2

57 MINUTES 06 SECONDS WEST FROM THE LAST DESCRIBED POINT, 147.83 FEET; THENCE NORTH 76 DEGREES 38 MINUTES 49 SECONDS WEST ALONG SAID ROUTE 126 CENTER LINE, 850.98 FEET; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE, BEING ALONG A CURVE TO THE RIGHT AND HAVING A RADIUS OF 2,148.79 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 383.53 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE, 261.12 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD FOR THE POINT OF BEGINNING; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE, 258.05 FEET; THENCE SOUTH 68 DEGREES 29 MINUTES 47 SECONDS WEST, 200.0 FEET; THENCE NORTH 21 DEGREES 30 MINUTES 13 SECONDS WEST, PARALLEL WITH SAID WING ROAD CENTER LINE, 250.0 FEET TO SAID ROUTE 71 CENTER LINE; THENCE NORTHEASTERLY ALONG SAID ROUTE 71 CENTER LINE, 200.16 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS, AND ALSO EXCEPTING,

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3 IN TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83).

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER TO THE CENTER LINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTER LINE TO THE POINT OF BEGINNING; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 230.66 FEET ALONG SAID CENTER LINE; THENCE NORTHEASTERLY, 940.58 FEET ALONG AN 11,479.02 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 67 DEGREES 34 MINUTES 29 SECONDS EAST, 940.31 FEET; THENCE SOUTH 22 DEGREES 56 MINUTES 31 SECONDS EAST, 60.03 FEET; THENCE SOUTHWESTERLY, 418.10 FEET ON AN 11,539.02 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING SOUTH 66 DEGREES 16 MINUTES 29 SECONDS WEST, 418.08 FEET; THENCE SOUTH

## EXHIBIT A-2

59 DEGREES 24 MINUTES 09 SECONDS WEST, 71.10 FEET; THENCE SOUTH 25 DEGREES 14 MINUTES 24 SECONDS WEST, 60.52 FEET; THENCE SOUTHEASTERLY, 570.87 FEET ON AN 875.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING SOUTH 55 DEGREES 22 MINUTES 46 SECONDS EAST, 560.80 FEET; THENCE SOUTH 74 DEGREES 04 MINUTES 13 SECONDS EAST, 274.41 FEET; THENCE SOUTH 64 DEGREES 05 MINUTES 29 SECONDS EAST, 35.85 FEET; THENCE SOUTH 56 DEGREES 49 MINUTES 00 SECONDS WEST, 64.56 FEET TO THE CENTER LINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE NORTHWESTERLY, 162.08 FEET ON SAID CENTER LINE BEING A 2,291.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 76 DEGREES 16 MINUTES 12 SECONDS WEST, 162.05 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 357.37 FEET ON SAID CENTER LINE; THENCE NORTH 53 DEGREES 52 MINUTES 46 SECONDS WEST, 96.76 FEET TO THE EXISTING NORTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 297.03 FEET ON A 990.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 45 DEGREES 17 MINUTES 03 SECONDS WEST, 295.92 FEET; THENCE NORTH 36 DEGREES 39 MINUTES 21 SECONDS WEST, 23.77 FEET; THENCE NORTH 77 DEGREES 19 MINUTES 38 SECONDS WEST, 84.74 FEET; THENCE SOUTH 69 DEGREES 03 MINUTES 36 SECONDS WEST, 100.61 FEET; THENCE SOUTH 69 DEGREES 55 MINUTES 52 SECONDS WEST, 149.98 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SAID IL 71; THENCE SOUTH 65 DEGREES 32 MINUTES 40 SECONDS WEST, 113.94 FEET TO THE CENTER LINE OF SAID IL 126; THENCE NORTHWESTERLY, 119.55 FEET ON SAID CENTER LINE BEING A 2,170.59 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 69 DEGREES 20 MINUTES 17 SECONDS WEST, 119.54 FEET TO THE POINT OF BEGINNING.

(PARCELS CONTAIN 15.323 ACRES MORE OR LESS.)

IN PART OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD  
PRINCIPAL MERIDIAN IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

EXHIBIT E



THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH  $00^{\circ}14'45''$  EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH  $89^{\circ}50'00''$  WEST, 684.42 FEET; THENCE NORTH  $09^{\circ}30'00''$  WEST, 592.27 FEET; THENCE SOUTH  $57^{\circ}33'55''$  WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH  $21^{\circ}52'29''$  WEST, ALONG SAID EASTERLY LINE, 705.85 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71 FOR THE POINT OF BEGINNING; THENCE SOUTH  $21^{\circ}52'29''$  EAST, ALONG SAID EASTERLY LINE, 119.0 FEET; THENCE NORTH  $68^{\circ}07'31''$  EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH  $21^{\circ}52'29''$  WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE SOUTHWESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE RIGHT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 211.39 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 0.6060 ACRE.

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH  $00^{\circ}14'45''$  EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH  $89^{\circ}50'00''$  WEST, 684.42 FEET; THENCE NORTH  $09^{\circ}30'00''$  WEST, 592.27 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH  $57^{\circ}33'55''$  WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH  $21^{\circ}52'29''$  WEST, ALONG SAID EASTERLY LINE, 586.85 FEET TO A POINT ON SAID EASTERLY LINE WHICH IS 119.0 FEET (MEASURED ALONG SAID EASTERLY LINE) SOUTHEASTERLY OF THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTH  $68^{\circ}07'31''$  EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH  $21^{\circ}52'29''$  WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE LEFT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 261.03 FEET TO A LINE DRAWN NORTH  $09^{\circ}30'00''$  WEST FROM THE POINT OF BEGINNING; THENCE SOUTH  $09^{\circ}30'00''$  EAST, ALONG SAID LINE, 695.72 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 5.6041 ACRES.

THAT PART OF THE NORTH 1/2 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE SOUTH 0 DEGREES, 07 MINUTES, 44 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST 1/4, 1284.36 FEET; THENCE NORTH 89 DEGREES, 47 MINUTES, 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES, 32 MINUTES, 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES, 05 MINUTES, 46 SECONDS WEST, 748.40 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES, 50 MINUTES, 30 SECONDS WEST AT THE LAST DESCRIBED POINT. 627.46; THENCE NORTH 60 DEGREES, 02 MINUTES, 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 12 DEGREES, 27 MINUTES, 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES, 27 MINUTES, 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 0 DEGREES, 47 MINUTES, 30 SECONDS WEST, 423.02 FEET TO SAID CENTER LINE; THENCE SOUTH 60 DEGREES, 02 MINUTES, 30 SECONDS WEST ALONG CENTER LINE, 291.76 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE NORTHEAST, NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1284.36 FEET; THENCE SOUTH 89 DEGREES 29 MINUTES 40 SECONDS WEST 680.30 FEET; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 10.0 FEET FOR A POINT OF BEGINNING; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 579.63 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 24 SECONDS WEST ALONG THE EAST LINE OF SAID BOYD TRACT 748.57 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 49 MINUTES 16 SECONDS WEST AT THE LAST DESCRIBED POINT 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 332.0 FEET; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST 202.0 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 30 SECONDS WEST 423.02 FEET TO SAID CENTER LINE; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 412.69 FEET TO A LINE DRAWN NORTH 00 DEGREES 10 MINUTES 46 SECONDS EAST PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER, FROM A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER WHICH IS 598.62 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID PARALLEL LINE 880.56 FEET TO SAID SOUTH LINE; THENCE SOUTH 89 DEGREES 34 MINUTES 48 SECONDS WEST ALONG SAID SOUTH LINE 598.62 FEET TO SAID SOUTHWEST CORNER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID EAST LINE 1275.36 FEET TO A LINE DRAWN SOUTH 89 DEGREES 40 MINUTES 33 SECONDS EAST FROM THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 40 MINUTES 33 SECONDS WEST 681.94 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS

A PERPETUAL EASEMENT FOR THE OPERATION, MAINTENANCE AND USE OF A SEPTIC FIELD FOR THE BENEFIT OF PARCEL ONE HEREBY ABOVE DESCRIBED, UNDER AND UPON THE FOLLOWING DESCRIBED PARCEL OF REAL ESTATE CONTIGUOUS

TO PARCEL ONE TO WIT:

COMMENCING AT THE MOST NORTHERLY CORNER OF PARCEL ONE HEREINABOVE DESCRIBED ON THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 47.12 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF ILLINOIS STATE ROUTE NUMBER 126, FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 105.0 FEET; THENCE NORTH 32 DEGREES 08 MINUTES 38 SECONDS WEST, 152.18 FEET; THENCE SOUTH 76 DEGREES 09 MINUTES 49 SECONDS EAST, 5.28 FEET; THENCE SOUTH 70 DEGREES 39 MINUTES 49 SECONDS EAST, 158.65 FEET, TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, ALL IN KENDALL COUNTY ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET A POINT OF BEGINNING THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID CLAIM LINE, 941.92 FEET TO A POINT ON A LINE DRAWN SOUTHWESTERLY, PERPENDICULAR TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FROM A POINT ON SAID CENTER LINE WHICH IS 1049.70 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE WITH THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTHEASTERLY TO SAID POINT ON SAID CENTER LINE OF ILLINOIS ROUTE 126 AFORESAID; THENCE NORTHEASTERLY ALONG SAID ROUTE 126 CENTER LINE AND TO SAID ROUTE 71 CENTER LINE; THENCE SOUTHWESTERLY ALONG SAID ROUTE 71 CENTER LINE, 30.58 FEET TO SAID WEST LINE; THENCE SOUTHERLY ALONG SAID WEST LINE, 78.83 FEET, TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION. 3; THENCE NORTH 00 DEGREES 00 MINUTES 38 SECONDS EAST, ON A BEARING REFERENCED TO AN ASSUMED NORTH, 1925.21 FEET ON THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS EAST 58.55 FEET TO THE EXISTING SOUTHEASTERLY RIGHT OF WAY LINE OF A.F.A.P. ROUTE 311 (IL ROUTE 71) AND THE POINT OF BEGINNING; THENCE NORTH 72 DEGREES 34 MINUTES 00 SECONDS EAST 35.28 FEET ON SAID SOUTHEASTERLY RIGHT OF WAY LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF S.B.I. ROUTE 66 (IL ROUTE 126); THENCE SOUTH 70 DEGREES 08 MINUTES 35 SECONDS EAST 125.66 FEET ON SAID SOUTHERLY RIGHT OF WAY LINE; THENCE NORTH 81 DEGREES 09 MINUTES 04 SECONDS WEST 57.85 FEET; THENCE NORTH 76 DEGREES 30 MINUTES 40 SECONDS WEST 103.47 FEET TO THE POINT OF BEGINNING), IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE FOR A POINT OF BEGINNING; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE SOUTHWESTERLY ALONG SAID CLAIM LINE, 188.42 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG THE SAID CENTER LINE OF ILLINOIS ROUTE 71, 1411.3 FEET TO THE CENTER LINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG THE EXTENDED CENTER LINE AND THE CENTER LINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25' TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTER LINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47' TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126 TO THE CENTER LINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; TO THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

GRANTEE HEREBY ASSUMES AND AGREES TO PAY THE UNPAID BALANCE ON THE EXISTING MORTGAGE RECORDED IN BOOK PAGE , THE DEBT SECURED THEREBY AND ALSO HEREBY ASSUMES -THE OBLIGATIONS UNDER THE TERM OF THE INSTRUMENTS CREATING THE LOANS DOCUMENT NO. 79-1053.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER;

THENCE - NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, - 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID CENTER LINE 30.45 FEET TO THE POINT OF INTERSECTION OF SAID CENTER LINE WITH CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FOR THE POINT OF BEGINNING; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 230.67 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 761.0 FEET; THENCE SOUTH 58 DEGREES 16 MINUTES 47 SECONDS WEST 265.35 FEET TO SAID ROUTE 126 CENTER LINE; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE BEING ALONG A CURVE TO THE LEFT AND HAVING A RADIUS OF 2,292.01 FEET WHICH IS TANGENT TO A LINE DRAWN NORTH 72 DEGREES 57 MINUTES 06 SECONDS WEST FROM THE LAST DESCRIBED POINT 147.93 FEET; THENCE NORTH 16 DEGREES 38 MINUTES 49 SECONDS WEST ALONG SAID ROUTE 126 CENTERLINE 850.98 FEET; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTERLINE BEING ALONG A CURVE TO THE RIGHT AND HAVING A RADIUS OF 2,148.79 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 383.53 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 - NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 261.12 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 15,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE 1141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD FOR THE POINT OF BEGINNING (THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 258.05 FEET; THENCE SOUTH 58 DEGREES 29 MINUTES 47 SECONDS WEST 200.0 FEET; THENCE NORTH 21 DEGREES 30 MINUTES 13 SECONDS WEST PARALLEL WITH SAID WING ROAD CENTER LINE 250.0 FEET TO SAID ROUTE 71 CENTER LINE; THENCE NORTHEASTERLY ALONG SAID ROUTE 71 CENTER LINE 200.16 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, (ILLINOIS, AND ALSO EXCEPTING, THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3 IN TOWNSHIP 38 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING FROM THE POINT OF BEGINNING; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 230.66 FEET ALONG SAID CENTERLINE; THENCE NORTHEASTERLY, 940.56 FEET ALONG AN 11,479.02 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 67 DEGREES 34 MINUTES 29 SECONDS EAST, 940.31 FEET; THENCE SOUTH 22 DEGREES 56 MINUTES 31 SECONDS EAST, 60.03 FEET; THENCE SOUTHWESTERLY, 418.10 FEET ON AN 11,539.02 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING SOUTH 66 DEGREES 16 MINUTES 29 SECONDS WEST, 418.08 FEET; THENCE SOUTH 59 DEGREES 24 MINUTES 09 SECONDS WEST, 71.10 FEET; THENCE SOUTH 25 DEGREES 14 MINUTES 24 SECONDS WEST, 60.52 FEET; THENCE SOUTHEASTERLY, 570.87 FEET ON AN 675.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING SOUTH 55 DEGREES 22 MINUTES 46 SECONDS EAST, 560.80 FEET; THENCE SOUTH 74 DEGREES 04 MINUTES 13 SECONDS EAST, 274.41 FEET; THENCE SOUTH 64 DEGREES 05 MINUTES 29 SECONDS EAST, 35.85 FEET; THENCE SOUTH 55 DEGREES 49 MINUTES 00 SECONDS WEST, 64.56 FEET TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE NORTHWESTERLY, 162.08 FEET ON SAID CENTERLINE BEING A 2,291.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 76 DEGREES 16 MINUTES 12 SECONDS WEST, 162.05 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 357.37 FEET ON SAID CENTERLINE; THENCE NORTH 53 DEGREES 52 MINUTES 46 SECONDS WEST, 96.76 FEET TO THE EXISTING NORTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 297.03 FEET ON A 990.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 45 DEGREES 17 MINUTES 03 SECONDS WEST, 295.92 FEET; THENCE NORTH 36 DEGREES 39 MINUTES 21 SECONDS WEST, 23.77 FEET; THENCE NORTH 77 DEGREES 19 MINUTES 36 SECONDS WEST, 64.74 FEET; THENCE SOUTH 69 DEGREES 03 MINUTES 36 SECONDS WEST, 100.61 FEET; THENCE SOUTH 69 DEGREES 55 MINUTES 52 SECONDS WEST, 149.98 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SAID IL 71; THENCE SOUTH 65 DEGREES 32 MINUTES 40 SECONDS WEST, 113.94 FEET TO THE CENTERLINE OF SAID IL 126; THENCE NORTHWESTERLY, 119.55 FEET ON SAID CENTERLINE BEING A 2,170.59 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 69 DEGREES 20 MINUTES 17 SECONDS WEST, 119.54 FEET TO THE POINT OF BEGINNING.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 07°44' EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1236.84 FEET TO A POINT ON SAID EAST LINE WHICH IS 1284.36 FEET SOUTH OF THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89°47'31" WEST, 684.42 FEET; THENCE NORTH 09°32'39" WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD 88 ON PAGE 399, FOR THE POINT OF BEGINNING; THENCE SOUTH 57°58'56" WEST ALONG THE SOUTHERLY LINE OF SAID BOYD TRACT AND SAID SOUTHERLY LINE EXTENDED 352.89 FEET TO THE CENTER LINE OF WING ROAD; THENCE SOUTH 21°28'35" EAST ALONG SAID CENTERLINE 131.00 FEET; THENCE NORTH 57°58'56" EAST PARALLEL WITH SAID SOUTHERLY LINE 323.58 FEET TO A POINT WHICH IS SOUTH 09°32'39" EAST, 139.37 FEET FROM THE POINT OF BEGINNING; THENCE NORTH 09°32'39" WEST, 139.37 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE EASTERLY ALONG SAID CENTER LINE 32.2 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126, 1049.7 FEET FOR THE POINT, OF BEGINNING; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO SAID CENTER LINE, 339.9 FEET TO AN OLD CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID OLD CLAIM LINE WHICH MAKES AN ANGLE OF 44°21' (MEASURED CLOCKWISE FROM THE LAST DESCRIBED COURSE) 468.6 FEET TO THE CENTER LINE OF SAID ILLINOIS ROUTE 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE 328.1 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS. EXCEPT THEREFROM THE BELOW DESCRIBED PARCEL:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 399.15 FEET ALONG A 2,170.59 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF SOUTH 73 DEGREES 01 MINUTE 41 SECONDS EAST, 398.58 FEET THENCE SOUTH 78 DEGREES 17 MINUTES 46 SECONDS EAST, 649.36 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING, THENCE SOUTH 78° DEGREES 17 MINUTES 46 SECONDS EAST, 172.16 FEET ALONG SAID CENTERLINE; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 162.08 FEET ALONG A 2,291.64 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING OF SOUTH 76 DEGREES 16 MINUTES 12 SECONDS EAST, 162.05 FEET; THENCE SOUTH 56 DEGREES 32 MINUTES 11 SECONDS WEST, 65.63 FEET; THENCE NORTH 74 DEGREES 04 MINUTES 13 SECONDS WEST, 5.13 FEET; THENCE NORTH 65 DEGREES 29 MINUTES 14 SECONDS WEST, 50.57 FEET, TO THE SOUTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 61.11 FEET ON SAID RIGHT OF WAY LINE BEING ON A 2,251.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF NORTH 77 DEGREES 31 MINUTES 09 SECONDS WEST, 61.11 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 172.27 FEET ALONG SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 11 DEGREES 52 MINUTES 19 SECONDS EAST, 40.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.297 ACRE MORE OR LESS, OF WHICH 0.290 ACRE, MORE OR LESS, IS LYING WITHIN PUBLIC ROAD RIGHT OF WAY, SITUATED IN THE COUNTY OF KENDALL AND STATE OF ILLINOIS, HEREBY RELEASING AND WAVING ALL RIGHTS UNDER AND BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE.

**EXHIBIT "C-1"**  
**Windmill Farms - B-3 Service Business Permitted Uses**

This exhibit lists all permitted uses within the B-3 Service Business District as they exist in the current Zoning Ordinance. Uses excluded and not permitted by this Agreement are crossed out as follows: (~~not permitted use~~)

**OFFICE DISTRICT (O)**

Advertising agency.

**Bank (allowable by provisions of Windmill Agreement)**

Barber shop.

Beauty shop.

Bookkeeping service.

~~Club—private indoor.~~

Coffee shop.

College, university or junior college.

Commercial school, trade school - offering training in classroom study.

Detective agency.

Employment office.

Engineering office.

Government office.

Income tax service.

Insurance office.

Library.

Manufacturing agent's office.

Medical clinic.

Park.

Professional offices.

Public accountant.

Real estate office.

Stenographic service.

Stock broker.

Telegraph office.

~~Ticket office.~~

Title company.

Travel agency.

Utility office. (Ord. 1973-56A, 3-28-74)

Special Uses

~~Solid waste disposal site (Ord. 1973-56A, 3-28-1974; amd. Ord. 1995-20, 8-10-1995)~~

**LIMITED BUSINESS DISTRICT (B-1)**

All uses permitted in the O district.

Antique sales.

~~Apartments, single family, located in business buildings.~~

Bakery - retail.

Barbershop.  
Beauty shop.  
Bookstore.  
Cafeteria (diner).  
Camera shop.  
Church or other place of worship.  
~~Cigar, cigarette and tobacco store.~~  
Clothes - pressing and repair.  
~~Club - private indoor.~~  
~~Club - private outdoor.~~  
Community center.  
Dressmaker - seamstress.  
Drugstore.  
Florist sales.  
Fruit and vegetable market - retail.  
Gift shop.  
Grocery store - supermarket.  
Gymnasium.  
Health food store.  
Hobby shop.  
Hospital (general).  
Hospital or treatment center.  
Household furnishing shop.  
Ice cream shop.  
Jewelry - retail.  
Laundry, cleaning and dyeing - retail.  
Library.  
~~Magazine and newsstand.~~  
Meat market.  
Medical clinic.  
Mortuary - funeral home.  
Park.  
Photography studio.  
Playground.  
Post office.  
Professional building.  
Recreation center.  
Restaurant.  
Shoe and hat repair.  
~~Substation.~~  
Swimming pool - indoor.  
Tennis club - private or daily fee.  
~~Trailer. (Ord. 1973-56A, 3-28-1974; amd. 1994 Code; Ord. 1994-1A, 2-10-1994; Ord. 2003-41, 7-22-2003)~~

**GENERAL BUSINESS DISTRICT (B-2)**

All uses permitted in the O and B-1 Districts.

Appliances - sales.

Army/Navy surplus sales.

Art gallery - art studio sales.

Art supply store.

~~Auditorium.~~

Automatic food service.

Automobile accessory store.

Automobile rental.

Bicycle shop.

Billiard parlor.

Blueprint and photostat shop.

~~Bowling alley.~~

Carry-out food service.

Catalog sales office.

Clothing store - all types.

~~Dance hall.~~

Department store.

Discount store.

Drygoods store - retail.

Floor covering sales.

Furniture sales - new/used.

Hardware store.

Health club or gymnasium.

Hotel.

Interior decorating studio.

Junior department store.

Leather goods.

Locksmith.

Motel.

Music, instrument and record store.

Newspaper publishing.

Office equipment and supply sales.

Paint/wallpaper store.

~~Pawnshop.~~

Personal loan agency.

Pet store.

Picture frame store.

Radio and television studios.

~~Reducing salon, masseur and steam bath.~~

Sporting goods.

Stationery.

Taxidermist.

Theater.

Toy store.

Typewriter - sales and repair.

Variety store.

Watch and clock sales and repair.

Weaving and mending - custom. (Ord. 1973-56A, 3-28-1974; amd. 1994 Code)

**SERVICE BUSINESS DISTRICT (B-3)**

All uses permitted in the B-2 district.

Agricultural implement sales and service.

Appliance - service only.

Automotive sales and service.

~~Boat sales.~~

Building material sales.

Business machine repair.

Car wash without mechanical repair on the premises.

Catering service.

**Daycare (allowable by provisions of Windmill Agreement)**

Drive-in restaurant.

Electrical equipment sales.

Feed and grain sales.

Frozen food locker.

Furniture repair and refinishing.

**Gasoline Filling Station (allowable by provisions of Windmill Agreement)**

Golf driving range.

Greenhouse.

~~kennel.~~

Miniature golf.

Motorcycle sales and service.

Nursery.

Orchard.

Park - commercial recreation.

Plumbing supplies and fixture sales.

Pump sales.

Recreational vehicle sales and service.

~~Skating rink.~~

~~Sports arena.~~

~~Taxicab garage.~~

Tennis court - indoor.

~~Trailer rental.~~

~~Truck rental.~~

~~Truck sales and service.~~

Upholstery shop.

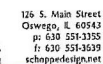
Veterinary clinic. (Ord. 1973-56A, 3-28-1974; amd. Ord. 1986-1, 1-9-1986; Ord. 1988-7, 4-14-1988; Ord. 1995-19, 8-10-1995; Ord. 1998-21, 6-25-1998; Ord. 2005-58, 7-12-2005)



EXHIBIT "D" R-4 GENERAL RESIDENCE DISTRICT

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 08 MINUTES 09 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTH 57 DEGREES 59 MINUTES 05 SECONDS EAST ALONG SAID OLD CLAIM LINE 299 .00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 1 DEGREE 51 MINUTES 32 SECONDS WEST, 402.10 FEET; THENCE SOUTH 59 DEGREES 55 MINUTES., 25 SECONDS EAST, 256.51 FEET; THENCE NORTH 59 DEGREES 55 MINUTES 25 SECONDS EAST 355.65 FEET; THENCE NORTH 62 DEGREES 43 MINUTES 29 SECONDS EAST, 853.57 FEET; THENCE NORTH 33 DEGREES 24 MINUTES 40 SECONDS EAST., 542.27 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2292 .01 FEET AND A RADIAL BEARING OF SOUTH 29 DEGREES 23 MINUTES 51 SECONDS WEST AT THE LAST DESCRIBED POINT, 358.41 FEET TO A POINT WHICH IS 151.00 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE AND SAID OLD CLAIM LINE; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 265 .70 FEET; THENCE SOUTH 73 DEGREES 54 MINUTES 28 SECONDS WEST, 102.86 FEET; THENCE SOUTH 84 DEGREES 11 MINUTES 54 SECONDS WEST, 280.96 FEET; THENCE NORTH 32 DEGREES 00 MINUTES 55 SECONDS WEST, 24.19 FEET TO SAID OLD CLAIM LINE; THENCE SOUTH 87 DEGREES 59 MINUTES 05 SECONDS WEST ALONG SAID OLD CLAIM LINE 789.92 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.





**Site Planning Principles**

The Site Planning Principles address issues that affect the way that individual sites should be developed in order to blend in with the existing character of the City.

- PRINCIPLE 4: *Incorporate existing site conditions into development plans*
- PRINCIPLE 5: *Provide a sense of architectural interest and unique identity throughout the City*
- PRINCIPLE 6: *Enhance pedestrian experience and establish sense of place through careful design and location of open spaces*
- PRINCIPLE 7: *Thoughtful consideration of vehicular and pedestrian circulation within individual developments*
- PRINCIPLE 8: *Appropriate design of parking lots, utilities, service areas and detention areas to reduce the negative impact of typically unattractive site components*

■ **Desirable Elements:**

The following elements shall be incorporated into development within the City:

- Richness of building surface and texture
- Articulated mass and bulk
- Clear visibility of entrances
- Well organized commercial signage
- Landscaped and screened parking
- Special paving identifying intersections and crosswalks
- Pedestrian friendly streetscapes and open spaces
- Thoughtful consideration of circulation
- Screening of mechanical equipment, service areas, parking lots and any undesirable elements
- Step-down of building scale along pedestrian routes and building entrances
- Recognition of building hierarchy
- Formal entry plazas and courtyards
- Detention used as an amenity
- Existing trees incorporated into development
- Multi-planed, pitched roofs
- Roof overhangs and arcades
- Provide defined entrance roads into developments and provide adequate vehicle storage bays at egress drives



*Richness of building materials creates visual interest*



*Landscaping softens the view of parking*

### ■ Undesirable Elements:

The following elements are discouraged in developments within the City:

- Concrete detention basins
- Large, blank, unarticulated wall surfaces
- Visible outdoor storage, loading, equipment and mechanical areas
- Disjointed parking areas and confusing circulation patterns
- Large expanses of parking/asphalt
- Service areas near major entries and/or that are easily visible from roadway
- Poorly defined site access points
- Large "boxlike" structures



*Avoid large expanses of parking lots*



*Avoid large blank wall surfaces*

### **PRINCIPLE 4: Incorporate existing site conditions into development plans**

New development shall protect the existing environmental features throughout the City and minimize the impact of the development on the site and the surrounding land.

#### ■ Drainage Patterns

Proposed site plans shall incorporate existing drainage patterns on site in an effort to avoid significantly altering the manner in which drainage flows offsite. At the time of site plan submittal to the City, a drainage and detention plan must be submitted. The location and type of drainage facilities must be shown.



*Drainage swale utilizes natural drainage patterns*

#### ■ Topography and Soils

- Minimize cut and fill on site to reduce effects upon the natural drainage pattern and natural character of the site.
- Minimize disturbance in areas of significant existing vegetation. If necessary for site development, consider using tree wells and retaining walls to preserve existing trees where possible.



*Work with existing topography to avoid large cut and fill*



- Development on unsuitable soils is prohibited. Incorporate unsuitable soils into an open space component of the site plan.
- Stockpile top soil for later use in landscape areas.
- **Vegetation**
  - Preserve existing trees

Every effort should be made in the planning process to incorporate quality, existing trees into the site plan design. Any quality, existing tree that occurs within the specific buffer yard as required per *PRINCIPLE 9* shall remain undisturbed and be protected as part of the landscape buffer.



*Preservation of existing vegetation as buffer*

**PRINCIPLE 5: Provide a sense of architectural interest and unique identity throughout the City**

The Architectural standards are provided to preserve and guide the character of architecture throughout the City while allowing for individual architectural interpretation. All architectural proposals must be compatible with the vernacular of the northern Illinois region. In order to ensure compliance with the following architectural guidelines, the City requires that building elevations, plans, materials samples, color samples and illustrations be submitted for review and approval prior to the commencement of building construction.



*Building orientation creates central open space on axis with the main entry drive*

▪ **Buildings**

- Orientation

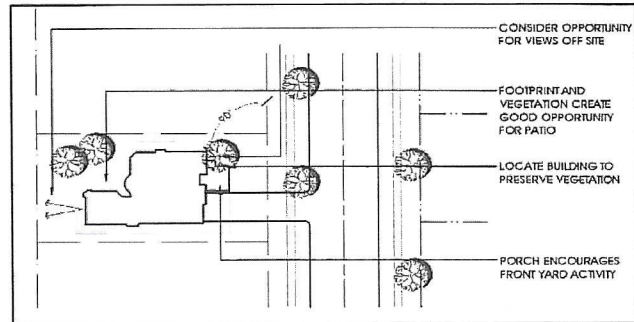
Building orientation should take advantage of the building to site relationship. The orientation and location of buildings defines open spaces and circulation corridors.

- Align focal architectural elements along major view or circulation axis.
- Define pedestrian spaces and streetscapes with building orientation.



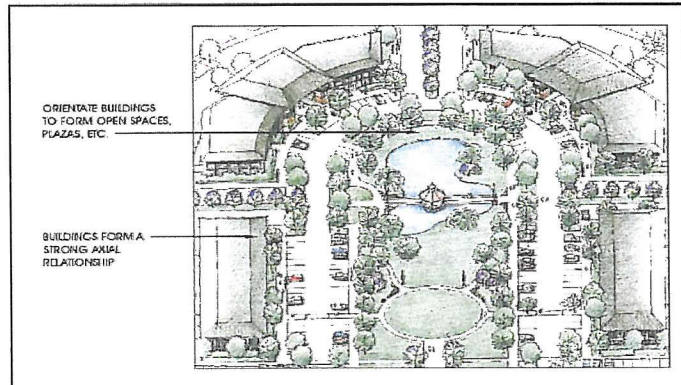
*Orient primary buildings on axis and use as focal points*

- Create view corridors between buildings, plazas, courtyards and adjacent buildings.
- Create pedestrian spaces and plazas by varying building facades.
- Cluster buildings whenever possible, creating opportunities for plazas and pedestrian malls. Prevent long, linear facades from dominating the view.



*Residential building orientation creates private, intimate backyard space*

- Buildings adjacent to Routes 47, 71 and 126 must face the primary roadway. No service access, storage, etc. is allowed to face Routes 47, 71 and 126.
- Develop sites in a comprehensive and coordinated manner to provide order and compatibility (especially in the case of large sites which will be developed in phases).



*Building orientation can define main activity areas*

- The exterior character and orientation of all buildings and the spaces they define should encourage and enhance pedestrian activity.
- Attention should be given to the quality and usability of the outdoor spaces formed by the exterior of a dwelling and adjacent dwellings. Avoid locating the private area of one dwelling adjacent to the public area of an adjacent dwelling.



*Rear and side facades should incorporate architectural design elements*



- In multi-family residential developments, buildings should be oriented to create functional outdoor spaces.
- In residential neighborhoods, consideration should also be given to the views from adjacent dwellings and public spaces.
- Facades

Building facades should achieve a high level of visual interest when viewed from automobile and pedestrian vantage points.

- In residential developments, front yards and porches should be used to create a sense of place and community.
- Natural stone and masonry materials are to be used on the lower portions of buildings to create a visual anchor to the ground and provide interest at the pedestrian level.
- Vary the planes of exterior walls in depth and/or direction.



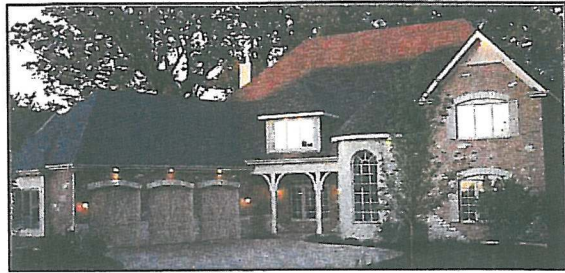
*Awnings along facade*

- Wall planes shall not run in a continuous direction more than 65 feet without an offset of at least 3 feet.
- Wall planes of more than 20 feet high are prohibited without incorporating meaningful techniques, such as awnings or a change in building material, to break up the perceived building mass.
- Awnings are encouraged along facades to provide color, shade and architectural interest. Where awnings are used along a row of contiguous buildings, a consistent form, material, color, location and mounting arrangement must be used.
- Awnings should be located to provide a consistent minimum 8 feet vertical clearance, with a maximum generally not to exceed 12 feet.
- Colors of awnings must complement the buildings.



*Awnings provide pedestrian scale element*

- Incorporate the awnings along with any signage to provide a uniformly designed building façade.
- Signs on awnings are permitted.
- Internally illuminated awnings are prohibited.

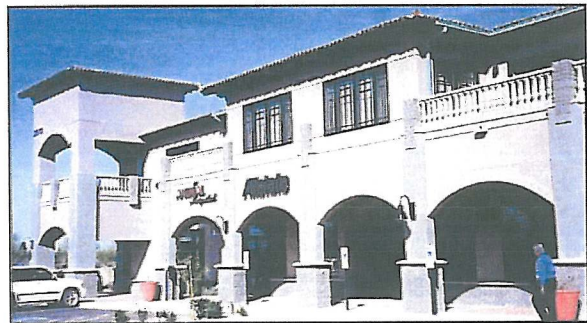


*Garage doors oriented to side*

- Awnings and canopies may be made of sheet metal or canvas membrane. Plastic or vinyl awnings are not permitted.
- In new residential neighborhoods, houses shall not repeat the same elevations without two lots of separation. Houses across the street from each other and back-to-back corner lots shall not be of the same elevation.
- In residential areas, garages should not dominate the street view. Rather, provide parking and garages to the side or rear of lots or set the garage face back from the primary façade of the house. Avoid allowing the garage to become the primary architectural feature.

#### ▪ Roof Treatment

Rooftops should be considered important design elements as viewed from a variety of vantage points such as at ground level, from other buildings and from adjacent perimeter roadways. A well-composed "roofscape" achieves an interesting skyline without becoming overly busy or contrived. Roof forms should serve as natural transitions from the ground level to intermediate masses to the tallest masses and back to the ground. Form should also be interesting when seen from above in adjacent buildings.



*Variation in roof treatments creates an interesting 'roofscape'*

#### ▪ Materials & Colors

Visual continuity in major building materials and colors is desired throughout the City. Specific criteria include the following:

- Material samples of all proposed buildings must be provided for review and be approved by the City.
- Materials should be consistent with the Community Character principles outlined in these guidelines.



- Wall materials that are muted, earth tone in color and have texture are to be used.
- Reserve the use of strongly contrasting materials and colors for accents, such as building entrances, railings and trim. Avoid an excessive variety of façade materials.
- Avoid using highly reflective materials and surfaces, such as polished metal, that generate glare, particularly at the pedestrian level.
- Materials which may be incorporated include: native stone, brick, stucco and textured concrete. Alternative materials that achieve similar looks and are of high quality and low maintenance may be considered.
- Common materials shall be located on all sides of the building with the exception of service areas not visible from a public street.



*Varying roofline breaks up long  
expanse of building facade*

- Coordinating materials within a development can tie together buildings of different sizes, uses and forms.
- In new residential neighborhoods at the time of initial building permit, houses shall not be the same color unless there are at least two lots of separation. Houses across the street from each other are not permitted to be the same color.
- Use contrasting but compatible building materials and textures to unify exterior building elements and to create depth, proportion and scale.
- In residential developments, buildings should complement each other by using materials and colors within the same "family".
- Building colors should be derived from, and related to, the finishes of primary building materials.

#### ▪ Height

The overall appearance of development shall be low and horizontal, with building heights throughout the community generally low to medium scale. Building heights are expected (and desired) to vary to ensure visual interest.

- Consider the use of taller buildings and/or elements to highlight significant intersections and pedestrian nodes.
- Building heights shall be determined in a manner which enhances an overall residential quality.



*Taller buildings help identify intersections*

- Maintain compatible relationships with adjacent dwellings and street frontages.
- Building heights shall be responsive to heights of homes located on slopes above and below the dwelling.
- Sight lines to greenbelts, open areas, water features and scenic horizon views are to be optimized and maintained to the fullest extent possible by minimizing the building height and obstruction.



*Front porch provides one-story element*

- Scenic view compatibility shall be considered in determining building height.
- Within a neighborhood, a combination of one, one and a half and two story dwellings is encouraged to add diversity to the streetscape. Entire neighborhoods or blocks of continuous two story dwellings are discouraged.
- For multilevel dwellings on corner lots, locate a one-story element of the dwelling at the street corner to help reduce the feeling of enclosure in the neighborhood.



*Front porch roof provides human scale element*

- A two-story dwelling can best relate to a neighboring one story if it contains a one-story element.

#### ▪ Scale

Buildings should appear to be of a "pedestrian" or "human" scale. When components in the built environment are designed in such a way that people feel comfortable, then human scale has been achieved. In general, this means that the size, patterns, textures, forms and overall three-dimensional composition can be appreciated at the pedestrian level.



*Varied building scale provides distinction between masses*

- Vary the height of buildings, and/or building elements where feasible, so they appear to be divided into distinct elements or masses.



- Avoid large-scale buildings that are "box-like" and typically dominate a site.

- Use building mass appropriate to the site. Place buildings with larger footprints, height and massing in core activity areas or in the heart of the development near similar densities. By doing so, the impact on adjacent land uses will be reduced.



*Pedestrian scale elements located along building facade*

- In residential areas, the relationship between the lot size, street width and building scale are important to creating a human scale. Elements such as trees, pedestrian path lighting and porches can aid in achieving human scale.

- Hierarchy

It is important to recognize that future projects will be developed using a variety of buildings with various uses. Vehicular and pedestrian traffic should be able to recognize the hierarchy of buildings and be able to decipher primary buildings from secondary buildings.



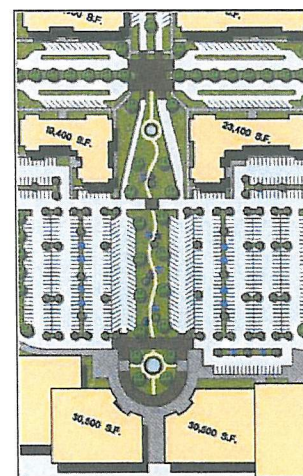
*Avoid 'box like' building scale*

- Primary Buildings

Primary buildings; such as major anchors, public buildings or major attractions, shall be located at prominent locations, anchoring a major view axis and serving as focal points in the community.

- Gateway Buildings

- Buildings at major entrances, corners, intersections or along significant roads should use special architectural elements to help identify that location as a "gateway". These elements also begin to define the sense of place for the community.



*Primary buildings located on axis and create focal point*

- Special architectural features may include corner towers, cupolas, clock towers, balconies, colonnades or spires.
- The use of vertical elements helps to frame the entrance and guide people into and through the development.



Gateway buildings

- Entrances
  - Primary entrances should be easily identifiable and relate to both human scale as well as the scale of the building(s) they serve.
  - Wherever possible, entrances should be inviting without becoming dark.
  - Main building entrances should be designed to be clearly identifiable from primary driveways and drop-offs. Additionally, they should be visible from parking areas.



Main entry to store clearly identifiable

- Retaining walls
  - All retaining walls must be faced (veneered) with masonry (stone, brick, stucco or approved equal).
  - Retaining walls adjacent to or visible from any street shall not exceed 4 feet in height. Grade changes that require retaining walls exceeding 4 feet must be terraced with a minimum of 4 feet clear separation between each wall. Exceptions may be reviewed and approved by the City in order to preserve existing tree stands.



- Walls should be designed as an integral part of the dwelling design. Stone sizes should be consistent and laid in a horizontal course. Masonry materials shall match or complement the facade of surrounding buildings.
- Walls at intersections must not interfere with safe sight distances.

**PRINCIPLE 6: Enhance pedestrian experience and establish sense of place through careful design and location of open spaces**

The creation of open space throughout the City is an essential technique used to break up building facades. The use of such pockets of interest creates views into the various developments. A wide range of open spaces such as public gathering plazas, open "greens", common play areas, neighborhood parks and natural preserves can be incorporated into development plans.

▪ **View Corridors**

- Open space is considered a valuable amenity, therefore careful consideration of vistas into open spaces from residential lots, streets and drives is required.
- Maintain view corridors to provide vistas of amenities, natural features, open spaces and other significant elements.
- Create focal points at main entries, on axis with major circulation route and pedestrian corridors to establish a strong identity and structure for the project.



*Community Park*



*View of amenity feature is framed by use of vegetation and road alignment, creating a signature element*

**Parks and Trails**

- In residential areas, parks should be located within a 5 minute walk (approximately 1,000 feet) from each home.
- Trail linkages should be provided from proposed neighborhoods to the City's comprehensive trail system, forest preserve trails and adjacent developments.

*Neighborhood Park*

- **Courtyards and Plazas**

Courtyards, plazas and terraces should be designed at a human scale and incorporated as public amenities around non-residential buildings. Interrupting building facades to create "outdoor rooms" as well as varying the width of walkways will help create pedestrian spaces. These pedestrian spaces will create opportunities for comfortable outdoor experiences and are critical in defining plazas and courtyards.

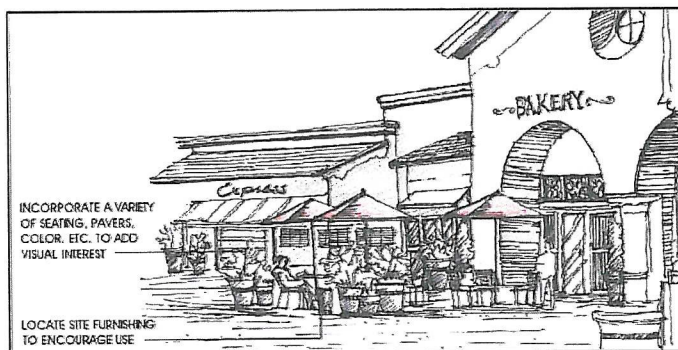
- Orient plazas and courtyards to views of site amenities such as open space, water features, sculptural elements or landscaped areas.

- Consider opportunities to orient plazas and courtyards toward views of significant buildings or down long corridors.

- Wherever possible, create a sense of enclosure for outdoor seating areas. Such areas should be light and airy while providing a sense of safety from the elements.

*Landscaping and special paving give the seating area a sense of enclosure*

- Add elements such as trees, water features, a variety of seating areas and landscape color to give the public spaces an inviting appearance and visual interest.
- Incorporate pedestrian scaled lighting for safety and to promote use in the evening.
- Incorporate pavers and paving patterns to add interest and enhance the aesthetic quality of the spaces.
- Allow for outdoor tables and seating to promote use of the space. By doing so, an energy is created along the structure.

*Plazas and courtyards offer spaces for outdoor cafes*



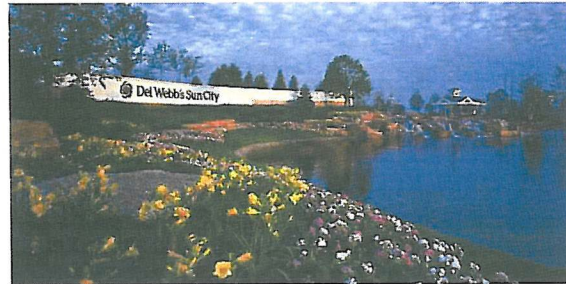
**PRINCIPLE 7: Thoughtful consideration of vehicular and pedestrian circulation within individual developments**

The purpose of the circulation standards is to minimize hazards and conflicts and establish logical circulation patterns. The appropriate integration of vehicular and pedestrian circulation is intended to provide safe and convenient access to all sites while being attractive, efficient and functional.

- **Vehicular Circulation**

- **Primary Site Entrances**

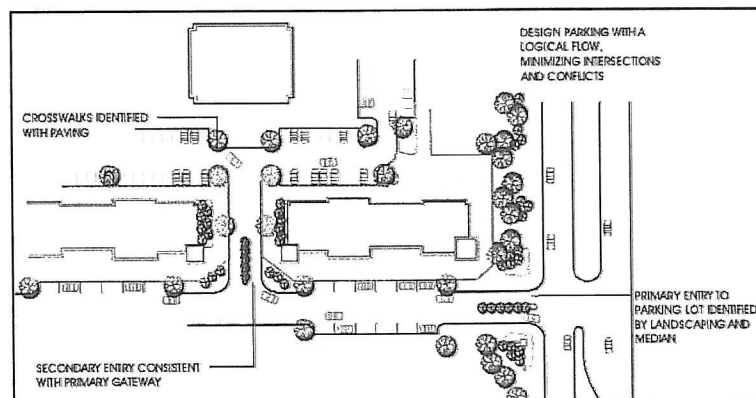
Each entrance to a parcel, individual building site or residential neighborhood from a primary roadway should be designed as a “gateway” to the area it serves. Design elements should be visually interesting and consistent with other streetscape materials used throughout the City.



*Primary residential entrance highlighted with signage, landscaping and water elements*

When designing entries into residential and non-residential tracts, developers shall:

- Coordinate with adjacent properties to consolidate entries and minimize access points along major roadways
- Minimize pedestrian and vehicle conflicts by reducing the quantity of crosswalks.
- Clearly identify site entries and provide a clear entry/arrival sequence.
- Provide “secondary” entries to parking lots and smaller residential neighborhoods from adjacent perpendicular minor roadways to major roadways. Paving material, plants, signs and lighting should match primary entrance treatments, although landscaping intensity and signage may be reduced in scale.
- Provide at least one “primary” entry to parking lots or residential communities. The use of medians and/or special paving or landscaping to identify primary entries is required.



