



United City of Yorkville

800 Game Farm Road

Yorkville, Illinois 60560

Telephone: 630-553-4350

www.yorkville.il.us

AGENDA CITY COUNCIL MEETING Tuesday, October 8, 2019 7:00 p.m.

City Hall Council Chambers
800 Game Farm Road, Yorkville, IL

Call to Order:

Pledge of Allegiance:

Roll Call by Clerk: WARD I

Ken Koch

Dan Transier

WARD II

Jackie Milschewski

Arden Joe Plocher

WARD III

Chris Funkhouser

Joel Frieders

WARD IV

Seaver Tarulis

Jason Peterson

Establishment of Quorum:

Amendments to Agenda:

Presentations:

1. Employee Appreciation of Service

Public Hearings:

Citizen Comments on Agenda Items:

Consent Agenda:

Minutes for Approval:

Bill Payments for Approval from the Current Bill List:

Payments total these amounts:

\$ 838,299.33 (vendors)

\$ 401,340.45 (payroll period ending 9/20/19)

\$ 1,239,639.78 (total)

Mayor's Report:

1. CC 2019-62 Cannabis Zoning Restrictions
2. CC 2019-63 CMAP LTA Grant Program/Application – Industrial Feasibility Study

Public Works Committee Report

Economic Development Committee Report:

Public Safety Committee Report:

Administration Committee Report:

Park Board:

1. CC 2019-64 Ordinance Amending the Liquor Regulations Allowing Possession and Consumption of Alcoholic Beverages at the Bristol Bay Regional Park

Planning and Zoning Commission:

1. PZC 2019-09 and EDC 2019-23 Downtown Form-Based Code and Streetscape Master Plan
 - a. Ordinance Amending the Yorkville Zoning Ordinance by Adding a Downtown Overlay District
 - b. Ordinance Approving a Streetscape Master Plan for the Downtown Overlay District
2. PZC 2019-21 and EDC 2019-74 Ordinance Approving the Final Plat of the Menard's Commercial Commons Seventh Addition Resubdivision

City Council Report:

City Clerk's Report:

Community and Liaison Report:

Staff Report:

Mayor's Report (cont'd):

3. CC 2019-65 Fiscal Year 2019 Audit Report

Additional Business:

Citizen Comments:

Executive Session:

Adjournment:

COMMITTEES, MEMBERS AND RESPONSIBILITIES

ADMINISTRATION: October 16, 2019 – 6:00 p.m. – City Hall Conference Room

<u>Committee</u>	<u>Departments</u>	<u>Liaisons</u>
Chairman: Alderman Funkhouser	Finance	Library
Vice-Chairman: Alderman Transier	Administration	
Committee: Alderman Plocher		
Committee: Alderman Peterson		

ECONOMIC DEVELOPMENT: November 5, 2019 – 6:00 p.m. – City Hall Conference Room

<u>Committee</u>	<u>Departments</u>	<u>Liaisons</u>
Chairman: Alderman Milschewski	Community Development	Planning & Zoning Commission
Vice-Chairman: Alderman Peterson	Building Safety & Zoning	Kendall Co. Plan Commission
Committee: Alderman Koch		
Committee: Alderman Frieders		

COMMITTEES, MEMBERS AND RESPONSIBILITIES cont'd:

PUBLIC SAFETY: November 7, 2019 – 6:30 p.m. – City Hall Conference Room

<u>Committee</u>	<u>Departments</u>	<u>Liaisons</u>
Chairman: Alderman Tarulis	Police	School District
Vice-Chairman: Alderman Frieders		
Committee: Alderman Milschewski		
Committee: Alderman Transier		

PUBLIC WORKS: October 15, 2019 – 6:00 p.m. – City Hall Conference Room

<u>Committee</u>	<u>Departments</u>	<u>Liaisons</u>
Chairman: Alderman Plocher	Public Works	Park Board
Vice-Chairman: Alderman Koch	Engineering	YBSD
Committee: Alderman Funkhouser	Parks and Recreation	
Committee: Alderman Tarulis		

UNITED CITY OF YORKVILLE
WORKSHEET
CITY COUNCIL
Tuesday, October 8, 2019
7:00 PM
CITY COUNCIL CHAMBERS

AMENDMENTS TO AGENDA:

PRESENTATIONS:

1. Employee Appreciation of Service

CITIZEN COMMENTS ON AGENDA ITEMS:

BILLS FOR PAYMENT:

☐ Approved _____

☐ As presented

☐ As amended

☐ Notes _____

MAYOR'S REPORT:

1. CC 2019-62 Cannabis Zoning Restrictions

☐ Approved: **Y** _____ **N** _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

2. CC 2019-63 CMAP LTA Grant Program/Application – Industrial Feasibility Study

☐ Approved: **Y** _____ **N** _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

PARK BOARD:

1. CC 2019-64 Ordinance Amending the Liquor Regulations Allowing Possession and Consumption of Alcoholic Beverages at the Bristol Bay Regional Park

☐ Approved: Y _____ N _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

PLANNING AND ZONING COMMISSION:

1. PZC 2019-09 and EDC 2019-23 Downtown Form-Based Code and Streetscape Master Plan

- a. Ordinance Amending the Yorkville Zoning Ordinance by Adding a Downtown Overlay District

☐ Approved: Y _____ N _____ ☐ Subject to _____

☐ Removed _____

- b. Ordinance Approving a Streetscape Master Plan for the Downtown Overlay District

☐ Approved: Y _____ N _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

2. PZC 2019-21 and EDC 2019-74 Ordinance Approving the Final Plat of the Menard's Commercial Commons Seventh Addition Resubdivision

☐ Approved: Y _____ N _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

MAYOR'S REPORT (CONT'D):

3. CC 2019-65 Fiscal Year 2019 Audit Report

☐ Approved: Y _____ N _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

ADDITIONAL BUSINESS:

CITIZEN COMMENTS:



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input checked="" type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Bills for Payment

Tracking Number

Agenda Item Summary Memo

Title: Bills for Payment

Meeting and Date: City Council – October 8, 2019

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Approval

Submitted by: Amy Simmons Finance
Name Department

Agenda Item Notes:

DATE: 09/23/19
TIME: 09:20:08
PRG ID: AP215000.WOW

UNITED CITY OF YORKVILLE
CHECK REGISTER

CHECK DATE: 09/23/19

CHECK #	VENDOR #	INVOICE NUMBER	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	ITEM AMT
530118	R0002286	LAKESHORE TITLE AGENCY					
	092319-CLOSING		09/23/19	01	CLOSING COSTS FOR OLD JAIL	89-890-54-00-5462	1,753.00
					INVOICE TOTAL:		1,753.00 *
					CHECK TOTAL:		1,753.00
530119	R0002287	PAUL & LAURA BERRY					
	092019		09/20/19	01	REFUND OVERPAYMENT ISSUED	01-000-13-00-1371	1,731.65
				02	IN ERROR TO ACCT#0101421500-01	** COMMENT **	
					INVOICE TOTAL:		1,731.65 *
					CHECK TOTAL:		1,731.65
					TOTAL AMOUNT PAID:		3,484.65

- 01-110 ADMINISTRATION
01-120 FINANCE
01-210 POLICE
01-220 COMMUNITY DEVELOPMENT
01-410 STREET OPERATIONS
01-540 HEALTH & SANITATION
01-640 ADMINISTRATIVE SERVICES

11-111 FOX HILL SSA
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25-205 POLICE CAPITAL
25-215 PUBLIC WORKS CAPITAL

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51-510 WATER OPERATIONS
52-520 SEWER OPERATIONS
72-720 LAND CASH
79-790 PARKS DEPARTMENT
79-795 RECREATION DEPARTMENT

82-820 LIBRARY OPERATIONS
84-840 LIBRARY CAPITAL
87-870 COUNTRYSIDE TIF
88-880 DOWNTOWN TIF
89-890 DOWNTOWN TIF II
90-XXX DEVELOPER ESCROW
95-XXX ESCROW DEPOSIT

DATE: 09/25/19
TIME: 10:25:50
PRG ID: AP215000.WOW

UNITED CITY OF YORKVILLE
CHECK REGISTER

CHECK DATE: 09/26/19

CHECK #	VENDOR #	INVOICE NUMBER	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	ITEM AMT
530120	ALLUNION	ALL UNION FENCE COMPANY					
	NICHOLSON		09/25/19	01	WORK SCHEDULED FOR THE	23-216-56-00-5656	3,042.00
				02	NICHOLSON PROPERTY - PER	** COMMENT **	
				03	CONTRACTUAL REQUIREMENTS	INVOICE TOTAL:	3,042.00 *
					CHECK TOTAL:		3,042.00
					TOTAL AMOUNT PAID:		3,042.00

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DATE: 09/30/19
TIME: 09:18:36
ID: AP211001.WOW

UNITED CITY OF YORKVILLE
CHECK REGISTER

INVOICES DUE ON/BEFORE 10/08/2019

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
531096	ALTORFER	ALTORFER INDUSTRIES, INC					
	P63C0023019	09/11/19	01	CAT ELC 1G	01-410-56-00-5628		81.18
					INVOICE TOTAL:		81.18 *
	PO630012330	09/13/19	01	TROUBLESHOOT TRANSFER SWITCH	51-510-54-00-5445		1,165.14
			02	PROBLEM AT LEHMAN CROSSING	** COMMENT **		
			03	LIFT	** COMMENT **		
					INVOICE TOTAL:		1,165.14 *
					CHECK TOTAL:		1,246.32
531097	AMORELLA	ALJO AMORELLI					
	091219	09/12/19	01	UMPIRE	79-795-54-00-5462		80.00
					INVOICE TOTAL:		80.00 *
	091919	09/19/19	01	UMPIRE	79-795-54-00-5462		80.00
					INVOICE TOTAL:		80.00 *
					CHECK TOTAL:		160.00
531098	AMPERAGE	AMPERAGE ELECTRICAL SUPPLY INC					
	0947925-IN	08/20/19	01	WIRE	01-410-54-00-5482		325.00
					INVOICE TOTAL:		325.00 *
	0956176-IN	09/11/19	01	PHOTO CONTROLS, LAMPS	01-410-56-00-5642		348.24
					INVOICE TOTAL:		348.24 *
					CHECK TOTAL:		673.24
531099	ARNESON	ARNESON OIL COMPANY					
	262143	08/30/19	01	AUG 2019 DIESEL FUEL	01-410-56-00-5695		184.85
			02	AUG 2019 DIESEL FUEL	51-510-56-00-5695		184.84

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89-890 DOWNTOWN TIF II
90-XXX DEVELOPER ESCROW
95-XXX ESCROW DEPOSIT

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531099	ARNESON	ARNESON OIL COMPANY					
	262143	08/30/19	03	AUG 2019 DIESEL FUEL	52-520-56-00-5695		184.84
					INVOICE TOTAL:		554.53 *
	262533	08/31/19	01	AUG 2019 DIESEL FUEL	01-410-56-00-5695		391.91
			02	AUG 2019 DIESEL FUEL	51-510-56-00-5695		391.90
			03	AUG 2019 DIESEL FUEL	52-520-56-00-5695		391.90
					INVOICE TOTAL:		1,175.71 *
					CHECK TOTAL:		1,730.24
531100	ATTINTER	AT&T					
	7933820505	09/10/19	01	09/10-10/09 ROUTER	01-110-54-00-5440		471.16
					INVOICE TOTAL:		471.16 *
					CHECK TOTAL:		471.16
531101	BARRERAD	DIEGO BARRERA					
	091419	09/14/19	01	UMPIRE	79-795-54-00-5462		105.00
					INVOICE TOTAL:		105.00 *
					CHECK TOTAL:		105.00
531102	BATTERY S	BATTERY SERVICE CORPORATION					
	0054088	09/06/19	01	BATTERIES	01-410-56-00-5628		189.90
					INVOICE TOTAL:		189.90 *
	0054325	09/13/19	01	BATTERY	01-410-56-00-5628		184.90
					INVOICE TOTAL:		184.90 *
					CHECK TOTAL:		374.80
531103	BEYERD	DWAYNE F BEYER					

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UNITED CITY OF YORKVILLE
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INVOICES DUE ON/BEFORE 10/08/2019

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531103	BEYERD	DWAYNE F BEYER					
	091219	09/12/19	01	UMPIRE	79-795-54-00-5462		100.00
					INVOICE TOTAL:		100.00 *
	091919	09/19/19	01	UMPIRE	79-795-54-00-5462		160.00
					INVOICE TOTAL:		160.00 *
					CHECK TOTAL:		260.00
531104	BFCNSTR	B&F CONSTRUCTION CODE SERVICES					
	11757	09/09/19	01	AUG 2019 INSPECTIONS	01-220-54-00-5459		6,120.00
					INVOICE TOTAL:		6,120.00 *
					CHECK TOTAL:		6,120.00
531105	BOHYERR	REBEKAH BOHYER					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		35.00
					INVOICE TOTAL:		35.00 *
					CHECK TOTAL:		35.00
531106	BOULEA	ANTHONY BOULE					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		35.00
					INVOICE TOTAL:		35.00 *
					CHECK TOTAL:		35.00
D001373	BROWND	DAVID BROWN					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	52-520-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00

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531107	BUCKR	RYAN BUCK					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		100.00
					INVOICE TOTAL:		100.00 *
					CHECK TOTAL:		100.00
531108	BULLINGJ	JOSLYN T. BULLINGTON					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		120.00
					INVOICE TOTAL:		120.00 *
					CHECK TOTAL:		120.00
531109	CAMBRIA	CAMBRIA SALES COMPANY INC.					
	41003	09/04/19	01	TOILET TISSUE, PAPER TOWELS	01-110-56-00-5610		102.64
					INVOICE TOTAL:		102.64 *
	41025	09/12/19	01	PAPER TOWEL	52-520-56-00-5620		93.51
					INVOICE TOTAL:		93.51 *
					CHECK TOTAL:		196.15
531110	CARCONST	CARROLL CONSTRUCTION SUPPLY					
	AU035007	09/17/19	01	REPLACEABLE RED BRICK	23-230-56-00-5637		360.00
					INVOICE TOTAL:		360.00 *
					CHECK TOTAL:		360.00
531111	CENTRALL	CENTRAL LIMESTONE COMPANY, INC					
	18839	09/16/19	01	GRAVEL	51-510-56-00-5620		151.75
					INVOICE TOTAL:		151.75 *
					CHECK TOTAL:		151.75

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531112	COLDUP	COLLEGE OF DUPAGE					
	10519.1	09/20/19	01	COMMUNITY SERVICE OFFICER	01-210-54-00-5412		195.00
			02	COURSE - AGUILA	** COMMENT **		
					INVOICE TOTAL:		195.00 *
	10519.2	09/20/19	01	COMMUNITY SERVICE OFFICER	01-210-54-00-5412		195.00
			02	COURSE - SHAPIAMA	** COMMENT **		
					INVOICE TOTAL:		195.00 *
					CHECK TOTAL:		390.00
531113	COMED	COMMONWEALTH EDISON					
	1613010022-0819	09/12/19	01	08/12-09/11 GALENA BALLFIELD	79-795-54-00-5480		308.43
					INVOICE TOTAL:		308.43 *
	1977008102-0819	09/11/19	01	08/12-09/11 GALENA RD PARK	79-795-54-00-5480		80.46
					INVOICE TOTAL:		80.46 *
	6963019021-0819	09/12/19	01	08/12-09/11 RT47 & ROSENWINKLE	23-216-54-00-5482		26.45
					INVOICE TOTAL:		26.45 *
	7090039005-0819	09/09/19	01	08/08-09/09 RT34 & CANNONBALL	23-216-54-00-5482		19.82
					INVOICE TOTAL:		19.82 *
	8344010026-0919	09/19/19	01	07/29-09/18 MISC STREET LIGHTS	23-216-54-00-5482		212.47
					INVOICE TOTAL:		212.47 *
					CHECK TOTAL:		647.63
531114	COREMAIN	CORE & MAIN LP					
	L100497	08/30/19	01	50 BACKFLOW METERS	51-510-56-00-5664		3,862.50
					INVOICE TOTAL:		3,862.50 *
	L115252	08/30/19	01	6 100CF METERS, METER COUPLING	51-510-56-00-5664		1,339.68
					INVOICE TOTAL:		1,339.68 *

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531114	COREMAIN	CORE & MAIN LP					
	L152418	09/06/19	01	1 100CF METER, 1 OVAL METER	51-510-56-00-5664		1,254.14
			02	FLANGE SET	** COMMENT **		
					INVOICE TOTAL:		1,254.14 *
	L180332	09/13/19	01	108 510M METERS	51-510-56-00-5664		14,040.00
					INVOICE TOTAL:		14,040.00 *
					CHECK TOTAL:		20,496.32
531115	COXLAND	COX LANDSCAPING LLC					
	190221	09/07/19	01	AUG 2019 LAWN MOWING	11-111-54-00-5495		301.53
					INVOICE TOTAL:		301.53 *
	190232	09/07/19	01	AUG 2019 LAWN MOWING	12-112-54-00-5495		285.00
					INVOICE TOTAL:		285.00 *
					CHECK TOTAL:		586.53
531116	CZEPIELD	DONALD CZEPIEL					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		55.00
					INVOICE TOTAL:		55.00 *
					CHECK TOTAL:		55.00
531117	DELAGE	DLL FINANCIAL SERVICES INC					
	65092344	09/17/19	01	OCT 2019 COPIER LEASE	01-110-54-00-5485		113.46
			02	OCT 2019 COPIER LEASE	01-120-54-00-5485		75.64
			03	OCT 2019 COPIER LEASE	01-220-54-00-5485		189.10
			04	OCT 2019 COPIER LEASE	01-210-54-00-5485		299.10
			05	OCT 2019 COPIER LEASE	01-410-54-00-5485		44.67
			06	OCT 2019 COPIER LEASE	51-510-54-00-5485		44.67

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11-111 FOX HILL SSA
12-112 SUNFLOWER ESTATES
15-155 MOTOR FUEL TAX(MFT)
23-216 MUNICIPAL BUILDING
23-230 CITY-WIDE CAPITAL
25-205 POLICE CAPITAL
25-215 PUBLIC WORKS CAPITAL

25-225 PARKS & REC CAPITAL
42-420 DEBT SERVICE
51-510 WATER OPERATIONS
52-520 SEWER OPERATIONS
72-720 LAND CASH
79-790 PARKS DEPARTMENT
79-795 RECREATION DEPARTMENT

82-820 LIBRARY OPERATIONS
84-840 LIBRARY CAPITAL
87-870 COUNTRYSIDE TIF
88-880 DOWNTOWN TIF
89-890 DOWNTOWN TIF II
90-XXX DEVELOPER ESCROW
95-XXX ESCROW DEPOSIT

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531117	DELAGE	DLL FINANCIAL SERVICES INC					
	65092344	09/17/19	07	OCT 2019 COPIER LEASE	52-520-54-00-5485		44.67
			08	OCT 2019 COPIER LEASE	79-790-54-00-5485		94.55
			09	OCT 2019 COPIER LEASE	79-795-54-00-5485		94.54
				INVOICE TOTAL:			1,000.40 *
				CHECK TOTAL:			1,000.40
531118	DELAGE	DLL FINANCIAL SERVICES INC					
	65092349	09/17/19	01	NOV 2019 COPIER MAINTENANCE	01-110-54-00-5485		112.33
			02	NOV 2019 COPIER MAINTENANCE	01-120-54-00-5485		37.44
			03	NOV 2019 COPIER MAINTENANCE	01-210-54-00-5485		112.33
			04	NOV 2019 COPIER MAINTENANCE	51-510-54-00-5485		50.18
			05	NOV 2019 COPIER MAINTENANCE	52-520-54-00-5485		12.36
			06	NOV 2019 COPIER MAINTENANCE	01-410-54-00-5485		12.36
				INVOICE TOTAL:			337.00 *
				CHECK TOTAL:			337.00
D001374	DHUSEE	DHUSE, ERIC					
	091719-APWA PWX	09/17/19	01	2019 APWA PWX NATIONAL TRADE	51-510-54-00-5415		153.22
			02	SHOW & TRAINING MEAL & TRAVEL	** COMMENT **		
			03	REIMBURSEMENT-DHUSE	** COMMENT **		
			04	2019 APWA PWX NATIONAL TRADE	52-520-54-00-5415		153.21
			05	SHOW & TRAINING MEAL & TRAVEL	** COMMENT **		
			06	REIMBURSEMENT-DHUSE	** COMMENT **		
			07	2019 APWA PWX NATIONAL TRADE	01-410-54-00-5415		153.22
			08	SHOW & TRAINING MEAL & TRAVEL	** COMMENT **		
			09	REIMBURSEMENT-DHUSE	** COMMENT **		
				INVOICE TOTAL:			459.65 *
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	51-510-54-00-5440		15.00
			02	REIMBURSEMENT	** COMMENT **		

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D001374	DHUSEE	DHUSE, ERIC					
	100119	10/01/19	03	SEPT 2019 MOBILE EMAIL	52-520-54-00-5440		15.00
			04	REIMBURSEMENT	** COMMENT **		
			05	SEPT 2019 MOBILE EMAIL	01-410-54-00-5440		15.00
			06	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		504.65
D001375	DJIDICK	KAYLA DJIDIC					
	0007	09/20/19	01	ZUMBA CLASS INSTRUCTION	79-795-54-00-5462		297.50
					INVOICE TOTAL:		297.50 *
					DIRECT DEPOSIT TOTAL:		297.50
D001376	DLK	DLK, LLC					
	192	09/30/19	01	SEPT 2019 ECONOMIC DEVELOPMENT	01-640-54-00-5486		9,425.00
			02	HOURS	** COMMENT **		
					INVOICE TOTAL:		9,425.00 *
	198	09/30/19	01	3RD QUARTER OF 2019 BANKED	01-640-54-00-5486		16,675.00
			02	ECONOMIC DEVELOPEMENT HOURS	** COMMENT **		
					INVOICE TOTAL:		16,675.00 *
					DIRECT DEPOSIT TOTAL:		26,100.00
531119	DYNEGY	DYNEGY ENERGY SERVICES					
	266979319091	09/19/19	01	08/15-09/16 2702 MILL RD	51-510-54-00-5480		5,521.52
					INVOICE TOTAL:		5,521.52 *
					CHECK TOTAL:		5,521.52
531120	EBNERS	SARA R. EBNER					

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531120	EBNERS	SARA R. EBNER					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		160.00
					INVOICE TOTAL:		160.00 *
					CHECK TOTAL:		160.00
531121	EEI	ENGINEERING ENTERPRISES, INC.					
	67464	09/20/19	01	RT71 IMPROVEMENTS	01-640-54-00-5465		208.00
					INVOICE TOTAL:		208.00 *
	67465	09/20/19	01	RT34 IMPROVEMENTS	01-640-54-00-5465		208.00
					INVOICE TOTAL:		208.00 *
	67467	09/20/19	01	UTILITY PERMIT REVIEWS	01-640-54-00-5465		2,983.00
					INVOICE TOTAL:		2,983.00 *
	67468	09/20/19	01	KENDALLWOOD ESTATES PUNCHLIST	88-880-60-00-6000		312.00
					INVOICE TOTAL:		312.00 *
	67469	09/20/19	01	GRANDE RESERVE - AVANTI	01-640-54-00-5465		208.00
					INVOICE TOTAL:		208.00 *
	67470	09/20/19	01	RT34 IMPROVEMENTS	01-640-54-00-5465		104.00
					INVOICE TOTAL:		104.00 *
	67471	09/20/19	01	PUBLIC WORKS MATERIAL STORAGE	01-640-54-00-5465		2,809.63
			02	SHED	** COMMENT **		
					INVOICE TOTAL:		2,809.63 *
	67472	09/20/19	01	METRONET	90-132-00-00-0111		495.75
					INVOICE TOTAL:		495.75 *
	67473	09/20/19	01	DOWNTOWN REVITALIZATION	01-640-54-00-5465		1,948.25
					INVOICE TOTAL:		1,948.25 *

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531121	EEI	ENGINEERING ENTERPRISES, INC.					
	67474	09/20/19	01	BLACKBERRY WOODS PHASE B	01-640-54-00-5465		252.00
					INVOICE TOTAL:		252.00 *
	67475	09/20/19	01	SUB-REGIONAL WATER	51-510-54-00-5465		832.00
			02	COORDINATION	** COMMENT **		
					INVOICE TOTAL:		832.00 *
					CHECK TOTAL:		10,360.63
531122	EEI	ENGINEERING ENTERPRISES, INC.					
	67476	09/20/19	01	MILL RD RECONSTRUCTION	23-230-60-00-6012		392.00
					INVOICE TOTAL:		392.00 *
					CHECK TOTAL:		392.00
531123	EEI	ENGINEERING ENTERPRISES, INC.					
	67477	09/20/19	01	KENDALL MARKETPLACE	01-640-54-00-5465		76.50
			02	RESIDENTIAL	** COMMENT **		
					INVOICE TOTAL:		76.50 *
	67478	09/20/19	01	HOLIDAY INN EXPRESS & SUITES	90-108-00-00-0111		1,501.25
					INVOICE TOTAL:		1,501.25 *
	67479	09/20/19	01	GRANDE RESERVE - UNIT 8	01-640-54-00-5465		104.00
					INVOICE TOTAL:		104.00 *
	67480	09/20/19	01	TIMBER GLENN SUBDIVISION	90-114-00-00-0111		482.00
					INVOICE TOTAL:		482.00 *
	67481	09/20/19	01	EAST ORANGE STREET WATER MAIN	51-510-60-00-6025		23,727.00
			02	REPLACEMENT	** COMMENT **		
					INVOICE TOTAL:		23,727.00 *

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531123	EEI	ENGINEERING ENTERPRISES, INC.					
	67482	09/20/19	01	STORM WATER BASIN INSPECTIONS	01-640-54-00-5465		1,088.25
					INVOICE TOTAL:		1,088.25 *
					CHECK TOTAL:		26,979.00
531124	EEI	ENGINEERING ENTERPRISES, INC.					
	67483	09/20/19	01	RAINTREE VILLAGE UNITS 4, 5 &	01-640-54-00-5465		197.00
					INVOICE TOTAL:		197.00 *
					CHECK TOTAL:		197.00
531125	EEI	ENGINEERING ENTERPRISES, INC.					
	67484	09/20/19	01	LOT 6B KENDALL CROSSING	90-128-00-00-0111		776.00
					INVOICE TOTAL:		776.00 *
	67485	09/20/19	01	2019 ROAD PROGRAM	23-230-60-00-6025		223.50
					INVOICE TOTAL:		223.50 *
	67486	09/20/19	01 02	GRANDE RESERVE UNIT 23 ENG INSPECTIONS	01-640-54-00-5465 ** COMMENT **		600.00
					INVOICE TOTAL:		600.00 *
	67487	09/20/19	01 02	GRANDE RESERVE UNIT 8 ENG INSPECTIONS	01-640-54-00-5465 ** COMMENT **		600.00
					INVOICE TOTAL:		600.00 *
	67488	09/20/19	01 02	CALEDONIA PHASE 1 ENG INSPECTIONS	01-640-54-00-5465 ** COMMENT **		100.00
					INVOICE TOTAL:		100.00 *
	67489	09/20/19	01 02	HEARTLAND MEADOWS ENG INSPECTIONS	01-640-54-00-5465 ** COMMENT **		100.00
					INVOICE TOTAL:		100.00 *

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531125	EEI	ENGINEERING ENTERPRISES, INC.					
	67490	09/20/19	01	WINDETT RIDGE UNIT 1 ENG	01-640-54-00-5465		100.00
			02	INSPECTIONS	** COMMENT **		
					INVOICE TOTAL:		100.00 *
	67491	09/20/19	01	BLACKBERRY WOODS PHASE B ENG	01-640-54-00-5465		100.00
			02	INSPECTIONS	** COMMENT **		
					INVOICE TOTAL:		100.00 *
	67492	09/20/19	01	KENDALL MARKETPLACE ENG	01-640-54-00-5465		400.00
			02	INSPECTIONS	** COMMENT **		
					INVOICE TOTAL:		400.00 *
	67493	09/20/19	01	GRANDE RESERVE UNIT 1 ENG	01-640-54-00-5465		100.00
			02	INSPECTIONS	** COMMENT **		
					INVOICE TOTAL:		100.00 *
	67494	09/20/19	01	GRANDE RESERVE UNIT 3	01-640-54-00-5465		153.00
					INVOICE TOTAL:		153.00 *
	67495	09/20/19	01	CITY OF YORKVILLE-GENERAL	01-640-54-00-5465		858.25
					INVOICE TOTAL:		858.25 *
	67496	09/20/19	01	MUNICIPAL ENGINEERING SERVICES	01-640-54-00-5465		1,900.00
					INVOICE TOTAL:		1,900.00 *
	67497	09/20/19	01	2019-20 BRIDGE INSPECTIONS	01-640-54-00-5465		98.50
					INVOICE TOTAL:		98.50 *
	67498	09/20/19	01	CHURCH STREET SANITARY SEWER	52-520-60-00-6025		1,651.50
			02	IMPROVEMENTS	** COMMENT **		
					INVOICE TOTAL:		1,651.50 *
	67499	09/20/19	01	2019 MISC. GIS	01-640-54-00-5465		131.25
					INVOICE TOTAL:		131.25 *

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531125	EEI	ENGINEERING ENTERPRISES, INC.					
	67500	09/20/19	01	YBSD COORDINATION	01-640-54-00-5465		416.00
					INVOICE TOTAL:		416.00 *
	67501	09/20/19	01	GRANDE RESERVE UNIT 3 ENG	01-640-54-00-5465		100.00
			02	INSPECTIONS	** COMMENT **		
					INVOICE TOTAL:		100.00 *
	67502	09/20/19	01	WATER WORKS SYSTEM OPERATIONS	51-510-54-00-5462		1,221.00
					INVOICE TOTAL:		1,221.00 *
	67503	09/20/19	01	ORA-CLEAN PERMITTING-WATER	51-510-54-00-5465		2,193.50
			02	TREATMENT PLANTS	** COMMENT **		
					INVOICE TOTAL:		2,193.50 *
	67504	09/20/19	01	WELL #3 WTP STANDBY GENERATOR	51-510-60-00-6060		3,595.50
					INVOICE TOTAL:		3,595.50 *
	67505	09/20/19	01	ELIZABETH STREET WATER MAIN	51-510-60-00-6025		2,798.50
			02	IMPROVEMENTS	** COMMENT **		
					INVOICE TOTAL:		2,798.50 *
	67506	09/20/19	01	GAS-N-WASH	90-144-00-00-0111		2,190.00
					INVOICE TOTAL:		2,190.00 *
	67507	09/20/19	01	FY 2021 BUDGET	01-640-54-00-5465		2,034.00
					INVOICE TOTAL:		2,034.00 *
	67508	09/20/19	01	BEECHER PARK IMPROVEMENTS	01-640-54-00-5465		3,928.25
					INVOICE TOTAL:		3,928.25 *
	67509	09/20/19	01	GRANDE RESERVE UNITS 26 & 27	90-147-00-00-0111		356.00
					INVOICE TOTAL:		356.00 *
	67510	09/20/19	01	FOX RIVER WATERSHED FLOOD	01-640-54-00-5465		295.50

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531125	EEI	ENGINEERING ENTERPRISES, INC.					
	67510	09/20/19	02	STUDY	** COMMENT **		
					INVOICE TOTAL:		295.50 *
	67511	09/20/19	01	MENARDS INC - PLAT OF	90-146-00-00-0111		544.00
			02	RESUBDIVISION	** COMMENT **		
					INVOICE TOTAL:		544.00 *
	67512	09/20/19	01	132 COMMERCIAL DR-MORTON BLDGS	90-140-00-00-0111		1,233.50
					INVOICE TOTAL:		1,233.50 *
	67513	09/20/19	01	SCHOOL FOR EXPRESSIVE ARTS &	90-149-00-00-0011		559.25
			02	LEARNING	** COMMENT **		
					INVOICE TOTAL:		559.25 *
					CHECK TOTAL:		29,357.00
531126	ELENBAAJ	JOHN ELENBAAS					
	091419	09/14/19	01	UMPIRE	79-795-54-00-5462		70.00
					INVOICE TOTAL:		70.00 *
					CHECK TOTAL:		70.00
531127	ENCAP	ENCAP, INC.					
	5545	08/30/19	01	ANNUAL MANAGENMENT OF PLANT	23-230-60-00-6014		2,350.00
			02	AREAS	** COMMENT **		
					INVOICE TOTAL:		2,350.00 *
					CHECK TOTAL:		2,350.00
531128	ENCODE	ENCODE PLUS, LLC					
	1604	09/20/19	01	ADVANCED 180 ENCODE PLUS	01-220-54-00-5462		12,375.00
					INVOICE TOTAL:		12,375.00 *
					CHECK TOTAL:		12,375.00

01-110 ADMINISTRATION
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52-520 SEWER OPERATIONS
72-720 LAND CASH
79-790 PARKS DEPARTMENT
79-795 RECREATION DEPARTMENT

82-820 LIBRARY OPERATIONS
84-840 LIBRARY CAPITAL
87-870 COUNTRYSIDE TIF
88-880 DOWNTOWN TIF
89-890 DOWNTOWN TIF II
90-XXX DEVELOPER ESCROW
95-XXX ESCROW DEPOSIT

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D001377	EVANST	TIM EVANS					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	79-790-54-00-5440		22.50
			02	REIMBURSEMENT	** COMMENT **		
			03	SEPT 2019 MOBILE EMAIL	79-795-54-00-5440		22.50
			04	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			45.00 *
				DIRECT DEPOSIT TOTAL:			45.00
531129	FLATSOS	RAQUEL HERRERA					
	12234	07/29/19	01	NEW TIRE	79-790-54-00-5495		161.86
				INVOICE TOTAL:			161.86 *
	12818	09/18/19	01	2 NEW TIRES	79-790-54-00-5495		203.42
				INVOICE TOTAL:			203.42 *
	12868	09/24/19	01	NEW TIRE	79-790-54-00-5495		69.48
				INVOICE TOTAL:			69.48 *
				CHECK TOTAL:			434.76
531130	FLEX	FLEX BENEFIT SERVICE CORP.					
	082819	08/28/19	01	ANNUAL COBRA FEE	01-110-54-00-5462		100.00
			02	JAN - AUG 2019 COBRA	01-110-54-00-5462		297.00
			03	COBRA PACKET ISSUED	01-410-54-00-5462		28.00
			04	COBRA PACKET ISSUED	01-210-54-00-5462		56.00
			05	COBRA PACKET ISSUED	79-790-54-00-5462		28.00
				INVOICE TOTAL:			509.00 *
	113415	09/16/19	01	AUG 2019 HRA ADMIN FEES	01-110-52-00-5216		20.00
			02	AUG 2019 HRA ADMIN FEES	01-120-52-00-5216		10.00
			03	AUG 2019 HRA ADMIN FEES	01-210-52-00-5216		105.00
			04	AUG 2019 HRA ADMIN FEES	01-220-52-00-5216		20.00

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531130	FLEX	FLEX BENEFIT SERVICE CORP.					
	113415	09/16/19	05	AUG 2019 HRA ADMIN FEES	01-410-52-00-5216		6.67
			06	AUG 2019 HRA ADMIN FEES	79-790-52-00-5216		22.50
			07	AUG 2019 HRA ADMIN FEES	79-795-52-00-5216		17.50
			08	AUG 2019 HRA ADMIN FEES	51-510-52-00-5216		16.67
			09	AUG 2019 HRA ADMIN FEES	52-520-52-00-5216		11.66
			10	AUG 2019 HRA ADMIN FEES	01-640-52-00-5240		35.00
			11	AUG 2019 HRA ADMIN FEES	82-820-52-00-5216		20.00
			12	AUG 2019 FSA ADMIN FEES	01-110-52-00-5216		12.00
			13	AUG 2019 FSA ADMIN FEES	01-120-52-00-5216		4.00
			14	AUG 2019 FSA ADMIN FEES	01-210-52-00-5216		24.00
			15	AUG 2019 FSA ADMIN FEES	01-220-52-00-5216		4.00
			16	AUG 2019 FSA ADMIN FEES	01-410-52-00-5216		4.00
			17	AUG 2019 FSA ADMIN FEES	51-510-52-00-5216		12.00
				INVOICE TOTAL:			345.00 *
				CHECK TOTAL:			854.00
531131	FOXVALLE	FOX VALLEY TROPHY & AWARDS					
	36300	09/11/19	01	2019 FLAG FOOTBALL MEDALS	79-795-56-00-5606		50.00
				INVOICE TOTAL:			50.00 *
	36301	09/12/19	01	2019 FALL SOCCER MEDALS	79-795-56-00-5606		800.00
				INVOICE TOTAL:			800.00 *
				CHECK TOTAL:			850.00
531132	FOXVALLE	FOX VALLEY TROPHY & AWARDS					
	36313	09/19/19	01	10 & 15 YEAR AWARDS	01-110-56-00-5610		183.00
				INVOICE TOTAL:			183.00 *
				CHECK TOTAL:			183.00
D001378	FREDRICR	ROB FREDRICKSON					

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D001378	FREDRICR	ROB FREDRICKSON					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	01-120-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
531133	FULTON	J & D INGENUITIES, LLC					
	1555	09/25/19	01	SMALL SIREN ANNUAL MAINTENANCE	25-205-54-00-5495		3,841.06
			02	AND BATTERY REPLACEMENTS	** COMMENT **		
					INVOICE TOTAL:		3,841.06 *
					CHECK TOTAL:		3,841.06
D001379	GALAUNEJ	JAKE GALAUNER					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	79-795-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
531134	GARDKOCH	GARDINER KOCH & WEISBERG					
	H-2364C-143165Q	09/03/19	01	KIMBALL HILL I MATTER	01-640-54-00-5461		249.10
					INVOICE TOTAL:		249.10 *
	H-3181C-143163	09/03/19	01	MISC GENERAL CITY MATTERS	01-640-54-00-5461		176.00
					INVOICE TOTAL:		176.00 *
	H-3586C-143251	09/11/19	01	NICHOLSON MATTER	01-640-54-00-5461		962.64
					INVOICE TOTAL:		962.64 *
	H-3995C-143167	09/03/19	01	YMCA MATTER	01-640-54-00-5461		924.00
					INVOICE TOTAL:		924.00 *

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531134	GARDKOCH	GARDINER KOCH & WEISBERG					
	H-4412C-143164	09/03/19	01	GREEN ORGANICS MATTER	01-640-54-00-5461		2,120.00
					INVOICE TOTAL:		2,120.00 *
	H-4650C-143162	09/03/19	01	CASCADE VS YORKVILLE MATTER	01-640-54-00-5461		220.00
					INVOICE TOTAL:		220.00 *
					CHECK TOTAL:		4,651.74
531135	GLATFELT	GLATFELTER UNDERWRITING SRVS.					
	102873116-10	08/31/19	01	LIABILITY INS INSTALLMENT #10	01-640-52-00-5231		9,903.66
			02	LIABILITY INS INSTALLMENT #10	01-640-52-00-5231		1,941.28
			03	LIABILITY INS INSTALLMENT #10	51-510-52-00-5231		1,096.67
			04	LIABILITY INS INSTALLMENT #10	52-520-52-00-5231		531.51
			05	LIABILITY INS INSTALLMENT #10	82-820-52-00-5231		918.88
					INVOICE TOTAL:		14,392.00 *
					CHECK TOTAL:		14,392.00
531136	GOLINSKA	ANDREW GOLINSKI					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		140.00
					INVOICE TOTAL:		140.00 *
					CHECK TOTAL:		140.00
531137	GOSSA	ALLEN R. GOSS					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		220.00
					INVOICE TOTAL:		220.00 *
					CHECK TOTAL:		220.00
531138	GOVIT	GOVERNMENT IT CONSORTIUM					

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531138	GOVIT	GOVERNMENT IT CONSORTIUM					
	2019-037	09/17/19	01	PAYMENT OF CDW-G INVOICE FOR	01-640-54-00-5450		15,271.05
			02	30 COMPUTERS	** COMMENT **		
					INVOICE TOTAL:		15,271.05 *
					CHECK TOTAL:		15,271.05
531139	GROUND	GROUND EFFECTS INC.					
	421075-000	09/20/19	01	DIRT	01-410-56-00-5620		354.38
					INVOICE TOTAL:		354.38 *
					CHECK TOTAL:		354.38
531140	HACH	HACH COMPANY					
	11627795	09/09/19	01	CHEMICALS	51-510-56-00-5638		952.56
					INVOICE TOTAL:		952.56 *
					CHECK TOTAL:		952.56
D001380	HARMANR	RHIANNON HARMON					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	79-795-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
531141	HARRIS	HARRIS COMPUTER SYSTEMS					
	XT00006936	09/10/19	01	AUG 2019 MYGOVHUB FEES	01-120-54-00-5462		79.27
			02	AUG 2019 MYGOVHUB FEES	51-510-54-00-5462		119.63
			03	AUG 2019 MYGOVHUB FEES	52-520-54-00-5462		34.52
					INVOICE TOTAL:		233.42 *
					CHECK TOTAL:		233.42

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531142	HAWKINS	HAWKINS INC					
	4575081	09/06/19	01	CHLORINE	51-510-56-00-5638		1,000.16
					INVOICE TOTAL:		1,000.16 *
					CHECK TOTAL:		1,000.16
D001381	HENNED	DURK HENNE					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	01-410-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D001382	HERNANDA	ADAM HERNANDEZ					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
531143	HERNANDN	NOAH HERNANDEZ					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					CHECK TOTAL:		45.00
531144	HETTINGA	ANDREW HETTINGER					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		280.00
					INVOICE TOTAL:		280.00 *
					CHECK TOTAL:		280.00

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D001383	HORNERR	RYAN HORNER					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D001384	HOULEA	ANTHONY HOULE					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
531145	HOUSEAL	HOUSEAL LAVIGNE ASSOCIATES					
	4310	09/16/19	01	AUG 2019 PROFESSIONAL	01-220-54-00-5462		2,187.50
			02	CONSULTING SERVICES	** COMMENT **		
					INVOICE TOTAL:		2,187.50 *
					CHECK TOTAL:		2,187.50
531146	ILPD4778	ILLINOIS STATE POLICE					
	083119	08/31/19	01	LIQUOR LICENSE BACKGROUND	01-110-54-00-5462		56.50
			02	CHECK	** COMMENT **		
					INVOICE TOTAL:		56.50 *
					CHECK TOTAL:		56.50
531147	ILPD4811	ILLINOIS STATE POLICE					
	083119	08/31/19	01	BACKGROUND CHECKS	79-795-54-00-5462		536.75
			02	BACKGROUND CHECKS	01-210-54-00-5462		28.25

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531147	ILPD4811	ILLINOIS STATE POLICE					
	083119	08/31/19	03	BACKGROUND CHECKS	79-790-54-00-5462		28.25
					INVOICE TOTAL:		593.25 *
					CHECK TOTAL:		593.25
531148	ILTREASU	STATE OF ILLINOIS TREASURER					
	85	10/01/19	01	RT47 EXPANSION PYMT #85	15-155-60-00-6079		6,148.89
			02	RT47 EXPANSION PYMT #85	51-510-60-00-6079		3,780.98
			03	RT47 EXPANSION PYMT #85	52-520-60-00-6079		1,873.48
			04	RT47 EXPANSION PYMT #85	88-880-60-00-6079		624.01
					INVOICE TOTAL:		12,427.36 *
					CHECK TOTAL:		12,427.36
531149	IMPACT	IMPACT NETWORKING, LLC					
	1560208	09/23/19	01	08/29-09/28 COPIER CHARGES	01-110-54-00-5430		184.78
			02	08/29-09/28 COPIER CHARGES	01-120-54-00-5430		61.59
			03	08/29-09/28 COPIER CHARGES	01-220-54-00-5430		92.62
			04	08/29-09/28 COPIER CHARGES	01-210-54-00-5430		94.62
			05	08/29-09/28 COPIER CHARGES	01-410-54-00-5462		2.00
			06	08/29-09/28 COPIER CHARGES	79-790-54-00-5462		81.23
			07	08/29-09/28 COPIER CHARGES	79-795-54-00-5462		81.24
			08	08/29-09/28 COPIER CHARGES	52-520-54-00-5430		2.00
			09	08/29-09/28 COPIER CHARGES	51-510-54-00-5430		2.01
					INVOICE TOTAL:		602.09 *
					CHECK TOTAL:		602.09
531150	IPRF	ILLINOIS PUBLIC RISK FUND					
	52836	09/12/19	01	NOV 2019 WORKER COMP INS	01-640-52-00-5231		9,816.96
			02	NOV 2019 WORKER COMP INS-P	01-640-52-00-5231		1,924.28

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88-880 DOWNTOWN TIF
89-890 DOWNTOWN TIF II
90-XXX DEVELOPER ESCROW
95-XXX ESCROW DEPOSIT

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531150	IPRF	ILLINOIS PUBLIC RISK FUND					
	52836	09/12/19	03	NOV 2019 WORKER COMP INS	51-510-52-00-5231		1,087.06
			04	NOV 2019 WORKER COMP INS	52-520-52-00-5231		526.86
			05	NOV 2019 WORKER COMP INS	82-820-52-00-5231		910.84
				INVOICE TOTAL:			14,266.00 *
				CHECK TOTAL:			14,266.00
531151	ITRON	ITRON					
	532209	09/11/19	01	OCT 2019 HOSTING SERVICES	51-510-54-00-5462		600.37
				INVOICE TOTAL:			600.37 *
				CHECK TOTAL:			600.37
D001385	JACKSONJ	JAMIE JACKSON					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			45.00 *
				DIRECT DEPOSIT TOTAL:			45.00
531152	JANUSZC	COLLIN JANUSZ					
	AUG 26 - SEPT 8	09/23/19	01	UMPIRE	79-795-54-00-5462		40.00
				INVOICE TOTAL:			40.00 *
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		40.00
				INVOICE TOTAL:			40.00 *
				CHECK TOTAL:			80.00
531153	JIMSTRCK	JIM'S TRUCK INSPECTION LLC					
	173014	07/20/19	01	TRUCK INSPECTION	01-410-54-00-5490		29.00
				INVOICE TOTAL:			29.00 *
				CHECK TOTAL:			29.00

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531154	KCHIGHWA	KENDALL COUNTY HIGHWAY DEPT.					
	#1 & FINAL	09/25/19	01	REIMBURSEMENT FOR	23-230-60-00-6012		135,477.75
			02	RESUFACINGOF MILL ROAD	** COMMENT **		
					INVOICE TOTAL:		135,477.75 *
					CHECK TOTAL:		135,477.75
531155	KENDCROS	KENDALL CROSSING, LLC					
	AMU REBATE 08/19	09/13/19	01	NCG AMUSEMENT TAX REBATE FOR	01-640-54-00-5439		2,815.47
			02	AUG 2019	** COMMENT **		
					INVOICE TOTAL:		2,815.47 *
					CHECK TOTAL:		2,815.47
531156	KENPRINT	ANNETTE M. POWELL					
	19-09063	09/06/19	01	1000 BUSINESS CARDS-SOELKE	52-520-54-00-5430		52.50
					INVOICE TOTAL:		52.50 *
					CHECK TOTAL:		52.50
D001386	KLEEFISG	GLENN KLEEFISCH					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D001387	LARRABER	RACHEL WRIGHT					
	092519-LEADERSHIP	09/25/19	01	2018/2019 LEADERSHIP	01-110-54-00-5412		500.00
			02	DEVELOPMENT PROGRAM COMPLETION	** COMMENT **		
					INVOICE TOTAL:		500.00 *
					DIRECT DEPOSIT TOTAL:		500.00

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531157	LINCOLNF	LINCOLN FINANCIAL GROUP					
	3956219088	09/20/19	01	OCT 2019 LIFE INS	01-110-52-00-5222		116.98
			02	OCT 2019 LIFE INS-EO	01-110-52-00-5222		6.83
			03	OCT 2019 LIFE INS	01-120-52-00-5222		20.49
			04	OCT 2019 LIFE INS	01-210-52-00-5222		298.69
			05	OCT 2019 LIFE INS	01-220-52-00-5222		37.20
			06	OCT 2019 LIFE INS	01-410-52-00-5222		145.41
			07	OCT 2019 LIFE INS	79-790-52-00-5222		48.37
			08	OCT 2019 LIFE INS	79-795-52-00-5222		62.90
			09	OCT 2019 LIFE INS	51-510-52-00-5222		48.14
			10	OCT 2019 LIFE INS	52-520-52-00-5222		83.13
			11	OCT 2019 LIFE INS	82-820-52-00-5222		30.83
					INVOICE TOTAL:		898.97 *
					CHECK TOTAL:		898.97
531158	MCCURDYD	DAVID TYLER MCCURDY					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		105.00
					INVOICE TOTAL:		105.00 *
					CHECK TOTAL:		105.00
531159	MCCURDYK	KYLE DEAN MCCURDY					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		165.00
					INVOICE TOTAL:		165.00 *
					CHECK TOTAL:		165.00
531160	MEADE	MEADE ELECTRIC COMPANY, INC.					
	689611	08/30/19	01	RT47 & WRIGLEY TRAFFIC SIGNAL	01-410-54-00-5435		420.14
			02	REPAIR	** COMMENT **		
					INVOICE TOTAL:		420.14 *
					CHECK TOTAL:		420.14