*Single primary entrance reduces access points along Corridor*

- Internal Drives

All internal drives should visually lead drivers to building entries, site amenities or focal elements.

- Design drives and parking areas to fit the natural contours of the site in order to minimize cut and fill and maintain natural drainage.

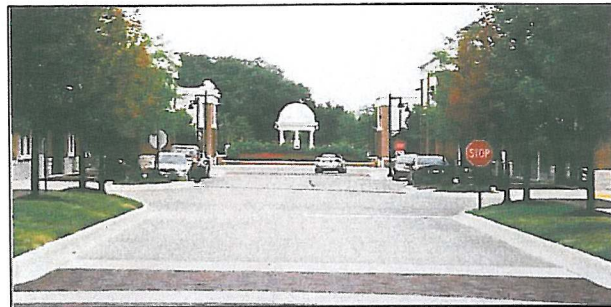
- Align streets and drives to offer views to significant architectural features and site amenities and to direct drivers.

- Internal streets shall be separated from parking lots by landscape islands and walkways.

- Drop-Off Areas

Drop-off areas for vehicle passengers shall be incorporated into development plans and should provide safe, convenient access to building entries, pedestrian plazas and public open spaces. Drop-off areas must conform to all ADA regulations and standards.

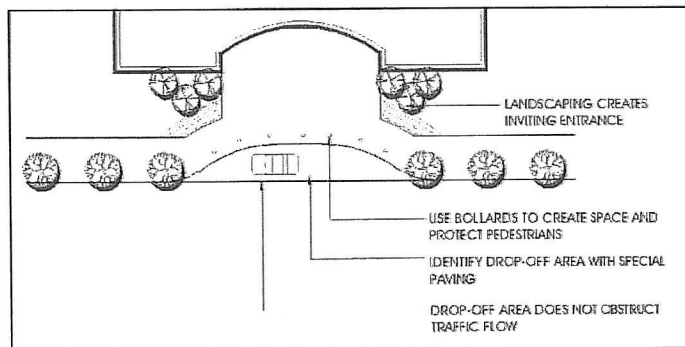
- Emphasize drop-off areas with special paving material.
- Design drop-off lanes so they do not obstruct traffic flow when vehicles are stopped.
- Install bollards at drop-offs to provide protection for buildings and pedestrian walkways.



*Street alignment offers views of significant architectural feature*



*Landscaped island separates parking lot from internal drive*



*Drop-off area doesn't conflict with regular traffic and is identified with paving and bollards*



### ■ Service Areas

Service vehicle circulation throughout the City shall be designed to provide safe and efficient delivery routes for all anticipated service and delivery vehicles. The design of individual parcels to accommodate truck access shall meet all regulatory requirements for turning movements without sacrificing other important design objectives.

- Locate service areas away from major streets and building entrances.
- A noise barrier is required in situations where service areas are adjacent to a residential land use.
- Minimize pedestrian and service vehicle conflicts.
- Hide/screen views into service areas. Screening can be provided with landscaping or screen walls. Screen walls shall repeat materials and elements of the primary building.
- Adjoining uses should share service drives where possible.
- Design service drives to accommodate the traffic intended to use them including all entrance roads and access aisles that will be used to access the service areas.



*Service area screened with landscaping*

### ■ Pedestrian Circulation

The purpose of pedestrian circulation standards is to establish guidelines for creating a pedestrian circulation system that is safe and efficient. Good walking environments include: continuous routes between sites, clearly defined access from parking areas, a variety of connected destinations and a feeling of safety and security. In essence, creating a sense of comfort.

#### ■ Sidewalks

Sidewalks must be constructed to provide pedestrian access to adjacent development and connections to the pedestrian trails throughout the City. Within specific developments, sidewalks shall provide access to and from parking lots, neighborhoods, schools, parks and open spaces.

- Create distinct pedestrian corridors, which funnel pedestrians to logical gateways, plazas or other destinations.



*Path provides access to park and adjacent neighborhood*

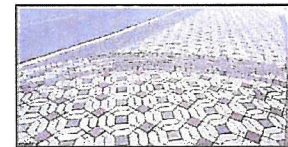
- Place special emphasis on pedestrian connections that link schools, recreation areas and other major activity areas.
- Neighborhoods should have access to open space and pocket parks by way of sidewalks and trails.
- In residential areas, sidewalks should be located on both sides of the street.
- Pavers or other changes in material should be used for walks adjacent to buildings and at street intersections to identify and enhance pedestrian routes.



*Pavers next to building enhance appearance*

#### ▪ Crosswalks

Crosswalks are required at all intersections and key pedestrian crossings. Crosswalks must be identified by a change in color, height, width, texture, or materials. Refer to ADA regulations and standards for any specific criteria regarding crosswalks and ramps.



*Enhanced paving delineates crosswalk*

#### ▪ Pedestrian Circulation in Parking Lots

Walkways that lead pedestrians from parking areas to buildings or plazas should be designed to facilitate easy movement and minimize crossing conflicts with vehicles. Pedestrians should feel comfortable about their walkways to buildings and pedestrian corridors should be clearly identified.

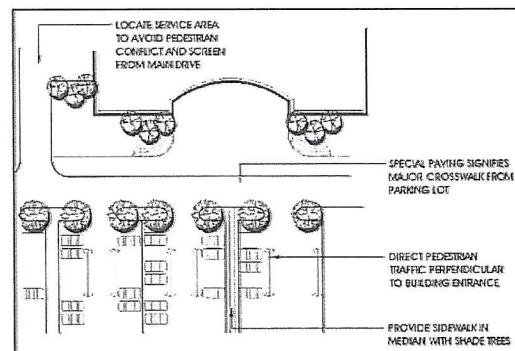
- Pedestrians should not be required to cross service drives to reach major entrances from primary parking lots.
- Where major pedestrian routes within parking lots cross roadways and drives, use textured or colored paving materials to distinguish the route.
- Medians with sidewalks allow for safe circulation and reduce circulation conflicts.
- Wherever feasible orient parking aisles perpendicular to building entrances.



*Landscaped median with sidewalk*



*Crosswalk delineated with paving and bollards*



*Median with sidewalk allows safe access to building entry*



### ▪ Accessibility

Owners and developers are expected to meet or exceed all requirements of the Americans with Disabilities Act (ADA), 1992, and all amendments thereto in the design and development of individual parcels, sites, buildings, and facilities. To the greatest extent possible, provide equal access in a manner that integrates ADA accessibility with ordinary accessibility, rather than separately.

### **PRINCIPLE 8: Appropriate design of parking lots, utilities, service areas and detention areas to reduce the negative impact of typically unattractive site components**

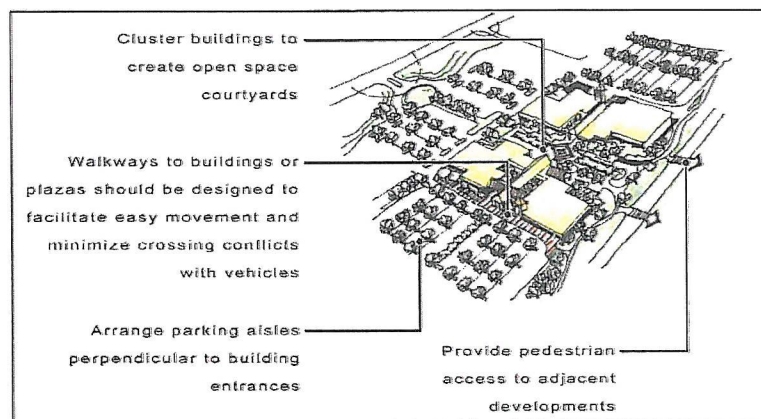
This section provides standards for the siting and layout of parking lots, service and loading areas, utilities, trash, storage and detention facilities. Specific landscaping criteria for these areas are included in the Landscape Principles section. Site plans specifying parking and circulation designs, utility and detention requirements shall be submitted to the City for review.

### ▪ Parking

- Parking ratios and quantity of spaces shall comply with the criteria set forth in the United City of Yorkville Zoning Ordinance.
- Parking areas should be designed and located so they provide safe and efficient vehicular and pedestrian circulation within a site.
- Minimize negative visual impacts from adjacent roadways.
- Break large expanses of pavement with landscape medians and islands.
- Divide parking areas which accommodate a large number of vehicles into a series of smaller, connected lots.
- Avoid situations where parking spaces directly abut structures.
- Separate parking aisles from interior collectors and entry drives whenever possible.



*Minimize negative visual impacts of parking from roadways*



- *Shared Parking*

Where opportunities exist for shared parking between uses with staggered peak parking demands, consider reducing the total number of parking spaces within each site or parcel. Parking should be shared between complementary uses such churches and office buildings.

- *Store Front & Street Parking Requirements*

All store front parking areas shall use angled parking or parallel parking. Areas shall be provided for sidewalks and landscaping between the store front and the edge of parking stall.

- *Bicycle*

To encourage and accommodate alternative transportation modes, provide bicycle parking within each building site. Locate bicycle parking areas so they are visible from building entrances and convenient for riders. Parking areas shall be landscaped in a manner consistent with pedestrian plazas. Also, bike racks should be of a style consistent with other site elements.

- **Substations/Water/Wastewater Stations**

Proposed electric substations, water pump stations and wastewater lift stations shall be screened from public views by a means of a 6 foot masonry wall on all sides with the exception of the area for gate access to the facility combined with landscaping. Service access shall be considered and incorporated into the screening program.

- **Detention**

- Drainage facilities should be used as an amenity to a development. If the existing topography allows, the location can be incorporated into an entry feature or can be the foundation for a park with trails and open space.
- Natural and/or vegetated drainage swales provide open space connections, filter runoff and improve the aesthetic appearance of development.
- Detention facilities should not be designed as to require chain link fencing or concrete walls. If such designs are required due to engineering requirements, consider using decorative modular stone to give the appearance of a retaining wall.
- Detention ponds located in the front yard building setback shall be designed as a curvilinear, contoured shape.



*Lake serves as main entry feature*



*Naturalistic drainage channel provides opportunities for trail connection*



**■ Location of Utilities**

Visual and sound impacts of utilities, mechanical equipment, data transmission dishes, towers and other equipment should be minimized in all development plans.

- Design and install all permanent utility service lines underground.
- During construction and maintenance, minimize disruptions to other sites and businesses within the City.
- Temporary overhead distribution power and telephone lines are permitted during construction but shall be removed immediately upon completion of site and building construction.
- Wherever possible, mount data transmission and receiving telecommunication devices at ground level to the rear of structures and screen views from adjacent roadways, pedestrian paths and building sites.
- Screen all electrical transformers, gas meters and other utility cabinets from view.
- Structures are prohibited from being located in utility easements. Avoid locating signs, special landscape features, etc. in utility easements.
- Air conditioning units, vent systems and other mechanical systems that must be located on building roofs shall be screened from sight at the ground plane.
- In residential communities:
  - Items requiring screening should be located on the rear or side yards when possible and should be integrated into the unit design.
  - Air conditioning units must be located behind a screen wall or planting hedge.
  - Utility meters must be located on side or rear elevations of the dwelling.

**■ Location of Service/Delivery/Trash/Storage Areas**

The visual impacts of service, delivery, trash and outdoor equipment or storage areas should be minimized, particularly relative to views from public roadways and pedestrian corridors. Thoughtful placement and integration into the architecture and site design is a priority for all sites.

- Orient service entrances, loading docks, waste disposal areas and other similar uses toward service roads and away from major streets and primary building entrances.
- Locate loading, service, trash and delivery areas so they do not encroach on any setbacks.



*Screen dumpsters with walls and materials that match architecture of primary building*

- Avoid locating service areas where they are visible from adjacent buildings or where they may impact view corridors. Such facilities are more appropriate at the rear of buildings or sites.
- Trash enclosures must be located away from residential property lines.
- Wherever possible, coordinate the locations of service areas between adjacent users or developments, so that service drives can be shared.
- Locate parking areas for outdoor equipment, trucks, trailers, service vehicles, etc. away from public parking lots and major pedestrian circulation routes. Unless totally out of view, screen these areas architecturally and with landscaping.
- All proposed dumpsters, trash receptacles, refuse storage containers, outdoor storage, and ground mounted equipment should be located within an enclosure providing screening along with landscaping along the perimeter. Such enclosures shall repeat materials and elements on the primary building.



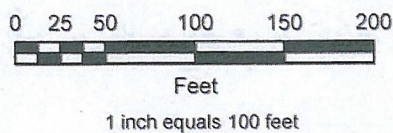
*Screen dumpsters with walls and materials that match architecture of primary building*

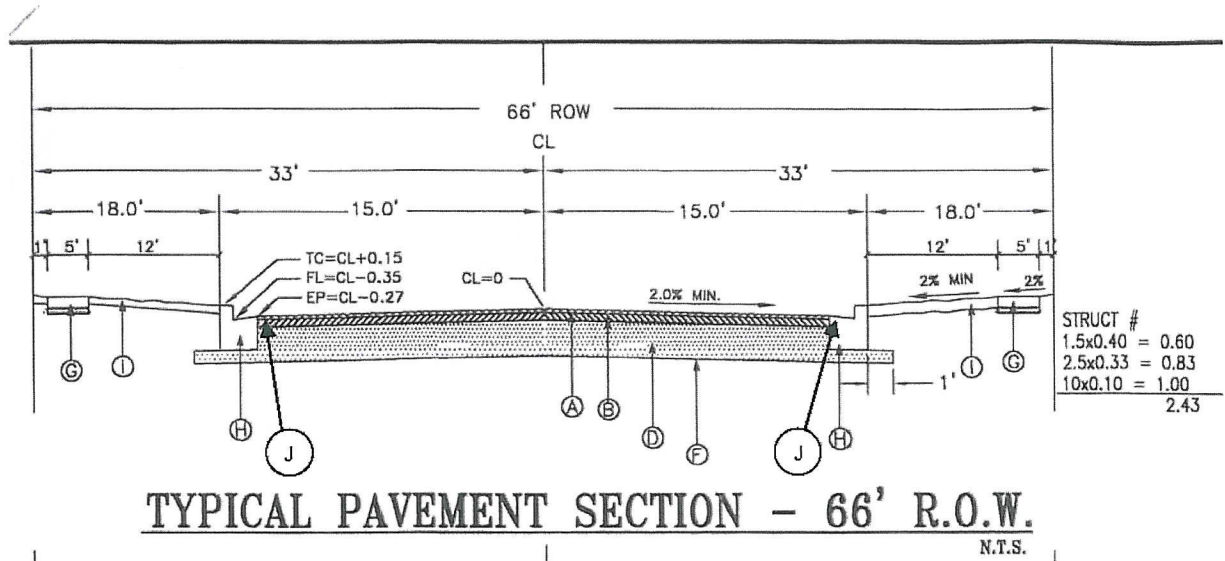


The Data is provided without warranty or any representation of accuracy, timeliness, or completeness. It is the responsibility of the "Requester" to determine accuracy, timeliness, completeness, and appropriateness of its use. The United City of Yorkville makes no warranties, expressed or implied, to the use of the Data.  
-Parcel Data provided by Kendall County GIS



# Windmill Farms Exhibit "G"





- (A) 1.5" BITUMINOUS CONCRETE SURFACE COURSE, CL 1, TY. 2, MIX. D
- (B) 2.5" BITUMINOUS CONCRETE BINDER COURSE, CL 1, TY. 2
- (C) 4.5" BITUMINOUS CONCRETE BINDER COURSE, CL 1, TY. 2 (2 LIFTS)
- (D) 10" CRUSHED AGGREGATE SUB-BASE, TY. B.
- (E) 12" CRUSHED AGGREGATE SUB-BASE, TY. B.
- (F) COMPACTED SUBGRADE WITH GEO-TEXTILE FABRIC, AMOCO 4551 OR APPROVED EQUAL
- (G) 5" PCC SIDEWALK WITH W/4" CRUSHED AGG. SUB-BASE
- (H) COMB. CONC. CURB AND GUTTER, TYPE B-6.12
- (I) 6" TOP SOIL AND SEEDING

(J) Joint filling with hot-poured rubberized asphalt cement



EXHIBIT H - WINDMILL FARMS ANNEXATION - RESIDENTIAL FEE SCHEDULE			
	Name of Fee	Amount	Time of Payment
1	School District Transition Fee	\$3,000 per unit	Paid to School District Office prior to issuance for building permit
2	Yorkville Bristol Sanitary District Connection Fee	\$1,400 per unit	At time of building permit, paid at City Hall with separate check made out to YBSD
3	Yorkville Bristol Sanitary District Annexation Fee	3806 per acre	Paid for entire development, at time of annexation to sanitary district
4	Yorkville Bristol Sanitary District Infrastructure Fee	3806 per acre	Paid for entire development, at time of annexation to sanitary district
5	Residential Building Permit Fee	\$650 + \$.020 per square foot	Building Permit
6	Residential Water Connection Fee	\$3,700 per unit	Building Permit
7	Water Meter Cost (not applicable to fee lock)	\$390 per unit for SF	Building Permit
8	Residential City Sewer Connection Fee	\$2,000 per unit	Building Permit
9	Water and Sewer Inspection Fee	\$25 per unit	Building Permit
10	Public Walks and Driveway Inspection Fee	\$35 per unit	Building Permit
11a	Public Works (Development Impact Fee)	\$700 per unit	Building Permit
11b	Police (Development Impact Fee)	\$300 per unit	Building Permit
11c	Municipal Building (Development Impact Fee)	see "time of payment"	Municipal Building Impact Fee is set up as \$5,509 per unit if paid at time of permit, or \$3,288 per unit if paid at time of final plat for all units in the entirety of the annexed development.
11d	Library (Development Impact Fee)	\$500 per unit	Building Permit
11e	Parks and Rec (Development Impact Fee)	\$50 per unit	Building Permit
11f	Engineering (Development Impact Fee)	\$100 per unit	Building Permit
11g	Bristol Kendall Fire District (Development Impact Fee)	\$1,000 per unit	Building Permit
12	Parks Land Cash Fee	Calculated by ordinance, \$101,000 per acre	Building Permit or Final Plat, depending on annexation/development agreement and land/cash donations negotiated
13	School Land Cash Fee	Calculated by ordinance, \$101,000 per acre	Building Permit or Final Plat, depending on annexation/development agreement and land/cash donations negotiated
14	Road Contribution Fund	\$2,000 per unit	Building Permit
15	County Road Fee	\$1,707 per unit, escalating each calendar year at a rate determined by ordinance	Building Permit
16	Weather Warning Siren	\$75 per acre	Final Plat
17	Administration Review Fee	1.75% of Approved Engineer's Estimate of Cost of Land Improvements	Final Plat
18	Engineering Review Fee	1.25% of Approved Engineer's Estimate of Cost of Land Improvements	Final Plat
19	Engineering Coordination Fee	0.35% of Approved Engineer's Estimate of Cost of Land Improvements	Final Plat



# United City of Yorkville

EXHIBIT H - COMMERCIAL PERMIT FEES

County Seat of Kendall County  
800 Game Farm Road  
Yorkville, Illinois, 60560  
Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: [www.yorkville.il.us](http://www.yorkville.il.us)

## COMMERCIAL PERMIT FEES

### Permit/Plan Review

Building Permit	\$750.00 plus \$0.20 per square foot
Plan Review	Based on building size (See Attached)

### Contributions

Development Fee	\$3000.00* - See Attached Ordinance 2004-55 (Increase in Bristol-Kendall Fire Protection District Fee)
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### Water/Sewer

Sewer Tap	See Attached Ordinance #96-11	
Water Tap	Water Meter Size	Water Connection Fee
	1"	\$ 3,700
	1 1/2"	\$ 4,000
	2"	\$ 5,000
	3"	\$ 8,000
	4"	\$15,000
	6" and larger	TBD

Water Meter	Water Meter Size	Water Meter Price
	1"	\$ 485.00
	1 1/2"	\$ 790.00
	2"	\$2800.00
	3"	\$3550.00
	4"	\$5420.00
	6"	\$8875.00

Engineering Inspections	\$60.00
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River Crossing Fee	\$25.00 per drain unit. See attached Ordinance 97-11
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\*\*Engineering and Landscaping review fees will be billed separately.

\*\*\* Please call the Yorkville Bristol Sanitary District for sanitary permit fees (630) 553-7657

# EXHIBIT H - MULTI-FAMILY PERMIT FEES

A. New Construction Per Unit	\$350.00 plus \$0.15 per s.f.
B. Remodeling Per Unit	\$175.00 plus \$0.10 per s.f.
C. Detached Garage Per Unit without Electrical	\$50.00
D. Detached Garage Per Unit with Electrical	\$100.00
E. Temporary to Start Construction	25% of full permit fee, not to be applied to the full permit fee
F. Temporary Certificate of Occupancy when Requested by the Builder when Circumstances <u>Do Not</u> Warrant	\$50 per unit (non-refundable)

## ALL OTHER USE GROUPS

<input type="checkbox"/> A. New Construction	\$750.00 plus \$0.20 per square foot
B. Additions	\$500.00 plus \$0.20 per square foot
C. Remodeling	\$350.00 plus \$0.10 per square foot
D. Temporary to Start Construction	25% of full permit fee, not to be applied to the full permit fee
E. Temporary Certificate of Occupancy when Requested by the Builder when Circumstances <u>Do Not</u> Warrant	\$200.00 (non-refundable)

**NOTE:** Building permit fee does not include the plan review fee for the "multiple-family residential use group" and "other use group" categories. The plan review fee will be based on the schedule following the permit fees. Plan review fees to the inspection firm will be paid at the same time as the building permit fee.

PLAN REVIEW FEES (May vary due to outside consultant's fee schedules.)

BUILDING CODE

<i>Building Size</i>	<i>Fee</i>
1 to 60,000 cubic feet	\$355.00
60,001 to 80,000 cubic feet	\$400.00
80,001 to 100,000 cubic feet	\$475.00
100,001 to 150,000 cubic feet	\$550.00
150,001 to 200,000 cubic feet	\$650.00
over 200,000 cubic feet	\$650.00 + \$6.50 per 10,000 cubic feet over 200,000

REMODELING PLAN REVIEW      1/2 of Plan Review Fee Listed Above

ELECTRICAL, MECHANICAL, OR PLUMBING PLAN REVIEW ONLY  
1/4 of Plan Review Fee Listed Above

FIRE DETECTION/ALARM SYSTEMS

\$115.00 per 10,000 square feet of floor area

FIRE SPRINKLER SYSTEMS

<i>Number of Sprinklers</i>	<i>Pipe Schedule</i>	<i>Hydraulic Calculated</i>
Up to 200	\$250.00	\$500.00
201-300	\$300.00	\$575.00
301-500	\$400.00	\$775.00
Over 500	\$450.00	\$850.00
PLUS, for each Sprinkler over 500:	\$0.60/each	\$0.95/each

ALTERNATE FIRE SUPPRESSION SYSTEMS

Standpipe	\$175.00 per Standpipe Riser (No charge with Sprinkler Review)
Specialized Extinguisher Agent (Dry or Other Chemical Agent)	\$125.00 per 50 pounds agent
Hood & Duct Cooking Extinguisher Agent	\$150.00 flat rate per system.

**NOTE:** If any plan has to be sent to an outside consultant other than the inspection firm, the outside consultant's fee(s) will be charged and that fee paid directly to the outside consultant.

Order ID: 7171873

**Product(s):** SubTrib\_Aurora Beacon News, Publicnotices.com**AdSize(s):** 1 Column**Run Date(s):** Friday, March 18, 2022**Zone:** Full Run**Color Spec.** B/W

## Preview

**PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING  
BEFORE  
UNITED CITY OF YORKVILLE  
PLANNING AND ZONING  
COMMISSION  
PZC 2022-02**

**NOTICE IS HEREBY GIVEN**  
**THAT** Dawn Leprich-Graves, on behalf of BW Property Holdings, LLC/Bricolage Wellness, PLLC, petitioner, has filed an application with the United City of Yorkville, Kendall County, Illinois, requesting rezoning classification of an approximately 1.17-acre parcel located at 8721 Route 126 in Yorkville, Illinois. The real property, situated south of Illinois State Route 71 at the northwest intersection of Wing Road and Illinois State Route 126, is part of the previously approved Windmill Farms Annexation Agreement. The Windmill Farms Annexation Agreement zoned the parcels as a Planned Unit Development (PUD) which allowed for certain land uses consistent with those found in the R-4 General Multi-Family Residence District and B-3 General Business Zoning districts. The petitioner is seeking to rezone the 1.17-acre parcel from the Planned Unit Development (PUD) zoning designation to the B-3 General Business District. The purpose of the rezoning is to establish and operate a professional services business within the existing residential structure.

The legal description of said parcel is as follows:

THAT PART OF THE SOUTHWEST  
QUARTER OF SECTION 3 TOWN-  
[REDACTED] NORTH [REDACTED] EAST  
OF THE THIRD PRINCIPAL MERID-  
IAN, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTH-  
[REDACTED] SOUTH-  
[REDACTED] NORTH  
ALONG THE WEST LINE OF SAID  
SOUTHWEST QUARTER 1.995.6  
[REDACTED]  
ILLINOIS ROUTE 71, THENCE  
NORTHEASTERLY ALONG SAID  
CENTERLINE OF ILLINOIS ROUTE

71, 1,411.3 FEET TO THE CENTERLINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG THE EXTENDED CENTERLINE AND THE CENTERLINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25 MINUTES TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTERLINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FROM THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47 MINUTES TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTERLINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE OF ILLINOIS ROUTE 126 TO THE CENTERLINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTERLINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

PIN# 05-03-300-007

A copy of the application is available for review during normal City business hours at the office of the Community Development Director.

NOTICE IS HEREWITH GIVEN THAT the Planning and Zoning Commission for the United City of Yorkville will conduct a Public Hearing on said application on **Wednesday, April 13, 2022 at 7 p.m.** at the United City of Yorkville, City Hall, located at 800 Game Farm Road, Yorkville, Illinois 60560.

The public hearing may be continued from time to time to dates certain without further notice being published.

All interested parties are invited to attend the public hearing and be heard. Any written comments should be addressed to the United City of Yorkville Community Development Department, 800 Game Farm Road, Yorkville, Illinois, and will be accepted up to the date of

By order of the Corporate Authorities of the United City of Yorkville, Kendall County, Illinois

# Chicago Tribune



[REDACTED]

[REDACTED]

[REDACTED]

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TOLKVIN, NEENAH COUNTY, ILLINOIS.

JORI BEHLAND  
City Clerk  
3/18/22 7171873



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Purchasing Manager	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #8

Tracking Number

EDC 2022-21

### Agenda Item Summary Memo

**Title:** Windmill Farms – 2<sup>nd</sup> Amendment to Annexation Agreement

**Meeting and Date:** Economic Development Committee – April 5, 2022

**Synopsis:** Proposed amendment to the Windmill Farms Annexation Agreement.

### Council Action Previously Taken:

Date of Action: 4-9-2019 Action Taken: Approval of Annex. Agr. Amendment Ordinance 2019-22

Item Number: EDC 2019-25

**Type of Vote Required:** Majority

**Council Action Requested:** Vote

**Submitted by:** Krysti J. Barksdale-Noble, AICP

Community Development

Name

Department

### Agenda Item Notes:

See attached memorandum.

*Have a question or comment about this agenda item?*

*Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at [agendas@yorkville.il.us](mailto:agendas@yorkville.il.us), post at [www.facebook.com/CityofYorkville](https://www.facebook.com/CityofYorkville), tweet us at @CityofYorkville, and/or contact any of your elected officials at [http://www.yorkville.il.us/gov\\_officials.php](http://www.yorkville.il.us/gov_officials.php)*



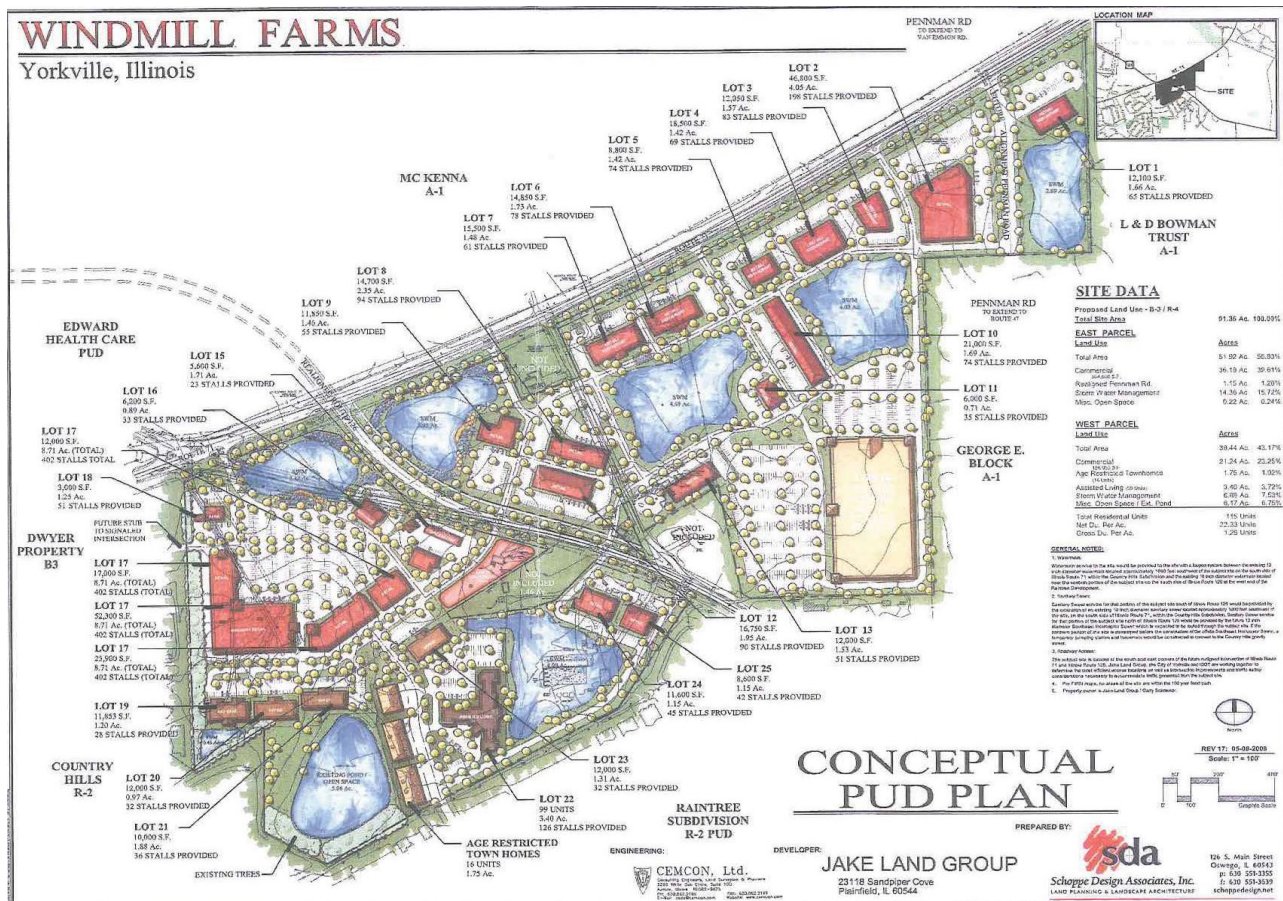


# Memorandum

To: Economic Development Committee  
From: Krysti J. Barksdale-Noble, Community Development Director  
CC: Bart Olson, City Administrator  
Kathleen Field-Orr, City Attorney  
Date: March 31, 2022  
Subject: **Windmill Farms – 2nd Amendment to Annexation Agreement**  
Regarding Zoning of Certain Property within Original Development

## SUMMARY:

The request is for an amendment to an existing annexation agreement for the Windmill Farms Planned Unit Development (PUD) approved in 2008. The PUD covered approximately 91-acres of land under contract by the former developer, Jake Land Group, for a proposed commercial and multi-family residential development (refer to concept PUD Plan below). Although the City annexed the parcels and rezoned the entire site under a “PUD” zoning, a final plat was never recorded to formalize the PUD and development never commenced. This left the properties in the Windmill Farms development saddled with entitlements that limited their ability to redevelop, expand or rezone without City Council action. Included within the original Windmill Farms development is a 1.17-acre parcel located at 8721 Route 126 and currently used as a residence. The property is owned by Big Sky Management, LLC and under contract to purchase by BW Properties Holding, LLC (dba Bricolage Wellness, PLLC).

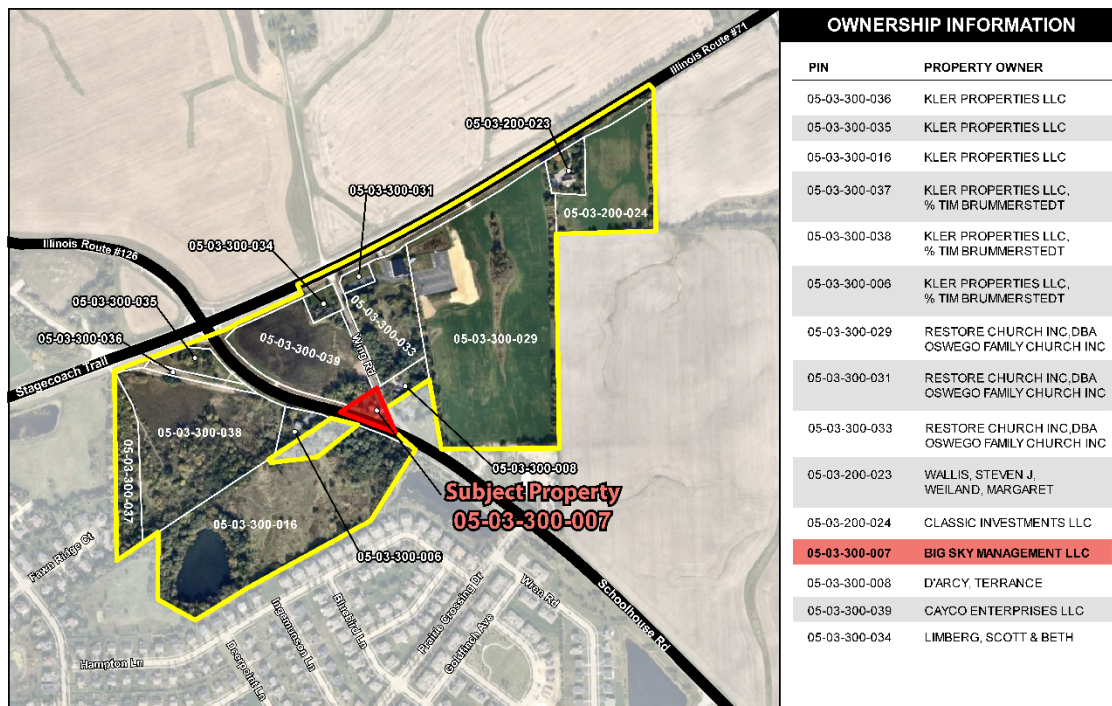


BW Properties Holdings, LLC (dba Bricolage Wellness, PLLC) intends to operate a professional office providing counselling and therapeutic services. Therefore, the amendment seeks to remove the subject property from the previously approved annexation agreement. Since the annexation agreement is not set to expire until 2028, each property owner must seek City Council approval to remove themselves from the agreement's provisions by amendment. Once removed, the property will only retain its zoning, which is the PUD District zoning. Since the City no longer has a Planned Unit Development (PUD) zoning district, the property will be required to rezone. The proposed agreement amendment is being considered concurrently with a request for rezoning from PUD to B-3 General Business District by the Planning and Zoning Commission.

## **DEVELOPMENT BACKGROUND:**

In 2008, Windmill Farms was annexed into Yorkville and zoned within the Planned Unit Development (PUD) District via ordinances 2008-40 and 2008-42. The developer at that time, Jake Land Group, LLC, annexed eight (8) parcels totaling roughly 78-acres and assembled those with five (5) already annexed parcels to create a thirteen (13) parcel, an approximately 91-acre site, with a mix of residential and commercial land uses. Some of the parcels were purchased by the developer, while others were under contract. As part of the annexation agreement, certain B-3 General Business District and R-4 General Multi-Family Residence District land uses were permitted, and development was subject to the approved Windmill Farms concept land plan.

The annexation and zoning were the only approvals granted for the Windmill Farm development. Since that time, the Jake Land Group, LLC parcels were foreclosed upon and the contracts with the owners of the other parcels fell through. The property has remained vacant and undeveloped since the original approvals in 2008. Additionally, some parcels have been further subdivided. The current ownership of the parcels is depicted in the following map:



## **Windmill Farms Ownership Map**

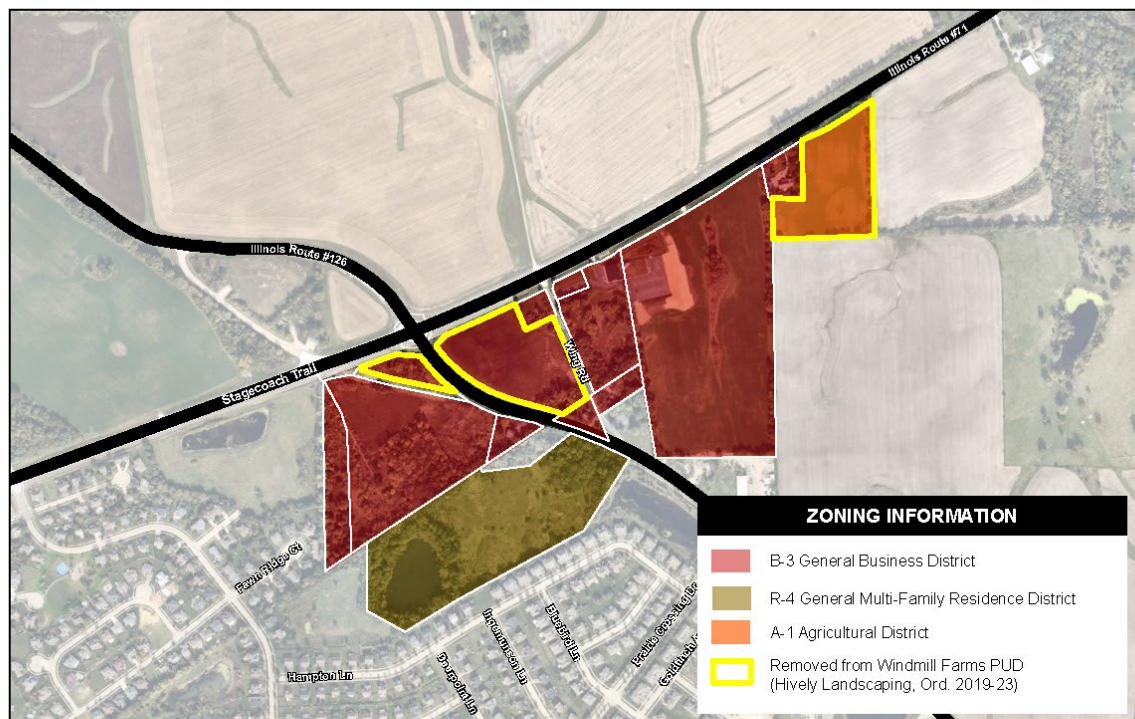
United City of Yorkville, Illinois  
March 31, 2022





## **ZONING ANALYSIS:**

The existing Windmill Farms Annexation and Planned Unit Development Agreement presents a unique land approval dilemma for successor property owners, specifically related to zoning of the parcels currently for sale and future land use development. The annexation agreement, which is nearing 15 years of its 20-year term, established a Planned Unit Development (PUD) zoning district for the development with portions of the property subject to certain B-3 business and R-4 multi-family residential land uses. In 2019, Hively Landscaping petitioned for annexation amendment through an identical entitlement process for three (3) parcels they purchased in the Windmill Farms development and successfully rezoned them from PUD to B-3 General Business District and A-1 Agriculture as depicted in the zoning map below:



## **Windmill Farms Zoning Map**

United City of Yorkville, Illinois  
March 21, 2022



According to the 2006 annexation agreement for Windmill Farms, a preliminary process for the approval of a PUD as a special use was anticipated with the adoption of the concept plan. However, the concept plan was never formalized via an ordinance approving the special use for a Planned Unit Development (PUD) and final plat of subdivision. With the passage of time, the concept plan for the Windmill Farm development is no longer valid. Therefore, it is staff and the City Attorney's recommendation to amend the only authorizing document for the Windmill Farms development, the annexation and PUD agreement, to remove the subject parcel and thereby allowing it to be rezoned. Further, the rezoning will have no effect on the validity of the annexation itself.

## **PROPOSED AMENDMENT:**

As prepared by the City Attorney, the proposed amendment deletes Paragraph 1: Annexation and Zoning of the original annexation agreement and replaces it with the following:

*The City has adopted an ordinance annexing to the City the Subject Property and shall adopt an ordinance zoning the Subject Property into the B-3 General Business zoning district, which may be further changed without amendment of this Agreement pursuant to the procedures of the Zoning Code.*

Paragraph 2A of the annexation agreement is proposed to be deleted, as it relates solely to the concept plan that was never adopted into a final plat for a special use PUD. And finally, paragraphs B and D of Section 3 of the original annexation agreement regarding the requirement for connection to City water and annexing into the Yorkville Bristol Sanitary District is deleted in its entirety, too.

**STAFF COMMENTS:**

Staff is highly supportive of the proposed annexation agreement amendment based upon legal counsel recommendation and in consideration of the length of time the area has remained undeveloped under the current concept plan and zoning. This annexation agreement amendment request is tentatively scheduled for a public hearing before the City Council on April 12, 2022. Staff will be available at Tuesday night's meeting to answer any questions.

**Ordinance No. 2022-\_\_\_\_\_**

**AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS,  
APPROVING THE SECOND AMENDMENT TO THE ANNEXATION AND PLANNED UNIT  
DEVELOPMENT AGREEMENT FOR A PORTION OF THE WINDMILL FARMS DEVELOPMENT  
(BW Properties Holdings, LLC/Bricolage Wellness, PLLC)**

**WHEREAS**, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

**WHEREAS**, Jake Land Group, LLC (the “Original Owner”) entered into an *ANNEXATION AND PLANNED UNIT DEVELOPMENT AGREEMENT TO THE UNITED CITY OF YORKVILLE WINDMILL FARMS* (the “Original Annexation Agreement”) dated May 27, 2008 that was approved by the Mayor and City Council (the “Corporate Authorities”) by Ordinance No. 2008-40 on May 27, 2008 and recorded with the Kendall County Recorder on July 17, 2008 as document 200800016874; and,

**WHEREAS**, the Original Annexation Agreement provided for the annexation and zoning of approximately 62.82 acres of land to the City and the development of 15.32 acres already annexed to the City; and,

**WHEREAS**, on April 9, 2019, by Ordinance No. 2019-22, the Original Agreement was amended as it related to 16.21 acres of the Windmill Farms to rezone three (3) parcels to the City’s A-1 Agricultural District and B-3 General Business District for the development of a landscape nursery business (the "First Amendment"); the First Amendment was recorded with the Kendall County Recorder's Office on May 2, 2019 as document #201900005298; and,

**WHEREAS**, BW Properties Holdings, LLC (“Developer”) is the contract purchaser of approximately 1.17 acres of the Windmill Farms property that is legally described on Exhibit A attached hereto and made a part hereof (the “Subject Property”) with PIN Number: 05-03-300-007; and,

**WHEREAS**, Developer has petitioned the City to amend the Original Annexation Agreement to rezone the Subject Property pursuant to the current United City of Yorkville Zoning Ordinance (the “Zoning Code”) in order to permit the Developer to proceed with operation under the City’s B-3 General Business District for a professional services office use; and,

**WHEREAS**, the Corporate Authorities conducted a public hearing on the amendment of the Original Annexation Agreement on April 12, 2022 and the statutory procedures provided in 65 ILCS 5/11-15.1-1, as amended, for the approval of this Second Amendment have been complied with.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

**Section 1:** The above recitals are incorporated and made a part of this Ordinance.

**Section 2:** That the *SECOND AMENDMENT TO THE ANNEXATION AGREEMENT BETWEEN JAKE LAND GROUP LLC AND THE UNITED CITY OF YORKVILLE (Windmill Farms)*, attached hereto and made a part hereof by reference as Exhibit A be and is hereby approved and the

Mayor and City Clerk are hereby authorized and directed to execute and deliver said Second Amendment.

**Section 3:** This Ordinance shall be in full force and effect upon its passage, approval, and publication as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois this \_\_\_\_ day of \_\_\_\_\_, A.D. 2022.

\_\_\_\_\_  
CITY CLERK

KEN KOCH	_____	DAN TRANSIER	_____
ARDEN JOE PLOCHER	_____	CRAIG SOLING	_____
CHRIS FUNKHOUSER	_____	MATT MAREK	_____
SEAVER TARULIS	_____	JASON PETERSON	_____

**APPROVED** by me, as Mayor of the United City of Yorkville, Kendall County, Illinois this \_\_\_\_ day of \_\_\_\_\_, A.D. 2022.

\_\_\_\_\_  
MAYOR

**FIRST AMENDMENT  
TO THE ANNEXATION AGREEMENT  
BETWEEN JAKE LAND GROUP LLC AND THE UNITED CITY OF YORKVILLE  
(*Windmill Farms*)**

This Second Amendment (the “Amendment”) to the Annexation Agreement dated May 27, 2008, pertaining to the Windmill Farms properties, is entered into this \_\_\_ day of April, 2022, by and between the United City of Yorkville, Illinois, a municipal corporation (the “City”) and BW Properties Holdings, LLC d/b/a Bricolage Wellness, PPLC, the contract purchaser of a portion of the Windmill Farms properties (the “DEVELOPER”); and,

**WHEREAS**, Jake Land Group, LLC (the “Original Owner”) entered into an *ANNEXATION AND PLANNED UNIT DEVELOPMENT AGREEMENT TO THE UNITED CITY OF YORKVILLE WINDMILL FARMS* (the “Original Annexation Agreement”) dated May 27, 2008 that was approved by the Mayor and City Council (the “Corporate Authorities”) by Ordinance No. 2008-40 on May 27, 2008 and recorded with the Kendall County Recorder on July 17, 2008 as document 200800016874; and,

**WHEREAS**, the Original Annexation Agreement provided for the annexation of approximately 62.82 acres of land to the City and the development of 15.32 acres already annexed to the City (the “Property”), when due to the changes in the economic conditions in the country and most particularly in the region, the Original Owner lost ownership of the Property; and,

**WHEREAS**, on April 9, 2019, by Ordinance No. 2019-22, the Original Agreement was amended as it related to 16.21 acres of the Windmill Farms to rezone three (3) parcels to the City’s A-1 Agricultural District and B-3 General Business District for the development of a landscape nursery business (the "First Amendment"); the First Amendment was recorded with the Kendall County Recorder's Office on May 2, 2019 as document #201900005298; and,

**WHEREAS**, DEVELOPER is the contract purchaser of approximately 1.17 acres of the Windmill Farms property that is legally described on Exhibit A attached hereto and made a part hereof (the “Subject Property”) with PIN Number: 05-03-300-007; and,

**WHEREAS**, DEVELOPER has petitioned the City to rezone the Subject Property pursuant to the current United City of Yorkville Zoning Ordinance (the “Zoning Code”) in order to permit DEVELOPER to proceed with operation under the City’s B-3 General Business District for a professional services office use; and,

**WHEREAS**, the DEVELOPER is prepared to participate in all public hearings as required by law to accomplish this Amendment to the Original Annexation Agreement and as may be required to rezone the Property under the Zoning Code.