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531161	MENLAND	MENARDS - YORKVILLE					
	60312	09/04/19	01	SCREWS, CONNECTORS	51-510-56-00-5620		8.83
					INVOICE TOTAL:		8.83 *
	60387	09/05/19	01	PAINT CONTAINER, PAINT TRAY,	52-520-56-00-5620		28.41
			02	ROLLERS, PAINT THINNER	** COMMENT **		
					INVOICE TOTAL:		28.41 *
	60406	09/05/19	01	DUCT SEALING COMPOUND, DRILL	51-510-56-00-5620		5.87
			02	BIT	** COMMENT **		
					INVOICE TOTAL:		5.87 *
	60727-19	09/09/19	01	INSTANT PATCH CEMENT	01-410-56-00-5620		62.91
					INVOICE TOTAL:		62.91 *
	60754	09/09/19	01	MORTAR MIX	52-520-56-00-5620		41.90
					INVOICE TOTAL:		41.90 *
	60756	09/09/19	01	GAP FILLER	52-520-56-00-5620		11.96
					INVOICE TOTAL:		11.96 *
	60822	09/10/19	01	DUCK TAPE, PVC PIPE, PVC	79-790-56-00-5640		36.08
			02	REDUCER, THREADED RODS	** COMMENT **		
					INVOICE TOTAL:		36.08 *
					CHECK TOTAL:		195.96
531162	MENLAND	MENARDS - YORKVILLE					
	60837	09/10/19	01	PAINT SPRAYER, PAINT, DROP	79-790-56-00-5630		321.85
			02	CLOTH, BRUSHES, TOWELS, GLOVES	** COMMENT **		
					INVOICE TOTAL:		321.85 *
					CHECK TOTAL:		321.85
531163	MENLAND	MENARDS - YORKVILLE					

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531163	MENLAND	MENARDS - YORKVILLE					
	60842	09/10/19	01	BUG SPRAY	79-795-56-00-5606		5.78
					INVOICE TOTAL:		5.78 *
	60934	09/11/19	01	CABLE, WIRE PULLING LUBE	79-790-56-00-5640		129.14
					INVOICE TOTAL:		129.14 *
	60935	09/11/19	01	PAINT	79-790-56-00-5640		119.00
					INVOICE TOTAL:		119.00 *
	60952	09/11/19	01	HEADER BEAM, TAPE MEASURE	52-520-56-00-5620		58.97
					INVOICE TOTAL:		58.97 *
	60959	09/11/19	01	PAINT TRAY, ROLLERS	52-520-56-00-5620		6.61
					INVOICE TOTAL:		6.61 *
	61037	09/12/19	01	SCREWDRIVER	51-510-56-00-5620		6.99
					INVOICE TOTAL:		6.99 *
	61052	09/12/19	01	MASONRY FLUT, ANCHORS	51-510-56-00-5620		3.60
					INVOICE TOTAL:		3.60 *
	61053	09/12/19	01	FEBREEZE, SPONGES, CLEANING	79-790-56-00-5620		95.44
			02	SUPPLIES, PAPER TOWEL, MOP,	** COMMENT **		
			03	KLEENEX	** COMMENT **		
					INVOICE TOTAL:		95.44 *
	61121-19	09/13/19	01	NAILS, HAMMER	52-520-56-00-5620		33.96
					INVOICE TOTAL:		33.96 *
	61141	09/13/19	01	GUTTER HANGERS	79-790-56-00-5640		41.25
					INVOICE TOTAL:		41.25 *
	61166	09/13/19	01	LOCKS FOR DOG KENNEL	01-210-56-00-5620		14.99
					INVOICE TOTAL:		14.99 *

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531163	MENLAND	MENARDS - YORKVILLE					
	61435	09/16/19	01	ZIP TIES	01-210-56-00-5620		2.29
					INVOICE TOTAL:		2.29 *
	61439	09/16/19	01	ELBOW, GUTTER SCREWS,	79-790-56-00-5640		21.54
			02	DOWNSPOUTS, CLIPS	** COMMENT **		
					INVOICE TOTAL:		21.54 *
	61607	09/18/19	01	CABLE TIES, SCREWS	51-510-56-00-5620		16.28
					INVOICE TOTAL:		16.28 *
					CHECK TOTAL:		555.84
531164	MIDWSALT	MIDWEST SALT					
	P446803	07/11/19	01	BULK ROCK SALT	51-510-56-00-5638		2,440.69
					INVOICE TOTAL:		2,440.69 *
	P447508	09/12/19	01	BULK ROCK SALT	51-510-56-00-5638		2,658.46
					INVOICE TOTAL:		2,658.46 *
	P447526	09/13/19	01	BULK ROCK SALT	51-510-56-00-5638		2,804.83
					INVOICE TOTAL:		2,804.83 *
					CHECK TOTAL:		7,903.98
531165	MODAFFJ	JACK MODAFF					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		110.00
					INVOICE TOTAL:		110.00 *
					CHECK TOTAL:		110.00
531166	MUNCOLLE	MUNICIPAL COLLECTION SERVICES					
	015166	08/31/19	01	COMMISSION ON COLLECTIONS	01-210-54-00-5467		10.44
					INVOICE TOTAL:		10.44 *
					CHECK TOTAL:		10.44

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531167	NEDROW	NEDROW DECORATING INC					
	190104	07/31/19	01	VAN EMMON CENTER RESTORATION	23-216-54-00-5446		8,500.00
			02	DUE TO WATER DAMAGE	** COMMENT **		
					INVOICE TOTAL:		8,500.00 *
					CHECK TOTAL:		8,500.00
531168	NEENAH	NEENAH FOUNDRY CO.					
	338002	09/05/19	01	ROLL GRATE	01-410-56-00-5640		206.00
					INVOICE TOTAL:		206.00 *
					CHECK TOTAL:		206.00
D001388	NELCONT	TYLER NELSON					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	79-795-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
531169	NEOPOST	NEOFUNDS BY NEOPOST					
	092719	09/27/19	01	POSTAGE MACHINE REFILL	01-000-14-00-1410		500.00
					INVOICE TOTAL:		500.00 *
					CHECK TOTAL:		500.00
531170	NICOR	NICOR GAS					
	16-00-27-3553 4-0819	09/11/19	01	08/11-09/09 1301 CAROLYN	01-110-54-00-5480		36.17
					INVOICE TOTAL:		36.17 *
	31-61-67-2493 1-0819	09/10/19	01	08/09-09/08 276 WINDHAM CR	01-110-54-00-5480		36.14
					INVOICE TOTAL:		36.14 *

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531170	NICOR	NICOR GAS					
	45-12-25-4081	3-0819	09/11/19	01 08/09-09/08 201 W HYDRAULIC	01-110-54-00-5480		40.55
					INVOICE TOTAL:		40.55 *
					CHECK TOTAL:		112.86
531171	NORTCONT	NORTHERN CONTRACTING INC.					
	8089		09/05/19	01 GUARDRAIL REPAIR @ FOX &	01-410-54-00-5462		1,941.14
			02 PAVILION RD	** COMMENT **			
					INVOICE TOTAL:		1,941.14 *
					CHECK TOTAL:		1,941.14
531172	OLSONB	BART OLSON					
	092419-ICMA		09/24/19	01 10/20-10/23 ICMA CONFERENCE	01-110-54-00-5415		510.10
			02 TRAVEL AND MEAL PER DIEM	** COMMENT **			
			03 REIMBURSEMENT - OLSON	** COMMENT **			
					INVOICE TOTAL:		510.10 *
					CHECK TOTAL:		510.10
531173	PAWLOWSM	MARK PAWLOWSKI					
	091219		09/12/19	01 UMPIRE	79-795-54-00-5462		80.00
					INVOICE TOTAL:		80.00 *
	091919		09/19/19	01 UMPIRE	79-795-54-00-5462		80.00
					INVOICE TOTAL:		80.00 *
					CHECK TOTAL:		160.00
531174	PEPSI	PEPSI-COLA GENERAL BOTTLE					
	66384607		09/13/19	01 BRIDGE PARK CONCESSION DRINKS	79-795-56-00-5607		435.28
					INVOICE TOTAL:		435.28 *
					CHECK TOTAL:		435.28

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531175	PERFCONS	PERFORMANCE CONSTRUCTION &					
	PAY EST #2	09/18/19	01	ENGINEER'S PAYMENT ESTIMATE	51-510-60-00-6025		99,810.65
			02	#2 EAST ORANGE STREET WATER	** COMMENT **		
			03	MAIN IMPROVEMENTS	** COMMENT **		
					INVOICE TOTAL:		99,810.65 *
					CHECK TOTAL:		99,810.65
531176	FPFETT	P.F. PETTIBONE & CO.					
	177499	09/16/19	01	1 PHOTO ID-CHIEF	01-210-54-00-5430		17.00
					INVOICE TOTAL:		17.00 *
	177507	09/18/19	01	1 PHOTO ID-SHEPARD	01-210-54-00-5430		17.00
					INVOICE TOTAL:		17.00 *
	177508	09/18/19	01	CITY ID-JACKSON	79-790-54-00-5462		11.90
			02	CITY ID-JOHNSON	51-510-54-00-5430		5.95
			03	CITY ID-JOHNSON	52-520-54-00-5430		5.95
					INVOICE TOTAL:		23.80 *
					CHECK TOTAL:		57.80
531177	PURCELLJ	JOHN PURCELL					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	01-110-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					CHECK TOTAL:		45.00
531178	QUILL	QUILL CORPORATION					
	7269845	05/10/19	01	PENS	01-110-56-00-5610		9.99
					INVOICE TOTAL:		9.99 *
					CHECK TOTAL:		9.99

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90-XXX DEVELOPER ESCROW
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531179	R0000594	BRIAN BETZWISER					
	100119-131	10/01/19	01	185 WOLF ST PYMT #131	25-215-92-00-8000		3,692.91
			02	185 WOLF ST PYMT #131	25-215-92-00-8050		2,600.71
			03	185 WOLF ST PYMT #131	25-225-92-00-8000		115.70
			04	185 WOLF ST PYMT #131	25-225-92-00-8050		81.48
				INVOICE TOTAL:			6,490.80 *
				CHECK TOTAL:			6,490.80
531180	R0001912	FM CAPITAL LLC					
	090619	09/06/19	01	REFUND OVERPAYMENT ON CLOSED	01-000-13-00-1371		1,500.00
			02	UTILITY ACCOUNT #0102220001-02	** COMMENT **		
				INVOICE TOTAL:			1,500.00 *
				CHECK TOTAL:			1,500.00
531181	R0002288	LENNAR					
	091219	09/12/19	01	REFUND DOUBLE PAYMENT ON	01-000-13-00-1371		427.18
			02	FINAL BILL FOR	** COMMENT **		
			03	ACCT#0102863520-00	** COMMENT **		
				INVOICE TOTAL:			427.18 *
				CHECK TOTAL:			427.18
531182	R0002289	JULIE SCHLICHTING					
	091719	09/17/19	01	REFUND OVERPAYMENT ON FINAL	01-000-13-00-1371		143.53
			02	BILL FOR ACCT#0104256000-01	** COMMENT **		
				INVOICE TOTAL:			143.53 *
				CHECK TOTAL:			143.53
531183	R0002290	RON REINART					

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531183	R0002290	RON REINART					
	091919-SIDEWALK	09/19/19	01	SIDEWALK REPLACEMENT	51-510-54-00-5495		3,975.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		3,975.00 *
					CHECK TOTAL:		3,975.00
531184	R0002291	ADAM LOECHL					
	174173	09/17/19	01	CANCELLATION REFUND DUE TO	79-000-44-00-4403		115.00
			02	CUSTOMER CONFLICT	** COMMENT **		
					INVOICE TOTAL:		115.00 *
					CHECK TOTAL:		115.00
D001389	RATOSP	PETE RATOS					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	01-220-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D001390	REDMONST	STEVE REDMON					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	79-795-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
531185	RIETZR	ROBERT L. RIETZ JR.					
	091219	09/12/19	01	UMPIRE	79-795-54-00-5462		60.00
					INVOICE TOTAL:		60.00 *
					CHECK TOTAL:		60.00

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D001391	ROSBOROS	SHAY REMUS					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	79-795-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
531186	RUNYONM	MARK RUNYON					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		295.00
					INVOICE TOTAL:		295.00 *
					CHECK TOTAL:		295.00
D001392	SCODROP	PETER SCODRO					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	51-510-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
531187	SEBIS	SEBIS DIRECT					
	28417	09/16/19	01	AUG 2019 UTILITY BILLING	01-120-54-00-5430		395.81
			02	AUG 2019 UTILITY BILLING	51-510-54-00-5430		530.32
			03	AUG 2019 UTILITY BILLING	52-520-54-00-5430		247.38
			04	AUG 2019 UTILITY BILLING	79-795-54-00-5426		256.24
					INVOICE TOTAL:		1,429.75 *
					CHECK TOTAL:		1,429.75
D001393	SENGM	SENG, MATT					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	01-410-54-00-5440		45.00

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D001393	SENGM	SENG, MATT					
	100119	10/01/19	02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
531188	SILAST	TY JAMES SILAS					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		95.00
					INVOICE TOTAL:		95.00 *
					CHECK TOTAL:		95.00
D001394	SLEEZERJ	JOHN SLEEZER					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	01-410-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D001395	SLEEZERS	SCOTT SLEEZER					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D001396	SMITHD	DOUG SMITH					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00

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531189	SMITHERE	SMITHEREEN PEST MANAGEMENT					
	2045200	09/09/19	01	SEPT 2019 PEST CONTROL	23-216-54-00-5446		88.00
					INVOICE TOTAL:		88.00 *
					CHECK TOTAL:		88.00
D001397	SOELKET	TOM SOELKE					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	52-520-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D001398	STEFFANG	GEORGE A STEFFENS					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	52-520-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
531190	STRIKEZ	ZANE STRIKE					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		160.00
					INVOICE TOTAL:		160.00 *
					CHECK TOTAL:		160.00
531191	TAGGARTN	NATHANIEL TAGGART					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		110.00
					INVOICE TOTAL:		110.00 *
					CHECK TOTAL:		110.00

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531192	THORGARD	THOR GUARD, INC.					
	52527	09/11/19	01	STROBE ASSEMBLY	01-410-56-00-5628		322.67
					INVOICE TOTAL:		322.67 *
					CHECK TOTAL:		322.67
531193	TIETZJ	JAMES A. TIETZ					
	SEPT 9 - SEPT 22	09/23/19	01	UMFIRE	79-795-54-00-5462		110.00
					INVOICE TOTAL:		110.00 *
					CHECK TOTAL:		110.00
531194	TRCONTPR	TRAFFIC CONTROL & PROTECTION					
	101887	08/28/19	01	TELSPAR ANCHORS	01-410-56-00-5620		115.75
					INVOICE TOTAL:		115.75 *
					CHECK TOTAL:		115.75
531195	TRICO	TRICO MECHANICAL , INC					
	5031	09/09/19	01	CITY HALL COOLING SYSTEM	23-216-54-00-5446		917.22
			02	REPAIR	** COMMENT **		
					INVOICE TOTAL:		917.22 *
					CHECK TOTAL:		917.22
531196	TUTTLEC	CHRISTOPHER D. TUTTLE					
	SEPT 9 - SEPT 22	09/23/19	01	UMFIRE	79-795-54-00-5462		90.00
					INVOICE TOTAL:		90.00 *
					CHECK TOTAL:		90.00
531197	UPS5361	DDEDC #3, INC					

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531197	UPS5361	DDEDC #3, INC					
	091919	09/19/19	01	1 PKG TO KFO	01-110-54-00-5452		39.48
						INVOICE TOTAL:	39.48 *
					CHECK TOTAL:		39.48
531198	VAUGHNJ	JAEDON VAUGHN					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		170.00
						INVOICE TOTAL:	170.00 *
					CHECK TOTAL:		170.00
531199	VITOSH	CHRISTINE M. VITOSH					
	1960	08/30/19	01	BUILDING CODE UPDATE PUBLIC	01-220-54-00-5462		125.39
			02	HEARING	** COMMENT **		
			03	LENNY'S GAS N WASH FINAL PLAT	90-144-00-00-0011		125.39
			04	PUBLIC HEARING	** COMMENT **		
					INVOICE TOTAL:		250.78 *
					CHECK TOTAL:		250.78
D001399	WEBERR	ROBERT WEBER					
	100119	10/01/19	01	OCT 2019 MOBILE EMAIL	01-410-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
531200	WEEKSB	WILLIAM WEEKS					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		110.00
						INVOICE TOTAL:	110.00 *
					CHECK TOTAL:		110.00

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531201	WIEGELH	HERB WIEGEL					
	091219	09/12/19	01	UMPIRE	79-795-54-00-5462		120.00
					INVOICE TOTAL:		120.00 *
	091919	09/19/19	01	UMPIRE	79-795-54-00-5462		120.00
					INVOICE TOTAL:		120.00 *
					CHECK TOTAL:		240.00
531202	WILKINSO	WILKINSON EXCAVATING, INC.					
	091819	09/18/19	01	ENGINEER'S PAYMENT ESTIMATE	23-230-60-00-6023		1,710.00
			02	#4 FOUNTAIN VILLAGE COMPLETION	** COMMENT **		
			03	OF IMPROVEMENTS	** COMMENT **		
					INVOICE TOTAL:		1,710.00 *
					CHECK TOTAL:		1,710.00
531203	WILLALEX	ALEXANDER VINCENZO WILLIAMS					
	SEPT 9 - SEPT 22	09/23/19	01	UMPIRE	79-795-54-00-5462		40.00
					INVOICE TOTAL:		40.00 *
					CHECK TOTAL:		40.00
D001400	WILLRETE	ERIN WILLRETT					
	100119	10/01/19	01	SEPT 2019 MOBILE EMAIL	01-110-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D001401	YBSD	YORKVILLE BRISTOL					
	819SF	09/17/19	01	AUG 2019 SANITARY FEES	95-000-24-00-2450		324,648.77
					INVOICE TOTAL:		324,648.77 *
					DIRECT DEPOSIT TOTAL:		324,648.77

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531204	YORKACE	YORKVILLE ACE & RADIO SHACK					
	169342	08/31/19	01	PROPANE REFILL	01-410-56-00-5620		19.99
						INVOICE TOTAL:	19.99 *
					CHECK TOTAL:		19.99
531205	ZUMBINI	RACHEL WIXON					
	FALL I	09/16/19	01	09/16-10/21 ZUMBINI CLASS	79-795-54-00-5462		336.00
			02	INSTRUCTION	** COMMENT **		
						INVOICE TOTAL:	336.00 *
					CHECK TOTAL:		336.00
TOTAL CHECKS PAID:							478,641.76
TOTAL DIRECT DEPOSITS PAID:							353,130.92
TOTAL AMOUNT PAID:							831,772.68

01-110 ADMINISTRATION
01-120 FINANCE
01-210 POLICE
01-220 COMMUNITY DEVELOPMENT
01-410 STREET OPERATIONS
01-540 HEALTH & SANITATION
01-640 ADMINISTRATIVE SERVICES

11-111 FOX HILL SSA
12-112 SUNFLOWER ESTATES
15-155 MOTOR FUEL TAX(MFT)
23-216 MUNICIPAL BUILDING
23-230 CITY-WIDE CAPITAL
25-205 POLICE CAPITAL
25-215 PUBLIC WORKS CAPITAL

25-225 PARKS & REC CAPITAL
42-420 DEBT SERVICE
51-510 WATER OPERATIONS
52-520 SEWER OPERATIONS
72-720 LAND CASH
79-790 PARKS DEPARTMENT
79-795 RECREATION DEPARTMENT

82-820 LIBRARY OPERATIONS
84-840 LIBRARY CAPITAL
87-870 COUNTRYSIDE TIF
88-880 DOWNTOWN TIF
89-890 DOWNTOWN TIF II
90-XXX DEVELOPER ESCROW
95-XXX ESCROW DEPOSIT



UNITED CITY OF YORKVILLE PAYROLL SUMMARY September 20, 2019

	REGULAR	OVERTIME	TOTAL	IMRF	FICA	TOTALS
MAYOR & LIQ. COM.	\$ 908.34	\$ -	\$ 908.34	\$ -	\$ 69.49	\$ 977.83
ALDERMAN	4,000.00	-	4,000.00	-	306.00	4,306.00
ADMINISTRATION	19,989.33	-	19,989.33	1,811.04	1,466.70	23,267.07
FINANCE	11,203.46	-	11,203.46	1,015.04	830.80	13,049.30
POLICE	205,609.16	9,345.30	214,954.46	587.01	13,214.26	228,755.73
COMMUNITY DEV.	19,050.82	-	19,050.82	1,726.00	1,397.21	22,174.03
STREETS	13,033.09	24.74	13,057.83	1,183.04	945.44	15,186.31
WATER	14,839.94	176.65	15,016.59	1,360.50	1,092.97	17,470.06
SEWER	6,261.11	-	6,261.11	567.26	448.87	7,277.24
PARKS	24,435.92	400.08	24,836.00	2,085.24	1,822.28	28,743.52
RECREATION	18,704.08	-	18,704.08	1,223.73	1,391.92	21,319.73
LIBRARY	16,629.58	-	16,629.58	946.89	1,237.16	18,813.63
TOTALS	\$ 354,664.83	\$ 9,946.77	\$ 364,611.60	\$ 12,505.75	\$ 24,223.10	\$ 401,340.45

TOTAL PAYROLL

\$ 401,340.45



UNITED CITY OF YORKVILLE

BILL LIST SUMMARY

Tuesday, October 8, 2019

ACCOUNTS PAYABLE

DATE

Manual City Check Register <i>(Page 1)</i>	09/23/2019	\$	3,484.65
Manual City Check Register <i>(Page 2)</i>	09/26/2019		3,042.00
City Check Register <i>(Pages 3 - 42)</i>	10/08/2019		831,772.68
			<hr/>
	SUB-TOTAL:		\$838,299.33

PAYROLL

Bi - Weekly <i>(Page 43)</i>	09/20/2019	\$	401,340.45
			<hr/>
	SUB-TOTAL:	\$	401,340.45

TOTAL DISBURSEMENTS:		\$	<u><u>1,239,639.78</u></u>
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Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input checked="" type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #1

Tracking Number

CC 2019-62

Agenda Item Summary Memo

Title: Adult-Use Cannabis – Text Amendment

Meeting and Date: City Council – October 8, 2019

Synopsis: Proposed Zoning Amendments regarding Adult-Use Cannabis Establishments.

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: _____

Submitted by: Krysti J. Barksdale-Noble, AICP Community Development
Name Department

Agenda Item Notes:

See attached memorandum.

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at http://www.yorkville.il.us/gov_officials.php



Memorandum

To: City Council
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Jason Engberg, Senior Planner
Date: September 26, 2019
Subject: **Adult-Use Cannabis – Zoning Ordinance Text Amendment**

Summary:

Review and recommendation of proposed local zoning regulations for adult-use cannabis business establishments in response to recently adopted Illinois legislation.

General Background:

In March 2014, the City adopted an ordinance identifying “medical cannabis cultivation centers” and “medical cannabis dispensary organizations” as special uses in the M-1 Manufacturing Districts in response to the state legislation approving these operations throughout Illinois as part of the Compassionate Use of Medical Cannabis Pilot Program Act which went into effect on January 1, 2014. The law established the cultivation and dispensing of cannabis for medicinal purposes to patients with serious medical conditions. As originally adopted, the law had a sunset clause that required the legislature to renew the program or create a new law or it will expire four years from the date it went into effect.

On June 25, 2019, the State of Illinois extended and expanded upon the Compassionate Use of Medical Cannabis Pilot Program and approved the recreational use of cannabis by adults via Public Act 101-0027¹. Effective on January 1, 2020, the Cannabis Regulation and Tax Act, legalizes the private consumption and possession of cannabis for Illinois residents over 21 years of age by setting a maximum possession limit of 30 grams of cannabis flower, 500 milligrams of THC cannabis-infused products, and 5 grams of cannabis concentrate. Non-residents are permitted to possess half those amounts. Additionally, the Cannabis Regulation and Tax Act permanently preserves the legalization of medical cannabis in Illinois, allows the home growing of cannabis only by medical cannabis home participants, and provides for the state licensure and regulation of a variety of adult-cannabis business establishments. This includes cannabis craft growers, cannabis processors, cannabis cultivation centers, cannabis dispensaries, cannabis infusers and cannabis transporter organizations.

Since the current zoning ordinance does not expressly identify these specific cannabis business establishments as permitted or special uses, they are deemed prohibited per Section 10-3-10. *However*, these uses could arguably fall under the umbrella of other permitted uses listed in the zoning ordinance such as “Retail Store” “Pharmacy/Drugstore” or “Greenhouse/Nursery”. Therefore, to avoid undo confusion, staff has prepared draft local zoning regulations for adult-use cannabis business establishments based upon standards set forth in both the Compassionate Use of Medical Cannabis Pilot Program Act and the Cannabis Regulation and Tax Act, as well as recommendations from the Illinois Municipal League (IML) and research of other local communities.

Zoning Considerations:

Section 55-25 of the recently approved Cannabis Regulation and Tax Act establishes that local governments may adopt reasonable ordinances regulating the time, place, manner, and number of

¹ <http://www.ilga.gov/legislation/publicacts/101/101-0027.htm>

cannabis establishment operations, including minimum distance limitations between cannabis businesses and locations it deems “sensitive” (e.g. schools, parks, religious institutions, etc.) through a special use process. Local units of government may also permit or prohibit on-premise consumption of cannabis at or in a cannabis business establishment.

Currently, the City’s Zoning Ordinance permits medical cannabis cultivation and dispensaries as special uses within the M-1 Limited Manufacturing District, as this district tends to be isolated from residential uses. Additional separation between medical cannabis cultivation sites and dispensaries and other non-compatible land uses are also provided in the current ordinance as follows:

Cultivation Centers must be located 2,500 feet from pre-existing pre-schools, elementary or secondary schools, day care centers, group day cares, public parks and religious institutions.

Dispensaries must be located 1,000 feet from pre-existing pre-schools, elementary schools, day care centers or group day care public parks and religious institutions.

As adopted, municipalities have two (2) options for regulating adult-use cannabis businesses through their zoning ordinance. The municipality can either (1) out-right prohibit cannabis business establishments or (2) authorize cannabis business establishments as conditional or special uses. The following summarizes both options.

Adult-Use Cannabis Business Prohibition:

According to the new state statute, Illinois municipalities may prohibit cannabis establishments from locating in their community by adopting a local ordinance. While not expressly stated in the statute, it is recommended by the Illinois Municipal League (IML) that a public hearing be held in advance of the ordinance adoption to garner public feedback and to create a record which supports the ordinance approval. Although local governments may prohibit adult-use cannabis businesses, they may not prohibit medical cannabis dispensaries or cultivation centers.

Adult-Use Cannabis Business Zoning:

As set forth in the Cannabis Regulation and Tax Act, local regulation of authorized adult-use cannabis businesses is allowed through zoning as a “conditional” (special) use. In addition to the special use authority, municipalities have the option of allowing on-site consumption of cannabis and the co-location of craft growers, infusers, processors, and dispensaries. Adult-use craft growers are small scale operations that cultivates, dries, cures and packages cannabis. Adult-use infuser operations incorporates cannabis or cannabis concentrate into products (e.g. oils, foods, personal-care products, etc.). Adult-use dispensaries sell cannabis leaves, cannabis seeds, cannabis-infused products and paraphernalia. Adult-use transporter is a business that is licensed by the State of Illinois to carry by vehicle cannabis products from the grower, infuser, processor to the dispensaries.

Municipalities are allowed to also establish minimum distance limitations between these adult-use cannabis businesses and other cannabis businesses, liquor establishments, schools, daycare centers, nursing homes or other uses the local government deems sensitive. Specific standards have been established by the Illinois Municipal League (IML) when considering special use applications for adult-use cannabis businesses which includes: the impact of the proposed use to existing properties in the vicinity; co-tenancy; hours of operation; traffic generation; site design and signage; and compliance with established distances to other sensitive land uses (i.e., schools, daycares, etc.) which communities may adopt.

Research of Local Communities

Staff has researched and contacted several Illinois municipalities to determine how other communities are deciding to regulate adult-use cannabis businesses through zoning. Most of the communities are in the proposal phase and not have approved final ordinances. The table below provides a summary of those findings:

Municipality/ Local Government	Prohibit/Permit	Distance Requirements	On-Premise Consumption Allowed (Y/N)
Kendall County	Permitted (Special Use in M-1, M-2 and B-3 Districts)	<p>Craft Growers – 1,000 feet from schools, daycare, residential care homes, pre-existing residential zoned or used land (unless owned by craft grower), pre-existing forest preserve, public park or place of worship.</p> <p>Cultivation Centers – 2,500 feet from schools, daycare, residential care homes, pre-existing residential zoned or used land, pre-existing forest preserve, public park or place of worship.</p> <p>Dispensaries – 1,000 feet from schools, daycare, residential care homes, pre-existing forest preserve, public park or place of worship. <u>250 feet from pre-existing property zoned or used for residential purposes.</u></p> <p>Infusers – 1,500 feet from schools, daycare, residential care homes, pre-existing forest preserve, public park or place of worship. <u>250 feet from pre-existing property zoned or used for residential purposes.</u></p> <p>Processor - 1,500 feet from schools, daycare, residential care homes, pre-existing forest preserve, public park or place of worship. <u>250 feet from pre-existing property zoned or used for residential purposes.</u></p> <p>Transporter - 1,500 feet from schools, daycare, residential care homes, pre-existing forest preserve, public park or place of worship. <u>250 feet from pre-existing property zoned or used for residential purposes.</u></p>	No
Owego	Permitted (Special Use in Manufacturing and Business Districts)	100 feet from schools and no proposed minimum distances from residential uses.	No
Montgomery	Permitted (Special Use in Manufacturing and Business Districts)	Minimum distances are still being discussed.	No

Sugar Grove	Undetermined	Minimum distances are still being discussed.	Undetermined
Plano	Undetermined	Minimum distances are still being discussed, with a likeliness to not have any buffer between dispensaries and residential land uses due to proximity of residential land uses and US 34.	Undetermined
Naperville	Prohibited ²	N/A	N/A
Plainfield	Likely to Prohibit ³	N/A	N/A

Proposed Zoning Provisions:

Based upon the two (2) options available to local governments regulating zoning for adult-use cannabis businesses under the Cannabis Regulation and Tax Act, a model ordinance permitting by special use adult-use cannabis businesses prepared by IML, and a survey of nearby communities, **it is staff's recommendation that the City Council amend the Zoning Ordinance to allow adult-use cannabis businesses as special uses within the B-3 General Business, A-1 Agricultural, M-1 Limited Manufacturing and M-2 General Manufacturing zoning districts as follows:**

PROPOSED DEFINITIONS

ADULT-USE CANNABIS BUSINESS ESTABLISHMENT:

An adult-use cannabis cultivation center, craft grower, processing organization, infuser organization, dispensing organization or transporting organization.

ADULT-USE CANNABIS CRAFT GROWER:

A facility operated by an organization or business that is licensed by the Illinois Department of Agriculture to cultivate, dry, cure and package cannabis and perform other necessary activities to make cannabis available for sale at a dispensing organization or use at a processing organization, per the Cannabis Regulation and Tax Act, (P.A. 101-0027), as it may be amended from time-to-time, and regulations promulgated thereunder.

ADULT-USE CANNABIS CULTIVATION CENTER:

A facility operated by an organization or business that is licensed by the Illinois Department of Agriculture to cultivate, process, transport and perform necessary activities to provide cannabis and cannabis-infused products to licensed cannabis business establishments, per the Cannabis Regulation and Tax Act, (P.A. 101-0027), as it may be amended from time-to-time, and regulations promulgated thereunder.

ADULT-USE CANNABIS DISPENSING ORGANIZATION:

A facility operated by an organization or business that is licensed by the Illinois Department of Financial and Professional Regulation to acquire cannabis from licensed cannabis business establishments for the purpose of selling or dispensing cannabis, cannabis-infused products, cannabis seeds, paraphernalia or related supplies to purchasers or to qualified registered medical cannabis patients and caregivers, per the Cannabis Regulation and Tax Act, (P.A. 101-0027), as it may be amended from time-to-time, and regulations promulgated thereunder.

² As of September 196, 2019, Naperville has temporarily banned the sale of recreational cannabis until results from an upcoming referendum are reviewed.

³ <https://www.theherald-news.com/2019/09/24/plainfield-poised-to-join-bolingbrook-naperville-in-opting-out-of-recreational-marijuana-business/a70xbhi/>

A facility operated by an organization or business that is licensed by the Illinois Department of Agriculture to directly incorporate cannabis or cannabis concentrate into a product formulation to produce a cannabis-infused product, per the Cannabis Regulation and Tax Act, (P.A. 101-0027), as it may be amended from time-to-time, and regulations promulgated thereunder.

A facility operated by an organization or business that is licensed by the Illinois Department of Agriculture to either extract constituent chemicals or compounds to produce cannabis concentrate or incorporate cannabis or cannabis concentrate into a product formulation to produce a cannabis product, per the Cannabis Regulation and Tax Act, (P.A. 101-0027), as it may be amended from time-to-time, and regulations promulgated thereunder.

An organization or business that is licensed by the Illinois Department of Agriculture to transport cannabis on behalf of a cannabis business establishment or a community college licensed under the Community College Cannabis Vocational Training Pilot Program, per the Cannabis Regulation and Tax Act, (P.A. 101-0027), as it may be amended from time-to-time, and regulations promulgated thereunder.

TABLE 10.06.09
ADULT USE CANNABIS BUSINESSES

[illegible]

Use Category	Zoning Districts															
	Ag	Open Space		Residential						Business					Manufacturing	
	A-1	OS-1	OS-2	E-1	R-1	R-2	R-2D	R-3	R-4	O	B-1	B-2	B-3	B-4	M-1	M-2
ORGANIZATION OR TRANSPORTER:																

P = Permitted use

S = Special use

- = Not permitted use

PROPOSED DISTANCE & ZONING REQUIREMENTS

1. Adult-Use Cannabis Craft Grower: In those zoning districts in which an Adult-Use Cannabis Craft Grower may be located, the proposed facility must comply with the following:
 - Facility may not be located within **2,500 feet** of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, public parks or religious institutions, regardless of corporate boundary. Commercial/Trade schools shall not be classified as a public or private school for purposes of this Section.
 - Facility may not be located within **2,500 feet** of the property line of a pre-existing property zoned or used for residential purposes, unless in the A-1 Zoning District where the residential use is owned by the same owner as the Adult-Use Cannabis Craft Grower, regardless of corporate boundary.
 - Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.
 - Adult-Use Cannabis Craft Growers may co-locate with an Adult-Use Dispensing Organization or an Adult-Use Cannabis Infuser Organization, or both, only on properties zoned within the M-1 or M-2 districts.
 - For purposes of determining required parking, Adult-Use Cannabis Craft Grower shall be classified as “Industrial Uses” per Section 10-16-3 Off-Street Parking Requirements, provided, however, that the City may require that additional parking as part of the Special Use conditions.
2. Adult-Use Cannabis Cultivation Center: In those zoning districts in which an Adult-Use Cannabis Cultivation Center may be located, the proposed facility must comply with the following:
 - Facility may not be located within **2,500 feet** of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, public parks or religious institutions, regardless of corporate boundary. Commercial/Trade schools shall not be classified as a public or private school for purposes of this Section.
 - Facility may not be located within **2,500 feet** of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.
 - Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.
 - For purposes of determining required parking, Adult-Use Cannabis Craft Grower shall be classified as “Industrial Uses” per Section 10-16-3 Off-Street Parking Requirements,

provided, however, that the City may require that additional parking as part of the Special Use conditions.

3. Adult-Use Cannabis Dispensing Organization: In those zoning districts in which an Adult-Use Cannabis Dispensing Organization may be located, the proposed facility must comply with the following:
 - Facility may not be located within **1,000 feet** of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, public parks or religious institutions, regardless of corporate boundary. Commercial/Trade schools shall not be classified as a public or private school for purposes of this Section.
 - Facility may not be located in a dwelling unit or within **1,000 feet** of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.
 - Adult-Use Cannabis Dispensing Organizations shall have a maximum gross floor area of 5,000 square feet.
 - At least 75% of the floor area of any tenant space occupied by a dispensing organization shall be devoted to the activities of the dispensing organization as authorized by the Act, and no dispensing organization shall also sell food or alcohol for consumption on the premises within the same tenant space.
 - Adult-Use Cannabis Dispensing Organizations are prohibited from having drive-through facilities.
 - Adult-Use Cannabis Dispensing Organizations are prohibited from utilizing e-commerce delivery service platforms.
 - Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.
 - For purposes of determining required parking, said facilities shall be classified as “Commercial Uses” per Section 10-16-3 Off-Street Parking Requirements, provided, however, that the City may require that additional parking as part of the Special Use conditions.
4. Adult-Use Cannabis Infuser Organization: In those zoning districts in which an Adult-Use Cannabis Infuser Organization may be located, the proposed facility must comply with the following:
 - Facility may not be located within **2,500 feet** of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, public parks or religious institutions, regardless of corporate boundary. Commercial/Trade schools shall not be classified as a public or private school for purposes of this Section.
 - Facility may not be located in a dwelling unit or within **2,500 feet** of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.
 - At least 75% of the floor area of any tenant space occupied by an infusing organization shall be devoted to the activities of the infusing organization as authorized by the Act. Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.
 - Adult-Use Cannabis Infuser Organizations may co-locate with an Adult-Use Dispensing Organization or an Adult-Use Cannabis Craft Grower Organizations, or both, only on properties zoned within the M-1 or M-2 districts. In such instances, the maximum gross floor area dedicated to the Dispensing Organization shall be 5,000 square feet and at least

75% of the floor area of the overall tenant space must be devoted to the activities authorized by the Act.

- For purposes of determining required parking, said facilities shall be classified as “Industrial Uses” per Section 10-16-3 Off-Street Parking Requirements, provided, however, that the City may require that additional parking as part of the Special Use conditions.

5. Adult-Use Cannabis Processing Organization: In those zoning districts in which an Adult-Use Cannabis Processing Organization may be located, the proposed facility must comply with the following:

- Facility may not be located within **2,500 feet** of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, public parks or religious institutions, regardless of corporate boundary. Commercial/Trade schools shall not be classified as a public or private school for purposes of this Section.
- Facility may not be located in a dwelling unit or within **2,500 feet** of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.
- At least 75% of the floor area of any tenant space occupied by a processing organization shall be devoted to the activities of the processing organization as authorized by the Act. Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.
- For purposes of determining required parking, said facilities shall be classified as “Industrial Uses” per Section 10-16-3 Off-Street Parking Requirements, provided, however, that the City may require that additional parking as part of the Special Use conditions.

6. Adult-Use Cannabis Transporting Organization: In those zoning districts in which an Adult-Use Transporting Organization may be located, the proposed facility must comply with the following:

- Facility may not be located within **2,500 feet** of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home, residential care home, public parks or religious institutions, regardless of corporate boundary. Commercial/Trade schools shall not be classified as a public or private school for purposes of this Section.
- Facility may not be located in a dwelling unit or within **2,500 feet** of the property line of a pre-existing property zoned or used for residential purposes, regardless of corporate boundary.
- The transporting organization shall be the sole use of the tenant space in which it is located. Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.
- For purposes of determining required parking, said facilities shall be classified as “Industrial Uses” per Section 10-16-3 Off-Street Parking Requirements, provided, however, that the City may require that additional parking as part of the Special Use conditions.

PROPOSED ADDITIONAL RESTRICTIONS & CONDITIONS

1. Number of Adult-Use Cannabis Establishments – Per Section 55-25 of the Cannabis Regulation and Tax Act, local governments may regulate the number of cannabis establishment operations within its jurisdiction. **Staff is recommends limiting the maximum number of any type of adult-use cannabis establishments to no more than**

one (1) per organization type (i.e. Craft Grower, Cultivation Center, Dispenser, Infuser, Processor and Transporter organization).

2. Business Hours – Per Section 15-70 of the Cannabis Regulation and Tax Act, a dispensing organization may operate between the hours of 6 a.m. and 10 p.m. local time. **Staff is proposing a business operational time of 10 a.m. to 8 p.m. during the week and Saturday, and 12 p.m. to 5 p.m. on Sundays.**
3. On-Premise Consumption – Per Section 55-25 of the Cannabis Regulation and Tax Act, local governments may regulate on-premises consumption of cannabis at or in a cannabis business establishment. **Staff recommends prohibiting on-premise consumption of cannabis products in all identified cannabis business establishments.**
4. Signage – Per Section 55-20 of the Cannabis Regulation and Tax Act, adult-use cannabis establishments are limited in the manner in which they advertise and promote their products. **Therefore, staff recommends the following signage regulations:**
 - a. Recreational cannabis dispensaries shall be limited to one (1) wall-mounted sign per business.
 - b. All adult-use cannabis establishments shall be prohibited from having electronic message board signs.
 - c. Signage for adult-use cannabis establishments shall not contain cannabis imagery such as leaves, plants, smoke, paraphernalia, or cartoonish imageries.
5. Special Use Application Requirements – **staff proposes that all applications seeking special use approval for an adult-use cannabis establishment shall provide the following information:**
 - a. Applicant name and the business name of the proposed adult-use cannabis establishment for which the special use is sought, including addresses, telephone numbers and e-mail addresses of (1) sole proprietors; (2) business entities with financial interest in the business, and (3) all officers, directors, partners, managers and owners. A post office box may not be submitted as the address of the applicant.
 - b. Copy of licensure or registration that the organization is authorized to conduct an adult-use cannabis business establishment in the State of Illinois.
 - c. The commonly known address, permanent index number (PIN) and legal description of the proposed location of the adult-use cannabis establishment.
 - d. Property ownership information. Written statement that the applicant owns or has under contract the property of the proposed adult-use cannabis establishment.
 - e. The proposed hours of operation.
 - f. Copy of a business plan to be kept on file with the Yorkville Police Department and confidential to the extent permitted by law, including but not limited to the following:
 - i. Proposed number of employees.
 - ii. A description of the products and services that the proposed adult-use cannabis establishment will offer.
 - iii. Description or statement of training and education that will be provided to the proposed adult-use cannabis dispensary agents/staff.
 - iv. A security plan that will describe how the proposed use will address concerns related to inventory tracking and prevention of theft; measures to control customer overflow and access to restricted areas; employee restrictions to limited access areas and restricted area; and video surveillance/alarm system.
 - g. Aerial map of the subject property identifying the current zoning and land uses of all surrounding parcels within 2,500 feet.

- h. Site Plan including, but not limited to, nearest utility connection, points of access, internal site circulation, lighting/photometric plan, landscape plan, off-street parking, trip generation calculations
 - i. Floor plans and elevations of proposed adult-use cannabis establishment, including the location of enclosed and secured loading and trash handling and disposal facilities.
 - j. Signage Plans.
 - k. Information on co-location with another adult-use cannabis establishment.
6. **Standards for Special Use for an Adult-Use Cannabis Facility** – In addition to the general requirements for Special Use approval provided in Section 10-4-9 of the Zoning Ordinance, **staff is proposing these additional special use standards to be considered:**
- a. Impact of the proposed facility on the existing or planned uses located within the vicinity of the subject property.
 - b. Suitability of the proposed facility and it's co-location with another adult-use cannabis business establishment.
 - c. Adequate waste management plan for the storage, security and disposal of discarded cannabis products and materials.
 - d. Distance to existing adult-use cannabis establishment.

Staff Comments:

The Illinois Municipal Code, as well as the City's Code, requires a public hearing conducted by the Planning and Zoning Commission before any amendment to the Zoning Ordinance is permitted. Therefore, staff is proposing to obtain feedback and direction from the City Council prior to formally scheduling a public hearing before the Planning and Zoning Commission at the November 13th meeting.

Attachments:

- 1. Adult-Use Cannabis Fact Sheet
- 2. Current Medical Cannabis Ordinance No. 2014-08
- 3. Map – Potential Adult-Use Cannabis Cultivation Center Locations with 2,500 ft. buffer
- 4. Map – Potential Adult-Use Cannabis Dispensary Locations with 1,000 ft. buffer
- 5. Illinois Municipal League (IML) model ordinance: Municipal Cannabis Business Zoning

Adult-Use Cannabis

Public Act 101-0027 creates the Cannabis Regulation and Tax Act and was signed into law by Governor JB Pritzker on June 25, 2019. Effective January 1, 2020, the Act legalizes the possession and private use of cannabis for Illinois residents over 21 years of age.



7/15/19

LOCAL REGULATION OF CONSUMPTION

Municipalities may not restrict the private consumption of cannabis that is authorized by the Act. However, the Act prohibits the use of cannabis in public places, schools and child care facilities among other locations. Municipalities may adopt and enforce local ordinances to regulate possession and public consumption of cannabis so long as the regulations and penalties are consistent with the Act.

HOME GROW LIMITED TO MEDICAL PROGRAM PARTICIPANTS

Home grow cannabis will be authorized only for medical cannabis program participants, and is limited to five plants in their residence and subject to specified restrictions. Home grow of recreational cannabis by non-medical participants is prohibited. [More information about the medical cannabis program is available via this link.](#)



ZONING

The Act preserves local zoning authority and directly authorizes municipalities to prohibit (opt out) or significantly limit the location of cannabis businesses by ordinance. Municipalities will have the authority to enact reasonable zoning regulations that are not in conflict with the act. This would include the authority to opt out of either commercial production or distribution (dispensaries) of adult-use cannabis within their jurisdiction. Municipalities also may enact zoning ordinances and regulations designating the time, place, manner and number of cannabis business operations, including minimum distances between locations through conditional use permits.

BUSINESS REGULATION

In addition to zoning authority, municipalities will have the authority to allow for on-premise use of cannabis at locations to be determined locally. The Act anticipates that local authorities will engage in inspections of cannabis-related businesses. Municipalities may establish and impose civil penalties for violations of the local ordinances and regulations.



LOCAL REVENUE

Municipalities, by ordinance, may impose a Municipal Cannabis Retailers' Occupation Tax on adult-use cannabis products of up to 3% of the purchase price, in .25% increments. Counties may impose up to 3.75% in unincorporated areas, in .25% increments. The taxes imposed under this Act shall be in addition to all other occupation, privilege or excise taxes imposed by the State of Illinois or by any unit of local government, such as sales tax.



SMOKE FREE ILLINOIS ACT

The Act applies the restrictions of the Smoke Free Illinois Act on smoking cannabis, and provides that property owners may prohibit the use of cannabis by any guest, lessee, customer or visitor. In addition, lessors may prohibit cultivation of cannabis by their lessees.

EMPLOYER PROVISIONS

The Act provides employer protections including that nothing in the enactment prohibits employers from adopting reasonable zero-tolerance or drug-free workplace employment policies concerning drug testing, smoking, consumption, storage or use of cannabis in the workplace or while on-call. These policies must be applied in a nondiscriminatory manner. Employers may prohibit the use of cannabis by employees in the workplace, and engage in discipline, including termination, for violations of those policies and workplace rules.

STATE LICENSING

The Act authorizes the production and distribution of cannabis and cannabis products through state-licensed cultivators, craft growers, infusers, transporters and dispensaries. Cannabis transporters will be separately licensed by the Act, as well. A market study due in March 2021 will inform future licensing. The state will issue licenses according to a graduated scale. By the end of the first year, there will be up to 295 dispensing organizations. The Act will allow up to 500 dispensing organizations by January 1, 2022. Cultivators will be capped at 50, and 100 craft growers will be allowed. By that same date, 100 infusers will also be authorized to be licensed.

GRANTS AND INVESTMENT

The Act establishes the Restore, Reinvest and Renew (R3) Program to invest in communities historically impacted by economic disinvestment and violence. The Illinois Criminal Justice Information Authority (ICJIA) will identify R3 areas that qualify for funding, and grants will be awarded by the R3 Board. A 22-member R3 Board will award grants throughout the state, subject to an application process and the Government Accountability and Transparency Act (GATA); the R3 Board shall be chaired by the Lt. Governor.

SOCIAL EQUITY

The Act provides for a social equity program to establish a legal cannabis industry that is accessible to those most adversely impacted by the enforcement of drug-related laws in this state, including cannabis-related laws. Qualifying social equity applicants may be awarded financial assistance and incentives if they are interested in establishing cannabis related businesses.

DECRIMINALIZATION AND EXPUNGEMENTS

A significant portion of the Act addresses the decriminalization of cannabis through mandatory and discretionary expungements of criminal convictions relating to non-violent cannabis offenses.

STATE REVENUE

State revenues derived from the Cannabis Regulation and Tax Act will be deposited into the Cannabis Regulation Fund. The funds will be distributed to multiple state agencies for implementation of the Act. The legalization of adult cannabis also includes a new source of Local Government Distributive Fund (LGDF) dollars. A portion of the Cannabis Regulation Fund revenues (8% of deposits) will go to local governments, through LGDF, which will be used to fund crime prevention programs, training and interdiction efforts. The Cannabis Regulation Fund is derived from moneys collected from state taxes, license fees and other amounts required to be transferred into the Fund.



**UNITED CITY OF YORKVILLE
KENDALL COUNTY, ILLINOIS**

ORDINANCE NO. 2014-08

AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY,
ILLINOIS, AMENDING THE YORKVILLE ZONING ORDINANCE BY ADDING
MEDICAL CANNABIS CULTIVATION CENTER AND DISPENSING
ORGANIZATION AS SPECIAL USES IN THE M-1 ZONING DISTRICT

Passed by the City Council of the
United City of Yorkville, Kendall County, Illinois
This 11th day of March, 2014

Published in pamphlet form by the
authority of the Mayor and City Council
of the United City of Yorkville, Kendall
County, Illinois on March 31, 2014.