**NOW, THEREFORE**, the parties hereto agree as follows:

1. The above recitals are incorporated herein and made a part of this Agreement.
2. That the fifth whereas clause be and is hereby repealed.
3. That Paragraph 1 of the Original Annexation Agreement is hereby deleted and replaced with the following:

#### ANNEXATION AND ZONING

The City has adopted an ordinance annexing to the City the Subject Property and shall adopt an ordinance zoning the Subject Property into the B-3 General Business District for parcel 05-03-300-007, which may be further changed without amendment of this Agreement pursuant to the procedures of the Zoning Code.

4. That Paragraph 2A of the Original Annexation Agreement is hereby deleted in its entirety.



5. That Paragraph 9, Notice, of the Original Annexation Agreement is hereby amended by deleting the person named to receive notice for the Developer and insert the following:

To Developer:

Dawn Leprich-Graves  
BW Property Holdings, LLC/Bricolage Wellness, PPLC  
477 E. Butterfield Road  
Suite 212  
Lombard, IL 60148

With a copy to:

Jeff M. Goldberg  
Hinshaw and Culbertson, LLP  
151 N. Franklin St.  
Suite 2500  
Chicago, IL 60606

6. That Paragraphs B and D of Section 3, of the Original Annexation Agreement regarding the requirement for connection to City water and annexing into the Yorkville Bristol Sanitary District is hereby deleted in its entirety.

**IN WITNESS WHEREOF**, the parties hereto have caused this Second Amendment to the Original Annexation Agreement to be executed by their duly authorized officers on the above date at Yorkville, Illinois.

United City of Yorkville, an Illinois municipal  
Corporation

By: \_\_\_\_\_  
Mayor

*Attest:*

\_\_\_\_\_  
City Clerk

DEVELOPER

By:

\_\_\_\_\_  
BW Property Holdings, LLC/Bricolage Wellness, PPLC

*Attest:*

\_\_\_\_\_  
Witness

## **EXHIBIT A**

### **LEGAL DESCRIPTION**

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1,995.6 FEET TO THE CENTERLINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG SAID CENTERLINE OF ILLINOIS ROUTE 71, 1,411.3 FEET TO THE CENTERLINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG THE EXTENDED CENTERLINE AND THE CENTERLINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25 MINUTES TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTERLINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FROM THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47 MINUTES TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTERLINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE OF ILLINOIS ROUTE 126 TO THE CENTERLINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTERLINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

PIN# 05-03-300-007

STATE OF ILLINOIS       )  
                                  ) ss.  
COUNTY OF KENDALL     )

200800016874  
Filed for Record in  
KENDALL COUNTY, ILLINOIS  
RENNETTA S MICKELSON  
07-17-2008 At 09:50 am.  
ORDINANCE           102.00  
RHSP Surcharge           10.00

*Ordinance No. 2008- 40*

**AN ORDINANCE AUTHORIZING THE EXECUTION OF AN ANNEXATION  
AND  
PLANNED UNIT DEVELOPMENT AGREEMENT  
(Windmill Farms)**

**WHEREAS**, it is prudent and in the best interest of the United City of Yorkville, Kendall County, Illinois, to enter into a certain Annexation and Planned Unit Development Agreement pertaining to the annexation of real estate described on Exhibit A attached thereto and made a part hereof; and,

**WHEREAS**, said Annexation and Planned Unit Development Agreement has been reviewed, discussed and considered by the City Council; and,

**WHEREAS**, the legal owners of record of the territory which is the subject of said Agreement are ready, willing and able to enter into said Agreement and to perform the obligations as required hereunder; and,

**WHEREAS**, the statutory procedures as set forth in 65 ILCS 5/11-15.1-1, pertaining to the approval and execution of annexation and planned unit development agreement have been fully satisfied; and,

**WHEREAS**, the property is contiguous to the existing boundaries of the City.

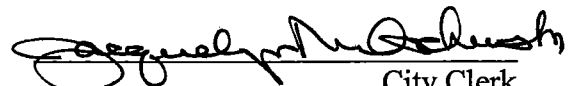
**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and City Council of the United City of Yorkville that the City Code of the City of Yorkville be amended as follows:

*Section 1.* The Mayor and City Council hereby approve the Annexation and Planned Unit Development Agreement a copy of which is attached to this Ordinance (the "*Annexation and Planned Unit Development Agreement*"), pertaining to the real estate legally described on *Exhibit A* also attached hereto.

*Section 2.* The Mayor and City Clerk are herewith authorized and directed to execute, on behalf of the City, said Annexation and Planned Unit Development Agreement and the Clerk is further directed to file said Annexation and Planned Unit Development Agreement with the Kendall County Recorder's Office.

*Section 3.* This Ordinance shall be in full force and effect immediately from and after its passage and approval according to law.

*Passed* by the City Council of the United City of Yorkville, Kendall County, Illinois, this 27 day of May, A.D. 2008.

  
City Clerk

ROBYN SUTCLIFF	<u>yg</u>
ARDEN JOE PLOCHER	<u>yg</u>
GARY GOLINSKI	<u>yg</u>
ROSE SPEARS	<u>yg</u>

JOSEPH BESCO	<u>yg</u>
WALLY WERDERICH	<u>yg</u>
MARTY MUNNS	<u>yg</u>

**APPROVED** by me, as Mayor of the United City of Yorkville, Kendall County, Illinois,  
this 27 day of may, A.D. 2008.

Valerie Burd  
Mayor

**EXHIBIT A**  
**LEGAL DESCRIPTION**

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH  $00^{\circ}14'45''$  EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH  $89^{\circ}50'00''$  WEST, 684.42 FEET; THENCE NORTH  $09^{\circ}30'00''$  WEST, 592.27 FEET; THENCE SOUTH  $57^{\circ}33'55''$  WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH  $21^{\circ}52'29''$  WEST, ALONG SAID EASTERLY LINE, 705.85 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71 FOR THE POINT OF BEGINNING; THENCE SOUTH  $21^{\circ}52'29''$  EAST, ALONG SAID EASTERLY LINE, 119.0 FEET; THENCE NORTH  $68^{\circ}07'31''$  EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH  $21^{\circ}52'29''$  WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE SOUTHWESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE RIGHT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 211.39 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 0.6060 ACRE.

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH  $00^{\circ}14'45''$  EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH  $89^{\circ}50'00''$  WEST, 684.42 FEET; THENCE NORTH  $09^{\circ}30'00''$  WEST, 592.27 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH  $57^{\circ}33'55''$  WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH  $21^{\circ}52'29''$  WEST, ALONG SAID EASTERLY LINE, 586.85 FEET TO A POINT ON SAID EASTERLY LINE WHICH IS 119.0 FEET (MEASURED ALONG SAID EASTERLY LINE) SOUTHEASTERLY OF THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTH  $68^{\circ}07'31''$  EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH  $21^{\circ}52'29''$  WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE LEFT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 261.03 FEET TO A LINE DRAWN NORTH  $09^{\circ}30'00''$  WEST FROM THE POINT OF BEGINNING; THENCE SOUTH  $09^{\circ}30'00''$  EAST, ALONG SAID LINE, 695.72 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 5.6041 ACRES.

THAT PART OF THE NORTH 1/2 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE SOUTH 0 DEGREES, 07 MINUTES, 44 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST 1/4, 1284.36 FEET; THENCE NORTH 89 DEGREES, 47 MINUTES, 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES, 32 MINUTES, 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES, 05 MINUTES, 46 SECONDS WEST, 748.40 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE TIC. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES, 50 MINUTES, 30 SECONDS WEST AT THE LAST DESCRIBED POINT. 627.46; THENCE NORTH 60 DEGREES, 02 MINUTES, 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 12 DEGREES, 27 MINUTES, 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES, 27 MINUTES, 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 0 DEGREES, 47 MINUTES, 30 SECONDS WEST, 423.02 FEET TO SAID CENTER LINE; THENCE SOUTH 60 DEGREES, 02 MINUTES, 30 SECONDS WEST ALONG CENTER LINE, 291.76 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE NORTHEAST, NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1284.36 FEET; THENCE SOUTH 89 DEGREES 29 MINUTES 40 SECONDS WEST 680.30 FEET; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 10.0 FEET FOR A POINT OF BEGINNING; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 579.63 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 24 SECONDS WEST ALONG THE EAST LINE OF SAID BOYD TRACT 748.57 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 49 MINUTES 16 SECONDS WEST AT THE LAST DESCRIBED POINT 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 332.0 FEET; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST 202.0 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 30 SECONDS WEST 423.02 FEET TO SAID CENTER LINE; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 412.69 FEET TO A LINE DRAWN NORTH 00 DEGREES 10 MINUTES 46 SECONDS EAST PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER, FROM A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER WHICH IS 598.62 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID PARALLEL LINE 880.56 FEET TO SAID SOUTH LINE; THENCE SOUTH 89 DEGREES 34 MINUTES 48 SECONDS WEST ALONG SAID SOUTH LINE 598.62 FEET TO SAID SOUTHWEST CORNER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID EAST LINE 1275.36 FEET TO A LINE DRAWN SOUTH 89 DEGREES 40 MINUTES 33 SECONDS EAST FROM THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 40 MINUTES 33 SECONDS WEST 681.94 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 08 MINUTES 09 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTH 57 DEGREES 59 MINUTES 05 SECONDS EAST ALONG SAID OLD CLAIM LINE 299.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 1 DEGREE 51 MINUTES 32 SECONDS WEST, 402.10 FEET; THENCE SOUTH 59 DEGREES 55 MINUTES., 25 SECONDS EAST, 256.51 FEET; THENCE NORTH 59 DEGREES 55 MINUTES 25 SECONDS EAST 355.65 FEET; THENCE NORTH 62 DEGREES 43 MINUTES 29 SECONDS EAST, 853.57 FEET; THENCE NORTH 33 DEGREES 24 MINUTES 40 SECONDS EAST, 542.27 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2292.01 FEET AND A RADIAL BEARING OF SOUTH 29 DEGREES 23 MINUTES 51 SECONDS WEST AT THE LAST DESCRIBED POINT, 358.41 FEET TO A POINT WHICH IS 151.00 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE AND SAID OLD CLAIM LINE; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 265.70 FEET; THENCE SOUTH 73 DEGREES 54 MINUTES 28 SECONDS WEST, 102.86 FEET; THENCE SOUTH 84 DEGREES 11 MINUTES 54 SECONDS WEST, 280.96 FEET; THENCE NORTH 32 DEGREES 00 MINUTES 55 SECONDS WEST, 24.19 FEET TO SAID OLD CLAIM LINE; THENCE SOUTH 87 DEGREES 59 MINUTES 05 SECONDS WEST ALONG SAID OLD CLAIM LINE 789.92 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

A PERPETUAL EASEMENT FOR THE OPERATION, MAINTENANCE AND USE OF A SEPTIC FIELD FOR THE BENEFIT OF PARCEL ONE HEREINABOVE DESCRIBED, UNDER AND UPON THE FOLLOWING DESCRIBED PARCEL OF REAL ESTATE CONTIGUOUS TO PARCEL ONE TO WIT:

COMMENCING AT THE MOST NORTHERLY CORNER OF PARCEL ONE HEREINABOVE DESCRIBED ON THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 47.12 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF ILLINOIS STATE ROUTE NUMBER 126, FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 105.0 FEET; THENCE NORTH 32 DEGREES 08 MINUTES 38 SECONDS WEST, 152.18 FEET; THENCE SOUTH 76 DEGREES 09 MINUTES 49 SECONDS EAST, 5.28 PEEP; THENCE SOUTH 70 DEGREES 39 MINUTES 49 SECONDS EAST, 158.65 FEET, TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, ALL IN KENDALL COUNTY ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET A POINT OF BEGINNING THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID CLAIM LINE, 941.92 FEET TO A POINT ON A LINE DRAWN SOUTHWESTERLY, PERPENDICULAR TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FROM A POINT ON SAID CENTER LINE WHICH IS 1049.70 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE WITH THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTHEASTERLY TO SAID POINT ON SAID CENTER LINE OF ILLINOIS ROUTE 126 AFORESAID; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE AND TO SAID ROUTE 71 CENTER LINE; THENCE SOUTHWESTERLY ALONG SAID ROUTE 71 CENTER LINE, 30.58 FEET TO SAID WEST LINE; THENCE SOUTHERLY ALONG SAID WEST LINE, 78.83 FEET, TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION. 3; THENCE NORTH 00 DEGREES 00 MINUTES 38 SECONDS EAST, ON A BEARING REFERENCED TO AN ASSUMED NORTH, 1925.21 FEET ON THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS EAST 58.55 FEET TO THE EXISTING SOUTHEASTERLY RIGHT OF WAY LINE OF A.F.A.P. ROUTE 311 (IL ROUTE 71) AND THE POINT OF BEGINNING; THENCE NORTH 72 DEGREES 34 MINUTES 00 SECONDS EAST 35.28 FEET ON SAID SOUTHEASTERLY RIGHT OF WAY LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF S.B.I. ROUTE 66 (IL ROUTE 126); THENCE SOUTH 70 DEGREES 08 MINUTES 35 SECONDS EAST 125.66 FEET ON SAID SOUTHERLY RIGHT OF WAY LINE; THENCE NORTH 81 DEGREES 09 MINUTES 04 SECONDS WEST 51.85 FEET; THENCE NORTH 76 DEGREES 30 MINUTES 40 SECONDS WEST 103.47 FEET TO THE POINT OF BEGINNING), IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE FOR A POINT OF BEGINNING; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE SOUTHWESTERLY ALONG SAID CLAIM LINE, 188.42 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS



ROUTE 71; THENCE NORTHEASTERLY ALONG THE SAID CENTER LINE OF ILLINOIS ROUTE 71, 1411.3 FEET TO THE CENTER LINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG TILE EXTENDED CENTER LINE AND THE CENTER LINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25' TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTER LINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47' TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126 TO THE CENTER LINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; TO THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

GRANTEE HEREBY ASSUMES AND AGREES TO PAY THE UNPAID BALANCE ON THE EXISTING MORTGAGE RECORDED IN BOOK PAGE , THE DEBT SECURED THEREBY AND ALSO HEREBY ASSUMES -THE OBLIGATIONS UNDER THE TERN OF THE INSTRUMENTS CREATING THE LOANS DOCUMENT NO. 79—1053.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE - NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG -THE WEST LINE OF SAID SOUTHWEST QUARTER, - 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID CENTER LINE 30.45 FEET TO THE POINT OF INTERSECTION OF SAID CENTER LINE WITH CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FOR THE POINT OF BEGINNING; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 230.67 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT AT THE LAST DESCRIPTION POINT, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 761.0 FEET; THENCE SOUTH 58 DEGREES 16 MINUTES 47 SECONDS WEST 265.35 FEET TO SAID ROUTE 126 CENTER LINE; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE BEING ALONG A CURVE TO THE LEFT AND HAVING A RADIUS OF 2,292.01 FEET WHICH IS TANGENT TO A LINE DRAWN NORTH 72 DEGREES 57 MINUTES 06 SECONDS WEST FROM THE LAST DESCRIBED POINT 147.93 FEET; THENCE NORTH 16 DEGREES 38 MINUTES 49 SECONDS WEST ALONG SAID ROUTE 126 CENTERLINE 850.98 FEET; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTERLINE BEING ALONG A CURVE TO THE RIGHT AND HAVING A RADIUS OF 2,148.79 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 383.53 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36- NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG -THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 261.12 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 15,459.20 FEET WHICH IS TANGENT TO THE LAST-DESCRIBED COURSE 1141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD FOR THE POINT OF BEGINNING (THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 258.05 FEET; THENCE SOUTH 58 DEGREES 29 MINUTES 47 SECONDS WEST 200.0 FEET; THENCE NORTH 21 DEGREES 30 MINUTES 13 SECONDS WEST PARALLEL WITH SAID WING ROAD CENTER LINE 250.0 FEET TO SAID ROUTE 71 CENTER LINE; THENCE NORTHEASTERLY ALONG SAID ROUTE 71 CENTER LINE 200.16 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, (ILLINOIS, AND ALSO EXCEPTING, THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3 IN TOWNSHIP 38 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING FROM THE POINT OF BEGINNING; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 230.66 FEET ALONG SAID CENTERLINE; THENCE NORTHEASTERLY, 940.56 FEET ALONG AN 11,479.02 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 67 DEGREES 34 MINUTES 29 SECONDS EAST, 940.31 FEET; THENCE SOUTH 22 DEGREES 56 MINUTES 31 SECONDS EAST, 60.03 FEET; THENCE SOUTHWESTERLY, 418.10 FEET ON AN 11,539.02 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING SOUTH 66 DEGREES 16 MINUTES 29 SECONDS WEST, 418.08 FEET; THENCE SOUTH 59 DEGREES 24 MINUTES 09 SECONDS WEST, 71.10 FEET; THENCE SOUTH 25 DEGREES 14 MINUTES 24 SECONDS WEST, 60.52 FEET; THENCE SOUTHEASTERLY, 570.87 FEET ON AN 675.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING SOUTH 55 DEGREES 22 MINUTES 46 SECONDS EAST, 560.80 FEET; THENCE SOUTH 74 DEGREES 04 MINUTES 13 SECONDS EAST, 274.41 FEET; THENCE SOUTH 64 DEGREES 05 MINUTES 29 SECONDS EAST, 35.85 FEET; THENCE SOUTH 55 DEGREES 49 MINUTES 00 SECONDS WEST, 64.56 FEET TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE NORTHWESTERLY, 162.08 FEET ON SAID CENTERLINE BEING A 2,291.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 76 DEGREES 16 MINUTES 12 SECONDS WEST, 162.05 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 357.37 FEET ON SAID CENTERLINE; THENCE NORTH 53 DEGREES 52 MINUTES 46 SECONDS WEST, 96.76 FEET TO THE EXISTING NORTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 297.03 FEET ON A 990.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 45 DEGREES 17 MINUTES 03 SECONDS WEST, 295.92 FEET; THENCE NORTH 36 DEGREES 39 MINUTES 21 SECONDS WEST, 23.77 FEET; THENCE NORTH 77 DEGREES 19 MINUTES 36 SECONDS WEST, 64.74 FEET; THENCE SOUTH 69 DEGREES 03

MINUTES 36 SECONDS WEST, 100.61 FEET; THENCE SOUTH 69 DEGREES 55 MINUTES 52 SECONDS WEST, 149.98 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SAID IL 71; THENCE SOUTH 65 DEGREES 32 MINUTES 40 SECONDS WEST, 113.94 FEET TO THE CENTERLINE OF SAID IL 126; THENCE NORTHWESTERLY, 119.55 FEET ON SAID CENTERLINE BEING A 2,170.59 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 69 DEGREES 20 MINUTES 17 SECONDS WEST, 119.54 FEET TO THE POINT OF BEGINNING.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 07°44" EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1236.84 FEET TO A POINT ON SAID EAST LINE WHICH IS 1284.36 FEET SOUTH OF THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89°47'31" WEST, 684.42 FEET; THENCE NORTH 09°32'39" WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD 88 ON PAGE 399, FOR THE POINT OF BEGINNING; THENCE SOUTH 57°58'56" WEST ALONG THE SOUTHERLY LINE OF SAID BOYD TRACT AND SAID SOUTHERLY LINE EXTENDED 352.89 FEET TO THE CENTER LINE OF WING ROAD; THENCE SOUTH 21°28'35" EAST ALONG SAID CENTERLINE 131.00 FEET; THENCE NORTH 57°58'56" EAST PARALLEL WITH SAID SOUTHERLY LINE 323.58 FEET TO A POINT WHICH IS SOUTH 09°32'39" EAST, 139.37 FEET FROM THE POINT OF BEGINNING; THENCE NORTH 09°32'39" WEST, 139.37 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 7L; THENCE EASTERLY ALONG SAID CENTER LINE 32.2 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126, 1049.7 FEET FOR THE POINT, OF BEGINNING; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO SAID CENTER LINE, 339.9 FEET TO AN OLD CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID OLD CLAIM LINE WHICH MAKES AN ANGLE OF 44°21' (MEASURED CLOCKWISE FROM THE LAST DESCRIBED COURSE) 468.6 FEET TO THE CENTER LINE OF SAID ILLINOIS ROUTE 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE 328.1 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS. EXCEPT THEREFROM THE BELOW DESCRIBED PARCEL:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 399.15 FEET ALONG A 2,170.59 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF SOUTH 73 DEGREES 01 MINUTE 41 SECONDS EAST, 398.58 FEET THENCE SOUTH 78 DEGREES 17 MINUTES 46 SECONDS EAST, 649.36 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING, THENCE SOUTH 78° DEGREES 17 MINUTES 46 SECONDS EAST, 172.16 FEET ALONG SAID CENTERLINE; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 162.08 FEET ALONG A 2,291.64 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING OF SOUTH 76 DEGREES 16 MINUTES 12 SECONDS EAST, 162.05 FEET; THENCE SOUTH 56 DEGREES 32 MINUTES 11 SECONDS WEST, 65.63 FEET; THENCE NORTH 74 DEGREES 04 MINUTES 13 SECONDS WEST, 5.13 FEET; THENCE NORTH 65 DEGREES 29 MINUTES 14 SECONDS WEST, 50.57 FEET, TO THE SOUTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 61.11 FEET ON SAID RIGHT OF WAY LINE BEING ON A 2,251.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF NORTH 77 DEGREES 31 MINUTES 09 SECONDS WEST, 61.11 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 172.27 FEET ALONG SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 11 DEGREES 52 MINUTES 19 SECONDS EAST, 40.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.297 ACRE MORE OR LESS, OF WHICH 0.290 ACRE, MORE OR LESS, IS LYING WITHIN PUBLIC ROAD RIGHT OF WAY, SITUATED IN THE COUNTY OF KENDALL AND STATE OF ILLINOIS, HEREBY RELEASING AND WAIVING ALL RIGHTS UNDER AND BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE.



WHEREAS, OWNER/DEVELOPER desires to annex into the CITY the PROPERTY described in the attached Exhibit "A-1" and depicted in the Annexation Plat which is attached hereto and incorporated herein as Exhibit "B" The CITY Plan Commission has considered the Petition to Annex and Zone and positively recommended the same and the City Council has heretofore both requested and approved the proposed land use and the zoning of the same at the request of OWNER/DEVELOPER; and

WHEREAS, with certain limitations, the CITY agrees to allow the real property described in the attached Exhibit "A" to be zoned for Planned Unit Development (PUD) allowing uses permitted within the B-3 Service Business District on a maximum of thirty-five (35) acres located on the East Parcel as depicted on the Concept PUD Plan prepared by Schoppe Design Associates, Inc. and dated revision 17, May 8, 2008; and, the CITY agrees to allow uses permitted within the B-3 Service Business District for the real property described in Exhibit "C" on a maximum of twenty-one (21) acres located on the West Parcel; and the CITY agrees to allow uses permitted within the R-4 General Residence District for the real property described in the attached Exhibit "D" on a maximum of two (2) acres of the real property allowing an age-restricted age fifty-five and over single story townhomes; and the area located south of the B-3 and immediately east of the aforementioned age restricted area allowing a multi-story assisted living facility consisting of approximately three and one-half (3 ½) acres with a minimum of ninety-nine (99) assisted living units allowed on the West Parcel as depicted on the Schoppe Design Associates, Inc. Concept PUD Plan (Exhibit "E"), and

WHEREAS, the City's Comprehensive Plan, Design Guidelines identifies Illinois State Route 71 and Illinois State Route 126 as 'Gateway Corridors'; and

WHEREAS, all parties to this Agreement desire to set forth certain terms and conditions upon which the land heretofore described will be annexed to the CITY in an orderly manner; and

WHEREAS, OWNER/DEVELOPER and its representatives have discussed the proposed annexation and have held a Public Hearing with the Plan Commission, and The City Council, prior to the execution hereof, duly published and held a public hearing was held to consider this Agreement in front of the City Council, as required by the statutes of the State of Illinois in such case made; and

WHEREAS, in accordance with the powers granted to the CITY by the provisions of 65 ILCS 5/11-15.1-1 through 5/11-15.1-5 (2006), inclusive, relating to Annexation Agreements, the parties hereto wish to enter into a binding agreement with respect to the annexation and zoning of the subject Property and to provide for various other matters related directly or indirectly to the annexation of the Property in the future, as authorized by, the provisions of said statutes; and

WHEREAS, pursuant to due notice and publication in the manner provided by law, the appropriate zoning authorities of the CITY have taken all further action required by the provisions of 65 ILCS 5/11-15.1.3 (2006) and the ordinances of the CITY relating to the

procedure for the authorization, approval and execution of this Annexation/Planned Unit Development Agreement by the CITY.

NOW THEREFORE, for and in consideration of the mutual promises and covenants herein contained, the parties agree, under the terms and authority provided in 65 ILCS 5/11-15.1-1 through 65 ILCS 5/11-15.1-5 (2006), as follows:

1. ANNEXATION AND ZONING.

- A. The CITY shall adopt an ordinance annexing to the City all of the real property described herein in the attached Exhibit "A-1"; furthermore, the City shall adopt an ordinance zoning the real property designated in the attached Exhibit "A" to PUD subject to all of the terms of this Agreement and as follows:
  - i. The real property described in Exhibit "C" is allowed uses permitted within the B-3 Service Business Zoning District subject to the alterations described by Exhibit "C-1". Said alterations include the removal of several uses as well as the allowance for one (1) bank, one (1) daycare and one (1) gasoline filling station/gas station as depicted on the Concept PUD Plan (Exhibit "E").
  - ii. The real property described in Exhibit "D" is allowed uses permitted within the R-4 General Residence Zoning District.

2. SITE DEVELOPMENT

A. OWNER/DEVELOPER shall develop the subject property including the preservation of open space, protection of the existing evergreen tree line on the west boundary of the West Parcel, and installation of a trail system, stormwater management facilities and roadway access points in general conformity with the Planned Unit Development Concept Plan dated May 8, 2008, prepared by Schoppe Design Associates, Inc. and which is attached hereto and incorporated by reference as Exhibit "E".

B. OWNER/DEVELOPER shall be responsible for providing landscaping, in conformance with CITY standards along all perimeter boundaries of the subject property.

C. OWNER/DEVELOPER shall establish the landscape buffer along Illinois State Route 71 and Illinois State Route 126 outside of the proposed Right-of-Way expansion line of the Illinois Department of Transportation. Said buffer shall be a minimum of 25 feet in width.

D. OWNER/DEVELOPER shall incorporate and apply all 'Site Planning Principles' as defined by the CITY's "Comprehensive Land Use Plan Update Southern Study Area" Design Guidelines a copy of which sections are attached in Exhibit "F" hereto and made

a part hereof.

E. OWNER/DEVELOPER shall relocate the existing overhead utility lines along the Illinois State Route 71 and Illinois State Route 126 frontage of the Subject Real Property prior to issuance of any building permit for the property. Said relocation shall include obtaining any and all necessary permits and approvals for the utility relocation and OWNER/DEVELOPER shall be responsible for all costs associated with said relocation.

F. OWNER/DEVELOPER agrees to provide a cross-access easement allowing all adjacent properties to access to and across the commercial portions of subject PROPERTY as described by Exhibit "C" at the time of Final Plat of Subdivision.

G. OWNER/DEVELOPER agrees to construct and fund the trail depicted on the Concept PUD Plan (Exhibit "E") at time of Final Plat of Subdivision.

H. OWNER/DEVELOPER agrees that in all respects, the subject PROPERTY shall be developed in conformance with the terms and conditions of the Yorkville Zoning Ordinance, Subdivision Control Ordinance, Stormwater, and all other applicable Ordinances.

I. OWNER/DEVELOPER, and successors, heirs, and assigns hereby agree that prior to development taking place on the PROPERTY, a site development plan shall be submitted along with approval of Preliminary Plat of Subdivision and Preliminary Engineering as well as Final Plats of Subdivision and Final Engineering prior to OWNER/DEVELOPER commencing construction on said PROPERTY.

J. The OWNER shall construct off-site right-of-way improvements within the Raintree Village subdivision to provide connection to infrastructure on Hampton Lane. The location of the said infrastructure shall be consistent with the location and typical pavement section depicted on Exhibit "G" of this Agreement.

K. OWNER agrees within 45 days of a written request from the CITY, which includes legal descriptions and exhibits as necessary, the OWNER/DEVELOPER shall grant permanent and temporary construction easements as necessary for the construction of extension of City utilities and appurtenances and/or other utilities to serve the subject property and other properties within the City of Yorkville.

L. Owner agrees within 45 days of a written request from the United City of Yorkville, which includes legal descriptions and exhibits as necessary, the OWNER/DEVELOPER shall convey by Warranty Deed, fee simple title of future highway or road right of way to the State of Illinois, Kendall County or the United City of Yorkville as necessary, regardless of whether or not these right of way needs have been previously identified in this agreement. Such request for conveyance of right of way shall have no impact on any previously entitled land development density.

3. CITY'S AGREEMENTS.

A.

- (i) The CITY agrees that as to any of the non-residential use and zoning classification parcels, OWNER/DEVELOPER has no obligation to pay School Transition Fees or School-Park Land-Cash Fees.
- (ii) The OWNER/DEVELOPER shall pay Land-Cash Fees for schools and parks at the time of Building Permit Application. For each dwelling unit all fees listed on attached Exhibit "H" shall be charged and paid likewise at the time of application for each respective building permit. The amounts listed in Exhibit "H" will remain for a period of 5 years commencing on the date of this Agreement. Following said five (5) year period, the OWNER/DEVELOPER shall be responsible to pay said fees at a rate currently required by the CITY.

B. OWNER/DEVELOPER shall be required by THE UNITED CITY OF YORKVILLE to hook-on to the City Water at the time of improving the subject property, and shall be responsible for the cost of main extensions to the PROPERTY if said mains do not touch the PROPERTY.

C. Upon annexation to the CITY, the OWNER/DEVELOPER will receive police protection, 911 service, , and all services as provided by CITY to its property owners and residents.

D. The CITY will require the OWNER/DEVELOPER to annex to Yorkville Bristol Sanitary District prior to the time of applying for a building permit seeking to hook up to the Sanitary District and the CITY Sanitary Sewer System. The OWNER/DEVELOPER shall be responsible for the cost of utility extensions to the PROPERTY if said utilities do not touch the PROPERTY.

E. CITY will use its best efforts to support issuance of a highway access permit by IDOT to the CITY and OWNER/DEVELOPER permitting access cuts onto Illinois State Routes 126 and 71 at the approximate locations shown on the Preliminary PUD Conceptual Plan as prepared by Shoppe Design Associates, Inc. and dated January 30, 2008.

4. RIGHTS AND OBLIGATIONS OF SUCCESSORS AND ASSIGNS.

It is specifically understood and agreed that OWNER/DEVELOPER and its successors and assigns shall have the right to sell transfer, mortgage and assign all or any part of the

subject property and the improvements thereon to other persons, trusts, partnerships, firms, or corporations, for investment, building, financing, developing and all such purposes, and that said persons, trusts, partnerships, firms, or corporations shall be entitled to the same rights and privileges and shall have the same obligations as OWNER/DEVELOPER under this Agreement and upon such transfer, the obligations pertaining to the property transferred or sold shall be the sole obligations of the transferee, except for any performance bonds or guaranties posted by OWNER/DEVELOPER on any subdivided or unimproved property for which an acceptable substitute performance bond or letter of credit has not been submitted to the CITY.

#### 5. DORMANT SPECIAL SERVICE AREA and PROPERTY OWNER ASSOCIATION

Owner/Developer agrees to incorporate covenants into the final subdivision plat that provide for the formulation of a Property Owners Association to be responsible to maintain all common facilities, including, but not limited to, private common areas, detention ponds, perimeter landscaping features and entrance signage within the Subject Realty.

Owner/Developer agrees to the City enacting at the time of final plat approval, or anytime thereafter, a Dormant Special Service Area (DSSA) to act as a back up in the event that the Property Owners' Association fails to maintain the Common Facilities, including, but not limited to, private common areas, detention ponds, perimeter landscaping features and entrance signage within the Subject Realty. Owner/Developer agrees to execute any and all documentation necessary or proper to create the Dormant Special Service Area and pay any and all fees, including legal expenses, for the preparation and approval of said documentation.

#### 6. TIME OF THE ESSENCE.

It is understood and agreed by the parties hereto that time is of the essence of this Agreement and that all of the parties will make every reasonable effort, to expedite the subject matter hereof. It is further understood and agreed by the parties that the successful consummation of this Agreement requires their continued cooperation.

#### 7. COVENANTS AND AGREEMENTS.

The covenants and agreements contained in this Agreement shall be deemed to be covenants running with the land during the term of this Agreement shall inure to the benefit of and be binding upon the heirs, successors and assigns of the parties hereto, including the CITY, its corporate authorities and their successors in office, and is enforceable by order of the court pursuant to its provisions and the applicable statutes of the State of Illinois.



8. BINDING EFFECT AND TERM.

This Annexation Agreement shall be binding upon and inure to the benefit of the parties hereto, and their successors and owners of record of land which is the subject of this Agreement, assignee, lessees, and upon any successor municipal authorities of said city, so long as development is commenced within a period of twenty years from the date of execution of this Agreement by the CITY.

9. NOTICE.

Any notices required hereunder shall be in writing and shall be served upon any other party in writing and shall be delivered personally or sent by registered or certified mail, return receipt requested, postage prepaid, addressed as follows:

If to the CITY:

City Clerk  
800 Game Farm Road  
Yorkville, IL 60560

With a copy to:

Kathleen Field Orr  
800 Game Farm Road  
Yorkville, IL 60560

To OWNER/DEVELOPER:

Jake Land Group, LLC  
c/o 25615 Plantation Road  
Plainfield, IL 60544

With a copy to:

Tony Perino  
608 Lookery Ln.  
Joliet, IL 60431

And with a copy to:

Law Offices of Daniel J. Kramer  
1107A S. Bridge St.  
Yorkville, IL 60560

or to such other addresses as any party may from time to time designate in a written notice to the other parties.

10. ENFORCEABILITY.

This Agreement shall be enforceable in any court of competent jurisdiction by any of the parties hereto by an appropriate action of law or in equity to secure the performance of the covenants herein contained.

In the event any portion of said agreement becomes unenforceable due to any change in Illinois Compiled Statutes or court decisions, said unenforceable portion of this Agreement shall be excised here from and the remaining portions thereof shall remain in full force and effect.

11. ENACTMENT OF ORDINANCES.

The CITY agrees to adopt any ordinances which are required to give legal effect to the matters contained in this Agreement or to correct any technical defects which may arise after the execution of this Agreement.

IN WITNESS WHEREOF, the undersigned have hereunto set their hands and seals this 27<sup>th</sup> day of May, 2008.

UNITED CITY OF YORKVILLE


By: Valerie Burd  
Valerie Burd, Mayor

Attest: [Signature]  
City Clerk

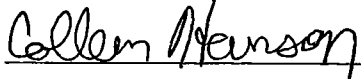
JAKE LAND GROUP, LLC

OWNER/DEVELOPER:

By:

 MEMBER

Attest:



Prepared by and Return to:

Law Offices of Daniel J. Kramer  
1107A S. Bridge Street  
Yorkville, Illinois 60560  
630.553.9500

## EXHIBIT LIST

Exhibit "A"	Legal Description – Subject Property
Exhibit "A-1"	Unincorporated Portion of Subject Property – Legal Description
Exhibit "A-2"	City of Yorkville Portion of Subject Property – Legal Description
Exhibit "B"	Annexation Plat
Exhibit "C"	B-3 Service Business District – Legal Description
Exhibit "C-1"	B-3 Service Business District Allowable Uses
Exhibit "D"	R-4 General Residence District – Legal Description
Exhibit "E"	Concept PUD Plan - Schoppe Design Associates Plan dated May 8, 2008
Exhibit "F"	Design Guidelines of the Comprehensive Land Use Plan Update Southern Study Area
Exhibit "G"	Offsite Infrastructure Improvements – Raintree Village/Hampton Lane Connection
Exhibit "H"	Fee Schedule

**EXHIBIT A  
LEGAL DESCRIPTION**

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH  $00^{\circ}14'45''$  EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH  $89^{\circ}50'00''$  WEST, 684.42 FEET; THENCE NORTH  $09^{\circ}30'00''$  WEST, 592.27 FEET; THENCE SOUTH  $57^{\circ}33'55''$  WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH  $21^{\circ}52'29''$  WEST, ALONG SAID EASTERLY LINE, 705.85 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71 FOR THE POINT OF BEGINNING; THENCE SOUTH  $21^{\circ}52'29''$  EAST, ALONG SAID EASTERLY LINE, 119.0 FEET; THENCE NORTH  $68^{\circ}07'31''$  EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH  $21^{\circ}52'29''$  WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE SOUTHWESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE RIGHT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 211.39 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 0.6060 ACRE.

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH  $00^{\circ}14'45''$  EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH  $89^{\circ}50'00''$  WEST, 684.42 FEET; THENCE NORTH  $09^{\circ}30'00''$  WEST, 592.27 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH  $57^{\circ}33'55''$  WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH  $21^{\circ}52'29''$  WEST, ALONG SAID EASTERLY LINE, 586.85 FEET TO A POINT ON SAID EASTERLY LINE WHICH IS 119.0 FEET (MEASURED ALONG SAID EASTERLY LINE) SOUTHEASTERLY OF THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTH  $68^{\circ}07'31''$  EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH  $21^{\circ}52'29''$  WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE LEFT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 261.03 FEET TO A LINE DRAWN NORTH  $09^{\circ}30'00''$  WEST FROM THE POINT OF BEGINNING; THENCE SOUTH  $09^{\circ}30'00''$  EAST, ALONG SAID LINE, 695.72 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 5.6041 ACRES.

THAT PART OF THE NORTH 1/2 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE SOUTH 0 DEGREES, 07 MINUTES, 44 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST 1/4, 1284.36 FEET; THENCE NORTH 89 DEGREES, 47 MINUTES, 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES, 32 MINUTES, 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES, 05 MINUTES, 46 SECONDS WEST, 748.40 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE TIC. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES, 50 MINUTES, 30 SECONDS WEST AT THE LAST DESCRIBED POINT. 627.46; THENCE NORTH 60 DEGREES, 02 MINUTES, 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 12 DEGREES, 27 MINUTES, 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES, 27 MINUTES, 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 0 DEGREES, 47 MINUTES, 30 SECONDS WEST, 423.02 FEET TO SAID CENTER LINE; THENCE SOUTH 60 DEGREES, 02 MINUTES, 30 SECONDS WEST ALONG CENTER LINE, 291.76 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE NORTHEAST, NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1284.36 FEET; THENCE SOUTH 89 DEGREES 29 MINUTES 40 SECONDS WEST 680.30 FEET; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 10.0 FEET FOR A POINT OF BEGINNING; THENCE NORTH 09 DEGREES. 33 MINUTES 27 SECONDS WEST 579.63 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 24 SECONDS WEST ALONG THE EAST LINE OF SAID BOYD TRACT 748.57 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 49 MINUTES 16 SECONDS WEST AT THE LAST DESCRIBED POINT 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 332.0 FEET; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST 202.0 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 30 SECONDS WEST 423.02 FEET TO SAID CENTER LINE; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 412.69 FEET TO A LINE DRAWN NORTH 00 DEGREES 10 MINUTES 46 SECONDS EAST PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER, FROM A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER WHICH IS 598.62 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID PARALLEL LINE 880.56 FEET TO SAID SOUTH LINE; THENCE SOUTH 89 DEGREES 34 MINUTES 48 SECONDS WEST ALONG SAID SOUTH LINE 598.62 FEET TO SAID SOUTHWEST CORNER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID EAST LINE 1275.36 FEET TO A LINE DRAWN SOUTH 89 DEGREES 40 MINUTES 33 SECONDS EAST FROM THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 40 MINUTES 33 SECONDS WEST 681.94 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 08 MINUTES 09 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTH 57 DEGREES 59 MINUTES 05 SECONDS EAST ALONG SAID OLD CLAIM LINE 299.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 1 DEGREE 51 MINUTES 32 SECONDS WEST, 402.10 FEET; THENCE SOUTH 59 DEGREES 55 MINUTES, 25 SECONDS EAST, 256.51 FEET; THENCE NORTH 59 DEGREES 55 MINUTES 25 SECONDS EAST 355.65 FEET; THENCE NORTH 62 DEGREES 43 MINUTES 29 SECONDS EAST, 853.57 FEET; THENCE NORTH 33 DEGREES 24 MINUTES 40 SECONDS EAST, 542.27 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2292.01 FEET AND A RADIAL BEARING OF SOUTH 29 DEGREES 23 MINUTES 51 SECONDS WEST AT THE LAST DESCRIBED POINT, 358.41 FEET TO A POINT WHICH IS 151.00 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE AND SAID OLD CLAIM LINE; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 265.70 FEET; THENCE SOUTH 73 DEGREES 54 MINUTES 28 SECONDS WEST, 102.86 FEET; THENCE SOUTH 84 DEGREES 11 MINUTES 54 SECONDS WEST, 280.96 FEET; THENCE NORTH 32 DEGREES 00 MINUTES 55 SECONDS WEST, 24.19 FEET TO SAID OLD CLAIM LINE; THENCE SOUTH 87 DEGREES 59 MINUTES 05 SECONDS WEST ALONG SAID OLD CLAIM LINE 789.92 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

A PERPETUAL EASEMENT FOR THE OPERATION, MAINTENANCE AND USE OF A SEPTIC FIELD FOR THE BENEFIT OF PARCEL ONE HEREINABOVE DESCRIBED, UNDER AND UPON THE FOLLOWING DESCRIBED PARCEL OF REAL ESTATE CONTIGUOUS TO PARCEL ONE TO WIT:

COMMENCING AT THE MOST NORTHERLY CORNER OF PARCEL ONE HEREINABOVE DESCRIBED ON THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 47.12 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF ILLINOIS STATE ROUTE NUMBER 126, FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 105.0 FEET; THENCE NORTH 32 DEGREES 08 MINUTES 38 SECONDS WEST, 152.18 FEET; THENCE SOUTH 76 DEGREES 09 MINUTES 49 SECONDS EAST, 5.28 FEET; THENCE SOUTH 70 DEGREES 39 MINUTES 49 SECONDS EAST, 158.65 FEET, TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, ALL IN KENDALL COUNTY ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET A POINT OF BEGINNING THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID CLAIM LINE, 941.92 FEET TO A POINT ON A LINE DRAWN SOUTHWESTERLY, PERPENDICULAR TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FROM A POINT ON SAID CENTER LINE WHICH IS 1049.70 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE WITH THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTHEASTERLY TO SAID POINT ON SAID CENTER LINE OF ILLINOIS ROUTE 126 AFORESAID; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE AND TO SAID ROUTE 71 CENTER LINE; THENCE SOUTHWESTERLY ALONG SAID ROUTE 71 CENTER LINE, 30.58 FEET TO SAID WEST LINE; THENCE SOUTHERLY ALONG SAID WEST LINE, 78.83 FEET, TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION. 3; THENCE NORTH 00 DEGREES 00 MINUTES 38 SECONDS EAST, ON A BEARING REFERENCED TO AN ASSUMED NORTH, 1925.21 FEET ON THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS EAST 58.55 FEET TO THE EXISTING SOUTHEASTERLY RIGHT OF WAY LINE OF A.F.A.P. ROUTE 311 (IL ROUTE 71) AND THE POINT OF BEGINNING; THENCE NORTH 72 DEGREES 34 MINUTES 00 SECONDS EAST 35.28 FEET ON SAID SOUTHEASTERLY RIGHT OF WAY LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF S.B.I. ROUTE 66 (IL ROUTE 126); THENCE SOUTH 70 DEGREES 08 MINUTES 35 SECONDS EAST 125.66 FEET ON SAID SOUTHERLY RIGHT OF WAY LINE; THENCE NORTH 81 DEGREES 09 MINUTES 04 SECONDS WEST 51.85 FEET; THENCE NORTH 76 DEGREES 30 MINUTES 40 SECONDS WEST 103.47 FEET TO THE POINT OF BEGINNING), IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE FOR A POINT OF BEGINNING; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE SOUTHWESTERLY ALONG SAID CLAIM LINE, 188.42 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS

ROUTE 71; THENCE NORTHEASTERLY ALONG THE SAID CENTER LINE OF ILLINOIS ROUTE 71, 1411.3 FEET TO THE CENTER LINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG THE EXTENDED CENTER LINE AND THE CENTER LINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25' TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTER LINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47' TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126 TO THE CENTER LINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; TO THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

GRANTEE HEREBY ASSUMES AND AGREES TO PAY THE UNPAID BALANCE ON THE EXISTING MORTGAGE RECORDED IN BOOK PAGE , THE DEBT SECURED THEREBY AND ALSO HEREBY ASSUMES -THE OBLIGATIONS UNDER THE TERM OF THE INSTRUMENTS CREATING THE LOANS DOCUMENT NO. 79—1053.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE - NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, - 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID CENTER LINE 30.45 FEET TO THE POINT OF INTERSECTION OF SAID CENTER LINE WITH CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FOR THE POINT OF BEGINNING; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 230.67 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT AT THE LAST DESCRIPTION POINT, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 761.0 FEET; THENCE SOUTH 58 DEGREES 16 MINUTES 47 SECONDS WEST 265.35 FEET TO SAID ROUTE 126 CENTER LINE; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE BEING ALONG A CURVE TO THE LEFT AND HAVING A RADIUS OF 2,292.01 FEET WHICH IS TANGENT TO A LINE DRAWN NORTH 72 DEGREES 57 MINUTES 06 SECONDS WEST FROM THE LAST DESCRIBED POINT 147.93 FEET; THENCE NORTH 16 DEGREES 38 MINUTES 49 SECONDS WEST ALONG SAID ROUTE 126 CENTERLINE 850.98 FEET; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTERLINE BEING ALONG A CURVE TO THE RIGHT AND HAVING A RADIUS OF 2,148.79 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 383.53 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36- NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 261.12 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 15,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE 1141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD FOR THE POINT OF BEGINNING (THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 258.05 FEET; THENCE SOUTH 58 DEGREES 29 MINUTES 47 SECONDS WEST 200.0 FEET; THENCE NORTH 21 DEGREES 30 MINUTES 13 SECONDS WEST PARALLEL WITH SAID WING ROAD CENTER LINE 250.0 FEET TO SAID ROUTE 71 CENTER LINE; THENCE NORTHEASTERLY ALONG SAID ROUTE 71 CENTER LINE 200.16 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, (ILLINOIS, AND ALSO EXCEPTING, THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3 IN TOWNSHIP 38 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83): COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING. FROM THE POINT OF BEGINNING; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 230.66 FEET ALONG SAID CENTERLINE; THENCE NORTHEASTERLY, 940.56 FEET ALONG AN 11,479.02 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 67 DEGREES 34 MINUTES 29 SECONDS EAST, 940.31 FEET; THENCE SOUTH 22 DEGREES 56 MINUTES 31 SECONDS EAST, 60.03 FEET; THENCE SOUTHWESTERLY, 418.10 FEET ON AN 11,539.02 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING SOUTH 66 DEGREES 16 MINUTES 29 SECONDS WEST, 418.08 FEET; THENCE SOUTH 59 DEGREES 24 MINUTES 09 SECONDS WEST, 71.10 FEET; THENCE SOUTH 25 DEGREES 14 MINUTES 24 SECONDS WEST, 60.52 FEET; THENCE SOUTHEASTERLY, 570.87 FEET ON AN 675.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING SOUTH 55 DEGREES 22 MINUTES 46 SECONDS EAST, 560.80 FEET; THENCE SOUTH 74 DEGREES 04 MINUTES 13 SECONDS EAST, 274.41 FEET; THENCE SOUTH 64 DEGREES 05 MINUTES 29 SECONDS EAST, 35.85 FEET; THENCE SOUTH 55 DEGREES 49 MINUTES 00 SECONDS WEST, 64.56 FEET TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE NORTHWESTERLY, 162.08 FEET ON SAID CENTERLINE BEING A 2,291.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 76 DEGREES 16 MINUTES 12 SECONDS WEST, 162.05 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 357.37 FEET ON SAID CENTERLINE; THENCE NORTH 53 DEGREES 52 MINUTES 46 SECONDS WEST, 96.76 FEET TO THE EXISTING NORTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 297.03 FEET ON A 990.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 45 DEGREES 17 MINUTES 03 SECONDS WEST, 295.92 FEET; THENCE NORTH 36 DEGREES 39 MINUTES 21 SECONDS WEST, 23.77 FEET; THENCE NORTH 77 DEGREES 19 MINUTES 36 SECONDS WEST, 64.74 FEET; THENCE SOUTH 69 DEGREES 03

MINUTES 36 SECONDS WEST, 100.61 FEET; THENCE SOUTH 69 DEGREES 55 MINUTES 52 SECONDS WEST, 149.98 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SAID IL 71; THENCE SOUTH 65 DEGREES 32 MINUTES 40 SECONDS WEST, 113.94 FEET TO THE CENTERLINE OF SAID IL 126; THENCE NORTHWESTERLY, 119.55 FEET ON SAID CENTERLINE BEING A 2,170.59 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 69 DEGREES 20 MINUTES 17 SECONDS WEST, 119.54 FEET TO THE POINT OF BEGINNING.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 07°44' EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1236.84 FEET TO A POINT ON SAID EAST LINE WHICH IS 1284.36 FEET SOUTH OF THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89°47'31" WEST, 684.42 FEET; THENCE NORTH 09°32'39" WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD 88 ON PAGE 399, FOR THE POINT OF BEGINNING; THENCE SOUTH 57°58'56" WEST ALONG THE SOUTHERLY LINE OF SAID BOYD TRACT AND SAID SOUTHERLY LINE EXTENDED 352.89 FEET TO THE CENTER LINE OF WING ROAD; THENCE SOUTH 21°28'35" EAST ALONG SAID CENTERLINE 131.00 FEET; THENCE NORTH 57°58'56" EAST PARALLEL WITH SAID SOUTHERLY LINE 323.58 FEET TO A POINT WHICH IS SOUTH 09°32'39" EAST, 139.37 FEET FROM THE POINT OF BEGINNING; THENCE NORTH 09°32'39" WEST, 139.37 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE EASTERLY ALONG SAID CENTER LINE 32.2 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126, 1049.7 FEET FOR THE POINT, OF BEGINNING; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO SAID CENTER LINE, 339.9 FEET TO AN OLD CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID OLD CLAIM LINE WHICH MAKES AN ANGLE OF 44°21' (MEASURED CLOCKWISE FROM THE LAST DESCRIBED COURSE) 468.6 FEET TO THE CENTER LINE OF SAID ILLINOIS ROUTE 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE 328.1 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS. EXCEPT THEREFROM THE BELOW DESCRIBED PARCEL:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 399.15 FEET ALONG A 2,170.59 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF SOUTH 73 DEGREES 01 MINUTE 41 SECONDS EAST, 398.58 FEET THENCE SOUTH 78 DEGREES 17 MINUTES 46 SECONDS EAST, 649.36 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING, THENCE SOUTH 78 DEGREES 17 MINUTES 46 SECONDS EAST, 172.16 FEET ALONG SAID CENTERLINE; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 162.08 FEET ALONG A 2,291.64 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING OF SOUTH 76 DEGREES 16 MINUTES 12 SECONDS EAST, 162.05 FEET; THENCE SOUTH 56 DEGREES 32 MINUTES 11 SECONDS WEST, 65.63 FEET; THENCE NORTH 74 DEGREES 04 MINUTES 13 SECONDS WEST, 5.13 FEET; THENCE NORTH 65 DEGREES 29 MINUTES 14 SECONDS WEST, 50.57 FEET, TO THE SOUTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 61.11 FEET ON SAID RIGHT OF WAY LINE BEING ON A 2,251.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF NORTH 77 DEGREES 31 MINUTES 09 SECONDS WEST, 61.11 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 172.27 FEET ALONG SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 11 DEGREES 52 MINUTES 19 SECONDS EAST, 40.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.297 ACRE MORE OR LESS, OF WHICH 0.290 ACRE, MORE OR LESS, IS LYING WITHIN PUBLIC ROAD RIGHT OF WAY, SITUATED IN THE COUNTY OF KENDALL AND STATE OF ILLINOIS, HEREBY RELEASING AND WAVING ALL RIGHTS UNDER AND BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE.