Ordinance No. 2014- 08

AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS, AMENDING THE YORKVILLE ZONING ORDINANCE BY ADDING MEDICAL CANNABIS CULTIVATION CENTER AND DISPENSING ORGANIZATION AS SPECIAL USES IN THE M-1 ZONING DISTRICT

WHEREAS, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

WHEREAS, pursuant to Section 10-14-7 of the Yorkville Zoning Code (the “Zoning Code”) the City may initiate amendments to the Yorkville Zoning Ordinance; and,

WHEREAS, the City filed seeking an amendment to the Zoning Code to define and locate medical cannabis dispensing organizations and cultivation centers in the zoning districts of the Yorkville Zoning Ordinance; and,

WHEREAS, Section 5/11-13-1.1 of the Illinois Municipal Code (65 ILCS 5/11-13-1.1) provides that the City may establish special uses in its zoning ordinance because of their unique characteristics, impact of those uses on neighboring land, and public need for that particular use at a particular location; and,

WHEREAS, the Plan Commission convened and held a public hearing on the 12th day of February 2014, on the question of the text amendments to the Zoning Code; and,

WHEREAS, upon conclusion of said public hearing, the Plan Commission recommended the approval of the text amendments to the Zoning Code.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

Section 1: The above recitals are incorporated and made a part of this Ordinance.

Section 2: Title 10, Chapter 2, Section 10-2-3 of the United City of Yorkville Code of Ordinances is hereby amended by the addition of the following definitions:

“CULTIVATION CENTER: A facility registered by Department of Agriculture to perform activities to provide only registered medical cannabis dispensing organizations with usable medical cannabis in compliance with the Compassionate Use of Medical Cannabis Pilot Program Act (410 ILCS 130/1 et seq.).

MEDICAL CANNABIS DISPENSING ORGANIZATION: A facility operated by an organization or business that is registered by Department of Financial and Professional Regulation to acquire medical cannabis from a registered cultivation center for the purpose of

dispensing cannabis, paraphernalia, or related supplies and educational materials to registered qualified patients in compliance with the Compassionate Use of Medical Cannabis Pilot Program Act (410 ILCS 130/1 et seq.).”

Section 3: Title 10, Chapter 8, Article A (M-1 Limited Manufacturing District), Section 10-8A-3 of the United City of Yorkville Code of Ordinances is hereby amended by the addition of the following special uses:

“Cultivation Center and Medical Cannabis Dispensing Organization in compliance with the Compassionate Use of Medical Cannabis Pilot Program Act (410 ILCS 130/1 et seq.) provided that the distance requirements set forth in that Act are also required for public parks and religious institutions for such use.”

Section 4: This Ordinance shall be in full force and effect upon its passage, approval, and publication as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois this 11 day of MARCH, 2014.

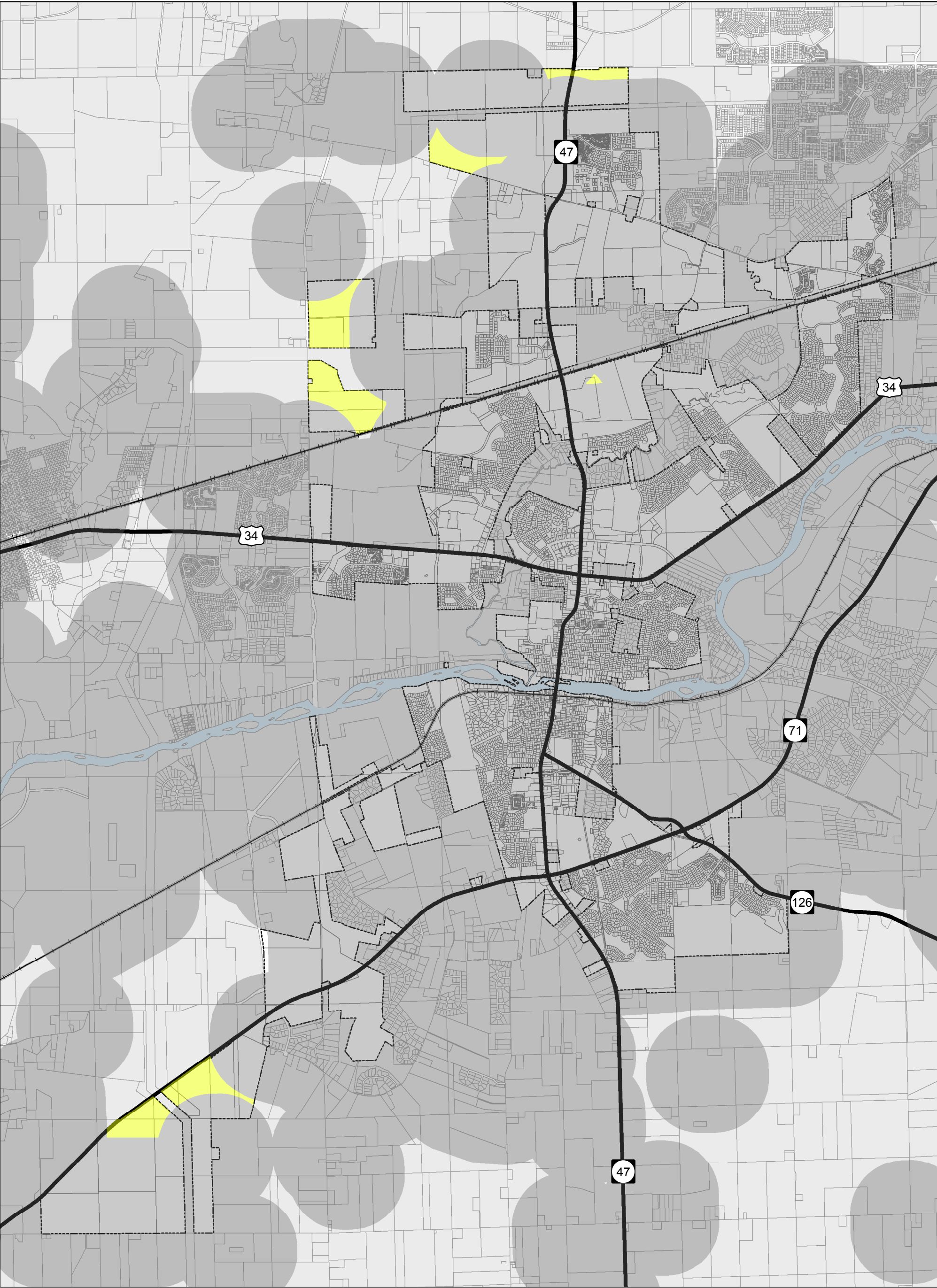
Asia Pickering
DEPUTY CITY CLERK

CARLO COLOSIMO	<u>n</u>
JACKIE MILSCHEWSKI	<u>y</u>
CHRIS FUNKHOUSER	<u>n</u>
ROSE ANN SPEARS	<u>n</u>




KEN KOCH	<u>y</u>
LARRY KOT	<u>y</u>
JOEL FRIEDERS	<u>y</u>
DIANE TEELING	<u>y</u>

Approved by me, as Mayor of the United City of Yorkville, Kendall County, Illinois, this 19 day of MARCH 2014.

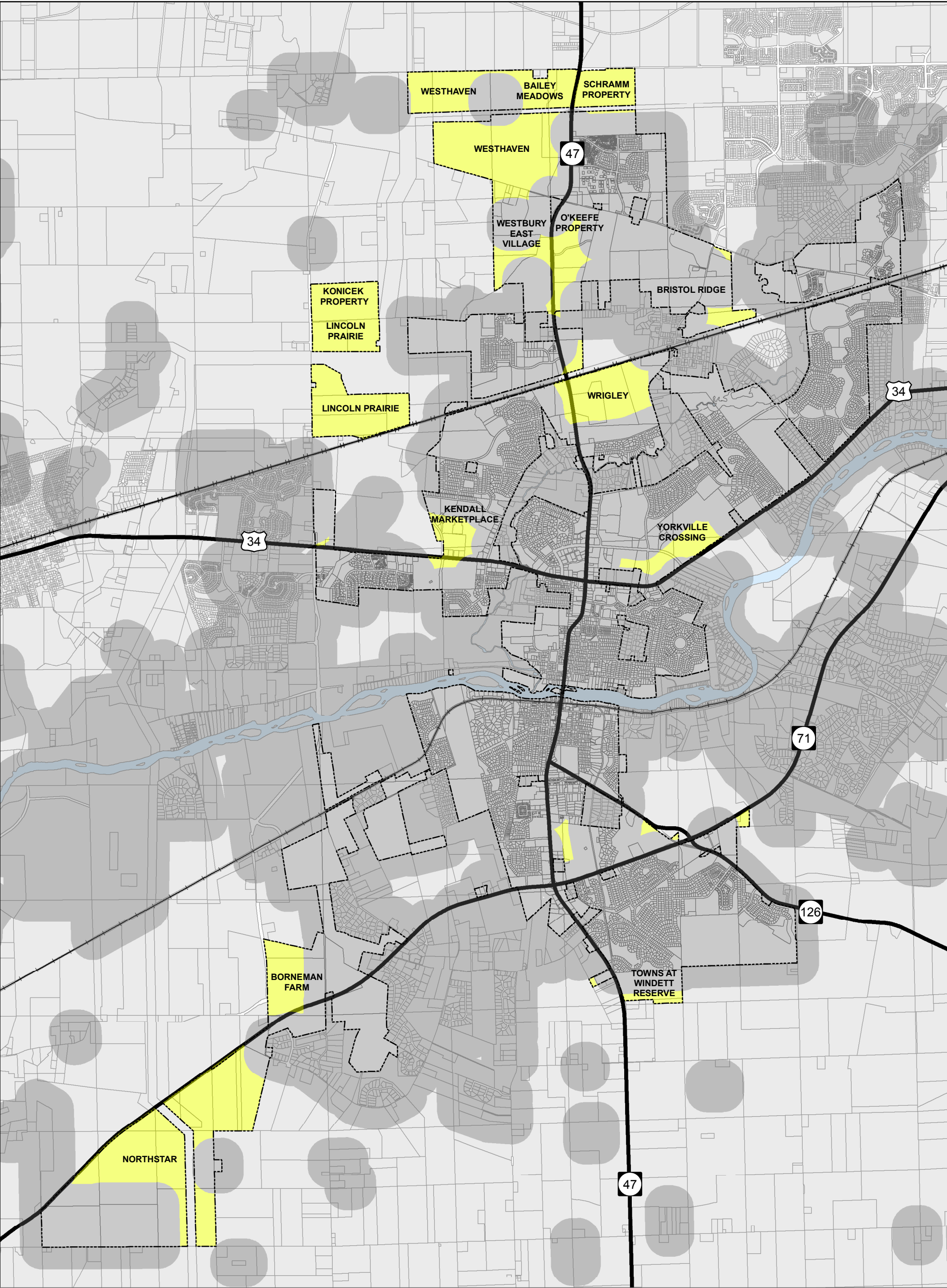
Harry J. Golinski
MAYOR







CANNABIS CULTIVATION CENTER, CRAFT GROWER, INFUSER, PROCESSOR, TRANSPORTATION ORGANIZATION PERMITTED LOCATIONS | 2,500 FOOT BUFFER

-  Cannabis Cultivation Permitted Location
-  Cannabis Cultivation NOT Permitted
2,500 Foot Buffer from all schools, daycares, residential zones, parks, and religious institutions
-  Yorkville City Boundary





CANNABIS DISPENSARY PERMITTED LOCATIONS | 1,000 FOOT BUFFER

-  Cannabis Cultivation Permitted Location
-  Cannabis Cultivation NOT Permitted
-  1,000 Foot Buffer from all schools, daycares, residential zones, parks, and religious institutions
-  Yorkville City Boundary

NOTE: Several of the permitted areas in the northern and far southern locations of the City are part of existing annexation agreements which permit residential uses. If these developments are pursued, then a majority of these areas will not permit cannabis dispensaries. Developments which do not allow for residential uses are Lincoln Prairie, Konicek Property, and Wrigley.



**MODEL ORDINANCE
MUNICIPAL CANNABIS BUSINESS ZONING**

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER __ (ZONING TITLE, PURPOSE, DEFINITIONS), CHAPTER __ (GENERAL ZONING PROVISIONS), CHAPTER __ (COMMERCIAL DISTRICTS), AND CHAPTER __ (INDUSTRIAL DISTRICTS) OF TITLE __ (ZONING ORDINANCE) OF THE _____ MUNICIPAL CODE PERTAINING TO ADULT-USE CANNABIS

WHEREAS, the City/Village of _____, Illinois, has enacted Municipal Code Regulations for the purpose of improving and protecting the public health, safety, comfort, convenience and general welfare of the people; and

WHEREAS, the State of Illinois enacted the Cannabis Regulation and Tax Act (Act), which pertains to the possession, use, cultivation, transportation and dispensing of adult-use cannabis, which became effective June 25, 2019; and

WHEREAS, pursuant to the Act, the City/Village may enact reasonable zoning ordinances or resolutions not in conflict with the Act, regulating cannabis business establishments, including rules adopted governing the time, place, manner and number of cannabis business establishments, and minimum distance limitations between cannabis business establishments and locations the City/Village deems sensitive; and

WHEREAS, on _____, the City Council/Village Board initiated an amendment to Title __ (Zoning Ordinance) to review and consider additional amendments to further regulate adult-use cannabis facilities within the City/Village of _____; and

WHEREAS, the Planning and Zoning Commission/Zoning Board of Appeals conducted public hearings, as required by law, on _____ and _____, in regards to the proposed amendments to Title __ (Zoning Ordinance) of the _____ Municipal Code pertaining to adult-use cannabis; and

WHEREAS, the Planning and Zoning Commission/Zoning Board of Appeals recommended approval of the proposed amendments to Title __ (Zoning Ordinance) on _____.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City/Board of Trustees of the Village of _____ as follows:

SECTION 1: The recitals set forth above are incorporated herein.

SECTION 2: Chapter __ (Zoning Title, Purpose, Definitions) of Title __ (Zoning Ordinance) of the _____ Municipal Code is hereby amended by adding the underlined language and deleting the stricken language, as follows:

* * *

ADULT-USE CANNABIS BUSINESS ESTABLISHMENT:

An adult-use cannabis cultivation center, craft grower, processing organization, infuser organization, dispensing organization or transporting organization.

ADULT-USE CANNABIS CRAFT GROWER:

A facility operated by an organization or business that is licensed by the Illinois Department of Agriculture to cultivate, dry, cure and package cannabis and perform other necessary activities to make cannabis available for sale at a dispensing organization or use at a processing organization, per the Cannabis Regulation and Tax Act, (P.A. 101-0027), as it may be amended from time-to-time, and regulations promulgated thereunder.

ADULT-USE CANNABIS CULTIVATION CENTER:

A facility operated by an organization or business that is licensed by the Illinois Department of Agriculture to cultivate, process, transport and perform necessary activities to provide cannabis and cannabis-infused products to licensed cannabis business establishments, per the Cannabis Regulation and Tax Act, (P.A. 101-0027), as it may be amended from time-to-time, and regulations promulgated thereunder.

ADULT-USE CANNABIS DISPENSING ORGANIZATION:

A facility operated by an organization or business that is licensed by the Illinois Department of Financial and Professional Regulation to acquire cannabis from licensed cannabis business establishments for the purpose of selling or dispensing cannabis, cannabis-infused products, cannabis seeds, paraphernalia or related supplies to purchasers or to qualified registered medical cannabis patients and caregivers, per the Cannabis Regulation and Tax Act, (P.A. 101-0027), as it may be amended from time-to-time, and regulations promulgated thereunder.

ADULT-USE CANNABIS INFUSER ORGANIZATION OR INFUSER:

A facility operated by an organization or business that is licensed by the Illinois Department of Agriculture to directly incorporate cannabis or cannabis concentrate into a product formulation to produce a cannabis-infused product, per the Cannabis Regulation and Tax Act, (P.A. 101-0027), as it may be amended from time-to-time, and regulations promulgated thereunder.

ADULT-USE CANNABIS PROCESSING ORGANIZATION OR PROCESSOR:

A facility operated by an organization or business that is licensed by the Illinois Department of Agriculture to either extract constituent chemicals or compounds to produce cannabis concentrate or incorporate cannabis or cannabis concentrate into a product formulation to produce a cannabis product, per the Cannabis Regulation and Tax Act, (P.A. 101-0027), as it may be amended from time-to-time, and regulations promulgated thereunder.

ADULT-USE CANNABIS TRANSPORTING ORGANIZATION OR TRANSPORTER:

An organization or business that is licensed by the Illinois Department of Agriculture to transport cannabis on behalf of a cannabis business establishment or a community college licensed under the Community College Cannabis Vocational Training Pilot Program, per the Cannabis Regulation and Tax Act, (P.A. 101-0027), as it may be amended from time-to-time, and regulations promulgated thereunder.

* * *

SECTION 3: Chapter __ (General Zoning Provisions) of Title __ (Zoning Ordinance) of the _____ Municipal Code is hereby amended by adding the underlined language and deleting the stricken language, as follows:

* * *

: ADULT-USE CANNABIS:

1. Purpose and Applicability: It is the intent and purpose of this Section to provide regulations regarding the cultivation, processing and dispensing of adult-use cannabis occurring within the corporate limits of the City/Village of _____. Such facilities shall comply with all regulations provided in the Cannabis Regulation and Tax Act (P.A. 101-0027) (Act), as it may be amended from time-to-time, and regulations promulgated thereunder, and the regulations provided below. In the event that the Act is amended, the more restrictive of the state or local regulations shall apply.

2. Conditional Use: Adult-Use Cannabis Business Establishment facilities, as defined herein, requiring approval of a conditional use in the respective districts in which they are requested shall be processed in accordance with Section ____ (Conditional Uses) of this Title and Section 3 (Adult-Use Cannabis Facility Components) as provided herein.

3. Adult-Use Cannabis Facility Components: In determining compliance with Section ____ (Conditional Uses) of this Title, the following components of the Adult-Use Cannabis Facility shall be evaluated based on the entirety of the circumstances affecting the particular property in the context of the existing and intended future use of the properties:

3.1 Impact of the proposed facility on existing or planned uses located within the vicinity of the subject property.

3.2 Proposed structure in which the facility will be located, including co-tenancy (if in a multi-tenant building), total square footage, security installations/security plan and building code compliance.

3.3 Hours of operation and anticipated number of customers/employees.

3.4 Anticipated parking demand based on Section ____ and available private parking supply.

3.5 Anticipated traffic generation in the context of adjacent roadway capacity and access to such roadways.

3.6 Site design, including access points and internal site circulation.

3.7 Proposed signage plan.

3.8 Compliance with all requirements provided in Section 4 (Adult-Use Cannabis Craft Grower); Section 5 (Adult-Use Cannabis Cultivation Center); Section 6 (Adult-Use Cannabis Dispensing Organization); Section 7 (Adult-Use Cannabis Infuser Organization); Section 8 (Adult-Use Cannabis Processing Organization); or Section 9 (Adult-Use Cannabis Transporting Organization), as applicable.

3.8 Other criteria determined to be necessary to assess compliance with Section ____ (Conditional Uses) of this Title.

4. Adult-Use Cannabis Craft Grower: In those zoning districts in which an Adult-Use Cannabis Craft Grower may be located, the proposed facility must comply with the following:

4.1 Facility may not be located within 1,500 feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home or residential care home. Learning centers and vocational/trade centers shall not be classified as a public or private school for purposes of this Section.

4.2 Facility may not be located within 1,500 feet of the property line of a pre-existing property zoned or used for residential purposes.

4.3 Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.

4.4 For purposes of determining required parking, Adult-Use Cannabis Craft Grower shall be classified as “_____” per Section ____ (Schedule of Off-Street Parking Requirements: Industrial Uses), provided, however, that the City/Village may require that additional parking be provided as a result of the analysis completed through Section ____ (Adult-Use Cannabis: Conditional Use) herein.

4.5 Petitioner shall file an affidavit with the City/Village affirming compliance with Section ____ as provided herein and all other requirements of the Act.

5. Adult-Use Cannabis Cultivation Center: In those zoning districts in which an Adult-Use Cannabis Cultivation Center may be located, the proposed facility must comply with the following:

5.1 Facility may not be located within 1,500 feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home or residential care home. Learning centers and vocational/trade centers shall not be classified as a public or private school for purposes of this Section.

5.2 Facility may not be located within 1,500 feet of the property line of a pre-existing property zoned or used for residential purposes.

5.3 Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.

5.4 For purposes of determining required parking, Adult-Use Cannabis Cultivation Centers shall be classified as “_____” per Section ____ (Schedule of Off-Street Parking Requirements: Industrial Uses), provided, however, that the City/Village may require that additional parking be provided as a result of the analysis completed through Section ____ (Adult-Use Cannabis: Conditional Use) herein.

5.5 Petitioner shall file an affidavit with the City/Village affirming compliance with Section ____ as provided herein and all other requirements of the Act.

6. Adult-Use Cannabis Dispensing Organization: In those zoning districts in which an Adult-Use Cannabis Dispensing Organization may be located, the proposed facility must comply with the following:

6.1 Facility may not be located within 1,500 feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home or residential care home. Learning centers and vocational/trade centers shall not be classified as a public or private school for purposes of this Section.

6.2 Facility may not be located in a dwelling unit or within 250 feet of the property line of a pre-existing property zoned or used for residential purposes.

6.3 At least 75% of the floor area of any tenant space occupied by a dispensing organization shall be devoted to the activities of the dispensing organization as authorized by the Act, and no dispensing organization shall also sell food for consumption on the premises other than as authorized in Section 6.5 below in the same tenant space.

6.4 Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.

6.5 Facility may be issued a permit to host on-site consumption of cannabis if located in a freestanding structure occupied solely by the dispensing organization and smoke from the facility does not migrate into an enclosed area where smoking is prohibited. The security plan for the facility required by Section 10 (Additional Requirements) shall also reflect adequate provisions to respond to disruptive conduct and over-consumption. The on-site consumption permit shall be reviewed annually and may be suspended or revoked following notice and hearing as provided in Section ____ of the City/Village of Municipal Code.

6.6 For purposes of determining required parking, said facilities shall be classified as “_____” per Section ____ (Schedule of Off-Street Parking Requirements: Commercial Uses) of the City/Village of _____ Municipal Code, provided, however, that the City/Village may require that additional parking be provided as a result of the analysis completed through Section ____ (Adult-Use Cannabis: Conditional Use) herein.

6.7 Petitioner shall file an affidavit with the City affirming compliance with Section _____ as provided herein and all other requirements of the Act.

7. Adult-Use Cannabis Infuser Organization: In those zoning districts in which an Adult-Use Cannabis Infuser Organization may be located, the proposed facility must comply with the following:

7.1 Facility may not be located within 1,500 feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home or residential care home. Learning centers and vocational/trade centers shall not be classified as a public or private school for purposes of this Section.

7.2 Facility may not be located in a dwelling unit or within 250 feet of the property line of a pre-existing property zoned or used for residential purposes.

7.3 At least 75% of the floor area of any tenant space occupied by an infusing organization shall be devoted to the activities of the infusing organization as authorized by the Act. Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.

7.4 For purposes of determining required parking, said facilities shall be classified as “_____” per Section ____ (Schedule of Off-Street Parking Requirements: Commercial Uses) of the City/Village of _____ Municipal Code, provided, however, that the City/Village may require that additional parking be provided as a result of the analysis completed through Section ____ (Adult-Use Cannabis: Conditional Use) herein.

7.5 Petitioner shall file an affidavit with the City affirming compliance with Section _____ as provided herein and all other requirements of the Act.

8. Adult-Use Cannabis Processing Organization: In those zoning districts in which an Adult-Use Cannabis Processing Organization may be located, the proposed facility must comply with the following:

8.1 Facility may not be located within 1,500 feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home or residential care home. Learning centers and vocational/trade centers shall not be classified as a public or private school for purposes of this Section.

8.2 Facility may not be located in a dwelling unit or within 250 feet of the property line of a pre-existing property zoned or used for residential purposes.

8.3 At least 75% of the floor area of any tenant space occupied by a processing organization shall be devoted to the activities of the processing organization as authorized by the Act. Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.

8.4 For purposes of determining required parking, said facilities shall be classified as “_____” per Section ____ (Schedule of Off-Street Parking Requirements: Commercial Uses) of the City/Village of _____ Municipal Code, provided, however, that the City/Village may require that additional parking be provided as a result of the analysis completed through Section ____ (Adult-Use Cannabis: Conditional Use) herein.

8.5 Petitioner shall file an affidavit with the City affirming compliance with Section _____ as provided herein and all other requirements of the Act.

9. Adult-Use Cannabis Transporting Organization: In those zoning districts in which an Adult-Use Transporting Organization may be located, the proposed facility must comply with the following:

9.1 Facility may not be located within 1,500 feet of the property line of a pre-existing public or private nursery school, preschool, primary or secondary school, day care center, day care home or residential care home. Learning centers and vocational/trade centers shall not be classified as a public or private school for purposes of this Section.

9.2 Facility may not be located in a dwelling unit or within 250 feet of the property line of a pre-existing property zoned or used for residential purposes.

9.3 The transporting organization shall be the sole use of the tenant space in which it is located. Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act.

9.4 For purposes of determining required parking, said facilities shall be classified as “_____” per Section ____ (Schedule of Off-Street Parking Requirements: _____) of the City/Village of _____ Municipal Code, provided, however, that the City/Village may require that additional parking be provided as a result of the analysis completed through Section ____ (Adult-Use Cannabis: Conditional Use) herein.

9.5 Petitioner shall file an affidavit with the City affirming compliance with Section _____ as provided herein and all other requirements of the Act.

10. Additional Requirements: Petitioner shall install building enhancements, such as security cameras, lighting or other improvements, as set forth in the conditional use permit, to ensure the safety of employees and customers of the adult-use cannabis business establishments, as well as its environs. Said improvements shall be determined based on the specific characteristics of the

floor plan for an Adult-Use Cannabis Business Establishment and the site on which it is located, consistent with the requirements of the Act.

11. Co-Location of Cannabis Business Establishments. The City/Village may approve the co-location of an Adult-Use Cannabis Dispensing Organization with an Adult-Use Cannabis Craft Grower Center or an Adult-Use Cannabis Infuser Organization, or both, subject to the provisions of the Act and the Conditional Use criteria within the City/Village of _____ Municipal Code. In a co-location, the floor space requirements of Section 6.3 and 7.3 shall not apply, but the co-located establishments shall be the sole use of the tenant space.

SECTION 4: Chapter __ (Commercial Districts) of Title __ (Zoning Ordinance) of the City/Village of _____ Municipal Code is hereby amended by adding the underlined language and deleting the stricken language, as follows:

ARTICLE A. B-1 GENERAL COMMERCIAL DISTRICT

_____: **PERMITTED USES:**

* * *

_____: **CONDITIONAL USES:**

The following conditional uses may be permitted in specific situations in accordance with the procedures outlined in Section _____ and Chapter __ of this Title, as appropriate:

* * *

Adult-Use Cannabis Dispensing Organization.

ARTICLE B. B-2. INTENSE COMMERCIAL DISTRICT

_____: **PERMITTED USES:**

* * *

_____: **CONDITIONAL USES:**

The following conditional uses may be permitted in specific situations in accordance with the procedures outlined in Section _____ and Chapter __ of this Title, as appropriate:

* * *

Adult-Use Cannabis Dispensing Organization.

Adult-Use Cannabis Infuser Organization.

Adult-Use Cannabis Processing Organization.

Adult-Use Cannabis Transporting Organization.

SECTION 5: Chapter __ (Industrial Districts) of Title __ (Zoning Ordinance) of the City/Village of _____ Municipal Code is hereby amended by adding the underlined language and deleting the stricken language, as follows:

ARTICLE A. I-1 GENERAL INDUSTRIAL DISTRICT

_____: **PERMITTED USES:**

* * *

_____: **CONDITIONAL USES:**

The following conditional uses may be permitted in specific situations in accordance with the procedures outlined in Section _____ and Chapter __ of this Title, as appropriate:

* * *

Adult-Use Cannabis Craft Grower Organization.
Adult-Use Cannabis Dispensing Organization.
Adult-Use Cannabis Infuser Organization.
Adult-Use Cannabis Processing Organization.
Adult-Use Cannabis Transporting Organization.

ARTICLE B. I-2 HEAVY INDUSTRIAL DISTRICT

_____ : PERMITTED USES:

* * *

_____ : CONDITIONAL USES:

The following conditional uses may be permitted in specific situations in accordance with the procedures outlined in Section _____ and Chapter __ of this Title, as appropriate:

* * *

Adult-Use Cannabis Craft Grower Organization.
Adult-Use Cannabis Cultivation Organization.
Adult-Use Cannabis Dispensing Organization.
Adult-Use Cannabis Infuser Organization.
Adult-Use Cannabis Processing Organization.
Adult-Use Cannabis Transporting Organization.

SECTION 6: Severability. If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 7: Effective Date. This Ordinance shall be in full force and effect upon its passage and approval as required by law.

ADOPTED THIS _____ day of _____, 20__.

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

APPROVED THIS _____ day of _____, 20__.

Mayor/Village President

ATTEST:

City/Village Clerk



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #2

Tracking Number

CC 2019-63

Agenda Item Summary Memo

Title: CMAP LTA Grant Program/Application – Industrial Feasibility Study

Meeting and Date: City Council – October 8, 2019

Synopsis: Please see attached.

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: _____

Submitted by: Erin Willrett Administration
Name Department

Agenda Item Notes:



Memorandum

To: City Council
From: Erin Willrett, Assistant City Administrator
CC: Bart Olson, City Administrator
Date: October 8, 2019
Subject: CMAP Local Technical Assistance and Community Planning
Grant Application – Industrial Feasibility Study

Summary

Discussion of the CMAP Local Technical Assistance and Community Planning Program Grant Application for a future Industrial Feasibility Study

Background

This item was last discussed by the City Council during the 2018 Goal Setting session. Staff proposed to conduct an industrial development feasibility study, similar to a retail gap analysis study using funds from the Local Technical Assistance Program. CMAP's Local Technical Assistance and Community Planning grant program offers support to local governments, non-profit agencies, the region's transit service boards, and other organizations looking to plan and implement projects that will benefit the community and the region as a whole. Applications for this program are due by Noon on October 17th.

The RTA and CMAP are asking successful applicants to provide a local financial contribution for their respective project. Project contributions are based on the economic and demographic characteristics of the area served, with lower contribution rates for smaller communities and those with a lower tax base or median income. Contribution rates are calculated based on the best available data for the area affected by the project. Staff did reach out to CMAP's staff, CMAP asked the City to be prepared to contribute 20% of the project cost. Staff is estimating that cost to be approximately \$15,000.

RTA and CMAP staff will begin a review of the applications immediately following the receipt of all submittals. While staff make the final selections, feedback is solicited from the RTA Service Boards (CTA, Pace and Metra), transportation agencies, the City of Chicago, County Planning Directors, and other external agencies as appropriate. During this time, staff may also contact applicants to ask questions as necessary. The applications are qualitatively reviewed by the set of criteria listed in the application. Applicants will be notified by RTA or CMAP with the decision. Subsequent steps for projects selected will depend on which agency funds the selected project. Staff expects to receive preliminary project selections by December 2019. If the project is selected, the study will get underway between July 2020 and June 2023. Due to this timeline, staff can budget the 20% local contribution in the FY21 and/or FY22 budget. Also, if the project is selected, the proposed study may be staff-led by an employee of the CTA and/or RTA, or it may be consultant-led. This will be decided on after the awards have been made. Attached is the proposed application.

Recommendation

The attached application will be submitted to CMAP by October 17th.

Yorkville LTA Grant Application – 2019 – Industrial Development Feasibility Study

Applicant – United City of Yorkville

Main Contact of Applicant – Erin Willrett

Title – Assistant City Administrator

Phone – 630-553-8574

Email – ewillrett@yorkville.il.us

Alternate contact information – Krysti Noble, Community Development Director, 630-553-8573, knoble@yorkville.il.us

Please enter the name, title, phone, and email of an alternate contact.

Type of Applicant – Local Government

Please indicate whether you are a local government, multijurisdictional group*, or non governmental organization*

Note

Nongovernmental applicants are strongly encouraged to contact CMAP or the RTA prior to submitting their application to discuss their project and the demonstration of local support.

Please list the other organizations on the applicant team if applicable (including government and non governmental organizations):

Project Location – United City of Yorkville, Approximately 55 miles southwest of Chicago, Kendall County, IL

Please provide a brief description of the location of your project. CMAP staff will contact you shortly after your application is submitted to help create a map for each project submittal, based on written boundaries supplied within applications

Project Description

Please tell us what you would like to do in your community, and what assistance is needed. If you have more than one idea, please submit a separate application for each project. Please be specific, but also brief. For plan updates please tell us how you will be building upon (or replacing) the previous work. CMAP or RTA staff will contact you if we need any additional information to fully understand your proposed project. If your project implements a past plan, please include a link to any relevant plans. (Please limit your responses to 500 words.)

Yorkville would like to embark on an industrial development feasibility study, similar to a retail gap analysis study. Yorkville sits in a unique position within the County. Yorkville is approximately 20.5 square miles, many of that acreage is undeveloped. One of the City Council's goals, year-after-year is to recruit appropriate industrial and manufacturing businesses to the City. With recent funding allocations in transit extending to Kendall County it is imperative to begin this planning effort now. We are also in the process of working with BNSF to become a BNSF Certified Site community on an international level. Some of our prime vacant properties lie along the railroad lines within the city. Because of this, it is a unique opportunity to begin moving forward with this effort. This study will meet the prosperity implementation plan within CMAP's ON To 2050 priorities. It mimics the key strategy within the plan to support development of the City of Yorkville to help implement a regional economic growth strategy. As stated in the On To 2050 Plan, Yorkville is trying to achieve the action, "to develop a shared vision for the regional economy that articulates our strongest economic assets and competitive advantages in support of regional marketing and branding." The City foresees this program helping us with the analysis and strategy development.

This study will help assess supply and demand for industrial lands, evaluate site options and possibly develop operational plans for selected sites. It could also help to outline development of future industrial parks and provide a set of recommendations with implementation strategies. The study may include a market analysis, a review of possible land sites, an analysis of the economic impacts of future development, review and outline of the industry expectations and discussion of the overall feasibility of such sites. This will culminate with the recommendations and implementation strategies of the sites within the city. This will allow the City to capitalize on the competitive advantages that are coming to the region and allow for the city to better position itself to meet the growing demands of future industrial users. The City is willing to be a fiscal partner for this plan, as shown with the execution of the previous LTA assistance we have been given.



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input checked="" type="checkbox"/>

Agenda Item Number

Park Board #1

Tracking Number

CC 2019-64

Agenda Item Summary Memo

Title: Bristol Bay Regional Park Alcohol Policy Proposal

Meeting and Date: City Council – October 8, 2019

Synopsis: Please see attached memo.

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Approval

Submitted by: Tim Evans Parks and Recreation
Name Department

Agenda Item Notes:



Memorandum

To: Yorkville City Council
From: Tim Evans, Director of Parks and Recreation
CC: Shay Remus, Superintendent of Recreation
Date: October 1, 2019
Subject: Bristol Bay Regional Park Alcohol Policy Proposal

Summary

Bristol Bay Regional Park Alcohol Policy Proposal

Background

In January 2016, the Park Board and City Council approved a change to the City Code to allow alcohol (BYOB) to be permitted during Adult Softball League games at Steven G. Bridge Park. Staff would like to expand this policy to the Bristol Bay Regional Park Sand Volleyball Courts for a new Adult Volleyball League in 2020.

By allowing alcohol to be permitted at Steven G Bridge Park it kept the Adult Softball Leagues relevant and appealing to the public, sustained participation and maintained revenue with minimal, if any, negatives effects. Neither the Parks and Rec. Staff nor the Police Department have reported any incidents due to allowing alcohol during Adult Softball games. The Police Department has confirmed they do not have any issues with this policy being carried over to the Bristol Bay Regional Park Volleyball Courts during Adult Volleyball games. With the completion of the Bristol Bay Regional Park Redevelopment project occurring in 2019, sand volleyball courts were installed. It is staff's intention to start a new Adult Volleyball League in 2020 on Friday and Sunday evenings when the park is not used by our Youth Athletic Leagues.

By allowing alcohol to be permitted at the park during games, an additional element is added to persuade teams to enroll in this new league. Staff feels that this provision helped sustained the Adult Softball League over the last few years.

Recommendation

Since 2016, Staff has not seen an increase in incidents or injuries due to consumption of alcohol during Adult Softball games. Due to the success of the policy at Bridge Park, staff seeks City Council approval of the Park Board recommendation to extend the ordinance to Bristol Bay Regional Park during Adult Volleyball League games only.

**AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY,
ILLINOIS, AMENDING THE LIQUOR REGULATIONS ALLOWING POSSESSION
AND CONSUMPTION OF ALCOHOLIC BEVERAGES AT THE
BRISTOL BAY REGIONAL PARK**

WHEREAS, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

WHEREAS, pursuant to section 5/4-1 of the Liquor Control Act of 1934, as amended, (235 ILCS 5/1-1 *et seq.*) the corporate authorities have the power to determine the regulations for the consumption of alcoholic beverages on City property; and in addition pursuant to its powers to protect the public’s health, welfare and safety this Ordinance is hereby adopted.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

Section 1: That Title 3, Chapter 3, Subsection 3-3-16, of the Yorkville City Code, be and is hereby amended to add the following item 3 to Subsection B:

“(3) Possession and consumption of beer and wine is permitted at the Bristol Bay Regional Park on Fridays between the hours of 5:00-11:00pm and Sundays between the hours of Noon-10:00pm. between April 1 and November 30, but not on the playing field or the park’s parking lot.”

Section 2: This Ordinance shall be in full force and effect upon its passage, approval, and publication as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County,
Illinois, this ____ day of _____, A.D. 2019.

City Clerk

KEN KOCH	_____	DAN TRANSIER	_____
JACKIE MILSCHEWSKI	_____	ARDEN JOE PLOCHER	_____
CHRIS FUNKHOUSER	_____	JOEL FRIEDERS	_____
SEAVAR TARULIS	_____	JASON PETERSON	_____

APPROVED by me, as Mayor of the United City of Yorkville, Kendall County,
Illinois, this ____ day of _____, A.D. 2019.

Mayor

Attest:

City Clerk



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input checked="" type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Planning and Zoning Commission #1

Tracking Number

PZC 2019-09 and EDC 2019-23

Agenda Item Summary Memo

Title: Downtown Form Based Code and Master Streetscape Plan

Meeting and Date: City Council – October 8, 2019

Synopsis: Request for adoption of the Downtown Overlay District, including the Master Streetscape Plan and Form-Based Code.

Council Action Previously Taken:

Date of Action: 09/24/2019 Action Taken: 1st Reading

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Approval

Submitted by: Krysti Barksdale-Noble Community Development
Name Department

Agenda Item Notes:

See attached memo.



Memorandum

To: City Council
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Jason Engberg, Senior Planner
Date: September 26, 2019
Subject: **Downtown Form Based Code and Streetscape Master Plan**
Request for Adoption of Revised Plans

SUMMARY:

Review and approval of the proposed Yorkville Downtown Overlay District Plan consisting of a Streetscape Master Plan and Form-Based Code.

REVISIONS:

The following chart outlines the revisions made to both the Streetscape Master Plan and Form-Based Code as a result of review and input from the City Council during the September 24, 2019 meeting:

Streetscape Master Plan

Page	Comment	Correction
Page 9	Update "Street Type Classification" map to indicate that all of S. Main Street is classified as "B Street – Residential".	Noted and updated.
Page 55	Revise "Existing Land Uses" map to illustrate all city-owned property (i.e. Van Emmon Activity Center and Old Post Office) as "Public/Quasi-Public" land uses rather than "Commercial".	Noted and revised.

Formed-Based Code

Page	Comment	Correction
Page 6	Update "Street Type Classification" map to indicate that all of S. Main Street is classified as "B Street – Residential".	Noted and updated.
Pages 12, 13, 14 & 15	Update maximum building heights for each street district to reflect the actual permitted maximum based on building type.	Noted and revised.
Pages 32, 34, 36, 38 & 40	Amend these pages regarding "Building Types" to reflect the language regarding corner clearance in Section 10-3-2-E of the Zoning Ordinance.	The following notation has been added to these pages: "Corner Clearance: No buildings, structures or landscaping which obstructs vision on any corner lot between a height of two feet (2') and ten feet (10') above the finished grade of either street within a twenty-five-foot (25') triangle formed by the intervening street lines are permitted."

STAFF RECOMMENDATION:

Staff believes the information provided in this memo should address all the comments and feedback received from the City Council meeting regarding the Streetscape Master Plan and Form-Based Code. Therefore, we are seeking approval and formal adoption from the City Council of the Yorkville Downtown Overlay District Plan.

ATTACHMENTS:

1. Staff Memo to City Council dated September 10, 2019
2. Draft Revised Yorkville Streetscape Master Plan
3. Draft Revised Yorkville Downton Form-Based Code
4. Alternative Street Classification Plan for the Downtown Form-Based Code
5. Draft Ord Approving Streetscape Master Plan
6. Draft Ord Approving Text Amendment for Downtown Overlay District – Form-Based Code
7. Public Hearing Notice 4-10-19
8. City Council Memo dated 5-6-19
9. Economic Development Committee Memo dated 5-23-19
10. Economic Development Committee Memo dated 6-6-19
11. Economic Development Committee Memo dated 7-16-19
12. Economic Development Committee Memo dated 8-21-19
 - a. Downtown Overlay| Zoning Map
 - b. Downtown Overlay| Land Use Map
 - c. Downtown Overlay| Proposed Uses
 - d. Downtown Overlay| Permitted Use Comparison
 - e. Downtown Overlay| Sample Form-Based Code Exhibits
 - f. Lot-By-Lot Analysis Presentation

YORKVILLE

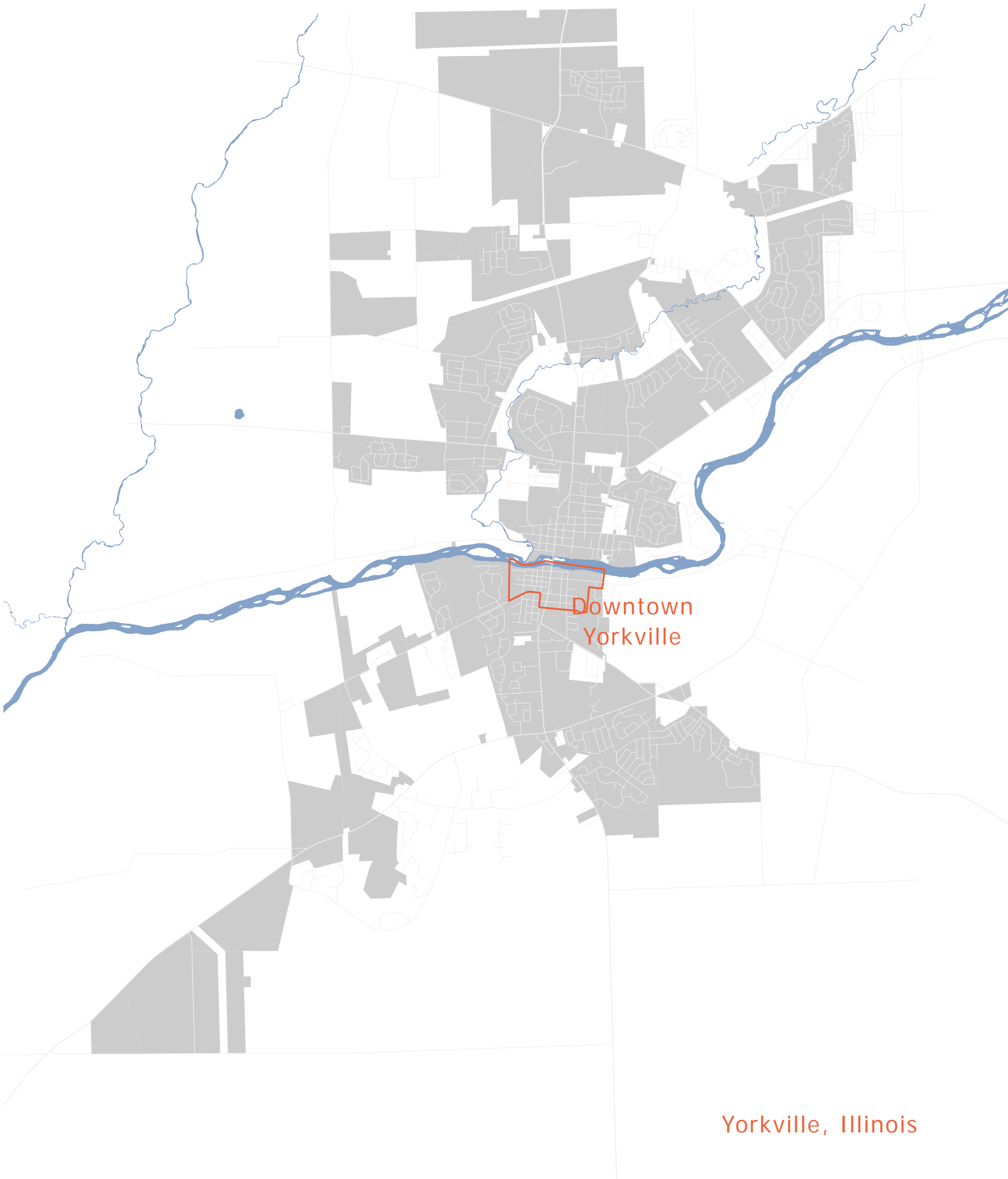
Downtown Overlay District

Streetscape Master Plan



United City of
Yorkville ILLINOIS

FARR ASSOCIATES



Yorkville, Illinois

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Bridge Street	p. 10
Hydraulic Street	p. 18
Van Emmon Street	p. 26
'B' Street	p. 34
Appendix	p. 52

Acknowledgements

United City of Yorkville
Farr Associates
Former Mayor Gary J. Golinski
Bart Olson, *City Administrator*
Erin Willrett, *Assistant City Administrator*
Krysti Barksdale-Noble, *Community Development Director*
Jason Engberg, *Senior Planner*
Eric Dhuse, *Public Works Director*
Lisa Pickering, *City Clerk*
Richard T. Hart, *Chief of Police*
Tim Evans, *Director of Parks and Recreation*
Brad Sanderson, EEl, *Engineering Consultant*

City Council

Mayor John Purcell
Joel Frieders, *Alderman*
Chris Funkhouser, *Alderman*
Ken Koch, *Alderman*
Jacquelyn Milschewski, *Alderman*
Jason Peterson, *Alderman*
Arden Joe Plocher, *Alderman*
Seaver Tarulis, *Alderman*
Daniel Transier, *Alderman*

Planning and Zoning Commissioners

Randy Harker, *Chairman*
Reagan Goins, *Commissioner*
Debra Horaz, *Commissioner*
Don Marcum, *Commissioner*
Jeff Olson, *Commissioner*
Richard Vinyard, *Commissioner*
Daniel Williams, *Commissioner*



United City of
Yorkville ILLINOIS



Introduction

A streetscape master plan provides guidance for the direction and character of future street related capital improvement projects. As downtown Yorkville continues to evolve, so too should its streets and public spaces to support the changing land uses over time. Downtown has experienced multiple moments of transition over the years, but recently, downtown has experienced a renaissance of sorts with desirable new restaurants and small local businesses occupying existing structures. An improved Fox River-oriented park and other recreational amenities add another layer to downtown's assets.

At its heart, Yorkville is a small-town on a sleepy river with residents committed to improving the quality of the city for all. What better place to start than improving a downtown that should be the center of the community, where events, festivals, and family gatherings take place regularly. The streets of downtown Yorkville should be the armature that supports these functions and helps contribute to building community and quality of life.

Downtown Overlay District

Streetscape Master Plan

Street Type Classification p. 08

Bridge Street p. 10

Hydraulic Street p. 16

Van Emmon Street p. 24

‘B’ Street p. 32

Wayfinding and Signage p. 40

General Streetscape Guidance p. 42

Streetscape Master Plan

Why a Streetscape Master Plan?



Figure 1 - Bridge Street (Farr Associates)

Because downtown Yorkville needs one. Investors and property owners interested in improving their downtown assets may think twice if they do not sense a commitment from the City. The downtown TIF I was certainly an effort to encourage redevelopment within downtown and TIF II is an added incentive for owners to invest; however, the lack of an inspiring plan that presents future capital improvement priorities for the City leaves much to be desired. This streetscape master plan is intended to get people excited about the potential of downtown. Knowing that improvements are in the pipeline, investors can get out in front and establish a presence prior to downtown realizing its full potential.

A streetscape master plan's focus is on the public realm - most notably the streets, furnishing zones, and sidewalks. It helps to establish what role each street will play moving forward. For example, it establishes which streets are 'A' Streets; meaning a street that should be accompanied by building frontages, glazing, signage, and activity. They are the

streets that residents come to downtown to stroll along and enjoy a sunny Saturday afternoon. Alternatively, a 'B' Street supports the 'A' Street. Parking access, sides of buildings, and service oriented functions should be accessed off 'B' Streets. Like 'A' Streets, they are critical to the functioning successes of places we love. Accommodating both within downtown, while defining which is which, can help property owners prioritize where their future front entry is located or where that new café tenant should face.

Downtown was identified as a primary concern in the 2016 Yorkville Comprehensive Plan for good reason. Despite its current downfalls, downtown contains exciting assets to build upon. Restaurants, old buildings packed with potential, plenty of infill and redevelopment opportunities, and a fantastic recreational amenity in the Fox River, all bode well for the future of downtown. This plan demonstrates some of the strategies the City can implement to pave the way for the future of downtown.

Providing Framework for the FBC

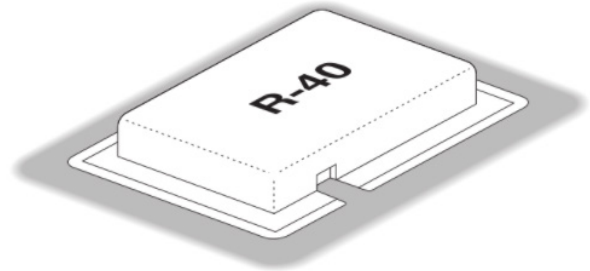
The streetscape master plan is structured to complement the **Downtown Yorkville Form-Based Code**. Form-based codes (FBC) are land development regulations that seek to produce predictable built results that prioritize building form over building use as a distinguishing factor. Often times, a regulatory zone or framework is applied at the block level, much like zoning, where parcels fall into a specific FBC classification.

The **Downtown Yorkville Form-Based Code** uses the street types as a regulatory framework. The parcels that front a specific street type identified in this plan use that street type as the underlying FBC classification. If a parcel fronts more than one street, the FBC articulates the process of discerning which FBC zone takes precedent. The FBC includes further instruction on how to identify a parcel, determine the underlying regulatory zone, and easily interpret the zone's requirements for redevelopment.

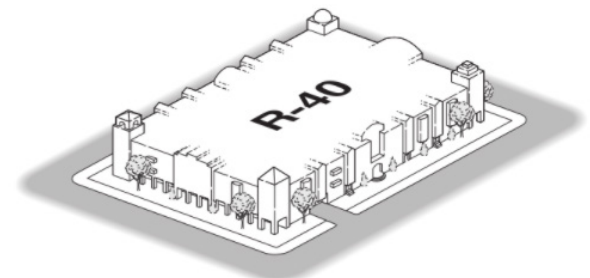
The streetscape master plan brings a visual interpretation of what form and character future capital improvements will exhibit. Though the streetscape master plan and the FBC are intended to be stand-alone documents, they are coordinated efforts that provide layers of detail to collectively envision the future of downtown Yorkville.

The series of diagrams on the right is from the Form-Based Codes Institute (FBCI) and meant to visualize the physical consequences that stem from conventional zoning (top), conventional zoning with supporting design guidelines (middle), and form-based codes (right). Standards that prioritize form over use have the capabilities of encouraging a more fine-grained outcome.

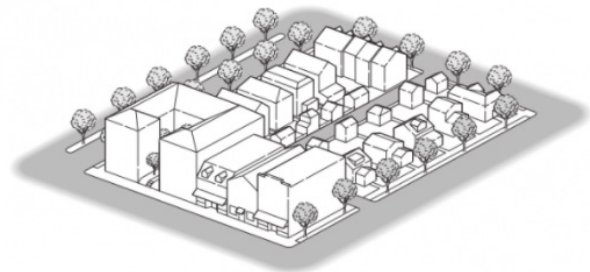
Conventional Zoning (FBCI)



Zoning Design Guidelines (FBCI)



Form-Based Codes (FBCI)



Street Type Classification

Street Type Classification

The following street types represent what will be the guiding framework for the form-based code (FBC) parcel classifications. Parcels fronting their respective street type should follow the form-based guidelines outlined in the Downtown Yorkville Form-Based Code. The different street types are

- 'A' Streets
 - Bridge Street
 - Hydraulic Street
 - Van Emmon
- 'B' Streets

These street types are represented on the following pages with the existing condition, proposed near-term improvements, and proposed long-term vision. The street types are represented at typical segments along key stretches; therefore, minor variations will occur where applicable.

This Streetscape Master Plan is intended to envision the character and role each street contributes to the future of downtown Yorkville and does not represent finalized landscape and construction details.

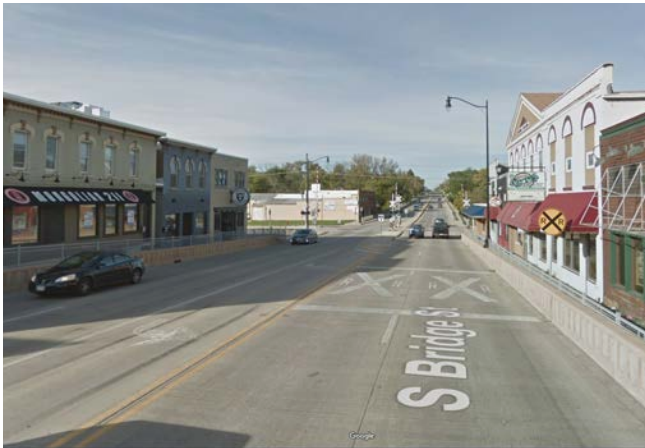


Figure 2 - Bridge Street (Google Maps)



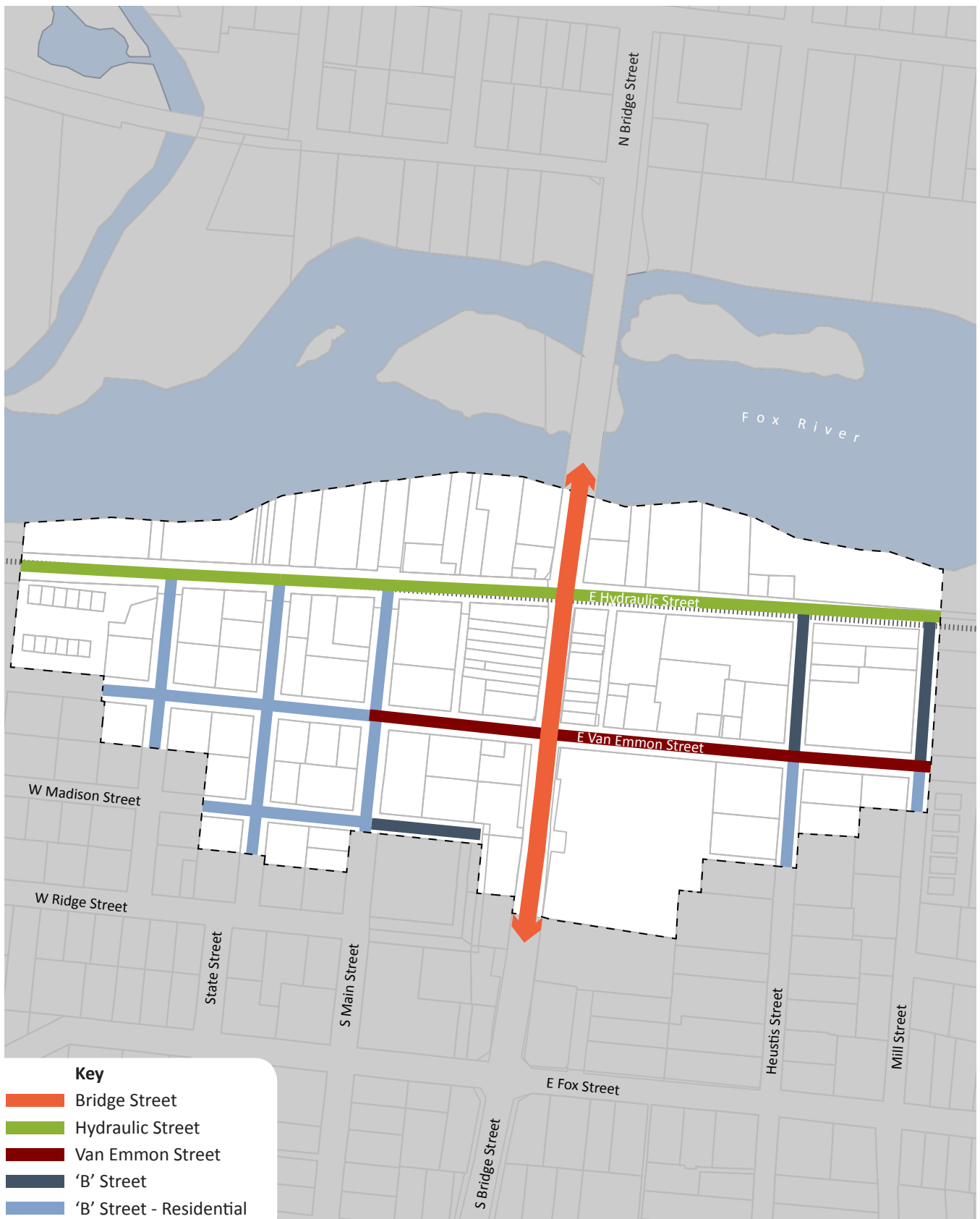
Figure 3 - Hydraulic Street (Google Maps)



Figure 4 - Van Emmon Street (Google Maps)



Figure 5 - Main Street (Google Maps)



Street Type Classification



Bridge Street (Existing)

IDOT's Improvements

Bridge Street, between Hydraulic Street to the north and Van Emmon Street to the south, was clearly the historic downtown core of Yorkville. Though this stretch is only one block long, it retains much of the scale and character of the past. Bridge Street was historically a two travel-lane street with parallel parking on either side to serve the businesses. Traffic became congested, since Bridge Street (IL 47) is the main truck route through Yorkville. The Illinois Department of Transportation (IDOT) studied widening the street along with other improvements to alleviate the congestion. Many years after the initial plan of a five-lane Bridge Street, the proposal was finally taken to construction. Yorkville residents were anxious to speed up flow through a downtown long removed from representing the heart of the community.

Since the IDOT improvements, the commercial viability of the businesses were challenged. Travel lanes replaced parallel parking and concrete barriers were placed between street and sidewalk. The combination of road widening, increased speed, lack of parallel parking, and other factors drove many of the primary building entries around to the backs of the Bridge Street buildings. The increased speeds and lack of pedestrian traffic along Bridge Street have effectively drained downtown of any potential for vitality. Residents have mixed opinions about the impacts of IDOT's improvements; however, it is clear that the term "improvements" may not be the correct expression for Bridge Street's new character.

This stretch of Bridge Street may be considered the gateway into downtown Yorkville and retains potential to become the iconic stretch that helps draw people into local businesses and displays an attractive image that represents the people of Yorkville.



Figure 6 - Bridge Street Facades (Farr Associates)

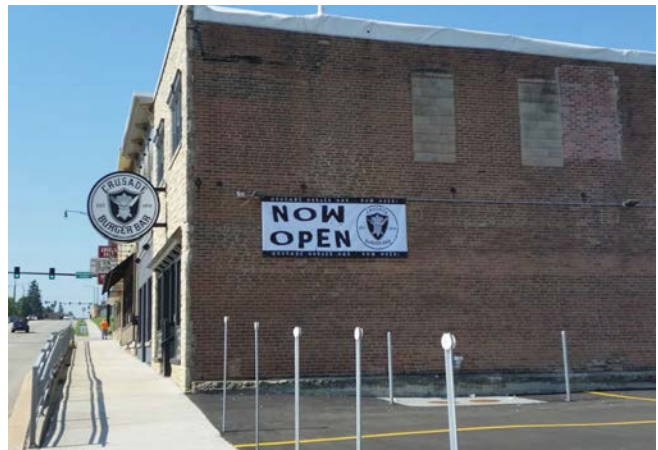
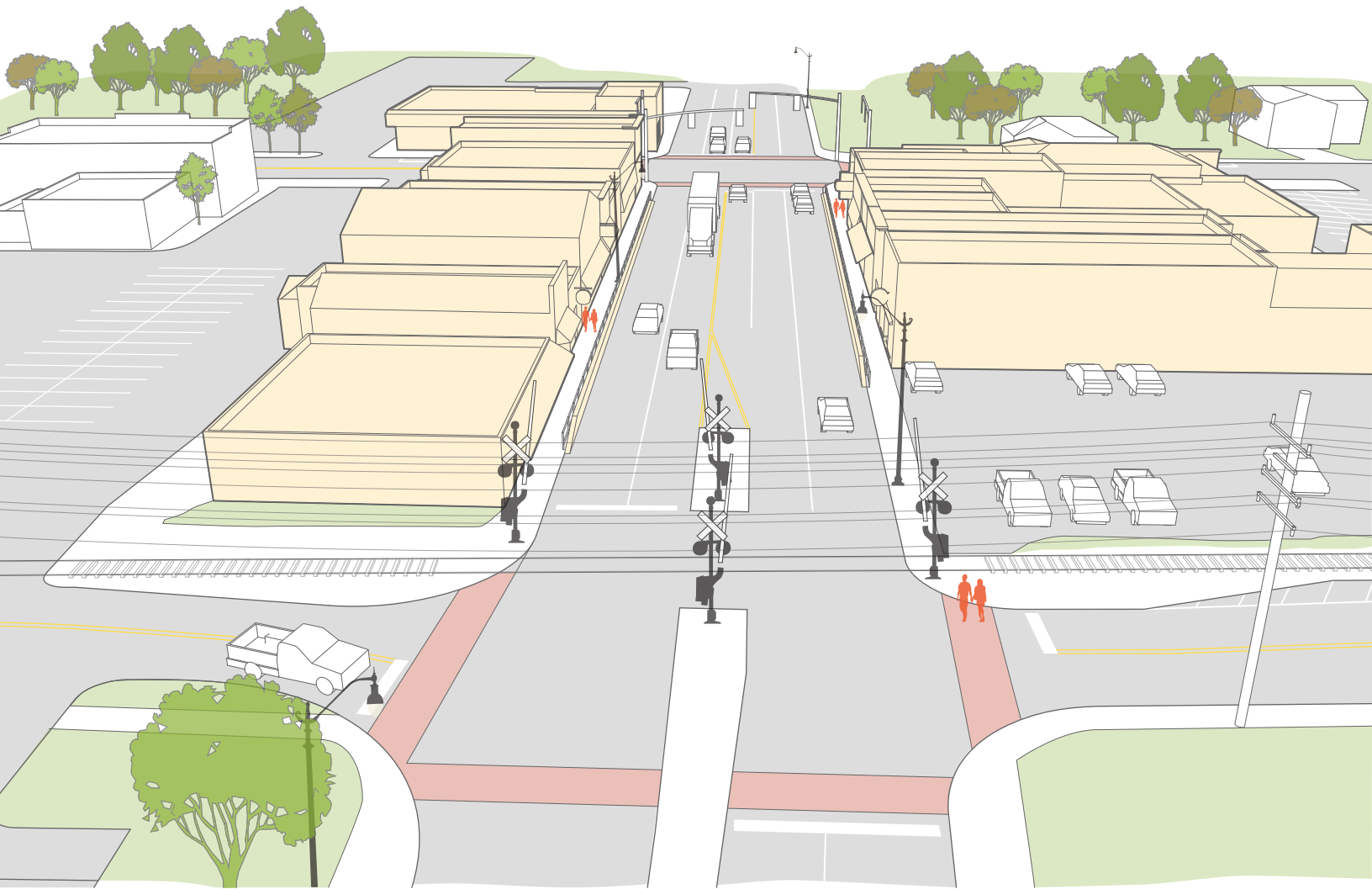


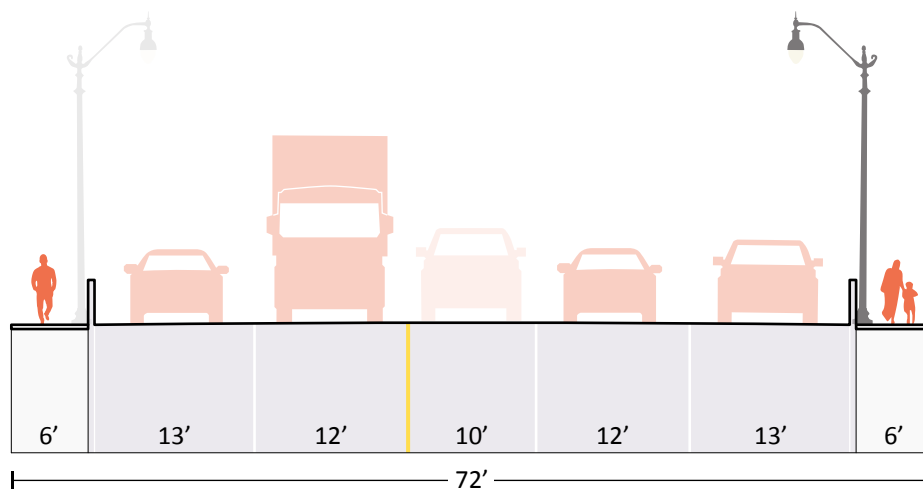
Figure 7 - Bridge Street Blank Wall (Farr Associates)



Figure 8 - Bridge Street Sidewalk/Barrier (Farr Associates)



Bridge Street (Existing)



Bridge Street (Near-Term)

Tactical Interventions

Meaningful measures to display an image of vitality and interest can be taken with a cost sensitive approach. For example, instead of temporarily narrowing traffic lanes or tearing down the now important concrete barriers flanking Bridge Street; beautification strategies might include painting the concrete barriers and hand rails with a custom design or painting large iconic murals on the blank downtown building walls. Each of these interventions could contribute to the overall character of downtown and play a dual role of encouraging vehicular and pedestrian traffic to be cautious and slow down.

Because this segment of Bridge Street is such an important gateway for the City, concentrating multiple interventions on this location within the greater downtown should take priority over other streets and locations. Drivers would recognize that downtown could be worth visiting. The larger scale of these proposed interventions caters to the car, because it is in this brief moment that downtown has to attract the attention of passersby.

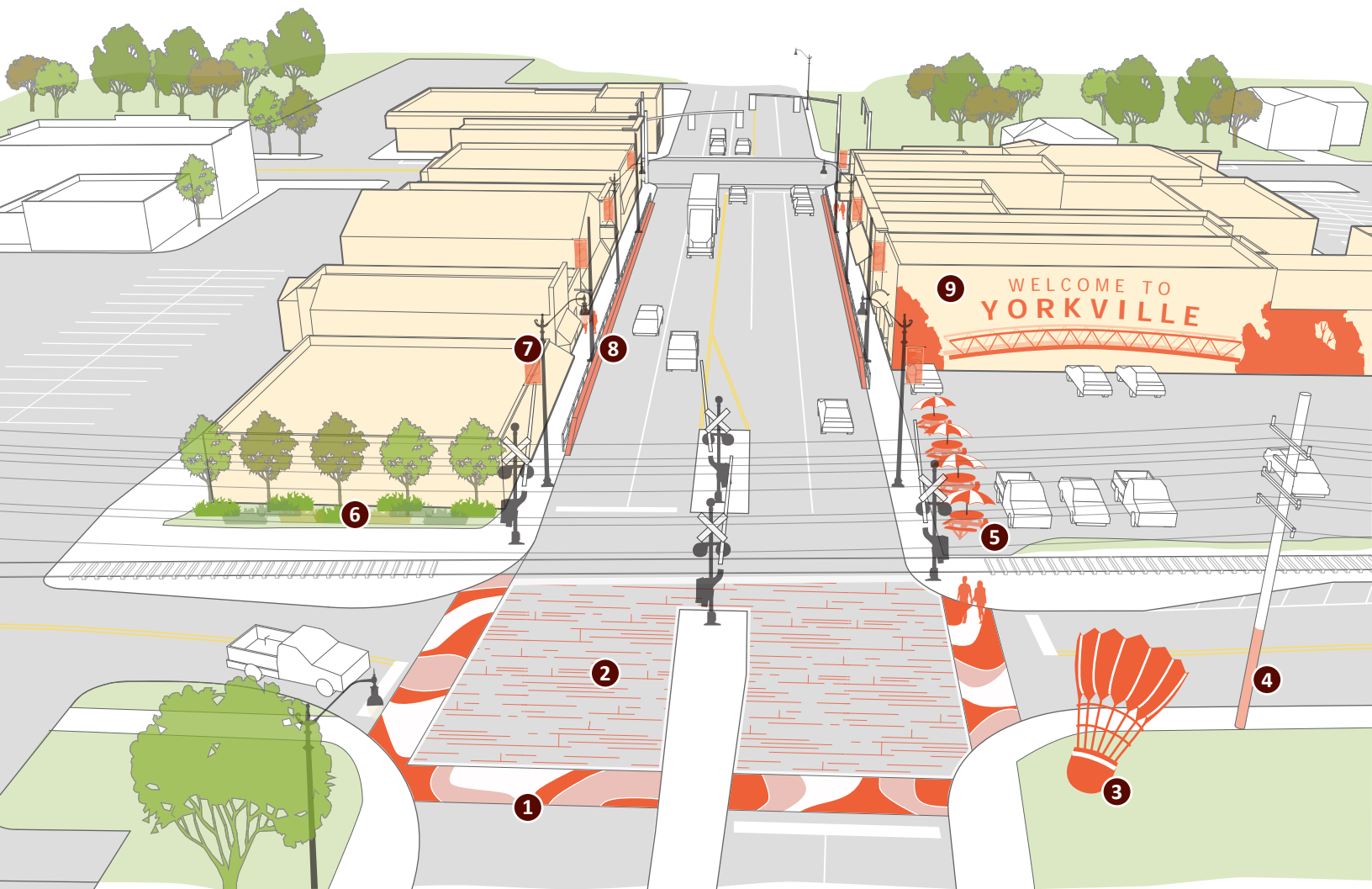
- ① Painted Crosswalks
- ② Paving Texture or Material Change
- ③ Public Art/Sculpture
- ④ Painted Light Poles
- ⑤ Outdoor Restaurant Seating
- ⑥ Entry Landscape Improvements
- ⑦ Seasonal Banners
- ⑧ Painted Bridge Street Barrier/Railing
- ⑨ Yorkville Entry Wall Mural



Figure 9 - Wall Mural (Philly Magazine)



Figure 5 - Outdoor Restaurant Seating (Pictures Boss)



Bridge Street (Near-Term)



Figure 11 - Painted Concrete Barrier (NYC Parks)



Figure 12 - Public Art / Sculpture (Designboom)

Bridge Street (Long-Term)

Minor Upgrades Go a Long Way

The existing Bridge Street right-of-way affords very little flexibility for major improvements; however, that does not preclude meaningful upgrades from happening. Squeezing in improvements where possible, such as: the addition of seasonal banners to the light poles; repaving the sidewalks with high-quality and interesting materials for pedestrians; or replacing the damaged handrail with a feature handrail that may be an art installation; can make a surprisingly dramatic impact for both drivers and pedestrians. Additionally, if the buildings better engage the sidewalks through accessible entrances, signage, and outdoor seating options, this would improve this highly visible stretch of downtown Yorkville.

A reduction in lane width on Bridge street, which would require a reclassification from IDOT to remove its truck route status, is not currently an option. Therefore, a five-lane street will likely be the long-term reality.

It will be critical for the City to address the perception issues with Bridge Street through near-term solutions that may last many years. Near-term strategies can add value to downtown Yorkville through amplified crosswalks, branding and wayfinding elements, visible outdoor seating, and much more.



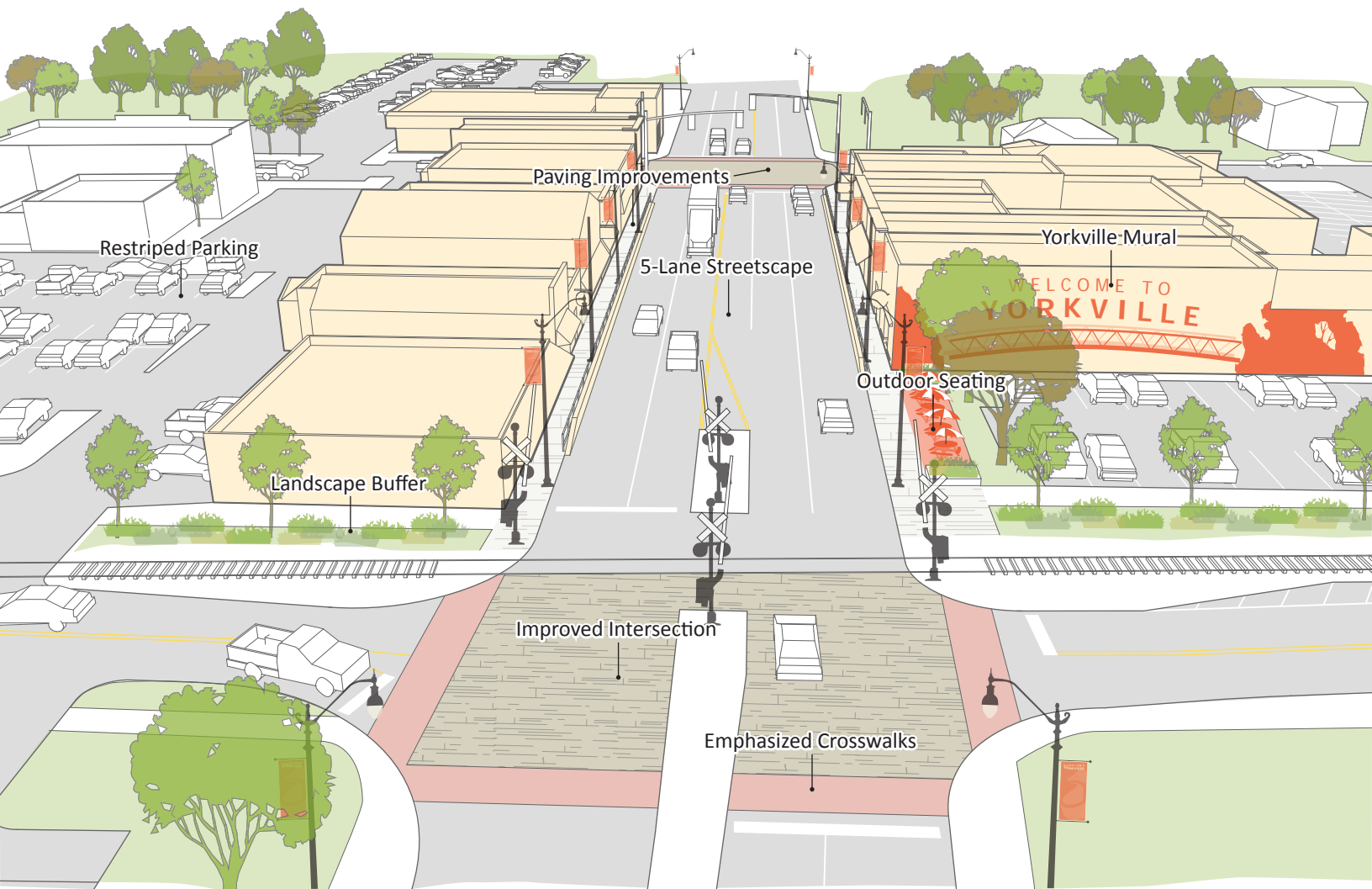
Figure 13 - Improved, Feature Handrail (Hype Science)



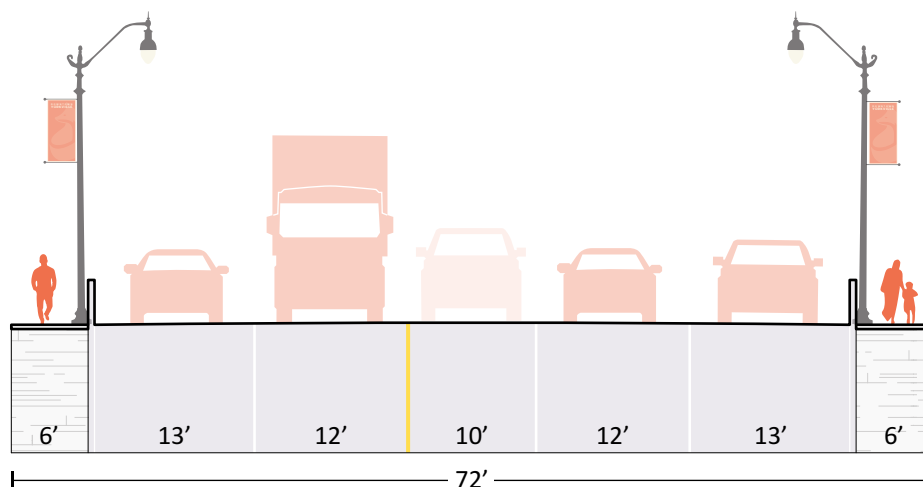
Figure 14 - Seasonal Banners (Farr Associates)



Figure 15 - Improved Sidewalk Pavement (California DOT)



Bridge Street (Long-Term)



Hydraulic Street (Existing)

Unique Industrial Character

Hydraulic Street includes complex conditions, such as utility poles landing in the street; a tapering right-of-way that narrows from west to east; and an active freight rail line that runs parallel to the street surface within the right-of-way. Because it runs parallel to the Fox River, there are multiple access and view corridors that connect pedestrians on Hydraulic Street to one of Yorkville's most important assets.

The freight rail line tracks are immediately adjacent to the southern edge of the street. This proximity could be a safety issue; however, during the citizen engagement events, residents did not voice much concern over the rail, except the noise complaints and potential for trains to back up traffic along Bridge Street. Though only one rail company utilizes the line, it is important to the natural gas industry because it accesses select sand used for the fracking process. Any expectations of the rail line closure are unrealistic, at least in the near-term. The active rail line will remain something that any redesign plans, current or future, must address.

Hydraulic Street features a unique industrial character as a result of the rail and adjacent buildings and uses. The short, utilitarian buildings, as well as agricultural relics, such as the grain elevator, create an eclectic mix of land uses and character. Multiple popular businesses and parks exist along Hydraulic Street, and the existing character seems to support these types of businesses. As improvements occur to make Hydraulic Street a more attractive, safe, and usable street, a respect for its industrial past and present should be retained.



Figure 16 - Hydraulic Street (Farr Associates)



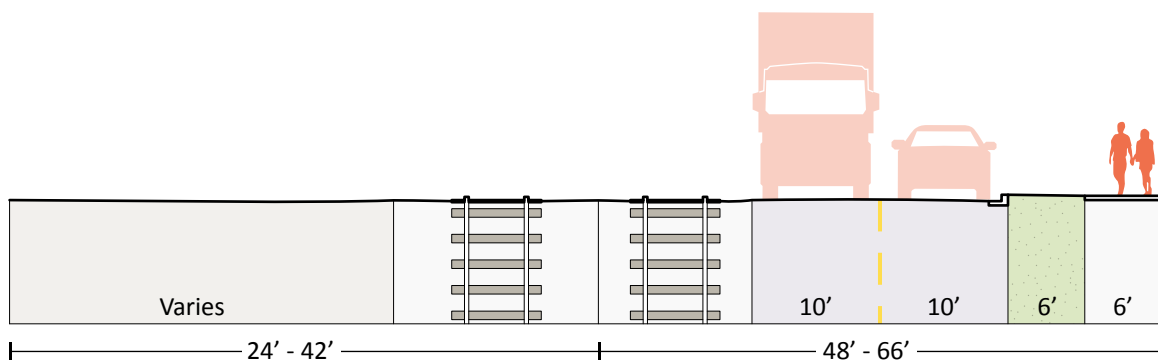
Figure 17 - Hydraulic Street (Farr Associates)



Figure 18 - Inactive Grain Elevator (Farr Associates)



Hydraulic Street (Existing)



Hydraulic Street (Near-Term)

Tactical Interventions

Hydraulic Street character will remain unique and interesting with or without planning interventions. The low traffic counts and limited number of businesses that currently front onto Hydraulic Street suggest that a lower level of resources should be placed in its near-term improvements.

However, a few key improvements that help support the current businesses should be prioritized. This could include allowing outdoor seating areas either in the parking lots or at the edge of the street and sidewalks; painting the existing light poles with unique artwork; adding seasonal banners to the existing light poles; and improving the rear facade of Bridge Street, as this has effectively become the primary entry to many of those businesses. The rear facade of the Bridge Street buildings is highly visible since no structures currently exist to obscure mid-block views.

Additionally, moveable planters with trees and other vegetation could bring life, shade, and color to an otherwise utilitarian Hydraulic Street.

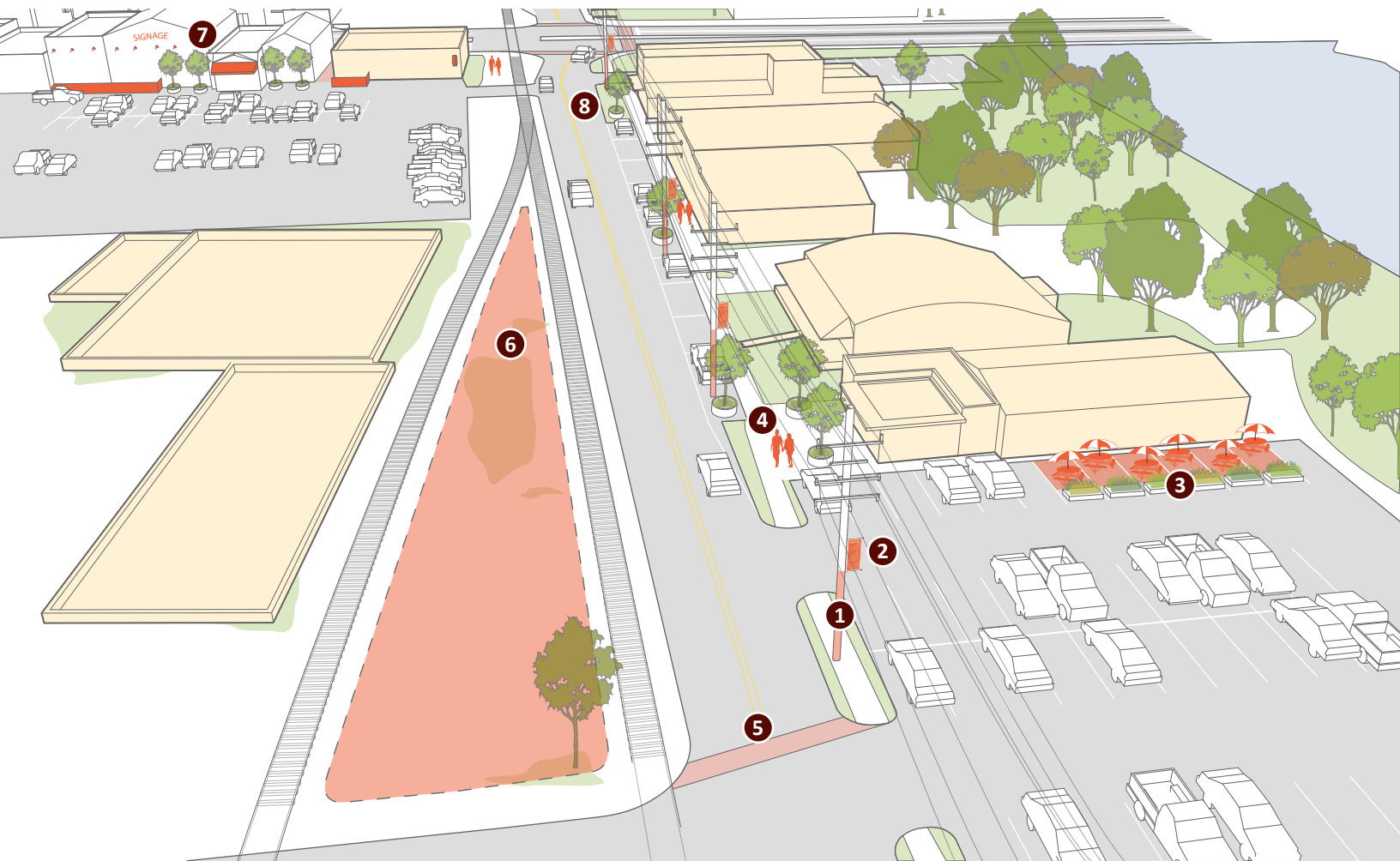
- ① Painted Light Poles
- ② Seasonal Banners
- ③ Outdoor Restaurant Seating
- ④ Temporary Tree Planters
- ⑤ Painted Crosswalks
- ⑥ Maintain Gravel Between Tracks
- ⑦ Bridge Street Rear Facade Improvements
- ⑧ Street Surface Lane Striping



Figure 19 - Painted Light Pole (Tops Images)



Figure 20 - Well Maintained Gravel Surface (Dare Inc.)



Hydraulic Street (Near-Term)



Figure21 - Rear Facade Lighting and Signage (House St. Clair)



Figure22 - Outdoor Restaurant Seating (South Milwaukee)

Hydraulic Street (Long-Term)

Conversion to a Shared Street

The unique qualities of Hydraulic Street with its irregular street section, limited traffic count, paralleling of the Fox River, and already funky, casual character lends itself well to becoming a woonerf, or “shared street”. This long-term vision would allow Hydraulic Street to be closed down for festivals or events between the current driveway aligning with the rear entrances of the Bridge Street buildings and Heustis or Mill Street. Circulation around the block would still be possible through the use of a “slip lane” or access lane that would run along the south edge of the railroad tracks in order to access future redevelopment on those parcels.

Hydraulic Street could take on a unique design such as permeable pavers to add character and stormwater management benefits. Being adjacent to the Fox River, an effort to minimize stormwater runoff and encourage percolation would be an environmentally conscious solution. Continuous pavers spanning between vehicular travel areas and traditional pedestrian areas would effectively blur the line between pedestrian and car right-of-way. This would encourage slow moving traffic on non-event days when Hydraulic Street is open, and add an attractive frontage for the businesses along Hydraulic Street.

A shared street deserves a custom design. When City budget is allocated towards Hydraulic Street capital improvements, an emphasis should be placed on hiring highly-qualified landscape architects experienced in right-of-way redesign.



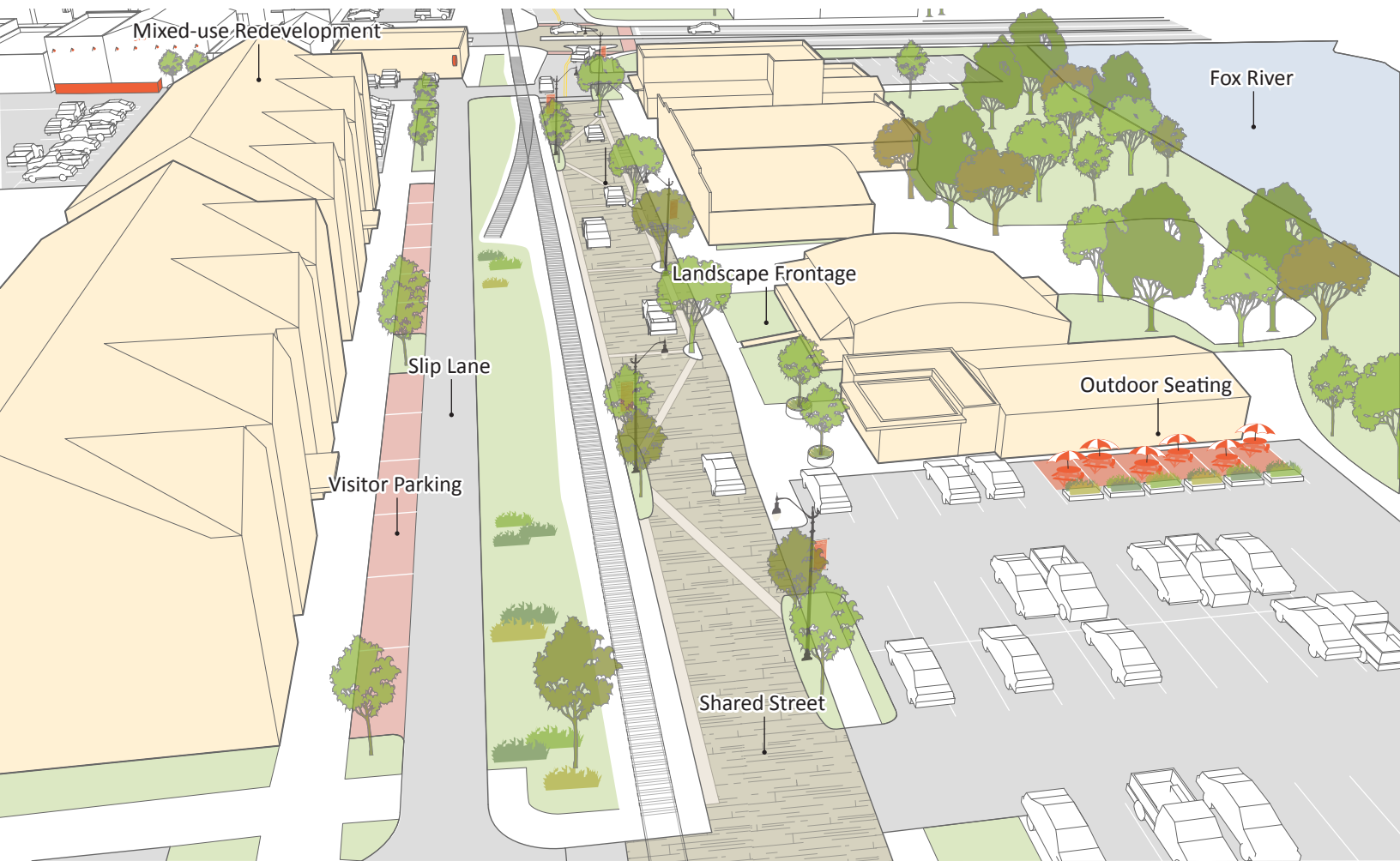
Figure 23 - Chicane Plantings (NACTO)



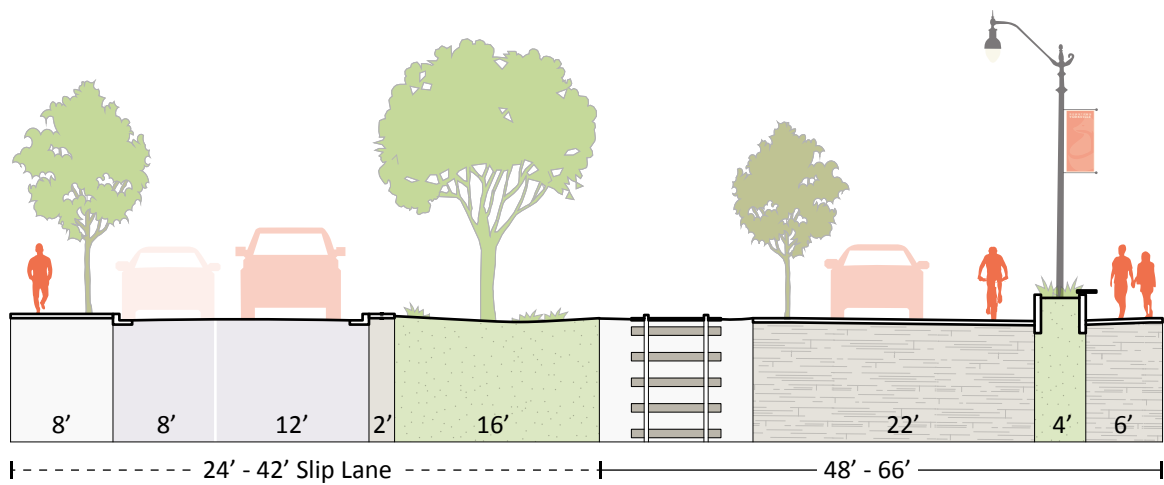
Figure 24 - Funky Outdoor Seating (Asik Site)



Figure 25 - Shared Street (Ithaca College)



Hydraulic Street (Long-Term)



Hydraulic Street Shared Street

As previously mentioned, a shared street should blur the lines between vehicle and pedestrian zones. Subtle changes to paving materials and the use of planters, street furnishings, and markings can define where cars should or should not drive. Since Hydraulic Street runs parallel with the Fox River, a street section that sheet flows stormwater into a continuous drainage channel within paving change is an example of integrated street design. These site design details are important, as this will become a major downtown event location.

- ❶ Paving Texture or Material Change
- ❷ Chicane Planting Beds
- ❸ Maintain Existing Distance from Tracks
- ❹ Raised Planting Beds
- ❺ Planter Seating Ledge
- ❻ Continuous Drainage Channel on One Side

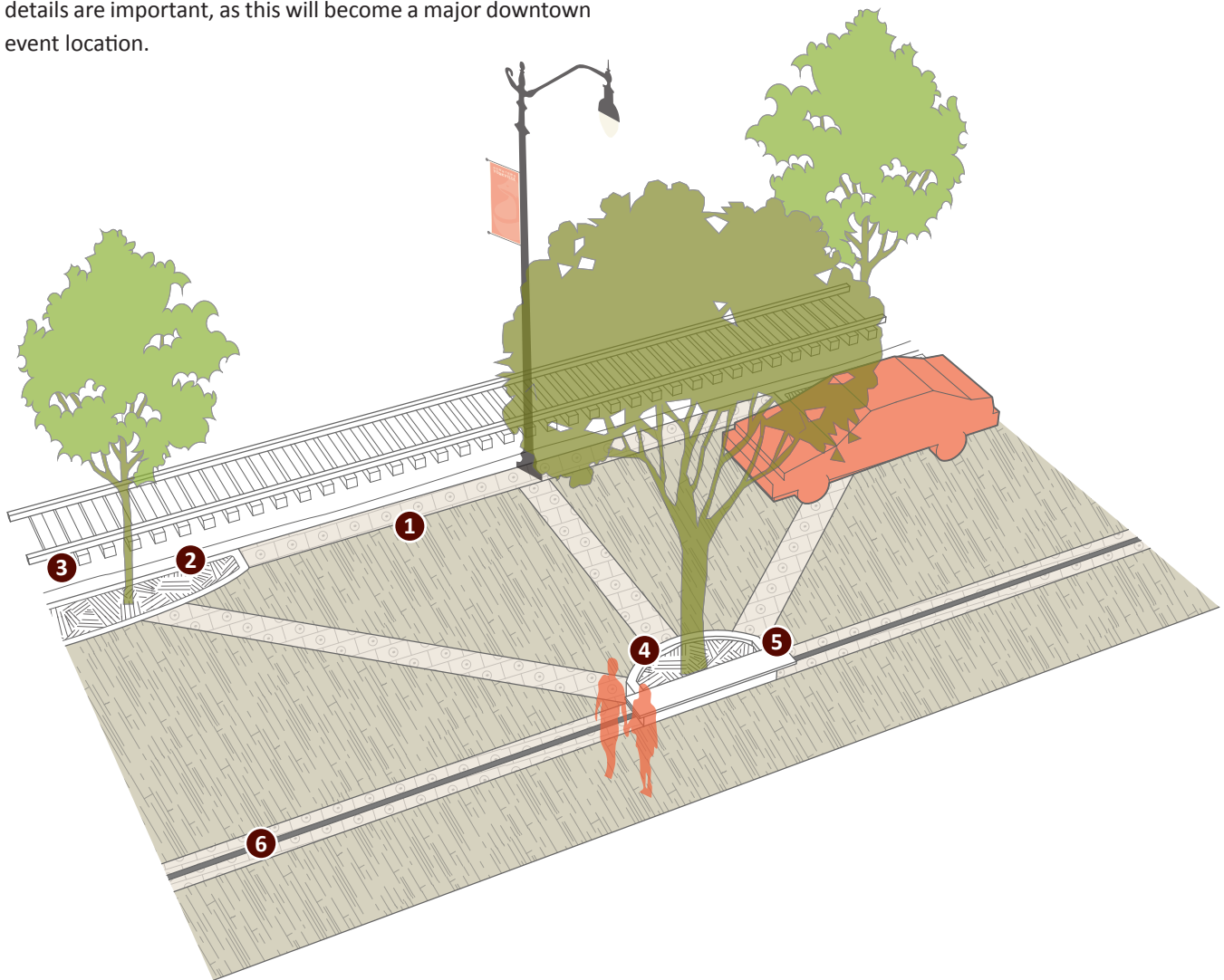


Figure 26 - Hydraulic Street Diagram (Farr Associates)

Material Contrast

Subtle paving details, such as a change in material, texture, or orientation, contribute interest to the pedestrian environment. Minor variations can help make a design unique to a specific location and help brand the place. Paving details may be used to delineate where vehicles are allowed to drive or park. These variations may help inform the location of custom street furniture, emphasize locations for tree plantings and signage locations, or simply add aesthetic appeal.

Street to Woonerf Transition

Shared streets typically have vehicular travel routes and parking at the same elevation as a sidewalk. This means that the street section will not have its typical curb and gutter condition and will also need to reconcile where a regular street meets the woonerf. Raised intersections and crosswalks commonly feature short ramp transition zones to raise travel lanes to the desired shared height. The transition zones can also help alert drivers that they are entering a special area and a heightened awareness for pedestrians is necessary.

Planter Seating Ledge

A custom street design can include custom street planters and seating. In the instance of a shared street, raised planters made of a durable material could house low plantings and street trees; accommodate one or multiple built in seating ledges; and play a role in vehicular circulation by delineating the travel lanes, narrowing travel lanes to encourage slower travel speeds, or creating chicanes that slow-traffic to a greater degree.



Figure 27 - Paving Texture Change (Site Design Group)



Figure 28 - Raised Intersection (NACTO)



Figure 29 - Planter Seating Ledge (Transform KC)

Van Emmon Street (Existing)

Downtown's Second Gateway

Traveling east from downtown Yorkville, Van Emmon Street eventually becomes Van Emmon Road and meets Route 71, which connects Yorkville with Oswego. Van Emmon Street acts as the second gateway into downtown, particularly at its intersection with Bridge Street. Recently, buildings have been torn down along Van Emmon Street and the expectation of future redevelopment is not unreasonable.