## EXHIBIT A-1

### PARCEL "B" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 0 DEGREES 7 MINUTES 44 SECONDS EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1,236.84 FEET TO A POINT ON SAID EAST LINE WHICH IS 1284.36 FEET SOUTH OF THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89 DEGREES 47 MINUTES 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES 32 MINUTES 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD 88 ON PAGE 399 FOR THE POINT OF BEGINNING; THENCE SOUTH 57 DEGREES 58 MINUTES 56 SECONDS WEST ALONG THE SOUTHERLY LINE OF SAID BOYD TRACT AND SAID SOUTHERLY LINE EXTENDED 352.89 FEET TO THE CENTER LINE OF WING ROAD; THENCE SOUTH 21 DEGREES 28 MINUTES 35 SECONDS EAST ALONG SAID CENTER LINE 131.0 FEET; THENCE NORTH 57 DEGREES 58 MINUTES 56 SECONDS EAST PARALLEL WITH SAID SOUTHERLY LINE 323.58 FEET TO A POINT WHICH IS SOUTH 09 DEGREES 32 MINUTES 39 SECONDS EAST, 139.37 FEET FROM THE POINT OF BEGINNING; THENCE NORTH 09 DEGREES 32 MINUTES 39 SECONDS WEST, 139.37 FEET TO THE POINT OF BEGINNING; IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

### PARCEL "D" DESCRIPTION

THAT PART OF THE NORTHEAST, NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, 1,284.36 FEET; THENCE SOUTH 89 DEGREES 29 MINUTES 40 SECONDS WEST, 680.30 FEET; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST, 10.0 FEET FOR A POINT OF BEGINNING; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST, 579.53 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 24 SECONDS WEST ALONG THE EAST LINE OF SAID BOYD TRACT, 748.57 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 49 MINUTES 16 SECONDS WEST AT THE LAST DESCRIBED POINT, 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 30 SECONDS WEST, 423.02

## EXHIBIT A-1

FEET TO SAID CENTER LINE; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE, 472.59 FEET TO A LINE DRAWN NORTH 00 DEGREES 10 MINUTES 48 SECONDS EAST PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER, FROM A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER WHICH IS 598.62 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID PARALLEL LINE, 880.56 FEET TO SAID SOUTH LINE; THENCE SOUTH 89 DEGREES 34 MINUTES 48 SECONDS WEST ALONG SAID SOUTH LINE, 598.62 FEET TO SAID SOUTHWEST CORNER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID EAST LINE, 1275.36 FEET TO A LINE DRAWN SOUTH 89 DEGREES 40 MINUTES 33 SECONDS EAST FROM THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 40 MINUTES 33 SECONDS WEST, 681.94 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

### PARCEL "E" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 0 DEGREES 08 MINUTES 09 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTH 57 DEGREES 59 MINUTES 05 SECONDS EAST ALONG SAID OLD CLAIM LINE, 299.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 1 DEGREE 51 MINUTES 32 SECONDS WEST, 402.10 FEET; THENCE SOUTH 59 DEGREES 25 MINUTES 54 SECONDS EAST, 256.51 FEET; THENCE NORTH 59 DEGREES 55 MINUTES 25 SECONDS EAST, 355.65 FEET; THENCE NORTH 62 DEGREES 43 MINUTES 29 SECONDS EAST, 853.57 FEET; THENCE NORTH 33 DEGREES 24 MINUTES 40 SECONDS EAST, 542.27 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2,292.01 FEET AND A RADIAL BEARING OF SOUTH 29 DEGREES 23 MINUTES 51 SECONDS WEST AT THE LAST DESCRIBED POINT, 358.41 FEET TO A POINT WHICH IS 151.00 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE AND SAID OLD CLAIM LINE; THENCE SOUTH 45 DEGREES 05 MINUTE 49 SECONDS WEST, 265.70 FEET; THENCE SOUTH 73 DEGREES 54 MINUTES 28 SECONDS WEST, 102.86 FEET; THENCE SOUTH 84 DEGREES 11 MINUTES 54 SECONDS WEST, 280.96 FEET; THENCE NORTH 32 DEGREES 00 MINUTES 55 SECONDS WEST, 24.19 FEET TO SAID OLD CLAIM LINE; THENCE SOUTH 87 DEGREES 59 MINUTES 05 SECONDS WEST ALONG SAID OLD CLAIM LINE, 789.92 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

## EXHIBIT A-1

### PARCEL "F" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET FOR A POINT OF BEGINNING; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID CLAIM LINE, 941.92 FEET TO A POINT ON A LINE DRAWN SOUTHWESTERLY, PERPENDICULAR TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FROM A POINT ON SAID CENTER LINE WHICH IS 1,049.70 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE WITH THE CENTER LINE OF ILLINOIS STATE ROUTE 71, THENCE NORTHEASTERLY TO SAID POINT ON SAID CENTER LINE OF ILLINOIS ROUTE 126 AFORESAID; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE AND TO SAID ROUTE 71 CENTER LINE; THENCE SOUTHWESTERLY ALONG SAID ROUTE 71 CENTER LINE, 30.58 FEET TO SAID WEST LINE; THENCE SOUTHERLY ALONG SAID WEST LINE, 78.83 FEET, TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 3; THENCE NORTH 00 DEGREES 00 MINUTES 38 SECONDS EAST, ON A BEARING REFERENCED TO AN ASSUMED NORTH, 1,925.21 FEET ON THE WEST LINE OF SAID SOUTHWEST QUARTER; THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS EAST, 58.55 FEET TO THE EXISTING SOUTHEASTERLY RIGHT OF WAY LINE OF A F.A.P. ROUTE 311 (IL ROUTE 71) AND THE POINT OF BEGINNING; THENCE NORTH 72 DEGREES 34 MINUTES 00 SECONDS EAST, 35.28 FEET ON SAID SOUTHEASTERLY RIGHT OF WAY LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF S.B.I. ROUTE 66 (IL ROUTE 126); THENCE SOUTH 70 DEGREES 08 MINUTES 35 SECONDS EAST, 125.66 FEET ON SAID SOUTHERLY RIGHT OF WAY LINE; THENCE NORTH 81 DEGREES 09 MINUTES 04 SECONDS WEST, 51.85 FEET; THENCE NORTH 76 DEGREES 30 MINUTES 40 SECONDS WEST, 103.47 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

### PARCEL "G" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

## EXHIBIT A-1

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 798.60 FEET TO AN OLD CLAIM LINE FOR A POINT OF BEGINNING; THENCE NORTHERLY ALONG SAID WEST LINE, 1,118.27 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE SOUTHWESTERLY ALONG SAID CLAIM LINE, 188.42 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

### PARCEL "J" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG THE SAID CENTER LINE OF ILLINOIS ROUTE 71, A DISTANCE OF 1411.3 FEET TO THE CENTER LINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG THE EXTENDED CENTER LINE AND THE CENTER LINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25 MINUTES TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTER LINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47 MINUTES TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE, 265.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126 TO THE CENTER LINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

### PARCEL "K" DESCRIPTION

THAT PART OF THE NORTH HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

## EXHIBIT A-1

COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE SOUTH 0 DEGREES 07 MINUTES 44 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, 1284.36 FEET; THENCE NORTH 89 DEGREES 47 MINUTES 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES 32 MINUTES 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 46 SECONDS WEST, 748.40 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 50 MINUTES 30 SECONDS WEST AT THE LAST DESCRIBED POINT, 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 0 DEGREES 42 MINUTES 30 SECONDS WEST, 432.02 FEET TO SAID CENTER LINE; THENCE SOUTH 60 DEGREES 02 MINUTES 30 SECONDS WEST, ALONG CENTER LINE, 291.76 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

### PARCEL "L" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE EASTERLY ALONG SAID CENTER LINE 32.2 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126, 1049.7 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO SAID CENTER LINE, 339.9 FEET TO AN OLD CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID OLD CLAIM LINE WHICH MAKES AN ANGLE OF 44 DEGREES 21 MINUTES (MEASURED CLOCKWISE FROM THE LAST DESCRIBED COURSE) 468.6 FEET TO THE CENTER LINE OF SAID ILLINOIS ROUTE 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE 328.1 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS, EXCEPT THAT PREVIOUSLY ANNEXED.

(PARCELS CONTAIN 78.145 ACRES MORE OR LESS.)

## EXHIBIT A-2

### PARCEL "A" DESCRIPTION

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH 00 DEGREES 14 MINUTES 45 SECONDS EAST ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1,284.36 FEET; THENCE SOUTH 89 DEGREES 50 MINUTES 00 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES 30 MINUTES 00 SECONDS WEST, 592.27 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH 57 DEGREES 33 MINUTES 55 SECONDS WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH 21 DEGREES 52 MINUTES 29 SECONDS WEST ALONG SAID EASTERLY LINE 705.85 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,509.16 FEET; A DISTANCE OF 472.39 FEET TO A LINE DRAWN NORTH 09 DEGREES 30 MINUTES 00 SECONDS WEST FROM THE POINT OF BEGINNING; THENCE SOUTH 09 DEGREES 30 MINUTES 00 SECONDS EAST ALONG SAID LINE, 695.72 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

### PARCEL "H" DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID CENTER LINE, 30.45 FEET TO THE POINT OF INTERSECTION OF SAID CENTER LINE WITH CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FOR THE POINT OF BEGINNING; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE, 230.67 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT AT THE LAST DESCRIPTION POINT, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE, 761.0 FEET; THENCE SOUTH 58 DEGREES 16 MINUTES 47 SECONDS WEST, 265.38 FEET TO SAID ROUTE 126 CENTER LINE; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE, BEING ALONG A CURVE TO THE LEFT AND HAVING A RADIUS OF 2,292.01 FEET WHICH IS TANGENT TO A LINE DRAWN NORTH 72 DEGREE

## EXHIBIT A-2

57 MINUTES 06 SECONDS WEST FROM THE LAST DESCRIBED POINT, 147.83 FEET; THENCE NORTH 76 DEGREES 38 MINUTES 49 SECONDS WEST ALONG SAID ROUTE 126 CENTER LINE, 850.98 FEET; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE, BEING ALONG A CURVE TO THE RIGHT AND HAVING A RADIUS OF 2,148.79 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 383.53 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE, 261.12 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD FOR THE POINT OF BEGINNING; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE, 258.05 FEET; THENCE SOUTH 68 DEGREES 29 MINUTES 47 SECONDS WEST, 200.0 FEET; THENCE NORTH 21 DEGREES 30 MINUTES 13 SECONDS WEST, PARALLEL WITH SAID WING ROAD CENTER LINE, 250.0 FEET TO SAID ROUTE 71 CENTER LINE; THENCE NORTHEASTERLY ALONG SAID ROUTE 71 CENTER LINE, 200.16 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS, AND ALSO EXCEPTING,

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3 IN TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83).

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER TO THE CENTER LINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTER LINE TO THE POINT OF BEGINNING; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 230.66 FEET ALONG SAID CENTER LINE; THENCE NORTHEASTERLY, 940.58 FEET ALONG AN 11,479.02 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 67 DEGREES 34 MINUTES 29 SECONDS EAST, 940.31 FEET; THENCE SOUTH 22 DEGREES 56 MINUTES 31 SECONDS EAST, 60.03 FEET; THENCE SOUTHWESTERLY, 418.10 FEET ON AN 11,539.02 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING SOUTH 66 DEGREES 16 MINUTES 29 SECONDS WEST, 418.08 FEET; THENCE SOUTH

## EXHIBIT A-2

59 DEGREES 24 MINUTES 09 SECONDS WEST, 71.10 FEET; THENCE SOUTH 25 DEGREES 14 MINUTES 24 SECONDS WEST, 60.52 FEET; THENCE SOUTHEASTERLY, 570.87 FEET ON AN 875.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING SOUTH 55 DEGREES 22 MINUTES 46 SECONDS EAST, 560.80 FEET; THENCE SOUTH 74 DEGREES 04 MINUTES 13 SECONDS EAST, 274.41 FEET; THENCE SOUTH 64 DEGREES 05 MINUTES 29 SECONDS EAST, 35.85 FEET; THENCE SOUTH 56 DEGREES 49 MINUTES 00 SECONDS WEST, 64.56 FEET TO THE CENTER LINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE NORTHWESTERLY, 162.08 FEET ON SAID CENTER LINE BEING A 2,291.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 76 DEGREES 16 MINUTES 12 SECONDS WEST, 162.05 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 357.37 FEET ON SAID CENTER LINE; THENCE NORTH 53 DEGREES 52 MINUTES 46 SECONDS WEST, 96.76 FEET TO THE EXISTING NORTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 297.03 FEET ON A 990.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 45 DEGREES 17 MINUTES 03 SECONDS WEST, 295.92 FEET; THENCE NORTH 36 DEGREES 39 MINUTES 21 SECONDS WEST, 23.77 FEET; THENCE NORTH 77 DEGREES 19 MINUTES 38 SECONDS WEST, 84.74 FEET; THENCE SOUTH 69 DEGREES 03 MINUTES 36 SECONDS WEST, 100.61 FEET; THENCE SOUTH 69 DEGREES 55 MINUTES 52 SECONDS WEST, 149.98 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SAID IL 71; THENCE SOUTH 65 DEGREES 32 MINUTES 40 SECONDS WEST, 113.94 FEET TO THE CENTER LINE OF SAID IL 126; THENCE NORTHWESTERLY, 119.55 FEET ON SAID CENTER LINE BEING A 2,170.59 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 69 DEGREES 20 MINUTES 17 SECONDS WEST, 119.54 FEET TO THE POINT OF BEGINNING.

(PARCELS CONTAIN 15.323 ACRES MORE OR LESS.)



### SITE LOCATION

**HEREBY ANNEXED TO THE  
UNITED CITY OF YORKVILLE**

**HEREBY ANNEXED TO THE  
UNITED CITY OF YORKVILLE**

PARCEL "B" DESCRIPTION

#### PARCEL "D" DESCRIPTION

**PARCEL "E" DESCRIPTION**

PARCEL "F" DESCRIPTION

PARCEL "G" DESCRIPTION

PARCEL "J" DESCRIPTION

THIS PLAY WAS SUBMITTED TO THE COUNTY  
RECORDERS FOR THE PURPOSES OF RECORDING BY

(PRINT NAME)

(ADDRESS)

(CITY/TOWN) (STATE) (ZIP CODE)

### ANNEXATION DESCRIPTIONS

### PARCEL "K" DESCRIPTION

PARCEL "L" DESCRIPTION

CITY CLERK CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KENDALL ) ss  
  
THIS IS TO CERTIFY THAT THE TERRITORY DESCRIBED AND SHOWN  
HEREON WAS INCORPORATED INTO AND MADE PART OF THE UNITED CITY  
OF YORKVILLE, ILLINOIS BY ORDINANCE NO. \_\_\_\_\_ ADOPTED  
BY THE MAYOR AND CITY COUNCIL OF THE UNITED CITY OF YORKVILLE,  
ILLINOIS, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_,  
20\_\_\_\_.

GIVEN UNDER MY SEAL AT \_\_\_\_\_, ILLINOIS.

CITY CLERK

KENDALL COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS ) ss PLAT ENVELOPE # \_\_\_\_\_  
COUNTY OF KENDALL )  
  
THIS INSTRUMENT NO. \_\_\_\_\_ WAS FILED FOR RECORD  
IN THE RECORDER'S OFFICE OF KENDALL COUNTY, ILLINOIS, ON THIS  
\_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ AT  
O'CLOCK \_\_\_\_\_M.

KENDALL COUNTY RECORDER  
SURVEYOR'S CERTIFICATE


STATE OF ILLINOIS) ss.  
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT DEAN L. BAUER, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE PREPARED THE ANNEXED PLAT WHICH IS AN ACCURATE MAP OF THE TERRITORY ANNEXED TO THE UNITED CITY OF YORKVILLE, ILLINOIS BY ORDINANCE NO. 40 PASSED BY THE MAYOR AND CITY COUNCIL OF THE UNITED CITY OF YORKVILLE, ILLINOIS ON THE \_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_.

GIVEN UNDER MY HAND AND SEAL THIS 10TH DAY OF MARCH, A.D., 2008.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3040  
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2008  
PROFESSIONAL DESIGN FIRM LICENSE NO. 1184-003775  
EXPIRATION DATE IS APRIL 30, 2009

**PREPARED BY:**



# CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners

2280 White Oak Circle, Suite 100

Aurora, Illinois 60002-9978

P: 630.662.1100 F: 630.662.2199

E-mail: [ce@cemcon.com](mailto:ce@cemcon.com) Website: [www.cemcon.com](http://www.cemcon.com)

DISC NO.: R/603888 FILE NAME: ANNEXATION-1

DRAWN BY: N.K.S. FLD. BK. / PG. NO.: N/A

COMPLETION DATE: 03-10-08 JOB NO.: 903A

TS: SHEET 1

REVISED: 5-21-08/CS-J CORRECTED AREA

EXHIBIT

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH 00°14'45" EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH 89°50'00" WEST, 684.42 FEET; THENCE NORTH 09°30'00" WEST, 592.27 FEET; THENCE SOUTH 57°33'55" WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH 21°52'29" WEST, ALONG SAID EASTERLY LINE, 705.85 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71 FOR THE POINT OF BEGINNING; THENCE SOUTH 21°52'29" EAST, ALONG SAID EASTERLY LINE, 119.0 FEET; THENCE NORTH 68°07'31" EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH 21°52'29" WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE SOUTHWESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE RIGHT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 211.39 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 0.6060 ACRE.

THAT PART OF THE WEST HALF OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 3; THENCE SOUTH 00°14'45" EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3, 1284.36 FEET; THENCE SOUTH 89°50'00" WEST, 684.42 FEET; THENCE NORTH 09°30'00" WEST, 592.27 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH 57°33'55" WEST, 327.57 FEET TO THE EASTERLY LINE OF WING ROAD; THENCE NORTH 21°52'29" WEST, ALONG SAID EASTERLY LINE, 586.85 FEET TO A POINT ON SAID EASTERLY LINE WHICH IS 119.0 FEET (MEASURED ALONG SAID EASTERLY LINE) SOUTHEASTERLY OF THE SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTH 68°07'31" EAST, PERPENDICULAR TO SAID EASTERLY LINE, 211.0 FEET; THENCE NORTH 21°52'29" WEST, PARALLEL WITH SAID EASTERLY LINE, 131.87 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, BEING A CURVE TO THE LEFT WITH A RADIUS OF 11509.16 FEET, AN ARC DISTANCE OF 261.03 FEET TO A LINE DRAWN NORTH 09°30'00" WEST FROM THE POINT OF BEGINNING; THENCE SOUTH 09°30'00" EAST, ALONG SAID LINE, 695.72 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 5.6041 ACRES.

THAT PART OF THE NORTH 1/2 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE SOUTH 0 DEGREES, 07 MINUTES, 44 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST 1/4, 1284.36 FEET; THENCE NORTH 89 DEGREES, 47 MINUTES, 31 SECONDS WEST, 684.42 FEET; THENCE NORTH 09 DEGREES, 32 MINUTES, 39 SECONDS WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES, 05 MINUTES, 46 SECONDS WEST, 748.40 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES, 50 MINUTES, 30 SECONDS WEST AT THE LAST DESCRIBED POINT. 627.46; THENCE NORTH 60 DEGREES, 02 MINUTES, 30 SECONDS EAST ALONG SAID CENTER LINE, 332.0 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 12 DEGREES, 27 MINUTES, 30 SECONDS EAST, 264.0 FEET; THENCE SOUTH 84 DEGREES, 27 MINUTES, 30 SECONDS EAST, 202.0 FEET; THENCE NORTH 0 DEGREES, 47 MINUTES, 30 SECONDS WEST, 423.02 FEET TO SAID CENTER LINE; THENCE SOUTH 60 DEGREES, 02 MINUTES, 30 SECONDS WEST ALONG CENTER LINE, 291.76 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE NORTHEAST, NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1284.36 FEET; THENCE SOUTH 89 DEGREES 29 MINUTES 40 SECONDS WEST 680.30 FEET; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 10.0 FEET FOR A POINT OF BEGINNING; THENCE NORTH 09 DEGREES 33 MINUTES 27 SECONDS WEST 579.63 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY A DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD BOOK 88 ON PAGE 399; THENCE NORTH 09 DEGREES 05 MINUTES 24 SECONDS WEST ALONG THE EAST LINE OF SAID BOYD TRACT 748.57 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET AND A RADIAL BEARING OF NORTH 26 DEGREES 49 MINUTES 16 SECONDS WEST AT THE LAST DESCRIBED POINT 627.46 FEET; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 332.0 FEET; THENCE SOUTH 12 DEGREES 27 MINUTES 30 SECONDS EAST 264.0 FEET; THENCE SOUTH 84 DEGREES 27 MINUTES 30 SECONDS EAST 202.0 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 30 SECONDS WEST 423.02 FEET TO SAID CENTER LINE; THENCE NORTH 60 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID CENTER LINE 412.69 FEET TO A LINE DRAWN NORTH 00 DEGREES 10 MINUTES 46 SECONDS EAST PARALLEL WITH THE WEST LINE OF SAID NORTHEAST QUARTER, FROM A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER WHICH IS 598.62 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID PARALLEL LINE 880.56 FEET TO SAID SOUTH LINE; THENCE SOUTH 89 DEGREES 34 MINUTES 48 SECONDS WEST ALONG SAID SOUTH LINE 598.62 FEET TO SAID SOUTHWEST CORNER; THENCE SOUTH 00 DEGREES 10 MINUTES 48 SECONDS WEST ALONG SAID EAST LINE 1275.36 FEET TO A LINE DRAWN SOUTH 89 DEGREES 40 MINUTES 33 SECONDS EAST FROM THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 40 MINUTES 33 SECONDS WEST 681.94 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS

A PERPETUAL EASEMENT FOR THE OPERATION, MAINTENANCE AND USE OF A SEPTIC FIELD FOR THE BENEFIT OF PARCEL ONE HEREBY ABOVE DESCRIBED, UNDER AND UPON THE FOLLOWING DESCRIBED PARCEL OF REAL ESTATE CONTIGUOUS

TO PARCEL ONE TO WIT:

COMMENCING AT THE MOST NORTHERLY CORNER OF PARCEL ONE HEREINABOVE DESCRIBED ON THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 47.12 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF ILLINOIS STATE ROUTE NUMBER 126, FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 105.0 FEET; THENCE NORTH 32 DEGREES 08 MINUTES 38 SECONDS WEST, 152.18 FEET; THENCE SOUTH 76 DEGREES 09 MINUTES 49 SECONDS EAST, 5.28 FEET; THENCE SOUTH 70 DEGREES 39 MINUTES 49 SECONDS EAST, 158.65 FEET, TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, ALL IN KENDALL COUNTY ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET A POINT OF BEGINNING THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID CLAIM LINE, 941.92 FEET TO A POINT ON A LINE DRAWN SOUTHWESTERLY, PERPENDICULAR TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FROM A POINT ON SAID CENTER LINE WHICH IS 1049.70 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE WITH THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTHEASTERLY TO SAID POINT ON SAID CENTER LINE OF ILLINOIS ROUTE 126 AFORESAID; THENCE NORTHEASTERLY ALONG SAID ROUTE 126 CENTER LINE AND TO SAID ROUTE 71 CENTER LINE; THENCE SOUTHWESTERLY ALONG SAID ROUTE 71 CENTER LINE, 30.58 FEET TO SAID WEST LINE; THENCE SOUTHERLY ALONG SAID WEST LINE, 78.83 FEET, TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION. 3; THENCE NORTH 00 DEGREES 00 MINUTES 38 SECONDS EAST, ON A BEARING REFERENCED TO AN ASSUMED NORTH, 1925.21 FEET ON THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS EAST 58.55 FEET TO THE EXISTING SOUTHEASTERLY RIGHT OF WAY LINE OF A.F.A.P. ROUTE 311 (IL ROUTE 71) AND THE POINT OF BEGINNING; THENCE NORTH 72 DEGREES 34 MINUTES 00 SECONDS EAST 35.28 FEET ON SAID SOUTHEASTERLY RIGHT OF WAY LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF S.B.I. ROUTE 66 (IL ROUTE 126); THENCE SOUTH 70 DEGREES 08 MINUTES 35 SECONDS EAST 125.66 FEET ON SAID SOUTHERLY RIGHT OF WAY LINE; THENCE NORTH 81 DEGREES 09 MINUTES 04 SECONDS WEST 57.85 FEET; THENCE NORTH 76 DEGREES 30 MINUTES 40 SECONDS WEST 103.47 FEET TO THE POINT OF BEGINNING), IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTHERLY ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE FOR A POINT OF BEGINNING; THENCE NORTHERLY ALONG SAID WEST LINE, 1118.27 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 28 DEGREES 33 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 228.53 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 178 DEGREES 11 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED COUNTERCLOCKWISE THEREFROM, 112.67 FEET TO A LINE DRAWN PARALLEL WITH AND 160.0 FEET NORMALLY DISTANT, EASTERLY OF SAID WEST LINE; THENCE SOUTHERLY ALONG SAID PARALLEL LINE, 717.44 FEET TO SAID CLAIM LINE; THENCE SOUTHWESTERLY ALONG SAID CLAIM LINE, 188.42 FEET TO THE POINT OF BEGINNING, IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG THE SAID CENTER LINE OF ILLINOIS ROUTE 71, 1411.3 FEET TO THE CENTER LINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY ALONG THE EXTENDED CENTER LINE AND THE CENTER LINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25' TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTER LINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47' TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126 TO THE CENTER LINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTER LINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; TO THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

GRANTEE HEREBY ASSUMES AND AGREES TO PAY THE UNPAID BALANCE ON THE EXISTING MORTGAGE RECORDED IN BOOK PAGE , THE DEBT SECURED THEREBY AND ALSO HEREBY ASSUMES -THE OBLIGATIONS UNDER THE TERM OF THE INSTRUMENTS CREATING THE LOANS DOCUMENT NO. 79-1053.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER;

THENCE - NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, - 1,995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID CENTER LINE 30.45 FEET TO THE POINT OF INTERSECTION OF SAID CENTER LINE WITH CENTER LINE OF ILLINOIS STATE ROUTE NO. 126 FOR THE POINT OF BEGINNING; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 230.67 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 11,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 1,141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD; THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 761.0 FEET; THENCE SOUTH 58 DEGREES 16 MINUTES 47 SECONDS WEST 265.35 FEET TO SAID ROUTE 126 CENTER LINE; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTER LINE BEING ALONG A CURVE TO THE LEFT AND HAVING A RADIUS OF 2,292.01 FEET WHICH IS TANGENT TO A LINE DRAWN NORTH 72 DEGREES 57 MINUTES 06 SECONDS WEST FROM THE LAST DESCRIBED POINT 147.93 FEET; THENCE NORTH 16 DEGREES 38 MINUTES 49 SECONDS WEST ALONG SAID ROUTE 126 CENTERLINE 850.98 FEET; THENCE NORTHWESTERLY ALONG SAID ROUTE 126 CENTERLINE BEING ALONG A CURVE TO THE RIGHT AND HAVING A RADIUS OF 2,148.79 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE AT THE LAST DESCRIBED POINT, 383.53 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 - NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 14 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.75 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE 71; THENCE NORTH 71 DEGREES 23 MINUTES 59 SECONDS EAST ALONG SAID ROUTE 71 CENTER LINE 261.12 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 15,459.20 FEET WHICH IS TANGENT TO THE LAST DESCRIBED COURSE 1141.60 FEET TO THE INTERSECTION WITH THE CENTER LINE EXTENDED NORTHWESTERLY OF WING ROAD FOR THE POINT OF BEGINNING (THENCE SOUTH 21 DEGREES 30 MINUTES 13 SECONDS EAST ALONG SAID WING ROAD CENTER LINE 258.05 FEET; THENCE SOUTH 58 DEGREES 29 MINUTES 47 SECONDS WEST 200.0 FEET; THENCE NORTH 21 DEGREES 30 MINUTES 13 SECONDS WEST PARALLEL WITH SAID WING ROAD CENTER LINE 250.0 FEET TO SAID ROUTE 71 CENTER LINE; THENCE NORTHEASTERLY ALONG SAID ROUTE 71 CENTER LINE 200.16 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, (ILLINOIS, AND ALSO EXCEPTING, THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3 IN TOWNSHIP 38 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING FROM THE POINT OF BEGINNING; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 230.66 FEET ALONG SAID CENTERLINE; THENCE NORTHEASTERLY, 940.56 FEET ALONG AN 11,479.02 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 67 DEGREES 34 MINUTES 29 SECONDS EAST, 940.31 FEET; THENCE SOUTH 22 DEGREES 56 MINUTES 31 SECONDS EAST, 60.03 FEET; THENCE SOUTHWESTERLY, 418.10 FEET ON AN 11,539.02 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING SOUTH 66 DEGREES 16 MINUTES 29 SECONDS WEST, 418.08 FEET; THENCE SOUTH 59 DEGREES 24 MINUTES 09 SECONDS WEST, 71.10 FEET; THENCE SOUTH 25 DEGREES 14 MINUTES 24 SECONDS WEST, 60.52 FEET; THENCE SOUTHEASTERLY, 570.87 FEET ON AN 675.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING SOUTH 55 DEGREES 22 MINUTES 46 SECONDS EAST, 560.80 FEET; THENCE SOUTH 74 DEGREES 04 MINUTES 13 SECONDS EAST, 274.41 FEET; THENCE SOUTH 64 DEGREES 05 MINUTES 29 SECONDS EAST, 35.85 FEET; THENCE SOUTH 55 DEGREES 49 MINUTES 00 SECONDS WEST, 64.56 FEET TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE NORTHWESTERLY, 162.08 FEET ON SAID CENTERLINE BEING A 2,291.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING NORTH 76 DEGREES 16 MINUTES 12 SECONDS WEST, 162.05 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 357.37 FEET ON SAID CENTERLINE; THENCE NORTH 53 DEGREES 52 MINUTES 46 SECONDS WEST, 96.76 FEET TO THE EXISTING NORTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 297.03 FEET ON A 990.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 45 DEGREES 17 MINUTES 03 SECONDS WEST, 295.92 FEET; THENCE NORTH 36 DEGREES 39 MINUTES 21 SECONDS WEST, 23.77 FEET; THENCE NORTH 77 DEGREES 19 MINUTES 36 SECONDS WEST, 64.74 FEET; THENCE SOUTH 69 DEGREES 03 MINUTES 36 SECONDS WEST, 100.61 FEET; THENCE SOUTH 69 DEGREES 55 MINUTES 52 SECONDS WEST, 149.98 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SAID IL 71; THENCE SOUTH 65 DEGREES 32 MINUTES 40 SECONDS WEST, 113.94 FEET TO THE CENTERLINE OF SAID IL 126; THENCE NORTHWESTERLY, 119.55 FEET ON SAID CENTERLINE BEING A 2,170.59 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING NORTH 69 DEGREES 20 MINUTES 17 SECONDS WEST, 119.54 FEET TO THE POINT OF BEGINNING.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 07°44' EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER 1236.84 FEET TO A POINT ON SAID EAST LINE WHICH IS 1284.36 FEET SOUTH OF THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89°47'31" WEST, 684.42 FEET; THENCE NORTH 09°32'39" WEST, 590.03 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ELSIE BOYD BY DEED DATED MARCH 25, 1929 AND RECORDED DECEMBER 14, 1938 IN DEED RECORD 88 ON PAGE 399, FOR THE POINT OF BEGINNING; THENCE SOUTH 57°58'56" WEST ALONG THE SOUTHERLY LINE OF SAID BOYD TRACT AND SAID SOUTHERLY LINE EXTENDED 352.89 FEET TO THE CENTER LINE OF WING ROAD; THENCE SOUTH 21°28'35" EAST ALONG SAID CENTERLINE 131.00 FEET; THENCE NORTH 57°58'56" EAST PARALLEL WITH SAID SOUTHERLY LINE 323.58 FEET TO A POINT WHICH IS SOUTH 09°32'39" EAST, 139.37 FEET FROM THE POINT OF BEGINNING; THENCE NORTH 09°32'39" WEST, 139.37 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1995.6 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 71; THENCE EASTERLY ALONG SAID CENTER LINE 32.2 FEET TO THE CENTER LINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF ILLINOIS ROUTE 126, 1049.7 FEET FOR THE POINT, OF BEGINNING; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO SAID CENTER LINE, 339.9 FEET TO AN OLD CLAIM LINE; THENCE NORTHEASTERLY ALONG SAID OLD CLAIM LINE WHICH MAKES AN ANGLE OF 44°21' (MEASURED CLOCKWISE FROM THE LAST DESCRIBED COURSE) 468.6 FEET TO THE CENTER LINE OF SAID ILLINOIS ROUTE 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE 328.1 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS. EXCEPT THEREFROM THE BELOW DESCRIBED PARCEL:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83):

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE NORTH 01 DEGREE 35 MINUTES 30 SECONDS WEST, 1,995.04 FEET ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 3 TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 71; THENCE NORTH 69 DEGREES 55 MINUTES 19 SECONDS EAST, 31.52 FEET ALONG SAID CENTERLINE TO THE CENTERLINE OF A PUBLIC HIGHWAY DESIGNATED IL 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 399.15 FEET ALONG A 2,170.59 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF SOUTH 73 DEGREES 01 MINUTE 41 SECONDS EAST, 398.58 FEET THENCE SOUTH 78 DEGREES 17 MINUTES 46 SECONDS EAST, 649.36 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING, THENCE SOUTH 78° DEGREES 17 MINUTES 46 SECONDS EAST, 172.16 FEET ALONG SAID CENTERLINE; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, 162.08 FEET ALONG A 2,291.64 FOOT RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING OF SOUTH 76 DEGREES 16 MINUTES 12 SECONDS EAST, 162.05 FEET; THENCE SOUTH 56 DEGREES 32 MINUTES 11 SECONDS WEST, 65.63 FEET; THENCE NORTH 74 DEGREES 04 MINUTES 13 SECONDS WEST, 5.13 FEET; THENCE NORTH 65 DEGREES 29 MINUTES 14 SECONDS WEST, 50.57 FEET, TO THE SOUTHERLY RIGHT OF WAY LINE OF IL 126; THENCE NORTHWESTERLY, 61.11 FEET ON SAID RIGHT OF WAY LINE BEING ON A 2,251.64 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING OF NORTH 77 DEGREES 31 MINUTES 09 SECONDS WEST, 61.11 FEET; THENCE NORTH 78 DEGREES 17 MINUTES 46 SECONDS WEST, 172.27 FEET ALONG SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 11 DEGREES 52 MINUTES 19 SECONDS EAST, 40.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.297 ACRE MORE OR LESS, OF WHICH 0.290 ACRE, MORE OR LESS, IS LYING WITHIN PUBLIC ROAD RIGHT OF WAY, SITUATED IN THE COUNTY OF KENDALL AND STATE OF ILLINOIS, HEREBY RELEASING AND WAIVING ALL RIGHTS UNDER AND BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE.

**EXHIBIT "C-1"**  
**Windmill Farms - B-3 Service Business Permitted Uses**

This exhibit lists all permitted uses within the B-3 Service Business District as they exist in the current Zoning Ordinance. Uses excluded and not permitted by this Agreement are crossed out as follows: (~~not permitted use~~)

**OFFICE DISTRICT (O)**

Advertising agency.

**Bank (allowable by provisions of Windmill Agreement)**

Barber shop.

Beauty shop.

Bookkeeping service.

~~Club—private indoor.~~

Coffee shop.

College, university or junior college.

Commercial school, trade school - offering training in classroom study.

Detective agency.

Employment office.

Engineering office.

Government office.

Income tax service.

Insurance office.

Library.

Manufacturing agent's office.

Medical clinic.

Park.

Professional offices.

Public accountant.

Real estate office.

Stenographic service.

Stock broker.

Telegraph office.

~~Ticket office.~~

Title company.

Travel agency.

Utility office. (Ord. 1973-56A, 3-28-74)

Special Uses

~~Solid waste disposal site (Ord. 1973-56A, 3-28-1974; amd. Ord. 1995-20, 8-10-1995)~~

**LIMITED BUSINESS DISTRICT (B-1)**

All uses permitted in the O district.

Antique sales.

~~Apartments, single family, located in business buildings.~~

Bakery - retail.

Barbershop.  
Beauty shop.  
Bookstore.  
Cafeteria (diner).  
Camera shop.  
Church or other place of worship.  
~~Cigar, cigarette and tobacco store.~~  
Clothes - pressing and repair.  
~~Club - private indoor.~~  
~~Club - private outdoor.~~  
Community center.  
Dressmaker - seamstress.  
Drugstore.  
Florist sales.  
Fruit and vegetable market - retail.  
Gift shop.  
Grocery store - supermarket.  
Gymnasium.  
Health food store.  
Hobby shop.  
Hospital (general).  
Hospital or treatment center.  
Household furnishing shop.  
Ice cream shop.  
Jewelry - retail.  
Laundry, cleaning and dyeing - retail.  
Library.  
~~Magazine and newsstand.~~  
Meat market.  
Medical clinic.  
Mortuary - funeral home.  
Park.  
Photography studio.  
Playground.  
Post office.  
Professional building.  
Recreation center.  
Restaurant.  
Shoe and hat repair.  
~~Substation.~~  
Swimming pool - indoor.  
Tennis club - private or daily fee.  
~~Trailer. (Ord. 1973-56A, 3-28-1974; amd. 1994 Code; Ord. 1994-1A, 2-10-1994; Ord. 2003-41, 7-22-2003)~~

**GENERAL BUSINESS DISTRICT (B-2)**

All uses permitted in the O and B-1 Districts.

Appliances - sales.

Army/Navy surplus sales.

Art gallery - art studio sales.

Art supply store.

~~Auditorium.~~

Automatic food service.

Automobile accessory store.

Automobile rental.

Bicycle shop.

Billiard parlor.

Blueprint and photostat shop.

~~Bowling alley.~~

Carry-out food service.

Catalog sales office.

Clothing store - all types.

~~Dance hall.~~

Department store.

Discount store.

Drygoods store - retail.

Floor covering sales.

Furniture sales - new/used.

Hardware store.

Health club or gymnasium.

Hotel.

Interior decorating studio.

Junior department store.

Leather goods.

Locksmith.

Motel.

Music, instrument and record store.

Newspaper publishing.

Office equipment and supply sales.

Paint/wallpaper store.

~~Pawnshop.~~

Personal loan agency.

Pet store.

Picture frame store.

Radio and television studios.

~~Reducing salon, masseur and steam bath.~~

Sporting goods.

Stationery.

Taxidermist.

Theater.

Toy store.

Typewriter - sales and repair.



Variety store.

Watch and clock sales and repair.

Weaving and mending - custom. (Ord. 1973-56A, 3-28-1974; amd. 1994 Code)

**SERVICE BUSINESS DISTRICT (B-3)**

All uses permitted in the B-2 district.

Agricultural implement sales and service.

Appliance - service only.

Automotive sales and service.

~~Boat sales.~~

Building material sales.

Business machine repair.

Car wash without mechanical repair on the premises.

Catering service.

**Daycare (allowable by provisions of Windmill Agreement)**

Drive-in restaurant.

Electrical equipment sales.

Feed and grain sales.

Frozen food locker.

Furniture repair and refinishing.

**Gasoline Filling Station (allowable by provisions of Windmill Agreement)**

Golf driving range.

Greenhouse.

~~kennel.~~

Miniature golf.

Motorcycle sales and service.

Nursery.

Orchard.

Park - commercial recreation.

Plumbing supplies and fixture sales.

Pump sales.

Recreational vehicle sales and service.

~~Skating rink.~~

~~Sports arena.~~

~~Taxicab garage.~~

Tennis court - indoor.