The approach traveling west into downtown along Van Emmon does not best represent Yorkville. Vegetation overgrowth between Mill Street and Heustis Street; an imbalanced street section of residential buildings with parking in front; a concrete retaining wall; and multiple “missing teeth” in the urban fabric leave much to be desired. Additionally, the intersection of Van Emmon Street and Bridge Street is not particularly inspiring, as each corner does not activate the intersection. Businesses are making an effort at providing visible programming at the intersection, but improvements are needed to establish the cohesive image the downtown Yorkville deserves.

Van Emmon Street west of Bridge Street has a different character. It generally becomes more residential after the first half block. Naturally, the street section abruptly adjusts as it enters the neighborhood.



Figure 30 - View West Down Van Emmon Street (Google)



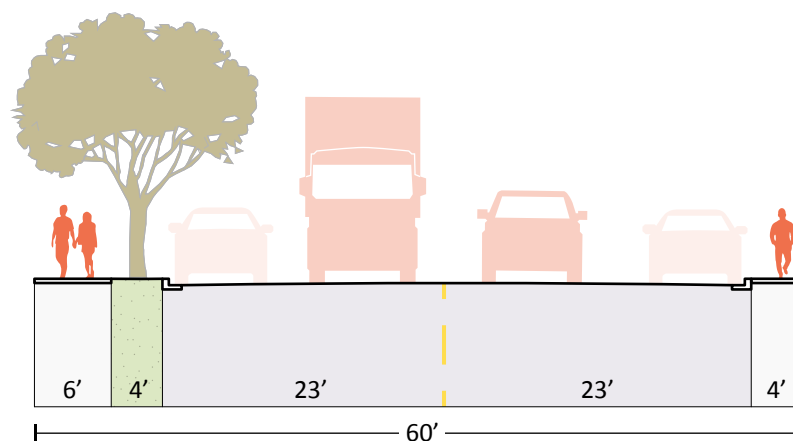
Figure 31 - View West Down Van Emmon Street (Google)



Figure 32 - View West Down Van Emmon Street (Google)



Van Emmon Street (Existing)



Van Emmon Street (Near-Term)

Tactical Interventions

Interventions should be focused at the intersection of Van Emmon Street and Bridge Street. Businesses on either side of the intersection are already considering providing outdoor seating options, which would add visible energy to the downtown when approaching from the south. This is a positive direction and can be amplified with the removal of parking spaces to construct a temporary or permanent parklet, providing a canopy or other form of weather protection, or introducing outdoor space heaters to extend seating months.

This intersection is also the primary crossing for pedestrians and vehicles moving between the east and west sides of Bridge Street due to traffic signalization and pedestrian crossing indicators. Painting the crosswalk and intersection would be an opportunity to brand downtown, enhance safety and visibility for crossing pedestrians, and draw attention to its businesses.

In addition to intersection treatments, the southwest corner of the intersection could be used for signage that greets residents and visitors traveling into downtown. Plans are already underway to improve the County Courthouse slope.

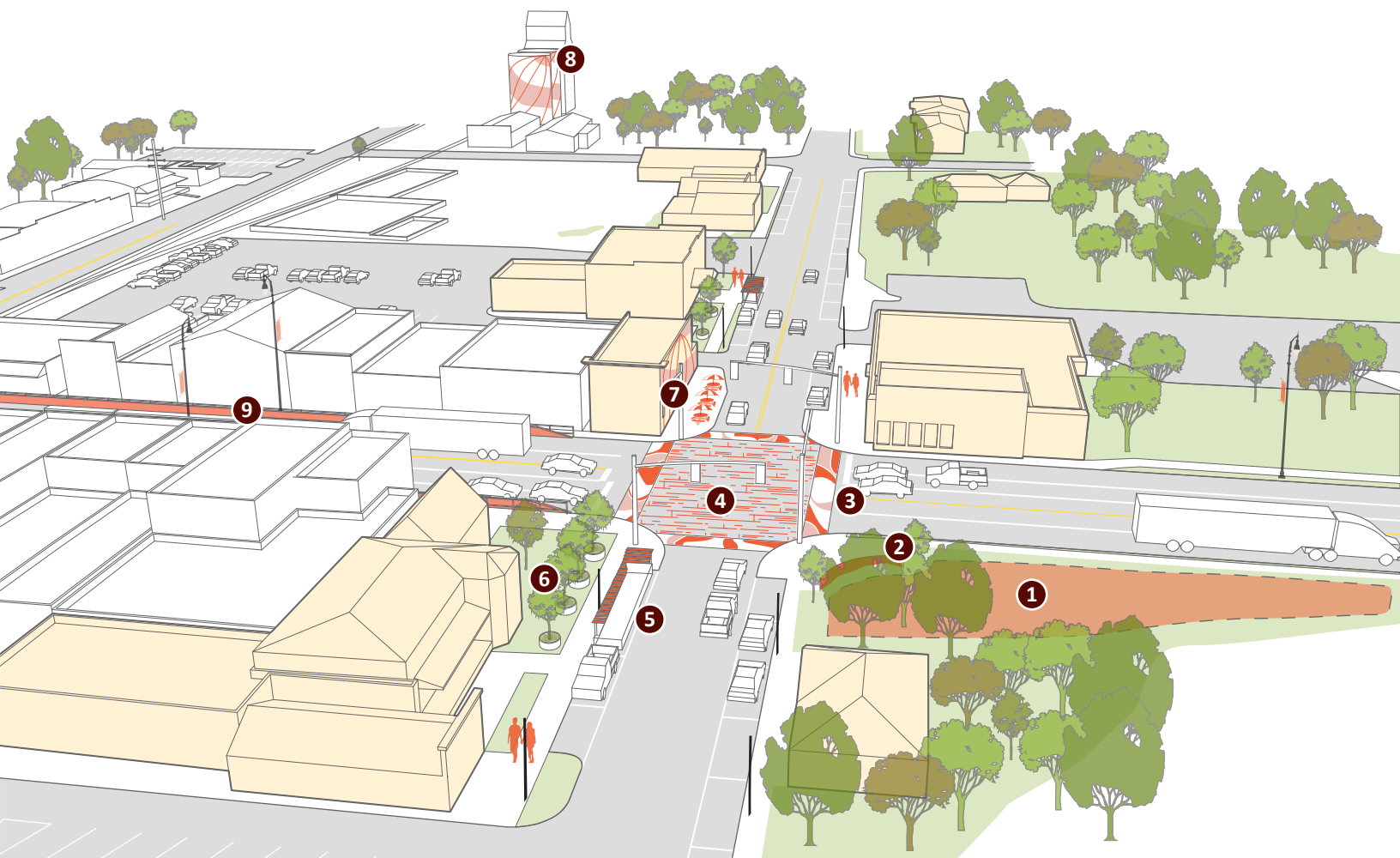
- ① County Courthouse Landscape Beautification
- ② Gateway Monument Signage
- ③ Painted Crosswalks
- ④ Painted Intersection
- ⑤ Parklet
- ⑥ Temporary Street Trees
- ⑦ Outdoor Seating
- ⑧ Painted Grain Elevator
- ⑨ Painted Bridge Street Barrier/Railing



Figure 33 - Landscape Beautification (Cedrus Landscaping)



Figure 34 - Painted Grain Elevator (News OK)



Van Emmon Street (Near-Term)



Figure 35 - Temporary Street Trees (ASLA)



Figure 36 - Painted Crosswalk (Broward Palm Beach)

Van Emmon Street (Long-Term)

Greeting Visitors with Beauty

Van Emmon Street should be beautiful to establish a first impression to visitors, particularly east of Bridge Street. The mix of topography and building forms can be challenging when the desired outcome is a pleasant street; however, the asymmetry can be accommodated through careful design considerations.

A primary consideration should include where stormwater is flowing. With elevated parcels on the south edge of Van Emmon Street, surface water will flow towards the street and sidewalk. Utilizing rain gardens that temporarily store rainwater before discharge or percolation and/or using permeable pavers that allow water to dissipate through the parking surface, are ways to accommodate the increased runoff. Also helping with stormwater, street trees should be planted on either side of the approach from the east to create a block long gateway when driving into Yorkville from Oswego.

Downtown branding elements, such as seasonal banners and wayfinding signage, can add to the cohesion of downtown. The historic Kendall County Courthouse slope can act as a gateway feature incorporating signage, or some other built element, to establish a four-sided Van Emmon and Bridge Street intersect. These improvements could be completed in the near-term with the expectation that they would remain as other capital improvements take place.



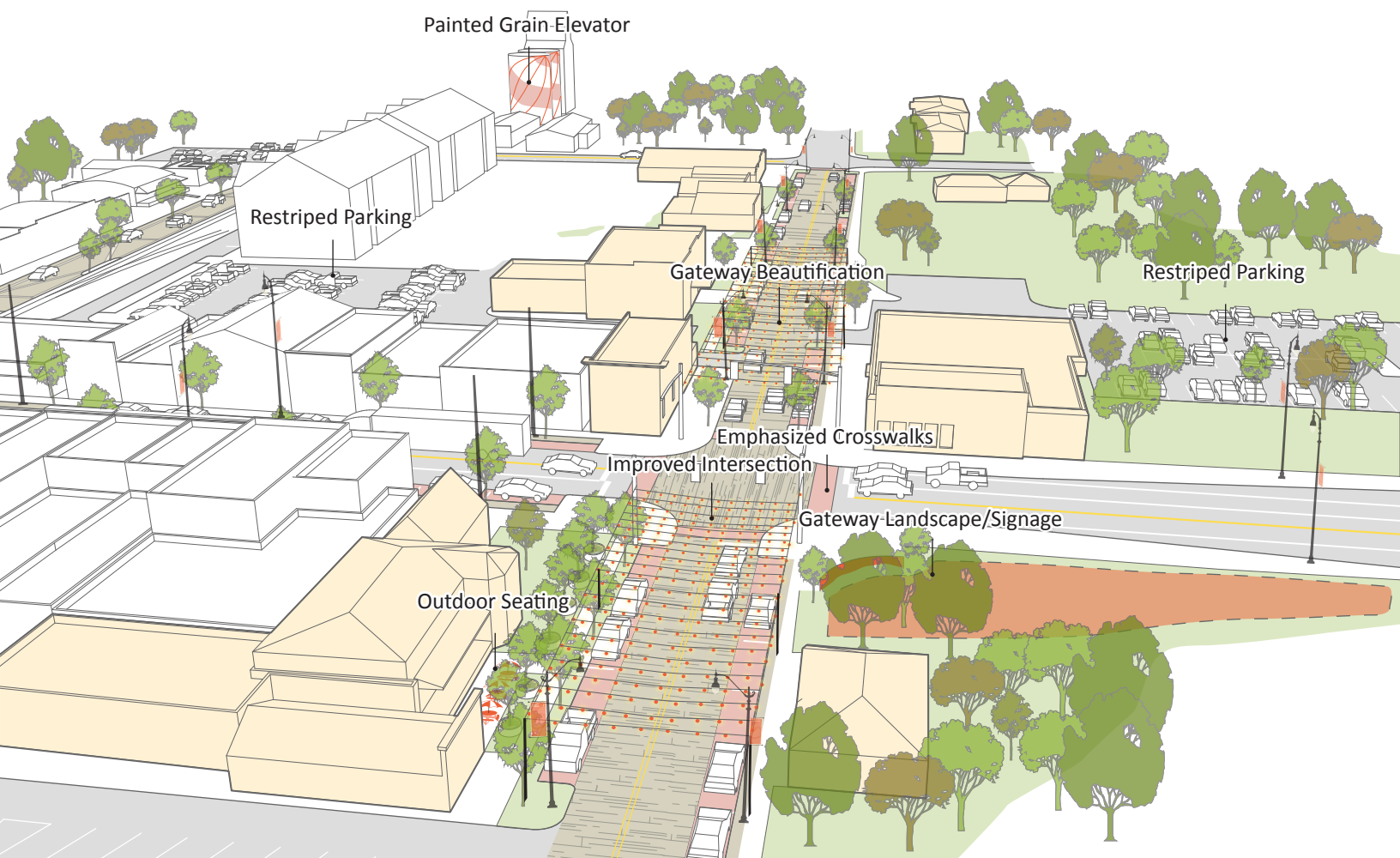
Figure 37 - Stormwater Streetscape (novitalas.com)



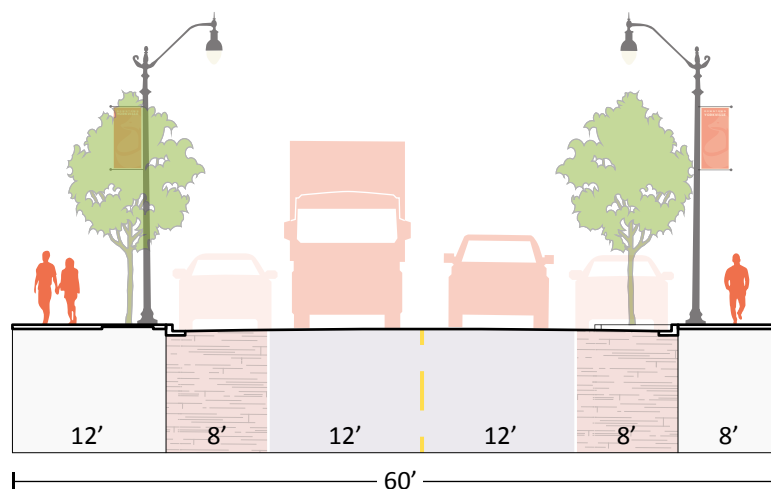
Figure 38 - Intersection Improvements (PicSnaper)



Figure 39 - Permeable Parking Pavers (Village of Shorewood)



Van Emmon Street (Long-Term)



Stormwater Bulb-Outs

Bulb-outs typically narrow roadways to direct traffic, slow speeds down, expand the sidewalk, or simply accommodate plantings. Integrating bulb-outs that also perform stormwater management functions, would be an attractive design feature along Van Emmon Street. Bulb-out curbs should be slotted, or notched with openings, to allow surface stormwater to enter and exit the planting zone of the bulb-out.



Figure 40 - Stormwater Bulb-Out (Toni Best)

Sidewalk Rain Gardens

Stormwater rain gardens could be used to improve runoff quality and provide detention for significant storm events. Like bulb-outs, they can accommodate a variety of planting types and should have inlets allowing water to flow in and out from the street. Trees and a variety of plantings that provide color and texture would add to the beautification of Van Emmon Street.



Figure 41 - Rain Garden (Vava)

Permeable Parking Pavers

Tying designs back to other streets within downtown, Van Emmon Street could feature open grid permeable pavers that both define the parking areas and increase stormwater capacity. Coordinating pavers between Van Emmon Street, Hydraulic Street, and any other location they are used in the greater downtown would support a cohesive design and branding language.



Figure 42 - Permeable Pavers (Terran Capital)

Sustainable Street Section

Van Emmon Street can represent Yorkville's demonstration of a sustainable street section. The right-of-way width provides plenty of flexibility for a two-lane street. Additionally, the asymmetrical street section that has a higher elevation on one side is an ideal candidate to display sustainable stormwater strategies.

- ❶ Slotted Curbs
- ❷ Stormwater Bulb-Out Planter
- ❸ Parallel Parking
- ❹ Rain Garden Planter
- ❺ Permeable Pavers

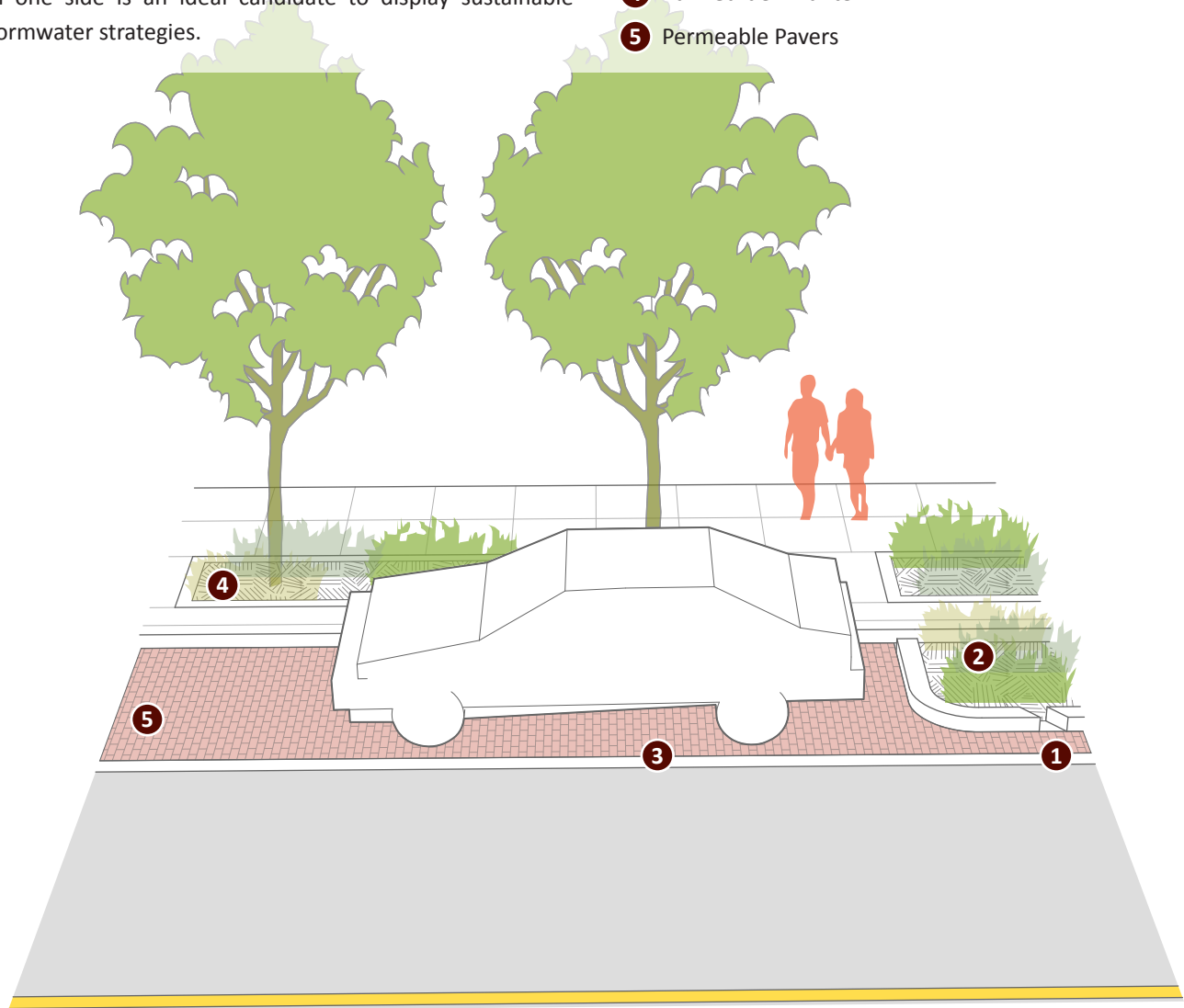


Figure 43 - Van Emmon Street Diagram (Farr Associates)

'B' Street (Existing)

Small-Town Character

One of the most charming aspects of Yorkville, is the historic, small-town character inherent in the City's streets and buildings. These streets may have narrow or no sidewalks, are often curbless, and exhibit a casual feel that may slightly change between each individual property. Many of these streets are both the front door and driveway access to homes and buildings. These types of streets that serve buildings through parking and service access are vital to the functionality of the neighborhoods.

Around downtown the north/south streets that run parallel with Bridge Street act as 'B' Streets. These streets that feature a small-town character should continue to support the downtown uses, as well as provide a framework for future development to take place.

Because future development will likely be limited, to an extent, and single-family homes exist immediately adjacent to the downtown blocks, the 'B' Streets should maintain a small-town character that aligns with many future uses but does not negatively affect existing single-family homes.



Figure 44 - View North Down Main Street (Google)



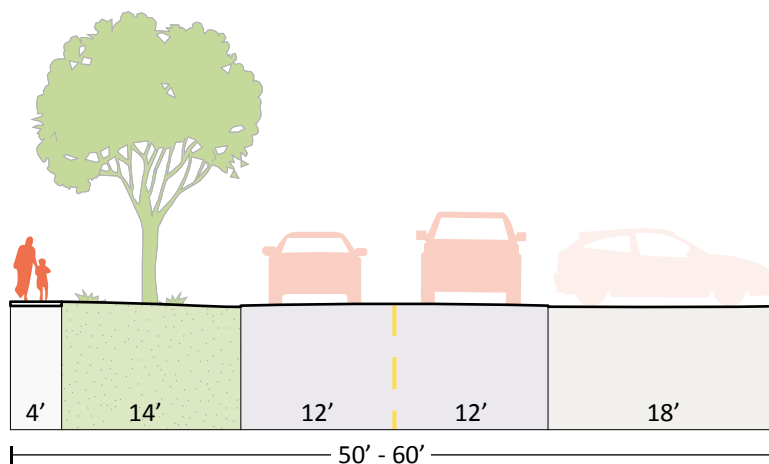
Figure 45 - View North Down Main Street (Google)



Figure 46 - View North Down Main Street (Google)



'B' Street (Existing)



'B' Street (Near-Term)

Tactical Interventions

The 'B' Streets should be less of an investment priority. They receive less of the pedestrian and vehicular traffic compared to Bridge Street, Hydraulic Street, and Van Emmon Street. It is important that they play a supporting role, but resource allocation should be minimal.

Ensuring sidewalk continuity and basic maintenance should be the City's top priority. Having overgrown landscape shoulders, missing and poorly maintained portions of the sidewalks, and poor road surfacing are examples of issues that should be addressed. Downtown's 'B' Streets should be eligible for resurfacing and landscape maintenance.

One unique aspect of downtown's 'B' Streets, which primarily run north/south, is how they terminate into the Fox River. Each of these moments where drivers and pedestrians can look down the street and have a visual connection to the river is an opportunity that should be taken advantage of by implementing such measures as prohibiting parking, providing an active or focal point of interest, and trimming back overgrown vegetation to reveal the water.

- ① Added Crosswalks Towards River
- ② Roadside Swale Improvements
- ③ Additional Street Trees
- ④ River Access Signage
- ⑤ Public Art/Sculpture at Main Street Terminus
- ⑥ Trim Vegetation for View Towards Water



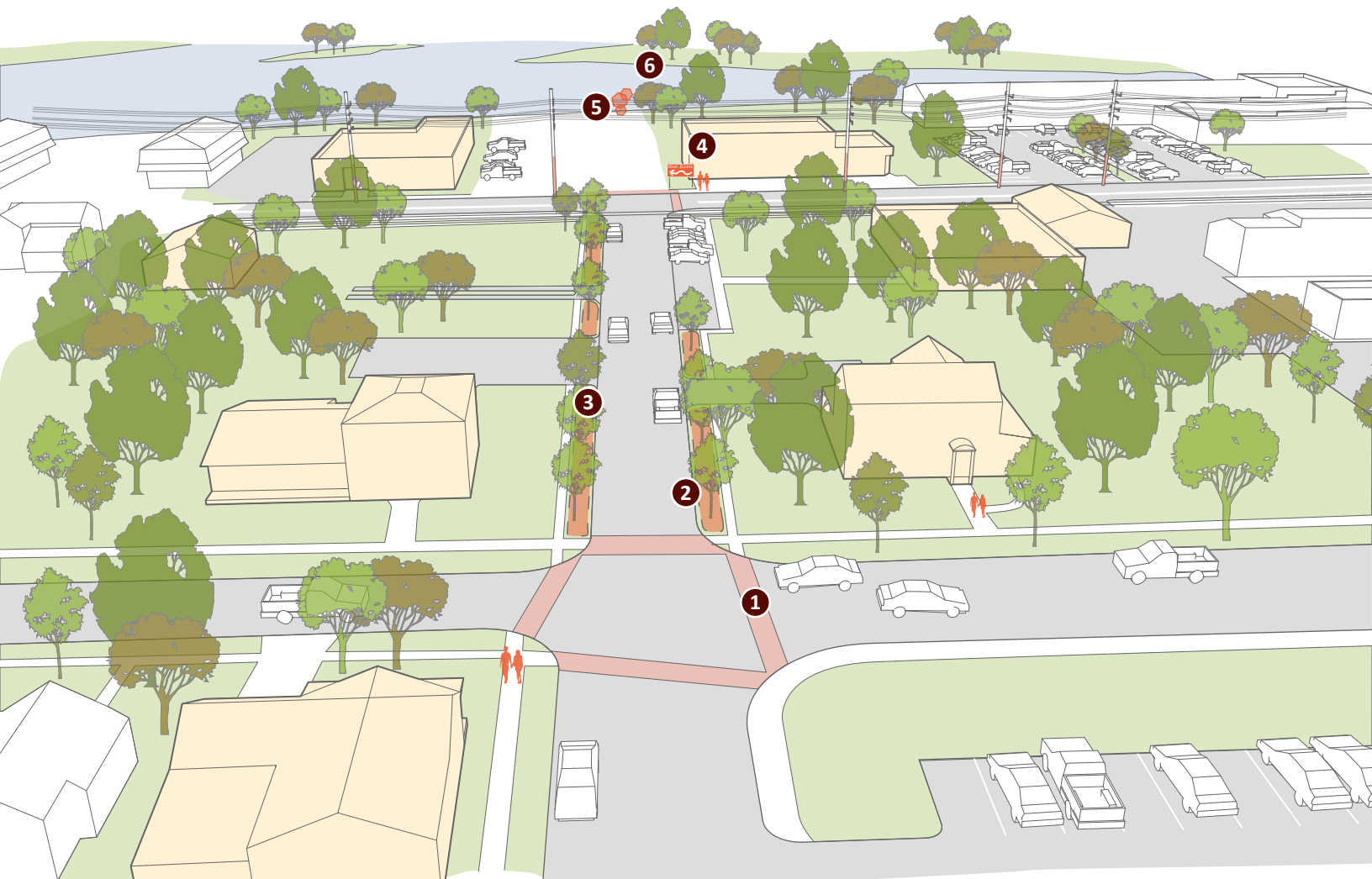
Figure 47 - River Access Signage (Google)



Figure 48 - Road Resurfacing (Decatur Daily)



Figure 49 - View Towards Water (Google)



'B' Street (Near-Term)

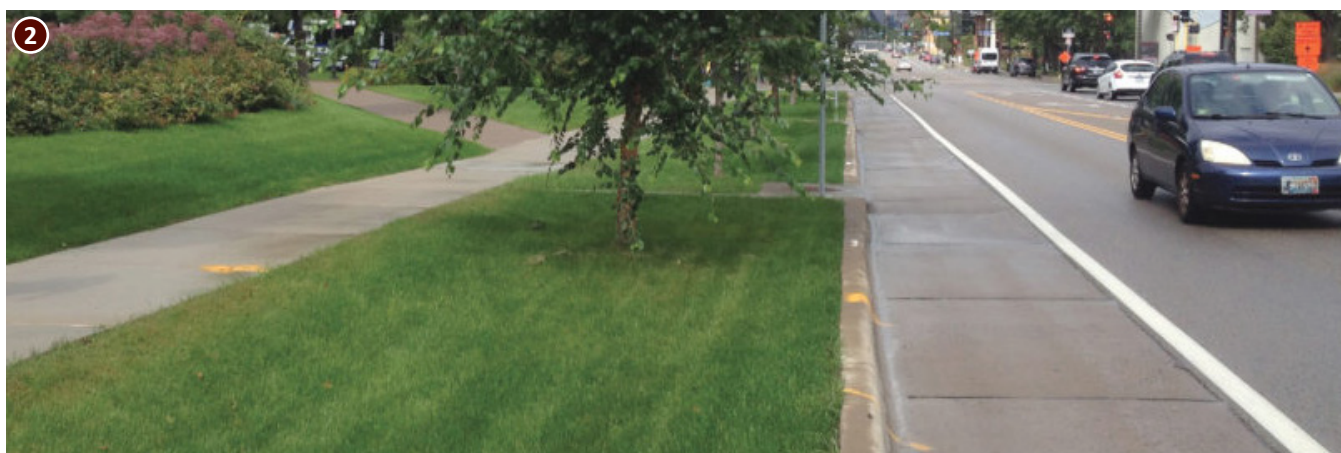


Figure 50 - Basic Roadside Swale (NACTO)

'B' Street (Long-Term)

Redefining Small Town Streets

As streets are rebuilt to support a changing downtown, it will remain important to minimize impact on the pleasant, historic character of the surrounding neighborhood. Careful design consideration to not over-correct the 'B' Streets should be maintained. Community members have expressed how they value the small-town character that brought many of them to Yorkville, or kept them there, in the first place.

Roadside swales can be used to both direct and detain stormwater. Plantings can include a mixture of City contributions and resident contributions. This will allow the property owner to make some customizations to the extension of their front lawn. For example, small wooden bridges might connect the street with the sidewalk to their front door. These small customizations add to the character that already exists.

Small details can make these streets more attractive, such as having a curbless intersection that allows stormwater runoff to enter the roadside swales. The edge of the street pavement can be a gravel transition that delineates between travel lane and shoulder. Trees could be planted irregularly or even provided by the property owners from an approved landscape palette. Sidewalks should be narrow, but continuous to have minimal impact while providing maximum connectivity.



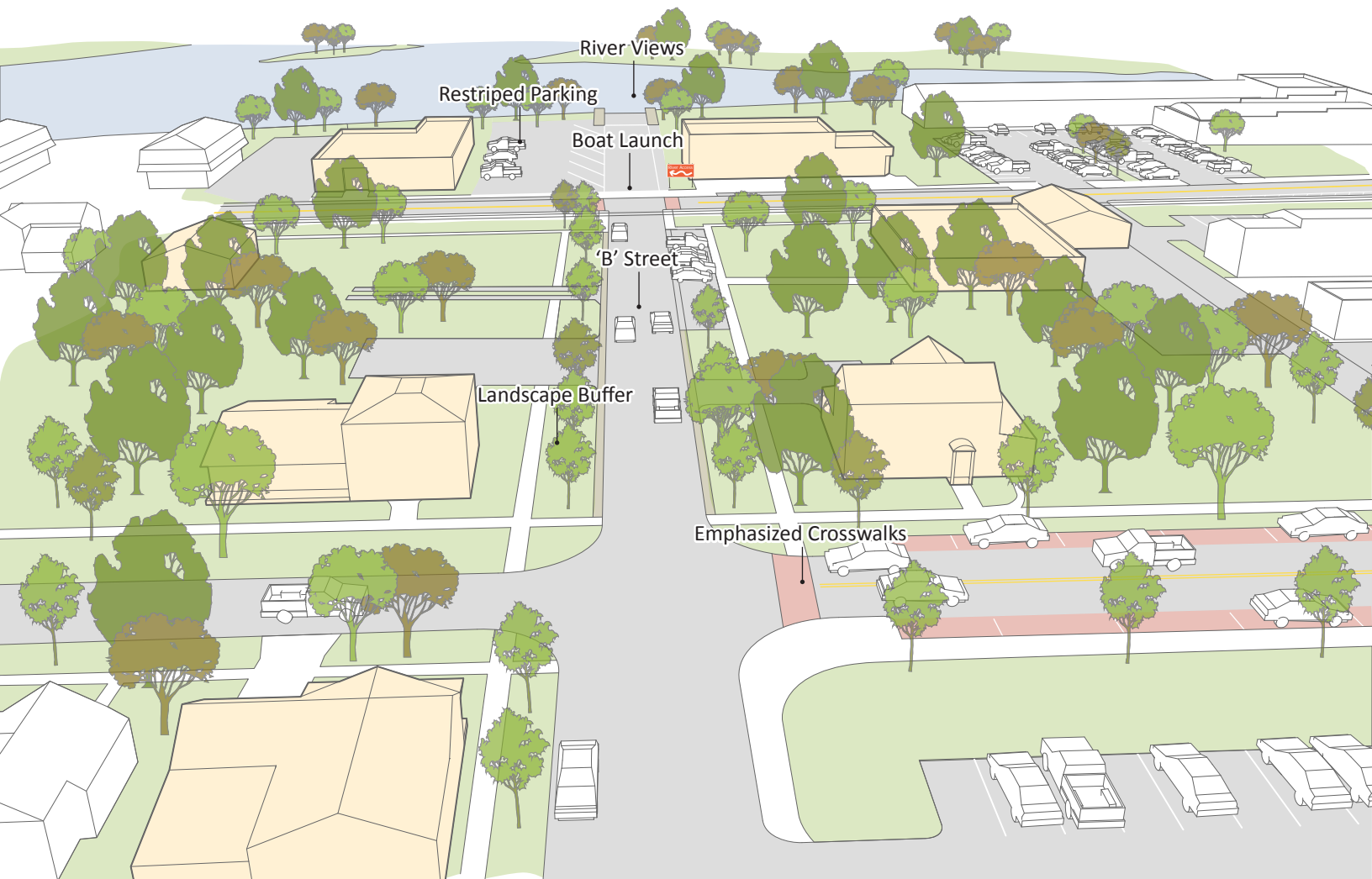
Figure 51 - Roadside Swale (Green Infrastructure Digest)



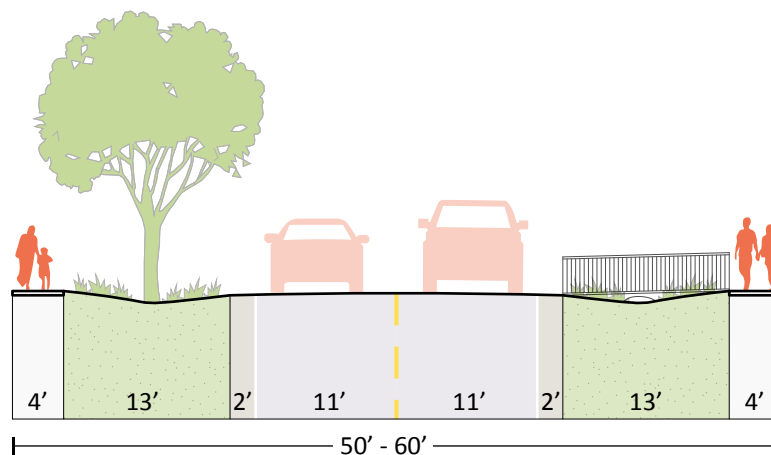
Figure 52 - Roadside Swale (Mithun)



Figure 53 - Roadside Swale (IPFS)



'B' Street (Long-Term)



Concrete Curb Ribbon Apron

Curbless streets often become unkempt with grass, weeds and dirt loosely defining the edge between roadway and shoulder. To maintain visual tidiness, a 18"-24" concrete curb ribbon may be used to transition from roadway to landscape. This straight curb type is often used along roads to prevent vehicles from crossing over into a pedestrian walkway or any outdoor landscaped area and provides a barrier between the roadway and amenity zone.

Roadside Swales

Fitting with the character, roadside swales are often seen along rural or small-town streets or highways. They can take many forms and be aesthetically pleasing or simply utilitarian. They help detain and direct stormwater runoff from the roadway and provide a layer of buffer between sidewalk and street. Swales can be personalized by adjacent property owners or fully planted and maintained by the City.

Over-Swale Pedestrian Bridges

Small pedestrian bridges can connect the street to sidewalk at each property. Each can take on a slightly different design language or be required to adhere to set design guidelines. These bridges could be a unique contribution to a 'B' Street that features minimal design qualities.



Figure 54 - Rolled Concrete Apron (Specify Concrete)



Figure 55 - Personalized Swale (City of Seattle)



Figure 56 - Bridge Over Swale (Chesapeake Dock)

Maintaining Small Town Charm

Each component from street, to swale, to narrow residential sidewalk works together to maintain a small town feel. No improvements should look over-engineered or oversized on Yorkville's quaint neighborhood streets. These 'B' Streets should feel like a place where kids can play in the street and parents can take a quiet nighttime stroll.

- 1 Resurfaced Travel Lane
- 2 Flood Tolerant Street Trees
- 3 Continuous Swale Along N/S Streets
- 4 Bridge Over Swale
- 5 Private Property
- 6 Concrete Curb Ribbon Apron

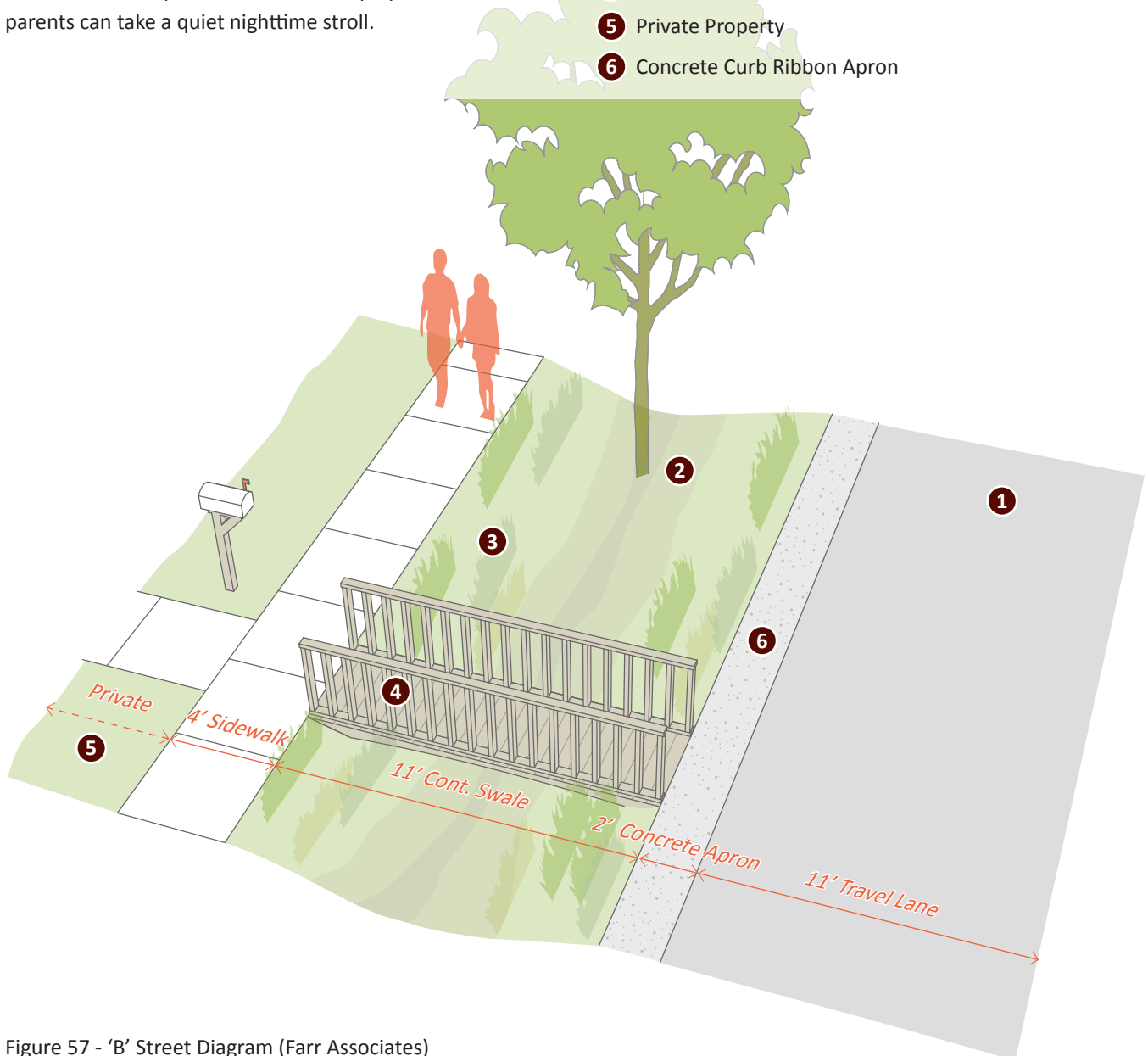


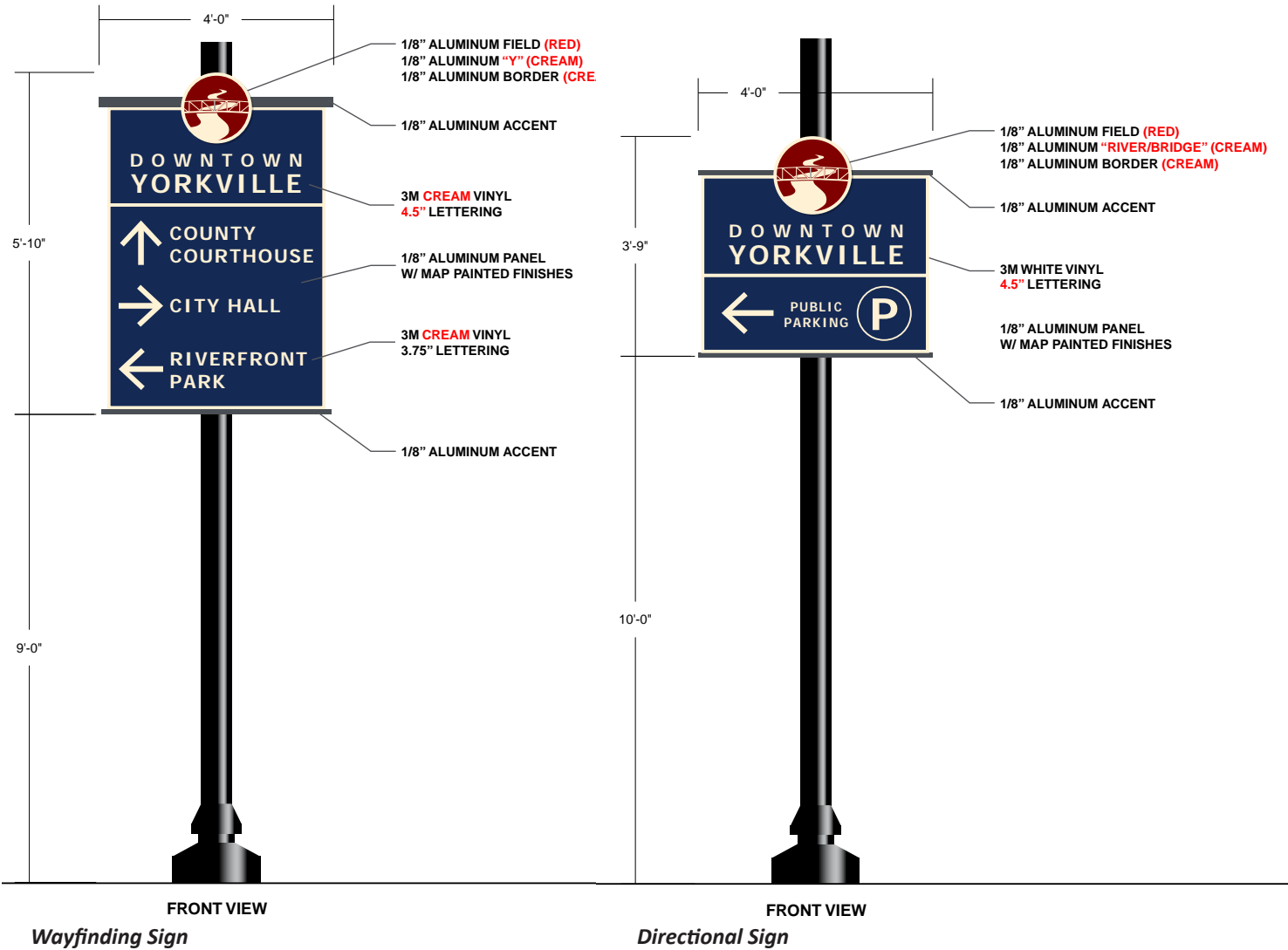
Figure 57 - 'B' Street Diagram (Farr Associates)

Downtown Signage and Wayfinding

Cohesive Downtown Signage

Effectively navigating downtown is one of the major elements to be improved. For example, there is currently sufficient parking to accommodate patrons of the downtown uses; however, that parking is dispersed unevenly throughout downtown and is difficult to locate unless you are familiar with the area. Situations, such as no left turns allowed at the Bridge Street and Hydraulic Street intersection, make it difficult to navigate if a turn is missed and an opportunity to redirect is not obvious.

One way to help alleviate this problem is through providing downtown signage. This signage can make a statement and solidify a cohesive brand and image for the area as a whole. From signage to banners or emblems, consistent, beautiful signage shows visitors that the city cares about providing an inviting user experience.





Seasonal Banners



Information Kiosk

Downtown Wayfinding

Starting with three different wayfinding sign types: (1) an informational kiosk; (2) pole mounted directional signage; and (3) branded wayfinding signage; Yorkville can make a near-term impact on how users navigate the area.

Informational kiosks can house either rotating or stationary content, such as maps, historic markers, or recreational programming. Maps can help pedestrians identify where they are in relation to other nearby destinations and help them discover new places to explore. These kiosks will be sidewalk mounted and cater to the pedestrian over vehicles.

Directional signage is most effectively mounted on the existing light poles in locations that help drivers know when to turn for parking or riverfront access. The directional signage should have a specific purpose of getting someone from point A to point B. Though these signs should be pole mounted and high enough to be visible for passing cars, they should also be easily visible to pedestrians.

As with each type of sign, wayfinding signage should be both branded and informative, letting users know that they are located in the proper area or neighborhood and provide markers for points of interest. Points of interest within downtown Yorkville may include specific restaurants, the historic Kendall County Courthouse, County offices, Bicentennial Riverfront Park, and public parking lots.



Figure 58 - Informational Kiosk (Trans Associates)



Figure 59 - Directional Signage (Flickr)



Figure 60 - Branded Wayfinding Signage (Google)



Key

- Kiosk
- Parking
- Wayfinding

Downtown Signage



Lighting Strategies

Implement Lighting Best Practices

Lighting is a key component of walkability, as it lends itself to creating a more safe environment for pedestrians. There are several streets where street lighting exists, but the lighting is inconsistent and is not always human-scaled. Lighting in the downtown can serve multiple functions, including branding the area, creating more vibrancy, and increasing safe conditions for residents and visitors. The increase and consistency of lighting gives people a sense of street character and trust of what is to come, and encourages walking and biking.

Nancy Clanton of Clanton & Associates has provided lighting best-practices for municipalities by creating some “dos and don’ts” for street and facade lighting. In general, well-designed lighting strategies should not only light the area, but take into account all view angles while creating a beautiful ambiance without glare and annoyance. The list on page 45 expands on Nancy Clanton’s strategies.

High color temperature (CCT) light sources have the highest concentration of blue light. Many municipalities are limiting the CCT of their street and pedestrian lighting to 3000K or less which is similar to the color of the setting sun. Dimming or turning off lighting is another strategy to reduce over-lighting an area.

Ideally, light sources should change color over the course of the evening and into the late night. Blue light will enhance visibility during the rush hour, but as vehicular and pedestrian traffic decreases at night, the spectrum can minimize blue light and switch to the red range.



Figure 61 - Street Lighting “Do” (American City and County)



Figure 62 - Building Lighting “Do” (Houzz)



Figure 63 - Public Space Lighting “Do” (Google)



Figure 64 - Street Lighting "Don't" (Farr Associates)



Figure 65 - Building Lighting "Don't" (Farr Associates)



Figure 66 - Public Space Lighting "Don't" (Google)

Lighting "Dos"

Street Lighting

- Light sidewalks and streets appropriately for the neighborhood and explicitly where needed
- Use low-glare streetlights
- Minimize uplight of all kinds (cobra lights, etc.)

Building Lighting

- Mount light at the top of facades and aim inward
- Emphasize architectural features such as columns and arches using beam distributions
- Use warm-colored, dim light

Public Space Lighting

- Define the space with lighting of a consistent type and brightness
- Dimly light the features where people gather: seating areas, outdoor dining, public parks and plazas

Lighting "Don'ts"

Street Lighting

- Use streetlights to light yards and private property
- Overlight
- Use high-glare streetlights

Building Lighting

- Aim across a visual path with a floodlight
- Aim up a façade
- Overlight
- Select glaring luminaries

Public Space Lighting

- Light individual elements unless they are features
- Flood the public space with heavy lighting
- Appear messy and unorganized
- Include multiple types of lighting accomplishing the same goal

Stormwater Management

Green Infrastructure

It is widely understood that stormwater runoff from roofs, pavement, and other urban surfaces are contributing to water body degradation and flooding. Minimizing this impact, particularly in urban contexts, is often difficult because of the amount of land dedicated to dense buildings, supportive surface parking lots, and wide streets with generous sidewalks; however, there are strategies to accommodate both the urban and green infrastructure solutions.

Yorkville has been a settlement for a long time - even longer than many other cities and villages in the greater Chicago area. The Fox River was the main reason for locating Yorkville where it is today, so taking measures to preserve the water quality, beauty, and function of the river should be a priority. The City has old stormwater infrastructure, so removing some of the burden would help to lengthen its useful life. As capital improvements occur, there is an opportunity to do two things: 1) updated the stormwater infrastructure and 2) construct green infrastructure in the public rights-of-way to reduce potential negative impacts of storm surges and surface runoff degradation the Fox River. Strategies such as rain gardens, bioswales on the sloped streets, or even green roofs could all contribute to beauty and utility.