~~Trailer rental.~~

~~Truck rental.~~

~~Truck sales and service.~~

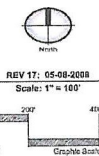
Upholstery shop.

Veterinary clinic. (Ord. 1973-56A, 3-28-1974; amd. Ord. 1986-1, 1-9-1986; Ord. 1988-7, 4-14-1988; Ord. 1995-19, 8-10-1995; Ord. 1998-21, 6-25-1998; Ord. 2005-58, 7-12-2005)

EXHIBIT "D" R-4 GENERAL RESIDENCE DISTRICT

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE NORTH 0 DEGREES 08 MINUTES 09 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 798.60 FEET TO AN OLD CLAIM LINE; THENCE NORTH 57 DEGREES 59 MINUTES 05 SECONDS EAST ALONG SAID OLD CLAIM LINE 299 .00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 1 DEGREE 51 MINUTES 32 SECONDS WEST, 402.10 FEET; THENCE SOUTH 59 DEGREES 55 MINUTES., 25 SECONDS EAST, 256.51 FEET; THENCE NORTH 59 DEGREES 55 MINUTES 25 SECONDS EAST 355.65 FEET; THENCE NORTH 62 DEGREES 43 MINUTES 29 SECONDS EAST, 853.57 FEET; THENCE NORTH 33 DEGREES 24 MINUTES 40 SECONDS EAST., 542.27 FEET TO THE CENTER LINE OF ILLINOIS STATE ROUTE NUMBER 126; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2292 .01 FEET AND A RADIAL BEARING OF SOUTH 29 DEGREES 23 MINUTES 51 SECONDS WEST AT THE LAST DESCRIBED POINT, 358.41 FEET TO A POINT WHICH IS 151.00 FEET, AS MEASURED ALONG SAID CENTER LINE, SOUTHEASTERLY OF THE INTERSECTION OF SAID CENTER LINE AND SAID OLD CLAIM LINE; THENCE SOUTH 45 DEGREES 05 MINUTES 49 SECONDS WEST, 265 .70 FEET; THENCE SOUTH 73 DEGREES 54 MINUTES 28 SECONDS WEST, 102.86 FEET; THENCE SOUTH 84 DEGREES 11 MINUTES 54 SECONDS WEST, 280.96 FEET; THENCE NORTH 32 DEGREES 00 MINUTES 55 SECONDS WEST, 24.19 FEET TO SAID OLD CLAIM LINE; THENCE SOUTH 87 DEGREES 59 MINUTES 05 SECONDS WEST ALONG SAID OLD CLAIM LINE 789.92 FEET TO THE POINT OF BEGINNING IN KENDALL TOWNSHIP, KENDALL COUNTY, ILLINOIS.





**Site Planning Principles**

The Site Planning Principles address issues that affect the way that individual sites should be developed in order to blend in with the existing character of the City.

- PRINCIPLE 4: *Incorporate existing site conditions into development plans*  
 PRINCIPLE 5: *Provide a sense of architectural interest and unique identity throughout the City*  
 PRINCIPLE 6: *Enhance pedestrian experience and establish sense of place through careful design and location of open spaces*  
 PRINCIPLE 7: *Thoughtful consideration of vehicular and pedestrian circulation within individual developments*  
 PRINCIPLE 8: *Appropriate design of parking lots, utilities, service areas and detention areas to reduce the negative impact of typically unattractive site components*

■ **Desirable Elements:**

The following elements shall be incorporated into development within the City:

- Richness of building surface and texture
- Articulated mass and bulk
- Clear visibility of entrances
- Well organized commercial signage
- Landscaped and screened parking
- Special paving identifying intersections and crosswalks
- Pedestrian friendly streetscapes and open spaces
- Thoughtful consideration of circulation
- Screening of mechanical equipment, service areas, parking lots and any undesirable elements
- Step-down of building scale along pedestrian routes and building entrances
- Recognition of building hierarchy
- Formal entry plazas and courtyards
- Detention used as an amenity
- Existing trees incorporated into development
- Multi-planed, pitched roofs
- Roof overhangs and arcades
- Provide defined entrance roads into developments and provide adequate vehicle storage bays at egress drives



*Richness of building materials creates visual interest*



*Landscaping softens the view of parking*

### ■ Undesirable Elements:

The following elements are discouraged in developments within the City:

- Concrete detention basins
- Large, blank, unarticulated wall surfaces
- Visible outdoor storage, loading, equipment and mechanical areas
- Disjointed parking areas and confusing circulation patterns
- Large expanses of parking/asphalt
- Service areas near major entries and/or that are easily visible from roadway
- Poorly defined site access points
- Large "boxlike" structures



*Avoid large expanses of parking lots*



*Avoid large blank wall surfaces*

### **PRINCIPLE 4: Incorporate existing site conditions into development plans**

New development shall protect the existing environmental features throughout the City and minimize the impact of the development on the site and the surrounding land.

#### ■ Drainage Patterns

Proposed site plans shall incorporate existing drainage patterns on site in an effort to avoid significantly altering the manner in which drainage flows offsite. At the time of site plan submittal to the City, a drainage and detention plan must be submitted. The location and type of drainage facilities must be shown.



*Drainage swale utilizes natural drainage patterns*

#### ■ Topography and Soils

- Minimize cut and fill on site to reduce effects upon the natural drainage pattern and natural character of the site.
- Minimize disturbance in areas of significant existing vegetation. If necessary for site development, consider using tree wells and retaining walls to preserve existing trees where possible.



*Work with existing topography to avoid large cut and fill*



- Development on unsuitable soils is prohibited. Incorporate unsuitable soils into an open space component of the site plan.
- Stockpile top soil for later use in landscape areas.
- **Vegetation**
  - Preserve existing trees

Every effort should be made in the planning process to incorporate quality, existing trees into the site plan design. Any quality, existing tree that occurs within the specific buffer yard as required per *PRINCIPLE 9* shall remain undisturbed and be protected as part of the landscape buffer.



*Preservation of existing vegetation as buffer*

**PRINCIPLE 5: Provide a sense of architectural interest and unique identity throughout the City**

The Architectural standards are provided to preserve and guide the character of architecture throughout the City while allowing for individual architectural interpretation. All architectural proposals must be compatible with the vernacular of the northern Illinois region. In order to ensure compliance with the following architectural guidelines, the City requires that building elevations, plans, materials samples, color samples and illustrations be submitted for review and approval prior to the commencement of building construction.



*Building orientation creates central open space on axis with the main entry drive*

▪ **Buildings**

- Orientation

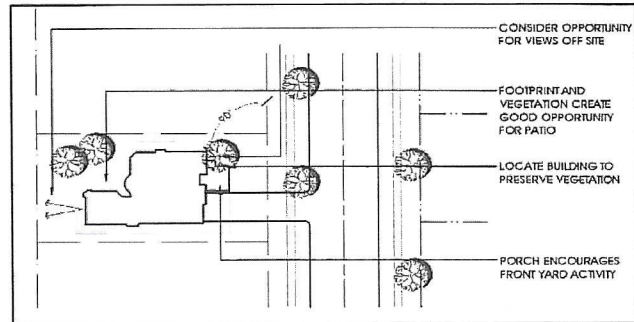
Building orientation should take advantage of the building to site relationship. The orientation and location of buildings defines open spaces and circulation corridors.

- Align focal architectural elements along major view or circulation axis.
- Define pedestrian spaces and streetscapes with building orientation.



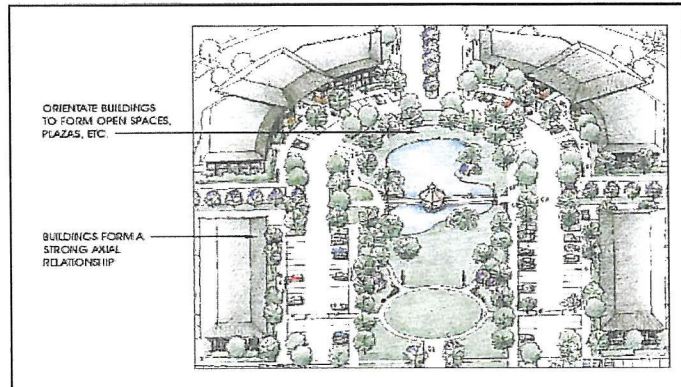
*Orient primary buildings on axis and use as focal points*

- Create view corridors between buildings, plazas, courtyards and adjacent buildings.
- Create pedestrian spaces and plazas by varying building facades.
- Cluster buildings whenever possible, creating opportunities for plazas and pedestrian malls. Prevent long, linear facades from dominating the view.



*Residential building orientation creates private, intimate backyard space*

- Buildings adjacent to Routes 47, 71 and 126 must face the primary roadway. No service access, storage, etc. is allowed to face Routes 47, 71 and 126.
- Develop sites in a comprehensive and coordinated manner to provide order and compatibility (especially in the case of large sites which will be developed in phases).



*Building orientation can define main activity areas*

- The exterior character and orientation of all buildings and the spaces they define should encourage and enhance pedestrian activity.
- Attention should be given to the quality and usability of the outdoor spaces formed by the exterior of a dwelling and adjacent dwellings. Avoid locating the private area of one dwelling adjacent to the public area of an adjacent dwelling.



*Rear and side facades should incorporate architectural design elements*



- In multi-family residential developments, buildings should be oriented to create functional outdoor spaces.
- In residential neighborhoods, consideration should also be given to the views from adjacent dwellings and public spaces.
- Facades

Building facades should achieve a high level of visual interest when viewed from automobile and pedestrian vantage points.

- In residential developments, front yards and porches should be used to create a sense of place and community.
- Natural stone and masonry materials are to be used on the lower portions of buildings to create a visual anchor to the ground and provide interest at the pedestrian level.
- Vary the planes of exterior walls in depth and/or direction.
- Wall planes shall not run in a continuous direction more than 65 feet without an offset of at least 3 feet.
- Wall planes of more than 20 feet high are prohibited without incorporating meaningful techniques, such as awnings or a change in building material, to break up the perceived building mass.
- Awnings are encouraged along facades to provide color, shade and architectural interest. Where awnings are used along a row of contiguous buildings, a consistent form, material, color, location and mounting arrangement must be used.
- Awnings should be located to provide a consistent minimum 8 feet vertical clearance, with a maximum generally not to exceed 12 feet.
- Colors of awnings must complement the buildings.



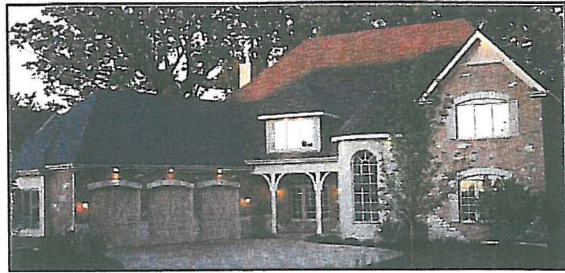
*Awnings along facade*



*Awnings provide pedestrian scale element*



- Incorporate the awnings along with any signage to provide a uniformly designed building façade.
- Signs on awnings are permitted.
- Internally illuminated awnings are prohibited.

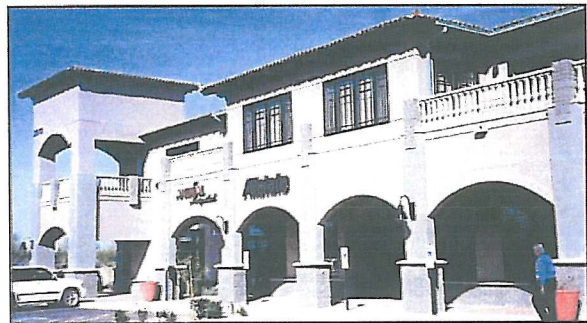


*Garage doors oriented to side*

- Awnings and canopies may be made of sheet metal or canvas membrane. Plastic or vinyl awnings are not permitted.
- In new residential neighborhoods, houses shall not repeat the same elevations without two lots of separation. Houses across the street from each other and back-to-back corner lots shall not be of the same elevation.
- In residential areas, garages should not dominate the street view. Rather, provide parking and garages to the side or rear of lots or set the garage face back from the primary façade of the house. Avoid allowing the garage to become the primary architectural feature.

#### ▪ Roof Treatment

Rooftops should be considered important design elements as viewed from a variety of vantage points such as at ground level, from other buildings and from adjacent perimeter roadways. A well-composed "roofscape" achieves an interesting skyline without becoming overly busy or contrived. Roof forms should serve as natural transitions from the ground level to intermediate masses to the tallest masses and back to the ground. Form should also be interesting when seen from above in adjacent buildings.



*Variation in roof treatments creates an interesting 'roofscape'*

#### ▪ Materials & Colors

Visual continuity in major building materials and colors is desired throughout the City. Specific criteria include the following:

- Material samples of all proposed buildings must be provided for review and be approved by the City.
- Materials should be consistent with the Community Character principles outlined in these guidelines.

- Wall materials that are muted, earth tone in color and have texture are to be used.
- Reserve the use of strongly contrasting materials and colors for accents, such as building entrances, railings and trim. Avoid an excessive variety of façade materials.
- Avoid using highly reflective materials and surfaces, such as polished metal, that generate glare, particularly at the pedestrian level.
- Materials which may be incorporated include: native stone, brick, stucco and textured concrete. Alternative materials that achieve similar looks and are of high quality and low maintenance may be considered.
- Common materials shall be located on all sides of the building with the exception of service areas not visible from a public street.



*Varying roofline breaks up long  
expanse of building facade*

- Coordinating materials within a development can tie together buildings of different sizes, uses and forms.
- In new residential neighborhoods at the time of initial building permit, houses shall not be the same color unless there are at least two lots of separation. Houses across the street from each other are not permitted to be the same color.
- Use contrasting but compatible building materials and textures to unify exterior building elements and to create depth, proportion and scale.
- In residential developments, buildings should complement each other by using materials and colors within the same "family".
- Building colors should be derived from, and related to, the finishes of primary building materials.

#### ▪ Height

The overall appearance of development shall be low and horizontal, with building heights throughout the community generally low to medium scale. Building heights are expected (and desired) to vary to ensure visual interest.

- Consider the use of taller buildings and/or elements to highlight significant intersections and pedestrian nodes.
- Building heights shall be determined in a manner which enhances an overall residential quality.



*Taller buildings help identify intersections*



- Maintain compatible relationships with adjacent dwellings and street frontages.
- Building heights shall be responsive to heights of homes located on slopes above and below the dwelling.
- Sight lines to greenbelts, open areas, water features and scenic horizon views are to be optimized and maintained to the fullest extent possible by minimizing the building height and obstruction.



*Front porch provides one-story element*

- Scenic view compatibility shall be considered in determining building height.
- Within a neighborhood, a combination of one, one and a half and two story dwellings is encouraged to add diversity to the streetscape. Entire neighborhoods or blocks of continuous two story dwellings are discouraged.
- For multilevel dwellings on corner lots, locate a one-story element of the dwelling at the street corner to help reduce the feeling of enclosure in the neighborhood.



*Front porch roof provides human scale element*

- A two-story dwelling can best relate to a neighboring one story if it contains a one-story element.

#### ▪ Scale

Buildings should appear to be of a "pedestrian" or "human" scale. When components in the built environment are designed in such a way that people feel comfortable, then human scale has been achieved. In general, this means that the size, patterns, textures, forms and overall three-dimensional composition can be appreciated at the pedestrian level.



*Varied building scale provides distinction between masses*

- Vary the height of buildings, and/or building elements where feasible, so they appear to be divided into distinct elements or masses.

- Avoid large-scale buildings that are "box-like" and typically dominate a site.

- Use building mass appropriate to the site. Place buildings with larger footprints, height and massing in core activity areas or in the heart of the development near similar densities. By doing so, the impact on adjacent land uses will be reduced.



*Pedestrian scale elements located along building facade*

- In residential areas, the relationship between the lot size, street width and building scale are important to creating a human scale. Elements such as trees, pedestrian path lighting and porches can aid in achieving human scale.

- Hierarchy

It is important to recognize that future projects will be developed using a variety of buildings with various uses. Vehicular and pedestrian traffic should be able to recognize the hierarchy of buildings and be able to decipher primary buildings from secondary buildings.



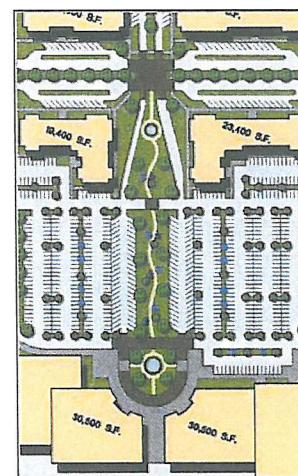
*Avoid 'box like' building scale*

- Primary Buildings

Primary buildings; such as major anchors, public buildings or major attractions, shall be located at prominent locations, anchoring a major view axis and serving as focal points in the community.

- Gateway Buildings

- Buildings at major entrances, corners, intersections or along significant roads should use special architectural elements to help identify that location as a "gateway". These elements also begin to define the sense of place for the community.



*Primary buildings located on axis and create focal point*



- Special architectural features may include corner towers, cupolas, clock towers, balconies, colonnades or spires.
- The use of vertical elements helps to frame the entrance and guide people into and through the development.



Gateway buildings

- Entrances
  - Primary entrances should be easily identifiable and relate to both human scale as well as the scale of the building(s) they serve.
  - Wherever possible, entrances should be inviting without becoming dark.
  - Main building entrances should be designed to be clearly identifiable from primary driveways and drop-offs. Additionally, they should be visible from parking areas.



Main entry to store clearly identifiable

- **Retaining walls**

- All retaining walls must be faced (veneered) with masonry (stone, brick, stucco or approved equal).
- Retaining walls adjacent to or visible from any street shall not exceed 4 feet in height. Grade changes that require retaining walls exceeding 4 feet must be terraced with a minimum of 4 feet clear separation between each wall. Exceptions may be reviewed and approved by the City in order to preserve existing tree stands.

- Walls should be designed as an integral part of the dwelling design. Stone sizes should be consistent and laid in a horizontal course. Masonry materials shall match or complement the facade of surrounding buildings.
- Walls at intersections must not interfere with safe sight distances.

**PRINCIPLE 6: Enhance pedestrian experience and establish sense of place through careful design and location of open spaces**

The creation of open space throughout the City is an essential technique used to break up building facades. The use of such pockets of interest creates views into the various developments. A wide range of open spaces such as public gathering plazas, open "greens", common play areas, neighborhood parks and natural preserves can be incorporated into development plans.

▪ **View Corridors**

- Open space is considered a valuable amenity, therefore careful consideration of vistas into open spaces from residential lots, streets and drives is required.
- Maintain view corridors to provide vistas of amenities, natural features, open spaces and other significant elements.
- Create focal points at main entries, on axis with major circulation route and pedestrian corridors to establish a strong identity and structure for the project.



*Community Park*



*View of amenity feature is framed by use of vegetation and road alignment, creating a signature element*



**Parks and Trails**

- In residential areas, parks should be located within a 5 minute walk (approximately 1,000 feet) from each home.
- Trail linkages should be provided from proposed neighborhoods to the City's comprehensive trail system, forest preserve trails and adjacent developments.

*Neighborhood Park*

- **Courtyards and Plazas**

Courtyards, plazas and terraces should be designed at a human scale and incorporated as public amenities around non-residential buildings. Interrupting building facades to create "outdoor rooms" as well as varying the width of walkways will help create pedestrian spaces. These pedestrian spaces will create opportunities for comfortable outdoor experiences and are critical in defining plazas and courtyards.

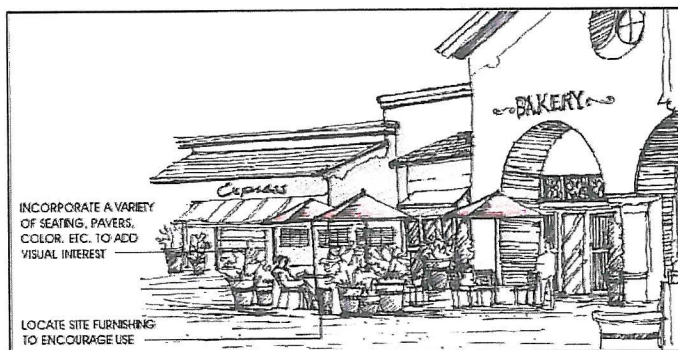
- Orient plazas and courtyards to views of site amenities such as open space, water features, sculptural elements or landscaped areas.

- Consider opportunities to orient plazas and courtyards toward views of significant buildings or down long corridors.

- Wherever possible, create a sense of enclosure for outdoor seating areas. Such areas should be light and airy while providing a sense of safety from the elements.

*Landscaping and special paving give the seating area a sense of enclosure*

- Add elements such as trees, water features, a variety of seating areas and landscape color to give the public spaces an inviting appearance and visual interest.
- Incorporate pedestrian scaled lighting for safety and to promote use in the evening.
- Incorporate pavers and paving patterns to add interest and enhance the aesthetic quality of the spaces.
- Allow for outdoor tables and seating to promote use of the space. By doing so, an energy is created along the structure.

*Plazas and courtyards offer spaces for outdoor cafes*

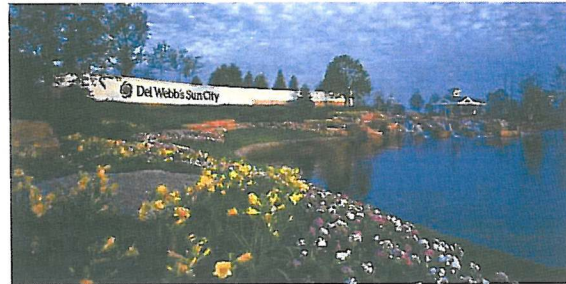
**PRINCIPLE 7: Thoughtful consideration of vehicular and pedestrian circulation within individual developments**

The purpose of the circulation standards is to minimize hazards and conflicts and establish logical circulation patterns. The appropriate integration of vehicular and pedestrian circulation is intended to provide safe and convenient access to all sites while being attractive, efficient and functional.

- **Vehicular Circulation**

- **Primary Site Entrances**

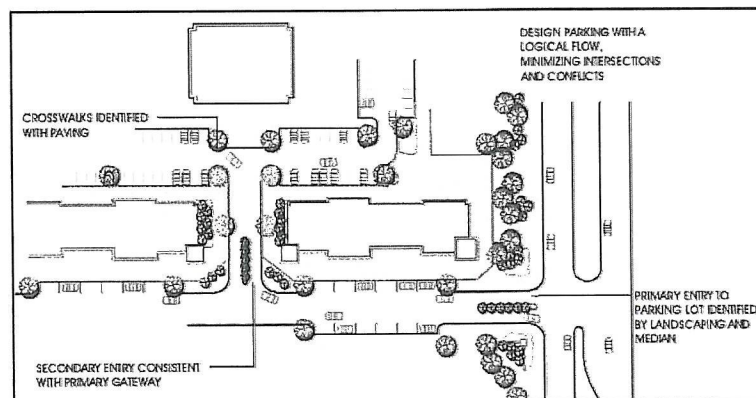
Each entrance to a parcel, individual building site or residential neighborhood from a primary roadway should be designed as a “gateway” to the area it serves. Design elements should be visually interesting and consistent with other streetscape materials used throughout the City.



*Primary residential entrance highlighted with signage, landscaping and water elements*

When designing entries into residential and non-residential tracts, developers shall:

- Coordinate with adjacent properties to consolidate entries and minimize access points along major roadways
- Minimize pedestrian and vehicle conflicts by reducing the quantity of crosswalks.
- Clearly identify site entries and provide a clear entry/arrival sequence.
- Provide “secondary” entries to parking lots and smaller residential neighborhoods from adjacent perpendicular minor roadways to major roadways. Paving material, plants, signs and lighting should match primary entrance treatments, although landscaping intensity and signage may be reduced in scale.
- Provide at least one “primary” entry to parking lots or residential communities. The use of medians and/or special paving or landscaping to identify primary entries is required.



*Single primary entrance reduces access points along Corridor*



- Internal Drives

All internal drives should visually lead drivers to building entries, site amenities or focal elements.

- Design drives and parking areas to fit the natural contours of the site in order to minimize cut and fill and maintain natural drainage.
- Align streets and drives to offer views to significant architectural features and site amenities and to direct drivers.
- Internal streets shall be separated from parking lots by landscape islands and walkways.



*Street alignment offers views of significant architectural feature*

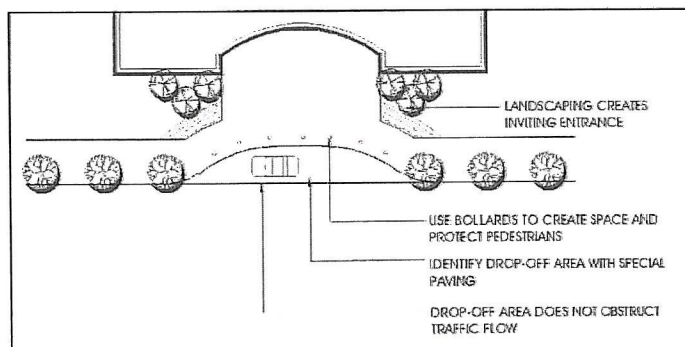


*Landscaped island separates parking lot from internal drive*

- Drop-Off Areas

Drop-off areas for vehicle passengers shall be incorporated into development plans and should provide safe, convenient access to building entries, pedestrian plazas and public open spaces. Drop-off areas must conform to all ADA regulations and standards.

- Emphasize drop-off areas with special paving material.
- Design drop-off lanes so they do not obstruct traffic flow when vehicles are stopped.
- Install bollards at drop-offs to provide protection for buildings and pedestrian walkways.



*Drop-off area doesn't conflict with regular traffic and is identified with paving and bollards*

### ▪ Service Areas

Service vehicle circulation throughout the City shall be designed to provide safe and efficient delivery routes for all anticipated service and delivery vehicles. The design of individual parcels to accommodate truck access shall meet all regulatory requirements for turning movements without sacrificing other important design objectives.

- Locate service areas away from major streets and building entrances.
- A noise barrier is required in situations where service areas are adjacent to a residential land use.
- Minimize pedestrian and service vehicle conflicts.
- Hide/screen views into service areas. Screening can be provided with landscaping or screen walls. Screen walls shall repeat materials and elements of the primary building.
- Adjoining uses should share service drives where possible.
- Design service drives to accommodate the traffic intended to use them including all entrance roads and access aisles that will be used to access the service areas.



*Service area screened with landscaping*

### ▪ Pedestrian Circulation

The purpose of pedestrian circulation standards is to establish guidelines for creating a pedestrian circulation system that is safe and efficient. Good walking environments include: continuous routes between sites, clearly defined access from parking areas, a variety of connected destinations and a feeling of safety and security. In essence, creating a sense of comfort.

#### ▪ Sidewalks

Sidewalks must be constructed to provide pedestrian access to adjacent development and connections to the pedestrian trails throughout the City. Within specific developments, sidewalks shall provide access to and from parking lots, neighborhoods, schools, parks and open spaces.

- Create distinct pedestrian corridors, which funnel pedestrians to logical gateways, plazas or other destinations.



*Path provides access to park and adjacent neighborhood*



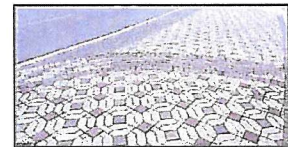
- Place special emphasis on pedestrian connections that link schools, recreation areas and other major activity areas.
- Neighborhoods should have access to open space and pocket parks by way of sidewalks and trails.
- In residential areas, sidewalks should be located on both sides of the street.
- Pavers or other changes in material should be used for walks adjacent to buildings and at street intersections to identify and enhance pedestrian routes.



*Pavers next to building enhance appearance*

#### ■ Crosswalks

Crosswalks are required at all intersections and key pedestrian crossings. Crosswalks must be identified by a change in color, height, width, texture, or materials. Refer to ADA regulations and standards for any specific criteria regarding crosswalks and ramps.



*Enhanced paving delineates crosswalk*

#### ■ Pedestrian Circulation in Parking Lots

Walkways that lead pedestrians from parking areas to buildings or plazas should be designed to facilitate easy movement and minimize crossing conflicts with vehicles. Pedestrians should feel comfortable about their walkways to buildings and pedestrian corridors should be clearly identified.

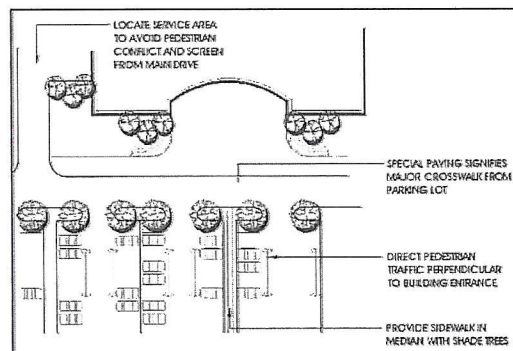
- Pedestrians should not be required to cross service drives to reach major entrances from primary parking lots.
- Where major pedestrian routes within parking lots cross roadways and drives, use textured or colored paving materials to distinguish the route.
- Medians with sidewalks allow for safe circulation and reduce circulation conflicts.
- Wherever feasible orient parking aisles perpendicular to building entrances.



*Landscaped median with sidewalk*



*Crosswalk delineated with paving and bollards*



*Median with sidewalk allows safe access to building entry*

### ▪ Accessibility

Owners and developers are expected to meet or exceed all requirements of the Americans with Disabilities Act (ADA), 1992, and all amendments thereto in the design and development of individual parcels, sites, buildings, and facilities. To the greatest extent possible, provide equal access in a manner that integrates ADA accessibility with ordinary accessibility, rather than separately.

### **PRINCIPLE 8: Appropriate design of parking lots, utilities, service areas and detention areas to reduce the negative impact of typically unattractive site components**

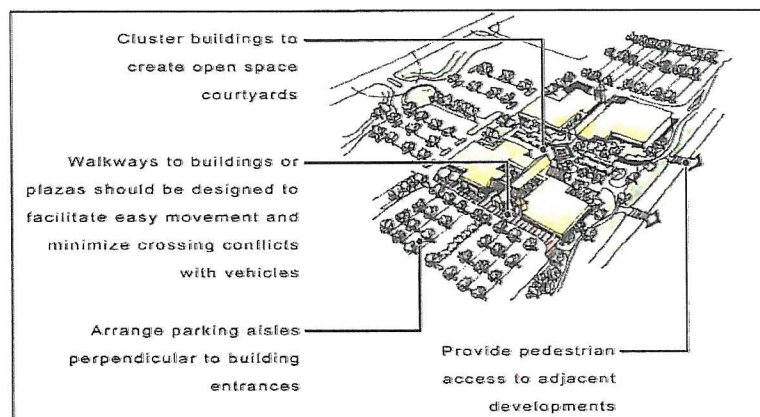
This section provides standards for the siting and layout of parking lots, service and loading areas, utilities, trash, storage and detention facilities. Specific landscaping criteria for these areas are included in the Landscape Principles section. Site plans specifying parking and circulation designs, utility and detention requirements shall be submitted to the City for review.

### ▪ Parking

- Parking ratios and quantity of spaces shall comply with the criteria set forth in the United City of Yorkville Zoning Ordinance.
- Parking areas should be designed and located so they provide safe and efficient vehicular and pedestrian circulation within a site.
- Minimize negative visual impacts from adjacent roadways.
- Break large expanses of pavement with landscape medians and islands.
- Divide parking areas which accommodate a large number of vehicles into a series of smaller, connected lots.
- Avoid situations where parking spaces directly abut structures.
- Separate parking aisles from interior collectors and entry drives whenever possible.



*Minimize negative visual impacts of parking from roadways*





- *Shared Parking*

Where opportunities exist for shared parking between uses with staggered peak parking demands, consider reducing the total number of parking spaces within each site or parcel. Parking should be shared between complementary uses such churches and office buildings.

- *Store Front & Street Parking Requirements*

All store front parking areas shall use angled parking or parallel parking. Areas shall be provided for sidewalks and landscaping between the store front and the edge of parking stall.

- *Bicycle*

To encourage and accommodate alternative transportation modes, provide bicycle parking within each building site. Locate bicycle parking areas so they are visible from building entrances and convenient for riders. Parking areas shall be landscaped in a manner consistent with pedestrian plazas. Also, bike racks should be of a style consistent with other site elements.

- **Substations/Water/Wastewater Stations**

Proposed electric substations, water pump stations and wastewater lift stations shall be screened from public views by a means of a 6 foot masonry wall on all sides with the exception of the area for gate access to the facility combined with landscaping. Service access shall be considered and incorporated into the screening program.

- **Detention**

- Drainage facilities should be used as an amenity to a development. If the existing topography allows, the location can be incorporated into an entry feature or can be the foundation for a park with trails and open space.
- Natural and/or vegetated drainage swales provide open space connections, filter runoff and improve the aesthetic appearance of development.
- Detention facilities should not be designed as to require chain link fencing or concrete walls. If such designs are required due to engineering requirements, consider using decorative modular stone to give the appearance of a retaining wall.
- Detention ponds located in the front yard building setback shall be designed as a curvilinear, contoured shape.



*Lake serves as main entry feature*



*Naturalistic drainage channel provides opportunities for trail connection*

**■ Location of Utilities**

Visual and sound impacts of utilities, mechanical equipment, data transmission dishes, towers and other equipment should be minimized in all development plans.

- Design and install all permanent utility service lines underground.
- During construction and maintenance, minimize disruptions to other sites and businesses within the City.
- Temporary overhead distribution power and telephone lines are permitted during construction but shall be removed immediately upon completion of site and building construction.
- Wherever possible, mount data transmission and receiving telecommunication devices at ground level to the rear of structures and screen views from adjacent roadways, pedestrian paths and building sites.
- Screen all electrical transformers, gas meters and other utility cabinets from view.
- Structures are prohibited from being located in utility easements. Avoid locating signs, special landscape features, etc. in utility easements.
- Air conditioning units, vent systems and other mechanical systems that must be located on building roofs shall be screened from sight at the ground plane.
- In residential communities:
  - Items requiring screening should be located on the rear or side yards when possible and should be integrated into the unit design.
  - Air conditioning units must be located behind a screen wall or planting hedge.
  - Utility meters must be located on side or rear elevations of the dwelling.

**■ Location of Service/Delivery/Trash/Storage Areas**

The visual impacts of service, delivery, trash and outdoor equipment or storage areas should be minimized, particularly relative to views from public roadways and pedestrian corridors. Thoughtful placement and integration into the architecture and site design is a priority for all sites.

- Orient service entrances, loading docks, waste disposal areas and other similar uses toward service roads and away from major streets and primary building entrances.
- Locate loading, service, trash and delivery areas so they do not encroach on any setbacks.



*Screen dumpsters with walls and materials that match architecture of primary building*

- Avoid locating service areas where they are visible from adjacent buildings or where they may impact view corridors. Such facilities are more appropriate at the rear of buildings or sites.
- Trash enclosures must be located away from residential property lines.
- Wherever possible, coordinate the locations of service areas between adjacent users or developments, so that service drives can be shared.
- Locate parking areas for outdoor equipment, trucks, trailers, service vehicles, etc. away from public parking lots and major pedestrian circulation routes. Unless totally out of view, screen these areas architecturally and with landscaping.
- All proposed dumpsters, trash receptacles, refuse storage containers, outdoor storage, and ground mounted equipment should be located within an enclosure providing screening along with landscaping along the perimeter. Such enclosures shall repeat materials and elements on the primary building.



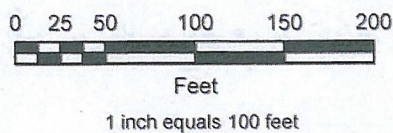
*Screen dumpsters with walls and materials that match architecture of primary building*



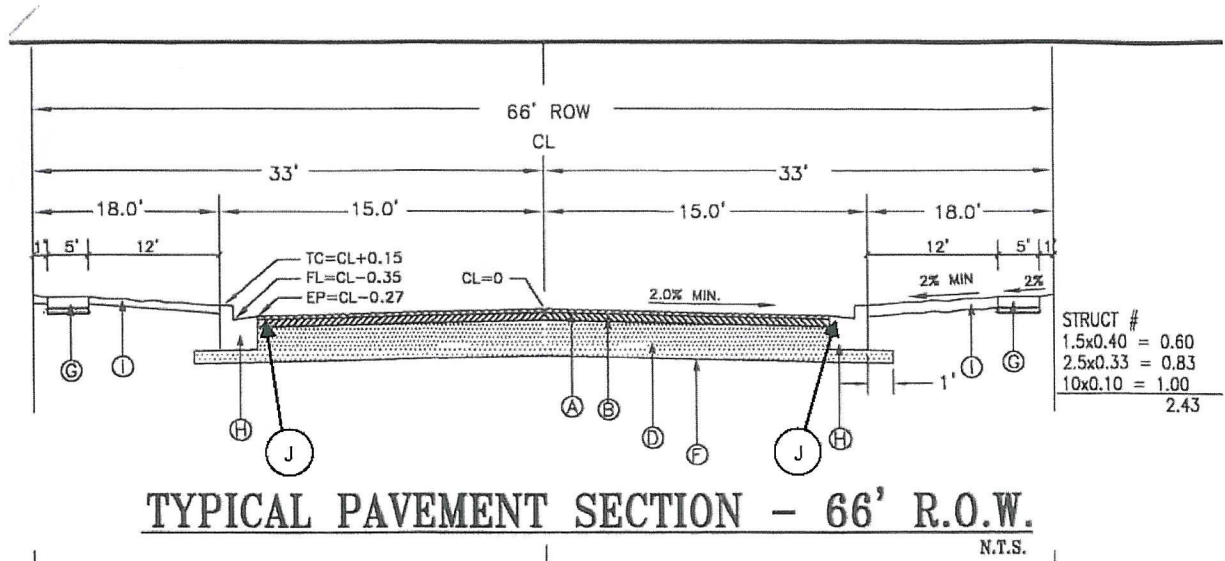
The Data is provided without warranty or any representation of accuracy, timeliness, or completeness. It is the responsibility of the "Requester" to determine accuracy, timeliness, completeness, and appropriateness of its use. The United City of Yorkville makes no warranties, expressed or implied, to the use of the Data.  
-Parcel Data provided by Kendall County GIS



# Windmill Farms Exhibit "G"







- (A) 1.5" BITUMINOUS CONCRETE SURFACE COURSE, CL I, TY. 2, MIX. D
- (B) 2.5" BITUMINOUS CONCRETE BINDER COURSE, CL I, TY. 2
- (C) 4.5" BITUMINOUS CONCRETE BINDER COURSE, CL I, TY. 2 (2 LIFTS)
- (D) 10" CRUSHED AGGREGATE SUB-BASE, TY. B.
- (E) 12" CRUSHED AGGREGATE SUB-BASE, TY. B.
- (F) COMPACTED SUBGRADE WITH GEO-TEXTILE FABRIC, AMOCO 4551 OR APPROVED EQUAL
- (G) 5" PCC SIDEWALK WITH W/4" CRUSHED AGG. SUB-BASE
- (H) COMB. CONC. CURB AND GUTTER, TYPE B-6.12
- (I) 6" TOP SOIL AND SEEDING

(J) Joint filling with hot-poured rubberized asphalt cement

EXHIBIT H - WINDMILL FARMS ANNEXATION - RESIDENTIAL FEE SCHEDULE			
	Name of Fee	Amount	Time of Payment
1	School District Transition Fee	\$3,000 per unit	Paid to School District Office prior to issuance for building permit
2	Yorkville Bristol Sanitary District Connection Fee	\$1,400 per unit	At time of building permit, paid at City Hall with separate check made out to YBSD
3	Yorkville Bristol Sanitary District Annexation Fee	3806 per acre	Paid for entire development, at time of annexation to sanitary district
4	Yorkville Bristol Sanitary District Infrastructure Fee	3806 per acre	Paid for entire development, at time of annexation to sanitary district
5	Residential Building Permit Fee	\$650 + \$.020 per square foot	Building Permit
6	Residential Water Connection Fee	\$3,700 per unit	Building Permit
7	Water Meter Cost (not applicable to fee lock)	\$390 per unit for SF	Building Permit
8	Residential City Sewer Connection Fee	\$2,000 per unit	Building Permit
9	Water and Sewer Inspection Fee	\$25 per unit	Building Permit
10	Public Walks and Driveway Inspection Fee	\$35 per unit	Building Permit
11a	Public Works (Development Impact Fee)	\$700 per unit	Building Permit
11b	Police (Development Impact Fee)	\$300 per unit	Building Permit
11c	Municipal Building (Development Impact Fee)	see "time of payment"	Municipal Building Impact Fee is set up as \$5,509 per unit if paid at time of permit, or \$3,288 per unit if paid at time of final plat for all units in the entirety of the annexed development.
11d	Library (Development Impact Fee)	\$500 per unit	Building Permit
11e	Parks and Rec (Development Impact Fee)	\$50 per unit	Building Permit
11f	Engineering (Development Impact Fee)	\$100 per unit	Building Permit
11g	Bristol Kendall Fire District (Development Impact Fee)	\$1,000 per unit	Building Permit
12	Parks Land Cash Fee	Calculated by ordinance, \$101,000 per acre	Building Permit or Final Plat, depending on annexation/development agreement and land/cash donations negotiated
13	School Land Cash Fee	Calculated by ordinance, \$101,000 per acre	Building Permit or Final Plat, depending on annexation/development agreement and land/cash donations negotiated
14	Road Contribution Fund	\$2,000 per unit	Building Permit
15	County Road Fee	\$1,707 per unit, escalating each calendar year at a rate determined by ordinance	Building Permit
16	Weather Warning Siren	\$75 per acre	Final Plat
17	Administration Review Fee	1.75% of Approved Engineer's Estimate of Cost of Land Improvements	Final Plat
18	Engineering Review Fee	1.25% of Approved Engineer's Estimate of Cost of Land Improvements	Final Plat
19	Engineering Coordination Fee	0.35% of Approved Engineer's Estimate of Cost of Land Improvements	Final Plat



# United City of Yorkville

EXHIBIT H - COMMERCIAL PERMIT FEES

County Seat of Kendall County  
800 Game Farm Road  
Yorkville, Illinois, 60560  
Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: www.yorkville.il.us

## COMMERCIAL PERMIT FEES

### Permit/Plan Review

Building Permit	\$750.00 plus \$0.20 per square foot
Plan Review	Based on building size (See Attached)

### Contributions

Development Fee	\$3000.00* - See Attached Ordinance 2004-55 (Increase in Bristol-Kendall Fire Protection District Fee)
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### Water/Sewer

Sewer Tap	See Attached Ordinance #96-11	
Water Tap	<u>Water Meter Size</u>	<u>Water Connection Fee</u>
	1"	\$ 3,700
	1 1/2"	\$ 4,000
	2"	\$ 5,000
	3"	\$ 8,000
	4"	\$15,000
	6" and larger	TBD

Water Meter	<u>Water Meter Size</u>	<u>Water Meter Price</u>
	1"	\$ 485.00
	1 1/2"	\$ 790.00
	2"	\$2800.00
	3"	\$3550.00
	4"	\$5420.00
	6"	\$8875.00

Engineering Inspections	\$60.00
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River Crossing Fee	\$25.00 per drain unit. See attached Ordinance 97-11
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\*\*Engineering and Landscaping review fees will be billed separately.

\*\*\* Please call the Yorkville Bristol Sanitary District for sanitary permit fees (630) 553-7657

# EXHIBIT H - MULTI-FAMILY PERMIT FEES

A. New Construction Per Unit	\$350.00 plus \$0.15 per s.f.
B. Remodeling Per Unit	\$175.00 plus \$0.10 per s.f.
C. Detached Garage Per Unit without Electrical	\$50.00
D. Detached Garage Per Unit with Electrical	\$100.00
E. Temporary to Start Construction	25% of full permit fee, not to be applied to the full permit fee
F. Temporary Certificate of Occupancy when Requested by the Builder when Circumstances <u>Do Not</u> Warrant	\$50 per unit (non-refundable)

## ALL OTHER USE GROUPS

<input type="checkbox"/> A. New Construction	\$750.00 plus \$0.20 per square foot
B. Additions	\$500.00 plus \$0.20 per square foot
C. Remodeling	\$350.00 plus \$0.10 per square foot
D. Temporary to Start Construction	25% of full permit fee, not to be applied to the full permit fee
E. Temporary Certificate of Occupancy when Requested by the Builder when Circumstances <u>Do Not</u> Warrant	\$200.00 (non-refundable)

**NOTE:** Building permit fee does not include the plan review fee for the "multiple-family residential use group" and "other use group" categories. The plan review fee will be based on the schedule following the permit fees. Plan review fees to the inspection firm will be paid at the same time as the building permit fee.

PLAN REVIEW FEES (May vary due to outside consultant's fee schedules.)

BUILDING CODE

<i>Building Size</i>	<i>Fee</i>
1 to 60,000 cubic feet	\$355.00
60,001 to 80,000 cubic feet	\$400.00
80,001 to 100,000 cubic feet	\$475.00
100,001 to 150,000 cubic feet	\$550.00
150,001 to 200,000 cubic feet	\$650.00
over 200,000 cubic feet	\$650.00 + \$6.50 per 10,000 cubic feet over 200,000

REMODELING PLAN REVIEW      1/2 of Plan Review Fee Listed Above

ELECTRICAL, MECHANICAL, OR PLUMBING PLAN REVIEW ONLY  
1/4 of Plan Review Fee Listed Above

FIRE DETECTION/ALARM SYSTEMS

\$115.00 per 10,000 square feet of floor area

FIRE SPRINKLER SYSTEMS

<i>Number of Sprinklers</i>	<i>Pipe Schedule</i>	<i>Hydraulic Calculated</i>
Up to 200	\$250.00	\$500.00
201-300	\$300.00	\$575.00
301-500	\$400.00	\$775.00
Over 500	\$450.00	\$850.00
PLUS, for each Sprinkler over 500:	\$0.60/each	\$0.95/each

ALTERNATE FIRE SUPPRESSION SYSTEMS

Standpipe	\$175.00 per Standpipe Riser (No charge with Sprinkler Review)
Specialized Extinguisher Agent (Dry or Other Chemical Agent)	\$125.00 per 50 pounds agent
Hood & Duct Cooking Extinguisher Agent	\$150.00 flat rate per system.

**NOTE:** If any plan has to be sent to an outside consultant other than the inspection firm, the outside consultant's fee(s) will be charged and that fee paid directly to the outside consultant.

**Product(s):** SubTrib\_Aurora Beacon News, Publicnotices.com

**AdSize(s):** 1 Column

**Run Date(s):** Friday, March 18, 2022

**Zone:** Full Run

**Color Spec.** B/W

## Preview

**PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING  
BEFORE  
UNITED CITY OF YORKVILLE  
CITY COUNCIL**

**NOTICE IS HEREBY GIVEN** a public hearing shall be held on an amendment to that certain Annexation Agreement (Windmill Farms) dated May 27, 2008, by and among Jake Land Group, LLC ("Original Owner"), and the United City of Yorkville, Kendall County, Illinois, on **April 12, 2022** at 7:00 p.m. at City Hall at the United City of Yorkville, 800 Game Farm Road, Yorkville, Illinois for the purpose of amending the Windmill Farms Annexation Agreement related to the zoning of a certain parcel into the B-3 General Business District. The purpose of the amendment is to allow for the establishment and operation of a professional services business within the existing residential structure on the proposed B-3 zoned parcel. The real property is approximately 1.17 acres and is situated south of Illinois State Route 71, at the northwest intersection of Wing Road and Illinois State Route 126. The common address is 8721 Route 126 in Yorkville, Illinois.

The legal description of said parcel is as follows:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 1,995.6 FEET TO THE CENTERLINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG SAID CENTERLINE OF ILLINOIS ROUTE 71, 1,411.3 FEET TO THE CENTERLINE EXTENDED NORTHWESTERLY OF THE PUBLIC ROAD RUNNING SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71, COMMONLY KNOWN AS WING ROAD; THENCE SOUTHEASTERLY

# Chicago Tribune

ALONG THE EXTENDED CENTERLINE AND THE CENTERLINE OF SAID PUBLIC ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 93 DEGREES 25 MINUTES TO THE RIGHT WITH THE PROLONGATION NORTHEASTERLY OF THE TANGENT TO THE CENTERLINE OF SAID ILLINOIS ROUTE 71 AT THE LAST DESCRIBED POINT, 761 FEET FROM THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG A LINE THAT FORMS AN ANGLE OF 79 DEGREES 47 MINUTES TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED LINE 265.6 FEET TO THE CENTERLINE OF ILLINOIS ROUTE 126; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE OF ILLINOIS ROUTE 126 TO THE CENTERLINE OF THE EASTERLY FORK OF THE PUBLIC ROAD AFORESAID WHICH RUNS SOUTHEASTERLY FROM SAID ILLINOIS ROUTE 71; THENCE NORTHWESTERLY ALONG THE CENTERLINE OF SAID PUBLIC ROAD TO THE POINT OF BEGINNING; IN THE TOWNSHIP OF KENDALL, KENDALL COUNTY, ILLINOIS.

PIN# 05-03-300-007

The public hearing may be continued from time to time without further notice being published.

All interested parties are invited to attend the public hearing and will be given an opportunity to be heard. Any written comments should be addressed to the United City of Yorkville Community Development Department, City Hall, 800 Game Farm Road, Yorkville, Illinois 60560, and will be accepted up to the date of the public hearing.

By order of the Corporate Authorities of the United City of Yorkville, Kendall County, Illinois.

JORI BEHLAND  
City Clerk  
3/18/22 7171893



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input checked="" type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Purchasing Manager	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #9

Tracking Number

EDC 2022-22

### Agenda Item Summary Memo

**Title:** Bristol Bay - Unit 3 (Final Plat Amendment)

**Meeting and Date:** Economic Development Committee – April 5, 2022

**Synopsis:** Proposed Plat of Resubdivision of Unit 3 in the Bristol Bay P.U.D.

#### Council Action Previously Taken:

Date of Action: CC – 09/13/05 Action Taken: Approval of Final Plat of Subdivision

Item Number: \_\_\_\_\_

**Type of Vote Required:** Majority

**Council Action Requested:** Vote

**Submitted by:** Krysti J. Barksdale-Noble, AICP

Community Development

Name

Department

#### Agenda Item Notes:

See attached memorandum.

*Have a question or comment about this agenda item?*

*Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at [agendas@yorkville.il.us](mailto:agendas@yorkville.il.us), post at [www.facebook.com/CityofYorkville](https://www.facebook.com/CityofYorkville), tweet us at @CityofYorkville, and/or contact any of your elected officials at [http://www.yorkville.il.us/gov\\_officials.php](http://www.yorkville.il.us/gov_officials.php)*





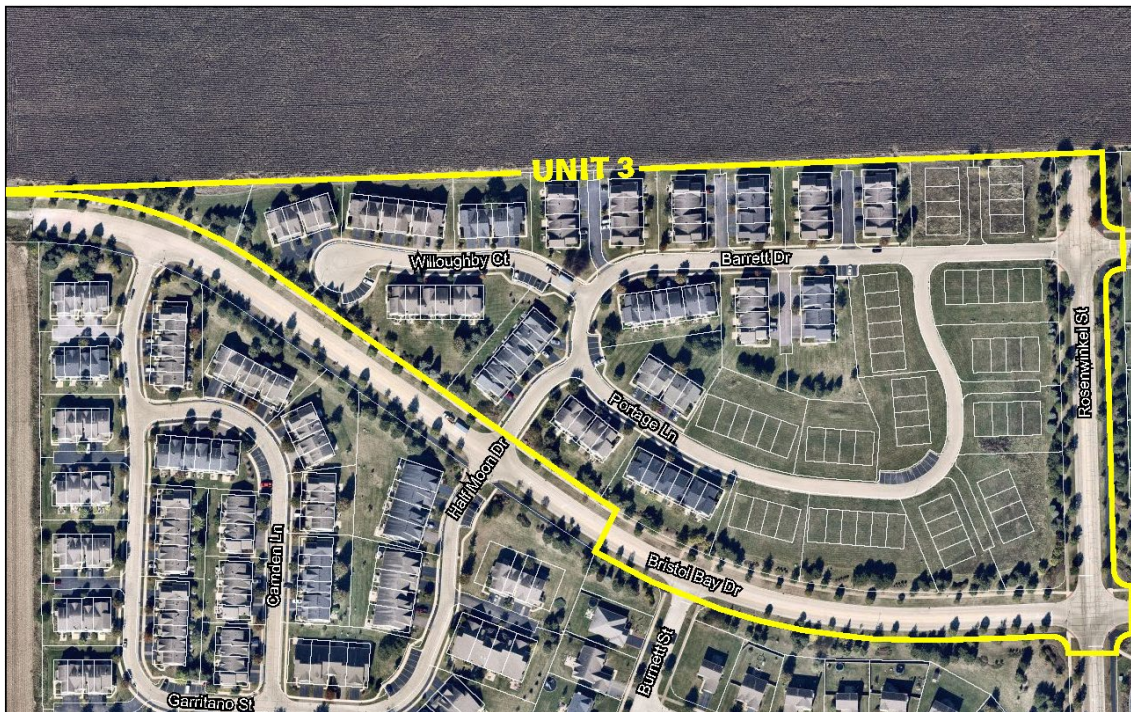
# Memorandum

To: Economic Development Committee  
From: Krysti J. Barksdale-Noble, Community Development Director  
CC: Bart Olson, City Administrator  
Brad Sanderson, EEI, City Engineer  
Date: March 14, 2022  
Subject: **PZC 2022-06 Bristol Bay – Unit 3 (Final Plat Amendment)**  
Proposed Final Plat Amendment for Townhomes

## Proposed Request:

The petitioner, Troy Mertz, on behalf of Bristol Bay Yorkville, LLC, is seeking Final Plat amendment approval to introduce a new townhome product for the remaining thirteen (13) lots within Unit 3. The change in product type will accommodate sixty-one (61) townhome units, varying between 4, 5 and 6 units per building in Bristol Bay Unit 3. This resulted in the interior building lot lines for Lots 1-13 requiring adjustments to properly fit the new housing product. It also created minor encroachments within the rear and side property lines of Lots 12, 13, 15, and 18.

The subject property, located east of N. Bridge Street (IL Route 47) and north of Bristol Bay Drive in the far northeast quadrant of the city, was originally annexed in 2005 and approved as a planned residential development via Ord. 2005-34, with roughly 2,075 single-family, duplex, townhome and condominium dwelling units. Currently, Unit 3 is approximately 55% built-out. In 2016, the former developer of the Bristol Bay subdivision, Pulte Homes, completed all mass grading, landscaping and public site improvements for Unit 3 and final acceptance from the City was approved on January 24, 2017. The successor developer, Bristol Bay Yorkville, LLC, purchased the unfinished units of the entire development from Pulte Homes in 2018.



## **Bristol Bay Unit 3**

United City of Yorkville, Illinois  
March 14, 2022



## **General PUD/Annexation Agreement Comments:**

### ***PLANNED UNIT DEVELOPMENT (PUD)***

Per Ordinance No. 2005-34, the subject property is currently zoned R-2D Two-Family Attached Residence District with a special use for a Planned Unit Development (PUD). Per Section 6, paragraph C of the annexation agreement, the developer may make minor changes to the Development Plan related to total number of dwelling units up to 2% subject to City administrative approval. In addition, this is consistent with the current minor PUD amendment process adopted by the City in 2014. *The following is a summary table of the minor PUD amendments to Bristol Bay Unit 3 currently under review by the City Administrator:*

### **Existing Residential Land Use**

Land Use	Dwelling Units (DU)	Dwelling Unit %	Gross Acreage	% of Total Acres	Density
Residential-Condominium	624	30%	40.1	12.0%	15.6 du/ac
Residential-Townhomes	802	39%	94.0	29.0%	8.5 du/ac
Residential-Duplex	182	9%	32.7	10.0%	5.6 du/ac
Residential-Single Family	467	22%	162.9	49.0%	2.9 du/ac
<b>TOTAL</b>	<b>2075</b>	<b>100.00%</b>	<b>329.7</b>	<b>100.00%</b>	<b>6.3 du/ac</b>

### **Proposed Residential Land Use**

Land Use	Dwelling Units (DU)	Dwelling Unit %	Gross Acreage	% of Total Acres	Density
Residential-Condominium	624	30%	40.1	12.0%	15.6 du/ac
Residential-Townhomes	803	39%	94.0	29.0%	8.5 du/ac
Residential-Duplex	182	9%	32.7	10.0%	5.6 du/ac
Residential-Single Family	467	22%	162.9	49.0%	2.9 du/ac
<b>TOTAL</b>	<b>2076</b>	<b>100.00%</b>	<b>329.7</b>	<b>100.00%</b>	<b>6.3 du/ac</b>

The proposed increase of one (1) townhome unit within Unit 3 of the Bristol Bay subdivision has no impact to the overall density or the unit mix of residential dwelling types in the development.

### ***BUILDING SETBACKS***

In addition to the minor increase in unit count, the developer's new product has a slightly revised building plan. While significantly similar in size, scale and character of the previously built townhome units of the former developer, the building footprints on four (4) lots minimally encroach into the required rear yard and side yard setbacks, as approved by the City Council via Bristol Bay Planned Unit Development (PUD) Agreement (Ord. 2005-34) and the recorded Final Plat (Res. 2005-59). Those include lots #12, 13, 15 and 18. *The requested encroachments also currently under review by the City Administrator as a minor PUD Amendment are as follows:*

### **REAR YARD ENCROACHMENTS**

LOT	ENCROACHMENT	CURRENT SETBACK	PROPOSED SETBACK	% CHANGE
Lot 12	0.24 feet	30 feet	29 feet	- 3%
Lot 15	0.25 feet	30 feet	29 feet	-3%
Lot 18	0.34 feet	30 feet	29 feet	-3%

### **SIDE YARD ENCROACHMENTS**

LOT	ENCROACHMENT	CURRENT SETBACK	PROPOSED SETBACK	% CHANGE
Lot 12	1.45 feet	20 feet	18 feet	- 10%
Lot 13	0.40 feet	20 feet	19 feet	-5%
Lot 18	1.0 feet	20 feet	19 feet	-5%

## ARCHITECTURAL STANDARDS/APPEARANCE CODE

The original annexation agreement (Ord. 2005-34) provided general architectural renderings and stated that the residential improvements shall be constructed substantially consistent with those renderings or adhere to the City's Appearance Code standards, whichever is the least restrictive. Per a recent request by staff, the petitioner agreed to incorporate a mix of at least two (2) of the following suggested architectural design elements within the front elevations of the proposed new townhomes to add visual interest:

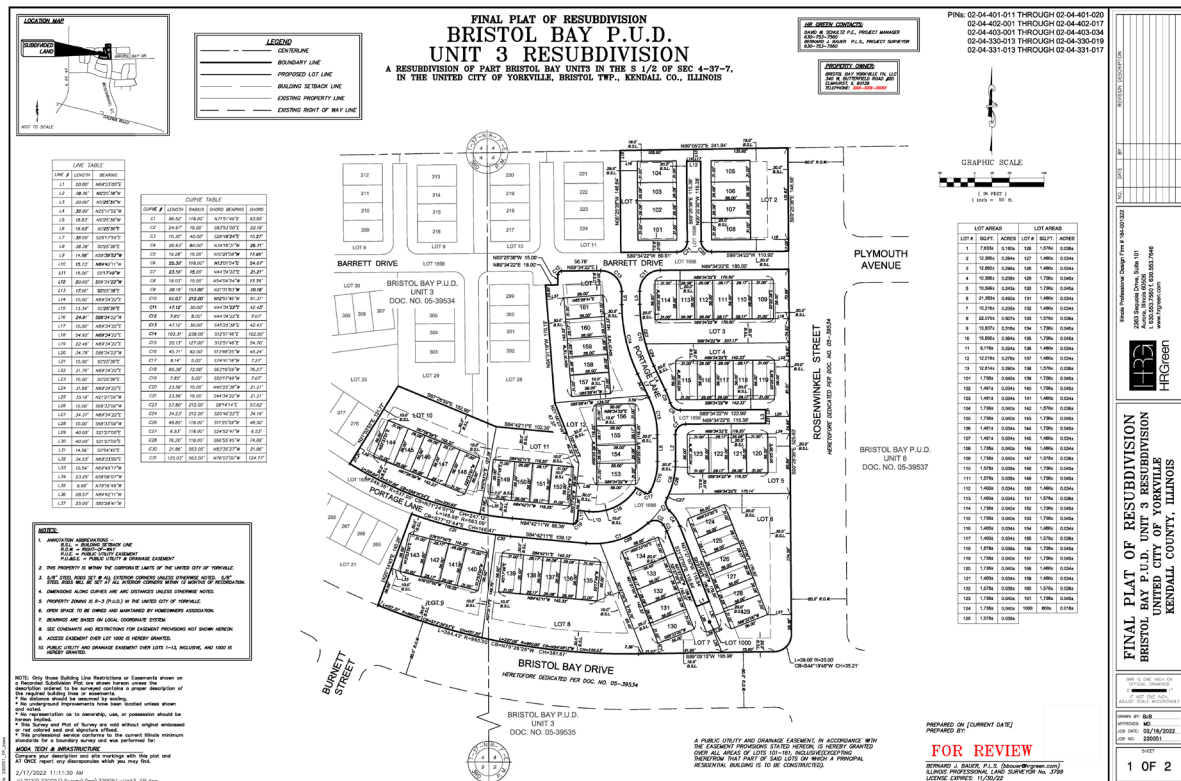
- Brick or shake style on side elevations that face the street
- Shutters on rear elevation windows
- French doors on patio
- Transom windows on center unit front doors
- Planter boxes

The petitioner has agreed to revise the townhome elevations for staff review prior to the submittal and issuance of building permits.

## Proposed Final Plat of Resubdivision:

The proposed Final Plat of Resubdivision for Bristol Bay P.U.D. Unit 3, as prepared by HR Green, generally conforms to the originally approved final plat but seeks minor modifications to the interior building lot lines to accommodate an updated housing product which slightly differs from the townhomes built over a decade ago.

The proposed final plat illustrates solid dark lines representing the new interior building lot lines for Bristol Bay Unit 3. The solid light gray lines represent the currently recorded interior building lot lines, depicted as follows:



**Staff Comments:**

The proposed Final Plat of Resubdivision Bristol Bay P.U.D. Unit 3 has been reviewed by the City's engineering consultant, Engineering Enterprises Inc. (EEI), for compliance with the Subdivision Control Ordinance's Standards for Specification. Comments dated March 7, 2022 were provided to the applicant (see attached). The petitioner has addressed the comments provided and resubmitted a revised plat dated 03/18/22 which is included in the packet. Staff supports approval of the revised final plat.

This matter was discussed at the March 10, 2022 Plan Council meeting and is scheduled for the April 13, 2022 Planning and Zoning Commission meeting. Per Section 6, paragraph A of the annexation agreement for Bristol Bay (Ord. 2005-34), the City shall act upon any final plat and final engineering or resubmitted final plat and final engineering within sixty (60) days of receipt. Initial receipt of the completed application was on February 17, 2022. Based upon the required City meeting schedule, the final approval of the requested Final Plat Amendment is proposed for April 26, 2022. Should you have any questions regarding this matter; staff will be available at Tuesday night's meeting.

**Attachments:**

1. Copy of Petitioner's Application
2. Exhibit A - Legal Description
3. Plan Council Packet for 03-10-22
4. EEI Letter to the City dated March 7, 2022.
5. Letter from HR Green responding to EEI review comments dated 03/18/22.
6. Final Plat of Resubdivision Bristol Bay P.U.D. Unit 3 Resubdivision prepared by HR Green, LTD and date revised 03/18/2022.





United City of Yorkville  
800 Game Farm Road  
Yorkville, Illinois, 60560  
Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: [www.yorkville.il.us](http://www.yorkville.il.us)

# APPLICATION FOR FINAL PLAT/REPLAT

## INTENT AND PURPOSE

The purpose of this application is to allow land to be divided and distributed in a way that conforms to the City of Yorkville's standards. The process for applying for a final plat or replat allows for the review of a proposed layout of divided lots and establishes standard design specification to ensure adequate roadways for safe and efficient traffic circulation is provided; safeguard against flood damage; promotes access and availability of utilities; and requires the provision of other necessary public improvements.

This packet explains the process to successfully submit and complete an Application for Final Plat/Replat. It includes a detailed description of the process, outlines required submittal materials, and contains the application.

For a complete explanation of what is legally required throughout the process, please refer to "Title 11 Subdivision Control" of the Yorkville, Illinois City Code.

## APPLICATION PROCEDURE

### STEP

# 1

### APPLICATION SUBMITTAL

#### SUBMIT APPLICATION, FEES, AND PLANS TO THE COMMUNITY DEVELOPMENT DEPT.

The following must be submitted:

- ☐ One (1) original signed and notarized application.
- ☐ Legal description of the property in Microsoft Word.
- ☐ Three (3) copies each of the exhibits and proposed drawings. All exhibits and plans must be an appropriate size for all details and descriptions to be legible.
- ☐ Appropriate application and filing fee. Checks may be written to the United City of Yorkville.
- ☐ Signed Applicant Deposit Account/Acknowledgment of Financial Responsibility form.
- ☐ One (1) electronic copy (PDF) of all materials submitted including application and exhibits.

Within one (1) week of submittal, the Community Development Department will determine if the application is complete or if additional information is needed. An incomplete submittal could delay the scheduling of the project.

The petitioner is responsible for payment of recording fees and outside consultant costs (i.e. legal review, engineering review, etc.). The petitioner will be required to establish a deposit account with the City to cover these fees.

Once submitted and complete, Community Development staff will provide a tentative schedule of meetings as well as all the needed documents for the process.

### STEP

# 2

### PLAN COUNCIL

#### MEETS ON THE 2ND & 4TH THURSDAY OF THE MONTH

***This step is dependent on the complexity of the request and may be skipped at the discretion of staff.***

The petitioner must present the proposed request to the Plan Council. The members of the Council include the Community Development Director, City Engineer, the Building Department Official, the Public Works Director, the Director of Parks and Recreation, a Fire Department Representative, and a Police Department Representative. This meeting is held to provide the petitioner with guidance from all City staff departments to ensure the petitioner is aware of all requirements and regulations for their development. Upon recommendation by the Plan Council, the petitioner will move forward to the Economic Development Committee.



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# APPLICATION FOR FINAL PLAT/REPLAT

## STEP 3

### ECONOMIC DEVELOPMENT COMMITTEE

#### MEETS ON THE 1ST TUESDAY OF THE MONTH

The petitioner must present the proposed plat to the Economic Development Committee. The committee consists of four alderman who will provide feedback to the petitioner regarding their request. This feedback allows the petitioner to gather comments and concerns prior to full City Council considerations. It also allows the City Council members to review the request prior to its arrival at City Council.

## STEP 4

### PLANNING & ZONING COMMISSION

#### MEETS ON THE 2ND WEDNESDAY OF THE MONTH

The petitioner will attend and present their plat to the Planning and Zoning Commission. The Planning and Zoning Commission will discuss the request and make a recommendation to City Council.

## STEP 5

### CITY COUNCIL

#### MEETS ON THE 2ND & 4TH TUESDAY OF THE MONTH

The petitioner will attend the City Council meeting where the recommendation of the plat will be considered. City Council will make the final approval of the plat. If approved, City staff will have a drafted ordinance to be signed by the Council and must be recorded with the County Clerk before any further steps may be taken by the petitioner.

## SAMPLE MEETING SCHEDULE

### MONTH 1

Su	M	Tu	W	Th	F	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30					

Plan Council Meeting

### MONTH 2

Su	M	Tu	W	Th	F	Sa
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

Economic Development  
Committee

### MONTH 3

Su	M	Tu	W	Th	F	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30

Planning & Zoning Commission

### MONTH 4

Su	M	Tu	W	Th	F	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

City Council

Meeting Date

Updated Materials Submitted for Meeting

This is a sample of what a schedule may look like after submission. The Step 1 Submission must be completed before the Plan Council Meeting can be scheduled. This timeline represents an ideal schedule. Throughout the review process, there may be requests or changes to the submission requested by the committees which may delay the meeting schedule. As illustrated, there is a small amount of time between meeting dates and the deadline for updated materials to be submitted for review. Depending on the complexity and nature of the request, this timeline may be extended to give the petitioner and staff enough time to review requested updates to the submission.



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# APPLICATION FOR FINAL PLAT/REPLAT

## DORMANT APPLICATIONS

The Community Development Director shall determine if an application meets or fails to meet the submission requirements. If the Director determines that the application is incomplete it will become dormant under these circumstances:

- The applicant has been notified of such deficiencies and has not responded or provided a time line for completing the application within ninety (90) days from the time of notification.
- The applicant has not responded in writing to a request for information or documentation from the initial planning and zoning commission review within six (6) months from the date of that request.
- The applicant has not responded to a request for legal or engineering deposit replenishment for city incurred costs and fees within ninety (90) days from the date of the request.

If the Community Development Director has sent the required notice and the applicant has not withdrawn their application or brought it into compliance, then the director shall terminate the application. After termination, the application shall not be reconsidered except after the filing of a completely new application.

Withdrawal or termination of an application shall not affect the applicant's responsibility for payment of any costs and fees, or any other outstanding debt owed to the city. The balance of any funds deposited with the city that is not needed to pay for costs and fees shall be returned to the applicant. (Ord. 2011-34, 7-26-2011)





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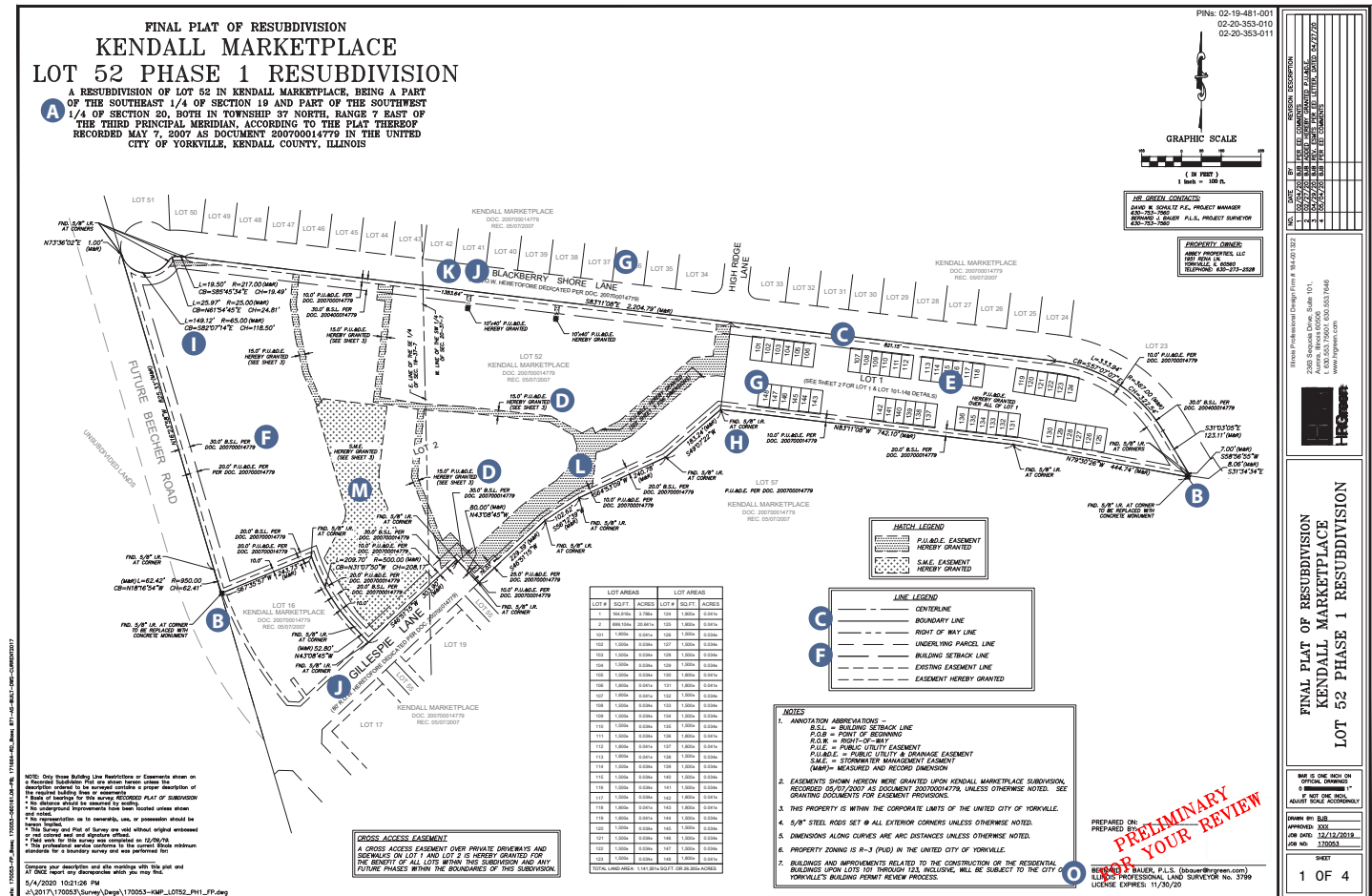
# APPLICATION FOR FINAL PLAT/REPLAT

## REQUIRED MATERIALS FOR FINAL PLAT OR SUBDIVISION PLAT

The following information must be shown on all final plats and final plats of resubdivision:

- |                                  |  |  |
|----------------------------------|--|--|
| <b>A</b> Legal Description       | <b>G</b> Consecutive Numbering & Lettering | <b>M</b> Watercourses and Drainage             |
| <b>B</b> Monuments               | <b>H</b> Lot Angles                        | <b>N</b> Access to Lake or Streams (not shown) |
| <b>C</b> Exterior Boundary Lines | <b>I</b> Circular Curves                   | <b>O</b> Survey                                |
| <b>D</b> Widths                  | <b>J</b> Street Names                      | <b>P</b> Certificates of Approval (not shown)  |
| <b>E</b> Lot Lines               | <b>K</b> Abutment                          |  |
| <b>F</b> Setback Lines           | <b>L</b> Dedicated Lands                   |  |

## FINAL PLAT OF RESUBDIVISION EXAMPLE





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# APPLICATION FOR FINAL PLAT/REPLAT

INVOICE & WORKSHEET PETITION APPLICATION			
<b>CONCEPT PLAN REVIEW</b>	<input type="checkbox"/> Engineering Plan Review deposit	\$500.00	Total: \$
<b>AMENDMENT</b>	<input type="checkbox"/> Annexation <input type="checkbox"/> Plan <input type="checkbox"/> Plat <input type="checkbox"/> P.U.D.	\$500.00 \$500.00 \$500.00 \$500.00	Total: \$
<b>ANNEXATION</b>	<input type="checkbox"/> \$250.00 + \$10 per acre for each acre over 5 acres  _____ - 5 = _____ x \$10 = _____ + \$250 = \$ _____ # of Acres                      Acres over 5                      Amount for Extra Acres                      Total Amount		Total: \$
<b>REZONING</b>	<input type="checkbox"/> \$200.00 + \$10 per acre for each acre over 5 acres <i>If annexing and rezoning, charge only 1 per acre fee; if rezoning to a PUD, charge PUD Development Fee - not Rezoning Fee</i>  _____ - 5 = _____ x \$10 = _____ + \$200 = \$ _____ # of Acres                      Acres over 5                      Amount for Extra Acres                      Total Amount		Total: \$
<b>SPECIAL USE</b>	<input type="checkbox"/> \$250.00 + \$10 per acre for each acre over 5 acres  _____ - 5 = _____ x \$10 = _____ + \$250 = \$ _____ # of Acres                      Acres over 5                      Amount for Extra Acres                      Total Amount		Total: \$
<b>ZONING VARIANCE</b>	<input type="checkbox"/> \$85.00 + \$500.00 outside consultants deposit		Total: \$
<b>PRELIMINARY PLAN FEE</b>	<input type="checkbox"/> \$500.00		Total: \$
<b>PUD FEE</b>	<input type="checkbox"/> \$500.00		Total: \$
<b>FINAL PLAT FEE</b>	<input type="checkbox"/> \$500.00		Total: \$
<b>ENGINEERING PLAN REVIEW DEPOSIT</b>	<input type="checkbox"/> Less than 1 acre <input type="checkbox"/> Over 1 acre, less than 10 acres <input type="checkbox"/> Over 10 acres, less than 40 acres <input type="checkbox"/> Over 40 acres, less than 100 acres <input type="checkbox"/> Over 100 acres	\$5,000.00 \$10,000.00 \$15,000.00 \$20,000.00 \$25,000.00	Total: \$
<b>OUTSIDE CONSULTANTS DEPOSIT</b>	<i>Legal, land planner, zoning coordinator, environmental services</i> For Annexation, Subdivision, Rezoning, and Special Use:  <input type="checkbox"/> Less than 2 acres <input type="checkbox"/> Over 2 acres, less than 10 acres <input type="checkbox"/> Over 10 acres		Total: \$
<b>TOTAL AMOUNT DUE:</b>			



# APPLICATION FOR FINAL PLAT/REPLAT

[illegible]



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# APPLICATION FOR FINAL PLAT/REPLAT

## ATTORNEY INFORMATION

NAME: COMPANY:

MAILING ADDRESS:

CITY, STATE, ZIP: TELEPHONE:

EMAIL: FAX:

## ENGINEER INFORMATION

NAME: COMPANY:

MAILING ADDRESS:

CITY, STATE, ZIP: TELEPHONE:

EMAIL: FAX:

## LAND PLANNER/SURVEYOR INFORMATION

NAME: COMPANY:

MAILING ADDRESS:

CITY, STATE, ZIP: TELEPHONE:

EMAIL: FAX:

## ATTACHMENTS

Petitioner must attach a legal description of the property to this application and title it as "Exhibit A".

## AGREEMENT

I VERIFY THAT ALL THE INFORMATION IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE. I UNDERSTAND AND ACCEPT ALL REQUIREMENTS AND FEES AS OUTLINED AS WELL AS ANY INCURRED ADMINISTRATIVE AND PLANNING CONSULTANT FEES WHICH MUST BE CURRENT BEFORE THIS PROJECT CAN PROCEED TO THE NEXT SCHEDULED COMMITTEE MEETING.

I UNDERSTAND ALL OF THE INFORMATION PRESENTED IN THIS DOCUMENT AND UNDERSTAND THAT IF AN APPLICATION BECOMES DORMANT IT IS THROUGH MY OWN FAULT AND I MUST THEREFORE FOLLOW THE REQUIREMENTS OUTLINED ABOVE.

  
PETITIONER SIGNATURE

OWNER HEREBY AUTHORIZES THE PETITIONER TO PURSUE THE APPROPRIATE ENTITLEMENTS ON THE PROPERTY.

  
OWNER SIGNATURE



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# APPLICANT DEPOSIT ACCOUNT/ ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY

PROJECT NAME:	FUND ACCOUNT NUMBER:	PROPERTY ADDRESS:
------------------	-------------------------	-------------------

## PETITIONER DEPOSIT ACCOUNT FUND:

It is the policy of the United City of Yorkville to require any petitioner seeking approval on a project or entitlement request to establish a Petitioner Deposit Account Fund to cover all actual expenses occurred as a result of processing such applications and requests. Typical requests requiring the establishment of a Petitioner Deposit Account Fund include, but are not limited to, plan review of development approvals/engineering permits. Deposit account funds may also be used to cover costs for services related to legal fees, engineering and other plan reviews, processing of other governmental applications, recording fees and other outside coordination and consulting fees. Each fund account is established with an initial deposit based upon the estimated cost for services provided in the **INVOICE & WORKSHEET PETITION APPLICATION**. This initial deposit is drawn against to pay for these services related to the project or request. Periodically throughout the project review/approval process, the Financially Responsible Party will receive an invoice reflecting the charges made against the account. At any time the balance of the fund account fall below ten percent (10%) of the original deposit amount, the Financially Responsible Party will receive an invoice requesting additional funds equal to one-hundred percent (100%) of the initial deposit if subsequent reviews/fees related to the project are required. In the event that a deposit account is not immediately replenished, review by the administrative staff, consultants, boards and commissions may be suspended until the account is fully replenished. If additional funds remain in the deposit account at the completion of the project, the city will refund the balance to the Financially Responsible Party. A written request must be submitted by the Financially Responsible Party to the city by the 15th of the month in order for the refund check to be processed and distributed by the 15th of the following month. All refund checks will be made payable to the Financially Responsible Party and mailed to the address provided when the account was established.

## ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY

NAME:

COMPANY:

MAILING ADDRESS:

CITY, STATE, ZIP:

TELEPHONE:

EMAIL:

FAX:

## FINANCIALLY RESPONSIBLE PARTY:

I acknowledge and understand that as the Financially Responsible Party, expenses may exceed the estimated initial deposit and, when requested by the United City of Yorkville, I will provide additional funds to maintain the required account balance. Further, the sale or other disposition of the property does not relieve the individual or Company/Corporation of their obligation to maintain a positive balance in the fund account, unless the United City of Yorkville approves a Change of Responsible Party and transfer of funds. Should the account go into deficit, all City work may stop until the requested replenishment deposit is received.

PRINT NAME

TITLE

SIGNATURE\*

DATE

*\*The name of the individual and the person who signs this declaration must be the same. If a corporation is listed, a corporate officer must sign the declaration (President, Vice-President, Chairman, Secretary or Treasurer)*

## INITIAL ENGINEERING/LEGAL DEPOSIT TOTALS

### ENGINEERING DEPOSITS:

Up to one (1) acre	\$5,000
Over one (1) acre, but less than ten (10) acres	\$10,000
Over ten (10) acres, but less than forty (40) acres	\$15,000
Over forty (40) acres, but less than one hundred (100)	\$20,000
In excess of one hundred (100.00) acres	\$25,000

### LEGAL DEPOSITS:

Less than two (2) acres	\$1,000
Over two (2) acres, but less than ten (10) acres	\$2,500
Over ten (10) acres	\$5,000

**EXHIBIT A:**

**BRISTOL BAY – UNIT 3 FINAL PLAT OF RESUBDIVISION:**

LOTS 12 THROUGH 20, INCLUSIVE, LOTS 24 THROUGH 27, INCLUSIVE, LOTS 225 THROUGH 264, INCLUSIVE. AND LOTS 279 THROUGH 298, INCLUSIVE, IN BRISTOL BAY P.U.D., UNIT 3, BEING A SUBDIVISION OF PART OF THE SOUTH ONE-HALF OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 21, 2005, AS DOCUMENT NO. 200500039534, AS AFFECTED BY DOCUMENT NO. 200800014752, IN KENDALL COUNTY, ILLINOIS.



## **United City of Yorkville**

800 Game Farm Road

Yorkville, Illinois 60560

Telephone: 630-553-4350

Fax: 630-553-7575

### **PLAN COUNCIL AGENDA**

Thursday, March 10, 2022

9:00 a.m.

Remote Access via Zoom

1. Minutes for approval: November 9, 2021
2. PZC 2022-06 Bristol Bay – Unit 3 - Final Plat of Resubdivision
3. PZC 2022-07 Bristol Bay – Unit 13 – Final Plat of Subdivision

Adjournment





# Memorandum

To: Plan Council  
From: Krysti Barksdale-Noble, Community Development Director  
Date: March 7, 2022  
Subject: **PZC 2022-06 Bristol Bay – Unit 3 (Final Plat Amendment)**  
Proposed Final Plat Amendment for Townhomes

I have reviewed the application for Final Plat Amendment for Bristol Bay Unit 3, as submitted by David Schultz on behalf of Troy Mertz, Petitioner. The Final Plat of Resubdivision - Bristol Bay P.U.D. Unit 3 Resubdivision was prepared by HR Green and dated 02-16-2022.

The petitioner is seeking Final Plat amendment approval to introduce a new townhome product for the remaining thirteen (13) lots within Unit 3. The change in product type will result in sixty-one (61) townhome units, varying between 4, 5 and 6 units per building in Bristol Bay Unit 3. This will result in the interior building lot lines for Lots 12, 15, 18 and 13 requiring adjustment, and the minor encroachment within the rear and side property lines on the same lots. Based upon my review of the applications, documents, and plans; I have compiled the following comments:

## **GENERAL PUD/ANNEXATION AGREEMENT COMMENTS:**

1. **PLANNED UNIT DEVELOPMENT (PUD)** – Per Ordinance No. 2005-34, the subject property is currently zoned R-2D Two-Family Attached Residence District with a special use for a Planned Unit Development (PUD). Per Section 6, paragraph C of the annexation agreement, the developer may make minor changes to the Development Plan related to total number of dwelling units up to 2% subject to City administrative approval. In addition, this is consistent with the current minor PUD amendment process adopted by the City in 2014. The following is a summary table of the proposed minor PUD amendments to Bristol Bay Unit 3 under review by the City Administrator:

### **Existing Residential Land Use**

Land Use	Dwelling Units (DU)	Dwelling Unit %	Gross Acreage	% of Total Acres	Density
Residential-Condominium	624	30%	40.1	12.0%	15.6 du/ac
Residential-Townhomes	802	39%	94.0	29.0%	8.5 du/ac
Residential-Duplex	182	9%	32.7	10.0%	5.6 du/ac
Residential-Single Family	467	22%	162.9	49.0%	2.9 du/ac
<b>TOTAL</b>	<b>2075</b>	<b>100.00%</b>	<b>329.7</b>	<b>100.00%</b>	<b>6.3 du/ac</b>

### **Proposed Residential Land Use**

Land Use	Dwelling Units (DU)	Dwelling Unit %	Gross Acreage	% of Total Acres	Density
Residential-Condominium	624	30%	40.1	12.0%	15.6 du/ac
Residential-Townhomes	803	39%	94.0	29.0%	8.5 du/ac
Residential-Duplex	182	9%	32.7	10.0%	5.6 du/ac
Residential-Single Family	467	22%	162.9	49.0%	2.9 du/ac
<b>TOTAL</b>	<b>2076</b>	<b>100.00%</b>	<b>329.7</b>	<b>100.00%</b>	<b>6.3 du/ac</b>

The proposed increase of one (1) townhome unit within Unit 3 of the Bristol Bay subdivision has no impact to the overall density or the unit mix of residential dwelling types in the development.

2. **BUILDING SETBACKS** – In addition to the minor increase in unit count, the developer's new product has a slightly revised building plan. While significantly similar in size, scale and character of the previously built townhome units of the former developer, the building footprints on four (4) lots minimally encroach into the required rear yard and side yard setbacks, as approved by the City Council via Bristol Bay Planned Unit Development (PUD) Agreement (Ord. 2005-34) and the recorded Final Plat (Res. 2005-59). Those include lots #12, 13, 15 and 18.

The requested encroachments also currently under review by the City Administrator as a minor PUD Amendment are as follows:

#### **REAR YARD ENCROACHMENTS**

LOT	ENCROACHMENT	CURRENT SETBACK	PROPOSED SETBACK	% CHANGE
Lot 12	0.24 feet	30 feet	29 feet	- 3%
Lot 15	0.25 feet	30 feet	29 feet	-3%
Lot 18	0.34 feet	30 feet	29 feet	-3%

#### **SIDE YARD ENCROACHMENTS**

LOT	ENCROACHMENT	CURRENT SETBACK	PROPOSED SETBACK	% CHANGE
Lot 12	1.45 feet	20 feet	18 feet	- 10%
Lot 13	0.40 feet	20 feet	19 feet	-5%
Lot 18	1.0 feet	20 feet	19 feet	-5%

3. **ARCHITECTURAL STANDARDS/APPEARANCE CODE** – The original annexation agreement (Ord. 2005-34) provided general architectural renderings (Exhibit R) and stated that the residential improvements shall be constructed substantially consistent with those renderings or adhere to the City's Appearance Code standards, whichever is the least restrictive.
4. **RECENT ARCHITECTURAL DESIGN MODIFICATIONS** – Per a recent request by staff in an email dated January 26, 2022, the petitioner agreed to incorporate a mix of at least two (2) of the following suggested architectural design elements within the front elevations of the proposed new townhomes to add visual interest:
  - a. Brick or shake style on side elevations that face the street
  - b. Shutters on rear elevation windows
  - c. French doors on patio
  - d. Transom windows on center unit front doors
  - e. Planter boxes

Staff requests to review the final building elevations prior to issuance of building permits.

**FINAL PLAT OF RESUBDIVISION COMMENTS:**

1. **TIMING OF FINAL PLAT** – Per Section 6, paragraph A of the annexation agreement for Bristol Bay (Ord. 2005-34), the City hall act upon any final plat and final engineering or resubmitted final plat and final engineering within sixty (60) days of receipt. Initial receipt of the completed application was on February 17, 2022, based upon the required City meeting schedule, the final approval of the requested Final Plat Amendment is proposed as April 26, 2022.



*Engineering Enterprises, Inc.*

March 7, 2022

Ms. Krysti Barksdale-Noble  
Community Development Director  
United City of Yorkville  
800 Game Farm Road  
Yorkville, IL 60560

**Re: *Bristol Bay – Unit 3***  
***Final Plat of Resubdivision Review***  
***United City of Yorkville, Kendall County, Illinois***

Dear Krysti:

We are in receipt of the following items for the above referenced project:

- Final Plat for Resubdivision Bristol Bay P.U.D Unit 3 Resubdivision dated February 16, 2022 and prepared by HR Green
- Exhibit A prepared by HR Green
- Application for Final Plat/Replat dated February 3, 2022

Our review of these plans is to generally determine their compliance with local ordinances and whether the improvements will conform to existing local systems and equipment. This review and our comments do not relieve the designer from his duties to conform to all required codes, regulations, and acceptable standards of engineering practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review, we cannot and do not assume responsibility for design errors or omissions in the plans. As such, we offer the following comments:

1. Access easement provisions should be noted.
2. The two proposed concrete monuments should be shown.

Ms. Krysti Barksdale-Noble

March 7, 2022

Page 2 of 2

The plat should be revised and resubmitted for further review. If you have any questions or require additional information, please contact our office.

Respectfully Submitted,

ENGINEERING ENTERPRISES, INC.

A handwritten signature in black ink, appearing to read 'B. Sanderson', with a long horizontal line extending to the right.

Bradley P. Sanderson, P.E.  
Chief Operating Officer / President

pc: Mr. Bart Olson, City Administrator (via e-mail)  
Ms. Erin Willrett, Assistant City Administrator (via e-mail)  
Mr. Jason Engberg, Senior Planner (via e-mail)  
Mr. Eric Dhuse, Director of Public Works (via e-mail)  
Mr. Pete Ratos, Building Department (via e-mail)  
Ms. Dee Weinert, Permit Tech (via e-mail)  
Ms. Jori Behland, City Clerk (via e-mail)  
Mr. Troy Mertz, Moda Tech & Infrastructure (via e-mail)  
Mr. David Schultz, HR Green (via e-mail)  
TNP, NLS EEI (Via e-mail)



▶ 2363 Sequoia Drive | Suite 101  
Aurora, IL 60506  
**Main** 630.553.7560 + **Fax** 713.965.0044  
▶ **HRGREEN.COM**

March 18, 2022

United City of Yorkville  
Ms. Krysti Barksdale-Noble  
Community Development Director  
800 Game Farm Road  
Yorkville, IL 60506

RE: Bristol Bay – Unit 3  
Final Plat of Resubdivision Review  
Response to Review Comments No. 1  
HR Green Job.: 220051

Dear Ms. Barksdale-Noble:

Please see below our responses to Engineering Enterprises, Inc. review comment letter dated March 7, 2022. Responses to each comment are shown in **bold** following the comment.

#### Review Comments

1. Access easement provisions should be noted.  
**RESPONSE: Added as requested.**
2. The two proposed concrete monuments should be shown.  
**RESPONSE: Added as requested.**

If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,

**HR GREEN, INC.**

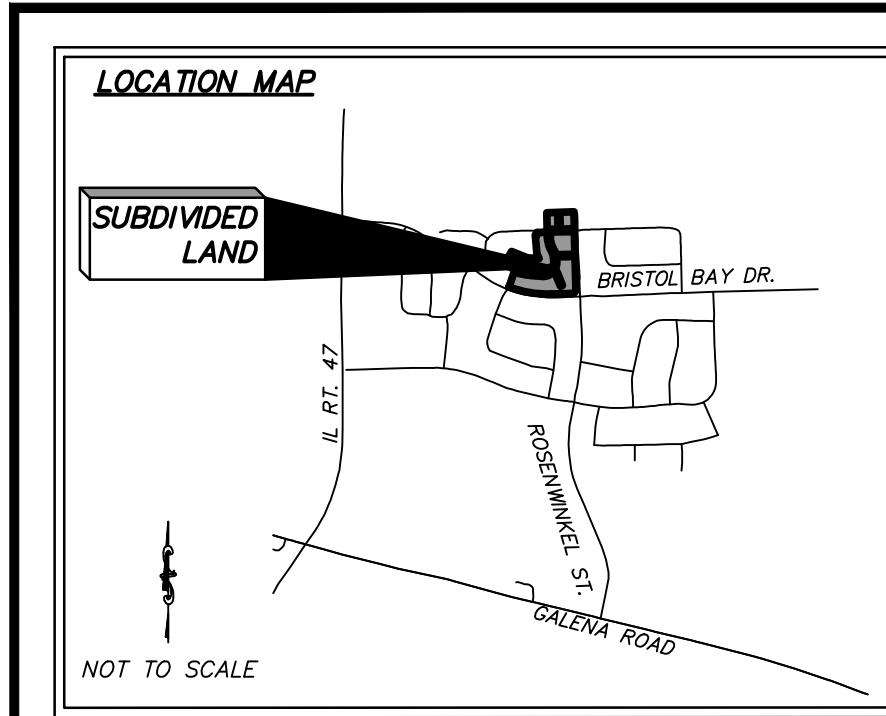
A handwritten signature in black ink, appearing to read 'David Schultz'.