Signage Encouraging Awareness

Green infrastructure is not familiar to everyone, so these can be excellent educational opportunities for the public. Signage and story-telling of why the City is placing rain gardens next to sidewalks and bioswales cascading down slopes could encourage residents to invest in doing the same on their properties. Additionally, the City could incentivize rain gardens or rain water cisterns for private residences to minimize negative impacts on natural resources and reduce flooding.



Figure 67 - Residential Rain Garden (Metro Blooms)



Figure 68 - Rain Garden Off Curbless Street (Prairie Rivers)



Figure 69 - Rain Garden Signage (City of Springfield, MO)



Figure 70 - Pervious Pavers (Techniseal)



Figure 71 - Pervious Pavers (MWMO)



Figure 72 - Paver Laying Machine (Detroit News)

Pervious Pavement

Permeable paving products, such as porous asphalt and concrete, as well as permeable pavers allow water to pass through the surface and into a stone storage layer below.

The water stored in the stone layer either infiltrates into the soil below or is slowly released to a sewer or other drainage system to reduce stormwater runoff volumes and rates. Sediment, metals, and organic compounds are filtered and/or biologically treated as the runoff moves through and is stored in the system.

Properly designed permeable paving systems are applicable to both pedestrian and vehicular areas. Permeable paving should be avoided in the through lanes of high traffic areas (such as County and State highway routes) and areas of high sediment or other pollutant loading that could clog the system or overwhelm the system's ability to treat typical urban runoff pollutants.

Ideal locations for pervious pavement might be Hydraulic Street, parallel parking lanes, mid-block alleys, and surface parking lots.

Installing Pervious Pavers

Pavers appear laborious to lay down in large quantities, such as a street or sidewalk; however, technology advancements have bred paver laying machines that lay down entire swaths of pavers in one motion. This drastically minimizes installation times, but still provides that hand-laid, classic look that is often loved for its character. Pavers can be cost competitive to concrete, because of the external impact it has on sizing stormwater infrastructure systems.

Public Art and Sculpture

The Role of Public Art

Yorkville's current downtown does not compete well with some of the loved downtowns nearby, such as Oswego and Plainfield; however, it should not need to directly compete. Yorkville can distinguish itself with its own identity and unique character as a community. There are few better ways to do this than through public art.

First and foremost, public art is free. Anyone can experience and enjoy it. It also adds a layer of uniqueness when so many downtowns attempt to emulate each other and therefore lose some of their authenticity. There are plenty of opportunities for public art, from blank walls on the sides of buildings, to vacant parcels and parking lots, and even the grain elevator. Each can become a canvas for community expression.

The City should seek to commission works in addition to allowing community members to contribute pieces to the collection through interactive events for residents of all ages. When everyone can get involved, there is more of a sense of ownership over the end product. Public art is a medium to show visitors what Yorkville is all about.

Make it Interactive!

Not only can art be something to experience visually, but it can also be interactive. This can be done through sculptures that encourage climbing or provide a backdrop for a photograph. Art can cater to children and adults alike and should remain informal enough to fit into Yorkville's beloved small-town character.



Figure 73 - Wall Mural on Blank Wall (City of Missouri City)



Figure 74 - Interactive Sculpture (ISU College of Design)



Figure 75 - Temporary Installation (Playscapes)



Potential Public Art Locations

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Appendix

Supplemental Content

Context Scale Analysis Mapping	p. 52
Site Scale Analysis Mapping	p. 60
Website Survey Results	p. 68

Downtown Overlay

Context Scale

Downtown Overlay District

The Downtown Overlay District context scale includes both the defined downtown from the 2016 Comprehensive Plan and the immediate surrounding areas, which includes the north banks of the Fox River. The following series of analysis maps reveals that downtown Yorkville has a variety of commercial, industrial, and public land uses surrounded by primarily lower density single-family housing. The underlying zoning allows for a more intense development pattern than currently exists; therefore, downtown has potential to densify and redevelop to more intense land uses. With relatively high traffic counts along Bridge Street, downtown experiences crosstown traffic that makes it visible and accessible by pedestrians and vehicles, and it could take advantage of higher traffic through non-residential uses.

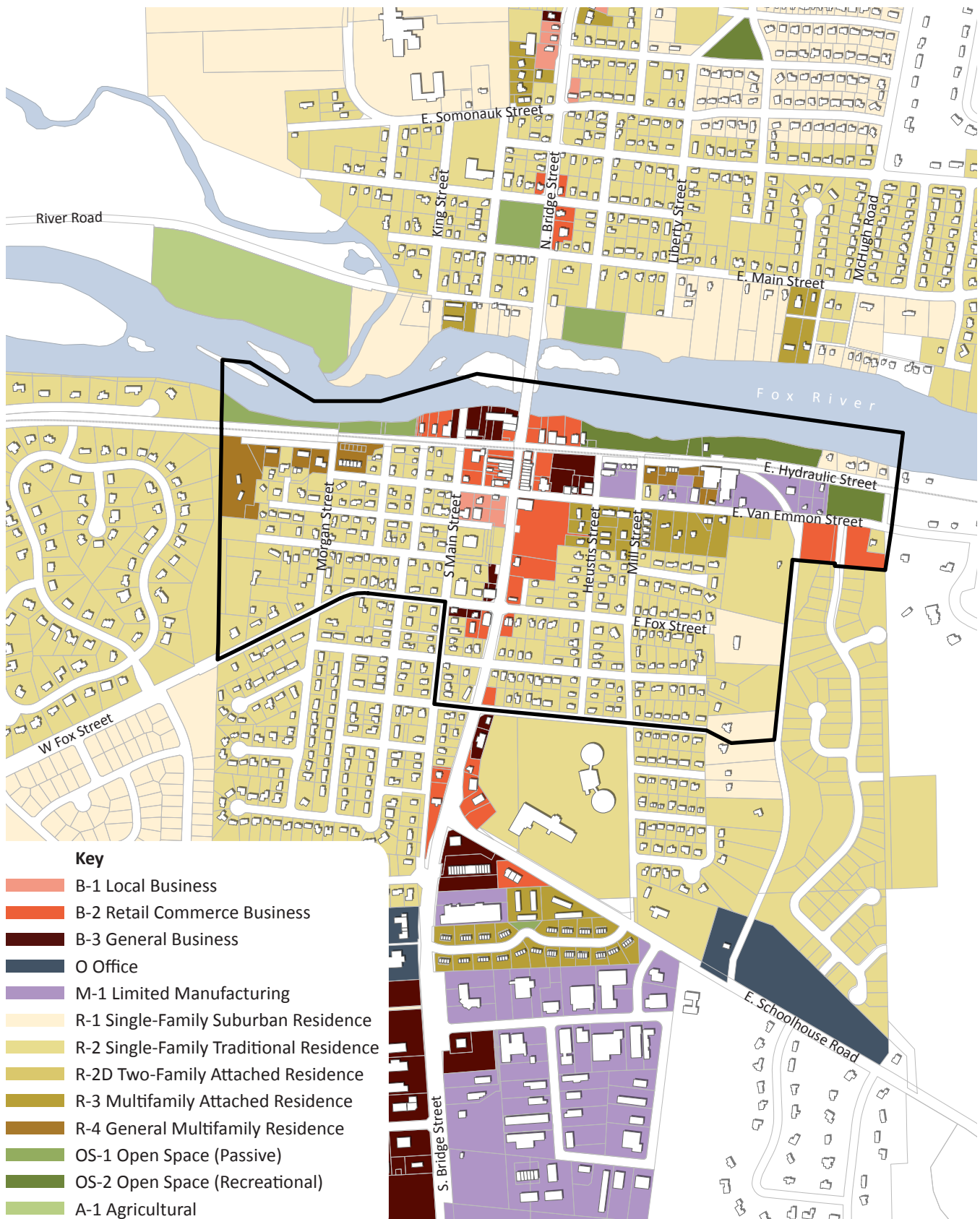
A TIF 1 and 2 are current and future strategies that seek to encourage reinvestment in the downtown. Though the TIF boundaries are not consistent with the downtown boundary defined in the map, it does include much of the downtown land and parcels along the Fox River. Parcels along the Fox River may be the most attractive to investors because of the views towards the river and access to recreation.

Investment in public space along the river has helped provide a destination for visitors and residents alike. Additionally, recreational bicycle facilities, trails, and connections to the greater trail system offer opportunities to improve quality of life and may become a catalyst for future real estate investment.



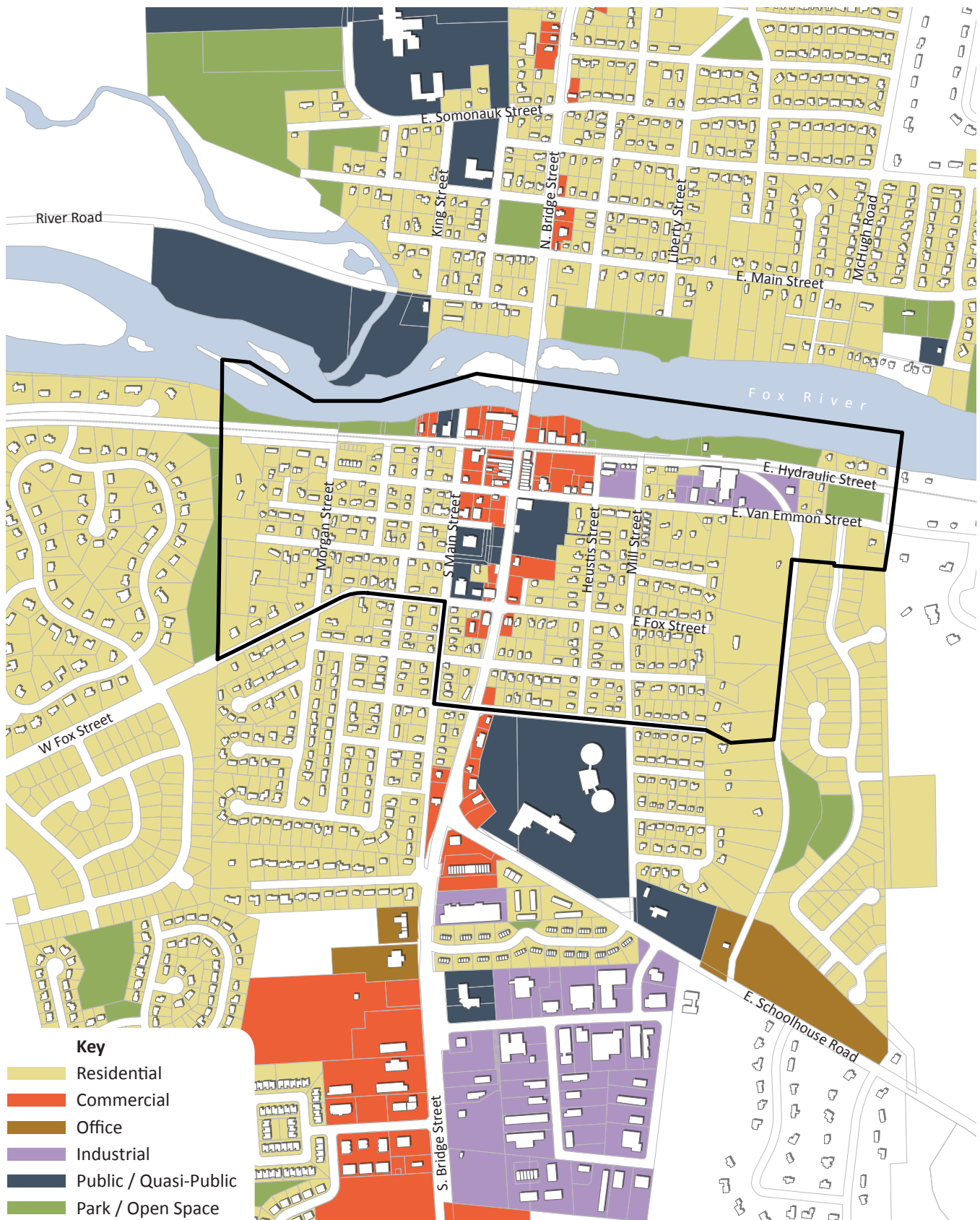
Area Scale Map (Aerial)





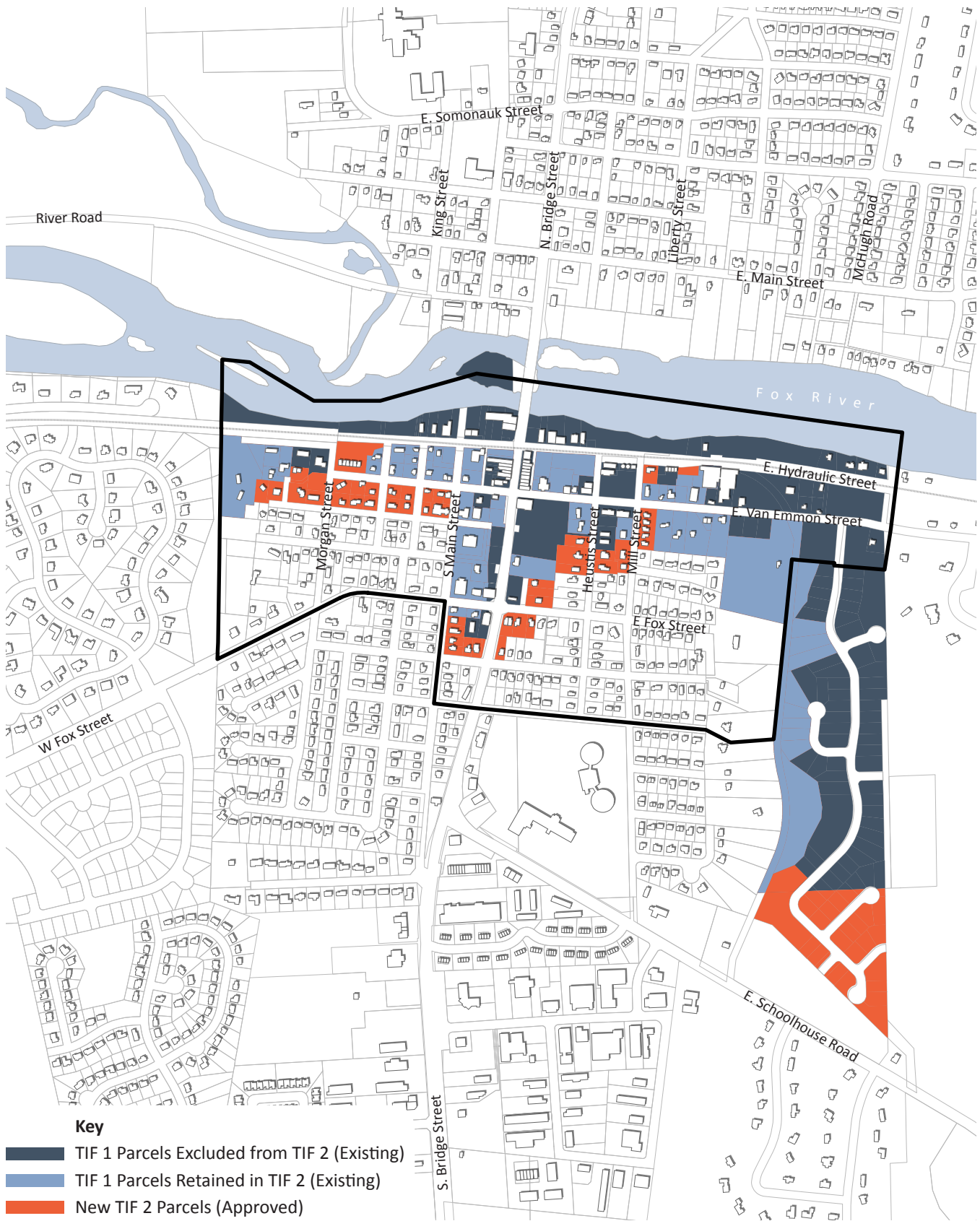
Existing Zoning Classifications

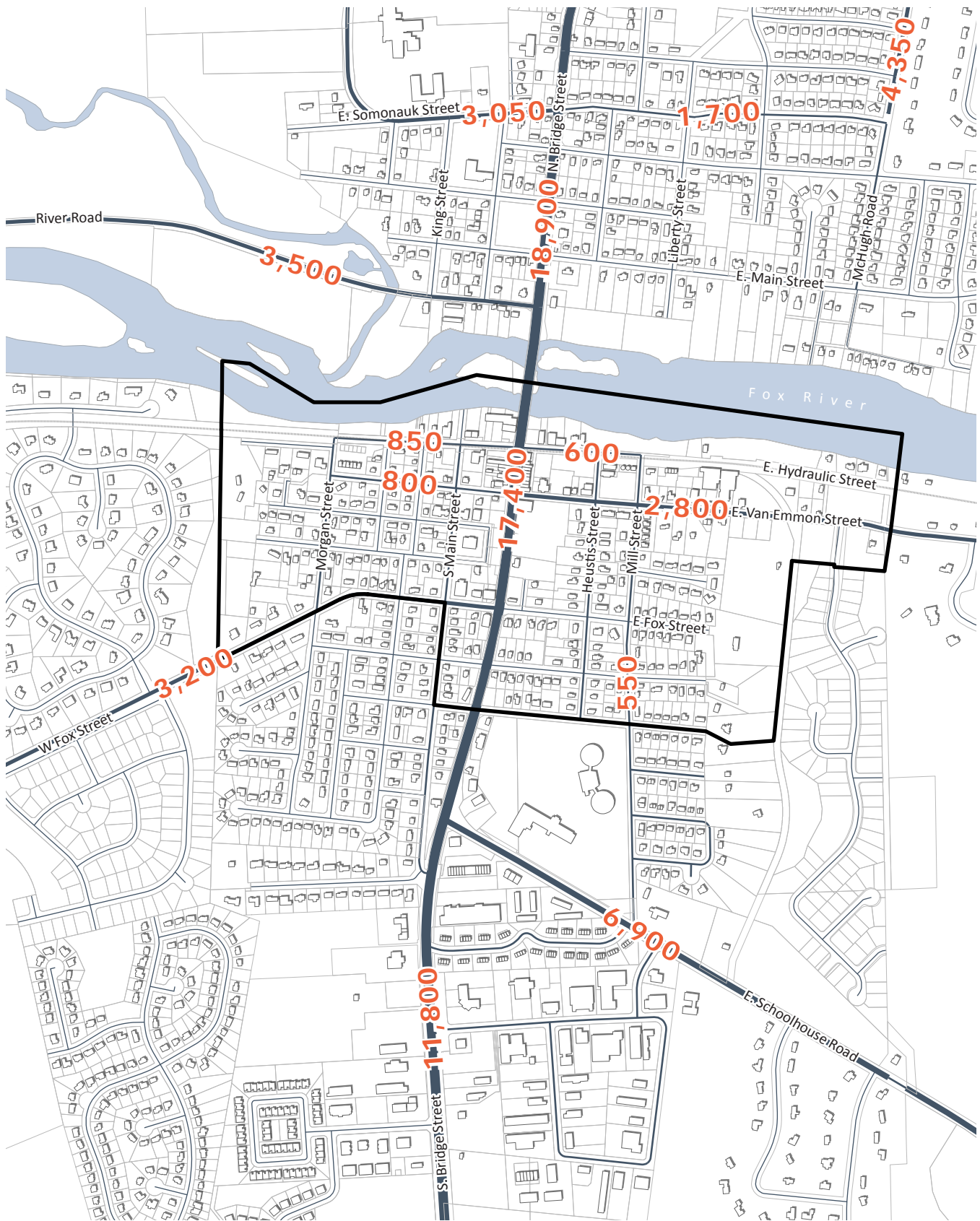




Existing Land Uses

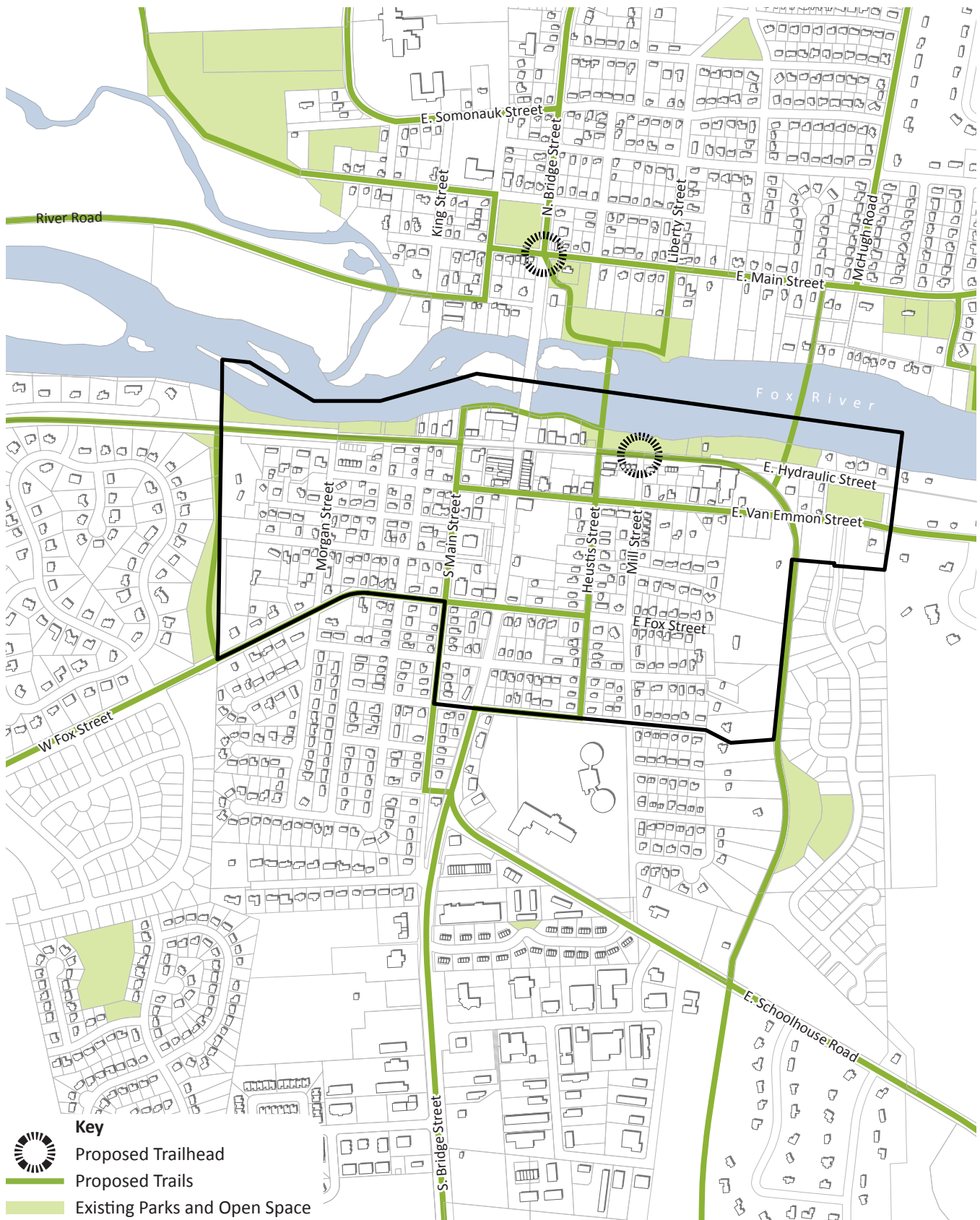




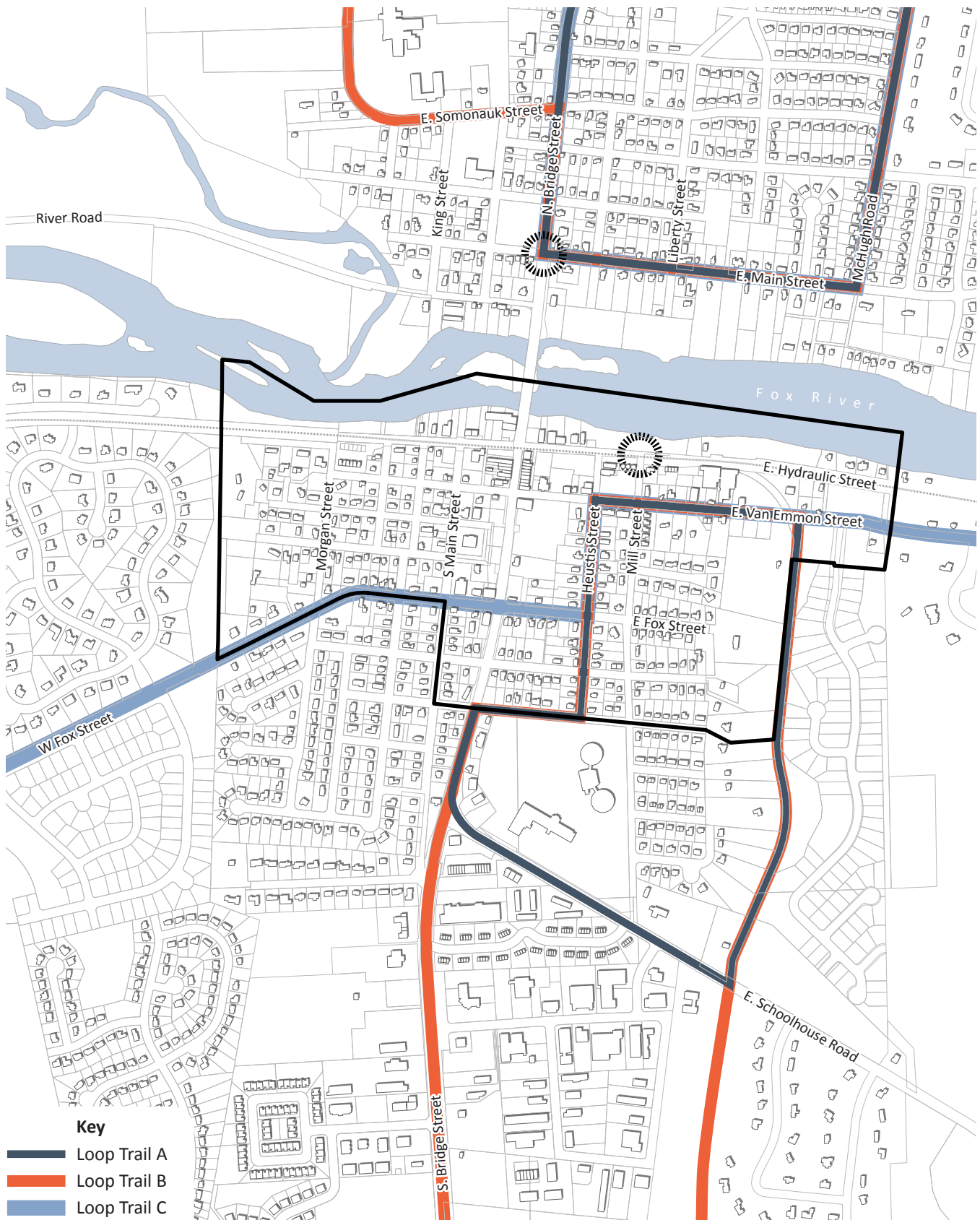


Average Annual Daily Traffic (AADT)





Parks and Proposed Trail Network



Proposed Loop Trail System

Downtown Overlay

Site Scale

Downtown Overlay District

The Downtown Overlay District site scale includes most of the downtown as defined in the 2016 Comprehensive Plan, as well as the immediate areas to the north and south. The following series of analysis maps illustrates that downtown Yorkville features a walkable grid; however, certain factors are minimizing its effectiveness. Notable contributing factors include segments of non-continuous sidewalks, primary building entries being oriented towards parking lots, and blocks that feature highly visible surface parking.

The primary stretch of downtown is defined by buildings that are built to the sidewalk in a continuous row along Bridge Street; however, Bridge Street's priority as a truck route has added to an anti-pedestrian feel. With only a small stretch of downtown being defined by urban building types, walkability is limited.

There are few buildings taller than two-stories, which reduces visual cues that downtown Yorkville is in fact a downtown. Some exceptions to this include the historic courthouse and grain elevator, which provide a unique sense of place. Large, vacant, or underutilized parcels are ripe for redevelopment and, with generous underlying zoning, should be attractive investments with modified guidelines.



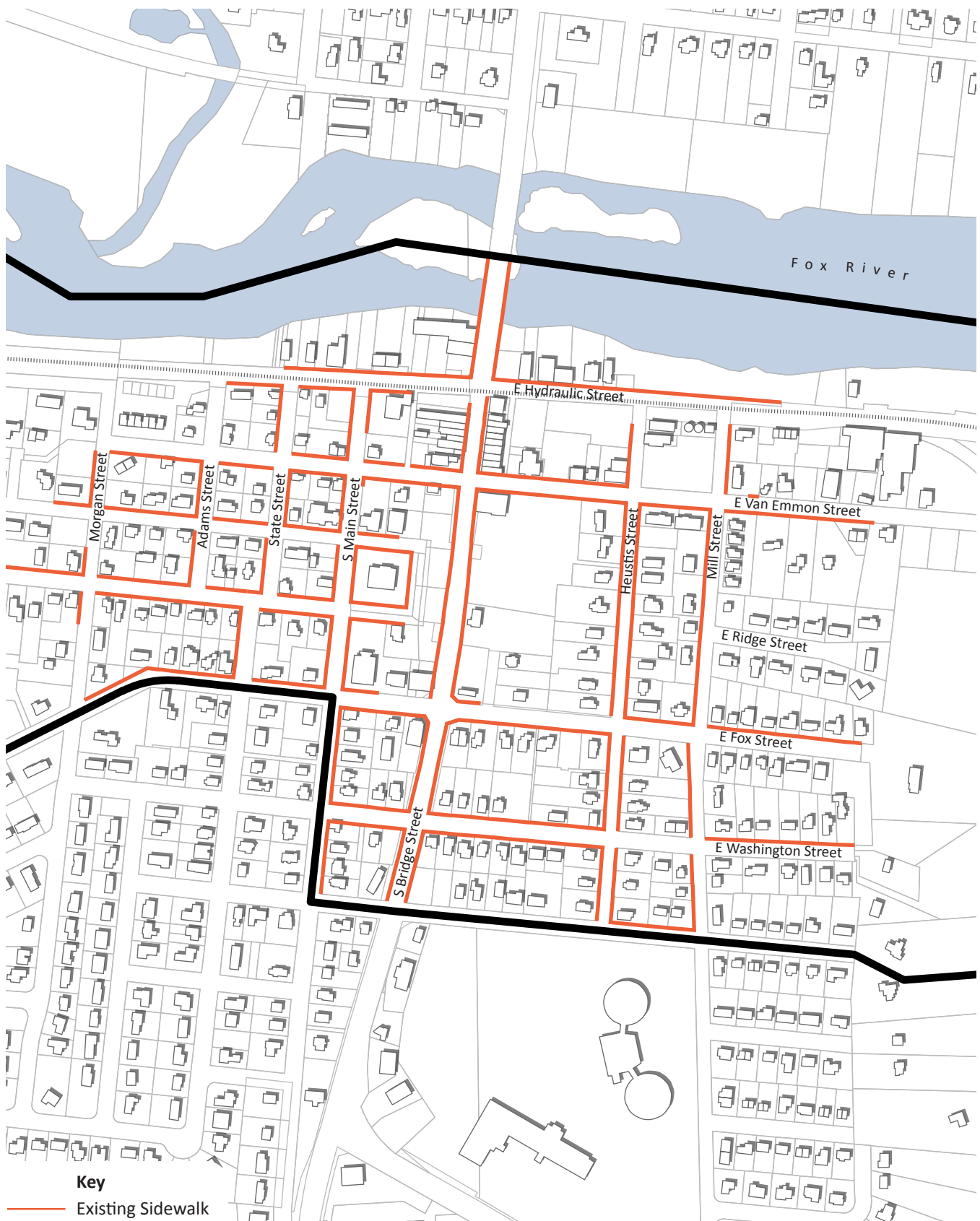
Area Scale Map (Aerial)







Commercial Buildings & Frontages



Existing Sidewalks





ROW Width and Ownership





Parcel Area



Building Heights



Website Survey Results

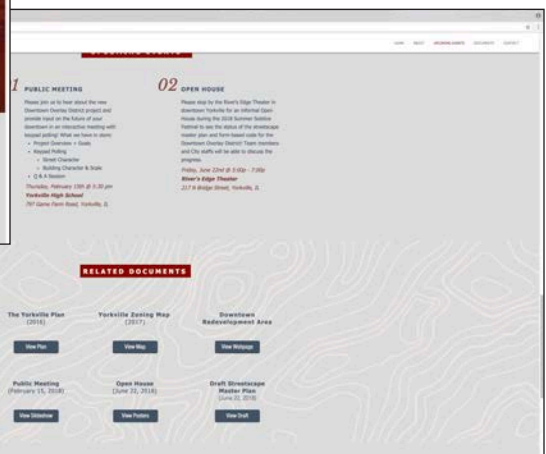
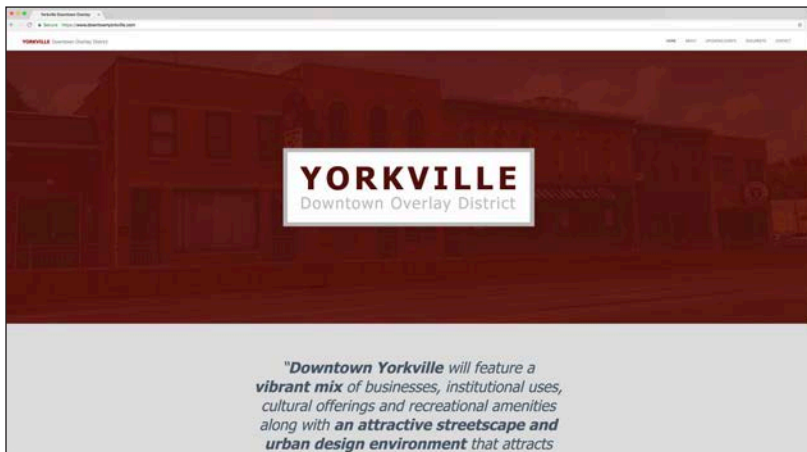
www.downtownyorkville.com/

The Yorkville Downtown Overlay District website survey was posted between February 19, 2018, and March 12, 2018. The survey gathered **473 responses**. The survey participants were concentrated in the 18 - 49 years old range. Key takeaways from the online survey include:

- A faster actual driving speed on Bridge Street is revealed
- People seem to feel safer than expected walking along Bridge Street; however, online comments conflict
- There is a perceived or real lack of parking
- Bridge Street is clearly important from a downtown image standpoint
- All gateway elements seem popular; however, the overhead lights are leading
- Bridge Street, Hydraulic Street, and Van Emmon Street are the focus
- The form-based code should not regulate architectural

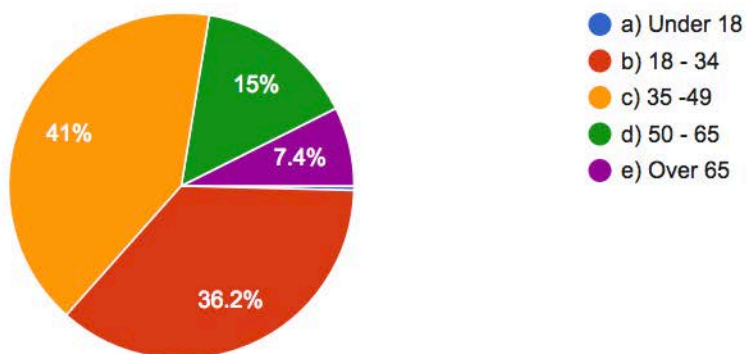
style to leave flexibility

- The “step back” question was difficult to comprehend in the survey format
- The front of Bridge Street needs a makeover



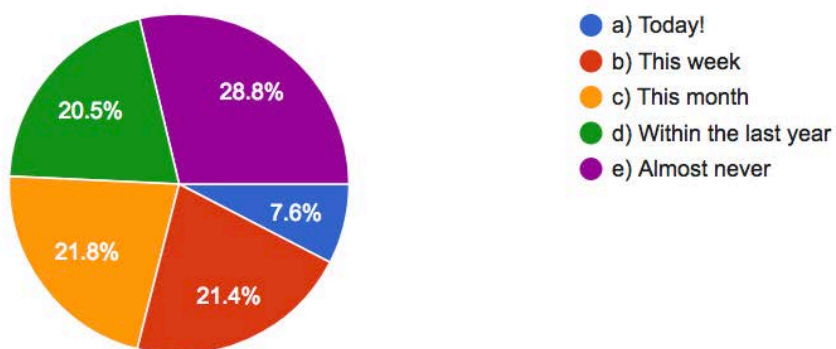
Question 1

Which is our age group?



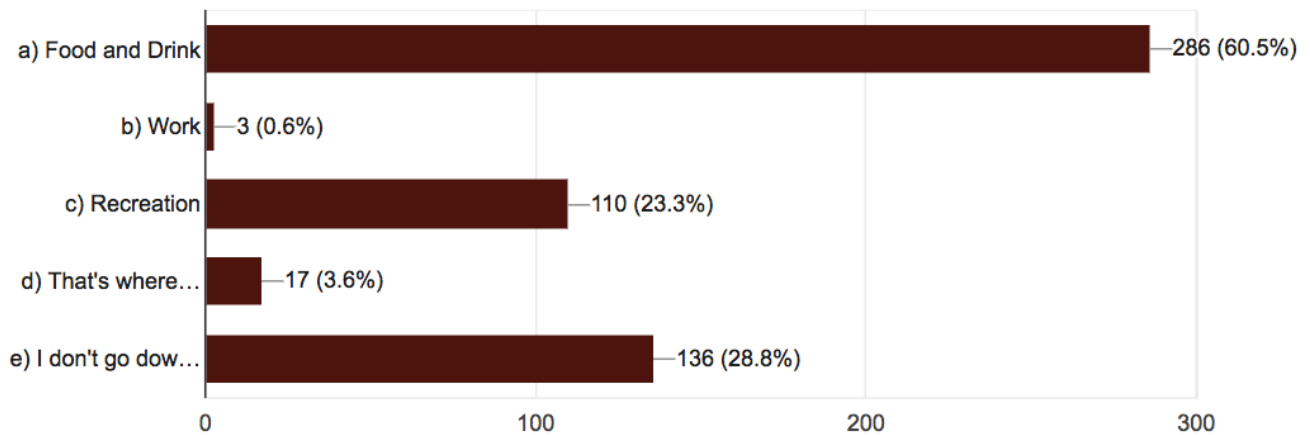
Question 2

When was the last time you visited downtown?



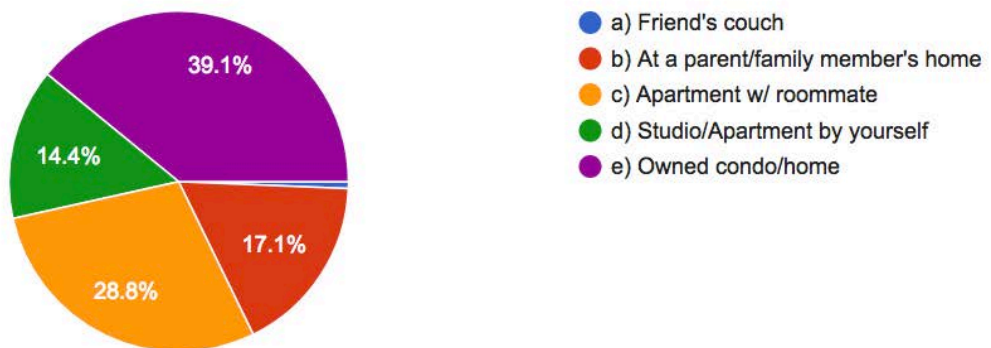
Question 3

What is the primary reason you come to downtown? (Check multiple)



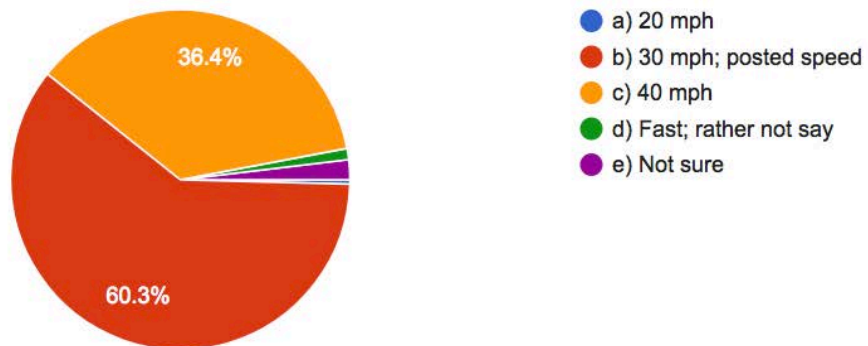
Question 4

Where was the first place you lived as an adult?



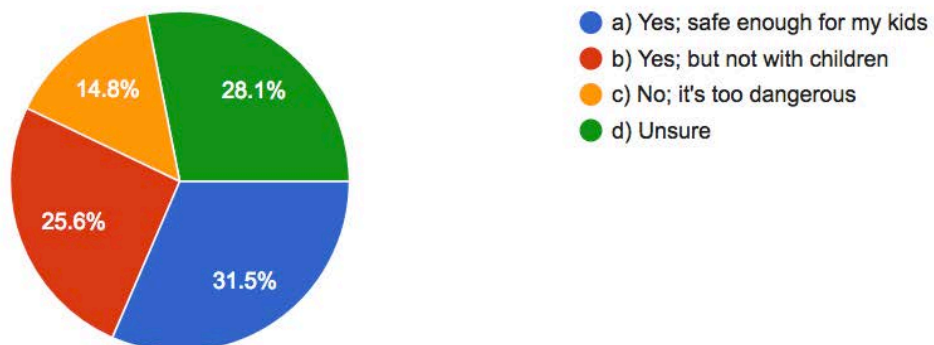
Question 5

How fast do you drive through downtown on Bridge Street?



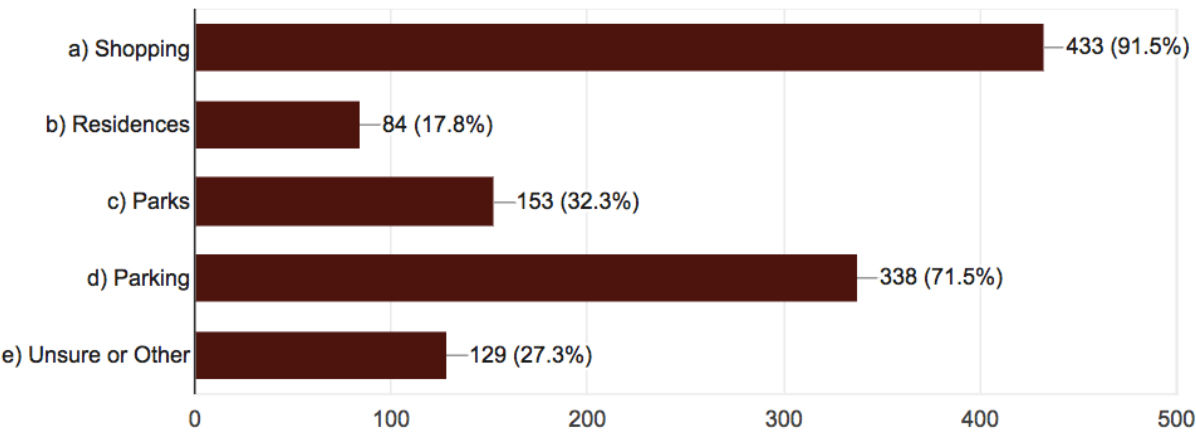
Question 6

Would you feel safe walking along Bridge Street?



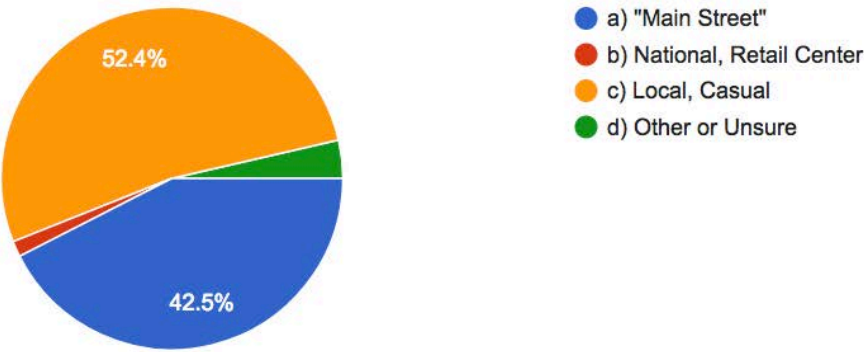
Question 7

What is missing most from downtown? (Check multiple)



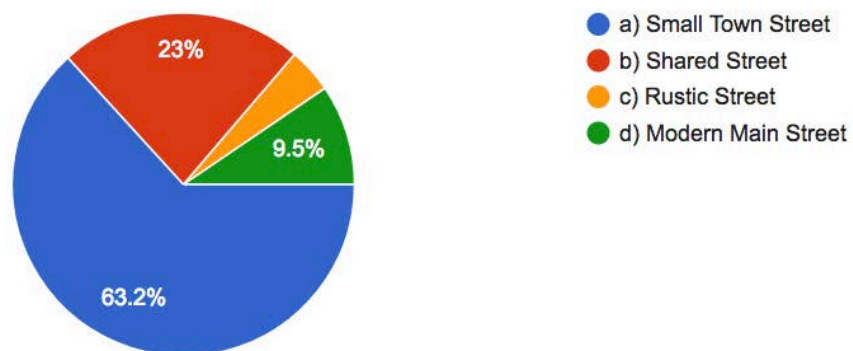
Question 8

Which image most represents your vision of downtown?



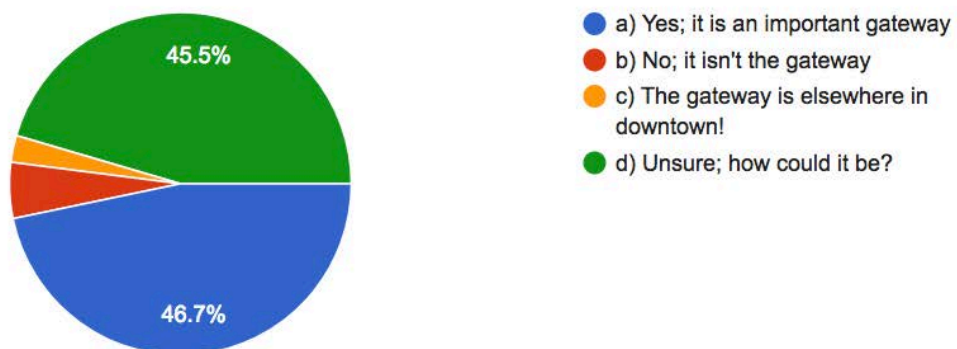
Question 9

Which street character do you prefer?



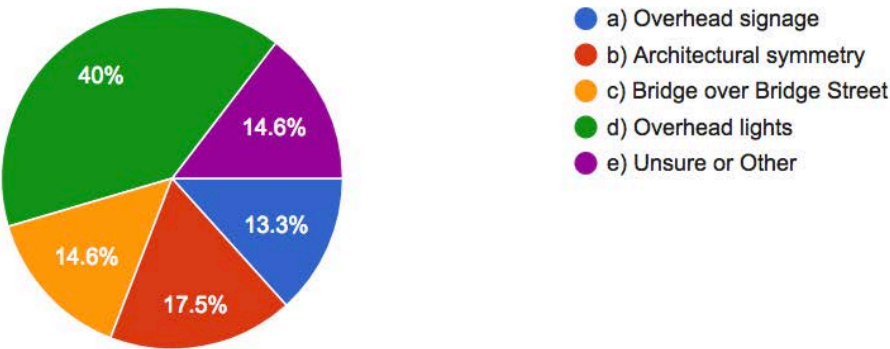
Question 10

Should Bridge Street be a gateway to downtown?



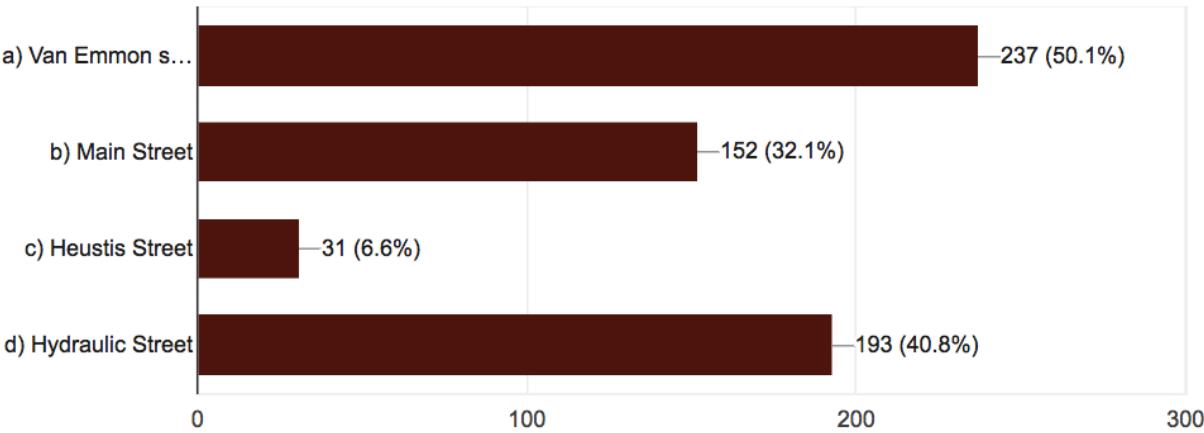
Question 11

Which is a preferred gateway element into downtown?