David Schultz, PE, LEED AP  
Project Manager

DS/ag

\\hrgreen.com\HRG\Data\2022\220051\Design\Deliverables\OUTGOING\ltr-031722-220051\_Unit3\_Comment Response#1.docx





LEGEND

---	CENTERLINE
---	BOUNDARY LINE
---	PROPOSED LOT LINE
---	BUILDING SETBACK LINE
---	EXISTING PROPERTY LINE
---	EXISTING RIGHT OF WAY LINE

FINAL PLAT OF RESUBDIVISION  
BRISTOL BAY P.U.D.  
UNIT 3 RESUBDIVISION  
A RESUBDIVISION OF PART BRISTOL BAY UNIT3 IN THE S 1/2 OF SEC 4-37-7,  
IN THE UNITED CITY OF YORKVILLE, BRISTOL TWP., KENDALL CO., ILLINOIS

HR GREEN CONTACTS:  
DAVID W. SCHULTZ P.E., PROJECT MANAGER  
630-753-7560  
BERNARD J. BAUER P.L.S., PROJECT SURVEYOR  
630-753-7560

PROPERTY OWNER:  
BRISTOL BAY YORKVILLE FN, LLC  
340 W. BUTTERFIELD ROAD #20  
ELMHURST, IL 60126  
TELEPHONE: 630-834-0722

PINS: 02-04-401-011 THROUGH 02-04-401-020  
02-04-402-001 THROUGH 02-04-402-017  
02-04-403-001 THROUGH 02-04-403-034  
02-04-330-013 THROUGH 02-04-330-019  
02-04-331-013 THROUGH 02-04-331-017

LINE TABLE

LINE #	LENGTH	BEARING
L1	20.00'	N88°33'00"E
L2	38.36'	N02°53'38"W
L3	20.00'	N02°53'38"W
L4	38.00'	N25°17'55"W
L5	18.83'	N02°53'38"W
L6	18.83'	S02°53'38"E
L7	38.00'	S25°17'55"E
L8	38.36'	S02°53'38"E
L9	14.86'	N58°39'52"W
L10	15.73'	N84°42'11"W
L11	15.00'	S51°7'49"W
L12	20.00'	S89°34'22"W
L13	17.16'	S02°53'38"E
L14	10.00'	N89°34'22"E
L15	13.34'	S02°53'38"E
L16	24.91'	S89°34'22"W
L17	10.00'	N89°34'22"E
L18	54.92'	N89°34'22"E
L19	22.46'	N89°34'22"E
L20	34.79'	S89°34'22"W
L21	10.00'	S02°53'38"E
L22	21.76'	N89°34'22"E
L23	10.00'	S02°53'38"E
L24	31.89'	N89°34'22"E
L25	35.18'	N21°27'00"W
L26	10.00'	S68°33'00"W
L27	34.37'	N89°34'22"E
L28	10.00'	S68°33'00"W
L29	40.00'	S21°27'00"E
L30	40.00'	S21°27'00"E
L31	14.56'	S05°44'55"E
L32	34.53'	N68°33'00"E
L33	12.54'	N69°45'17"W
L34	23.25'	N58°06'07"W
L35	9.95'	N79°16'49"W
L36	28.57'	N84°42'11"W
L37	25.00'	S85°28'41"W

CURVE TABLE

CURVE #	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	96.52'	118.00'	N71°51'49"E	93.85'
C2	24.97'	15.00'	S83°53'00"E	22.18'
C3	10.30'	40.00'	S28°49'24"E	10.27'
C4	26.93'	60.00'	N34°18'31"W	26.71'
C5	19.28'	15.00'	N10°21'08"W	17.98'
C6	55.38'	118.00'	N13°01'04"E	54.87'
C7	23.56'	15.00'	N44°34'22"E	21.21'
C8	19.03'	15.00'	N54°04'54"W	17.78'
C9	20.19'	153.00'	N21°31'03"W	20.18'
C10	92.03'	212.00'	N12°51'46"W	91.31'
C11	47.12'	30.00'	N44°34'22"E	42.43'
C12	7.85'	5.00'	N44°34'22"E	7.07'
C13	47.12'	30.00'	S45°25'38"E	42.43'
C14	103.31'	238.00'	S12°51'46"E	102.50'
C15	55.13'	127.00'	S12°51'46"E	54.70'
C16	45.71'	92.00'	S13°48'25"W	45.24'
C17	8.14'	5.00'	S74°41'18"W	7.27'
C18	80.38'	72.00'	S63°18'59"W	76.27'
C19	7.85'	5.00'	S50°17'49"W	7.07'
C20	23.56'	15.00'	N45°25'38"W	21.21'
C21	23.56'	15.00'	S44°34'22"W	21.21'
C23	57.80'	212.00'	S8°14'14"E	57.62'
C24	34.23'	212.00'	S20°40'22"E	34.19'
C26	48.85'	118.00'	S11°25'59"W	48.50'
C27	6.53'	118.00'	S24°52'41"W	6.53'
C28	76.20'	118.00'	S66°55'45"W	74.88'
C30	21.86'	563.00'	N83°33'27"W	21.86'
C31	125.03'	563.00'	N76°07'00"W	124.77'

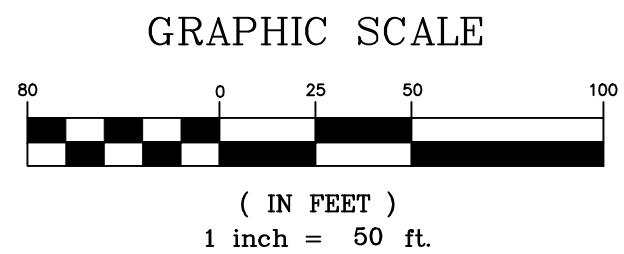
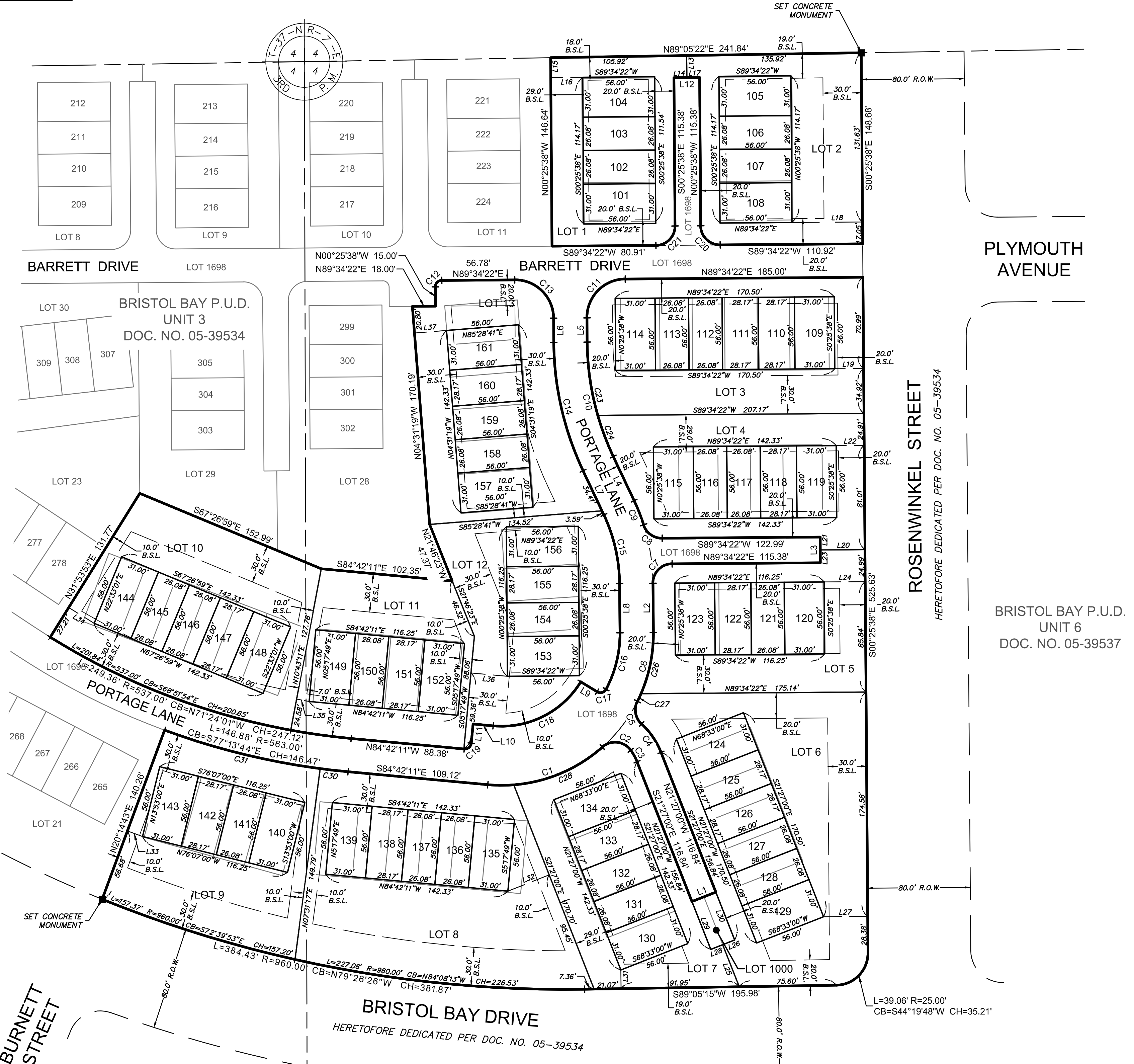
NOTES:

- ANNOTATION ABBREVIATIONS -  
B.S.L. = BUILDING SETBACK LINE  
R.O.W. = RIGHT-OF-WAY  
P.U.E. = PUBLIC UTILITY EASEMENT  
P.U.D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT
- THIS PROPERTY IS WITHIN THE CORPORATE LIMITS OF THE UNITED CITY OF YORKVILLE.
- 5/8" STEEL RODS SET @ ALL EXTERIOR CORNERS UNLESS OTHERWISE NOTED. 5/8" STEEL RODS WILL BE SET AT ALL INTERIOR CORNERS WITHIN 12 MONTHS OF RECORDATION.
- DIMENSIONS ALONG CURVES ARE ARC DISTANCES UNLESS OTHERWISE NOTED.
- PROPERTY ZONING IS R-3 (P.U.D.) IN THE UNITED CITY OF YORKVILLE.
- OPEN SPACE TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION.
- BEARINGS ARE BASED ON LOCAL COORDINATE SYSTEM.
- SEE COVENANTS AND RESTRICTIONS FOR EASEMENT PROVISIONS NOT SHOWN HEREON.
- ACCESS EASEMENT OVER LOT 1000 IS HEREBY GRANTED.
- PUBLIC UTILITY AND DRAINAGE EASEMENT OVER LOTS 1-13, INCLUSIVE, AND 1000 IS HEREBY GRANTED.

NOTE: Only those Building Line Restrictions or Easements shown on a Recorded Subdivision Plat are shown hereon unless the description ordered to be surveyed contains a proper description of the required building lines or easements.  
\* No distance should be assumed by scaling.  
\* No underground improvements have been located unless shown and noted.  
\* No representation as to ownership, use, or possession should be hereon implied.  
\* This Survey and Plat of Survey are void without original embossed or red colored seal and signature affixed.  
\* This professional service conforms to the current Illinois minimum standards for a boundary survey and was performed for:

MODA TECH & INFRASTRUCTURE

Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.  
3/18/2022 2:06:04 PM  
J:\2022\220051\Survey\Drawg\220051-Unit3\_FP.dwg



LOT AREAS				LOT AREAS			
LOT #	SQ.FT.	ACRES		LOT #	SQ.FT.	ACRES	
1	7,833±	0.180±		126	1,578±	0.036±	
2	12,385±	0.284±		127	1,460±	0.034±	
3	12,882±	0.296±		128	1,460±	0.034±	
4	10,366±	0.238±		129	1,736±	0.040±	
5	10,599±	0.243±		130	1,736±	0.040±	
6	21,353±	0.490±		131	1,460±	0.034±	
7	10,216±	0.235±		132	1,460±	0.034±	
8	22,070±	0.507±		133	1,578±	0.036±	
9	13,837±	0.318±		134	1,736±	0.040±	
10	15,850±	0.364±		135	1,736±	0.040±	
11	9,776±	0.224±		136	1,460±	0.034±	
12	12,019±	0.278±		137	1,460±	0.034±	
13	12,614±	0.290±		138	1,578±	0.036±	
101	1,736±	0.040±		139	1,736±	0.040±	
102	1,461±	0.034±		140	1,736±	0.040±	
103	1,461±	0.034±		141	1,460±	0.034±	
104	1,736±	0.040±		142	1,578±	0.036±	
105	1,736±	0.040±		143	1,736±	0.040±	
106	1,461±	0.034±		144	1,736±	0.040±	
107	1,461±	0.034±		145	1,460±	0.034±	
108	1,736±	0.040±		146	1,460±	0.034±	
109	1,736±	0.040±		147	1,578±	0.036±	
110	1,578±	0.036±		148	1,736±	0.040±	
111	1,578±	0.036±		149	1,736±	0.040±	
112	1,460±	0.034±		150	1,460±	0.034±	
113	1,460±	0.034±		151	1,578±	0.036±	
114	1,736±	0.040±		152	1,736±	0.040±	
115	1,736±	0.040±		153	1,736±	0.040±	
116	1,460±	0.034±		154	1,460±	0.034±	
117	1,460±	0.034±		155	1,578±	0.036±	
118	1,578±	0.036±		156	1,736±	0.040±	
119	1,736±	0.040±		157	1,736±	0.040±	
120	1,736±	0.040±		158	1,460±	0.034±	
121	1,460±	0.034±		159	1,460±	0.034±	
122	1,578±	0.036±		160	1,578±	0.036±	
123	1,736±	0.040±		161	1,736±	0.040±	
124	1,736±	0.040±		1000	800±	0.018±	
125	1,578±	0.036±					

FINAL PLAT OF RESUBDIVISION  
BRISTOL BAY P.U.D. UNIT 3 RESUBDIVISION  
UNITED CITY OF YORKVILLE  
KENDALL COUNTY, ILLINOIS

BAR IS ONE INCH ON  
OFFICIAL DRAWINGS  
IF NOT ONE INCH,  
ADJUST SCALE ACCORDINGLY

DRAWN BY: BJB  
APPROVED: MD  
JOB DATE: 02/16/2022  
JOB NO: 220051

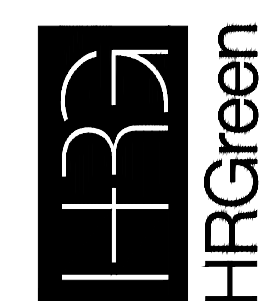
FOR REVIEW

BERNARD J. BAUER, P.L.S. (bbauer@hrgreen.com)  
ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3799  
LICENSE EXPIRES: 11/30/22

PREPARED ON [CURRENT DATE]  
PREPARED BY:

Illinois Professional Design Firm # 184-001322

2363 Sequoia Drive, Suite 101  
Aurora, Illinois 60506  
t. 630.553.7560 f. 630.553.7646  
www.hrgreen.com











Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input checked="" type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Purchasing Manager	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #10

Tracking Number

EDC 2022-23

### Agenda Item Summary Memo

**Title:** Bristol Bay - Unit 13 (Final Plat)

**Meeting and Date:** Economic Development Committee – April 5, 2022

**Synopsis:** Proposed Final Plat of Subdivision of Unit 13 in the Bristol Bay P.U.D.

### Council Action Previously Taken:

Date of Action: CC – 11/28/06 Action Taken: Approval of Final Plat of Subdivision

Item Number: PC 2006-70

**Type of Vote Required:** Majority

**Council Action Requested:** Vote

**Submitted by:** Krysti J. Barksdale-Noble, AICP

Community Development

Name

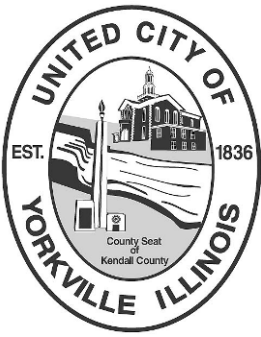
Department

### Agenda Item Notes:

See attached memorandum.

*Have a question or comment about this agenda item?*

*Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at [agendas@yorkville.il.us](mailto:agendas@yorkville.il.us), post at [www.facebook.com/CityofYorkville](https://www.facebook.com/CityofYorkville), tweet us at @CityofYorkville, and/or contact any of your elected officials at [http://www.yorkville.il.us/gov\\_officials.php](http://www.yorkville.il.us/gov_officials.php)*



# Memorandum

To: Economic Development Committee  
From: Krysti J. Barksdale-Noble, Community Development Director  
CC: Bart Olson, City Administrator  
Brad Sanderson, EEI, City Engineer  
Date: March 15, 2022  
Subject: **PZC 2022-07 Bristol Bay – Unit 13 (Final Plat of Subdivision)**  
Proposed Final Plat Approval for Single-Family Lots

## Proposed Request:

The petitioner, Troy Mertz, on behalf of Bristol Bay Yorkville, LLC, is seeking Final Plat approval to subdivide the approximately 25-acre vacant parcel into 69 lots consisting of 68 single-family units and a 3.25-acre park site in Bristol Bay Unit 13. The lots are currently under contract with NVR, Inc. (parent company of Ryan Homes) who intends to be the homebuilder for these units.

The subject property, located east of Rosenwinkel St. and north of Galena Road in the far northeast quadrant of the city, was originally annexed and approved as part of the Bristol Bay planned residential development in 2005. Although the Final Plat of Subdivision for Bristol Bay Unit 13 was approved via Resolution No. 2006-103 in 2006, it was never recorded. Per Section 11-2-3H of the Subdivision Control Ordinance, final plats must be recorded with the County Recorder of Deeds within thirty (30) days from the date of final approval, or final approval shall be considered null and void. Additionally, in 2017, prior to the former developer, Pulte Homes, selling the unsubdivided unit to Bristol Bay Yorkville, LLC, most of the underground public improvements (sanitary sewer, storm sewer and water main) were completed and inspected by the city's engineering consultant, EEI.



## **Bristol Bay Unit 13**

United City of Yorkville, Illinois  
March 14, 2022



## General PUD/Annexation Agreement Comments:

### *ARCHITECTURAL STANDARDS/APPEARANCE CODE*

The original annexation agreement (Ord. 2005-34) provided general architectural renderings and stated that the residential improvements shall be constructed substantially consistent with those renderings or adhere to the City's Appearance Code standards, whichever is the least restrictive. Additionally, Ord. 2005-34 requires the developer to impose covenants, conditions and restrictions relating to façade materials, accessory structures, and other building restrictions at the time of final plat submittal for each unit. Exhibit R of the original annexation agreement are attached for your reference.

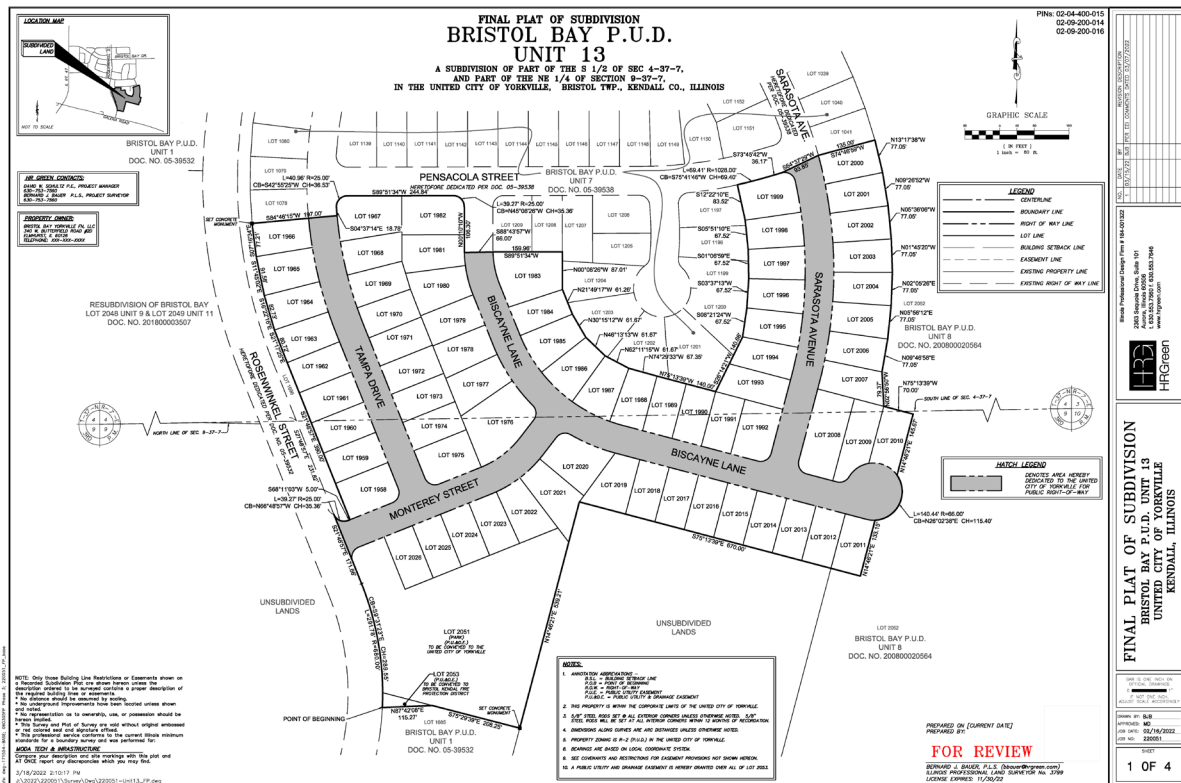
Staff will require submittal and review of the proposed HOA covenants prior to Planning and Zoning Commission consideration. We also will require review of the proposed single-family building elevations prior to the submittal and issuance of building permits.

### *PARK LAND CASH CONTRIBUTION*

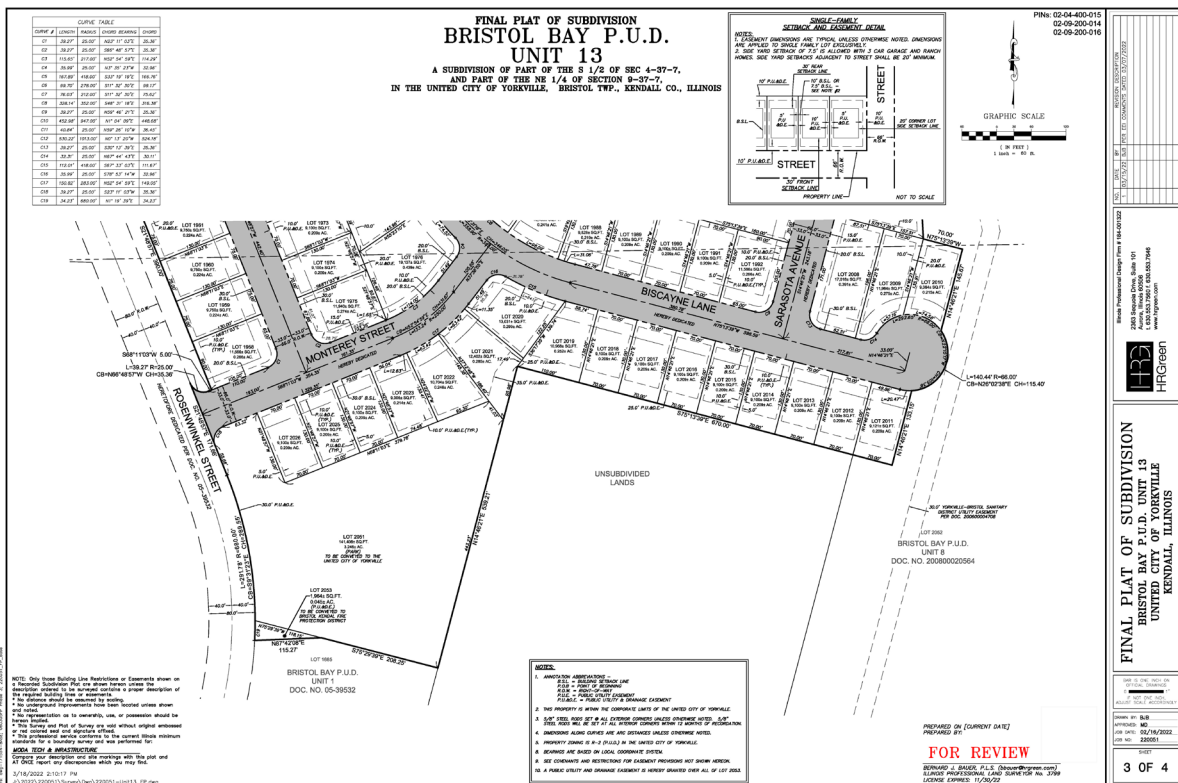
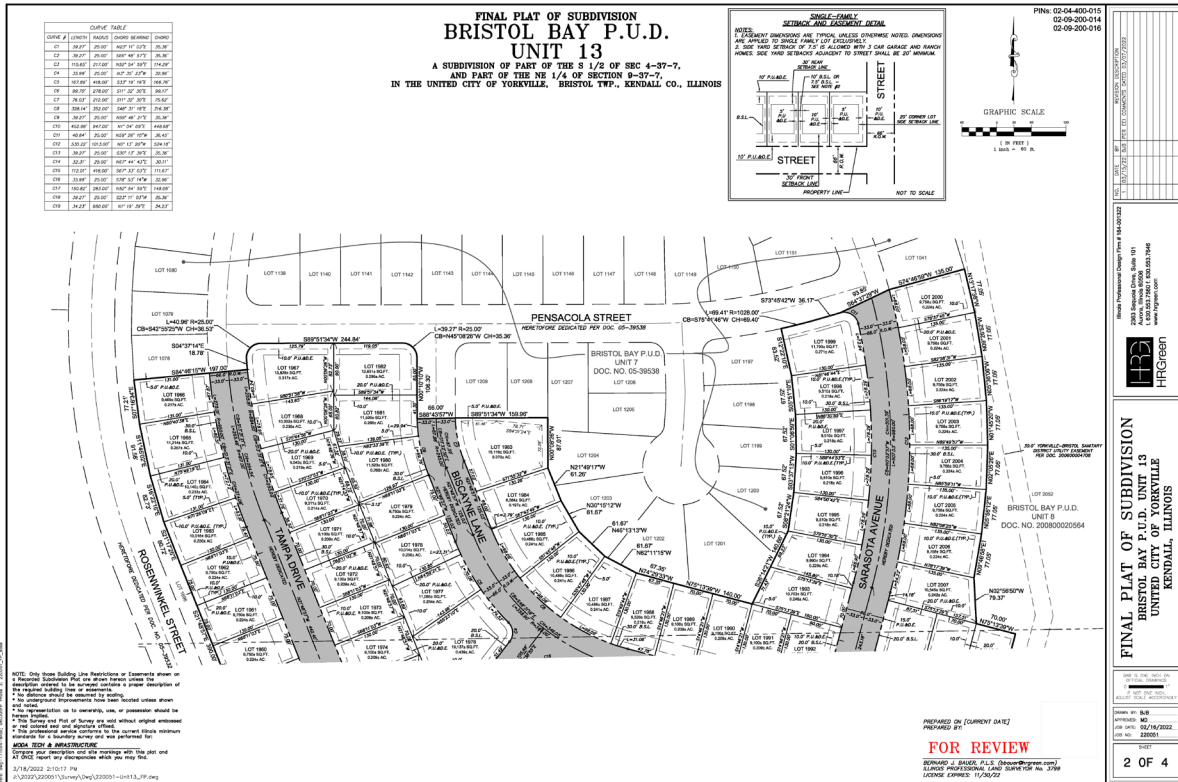
Per the original annexation agreement and the second amended agreement (Ord. 2010-32), \$50,000 parks-land cash fee for lot 1685 (fire station) will be due prior to recording of the final plat for Unit 13. Staff will require payment prior to City signature of the proposed plat.

## Proposed Final Plat of Resubdivision:

The proposed Final Plat of Subdivision for Bristol Bay P.U.D. Unit 13, as prepared by HR Green, illustrates the proposed 68 single-family lots and park site. The final plat generally conforms to the previously approved planned unit development concept plan and Preliminary Plan, and is depicted below:







## Staff Comments:

The proposed Final Plat of Subdivision Bristol Bay P.U.D. Unit 13 has been reviewed by the City's engineering consultant, Engineering Enterprises Inc. (EEI), for compliance with the Subdivision Control Ordinance's Standards for Specification. Comments dated March 7, 2022 were provided to the

applicant (see attached). The petitioner has addressed the comments provided and resubmitted a revised plat dated 03/15/22 which is included in the packet. Staff supports approval of the revised final plat.

This matter was discussed at the March 10, 2022 Plan Council meeting and is scheduled for the April 13, 2022 Planning and Zoning Commission meeting. Per Section 6, paragraph A of the annexation agreement for Bristol Bay (Ord. 2005-34), the City shall act upon any final plat and final engineering or resubmitted final plat and final engineering within sixty (60) days of receipt. Initial receipt of the completed application was on February 17, 2022. Based upon the required City meeting schedule, the final approval of the requested Final Plat Amendment is proposed for April 26, 2022. Should you have any questions regarding this matter; staff will be available at Tuesday night's meeting.

**Attachments:**

1. Copy of Petitioner's Application
2. Exhibit A - Legal Description
3. Exhibit R of Bristol Bay Annexation Agreement Ord. 2005-34
4. Plan Council Packet for 03-10-22
5. EEI Letter to the City dated March 7, 2022.
6. Final Plat of Subdivision Bristol Bay P.U.D. Unit 13 prepared by HR Green, LTD and date revised 03/15/2022.



# APPLICATION FOR FINAL PLAT/REPLAT

[illegible]





United City of Yorkville  
800 Game Farm Road  
Yorkville, Illinois, 60560  
Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: [www.yorkville.il.us](http://www.yorkville.il.us)

# APPLICATION FOR FINAL PLAT/REPLAT

## ATTORNEY INFORMATION

NAME: COMPANY:

MAILING ADDRESS:

CITY, STATE, ZIP: TELEPHONE:

EMAIL: FAX:

## ENGINEER INFORMATION

NAME: COMPANY:

MAILING ADDRESS:

CITY, STATE, ZIP: TELEPHONE:

EMAIL: FAX:

## LAND PLANNER/SURVEYOR INFORMATION

NAME: COMPANY:

MAILING ADDRESS:

CITY, STATE, ZIP: TELEPHONE:

EMAIL: FAX:

## ATTACHMENTS

Petitioner must attach a legal description of the property to this application and title it as "Exhibit A".

## AGREEMENT

I VERIFY THAT ALL THE INFORMATION IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE. I UNDERSTAND AND ACCEPT ALL REQUIREMENTS AND FEES AS OUTLINED AS WELL AS ANY INCURRED ADMINISTRATIVE AND PLANNING CONSULTANT FEES WHICH MUST BE CURRENT BEFORE THIS PROJECT CAN PROCEED TO THE NEXT SCHEDULED COMMITTEE MEETING.

I UNDERSTAND ALL OF THE INFORMATION PRESENTED IN THIS DOCUMENT AND UNDERSTAND THAT IF AN APPLICATION BECOMES DORMANT IT IS THROUGH MY OWN FAULT AND I MUST THEREFORE FOLLOW THE REQUIREMENTS OUTLINED ABOVE.

  
PETITIONER SIGNATURE

OWNER HEREBY AUTHORIZES THE PETITIONER TO PURSUE THE APPROPRIATE ENTITLEMENTS ON THE PROPERTY.

  
OWNER SIGNATURE



United City of Yorkville  
800 Game Farm Road  
Yorkville, Illinois, 60560  
Telephone: 630-553-4350  
Fax: 630-553-7575  
Website: www.yorkville.il.us

# APPLICANT DEPOSIT ACCOUNT/ ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY

PROJECT NAME:	FUND ACCOUNT NUMBER:	PROPERTY ADDRESS:
------------------	-------------------------	-------------------

## PETITIONER DEPOSIT ACCOUNT FUND:

It is the policy of the United City of Yorkville to require any petitioner seeking approval on a project or entitlement request to establish a Petitioner Deposit Account Fund to cover all actual expenses occurred as a result of processing such applications and requests. Typical requests requiring the establishment of a Petitioner Deposit Account Fund include, but are not limited to, plan review of development approvals/engineering permits. Deposit account funds may also be used to cover costs for services related to legal fees, engineering and other plan reviews, processing of other governmental applications, recording fees and other outside coordination and consulting fees. Each fund account is established with an initial deposit based upon the estimated cost for services provided in the **INVOICE & WORKSHEET PETITION APPLICATION**. This initial deposit is drawn against to pay for these services related to the project or request. Periodically throughout the project review/approval process, the Financially Responsible Party will receive an invoice reflecting the charges made against the account. At any time the balance of the fund account fall below ten percent (10%) of the original deposit amount, the Financially Responsible Party will receive an invoice requesting additional funds equal to one-hundred percent (100%) of the initial deposit if subsequent reviews/fees related to the project are required. In the event that a deposit account is not immediately replenished, review by the administrative staff, consultants, boards and commissions may be suspended until the account is fully replenished. If additional funds remain in the deposit account at the completion of the project, the city will refund the balance to the Financially Responsible Party. A written request must be submitted by the Financially Responsible Party to the city by the 15th of the month in order for the refund check to be processed and distributed by the 15th of the following month. All refund checks will be made payable to the Financially Responsible Party and mailed to the address provided when the account was established.

## ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY

NAME:	COMPANY:
MAILING ADDRESS:	
CITY, STATE, ZIP:	TELEPHONE:
EMAIL:	FAX:

## FINANCIALLY RESPONSIBLE PARTY:

I acknowledge and understand that as the Financially Responsible Party, expenses may exceed the estimated initial deposit and, when requested by the United City of Yorkville, I will provide additional funds to maintain the required account balance. Further, the sale or other disposition of the property does not relieve the individual or Company/Corporation of their obligation to maintain a positive balance in the fund account, unless the United City of Yorkville approves a Change of Responsible Party and transfer of funds. Should the account go into deficit, all City work may stop until the requested replenishment deposit is received.

PRINT NAME

TITLE

SIGNATURE\*

DATE

*\*The name of the individual and the person who signs this declaration must be the same. If a corporation is listed, a corporate officer must sign the declaration (President, Vice-President, Chairman, Secretary or Treasurer)*

## INITIAL ENGINEERING/LEGAL DEPOSIT TOTALS

### ENGINEERING DEPOSITS:

Up to one (1) acre	\$5,000
Over one (1) acre, but less than ten (10) acres	\$10,000
Over ten (10) acres, but less than forty (40) acres	\$15,000
Over forty (40) acres, but less than one hundred (100)	\$20,000
In excess of one hundred (100.00) acres	\$25,000

### LEGAL DEPOSITS:

Less than two (2) acres	\$1,000
Over two (2) acres, but less than ten (10) acres	\$2,500
Over ten (10) acres	\$5,000

**EXHIBIT A:**

**BRISTOL BAY – UNIT 13 LEGAL DESCRIPTION**

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 4, AND PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF LOT 1685 OF BRISTOL BAY P.U.D. UNIT 1, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 21, 2005 AS DOCUMENT NO. 200500039532; THENCE NORTH 87 DEGREES 42 MINUTES 08 SECONDS EAST, ALONG THE NORTH LINE OF SAID LOT 1685, 115.27 FEET TO A BEND IN SAID NORTH LINE; THENCE SOUTH 75 DEGREES 29 MINUTES 39 SECONDS EAST, ALONG SAID NORTH LINE, 208.25 FEET TO THE NORTHEAST CORNER OF SAID LOT 1685 AND THE EASTERLY LINE OF THE LANDS DESCRIBED IN DOC. 200500015019; THENCE NORTH 14 DEGREES 46 MINUTES 21 SECONDS EAST, 539.21 FEET TO A CORNER OF SAID LANDS; THENCE SOUTH 75 DEGREES 13 MINUTES 39 SECONDS EAST, ALONG A SOUTHERLY LINE OF SAID LANDS, SAID SOUTHERLY LINE BEING PARALLEL WITH THE NORTHERLY RIGHT OF WAY LINE OF GALENA ROAD, 670.00 FEET; THENCE ALONG THE FOLLOWING TWELVE (12) COURSES, BEING ALONG THE EASTERLY LINE OF SAID LANDS; (1) NORTH 14 DEGREES 46 MINUTES 21 SECONDS EAST, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 133.15 FEET; (2) NORTHEASTERLY ALONG A NON-TANGENTIAL CURVE TO THE LEFT WITH A RADIUS OF 66.00 FEET AND A CHORD BEARING OF NORTH 26 DEGREES 02 MINUTES 38 SECONDS EAST, AN ARC LENGTH OF 140.44 FEET; (3) NORTH 14 DEGREES 46 MINUTES 21 SECONDS EAST, 145.67 FEET; (4) NORTH 75 DEGREES 13 MINUTES 39 SECONDS WEST, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 70.00 FEET; (5) NORTH 02 DEGREES 56 MINUTES 50 SECONDS WEST, 79.37 FEET; (6) NORTH 09 DEGREES 46 MINUTES 58 SECONDS EAST, 77.05 FEET; (7) NORTH 05 DEGREES 56 MINUTES 12 SECONDS EAST, 77.05 FEET; (8) NORTH 02 DEGREES 05 MINUTES 26 SECONDS EAST, 77.05 FEET; (9) NORTH 01 DEGREES 45 MINUTES 20 SECONDS WEST, 77.05 FEET; (10) NORTH 05 DEGREES 36 MINUTES 06 SECONDS WEST, 77.05 FEET; (11) NORTH 09 DEGREES 26 MINUTES 52 SECONDS WEST, 77.05 FEET; (12) NORTH 13 DEGREES 17 MINUTES 38 SECONDS WEST, 77.05 FEET TO THE SOUTHEAST CORNER OF LOT 1041 OF BRISTOL BAY P.U.D. UNIT 7, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 21, 2005, AS DOCUMENT NUMBER 200500039538; THENCE ALONG THE FOLLOWING THIRTY-THREE (33) COURSES BEING ALONG THE SOUTHERLY LINE AND WESTERLY LINE OF SAID BRISTOL BAY P.U.D. UNIT 7; (1) SOUTH 74 DEGREES 46 MINUTES 59 SECONDS WEST, 135.00 FEET; (2) SOUTH 64 DEGREES 37 MINUTES 29 SECONDS WEST, 93.85 FEET; (3) SOUTH 73 DEGREES 45 MINUTES 42 SECONDS WEST, 36.17 FEET; (4) SOUTHWESTERLY ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 1028.00 FEET AND A CHORD BEARING OF SOUTH 75 DEGREES 41 MINUTES 46 SECONDS WEST, AN ARC LENGTH OF 69.41 FEET; (5) SOUTH 12 DEGREES 22 MINUTES 10 SECONDS EAST, 83.52 FEET; (6) SOUTH 05 DEGREES 51 MINUTES 10 SECONDS EAST, 67.52 FEET; (7) SOUTH 01 DEGREES 06 MINUTES 59 SECONDS EAST, 67.52 FEET; (8) SOUTH 03 DEGREES 37 MINUTES 13 SECONDS WEST, 67.52 FEET; (9) SOUTH 08 DEGREES 21 MINUTES 24 SECONDS WEST, 67.52 FEET; (10) SOUTH 26 DEGREES 14 MINUTES 21 SECONDS WEST, 140.66 FEET; (11) NORTH 75 DEGREES 13 MINUTES 39 SECONDS WEST, 140.00 FEET; (12) NORTH 74 DEGREES 29 MINUTES 33 SECONDS WEST, 67.35 FEET; (13) NORTH 62 DEGREES 11 MINUTES 15 SECONDS WEST, 61.67 FEET; (14) NORTH 46 DEGREES 13 MINUTES 13 SECONDS WEST 61.67 FEET; (15) NORTH 30 DEGREES 15 MINUTES 12 SECONDS WEST, 61.67 FEET; (16) NORTH 21 DEGREES 49 MINUTES 17 SECONDS WEST, 61.26 FEET; (17) NORTH 00 DEGREES 08 MINUTES 26 SECONDS WEST, 87.01 FEET; (18) SOUTH 89 DEGREES 51 MINUTES 34 SECONDS WEST, 159.96 FEET; (19) SOUTH 88 DEGREES 43 MINUTES 57 SECONDS WEST, 66.00 FEET; (20) NORTHERLY ALONG A CURVE

TO THE RIGHT WITH A RADIUS OF 278.00 FEET AND A CHORD BEARING OF NORTH 00 DEGREES 42 MINUTES 15 SECONDS WEST, AN ARC LENGTH OF 5.47 FEET; (21) THENCE NORTH 00 DEGREES 08 MINUTES 26 SECONDS WEST, 100.83 FEET; (22) NORTHWESTERLY ALONG A CURVE TO THE LEFT WITH A RADIUS OF 25.00 FEET AND A CHORD BEARING OF NORTH 45 DEGREES 08 MINUTES 26 SECONDS WEST, AN ARC LENGTH OF 39.27 FEET; (23) SOUTH 89 DEGREES 51 MINUTES 34 SECONDS WEST, 244.84 FEET; (24) SOUTHWESTERLY ALONG A CURVE TO THE LEFT WITH A RADIUS OF 25.00 FEET AND A CHORD BEARING OF SOUTH 42 DEGREES 55 MINUTES 25 SECONDS WEST, AN ARC LENGTH OF 40.96 FEET; (25) THENCE SOUTHERLY ALONG A CURVE TO THE LEFT WITH A RADIUS OF 884.00 FEET AND CHORD BEARING OF SOUTH 04 DEGREES 37 MINUTES 14 SECONDS EAST, AN ARC LENGTH OF 18.78 FEET; (26) SOUTH 84 DEGREES 46 MINUTES 15 SECONDS WEST, 197.00 FEET; (27) SOUTH 07 DEGREES 16 MINUTES 34 SECONDS EAST, 77.21 FEET; (28) SOUTH 11 DEGREES 45 MINUTES 02 SECONDS EAST, 91.58 FEET; (29) SOUTH 16 DEGREES 22 MINUTES 16 SECONDS EAST, 82.73 FEET; (30) SOUTH 21 DEGREES 17 MINUTES 25 SECONDS EAST, 80.72 FEET; (31) SOUTH 21 DEGREES 48 MINUTES 57 SECONDS EAST, 390.00 FEET; (32) SOUTH 68 DEGREES 11 MINUTES 03 SECONDS WEST, 5.00 FEET; (33) NORTHWESTERLY ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 25.00 FEET AND A CHORD BEARING OF NORTH 66 DEGREES 48 MINUTES 57 SECONDS WEST, AN ARC LENGTH OF 39.27 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF ROSENWINKEL ROAD, PER SAID BRISTOL BAY P.U.D. UNIT 1; THENCE, SOUTH 21 DEGREES 48 MINUTES 57 SECONDS EAST, ALONG SAID RIGHT-OF-WAY LINE, 171.66 FEET; THENCE CONTINUING SOUTHERLY ALONG SAID RIGHT-OF-WAY LINE, BEING ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 680.00 FEET AND A CHORD BEARING OF SOUTH 09 DEGREES 31 MINUTES 23 SECONDS EAST, AN ARC LENGTH OF 291.78 FEET TO SAID POINT OF BEGINNING, IN THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS.

# Bristol Bay

A decorative flourish in a light teal color, consisting of several curved lines and small dots, positioned below the main title.