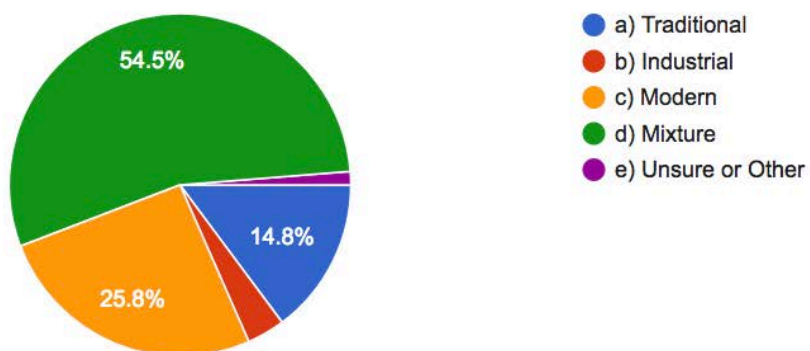
Question 12

Which street do you most consider an 'A' Street? (Check multiple)



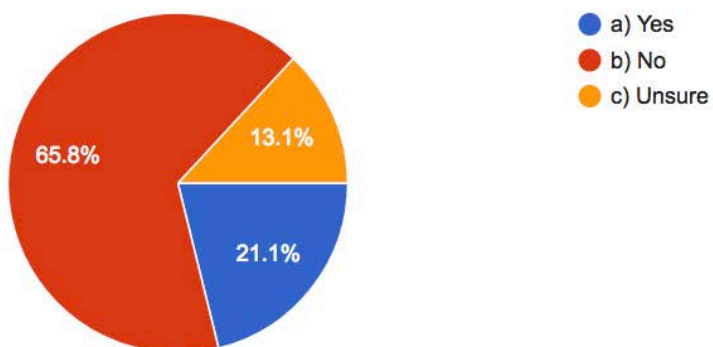
Question 13

Which architectural character do you prefer?



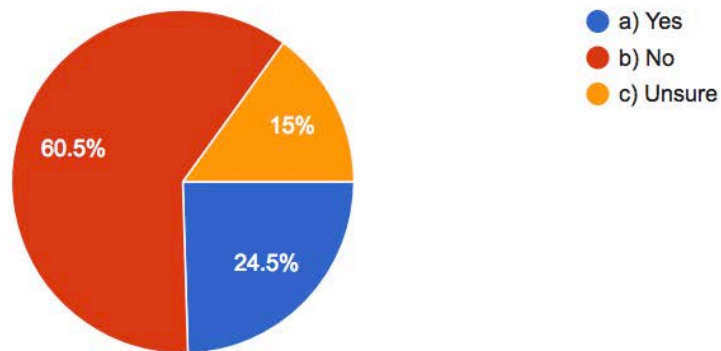
Question 14

Would attached housing be a good fit downtown?



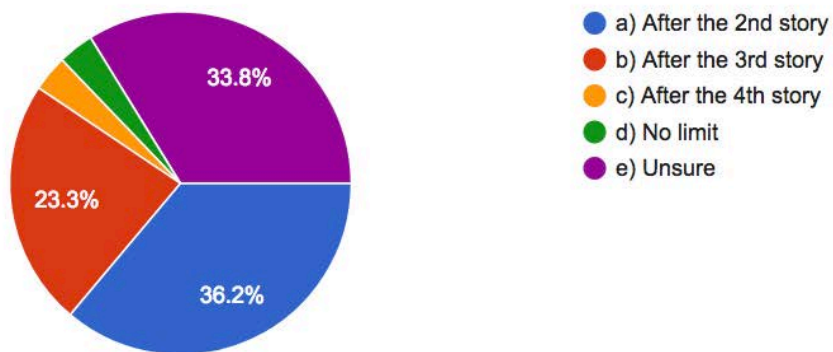
Question 15

Would multi-family housing be a good fit downtown?



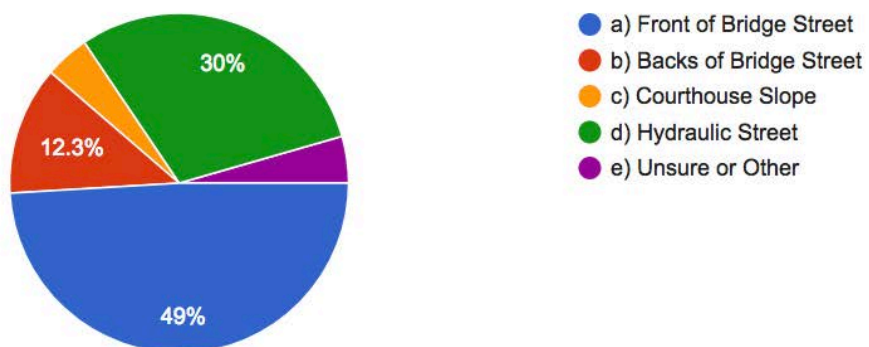
Question 16

After how many stories should upper levels “step back” from the facade?



Question 17

Which place would you invest in first?



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YORKVILLE

Downtown Overlay District

Form-Based Code



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FARR ASSOCIATES

Acknowledgements

United City of Yorkville
Farr Associates
Former Mayor Gary J. Golinski
Bart Olson, *City Administrator*
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Eric Dhuse, *Public Works Director*
Lisa Pickering, *City Clerk*
Richard T. Hart, *Chief of Police*
Tim Evans, *Director of Parks and Recreation*
Brad Sanderson, EEI, *Engineering Consultant*

City Council

Mayor John Purcell
Joel Frieders, *Alderman*
Chris Funkhouser, *Alderman*
Ken Koch, *Alderman*
Jacquelyn Milschewski, *Alderman*
Jason Peterson, *Alderman*
Arden Joe Plocher, *Alderman*
Seaver Tarulis, *Alderman*
Daniel Transier, *Alderman*

Planning and Zoning Commissioners

Randy Harker, *Chairman*
Reagan Goins, *Commissioner*
Debra Horaz, *Commissioner*
Don Marcum, *Commissioner*
Jeff Olson, *Commissioner*
Richard Vinyard, *Commissioner*
Daniel Williams, *Commissioner*



United City of
Yorkville ILLINOIS



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10-21-1 Introduction

A. Title

This Article 10-21 shall be known, cited, and referred to as the Downtown Overlay District code. Any reference to this Article following its effective date shall mean this entire Article as it may hereafter be amended.

B. Intent

It is the intent of this Article to provide development standards to the United City of Yorkville for downtown and adjacent redevelopment areas that promote public health, safety, and general welfare of the community, including, but not limited to the specific purposes set forth below.

1. To guide the development of a mix of uses and a pedestrian-oriented environment as established in the United City of Yorkville 2016 Comprehensive Plan, adopted September 2016, and the 2019 Yorkville Downtown Overlay District Streetscape Master Plan.
2. To provide for a mix of housing types within the Downtown Overlay District and adjacent areas for people of all ages and lifestyles.
3. To achieve development that is appropriate in scale and intensity for the Downtown Overlay District and adjacent neighborhoods.

C. Overview of the Code

1. **Section 10-21-2: Districts.** These regulations are organized within street types for adoption into the City's existing code. These zoning districts shall be mapped on the City's Zoning Map; however, the Primary Streets designation shall be referenced from Figure 10-21-2G (4). The following Districts are established for mixed use, commercial, and residential development within downtown and adjacent redevelopment areas. Figure 10-21-1B (1) illustrates the locations for the districts.

S1: Bridge Street District
S2: Hydraulic Street District
S3: Van Emmon Street District
S4: 'B' Street District
S5: 'B' Street - Residential District

3. **Section 10-21-3: Uses.** Use requirements are defined in Section 10-21-3 for each of the Street Districts. Uses may also be further limited by the Building Types. Refer to Section 10-21-2 Building Types and the "Uses" section in the tables per building type.
4. **Section 10-21-4: Building Types.** Six (6) Building Types are defined for use in the Street Districts. A mix of building types are typically permitted per district. These Building Types outline the desired building forms for the new construction and renovation of structures and contain regulations that determine physical building elements such as build-to-zones, transparency levels, entrance location, and parking location. Refer to Figure 10-21-4A (1) for a typical Building Type page layout.
5. **Section 10-21-5: Site Development Standards.** The site development standards provide references to other City ordinances or parts of the zoning ordinance and may include additional information or revision to those ordinances applicable only to the Street Districts. These include signage, parking, and landscape.

D. Applicability

These regulations apply to the downtown and adjacent redevelopment areas within the City as mapped on the City's zoning map. Refer to Figure 10-21-1B (1) for affected parcels.

E. How to Use the Code.

Refer to Figure 10-21-1D (1) for a step by step illustration about applying the code to a parcel. Throughout this section, call out boxes titled "How to Use the Code" appear with code application instructions.

F. Development Approval Process

1. **Site Plan Review.** An approved site plan is required for the development or redevelopment of all parcels in any District (refer to 10-4 of the Zoning Ordinance) with the following revisions:
 - (a) The Community Development Director may approve a major site plan if the site plan complies with all requirements of the city's zoning ordinance. If the Community Development Director denies approval of a major site plan, including the provision of written comments as to the reason for such denial, the denial may be appealed by the applicant to the Planning and Zoning Commission for review. The Planning and Zoning Commission shall then recommend approval to City Council the major site plan, recommend approval to City Council of the major site plan with conditions, or recommend denial of the site plan to City Council.
2. **Deviations.** The Applicant shall submit requested deviations to the Community Development Director with the Site Plan application. The Community Development Director may approve deviations to a site plan for the following:
 - (a) **Minor Deviations.** The Community Development Director may approve minor deviations to any dimension or percentage as follows:
 - i. The location of the building within up to one (1) foot from any minimum yard requirement or build-to zone width/ location.
 - ii. Up to five percent (5%) increase in total impervious coverage, not to exceed the total amount of permitted impervious plus semi-pervious coverage.
 - iii. Up to five percent (5%) decrease in Front Property Line coverage.
 - iv. Additional height of any story up to two (2) feet, as long as the overall building height does not exceed the allowable height of all floors at their maximum permitted height.
 - (b) **Design Deviations.** The Community Development Director shall review and make a recommendation for the following deviations:
 - i. **Alternative Building Materials.** The Director may approve alternative building materials from the requirements of Section 10-21-5, with the exception of the prohibited materials. For approval, the Applicant shall submit samples and local examples of the material a minimum of four weeks prior to the review, to allow site visits to the location.

- ii. Facade Variety Alternative. The Director may approve a reprieve from the facade variety requirements in Section 10-21-4. The Applicant shall submit fully rendered elevations and three (3) dimensional drawings of all street facades with materials samples for all surfaces to prove a higher quality building design with variation and relief from monotony.
- (c) Existing Building Deviations. The Planning and Zoning Commission shall review and make a recommendation to City Council for the following deviations, when applied to the renovation of an existing building(s):
 - i. For renovation of existing buildings, the maximum front property line coverage may be waived with an existing coverage of sixty percent (60%); however, any expansion on the ground story shall contribute to the extension of the front property line coverage.
 - ii. For renovation of existing buildings, the location of the building within up to five (5) feet from any minimum yard requirement or build-to zone width/location.
 - iii. For renovation of existing buildings, the minimum height of the ground story and upper story may be increased or decreased by up to two (2) feet for existing stories.
 - iv. For renovation of existing buildings, other required dimensions may be modified up to five (5) feet or ten percent (10%), whichever is less, unless otherwise modified by this section.

G. Nonconforming Structures

1. **Nonconforming Uses.** Refer to Section 10-15 of this Article for Non-Conforming Uses requirements with the following exception and addition.
2. **Nonconforming Structures.** The following regulations allow for the continuation of occupation of a structure that was legally constructed prior to the adoption or amendment to this code, but that could not occur under the provisions of this code.
 - (a) All Building Type standards apply to all new construction and renovation of existing structures, where the renovation includes an addition of more than sixty percent (60%) in gross building square footage.
 - (b) When the existing front or corner facade is located within the build-to zone and a renovation of the front facade occurs with or without any added building square footage, the Street Facade Requirements and Entrance Type Requirements of any permitted Building Type shall be met when the renovation includes any of the following:
 - i. Installation of additional doors or a change in location of a door;
 - ii. Expansion or change in location of thirty percent (30%) of windows on any street facade; or
 - iii. Replacement of thirty percent (30%) or more of facade materials on any street facade with a different facade material.
 - (c) When the existing building front or corner facade is located within the build-to zone and a renovation of the shape or style of the roof occurs with or without added building square

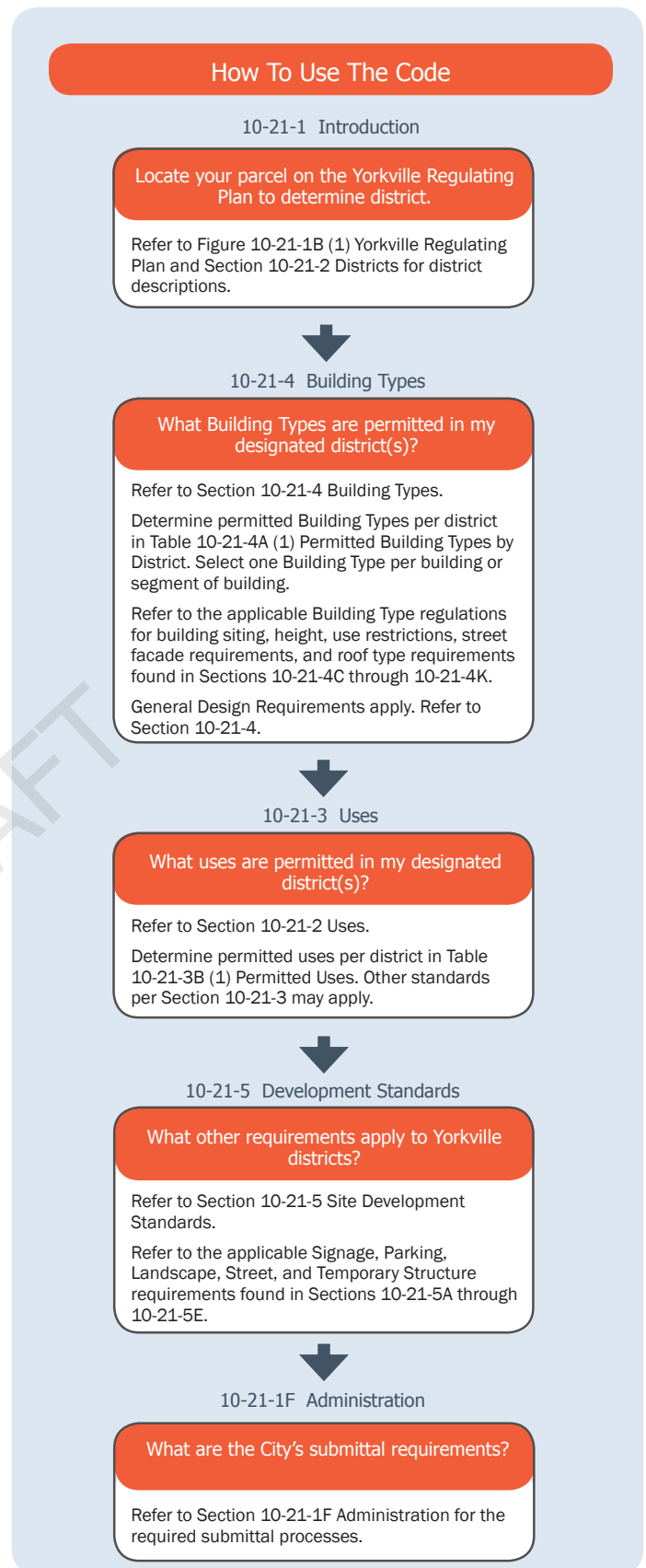


Figure 10-21-1D (1). Yorkville Code Flow Chart.

10-21-1 Introduction



Figure 10-21-1B (1). Yorkville Form-Based Districts Regulating Plan.

footage, the Roof Type Requirements of any permitted Building Type shall be met.

- (d) Under all circumstances, no portion of the Building Type standards must be met in the case of normal repairs required for safety and continued use of the structure, such as replacement of window or door glass.

H. Definitions

For the purposes of this document, the following terms shall have the following meanings:

Applicant. The Owner of a subject property or the authorized representative of the Owner on which a land development application is being made.

Block. Refer to Section 10-2-3 for definition.

Block Depth. A Block measurement that is the horizontal distance between the Front Lot Line on a Block Face and the Front Lot Line of the parallel or approximately parallel Block Face.

Block Ends. The Lots located on the end of a Block; these Lots are often larger than the Lots in the interior of the Block or those at the opposite end of the Block and can be located on a more intense Street Type. They are typically more suitable for more intensive development, such as multiple family or mixed Use development.

Block Face. The aggregate of all the building Facades on one side of a Block.

Block Length. A Block measurement that is the horizontal distance along the Front Lot Lines of the Lots comprising the Block.

Building Type. The Facade of a structure defined by the combination of configuration, form, and function as it relates to the adjacent street. Refer to 10-21-4B Building Type Standards for more information and the list of permitted Building Types.

Build-to Zone. An area in which the front or corner side facade of a building shall be placed; it may or may not be located directly adjacent to a lot line. The zone dictates the minimum and maximum distance a structure may be placed from a lot line. Refer to Figure 10-21-1H (3).

Courtyard. An outdoor area enclosed by a building on at least three (3) sides and is open to the sky.

Coverage, Building. The percentage of a Lot developed with a Principal or Accessory Structure.

Coverage, Impervious Site. The percentage of a Lot developed with Principal or Accessory Structures and Impervious Surfaces, such as driveways, sidewalks, and patios. Refer to "Lot Coverage" in Section 10-2-3.

Eave. The edge of a pitched roof, typically overhangs beyond the side of a building.

Entrance Type. The permitted treatment types of the Ground Floor Facade of a Building Type. Refer to Section 10-21-4I for more information and a list of permitted Entrance Types.

Expression Line. An architectural feature consisting of a decorative, three (3) dimensional, linear element, horizontal or vertical,

protruding or indented at least two (2) inches from the exterior facade of a building typically utilized to delineate the top or bottom of floors or stories of a building.

Facade. The exterior face of a building, including but not limited to the wall, windows, windowsills, doorways, and design elements such as Expression Lines. The front facade is any building face adjacent to the Front Lot Line.

Frontage District. A type of zoning district specific to this Article, where the location, height and bulk of structures is defined by Building Types. Refer to Section 10-21-4.

Landscape Area. Area on a Lot not dedicated to a structure, parking or loading facility, frontage buffer, side and rear buffer, or interior parking lot landscaping. Landscape Areas may include landscape, sidewalks, patios, or other pedestrian amenities.

Lot, Flag. Refer to Section 10-2-3 for definition. Refer to Figure 10-21-1H (2).

Lot, Interior. For the purposes of this Chapter, a parcel of land abutting a vehicular Right-of-Way, excluding an Alley, along one Lot Line; surrounded by Lots along the remaining Lot Lines.

Lot, Through. Refer to Section 10-2-3 for definition. Refer to Figure 10-21-1H (2).

Lot Area. Refer to Section 10-2-3 for definition; it is typically denoted in square feet or acres.

Lot Depth. For the purposes of this Chapter, the smallest horizontal distance between the Front and Rear Lot Lines measured approximately parallel to the Corner and/or Side Lot Line. Refer to Figure 10-21-1H (2).

Lot Frontage. Refer to Section 10-2-3 for definition.

Lot Line, Corner. For the purposes of this Chapter, a boundary of a Lot that is approximately perpendicular to the Front Lot Line and is directly adjacent to a public Right-of-Way, other than an Alley or railroad. Refer to Figure 10-21-1H (2).

Lot Line, Front. For the purposes of this Chapter, the boundary abutting a Right-of-Way, other than an Alley, from which the required Setback or Build-to Zone is measured, with the following exceptions.

- (a) Corner and through Lots that abut a Primary Street (refer to Figure 10-21-2G (4)) shall have the Front Lot Line on that Primary Street.
- (b) Corner and Through Lots that abut two (2) Primary Streets or do not abut a Primary Street shall utilize the orientation of the two (2) directly adjacent lots, or shall have the Front Lot Line determined by the Director.
- (c) Lot Line, Rear. Refer to Section 10-2-3 for definition. Refer to Figure 10-21-1H (2).

Occupied Space. Interior building space regularly occupied by the building users. It does not include storage areas, utility space, or parking.

Open Space. Refer to Section 10-2-3 (Public Open Space and Usable Open Space) for definitions. Open space may also be utilized to host temporary private or community events, such as a farmer's

10-21-1 Introduction

market or art fair.

Pedestrianway. A pathway designed for use by pedestrians; it can be located mid-block allowing pedestrian movement from one street to another without traveling along the block's perimeter.

Pervious Surface. Also referred to as pervious material. A material or surface that allows for the absorption of water into the ground or plant material, such as permeable pavers or a vegetated roof.

Primary Street. A street that receives priority over other streets in terms of setting front lot lines and locating building entrances. Refer to Figure 10-21-2G (4) for mapped Primary Streets.

Roof Type. The detail at the top of a building that finishes a Facade, including a pitch roof with various permitted slopes and a parapet. Refer to 10-21-4I for more information and a list of the permitted Roof Types.

Scale. The relative size of a building, street, sign, or other element of the built environment.

Semi-Pervious Surface. Also referred to as semi-pervious material. A material that allows for at least forty percent (40%) absorption of water into the ground or plant material, such as pervious pavers, permeable asphalt and concrete, or gravel.

Setback. For the purposes of this Chapter, the horizontal distance from a Lot Line inward, beyond which a structure may be placed. For the purposes of this Chapter, structures and parking lots are not permitted within a Setback, unless specifically stated otherwise in this Chapter. Refer to Figure 10.21.1H (1).

Solar Reflectance Index (SRI). A measure of a constructed surface's ability to reflect solar heat, as shown by a small temperature rise. The measure utilizes a scale from zero (0) to one hundred (100) and is defined so that a standard black surface is zero (0) and a standard white surface is one hundred (100). To calculate for a given material, obtain the reflectance value and emittance value for the material; calculate the SRI according to ASTM E 1980-01 or the latest version.

Story. For the purposes of this Chapter, a habitable level within a building measured from finished floor to finished floor. Refer to Section 10-21-4 for dimensions.

Story, Ground. Also referred to as ground floor. The first floor of a building that is level to or elevated above the finished Grade on the Front and Corner Facades, excluding basements or cellars.

Story, Half. For the purposes of this Chapter, a story either in the base of the building, partially below grade and partially above grade, or a story fully within the roof structure with transparency facing the street.

Story, Upper. Also referred to as upper floor. The floors located above the Ground Story of a building.

Street Face. The Facade of a building that faces a public Right-of-Way.

Street Frontage. Also refer to Lot Frontage. The portion of a building or Lot directly adjacent to a vehicular Right-of-Way.

Street Termini. At a three (3)-way or "T" intersection, it is the location where one street terminates at the other street.

Streetwall. The vertical plane created by building Facades along a

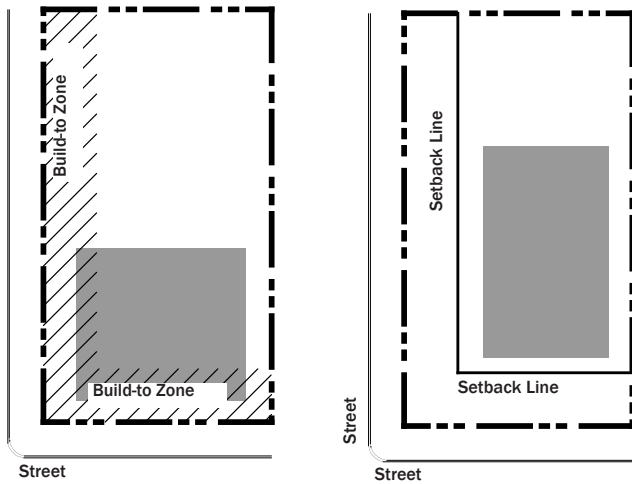
street. A continuous Streetwall occurs when buildings are located in a row next to the sidewalk without vacant Lots or significant Setbacks.

Transparency. The measurement of the percentage of a facade that has highly transparent, low reflectance windows. Mirrored glass is not permitted.

Yard. Refer to Section 10-2-3 for definition. Refer to Figure 10-21-1H (3) Illustration of Yards. Note that the Rear Yard is fully screened from the street by the Structure.

- (a) **Yard, Corner Side.** A Yard extending from the corner side building Facade along a Corner Side Property Line between the Front Yard and Rear Property Line.
- (b) **Yard, Front.** Refer to Section 10-2-3 for definition.
- (c) **Yard, Rear.** Refer to Section 10-2-3 for definition.
- (d) **Yard, Side.** Refer to Section 10-2-3 for definition.

Visible Basement. A half story partially below grade and partially exposed above with required transparency on the street facade.



Build-to Zone vs Setback Line

A setback line indicates the closest a building may be placed to a property line, but is silent on where behind that line a building may be placed. A build-to zone indicates a zone or area in which the Facade of a building must be located. The use of a build-to zone allows some control over building placement, while the range provides some flexibility. This method also provides an element of predictability that is absent when the only requirement is to locate a building beyond a certain line.

Figure 10.21.1H (1). Build-to Zone vs. Setback Line.

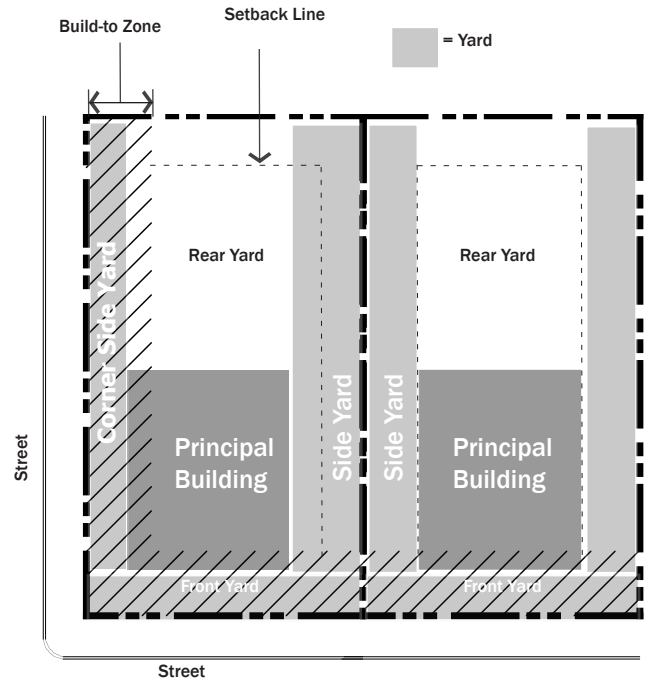


Figure 10-21-1H (3). Illustration of Yards.

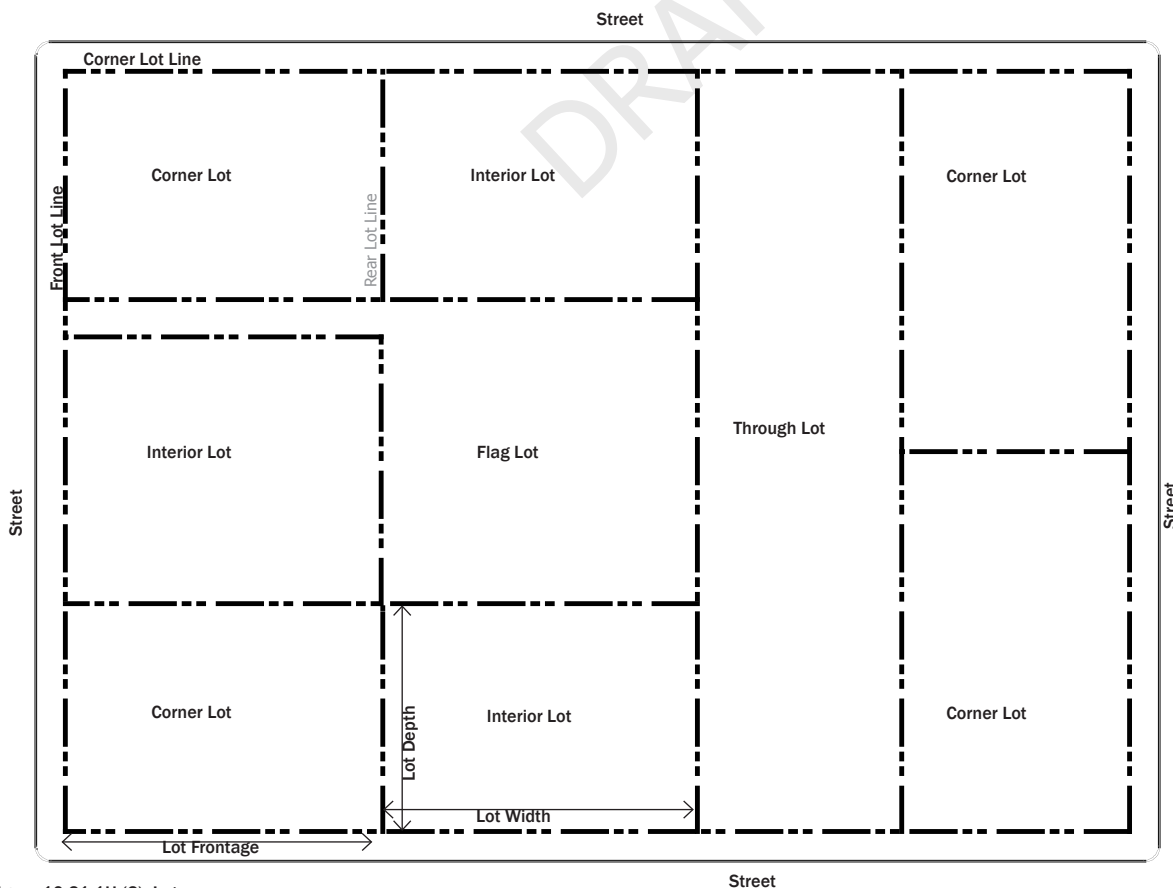


Figure 10-21-1H (2). Lots.

10-21-2 Districts

The following Districts are established for mixed use, commercial, and residential development within downtown and adjacent redevelopment areas. Figure 10-21-1B (1) illustrates the locations for the districts.

- S 1: Bridge Street District
- S 2: Hydraulic Street District
- S 3: Van Emmon Street District
- S 4: 'B' Street District
- S 5: 'B' Street - Residential District

DRAFT

A. S1: Bridge Street District

The Bridge Street District may be considered the gateway into downtown Yorkville and retains potential to become the iconic stretch that helps draw people into local businesses and displays an attractive image that represents the people of Yorkville. The form of this retail and service-centered area establishes a street wall of storefront style-building facades with shallow build-to-zones along the sidewalk and parking in the rear or off-site. It focuses pedestrian-friendly retail and service uses on the ground story with office uses in upper stories.

Bridge Street	
Building Placement	
Build-to Zone	0' to 10'
Space Between Buildings	
Attached	0'
Detached	5' to 10'
Building Volume	
Maximum Building Height	80'
Maximum Stories	6
Minimum Ground Floor Height	14'
Typical Street Attributes	
Typical ROW Width	72'
Number of Travel Lanes	4
Lane Width	10' to 13'
Dedicated Turn Lanes	1
Parking Lanes	none
Pavement Width	60'
Dedicated Bicycle Facilities	none
Pedestrian Realm	
Pedestrian Facilities	6' wide sidewalk
Street Buffer	concrete barrier

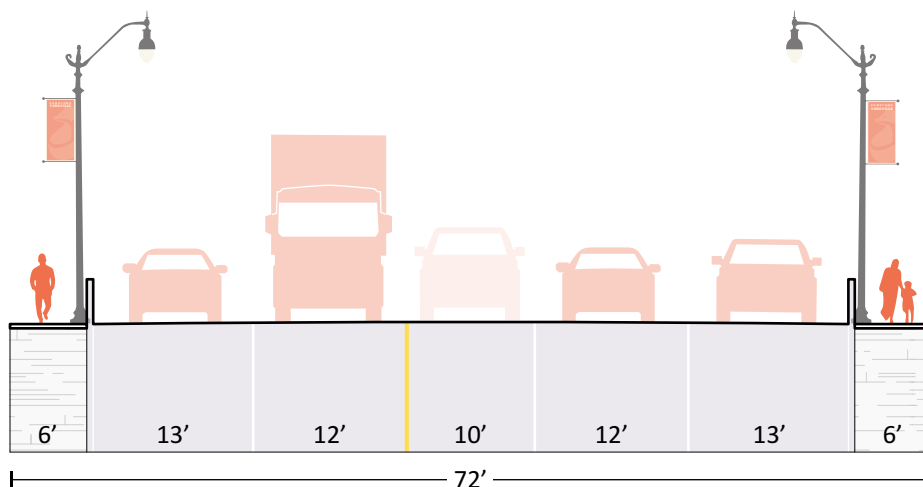


Figure 10-21-2A (1). Bridge Street (Long-term).

10-21-2 Districts

B. S2: Hydraulic Street District

The Hydraulic Street District includes complex conditions, including a tapering right-of-way that narrows from west to east and an active freight rail line that runs parallel to the street surface within the right-of-way. Hydraulic Street features short, utilitarian buildings, as well as an inoperable grain elevator, that create an eclectic mix of land uses and character. The form of this area remains pedestrian-centered but storefront-style buildings focus a broader spectrum of retail and service uses on the ground story with residential and/or office uses in upper stories.

Hydraulic Street	
Building Placement	
Build-to Zone	0' to 15'
Space Between Buildings	
Attached	0'
Detached	10'
Building Volume	
Maximum Building Height	60'
Maximum Stories	5
Minimum Ground Floor Height	14'
Typical Street Attributes ¹	
Typical ROW Width	48' to 66'
Number of Travel Lanes	2
Lane Width	10' to 12'
Dedicated Turn Lanes	none
Parking Lanes	1 lane of parallel parking on south side of street
Pavement Width	22'
Dedicated Bicycle Facilities	Multi-purpose lane on north side of street
Pedestrian Realm	
Pedestrian Facilities	6' to 8' wide sidewalk
Street Buffer	1 lane of parallel parking on south side of street; 4' planter on north side of multi-purpose street

Notes:

¹ The Streetscape Master Plan includes a proposed slip lane on the south side of Hydraulic Street between Bridge Street and Heustis Street. This table includes dimensions for the public right-of-way section of the street.

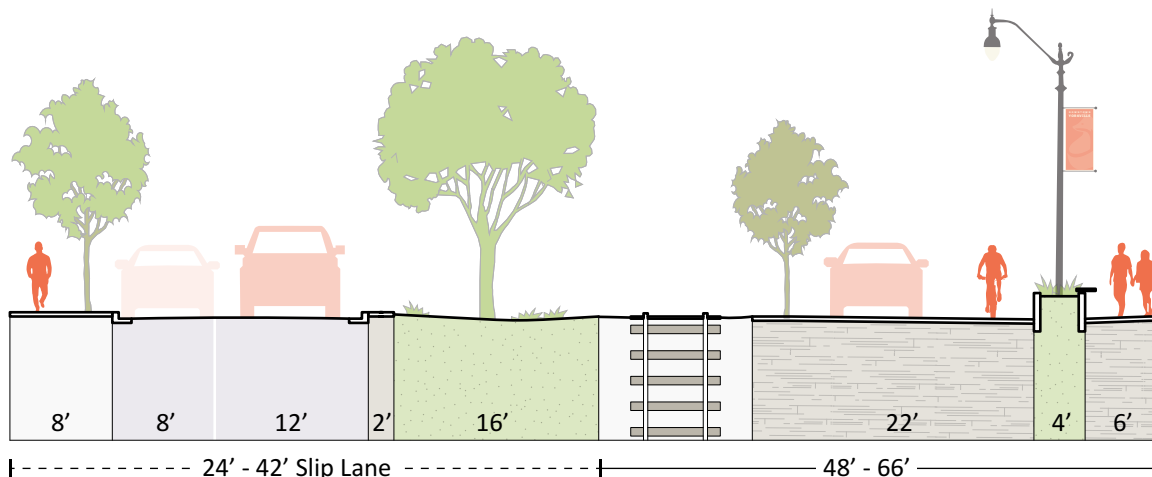


Figure 10-21-2B (1). Hydraulic Street (Long-term).

C. S3: Van Emmon Street District

The Van Emmon Street District is a lower scale district. Commercial, residential, and mixed use buildings make up this district in variety of building types. A broader spectrum of retail, service, and office uses support the Bridge Street and Hydraulic Street Districts and ground floor residential is permitted. The form of this area is pedestrian-centered, but allows for more vehicular access and off-street parking options.

Van Emmon Street	
Building Placement	
Build-to Zone	0' to 20'
Space Between Buildings	
Attached	0'
Detached	10'
Building Volume	
Maximum Building Height	60'
Maximum Stories	5
Minimum Ground Floor Height	12'
Typical Street Attributes	
Typical ROW Width	60'
Number of Travel Lanes	2
Lane Width	12'
Dedicated Turn Lanes	none
Parking Lanes	1 lane of parallel parking on each side of street; permeable paving 1 lane of parallel parking each side of street (intermittent planting on south side to accommodate parking)
Pavement Width	24' to 40'
Dedicated Bicycle Facilities	none
Pedestrian Realm	
Pedestrian Facilities	8' to 12' wide sidewalk
Street Buffer	1 lane of parallel parking on north side of street; street trees or 1 lane of parallel parking on south side of street

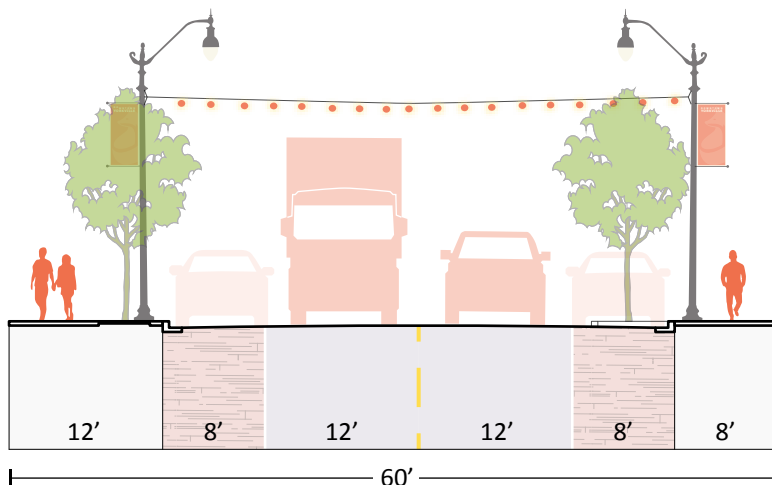


Figure 10-21-2C (1). Van Emmon Street (Long-term).

2.0 Districts

D. S4: 'B' Street District

The 'B' Street District is a lower scale commercial district designed to serve adjacent neighborhoods and the greater community. Flanked by the Hydraulic and Van Emmon Districts, a wider range of residential uses is permitted. As one of the main street types between primary thoroughfares, pedestrian access and safety remains a priority.

'B' Street	
Building Placement	
Build-to-line Location	0' to 20'
Space Between Buildings	
Attached	0'
Detached	10'
Building Volume	
Maximum Building Height	60'
Maximum Stories	5
Minimum Ground Floor Height	9'
Typical Street Attributes	
Typical ROW Width	50'-60'
Number of Travel Lanes	2
Lane Width	11'
Dedicated Turn Lanes	none
Parking Lanes	1 lane of parallel parking each side of street (reduce planting where appropriate to accommodate parking)
Pavement Width	26'
Dedicated Bicycle Facilities	none
Pedestrian Realm	
Pedestrian Facilities	5' wide sidewalk
Street Buffer	13' swale and/or stormwater buffer; optional parking

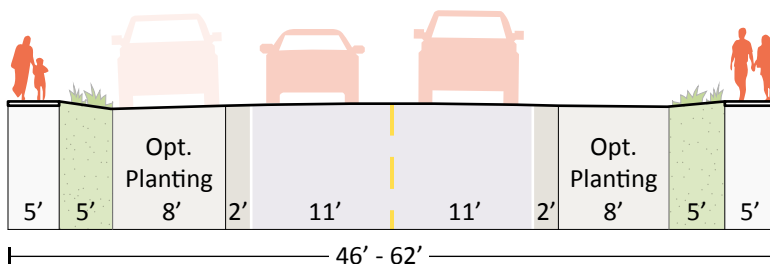


Figure 10-21-2D (1). 'B' Street (Long-term).

E. S5: 'B' Street - Residential District

The 'B' Street Residential District is a lower-scale residential district with a mix of townhouses and yard buildings. With a maximum height of six (6) stories under the general provision of the zoning code, this area provides for a mix of housing types adjacent to downtown for people of all ages and lifestyles.

'B' Street - Residential	
Building Placement	
Build-to-line Location	0' to 15'
Space Between Buildings	
Attached	0'
Detached	10'
Building Volume	
Maximum Building Height	40'
Maximum Stories	3.0
Minimum Ground Floor Height	9'
Typical Street Attributes	
Typical ROW Width	50' to 60'
Number of Travel Lanes	2
Lane Width	11'
Dedicated Turn Lanes	none
Parking Lanes	1 lane of parallel parking each side of street (reduce planting where appropriate to accommodate parking)
Pavement Width	26'
Dedicated Bicycle Facilities	none
Pedestrian Realm	
Pedestrian Facilities	4' wide sidewalk
Street Buffer	13' swale and/or stormwater buffer; optional parking

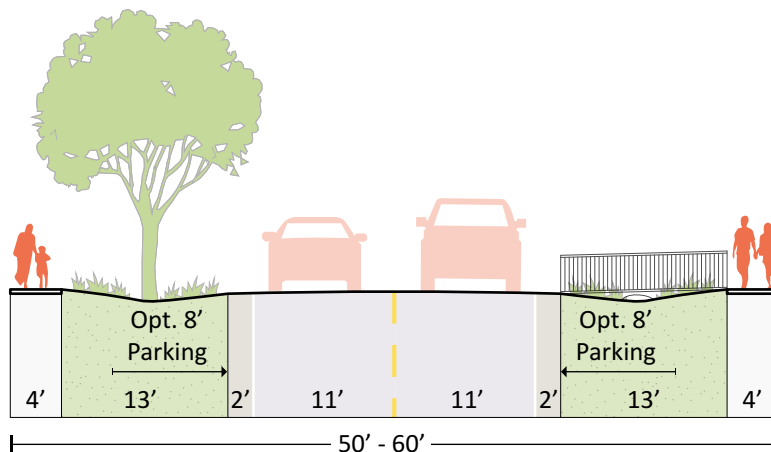


Figure 10-21-2E (1). 'B' Street - Residential (Long-term).

10-21-2 Districts

F. Hierarchy of Districts

Development under this code is regulated by street type. The various street types are related to each other in a hierarchical manner. When these streets intersect, the primary street frontage is determined by its higher order in the hierarchy. The front of a building and its main entrance must face the primary street. Figure 10.21.2G (1) illustrates the hierarchy of street types.

G. Primary Streets

The Primary Streets Map designates Primary, Secondary, and Tertiary Streets within the Downtown Overlay District. These designations prioritize the street frontages for locating the Front Lot Line for required amounts building frontage and allowable amounts of parking frontage. Refer to Figure 10.21.2G (4).

1. **Vehicular Access.** Vehicular access is also managed through this street prioritization within the Building Type requirements (refer to Section 10-21-4). See Figure 10.21.2G (2) and Figure 10.21.2G (3) for illustration of permitted vehicular access locations.

- (a) The order of access is typically as follows, unless otherwise permitted by Building Type:
 - i. Lane (Tertiary Street) or Alley (un-mapped) permits unlimited access.
 - ii. If no Lane or Alley exists, one (1) driveway per secondary street frontage is permitted.
 - iii. If no tertiary or secondary street abuts the parcel, one driveway is permitted off the Primary Street and shared access with adjacent properties is encouraged.
- (b) Refer to the Subdivision Control Ordinance for additional requirements of vehicular access off adjacent streets. Interparcel Access requirements shall be met.

2. Primary, Secondary, and Tertiary Street Designations.

- (a) **Primary Streets.** Primary streets require the most intact and continuous streetwall with few, if any, driveway access. The Front Lot Line shall always be located on the Primary Street. When a parcel is fronted by more than two (2) primary streets, the Director shall determine which is the appropriate street for the Front Lot Line. The determination should be based on locations of existing and other proposed development Front Lot Lines.
 - i. Vehicular access should not be located off a primary street, unless no other options exists. Refer to Section 10-21-4 Building Type requirements for allowances of vehicular access, if applicable.
- (b) **Secondary Streets.** Secondary streets are intended to have a fairly continuous streetwall, but will likely have a driveway for each parcel. If no tertiary street exists, access will likely be off the secondary street.
- (c) **Tertiary Streets.** Tertiary streets typically have no streetwall requirements and could be fronted by parking structures and parking lots with multiple drives and/or vehicular access points.

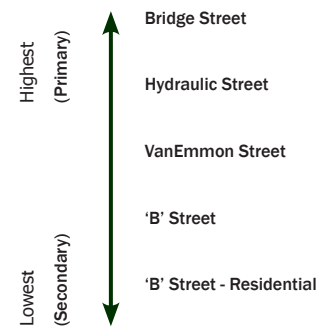


Figure 10-21-2G (1). Hierarchy of Street Types.

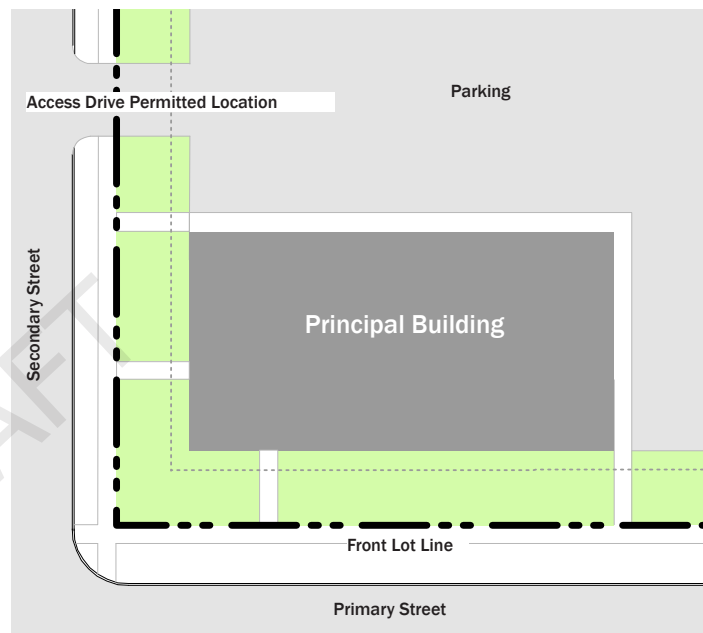


Figure 10-21-2G (2). Secondary Street Frontage: Access Drive Permitted Location

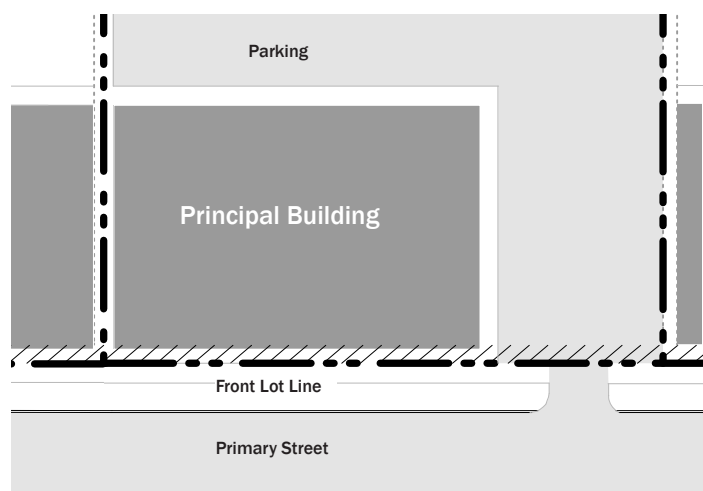


Figure 10-21-2G (3). Primary Street Frontage Only: Access Drive Permitted Location



Figure 10-21-2G (4). Primary Streets Map.

10-21-3 Uses

A. General Provisions

The following establishes a simplified set of uses permitted within the Building Forms of each downtown form-based zoning district.