*In Yorkville*

Presented by

**CENTEX HOMES**

Bristol Bay Single Family Exterior Color Packages										
12.2.04										
Package #	Siding 4/4	Siding 3/3	Roof Color	Garage Door	Trim/Soffit/Fascia	Shutters	Front Door	Shakes	Brick Color	Manufacturer
BB 1	Desert Tan	Natural Clay	Charcoal	White	White	Black-02	Dark Secret OONN 05/000	Natural Clay	Old Georgetown	Hanson Brick
BB 2	Sandstone Beige	Desert Tan	Weathered Gray	White	White	Clay-08	Obelisk 20YY 45/114 Tavern Green 50GG 05/063	Desert Tan	Old Georgetown	Hanson Brick
BB 3	Prairie Sand	Desert Tan	Weathered Gray	White	White	Midnight Green-122	Obsidian Glass OONN13/000 Mystery Sound 70BG 19/071 Tavern Green 50GG 05/063	Desert Tan	Old Georgetown	Hanson Brick
BB 4	Natural Clay	Desert Tan	Charcoal	White	White	Tuxedo Gray-18	Obsidian Glass OONN13/000 Mystery Sound 70BG 19/071 Tavern Green 50GG 05/063	Desert Tan	Jefferson Manor	Columbus
BB 5	Sandstone Beige	Desert Tan	Weathered Gray	White	White	Wedgewood Blue-04	Obsidian Glass OONN13/000 Mystery Sound 70BG 19/071 Tavern Green 50GG 05/063	Desert Tan	Jefferson Manor	Columbus
BB 6	Prairie Sand	Light Maple	Weathered Gray	White	White	Midnight Green-122	Obsidian Glass OONN13/000 Mystery Sound 70BG 19/071 Tavern Green 50GG 05/063	Light Maple	Jefferson Manor	Columbus
BB 7	Desert Tan	Natural Clay	Charcoal	White	White	Black-02	Dark Secret OONN 05/000	Natural Clay	Burlington	Columbus
BB 8	Sandstone Beige	Desert Tan	Weathered Gray	White	White	Clay-08	Obelisk 20YY 45/114 Tavern Green 50GG 05/063	Desert Tan	Burlington	Columbus
BB 9	Desert Tan	Colonial White	Weathered Gray	White	White	Midnight Green-122	Obsidian Glass OONN13/000 Manor House 50YR 08/038	Colonial White	Burlington	Columbus
BB 10	Sterling Gray	Colonial White	Weathered Gray	White	White	Tuxedo Gray-18	Obsidian Glass OONN13/000 Manor House 50YR 08/038	Colonial White	Chatham Gray	KF Brick
BB 11	Natural Clay	Desert Tan	Weathered Gray	White	White	Musket Brown-10	Obsidian Glass OONN13/000 Manor House 50YR 08/038	Desert Tan	Chatham Gray	KF Brick
BB 12	Desert Tan	Natural Clay	Weathered Gray	White	White	Clay-08	Obelisk 20YY 45/114	Natural Clay	Chatham Gray	KF Brick
BB 13	Colonial White	Sterling Gray	Charcoal	White	White	Wedgewood Blue-04	Mystery Sound 70BG 19/071	Sterling Gray	Waterford	Hebron
BB 14	Sterling Gray	Colonial White	Charcoal	White	White	Tuxedo Gray-18	Obsidian Glass OONN13/000 Tavern Green 50GG 05/063	Colonial White	Waterford	Hebron
BB 15	Natural Clay	Desert Tan	Weathered Gray	White	White	Midnight Green-122	Mystery Sound 70BG 19/071	Desert Tan	Waterford	Hebron
BB 16	Sandstone Beige	Desert Tan	Weathered Gray	White	White	Wedgewood Blue-04	Mystery Sound 70BG 19/071	Desert Tan	Waterford	Hebron
BB 17	Prairie Sand	Desert Tan	Charcoal	White	White	Black-02	Dark Secret OONN 05/000	Desert Tan	Winyah Bay	Hanson Brick
BB 18	Sandstone Beige	Desert Tan	Weathered Gray	White	White	Clay-08	Obelisk 20YY 45/114 Manor House 50YR 08/038	Natural Clay	Winyah Bay	Hanson Brick
BB 19	Natural Clay	Desert Tan	Weathered Gray	White	White	Musket Brown-10	Obelisk 20YY 45/114 Manor House 50YR 08/038	Desert Tan	Winyah Bay	Hanson Brick
BB 20	Natural Clay	Colonial White	Weathered Gray	White	White	Midnight Green-122	Tavern Green 50GG 05/063 Dark Secret OONN 05/000	Colonial White	Kennington	Hanson Brick
BB 21	Colonial White	Colonial White	Charcoal	White	White	Black-02	Dark Secret OONN 05/000 Old Redwood 30YR 08/236	Colonial White	Kennington	Hanson Brick
BB 22	Prairie Sand	Colonial White	Weathered Gray	White	White	Burgandy Red-27	Old Redwood 30YR 08/236	Desert Tan	Kennington	Hanson Brick
BB 23	Oxford Blue	Colonial White	Charcoal	White	White	Midnight Blue-166	Black Sable 90BG 10/067 Obsidian Glass OONN13/000	Colonial White	Old Waverly	Columbus
BB 24	Sterling Gray	Colonial White	Charcoal	White	White	Tuxedo Gray-18	Obsidian Glass OONN13/000 Aberdeen Place 70RR 08/150	Colonial White	Old Waverly	Columbus
BB 25	Desert Tan	Natural Clay	Charcoal	White	White	Bordeaux-167	Aberdeen Place 70RR 08/150	Natural Clay	Old Waverly	Columbus
BB 26	Sandstone Beige	Desert Tan	Weathered Gray	White	White	Clay-08	Obelisk 20YY 45/114 Tavern Green 50GG 05/063	Desert Tan	Runnymede	Hanson Brick
BB 27	Prairie Sand	Desert Tan	Weathered Gray	White	White	Midnight Green-122	Obelisk 20YY 45/114 Tavern Green 50GG 05/063	Desert Tan	Runnymede	Hanson Brick
BB 28	Sandstone Beige	Desert Tan	Charcoal	White	White	Midnight Green-122	Tavern Green 50GG 05/063 Dark Secret OONN 05/000	Desert Tan	St. Augustine	Hanson Brick
BB 29	Prairie Sand	Desert Tan	Charcoal	White	White	Black-02	Dark Secret OONN 05/000	Desert Tan	St. Augustine	Hanson Brick
BB 30	Sandstone Beige	Natural Clay	Weathered Gray	White	White	Tuxedo Gray-18	Obsidian Glass OONN13/000 Traditional Tan 20YY 47/145	Natural Clay	Stonegate	Redland Brick
BB 31	Natural Clay	Desert Tan	Weathered Gray	White	White	Wicker-23	Traditional Tan 20YY 47/145 Aberdeen Place 70RR 08/150	Desert Tan	Stonegate	Redland Brick
BB 32	Desert Tan	Natural Clay	Weathered Gray	White	White	Bordeaux-167	Aberdeen Place 70RR 08/150	Natural Clay	Stonegate	Redland Brick
BB 33	Colonial White	Colonial White	Charcoal	White	White	Midnight Green-122	Tavern Green 50GG 05/063 Tobacco Brown 50YR10/151	Colonial White	Ballentyne	Hanson Brick
BB 34	Prairie Sand	Desert Tan	Weathered Gray	White	White	Federal Brown-09	Tobacco Brown 50YR10/151	Desert Tan	Ballentyne	Hanson Brick

*Bristol Bay*

*In Yorkville*

Large Lot Renderings

Presented by

**CENTEX HOMES**





**3644 WESTPORT D**





**3644 WESTPORT C**





**3644 WESTPORT B**





**3644 WESTPORT A**





**3384 STEWART D**





**3384 STEWART C**





**3384 STEWART B**





**3384 STEWART A**





**3173 NEWBRIDGE D**





**3173 NEWBRIDGE C**





**3173 NEWBRIDGE B**





**3173 NEWBRIDGE A**





**2886 FERNHILL D**





**2886 FERNHILL C**





**2886 FERNHILL B**





**2886 FERNHILL A**





**2419 ALTAMONT D**





**2419 ALTAMONT C**





**2419 ALTAMONT B**





**2419 ALTAMONT A**



*Bristol Bay*

*In Yorkville*

## Standard Lot Renderings

Presented by

**CENTEX HOMES**



**3509 CEDAR D**





**3509 CEDAR C**





**3509 CEDAR B**





**3509 CEDAR A**





**3253 SYCAMORE D**





**3253 SYCAMORE C**





**3253 SYCAMORE B**





**3253 SYCAMORE A**





**2972 HICKORY D**





**2972 HICKORY C**





**2972 HICKORY B**





**2972 HICKORY A**





**2748 SPRUCE D**





**2748 SPRUCE C**





**2748 SPRUCE B**





**2748 SPRUCE A**





**2470 BIRCH D**





**2470 BIRCH C**





**2470 BIRCH B**





**2470 BIRCH A**





**2253 CYPRESS D**





**2253 CYPRESS C**





**2253 CYPRESS B**





**2253 CYPRESS A**





**2153 WILLOW D**





**2153 WILLOW C**





**2153 WILLOW B**





**2153 WILLOW A**





**2034 ASPEN D**





**2034 ASPEN C**





**2034 ASPEN B**





**2034 ASPEN A**





**1962 CHESTNUT D**





**1962 CHESTNUT C**





**1962 CHESTNUT B**





**1962 CHESTNUT A**





**1835 OAK D**





**1835 OAK C**





**1835 OAK B**





**1835 OAK A**





**1642 GLENWOOD D**





**1642 GLENWOOD C**





**1642 GLENWOOD B**





**1642 GLENWOOD A**





**1417 MAGNOLIA D**





**1417 MAGNOLIA C**





**1417 MAGNOLIA B**





**1417 MAGNOLIA A**



## **United City of Yorkville**

800 Game Farm Road

Yorkville, Illinois 60560

Telephone: 630-553-4350

Fax: 630-553-7575

### **PLAN COUNCIL AGENDA**

Thursday, March 10, 2022

9:00 a.m.

Remote Access via Zoom

1. Minutes for approval: November 9, 2021
2. PZC 2022-06 Bristol Bay – Unit 3 - Final Plat of Resubdivision
3. PZC 2022-07 Bristol Bay – Unit 13 – Final Plat of Subdivision

Adjournment





# Memorandum

To: Plan Council  
From: Krysti Barksdale-Noble, Community Development Director  
Date: March 7, 2022  
Subject: **PZC 2022-07 Bristol Bay – Unit 13 (Final Plat of Subdivision)**  
Proposed Final Plat Approval for Single-Family Homes

---

I have reviewed the application for Final Plat of Subdivision for Bristol Bay Unit 13, as submitted by David Schultz on behalf of Troy Mertz, Petitioner. The Final Plat Subdivision - Bristol Bay P.U.D. Unit 3 Subdivision was prepared by HR Green and dated 02-16-2022.

The petitioner is seeking Final Plat approval to subdivide the approximately 25-acre parcel into 69 lots consisting of 68 single-family units and a 3.25-acre park site in Bristol Bay Unit 13. Based upon my review of the applications, documents, and plans; I have compiled the following comments:

## **GENERAL PUD/ANNEXATION AGREEMENT COMMENTS:**

1. **PLANNED UNIT DEVELOPMENT (PUD)** – Per Ordinance No. 2005-34, the subject property is currently zoned R-2 Single-Family Traditional Residence District with a special use for a Planned Unit Development (PUD).
2. **ARCHITECTURAL STANDARDS/APPEARANCE CODE** – The original annexation agreement (Ord. 2005-34) provided general architectural renderings (Exhibit R) and stated that the residential improvements shall be constructed substantially consistent with those renderings or adhere to the City's Appearance Code standards, whichever is the least restrictive.
  - a. Additionally, Ord. 2005-34 required the developer to impose covenants, conditions and restrictions relating to façade materials, accessory structures and other building restrictions at the time of final plat submittal for each unit. The provisions shall also require the HOA to be responsible for the maintenance of landscaping within the perimeter landscaping easements, signage on the property and other obligations as determined at the time of final platting.
  - b. Exhibit R and Section 25: Architectural Standards and Covenants of the original annexation agreement are attached. Here is a link to the City's current Appearance Code regulations:

[https://library.municode.com/il/yorkville/codes/code\\_of\\_ordinances?nodeId=TIT8BURE\\_CH15APCO](https://library.municode.com/il/yorkville/codes/code_of_ordinances?nodeId=TIT8BURE_CH15APCO)

Staff requests to review the final building elevations prior to issuance of building permits.

3. **PARK LAND CASH CONTRIBUTION** - Per the original annexation agreement and the second amended agreement (Ord. 2010-32), \$50,000 parks-land cash fee for lot 1685 (fire station) will be *due prior to recording* of the final plat for Unit 13.

### **FINAL PLAT OF RESUBDIVISION COMMENTS:**

1. **PREVIOUSLY APPROVED FINAL PLAT** – Per Resolution No. 2006-103, the City approved the Final Plat of Subdivision for Bristol Bay Unit 13 on November 28, 2006. However, that final plat was never recorded. Per Section 11-2-3H of the Subdivision Control Ordinance, the final plat shall be recorded with the County Recorder of Deeds within thirty (30) days from the date of final approval, or final approval shall be considered null and void. This requirement does not apply when the delay is due to circumstances beyond the control of the City or developer.
2. **TIMING OF FINAL PLAT** – Per Section 6, paragraph A of the annexation agreement for Bristol Bay (Ord. 2005-34), the City hall act upon any final plat and final engineering or resubmitted final plat and final engineering within sixty (60) days of receipt. Initial receipt of the completed application was on February 17, 2022, based upon the required City meeting schedule, the final approval of the requested Final Plat Amendment is proposed as April 26, 2022.



*Engineering Enterprises, Inc.*

March 7, 2022

Ms. Krysti Barksdale-Noble  
Community Development Director  
United City of Yorkville  
800 Game Farm Road  
Yorkville, IL 60560

**Re: *Bristol Bay – Unit 13  
Final Plat of Subdivision Review  
United City of Yorkville, Kendall County, Illinois***

Dear Krysti:

We are in receipt of the following items for the above referenced project:

- Final Plat for Subdivision Bristol Bay P.U.D Unit 13 Resubdivision dated February 16, 2022 and prepared by HR Green
- Exhibit A prepared by HR Green
- Application for Final Plat/Replat dated February 3, 2022

Our review of these plans is to generally determine their compliance with local ordinances and whether the improvements will conform to existing local systems and equipment. This review and our comments do not relieve the designer from his duties to conform to all required codes, regulations, and acceptable standards of engineering practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review, we cannot and do not assume responsibility for design errors or omissions in the plans. As such, we offer the following comments:

1. The following are required and should be provided to the City when obtained. The City and EEI should be copied on all correspondence with the agencies.
  - Confirmation of Yorkville Bristol Sanitary District approval
  - IEPA construction permits for water main and sanitary sewer
  - Kendall County Soil Conservation Service (USDA) written statement required per Yorkville Ordinance
  - Subdivision Bond or Letter of Credit
2. An engineer's estimate for the public, stormwater and soil erosion control improvements should be provided. This will be used to determine the amount for the Subdivision Bond or Letter of Credit.
3. Updated engineering plans with current standards and details should be submitted for review.
4. An updated landscape plan should be submitted for review.
5. All easements should be shown on Lot 2051.
6. All P.U. & D.E. adjacent to the roads should be 10' wide.

7. The two proposed concrete monuments should be shown.
8. Lots 2011 through 2019 require a 25' P.U. & D.E. in the rear yard for the proposed storm sewer route.
9. Lot 2008 requires a 15' P.U. & D.E. in the side yard adjacent to the road for the proposed storm sewer route.
10. The following lots require a 20' Public Utility and Drainage Easement (P.U. & D.E.) for the existing and proposed storm sewer route:
  - Between Lots 1961 & 1962
  - Between Lots 1964 & 1965
  - Between Lots 1968 & 1969
  - Between Lots 1971 & 1972
  - Between Lots 1977 & 1978
  - Between Lots 1981 & 1982
  - Between Lots 1997 & 1998
  - Between Lots 2000 & 2001
  - Between Lots 2009 & 2010
  - 2007 along the south line of 2009 & 2010
11. Lot 2021 required a 35' P.U. & D.E. in the rear yard for the proposed storm sewer route.
12. A 20' P.U. & D.E. is required at the southwest corner of Lot 1975 to cover the existing storm sewer route.
13. A 20' P.U. & D.E. is required at the northeast corner of Lot 1983 to cover the existing storm sewer route.
14. A 20' P.U. & D.E. is required at the northwest corner of Lot 2020 to cover the existing storm sewer route.

The Developer should make the necessary revisions and re-submit plans and plat and supporting documents along with a disposition letter for further review. If you have any questions or require additional information, please contact our office.

Respectfully Submitted,

ENGINEERING ENTERPRISES, INC.



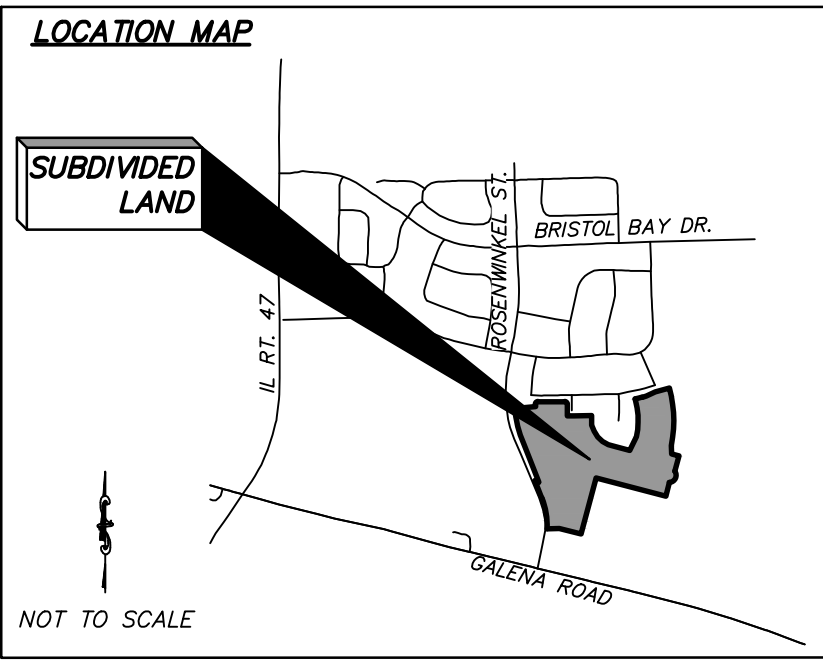
Bradley P. Sanderson, P.E.  
Chief Operating Officer / President

pc: Mr. Bart Olson, City Administrator (via e-mail)  
Ms. Erin Willrett, Assistant City Administrator (via e-mail)  
Mr. Jason Engberg, Senior Planner (via e-mail)  
Mr. Eric Dhuse, Director of Public Works (via e-mail)  
Mr. Pete Ratos, Building Department (via e-mail)  
Ms. Dee Weinert, Permit Tech (via e-mail)  
Ms. Jori Behland, City Clerk (via e-mail)  
Mr. Troy Mertz, Moda Tech & Infrastructure (via e-mail)  
Mr. David Schultz, HR Green (via e-mail)  
TNP, NLS EEI (Via e-mail)



FINAL PLAT OF SUBDIVISION  
BRISTOL BAY P.U.D.  
UNIT 13  
A SUBDIVISION OF PART OF THE S 1/2 OF SEC 4-37-7,  
AND PART OF THE NE 1/4 OF SECTION 9-37-7,  
IN THE UNITED CITY OF YORKVILLE, BRISTOL TWP., KENDALL CO., ILLINOIS

PINs: 02-04-400-015  
02-09-200-014  
02-09-200-016

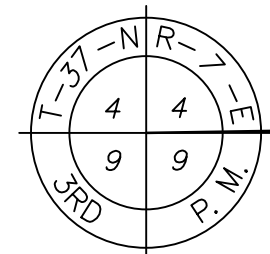


BRISTOL BAY P.U.D.  
UNIT 1  
DOC. NO. 05-39532

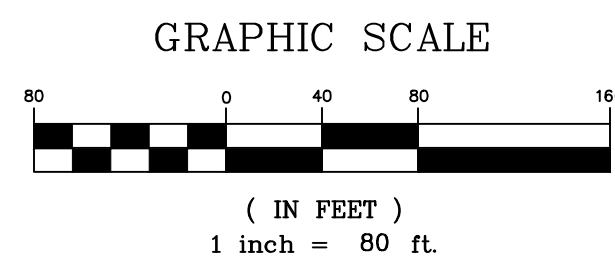
**HR GREEN CONTACTS:**  
DAVID W. SCHULTZ P.E., PROJECT MANAGER  
630-753-7560  
BERNARD J. BAUER P.L.S., PROJECT SURVEYOR  
630-753-7560

**PROPERTY OWNER:**  
BRISTOL BAY YORKVILLE FN, LLC  
340 W. BUTTERFIELD ROAD #20  
ELMHURST, IL 60126  
TELEPHONE: XXX-XXX-XXXX

RESUBDIVISION OF BRISTOL BAY  
LOT 2048 UNIT 9 & LOT 2049 UNIT 11  
DOC. NO. 201800003507



NORTH LINE OF SEC. 9-37-7



GRAPHIC SCALE

( IN FEET )  
1 inch = 80 ft.

LEGEND	
---	CENTERLINE
---	BOUNDARY LINE
---	RIGHT OF WAY LINE
---	LOT LINE
---	BUILDING SETBACK LINE
---	EASEMENT LINE
---	EXISTING PROPERTY LINE
---	EXISTING RIGHT OF WAY LINE

HATCH LEGEND	
---	DENOTES AREA HEREBY DEDICATED TO THE UNITED CITY OF YORKVILLE FOR PUBLIC RIGHT-OF-WAY

- NOTES:**
1. ANNOTATION ABBREVIATIONS -  
B.S.L. = BUILDING SETBACK LINE  
P.O.B. = POINT OF BEGINNING  
R.O.W. = RIGHT-OF-WAY  
P.U.E. = PUBLIC UTILITY EASEMENT  
P.U.D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT
  2. THIS PROPERTY IS WITHIN THE CORPORATE LIMITS OF THE UNITED CITY OF YORKVILLE.
  3. 5/8" STEEL RODS SET @ ALL EXTERIOR CORNERS UNLESS OTHERWISE NOTED. 5/8" STEEL RODS WILL BE SET AT ALL INTERIOR CORNERS WITHIN 12 MONTHS OF RECORDATION.
  4. DIMENSIONS ALONG CURVES ARE ARC DISTANCES UNLESS OTHERWISE NOTED.
  5. PROPERTY ZONING IS R-2 (P.U.D.) IN THE UNITED CITY OF YORKVILLE.
  6. BEARINGS ARE BASED ON LOCAL COORDINATE SYSTEM.
  7. SEE COVENANTS AND RESTRICTIONS FOR EASEMENT PROVISIONS NOT SHOWN HEREON.
  8. A PUBLIC UTILITY AND DRAINAGE EASEMENT IS HEREBY GRANTED OVER ALL OF LOT 2053.

PREPARED ON [CURRENT DATE]  
PREPARED BY:

**FOR REVIEW**

BERNARD J. BAUER, P.L.S. (bbauer@hrgreen.com)  
ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3799  
LICENSE EXPIRES: 11/30/22

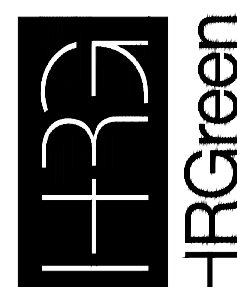
FINAL PLAT OF SUBDIVISION  
BRISTOL BAY P.U.D. UNIT 13  
UNITED CITY OF YORKVILLE  
KENDALL, ILLINOIS

BAR IS ONE INCH ON  
OFFICIAL DRAWINGS  
IF NOT ONE INCH,  
ADJUST SCALE ACCORDINGLY

DRAWN BY: BJB  
APPROVED: MD  
JOB DATE: 02/16/2022  
JOB NO: 220051

SHEET  
1 OF 4

Illinois Professional Design Firm # 184-001322  
2363 Sequoia Drive, Suite 101  
Aurora, Illinois 60506  
t. 630.553.7560 f. 630.553.7546  
www.hrgreen.com



NOTE: Only those Building Line Restrictions or Easements shown on a Recorded Subdivision Plat are shown hereon unless the description ordered to be surveyed contains a proper description of the required building lines or easements.  
\* No distance should be assumed by scaling.  
\* No underground improvements have been located unless shown and noted.  
\* No representation as to ownership, use, or possession should be hereon implied.  
\* This Survey and Plat of Survey are void without original embossed or red colored seal and signature affixed.  
\* This professional service conforms to the current Illinois minimum standards for a boundary survey and was performed for:

**MODA TECH & INFRASTRUCTURE**

Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

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FINAL PLAT OF SUBDIVISION  
BRISTOL BAY P.U.D.  
UNIT 13

A SUBDIVISION OF PART OF THE S 1/2 OF SEC 4-37-7,  
AND PART OF THE NE 1/4 OF SECTION 9-37-7,  
IN THE UNITED CITY OF YORKVILLE, BRISTOL TWP., KENDALL CO., ILLINOIS

OWNERSHIP CERTIFICATE

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) S.S.

THIS IS TO CERTIFY THAT \_\_\_\_\_, AN ILLINOIS CORPORATION, IS THE FEE SIMPLE OWNER OF THE PROPERTY DESCRIBED FOREGOING SURVEYOR'S CERTIFICATE AND HAVE CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED, AND PLATTED AS SHOWN HEREON FOR THE USES AND PURPOSES HEREIN SET FORTH AS ALLOWED AND PROVIDED FOR BY STATUTE, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

THE UNDERSIGNED HEREBY DEDICATE FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT FOR THOROUGHFARES, STREETS, ALLEYS AND PUBLIC SERVICES, AND HEREBY ALSO RESERVES FOR ANY ELECTRIC, GAS, TELEPHONE, CABLE TV OR OTHER TELECOMMUNICATIONS COMPANY UNDER FRANCHISE AGREEMENT WITH THE UNITED CITY OF YORKVILLE, THEIR SUCCESSORS AND ASSIGNS, THE EASEMENT PROVISIONS WHICH ARE STATED HEREON.

THE UNDERSIGNED FURTHER CERTIFY THAT ALL OF THE LAND INCLUDED IN THIS PLAT LIES WITHIN THE BOUNDARIES OF YORKVILLE COMMUNITY UNIT SCHOOL DISTRICT 115.

DATED AT \_\_\_\_\_, \_\_\_\_\_, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

CORPORATION NAME \_\_\_\_\_

COMPLETE ADDRESS \_\_\_\_\_

BY: \_\_\_\_\_  
PRESIDENT SECRETARY  
\_\_\_\_\_  
PRINTED NAME PRINTED NAME

NOTARY CERTIFICATE

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) S.S.

I, \_\_\_\_\_, NOTARY PUBLIC IN AND FOR THE STATE AND COUNTY AFORESAID, HEREBY CERTIFY THAT \_\_\_\_\_ AND \_\_\_\_\_ PERSONALLY KNOW TO ME TO THE PRESIDENT AND SECRETARY OF \_\_\_\_\_ AS SHOWN ABOVE, APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THAT AS SUCH OFFICERS, THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AND CAUSED THE CORPORATE SEAL TO BE AFFIXED THERETO AS THEIR FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_

COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KENDALL ) S.S.

I, \_\_\_\_\_, COUNTY CLERK OF KENDALL COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE PLAT HEREIN DRAWN. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE PLAT HEREIN DRAWN.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT YORKVILLE,

ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

COUNTY CLERK \_\_\_\_\_

CITY PLANNING AND ZONING COMMISSION CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KENDALL ) S.S.

APPROVED AND ACCEPTED BY THE PLANNING AND ZONING COMMISSION OF THE UNITED CITY OF YORKVILLE, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

CHAIRMAN \_\_\_\_\_

CITY ADMINISTRATOR'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KENDALL ) S.S.

APPROVED AND ACCEPTED BY THE CITY ADMINISTRATOR OF THE UNITED CITY OF YORKVILLE, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

CITY ADMINISTRATOR \_\_\_\_\_

CITY CLERK'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KENDALL ) S.S.

APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL OF THE UNITED CITY OF YORKVILLE, ILLINOIS, BY ORDINANCE No. \_\_\_\_\_ AT A MEETING HELD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

CITY CLERK \_\_\_\_\_

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KENDALL ) S.S.

APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL OF THE UNITED CITY OF YORKVILLE, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

MAYOR \_\_\_\_\_

CITY ENGINEER'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KENDALL ) S.S.

I, \_\_\_\_\_, CITY ENGINEER FOR THE UNITED CITY OF YORKVILLE, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THE REQUIRED GUARANTEE COLLATERAL HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED IMPROVEMENTS.

DATED AT YORKVILLE, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

CITY ENGINEER \_\_\_\_\_

DRAINAGE CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KENDALL ) S.S.

WE, \_\_\_\_\_, REGISTERED PROFESSIONAL ENGINEER AND \_\_\_\_\_, OWNER (OR HIS ATTORNEY) SUBMIT THE TOPOGRAPHICAL AND PROFILE STUDIES AND, TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS SUBDIVISION.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

OWNER (OR DULY AUTHORIZED ATTORNEY) \_\_\_\_\_ REGISTERED PROFESSIONAL ENGINEER \_\_\_\_\_

EASEMENT PROVISIONS

A NON-EXCLUSIVE EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO

COMMONWEALTH EDISON COMPANY, AMERITECH ILLINOIS a.k.a. ILLINOIS BELL TELEPHONE COMPANY, GRANTEE.

THEIR RESPECTIVE LICENSEES, SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY TO CONSTRUCT, OPERATE, REPAIR, MAINTAIN, MODIFY, RECONSTRUCT, REPLACE, SUPPLEMENT, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, GUYS, ANCHORS, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS, EQUIPMENT CABINETS OR OTHER FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATIONS, SOUNDS AND SIGNALS IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DASHED OR DOTTED LINES (or similar designation) ON THE PLAT AND MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (or similar designation), THE PROPERTY DESIGNATED IN THE DECLARATION OF CONDOMINIUM AND/OR ON THIS PLAT AS "COMMON ELEMENTS" AND THE PROPERTY DESIGNATED ON THE PLAT AS "COMMON AREA OR AREAS", AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS UNDER THE SURFACE OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND COMMON AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS, SAPLINGS AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. PRIVATE OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEE'S FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE DASHED OR DOTTED LINES (or similar designation) ON THE PLAT AND MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (or similar designation), WITHOUT THE PRIOR WRITTEN CONSENT OF THE GRANTEE. AFTER ANY SUCH FACILITIES, THE GRANTEE SHALL BE AWARE THAT ANY PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

THE TERM "COMMON ELEMENTS" SHALL HAVE THE MEANING SET FORTH FOR SUCH TERM IN THE "CONDOMINIUM PROPERTY ACT", CHAPTER 765 ILCS 605/2, AS AMENDED FROM TIME TO TIME.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF THE REAL PROPERTY, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE OR AS AN APPORTIONMENT TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PLANNED DEVELOPMENT, EVEN THOUGH SUCH MAY BE OTHERWISE DESIGNATED ON THE PLAT BY TERMS SUCH AS "OUTLOTS", "COMMON ELEMENTS", "OPEN SPACE", "OPEN AREA", "COMMON GROUND", "PARKING", AND "COMMON AREA". THE TERMS "COMMON AREA OR AREAS" AND "COMMON ELEMENTS" INCLUDE REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY OCCUPIED BY A BUILDING, SERVICE BUSINESS DISTRICT OR STRUCTURES SUCH AS A POOL, RETENTION POND OR MECHANICAL EQUIPMENT.

RELOCATION OF FACILITIES WILL BE DONE BY GRANTEE AT COST OF THE GRANTOR/LOT OWNER, UPON WRITTEN REQUEST.

EASEMENT FOR PUBLIC UTILITIES AND DRAINAGE PROVISIONS

A NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO SBC AMERITECH, NICOR, COM ED, COMCAST, OTHER PUBLIC UTILITIES, AND HOLDERS OF EXISTING FRANCHISES GRANTED BY THE CITY OF YORKVILLE, ILLINOIS, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS WITHIN THE AREAS SHOWN ON THE PLAT AS "PUBLIC UTILITY & DRAINAGE EASEMENT" (abbreviated P.U. & D.E.) TO CONSTRUCT, INSTALL, RECONSTRUCT, REPAIR, REMOVE, REPLACE, INSPECT, MAINTAIN AND OPERATE UNDERGROUND TRANSMISSION AND DISTRIBUTION SYSTEMS AND LINES UNDER THE SURFACE OF THE "PUBLIC UTILITY & DRAINAGE EASEMENT", INCLUDING WITHOUT LIMITATION TO TELEPHONE CABLE, GAS MAINS, ELECTRIC LINES, CABLE TELEVISION LINES, AND ALL NECESSARY FACILITIES APPURTENANT THERETO, TOGETHER WITH THE RIGHT OF ACCESS THERETO FOR THE PERSONNEL AND EQUIPMENT NECESSARY AND REQUIRED FOR SUCH USES AND PURPOSES AND TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS UNDER THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS THEREON.

A NON-EXCLUSIVE EASEMENT IS ALSO HEREBY RESERVED FOR AND GRANTED TO THE UNITED CITY OF YORKVILLE, ILLINOIS TO CONSTRUCT, INSTALL, RECONSTRUCT, REPAIR, REMOVE, REPLACE AND INSPECT FACILITIES FOR THE TRANSMISSION AND DISTRIBUTION OF WATER, STORM SEWERS, SANITARY SEWERS AND ELECTRICITY, WITHIN THE AREAS SHOWN ON THE PLAT AS "PUBLIC UTILITY & DRAINAGE EASEMENT", TOGETHER WITH A RIGHT OF ACCESS THERETO FOR THE PERSONNEL AND EQUIPMENT NECESSARY AND REQUIRED FOR SUCH USES AND PURPOSES.

THE ABOVE NAMED ENTITIES ARE HEREBY GRANTED THE RIGHT TO ENTER UPON EASEMENTS HEREIN DESCRIBED FOR THE USES HEREIN SET FORTH AND THE RIGHT TO CUT, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS WITHIN THE AREAS DESIGNATED AS "PUBLIC UTILITY AND DRAINAGE EASEMENT" WHICH INTERFERE WITH THE CONSTRUCTION, INSTALLATION, RECONSTRUCTION, REPAIR, REMOVAL, REPLACEMENT, MAINTENANCE AND OPERATION OF THEIR UNDERGROUND TRANSMISSION AND DISTRIBUTION SYSTEMS AND FACILITIES APPURTENANT THERETO, NO PERMANENT BUILDINGS, STRUCTURES, OR OBSTRUCTIONS SHALL BE CONSTRUCTED IN, UPON, OR OVER ANY AREAS DESIGNATED AS "PUBLIC UTILITY & DRAINAGE EASEMENT", BUT SUCH AREAS MAY BE USED FOR GARDENS, SHRUBS, TREES, LANDSCAPING, DRIVEWAYS, AND OTHER RELATED PURPOSES THAT DO NOT UNREASONABLY INTERFERE WITH THE USES HEREIN DESCRIBED.

THE OCCUPATION AND USE OF THE NON-EXCLUSIVE EASEMENT HEREIN GRANTED AND RESERVED FOR THE ABOVE NAMED ENTITIES BY EACH OF SUCH ENTITIES SHALL BE DONE IN SUCH A MANNER SO AS NOT TO INTERFERE WITH OR PRECLUDE THE OCCUPATION AND USE THEREOF BY OTHER ENTITIES FOR WHICH SUCH EASEMENTS ARE GRANTED AND RESERVED. THE CROSSING AND RE-CROSSING OF SAID EASEMENTS BY THE ABOVE NAMED ENTITIES SHALL BE DONE IN SUCH A MANNER SO AS NOT TO INTERFERE WITH OR DISTURB ANY TRANSMISSION AND DISTRIBUTION SYSTEMS AND FACILITIES APPURTENANT THERETO EXISTING WITHIN THE EASEMENTS BEING CROSSED OR RE-CROSSED, NO USE OR OCCUPATION OF SAID EASEMENTS BY THE ABOVE NAMED ENTITIES SHALL CAUSE ANY CHANGE IN GRADE OR IMPAIR OR CHANGE THE SURFACE DRAINAGE PATTERNS.

FOLLOWING ANY WORK TO BE PERFORMED BY THE UNITED CITY OF YORKVILLE IN THE EXERCISE OF ITS EASEMENT RIGHTS HEREIN GRANTED, SAID CITY SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION, INCLUDING BUT NOT LIMITED TO, THE RESTORATION, REPAIR OR REPLACEMENT OF PAVEMENT, CURB, GUTTERS, TREES, LAWN OR SHRUBBERY, PROVIDED, HOWEVER, THAT SAID CITY SHALL BE OBLIGATED, FOLLOWING SUCH MAINTENANCE WORK, TO BACKFILL AND MOUND ALL TRENCH CREATED SO AS TO RETAIN SUITABLE DRAINAGE TO COLD PATCH ANY ASPHALT OR CONCRETE SURFACE, TO REMOVE ALL EXCESS DEBRIS AND SPOIL, AND TO LEAVE THE MAINTENANCE AREA IN A GENERALLY CLEAN AND WORKMANLIKE CONDITION.

KENDALL COUNTY RIGHT TO FARM STATEMENT

NOTICE: KENDALL COUNTY HAS A LONG, RICH TRADITION IN AGRICULTURE AND RESPECTS THE ROLE THAT FARMING CONTINUES TO PLAY IN SHAPING THE ECONOMIC VIABILITY OF THE COUNTY. PROPERTY THAT SUPPORTS THIS INDUSTRY IS INDICATED BY A ZONING INDICATOR -- A-1 OR AG SPECIAL USE. ANYONE CONSTRUCTING A RESID OR FACILITY NEAR THIS ZONING SHOULD BE AWARE THAT NORMAL AGRICULTURAL PRACTICES MAY RESULT IN OCCASIONAL SMELLS, DUST, SIGHTS, NOISE, AND UNIQUE HOURS OF OPERATION THAT ARE NOT TYPICAL IN OTHER ZONING AREAS.

RECORDER'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KENDALL ) S.S.

THIS INSTRUMENT NO. \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KENDALL COUNTY, ILLINOIS, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AT \_\_\_\_\_ O'CLOCK \_\_\_\_M.

KENDALL COUNTY RECORDER \_\_\_\_\_

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KANE ) S.S.

THIS IS TO CERTIFY THAT I, BERNARD J. BAUER, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003799, AT THE REQUEST OF THE OWNER(S) THEREOF, HAVE SURVEYED, SUBDIVIDED AND PLATTED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 4, AND PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF LOT 1685 OF BRISTOL BAY P.U.D. UNIT 1, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 21, 2005 AS DOCUMENT NO. 200500039532; THENCE NORTH 87 DEGREES 42 MINUTES 08 SECONDS EAST, ALONG THE NORTH LINE OF SAID LOT 1685, 115.27 FEET TO A BEND IN SAID NORTH LINE; THENCE SOUTH 75 DEGREES 28 MINUTES 39 SECONDS EAST, ALONG SAID NORTH LINE, 208.25 FEET TO THE NORTHEAST CORNER OF SAID LOT 1685 AND THE EASTERLY LINE OF THE LANDS DESCRIBED IN DOC. 200500015019; THENCE NORTH 14 DEGREES 46 MINUTES 21 SECONDS EAST, 539.21 FEET TO A CORNER OF SAID LANDS; THENCE SOUTH 75 DEGREES 13 MINUTES 39 SECONDS EAST, ALONG A SOUTHERLY LINE OF SAID LANDS, SAID SOUTHERLY LINE BEING PARALLEL WITH THE NORTHERLY RIGHT-OF-WAY LINE OF GALENA ROAD, 670.00 FEET; THENCE ALONG THE FOLLOWING TWELVE (12) COURSES, BEING ALONG THE EASTERLY LINE OF SAID LANDS; (1) NORTH 14 DEGREES 46 MINUTES 21 SECONDS EAST, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 133.15 FEET; (2) NORTHEASTERLY ALONG A NON-TANGENTIAL CURVE TO THE LEFT WITH A RADIUS OF 66.00 FEET AND A CHORD BEARING OF NORTH 26 DEGREES 02 MINUTES 38 SECONDS EAST, AN ARC LENGTH OF 140.44 FEET; (3) NORTH 14 DEGREES 46 MINUTES 21 SECONDS EAST, 145.67 FEET; (4) NORTH 75 DEGREES 13 MINUTES 39 SECONDS WEST, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 70.00 FEET; (5) NORTH 02 DEGREES 56 MINUTES 30 SECONDS WEST, 79.37 FEET; (6) NORTH 09 DEGREES 46 MINUTES 58 SECONDS EAST, 77.05 FEET; (7) NORTH 05 DEGREES 56 MINUTES 12 SECONDS EAST, 77.05 FEET; (8) NORTH 02 DEGREES 05 MINUTES 26 SECONDS EAST, 77.05 FEET; (9) NORTH 01 DEGREES 45 MINUTES 20 SECONDS WEST, 77.05 FEET; (10) NORTH 05 DEGREES 36 MINUTES 06 SECONDS WEST, 77.05 FEET; (11) NORTH 09 DEGREES 26 MINUTES 52 SECONDS WEST, 77.05 FEET; (12) NORTH 13 DEGREES 17 MINUTES 38 SECONDS WEST, 77.05 FEET TO THE SOUTHEAST CORNER OF LOT 1041 OF BRISTOL BAY P.U.D. UNIT 7, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 21, 2005, AS DOCUMENT NUMBER 200500039538; THENCE ALONG THE FOLLOWING THIRTY-THREE (33) COURSES BEING ALONG THE SOUTHERLY LINE AND WESTERLY LINE OF SAID BRISTOL BAY P.U.D. UNIT 7; (1) SOUTH 74 DEGREES 46 MINUTES 59 SECONDS WEST, 135.00 FEET; (2) SOUTH 64 DEGREES 37 MINUTES 29 SECONDS WEST, 93.85 FEET; (3) SOUTH 73 DEGREES 45 MINUTES 42 SECONDS WEST, 36.17 FEET; (4) SOUTHWESTERLY ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 1028.00 FEET AND A CHORD BEARING OF SOUTH 75 DEGREES 41 MINUTES 46 SECONDS WEST, AN ARC LENGTH OF 69.41 FEET; (5) SOUTH 12 DEGREES 22 MINUTES 10 SECONDS EAST, 83.52 FEET; (6) SOUTH 05 DEGREES 51 MINUTES 10 SECONDS EAST, 67.52 FEET; (7) SOUTH 01 DEGREES 06 MINUTES 59 SECONDS EAST, 67.52 FEET; (8) SOUTH 03 DEGREES 37 MINUTES 13 SECONDS WEST, 67.52 FEET; (9) SOUTH 08 DEGREES 21 MINUTES 24 SECONDS WEST, 67.52 FEET; (10) SOUTH 26 DEGREES 14 MINUTES 21 SECONDS WEST, 140.66 FEET; (11) NORTH 75 DEGREES 13 MINUTES 39 SECONDS WEST, 140.00 FEET; (12) NORTH 74 DEGREES 29 MINUTES 33 SECONDS WEST, 67.35 FEET; (13) NORTH 62 DEGREES 11 MINUTES 15 SECONDS WEST, 61.67 FEET; (14) NORTH 46 DEGREES 13 MINUTES 13 SECONDS WEST 61.67 FEET; (15) NORTH 30 DEGREES 15 MINUTES 12 SECONDS WEST, 61.67 FEET; (16) NORTH 21 DEGREES 49 MINUTES 17 SECONDS WEST, 61.26 FEET; (17) NORTH 00 DEGREES 08 MINUTES 26 SECONDS WEST, 67.01 FEET; (18) SOUTH 89 DEGREES 51 MINUTES 34 SECONDS WEST, 159.96 FEET; (19) SOUTH 88 DEGREES 43 MINUTES 57 SECONDS WEST, 66.00 FEET; (20) NORTHERLY ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 278.00 FEET AND A CHORD BEARING OF NORTH 00 DEGREES 42 MINUTES 15 SECONDS WEST, AN ARC LENGTH OF 5.47 FEET; (21) THENCE NORTH 00 DEGREES 08 MINUTES 26 SECONDS WEST, 100.83 FEET; (22) NORTHWESTERLY ALONG A CURVE TO THE LEFT WITH A RADIUS OF 25.00 FEET AND A CHORD BEARING OF NORTH 45 DEGREES 08 MINUTES 26 SECONDS WEST, AN ARC LENGTH OF 39.27 FEET; (23) SOUTH 89 DEGREES 51 MINUTES 34 SECONDS WEST, 244.84 FEET; (24) SOUTHWESTERLY ALONG A CURVE TO THE LEFT WITH A RADIUS OF 25.00 FEET AND A CHORD BEARING OF SOUTH 42 DEGREES 55 MINUTES 25 SECONDS WEST, AN ARC LENGTH OF 40.96 FEET; (25) THENCE SOUTHERLY ALONG A CURVE TO THE LEFT WITH A RADIUS OF 884.00 FEET AND CHORD BEARING OF SOUTH 04 DEGREES 37 MINUTES 14 SECONDS EAST, AN ARC LENGTH OF 18.78 FEET; (26) SOUTH 84 DEGREES 46 MINUTES 15 SECONDS WEST, 197.00 FEET; (27) SOUTH 07 DEGREES 16 MINUTES 34 SECONDS EAST, 17.21 FEET; (28) SOUTH 45 MINUTES 02 SECONDS EAST, 91.58 FEET; (29) SOUTH 16 DEGREES 22 MINUTES 16 SECONDS EAST, 82.73 FEET; (30) SOUTH 21 DEGREES 17 MINUTES 25 SECONDS EAST, 80.72 FEET; (31) SOUTH 21 DEGREES 48 MINUTES 57 SECONDS EAST, 390.00 FEET; (32) SOUTH 68 DEGREES 11 MINUTES 03 SECONDS WEST, 5.00 FEET; (33) NORTHWESTERLY ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 25.00 FEET AND A CHORD BEARING OF NORTH 66 DEGREES 48 MINUTES 57 SECONDS WEST, AN ARC LENGTH OF 39.27 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF ROSEWINKEL ROAD, PER SAID BRISTOL BAY P.U.D. UNIT 1; THENCE, SOUTH 21 DEGREES 48 MINUTES 57 SECONDS EAST, ALONG SAID RIGHT-OF-WAY LINE, 171.66 FEET; THENCE CONTINUING SOUTHERLY ALONG SAID RIGHT-OF-WAY LINE, BEING ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 680.00 FEET AND A CHORD BEARING OF SOUTH 09 DEGREES 31 MINUTES 23 SECONDS EAST, AN ARC LENGTH OF 291.78 FEET TO SAID POINT OF BEGINNING, IN THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN IS A CORRECT AND ACCURATE REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT NO PART OF THE ABOVE DESCRIBED PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY BASED ON FIRM MAP NO. 17093C00335H, BEARING AN EFFECTIVE DATE OF JANUARY 8, 2014. ALL OF THE PROPERTY IS LOCATED IN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

I FURTHER CERTIFY THAT I HAVE SET ALL EXTERIOR SUBDIVISION MONUMENTS AND DESCRIBED THEM ON THIS FINAL PLAT, AND THAT ALL INTERIOR MONUMENTS SHALL BE SET AS REQUIRED BY STATUTE (ILLINOIS REVISED STATUTES 1989, CHAPTER 109 SECTION 1).

I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE UNITED CITY OF YORKVILLE, ILLINOIS, AND THAT THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS AMENDED.

THIS PROFESSIONAL SERVICE CONFORMS WITH THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEYS.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

BERNARD J. BAUER, P.L.S. (bbauer@hrgreen.com)  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003799  
LICENSE EXPIRATION DATE: 11/30/2022

BAR IS ONE INCH ON OFFICIAL DRAWINGS IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

DRAWN BY: BJB  
APPROVED: MD  
JOB DATE: 02/16/2022  
JOB NO: 220051

SHEET  
4 OF 4

Illinois Professional Design Firm # 184-001322

2363 Sequoia Drive, Suite 101  
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HRGreen

FINAL PLAT OF SUBDIVISION  
BRISTOL BAY P.U.D. UNIT 13  
UNITED CITY OF YORKVILLE  
KENDALL, ILLINOIS

NOTE: Only those Building Line Restrictions or Easements shown on a Recorded Subdivision Plat are shown hereon unless the description ordered to be surveyed contains a proper description of the required building lines or easements.  
\* No distance should be assumed by scaling.  
\* No underground improvements have been located unless shown and noted.  
\* No representation as to ownership, use, or possession should be hereon implied.  
\* This Survey and Plat of Survey are void without original embossed or red colored seal and signature affixed.  
\* This professional service conforms to the current Illinois minimum standards for a boundary survey and was performed for:

MODA TECH & INFRASTRUCTURE

Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

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