- Uses by District.** Permitted and special uses available in each form-based district are shown in Table 10-21-3B (1).
- Use Definitions.** Uses listed in Tables 10-21-3C (1) - 10-21-3C (4) are defined in Section 10-2-3 of the Zoning Ordinance. Further definitions applicable only to the Yorkville Form-Based Districts are located in Section 10-21-3C.
- Permitted Use ("●").** These uses are permitted by-right in the form districts in which they are listed.
- Permitted in Upper Stories Only ("◐").** These uses are permitted by-right in the districts in which they are listed, provided that the uses are located in the upper stories of a structure. These uses may also be located in the ground story provided that they are located beyond a depth of at least twenty feet from the front primary facade.
- Requires a Special Use Permit ("○").** These uses require a Special Use Permit (refer to Section 10-6 Special Use Regulations) in order to occur in the districts in which they are listed and must follow any applicable development standards associated with the use as well as meet the requirements of the special use.
- Permitted with Development Standards ("◑").** These uses are permitted in the districts in which they are listed, provided that they are developed utilizing the listed development standards. These standards, combined with the Building Type requirements, are intended to alleviate any negative impacts associated with the use, making it appropriate in a district where it otherwise might not have been appropriate.
- Prohibited Use.** A blank cell or an unlisted use in the use table indicates that the land use is prohibited in that district.
- City Determination.** When a proposed land use is not explicitly listed in Table 10-21-3B (1), the Director shall determine whether or not it is included in the definition of a listed use or is so consistent with the size, scale, operating characteristics and external impacts of a listed use that it should be treated as the same use. Any such determination may be appealed to the Planning and Zoning Commission.
- Temporary Accessory Uses.** Temporary accessory uses are permitted in all Downtown Overlay Districts, including outdoor displays, seasonal displays and sales, festivals, and vendors. The following requirements apply:
 - Outdoor displays are permitted up to eight (8) hours per day, no more than three (3) consecutive days in any one (1) month.
 - Build-to Zone. Temporary outdoor displays of merchandise are permitted in the Build-to Zone without a permit, subject to all other requirements of Section 10-21-3.
 - Right-of-way. Any temporary outdoor display or occupation in the right-of-way requires a review approval by the Community Development Director.

How To Use The Code

Permitted Use Table

The Permitted Use Table contains all the uses permitted in the Downtown Overlay District. It is organized by district, so only the information in a parcel's district is applicable to that parcel. The other columns do not apply.

For example, a parcel in CC1 only applies the standards from that column, illustrated below.

Key	Districts				
	CC1: Core	CC2: Shopping	CC3: Core Support	CC4: Residential / Office	CC5: Gateway
Residential & Lodging Uses					
Residential	◐	◐	●	●	◐
Bed & Breakfast				○	
Hotel/Motel	◐	●	●	●	●
Care Facilities	◐	◐	●	○	●
Senior Housing	◐	◐	◐	◐	◐
Civic / Institutional Uses					
Assembly Uses			●	●	●
Civic Offices & Services	●	●	●	●	
Library/Museum	●	●	●	●	●
School: Elementary, Secondary			●	●	●
School: High School				●	●
School, Private or Special				○	○
Retail Uses					
Neighborhood Retail	●	●	●	◐	●
General Retail		●			●
Adult Establishments		◐	◐		◐
Service Uses					
Neighborhood Service	●	●	●	◐	●
General Service		●			●
Automotive Specialty Shop					◐
Service Station					◐
Commercial Amusement, Outdoor					○
Daycare Facility			●	●	●
Hospital			●		●
Veterinary Clinic/Hospital or Kennel (Enclosed)		◐	◐		◐

Figure 10-21-3A (1). Yorkville Code Permitted Uses How-To.

10-21-3 Uses

Districts					
S 1: Bridge Street	S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street	S 5: 'B' Street - Residential	
Residential & Lodging Uses Category					
Residential Dwelling	●	●	●	●	●
Hotel/Motel	●	●	●	●	
Bed & Breakfast Inn	●	●	○	○	○
Residential Care Facility				○	○
Senior Housing		●	●	●	○
Civic & Institutional Uses Category					
Civic Offices & Services	●	●	●	●	●
Library/Museum	●	●	●	○	○
Police & Fire	●	●	●		
Post Office (no distribution)	●	●	●		
Religious & Organization Assembly	●	●	●	●	●
School: Public or Private	○	○	○	○	○
School: College	○	○	○	○	○
Retail & Service Uses Category					
Neighborhood Retail (<8,000 sf)	●	●	●	●	○
General Retail	●	●	●		
Neighborhood Service	●	●	●	○	○
General Service	●	●	●		
Recreation/Entertainment	●	●	●	○	
Automotive Services		○	○	○	
Food Services & Drinking Places	●	●	●	●	○
Office & Industrial Uses Category					
Office	●	●	●	●	
Small-Scale Industry	●	●	●	●	
Infrastructure Uses Category					
Communication Antennae & Towers	○	○	○	○	○
Parking Lot	●	●	●	●	●
Parking Structure	●	●	●	●	●
Public Utility & Infrastructure	●	●	●	●	●
Open Space Uses Category					
Open Space	●	●	●	●	●
Accessory Uses					
Alternative Energy Generation	●	●	●	●	●
Amphitheater		○		○	
Car Washes, Detail Shops, and/or Service Stations		○	○	○	
Drive Through Facility		○	○	○	
Home Occupation	●	●	●	●	●
Outdoor Storage of Goods		●	●	●	
Outdoor Restaurant Dining	●	●	●	●	
Parking Lot (Accessory)	●	●	●	○	
Parking Structure (Accessory)	●	●	●		
Roadside Produce Stand/Vending		●		●	
Sidewalk Sales	●	●	●	○	○
Temporary Storage Containers		●	●	●	●
Mobile Food Vendors	●	●	●	●	●
Temporary Structures	●	●	●	●	●

Key

- Permitted
- Permitted in Upper Stories Only
- Permitted with Development Standards
- Requires Special Use Permit

Table 10-21-3B (1). Permitted Uses Table.

10-21-3 Uses

B. Permitted Use Table

See Table 10-21-3B (1) for a list of permitted and special uses.

C. Use Requirements

1. Residential and Lodging Uses.

A category of uses that include several residence types.

- (a) Refer to 10-2-3 for the following definitions.
 - i. Residential.
 - ii. Bed & Breakfast Inn.
- (b) Hotel/Motel. Refer to 10-2-3 for definition. In the districts where a hotel/motel requires development standards (“●”), rooms shall be located in the upper stories. Lobbies and eating facilities shall be located on the ground floor.
- (c) Residential Care Facility. A facility offering temporary or permanent lodging to the public consisting of an unlimited number of sleeping rooms with or without in-room kitchen facilities. Includes such uses as independent and assisted living facilities, nursing homes, residential care homes, and transitional treatment facilities. Assistance with daily activities may be provided for residents. Secondary service uses may also be provided, such as dining and meeting rooms. Rooms shall be accessed from the interior of the building. In the districts where this use requires a special use permit (“○”), refer to Section 10-21-1F for procedure and development standards.
- (d) Senior Housing. In the districts where Senior Housing requires development standards (“●”), the following shall apply:
 - i. Housing shall be designed, constructed and operated in accordance with the Fair Housing Amendments Act.
 - ii. The Property shall comply with all applicable local, state, and federal regulations and copies of any applicable permits shall be provided to the Department prior to the issuance of a Certificate of Occupancy.
- (e) Use Permits. When a use is listed as permitted with a Use Permit “○,” refer to Section 10-21-1F for procedure and development standards.

2. Civic & Institutional Uses.

A category of uses related to fulfilling the needs of day-to-day community life including assembly, public services, educational facilities, and hospitals.

- (a) Civic Offices & Services. Any use that involves transactions between the City government and residents, property owners, or others doing business with the City or other activities related to the function of the municipality.
- (b) Library/Museum. A structure open to the general public housing educational, cultural, artistic, or historic information, resources, and exhibits. May also include food service and a gift shop.
- (c) Police & Fire. A facility providing public safety and emergency services; training facilities, locker rooms, and limited overnight accommodations may also be included. The facilities shall be housed in a permitted building, but shall have the following additional allowances:
 - i. Garage doors are permitted on the front facade.
 - ii. Exempt from maximum driveway widths.

- (d) Post Office. A publicly accessed facility for the selling of supplies and mail related products and the small scale collection and distribution of mail and packages. Large-scale postal sorting and distribution is not permitted.
- (e) Religious & Organization Assembly. Assembly Uses include Assembly Hall; Church, Temple, or Other Place of Worship; and Clubs.
- (f) Use Permits. When a use is listed as permitted with a Special Use Permit “○,” refer to Section 10-21-1F for procedure and development standards.

3. Retail & Service Uses.

A category of uses that include several retail and service types. Refer to Section 10-2-3 for definitions.

- (a) Neighborhood Retail. A use in this category occupies a space of less than 8,000 square feet. Neighborhood retail includes such uses as those listed in Table 10-21-3C (1).
 - i. When Neighborhood Retail is permitted with development standards “●”, it is limited to 8,000 square feet.
- (b) General Retail. A use in this category includes all Neighborhood Retail uses occupying a space of greater than 8,000 square feet and such uses as those listed in Table 10-21-3C (1).
- (c) Service Uses. A category of uses that provide patrons services and limited retail products related to those services. Visibility and accessibility are important to these uses, as most patrons do not utilize scheduled appointments.
- (d) Neighborhood Service. A use in this category occupies a space of less than 8,000 square feet. Neighborhood service includes such uses as those listed in Table 10-21-3C (2).
 - i. When Neighborhood Service is permitted with development standards “●”, it is limited to 6,000 square feet.
- (e) General Service. A use in this category includes all Neighborhood Service uses occupying a space of greater than 8,000 square feet and such uses as those listed in Table 10-21-3C (2).
- (f) Recreation/Entertainment. Refer to Table 10-21-3C (3).
- (g) Automotive Services. Refer to Section 10-2-3 for definition. In the districts where this use requires a special use permit (“○”), the following applies:
 - i. The use shall meet all of the requirements of the Building Type, refer to Section 10-21-4.
 - ii. Service doors shall all be located on the rear or interior side facade of the building.
 - iii. The showroom or retail space shall be located in the front storefront of the building and shall occupy a minimum of twenty percent (20%) of the gross floor area.
- (h) Food Services & Drinking Places. Food Services & Drinking Places include only the following:
 - i. Full Service Restaurants
 - ii. Carry-out Food Service Stores
 - iii. Quick Service Restaurants
 - iv. Banquet Centers & Caterers
 - v. Drinking Places (Alcoholic Beverages)

- vi. Brewpubs. A microbrewery that brews beer for both on and off-premise consumption, and may include a bar and/or restaurant.
- vii. Wine Establishments. A properly licensed business which sells wine only (not liquor or beer) for both on and off-premise consumption, as well as wine accessories and/or merchandise.

4. **Office & Industrial Uses.** A category of uses for businesses that involve the transaction of affairs of a profession, service, industry, or government. Patrons of these businesses usually have set appointments or meeting times; the businesses do not typically rely on walk-in customers. Office uses include those listed in Table 10-21-3C (4), List of Typical Uses in Office Category.

- (a) Office. Office uses include those listed in Table 10-21-3C (4), List of Typical Uses in Office Category.
- (b) Small-Scale Industry. A use involving small scale manufacturing, production, assembly, and/or repair with little to no noxious by-products that includes a showroom or small retail outlet. Small-Scale Industry includes such uses as those found in Table 10-21-3C (5). List of Typical Uses in Cottage Industry Category. The following development standards apply:
 - i. This use may also include associated facilities such as offices and small scale warehousing, but distribution is limited to vans and small trucks. Distribution access shall be from the rear.
 - ii. The maximum overall gross floor area is limited to 10,000 square feet, unless otherwise noted.
 - iii. The showroom or retail outlet shall be located in the front storefront of the building and shall occupy a minimum of twenty five percent (25%) of the gross floor area.

5. **Infrastructure & Open Space Uses.**

- (a) Communication Antennae & Towers. Refer to Section 10-18. Communication Antennae & Towers located within the right-of-way or on utility poles are permitted.
- (b) Parking Lot. A lot that does not contain a permitted building and is solely used for the parking of vehicles. In the districts where a parking lot requires a special use permit ("○"), the following applies:
 - i. Corner Lots. A corner lot shall not be used as a parking lot.
 - ii. Adjacent Parking Lots. Two (2) parking lots cannot be located directly adjacent to one another.
 - iii. Single Family. Parking lot cannot be associated with a single family use.
 - iv. Distance. Parking lot must be within 1,300 feet of the principal entrance to the associated use unless:
 - (i) At least seventy five percent (75%) of the spaces are dedicated for public use.
 - (ii) An approved joint parking agreement is in place.
 - v. Pedestrian Access. Must be connected to associated use by a dedicated, public pedestrian pathway.
 - vi. Commercial Vehicles. Parking lots for commercial

vehicles are not permitted in Downtown Overlay Districts.

- (c) Parking Structure. A parking structure on a lot that does not contain a permitted Building Type and is solely used for the parking of vehicles. In the districts where a parking lot requires a special use permit ("○"), the following applies:
 - i. Corner Lots. A corner lot shall not be used for a parking structure.
 - ii. Adjacent Parking Lots. Two (2) parking facilities (lots or structures) cannot be located directly adjacent to one another.
 - iii. Primary Street. No facade of the Parking Structure shall be located on a Primary Street. Refer to Figure 10-21-2G (4). For Parking Structures located on a Primary Street, the Main Street Building Type shall be utilized, requiring occupation of the building in the front thirty (30) feet of the facade on any Primary Street.
 - iv. Distance. Parking lot must be within 1,300 feet of the principal entrance to the associated use unless:
 - (i) At least seventy five percent (75%) of the spaces are dedicated for public use.
 - (ii) An approved parking agreement is in place (refer to Section 10-16).
 - v. Pedestrian Access. Must be connected to associated use by a dedicated, public pedestrianway.
 - vi. Commercial Vehicles. Parking structures for commercial vehicles are not permitted in these districts.
- (d) Utility and Infrastructure. A lot that is primarily utilized for the City's infrastructure needs. Utility and infrastructure includes such uses as electric or gas services, sewage treatment, water treatment and storage, and energy conversion systems.

6. **Open Space Uses.** A use of land for active or passive, public or private, outdoor space, including such uses as parks, plazas, greens, playgrounds, or community gardens. Open space uses may also be utilized to host temporary private or community events, such as a farmer's market or art fair. In the districts where open space is permitted with development standards ("●"), the following apply:

- i. Stormwater Accommodations. Open space that incorporates stormwater management on a site or district scale is encouraged.
 - (i) Stormwater facilities shall be designed to accommodate additional uses, such as an amphitheater or a sports field.
 - (ii) Stormwater facilities shall be designed not to be fenced and shall not impede public use of the land they occupy.
- ii. This use may involve small scale food and beverage service, no more than two hundred (200) square feet in space, located in a kiosk, with no service access.
- iii. Buildings located directly adjacent to an open space use shall treat facades facing this use with street facade requirements.

7. **Accessory Uses.** A category of uses that are not permitted to serve as the principal use on a zoning lot. These uses are incidental to

10-21-3 Uses

and customary in connection with the principal building or use and located on the same lot with such principal building or use.

(a) **Alternative Energy Generation.** Refer to Section 10-19.

Alternative energy generation includes structures for solar, wind, and geothermal. The following development standards apply:

- i. **Roof or Building Mounted Solar panels** are permitted with the following requirements:
 - (i) Panels mounted at the same angle of the roof or flush on the building facade are permitted on any roof or building face.
 - (ii) Panels projecting off the roof or building at a different angle are limited to the rear and side facing roofs, unless solar access is limited in these locations.
 - (iii) Panels shall not extend more than ten (10) feet at maximum pitch/tilt above the surface of the roof to which they are attached. On pitched roofs, panels shall not extend more than three (3) feet.
- ii. **Roof Mounted Small Wind Energy Systems** are permitted with the following requirements:
 - (i) Maximum rated capacity of five kW is permitted per turbine.
 - (ii) One turbine is permitted for each seven hundred and fifty (750) square feet of roof area.
 - (iii) Maximum height is fifteen (15) feet above the surface of the roof.
- iii. **Geothermal Energy** is permitted in any yard with the following requirements:
 - (i) Any related above ground structure shall be located in a side or rear yard with a maximum height of ten (10) feet, subject to all requirements of the Building Type.

(b) **Amphitheater.** Refer to Section 10-2-3 for definition. In the districts where an amphitheater is permitted with a special use permit "O," the following apply:

- i. **Location.** The amphitheater shall be located within an Open Space District (refer to Section 10-10).
- ii. The hours of operation shall be posted and limited to the hours of 8:00 a.m. to 11:00 p.m.

(c) **Car Washes, Detail Shops and/or Service Stations.** Refer to Section 10-2-3 for definitions. In the districts where car washes, detail shops and/or service stations are permitted with a special use permit ("O"), the following apply:

- i. **Location.** Use must be located inside a parking garage and not visible from the exterior of the parking garage.

(d) **Drive-through Facility.** In the districts where drive-through structures are permitted with development standards ("O"), the following applies. Refer to Figure 10-21-3C (1) for one illustration of the following requirements.

- i. **Structure/Canopy.** Drive-through structures or canopies shall be located on the rear facade of the building or in the rear of the lot behind the building, where permitted by use. The structure shall not be visible from any Primary Street.

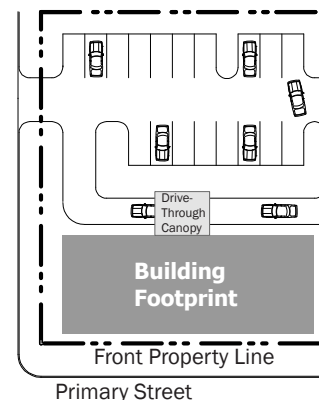


Figure 10-21-3C (1). Recommended drive-through Facility layout.

- ii. **Stacking Lanes.** Stacking lanes shall be located perpendicular to the Primary Street or behind the building.
 - iii. The canopy and structure shall be constructed of the same materials utilized on the building.
- (e) **Home Occupation.** An occupational use that is clearly subordinate to the principal use as a residence and does not require any alteration to the exterior of a building.
- (f) **Outdoor Storage of Goods.**
- i. **Commercial Uses.** This use includes outdoor storage of goods not typically housed or sold indoors, such as large scale materials and building and landscape supplies. In the districts where Outdoor Storage of Goods is permitted with development standards ("O"), the following apply:
 - (i) Loose materials shall not be stacked higher than six (6) feet.
 - (ii) Loose materials shall at a minimum be stored in a three sided shelter and shall be covered.
 - (iii) Materials shall be set back a minimum of ten (10) feet from any property line.
 - (iv) Materials shall not be located on required parking spaces or associated drive aisles.
 - (v) All outdoor storage areas shall be screened from view of adjacent parcels and vehicular rights-of-way using the Side or Rear Buffer.
 - ii. **Residential Uses.** This use includes temporary storage of personal or household goods in personal on demand storage (PODS) containers. In the districts where outdoor storage of goods is permitted with development standards ("O"), the following development standards apply:
 - (i) One (1) storage container can be located on a lot at a time.
 - (ii) On site storage of a container is permitted for up to two (2) months per year.
 - (iii) Containers shall not be located in the Front Yard, but permitted on a driveway.
- (g) **Outdoor Restaurant Dining.** Commercial outdoor dining, serviced by an adjacent service use, and permitted in any

- yard. When in a side yard along the front Lot Line, the Patio Frontage buffer is required.
- (h) **Parking Lot.** An uncovered paved surface used solely for the parking of vehicles, intended for use by the occupants in an adjacent building on the lot. Parking lot locations are regulated by Building Type. Refer to Section 10-21-4.
 - (i) **Parking Structure.** A structure used solely for the parking of vehicles, intended for use by the occupants in an adjacent building on the lot. Parking Structures within the buildings are regulated per Building Type. Refer to Section 10-21-4.
 - (j) **Roadside Produce Stand or Vending.** Refer to Section 10-21-1 for definition.
 - (k) **Sidewalk Sales.** A temporary outdoor sale of merchandise by retail businesses, typically occurring on the sidewalk within the public right-of-way for a limited period of time. In the districts where a Sidewalk Sale is permitted with development standards “C,” the following apply:
 - i. A minimum of four (4) feet of the sidewalk must remain available for passing pedestrians.
 - ii. Sidewalk Sales are permitted for up to three (3) days no more than six (6) times per calendar year.
 - iii. Merchandise must be stored inside the building during non-business hours.
 - iv. Merchandise sold shall either be regularly carried within the store, or have been regularly carried within the store in the past year.
 - (l) **Temporary Storage Containers.** Outdoor storage of personal or retail stock materials on a temporary basis within a portable storage container. When a Temporary Outdoor Storage use is permitted with development standards “C,” the following apply.
 - i. One (1) storage container may be located on a lot at a time.
 - ii. On site storage of a container is permitted for up to two (2) weeks; up to four (4) weeks is permitted with approval of the Director.
 - iii. The container shall be located in the rear yard, screened by the building from any primary or secondary street.
 - (m) **Mobile Food Vendors.** A motorized or towed wheeled vehicle that is designed and equipped to sell food. Shall include both “hot trucks” upon which food is cooked and prepared for vending, and “cold trucks” from which only ready to eat or packaged foods are handled. Refer to Section 10-3-14.

10-21-3 Uses

Neighborhood Retail

(less than 8,000 square feet)

Antique Shop
Art & Education Supplies
Art Gallery
Bakery, Retail
Bicycle Sales & Repair
Book, Magazine, & Newspaper Store
Camera & Photo Supply Store
Candy Store
China & Glassware Shop
Clothing & Clothing Accessories
Coffee Shop
Computer Software Sales
Delicatessen
Electronic Sales & Service
Fabric & Craft Store
Florist
Garden Center/Plant Nursery
Gift, Novelty, & Souvenir Shop
Hardware Store
Hobby Shop
Jewelry Sales & Repair
Luggage & Leather Goods
Microbreweries, Microwineries
Music Store & Instruction
Musical Instrument Repair & Sales
Office Supply
Optical Goods
Paint & Wallpaper
Party Supply Shop
Pet & Pet Supply
Specialty Food Market (Butcher, Fish Market, Produce, etc.), with no alcohol sales
Sporting Goods Sales & Rental
Stationary & Paper Store
Toy Shop
Video/Game Sales
Wine Establishment (no liquor/beer)

General Retail

All Neighborhood Retail (over 8,000 square feet)
Appliance Sales & Service
Department Store
Drug Store/Pharmacy
Furniture & Home Furnishings
General Merchandise Stores
Grocery Store
Medical Supply Store
Used Merchandise Stores (not including books, clothing & antiques)

Recreation/Entertainment

Billiard Parlor
Boat Sales & Rental
Boat Storage
Indoor Playground
Indoor Shooting Gallery/ Gun Range
Marina
Outdoor Music Venue
Railroad Passenger Station
Skating Rink
Stadium
Swimming Pool

Table 10-21-3C (3). List of Typical Uses in Recreation/Entertainment Category

Office

Architecture/Engineering/Design	PR & Advertising
Broadcasting & Telecommunications Studio	Professional Services
Building Contractor (office only)	Property Development
Business Consulting	Real Estate
Charitable Institutions	Research & Development
Clinic	Research Agency
Computer Programming & Support	Surveying
Detective Services	Tax Services
Educational Services (tutor & testing)	
Employment Agency	
Financial & Insurance	
Government Offices	
Legal Services	
Management Services	
Medical & Dental with Laboratory	
Motion Picture & Sound Recording Studio	

Table 10-21-3C (4). List of Typical Uses in Office Category.

Table 10-21-3C (1). List of Typical Uses in Retail Category.

Neighborhood Service

(less than 8,000 square feet)

Amusement Arcade
Barber Shop & Beauty Salon
Catering/Carry-Out & Delivery
Communication Service
Childcare Centers
Dance/Fitness Studio
Dry Cleaning & Laundry
Emergency Care Clinic
Framing
Health & Fitness Center
Home Furniture & Equipment Repair
Locksmith
Mailing Services
Massage Establishments
Nail Salon & Specialty Body
Pet Grooming
Photocopying & Printing
Photography Studio & Supplies
Physical Therapy/Physical Rehabilitation
Repair of Small Goods & Electronics
Restaurant/Bar
Services (Spa)
Shoe Repair
Tailor & Seamstress
Theater
Travel Agency, Ticketing & Tour Operator
Veterinarian (no outdoor training, boarding or kennels)

General Service

All Neighborhood Services (over 8,000 square feet)
Bowling Alley

Small-Scale Industry

Apparel & Finished Fabric Products	Products
Bakery & Confections	Research Laboratory
Beverages, including Beer, Wine, Coffee	Shoes & Boots
Botanical Products	Signs & Advertising
Brooms & Brushes	Smithing
Canning & Preserving Food	Taxidermy
Dairy Products	Toys & Athletic Goods
Electrical Fixtures	Upholstery
Engraving	Woodworking
Fabricated Metal Products	
Film Making	
Furniture & Fixtures	
Glass	
Jewelry, Watches, Clocks, & Silverware	
Leather Products	
Microbreweries, Microwineries	
Musical Instruments & Parts	
Pottery, Ceramics, & Related	

Table 10-21-3C (5). List of Typical Uses in Small-Scale Industry Category.

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10-21-4 Building Types

4.0 Building Types

A. Introduction to Building Type Standards

The buildings detailed in this section outline the Building Types permitted for new construction and renovated structures within the Districts defined in Section 10-21-2.

1. **General.** All Building Types shall meet the following requirements to achieve the intents defined for the districts.
 - (a) Zoning Districts. Each Building Type shall be constructed only within its designated districts. Refer to Table 10-21-4A (1) Permitted Building Types by Districts.
 - (b) Uses. Each Building Type can house a variety of uses depending on the district in which it is located. Refer to 15.3 for uses permitted per district. Some Building Types have additional limitations on permitted uses.
 - (c) No Other Building Types. All buildings constructed shall meet the standards of one of the Building Types within the zoning district of the lot.
 - (d) Permanent Structures. All buildings constructed shall be permanent construction without a chassis, hitch, or wheels, or other features that would make the structure mobile, unless otherwise noted.
 - (e) Accessory Structures.
 - i. Attached accessory structures are considered part of the

principal structure.

- ii. Detached accessory structures are allowed per each Building Type and shall comply with all setbacks except the following:
 - (i) Detached accessory structures are not permitted in the front yard.
 - (ii) Detached accessory structures shall be located behind the principal structure in the rear yard.
 - (iii) Detached accessory structures shall not exceed the height or size (area) of the principal structure.

2. **Page Layout.** Document pages are laid out to provide the maximum amount of information for each building type on one spread of two pages. Refer to Figure 10-21-4A (1) for a typical Building Type layout page.
 - (a) Tables. Refer to Section 10-21-4B for further information on each Table.
 - (b) Graphics typically represent one example of a building that could be developed utilizing the standards for that building type. Graphics are provided to illustrate general intent. In all cases, tables and text supercede graphic representations.

Building Types by Districts						
		Districts				
		S1: Bridge Street	S2: Hydraulic Street	S3: Van Emmon Street	S4: 'B' Street	S5: 'B' Street - Residential
Building Types	Downtown Commercial	●	●	●	●	
	Downtown Living		●	●	●	
	Cottage Commercial	●	●	●	●	
	Civic Building	●	●	●	●	●
	Attached Building			●	●	○
	Yard Building				○	●
		● Permitted	○ Requires Permit / Review			

Table 10-21-4A (1). Permitted Building Types by District

How To Use The Code

Page Layout

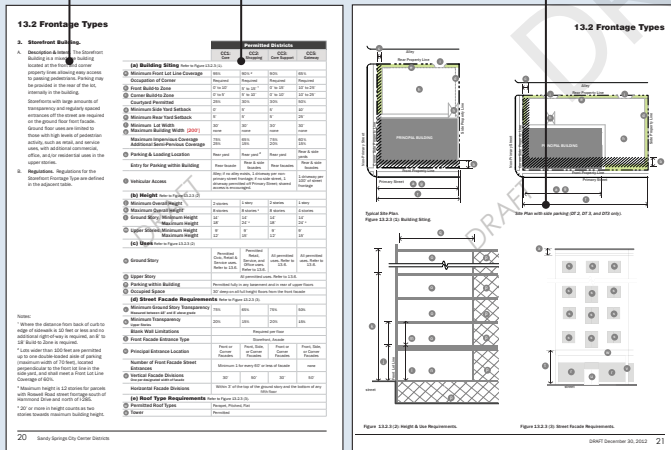
Building Type pages are laid out to provide the maximum amount of information for each Building Type on one spread of two pages.

Graphics typically represent one example of a building that could be developed utilizing the standards for that Building Type. Graphics are provided to illustrate general intent. In all cases, tables and text supercede graphic representations.

Tables define the regulations for each Building Type. Refer to 10-21-4B Explanation of Building Type Table Standards for narrative explanation of each line item.

Graphics related to the tables on the left. Graphics typically represent one example of Building Type standards

Intent of the Building Type.



One Building Type per Spread of Two Pages

Figure 10-21-4A (1). Representative Building Types Spread.

Building Type Tables

Refer to 10-21-4B for an explanation of each line item on the tables. Building Type tables contain all the standards for that Building Type. They are organized by district, so only the information in a parcel's district is applicable to that parcel. The other columns do not apply.

For example, a parcel in CC1 only applies the standards from that column, illustrated below.

		Permitted Districts		
		CC1: Core	CC2: Shopping	CC3: Core Support
(a) Building Siting Refer to Figure 13.2.2 (1).				
a	Minimum Front Lot Line Coverage	95%	90% ²	90%
	Occupation of Corner	Required	Required	Required
b	Front Build-to Zone	0' to 10'	5' to 15' ¹	0' to 15'
c	Corner Build-to Zone	0' to 5'	5' to 10'	0' to 10'
	Courtyard Permitted	25%	30%	30%
d	Minimum Side Yard Setback	0'	5'	5'
e	Minimum Rear Yard Setback	5'	5'	5'
f	Minimum Lot Width	30'	30'	30'
g	Maximum Building Width	none	none	none
	Maximum Impervious Coverage	75%	65%	75%
	Additional Semi-Pervious Coverage	25%	15%	20%
h	Parking & Loading Location	Rear yard	Rear yard ²	Rear yard
	Entry for Parking within Building	Rear facade	Rear & side facades	Rear facades
i	Vehicular Access	Alley; if no alley exists, 1 driveway per non-primary street frontage; if no side street, 1 driveway permitted off Primary Street; shared access is encouraged.		
(b) Height Refer to Figure 13.2.2 (2)				
j	Minimum Overall Height	2 stories	1 story	2 stories
k	Maximum Overall Height	8 stories	8 stories ³	8 stories
l	Ground Story: Minimum Height	14'	14'	14'
	Maximum Height	18'	24' ⁴	18'
m	Upper Stories: Minimum Height	9'	9'	9'
	Maximum Height	12'	15'	12'
(c) Uses Refer to Figure 13.2.2 (2)				
n	Ground Story	Permitted Civic, Retail & Service uses. Refer to 13.6.	Permitted Retail, Service, and Office uses. Refer to 13.6.	All permitted uses. Refer to 13.6.
o	Upper Story	All permitted uses. Refer to 13.6.		
p	Parking within Building	Permitted fully in any basement and in rear of upper floors		
q	Occupied Space	30' deep on all full height floors from the front facade		
(d) Street Facade Requirements Refer to Figure 13.2.2 (3).				
r	Minimum Ground Story Transparency Measured between 18" and 8' above grade	75%	65%	75%
s	Minimum Transparency Upper Stories	20%	15%	20%
	Blank Wall Limitations	Required per floor		
t	Front Facade Entrance Type	Storefront, Arcade		
u	Principal Entrance Location	Front or Corner Facades	Front, Side, or Corner Facades	Front or Corner Facades
	Number of Front Facade Entrances	Minimum 1 for every 60' or less of facade		
v	Vertical Facade Divisions One per designated width of facade	30'	50'	30'
	Horizontal Facade Divisions	Within 3' of the top of the ground story and the bottom of any fifth floor		
(e) Roof Type Requirements Refer to Figure 13.2.2 (3).				
w	Permitted Roof Types	Parapet, Pitched, Flat		
x	Tower	Permitted		

Figure 10-21-4A (2). Building Type Table Example.

10-21-4 Building Types

B. Explanation of Building Type Table Standards

The following explains and further defines the standards outlined on the tables for each Building Type, refer to Sections 10-21-4C through 10-21-4H.

1. **Building Siting.** The following explains the line item requirements for each Building Type Table within the first section entitled "Building Siting". Table 10-21-4B (1) illustrates an example of a Building Siting Table from a typical Building Type.
 - (a) **Multiple Principal Structures.** The allowance of more than one (1) principal structure on a lot.
 - (b) **Minimum Front Lot Line Coverage.** Refer to Figure 10-21-4B (1). Measurement defining the minimum percentage of street wall or building facade along the street. The width of the principal structure(s) (as measured within the front build-to zone) shall be divided by the maximum width of the front build-to zone (BTZ).
 - i. Certain buildings have this number set to also allow the development of a courtyard along the front lot line.
 - ii. Some frontage types allow side yard parking to be exempted from the front lot line coverage calculation. If such an exemption is permitted, the width of up to one (1) double loaded aisle of parking, located with the drive perpendicular to the street and including adjacent sidewalks and landscaping, may be exempted, to a set maximum in feet.
 - iii. When driveway is located at the front lot line (Figure 10-21-4B (1)) and a side yard parking is not utilized, a driveway width of twenty (20) feet may be deducted from the width of the BTZ and is not included in the calculation of the minimum front lot line.
 - (c) **Occupation of Corner.** Occupying the intersection of the front and corner build-to zones with a principal structure.
 - (d) **Front Build-to Zone.** The build-to zone or setback parallel to the front lot line. Building components, such as awnings or signage, are permitted to encroach beyond the build-to zone.
 - i. All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (e) **Corner Build-to Zone.** The build-to zone or setback parallel to the corner side property line.
 - i. All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (f) **Minimum Side Yard Setback.** The minimum required setback along a side property line.
 - i. All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (g) **Minimum Rear Yard Setback.** The minimum required setback along a rear property line.
 - i. All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (h) **Minimum Lot Width.** The minimum width of a lot, measured at the build-to zone.

	Permitted Districts	
	District A	District B
(a) Building Siting		
Multiple Principal Buildings	Not permitted	Not permitted
Minimum Front Lot Line Coverage	95%	65%
Occupation of Corner	Required	Required
Front Build-to Zone	0' to 20' ¹	5' to 20' ¹
Corner Build-to Zone	0' to 5'	0' to 10'
Minimum Side Yard Setback	0'	5'
Minimum Rear Yard Setback	5'; 25' if located adjacent to residential	
Minimum Lot Width	30'	30'
Maximum Building Width	none	none
Maximum Impervious Coverage	75% ³	65% ³
Additional Semi-Pervious Coverage	25%	15%
Parking & Loading Location	Rear yard	Rear yard
Entry for Parking within Building	Rear & Side Facades	
Vehicular Access	Alley; if no alley exists, 1 driveway per street frontage	

Table 10-21-4B (1). Example Building Siting Requirements Table from a Typical Building Type.

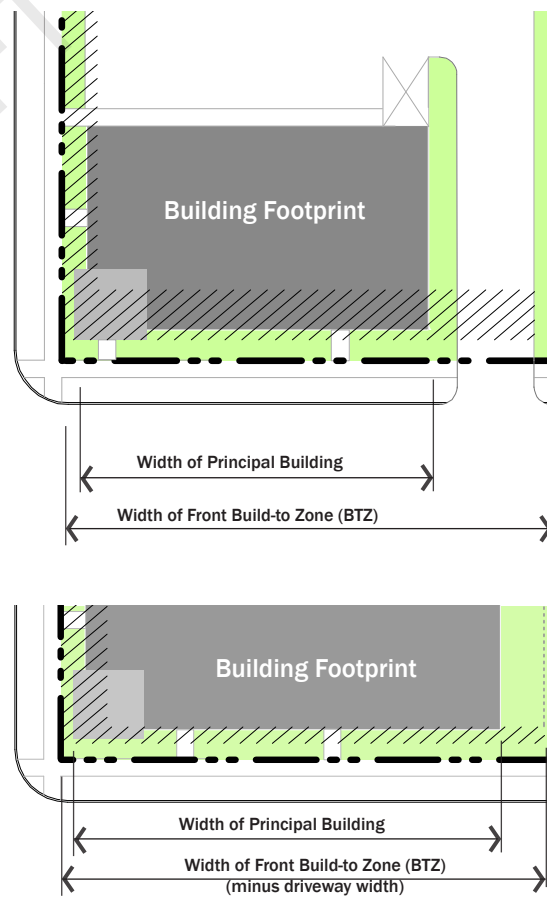


Figure 10-21-4B (1). Measuring Front Lot Line Coverage

10-21-4 Building Types

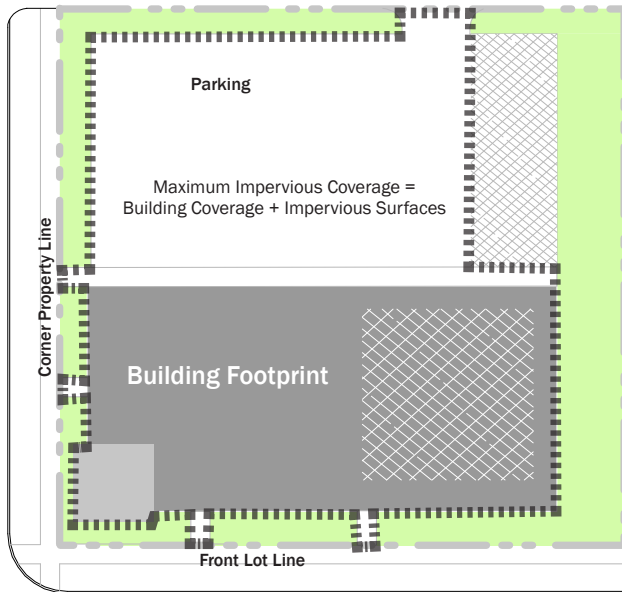


Figure 10-21-4B (2). Maximum Impervious & Additional Semi-Pervious Coverage.

- (i) Maximum Building Width. The maximum width of a building, measured across the front facade.
 - (j) Maximum Impervious Coverage. (Refer to Figure 10-21-4B (2)). The maximum percentage of a lot permitted to be covered by principal structures, accessory structures, pavement, and other impervious surfaces.
 - (k) Additional Semi-Pervious Coverage. The additional percentage of a lot beyond the Maximum Impervious Coverage, which may be surfaced in a semi-pervious material, including a green roof or pavers.
 - (l) Parking & Loading Location. The yard in which a surface parking lot, detached garage, attached garage door access, loading and unloading, and associated drive is permitted.
 - (m) Entry for Parking within Building. Permitted garage door location for parking entrance when parking is located within building.
 - (n) Vehicular Access. The permitted means of vehicular ingress and egress to the lot.
 - i. Alleys, when present, shall always be the primary means of access.
 - ii. When alleys are not present, a driveway may be permitted per Building Type and, if an alternative is available, shall not be located off a Primary Street.
2. **Height.** The following explains the line item requirements for each Building Type Table within the second section entitled "Height". Table 10-21-4B (2), illustrates an example of a Height Requirements Table from a typical Building Type.
- (a) Minimum Height (in Stories). The minimum overall height for

	Permitted Districts	
	District A	District B
(b) Height		
Minimum Overall Height	2 stories	2 story
Maximum Overall Height	5 stories	5 stories
Ground Story: Minimum Height	14'	14'
Maximum Height	18'	18'
Upper Stories: Minimum Height	9'	9'
Maximum Height	12'	12'

Table 10-21-4B (2). Example Height Requirements Table from a Typical Building Type.

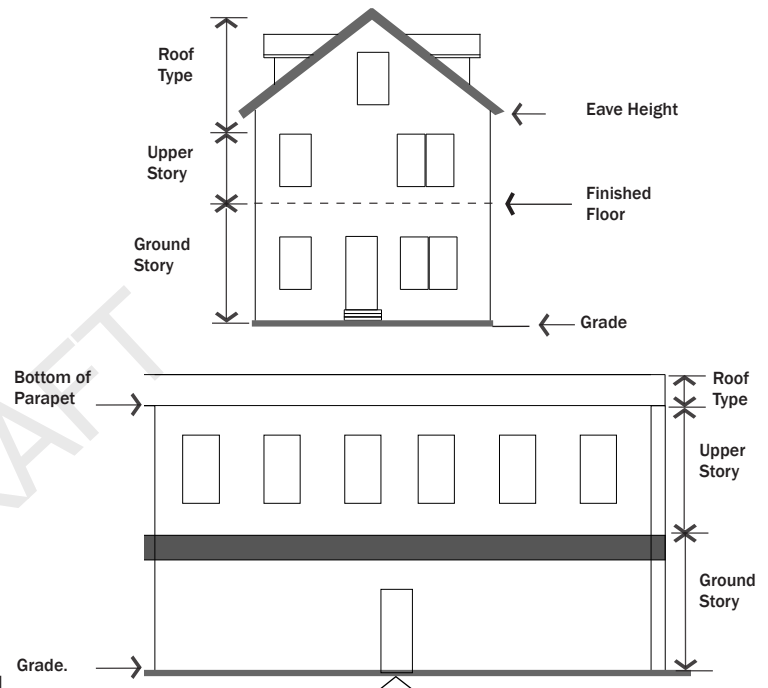


Figure 10-21-4B (3). Measuring Height

the building shall be located within the build-to zone; stories above the minimum height may be stepped back from the facade.

- (b) Maximum Height (in Stories). The sum of a building's total number of stories.
 - i. Half stories are located either completely within the roof structure with street-facing windows or in a visible basement exposed a maximum of one half story above grade.
 - ii. A building incorporating both a half story within the roof and a visible basement shall count the height of the two (2) half stories as one (1) full story.
 - iii. Some Building Types require a building facade to step back as its height increases. The upper stories of any building facade with street frontage shall be setback a designated amount beyond the building facade of the lower stories.

10-21-4 Building Types

- iv. Floors within the building shall be visibly designated on the street facades by the use of expression lines or the layout of the windows.
- (c) Ground Story and Upper Story, Minimum and Maximum Height. (Refer to Figure 10-21-4B (3)). Each frontage type includes a permitted range of height in feet for each story. Additional information is as follows:
 - i. Floor height is measured in feet between the floor of a story to the floor of the story above it.
 - ii. For single story buildings and the uppermost story of a multiple story building, floor to floor height shall be measured from the floor of the story to the tallest point of the ceiling.
 - iii. Double height spaces may be located along any non-street facade or in the entrance way to the building. The entrance way shall not exceed fifty percent (50%) of the street facade.

3. **Uses.** The following explains the line item requirements for each Building Type Table within the third section entitled "Uses." Refer to Section 10-21-3 for uses permitted within each District. The requirements in this section of the Building Type Tables may limit those uses within a specific Building Type. Table 10-21-4B (3) illustrates an example of the Uses table from a typical Building Type.

- (a) Ground and Upper Story. The uses or category of uses which may occupy the ground and/or upper story of a building.
- (b) Parking Within Building. The area(s) of a building in which parking is permitted within the structure.
- (c) Occupied Space. The area(s) of a building that shall be designed as occupied space, defined as interior building space regularly occupied by the building users. It does not include storage areas, utility space, or parking.

4. **Street Facade Requirements.** The following explains the line item requirements for each Building Type Table within the fourth section entitled "Street Facade Requirements." These requirements apply only to facades facing a public or private street right-of-way. The rear or interior side yard facades are not required to meet these standards unless otherwise stated. Table 10-21-4B (4) illustrates an example of a Street Facade Requirements Table from a typical Building Type.

- (a) Minimum Ground Story and Upper Floor Transparency. (Refer to Figure 10-21-4B (5)). The minimum amount of transparency on street facades with street frontage.
 - i. Transparency is any glass in windows and/or doors, including any mullions, that is highly transparent with low reflectance.
 - (i) Ground Story Transparency, when defined separately from the overall minimum transparency, shall be measured between two (2) feet and eight (8) feet from the base of the front facade.
 - (ii) A general Minimum Transparency requirement shall be measured from floor to floor of each story.
- (b) Blank Wall Limitations. A restriction of the amount of windowless area permitted on a facade with street frontage. If required, the following shall both be met for each story:

- i. No rectangular area greater than thirty percent (30%) of a story's facade, as measured from floor to floor, may be windowless; and
- ii. No horizontal segment of a story's facade greater than fifteen (15) feet in width may be windowless.

5. Entrance Type.

- (a) Front Facade Entrance Type. The Entrance Type(s) permitted for the entrance(s) of a given Building Type. A mix of permitted Entrance Types may be utilized. Refer to Section 10-21-4I Entrance Types for definition of and additional requirements for each.
- (b) Principal Entrance Location. The facade on which the primary building entrance is to be located.

Permitted Districts	
District A	District B
(c) Uses	
Ground Story	Per Section 15.3 Uses
Upper Story	Per Section 15.3 Uses
Parking within Building	Permitted fully in any basement and in rear of upper floors
Occupied Space	20' deep on all full height floors from the front facade

Table 10-21-4B (3). Example Uses Table from a Typical Building Type.

		Permitted Districts	
		District A	District B
(d) Street Facade Requirements			
Minimum Ground Story Transparency Measured between 2' and 8' above grade	65%	65%	
Minimum Transparency Upper Stories	20%	20%	
Blank Wall Limitations	Required per floor		
Front Facade Entrance Type	Storefront, Arcade		
Principal Entrance Location	Front or Corner Facades		
Number of Street Entrances	Minimum 1 for every 50' or less of facade		
Ground Story Vertical Divisions	One per every 30' of facade width		
Horizontal Facade Divisions	Within 3' of the top of the ground story and the bottom of any fifth floor		
Facade Variety Required Refer to 15.4B.4(h) for requirements.	Every 80' of facade width		

Table 10-21-4B (4). Example Street Facade Requirements Table from a Typical Building Type.

10-21-4 Building Types

- (c) Number of Street Entrances. The minimum number of and maximum spacing between entrances on the ground floor building facade with street frontage.
- (d) Ground Story Vertical Divisions. The use of a vertically oriented expression line or form to divide the ground floor facade into increments no greater than the dimension shown in Figure 10-21-4I (1), as measured along the base of the facade, and extending a minimum of eighty percent (80%) from the average grade of the facade elevation to the interior ceiling. Elements may include a column, pilaster, or other continuous vertical ornamentation.
- (e) Horizontal Facade Divisions. The use of a horizontally oriented expression line or form to divide portions of the facade into horizontal divisions, extending a minimum of ninety percent (90%) of the full width of the facade. Elements may include a cornice, belt course, molding, string courses, or other continuous horizontal ornamentation a minimum of one and a half inch depth.
- (f) Facade Variety Requirements. Building design shall vary between designated vertical facade divisions, where required per the Building Type, and from adjacent buildings by the type of dominant material or color, scale, or orientation of that material and at least two of the following. Refer to Figure 10-21-4B (5) for one illustration of this requirement.
 - i. The proportion of recesses and projections.
 - ii. The location of the entrance and window placement, unless storefronts are utilized.
 - iii. Roof type, plane, or material, unless otherwise stated in the Building Type requirements.

6. **Roof Type.** The following explains the line item requirements for each Building Type Table in Sections 10-21-4C through 10-21-4H, within the fifth section entitled "Roof Types." Table 10-21-4B (5) illustrates an example of a Roof Type Requirements Table from a typical Building Type.

- (a) Permitted Roof Type. The roof type(s) permitted for a given Building Type. Refer to Section 10-21-4J for more specific requirements.
- (b) Tower. A vertical building extension that may be permitted in conjunction with another roof type on certain Building Types. Refer to Section 10-21-4J.



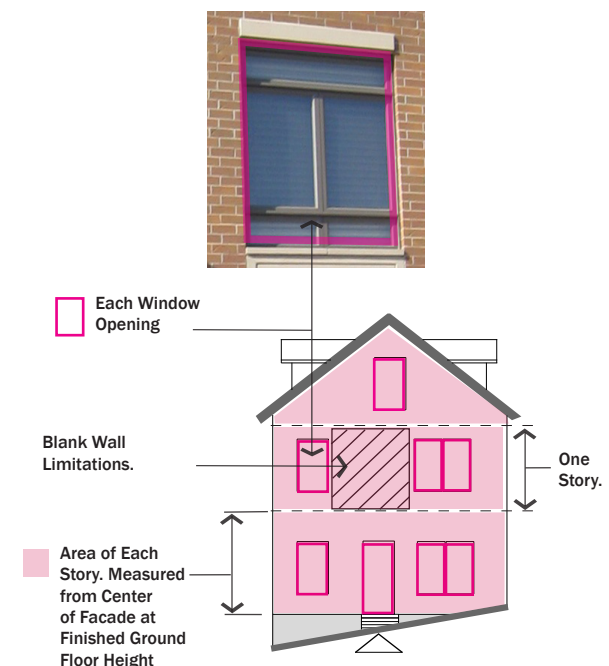
Figure 10-21-4B (4). Building Variety.

Permitted Districts	
District A	District B
(e) Roof Type Requirements	
Permitted Roof Types	Parapet, Pitched, Flat
Tower	Permitted

Table 10-21-4B (5). Example Roof Type Requirements Table from a Typical Building Type.



Measuring Ground Floor Transparency on a Storefront Base.



Measuring Transparency on Each Story with Slope.

Figure 10-21-4B (5). Measuring Transparency.

10-21-4 Building Types

C. Downtown Commercial Building

- Description & Intent.** The Downtown Commercial Building is a building located at the front and corner property lines allowing easy access to passing pedestrians. Parking may be provided in the rear of the lot, internally in the building, or, in some cases, no off-street parking is required.

Storefronts with large amounts of transparency and regularly spaced entrances off the street are utilized on the ground floor front facade. Ground floor uses are limited to those with high levels of pedestrian activity, such as retail, service, and office uses, with additional commercial, office, and/or residential uses in the upper stories.

- Regulations.** Regulations for the Downtown Commercial Building Type are defined in the adjacent table.

Notes:

¹ Each building shall meet all requirements of the Building Type.

² A max. six (6) foot gap is allowed if it serves as a walkable passage.

³ If located adjacent to flood hazard area, refer to requirements of the Yorkville Stormwater Ordinance No. 2012-56. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

⁴ Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

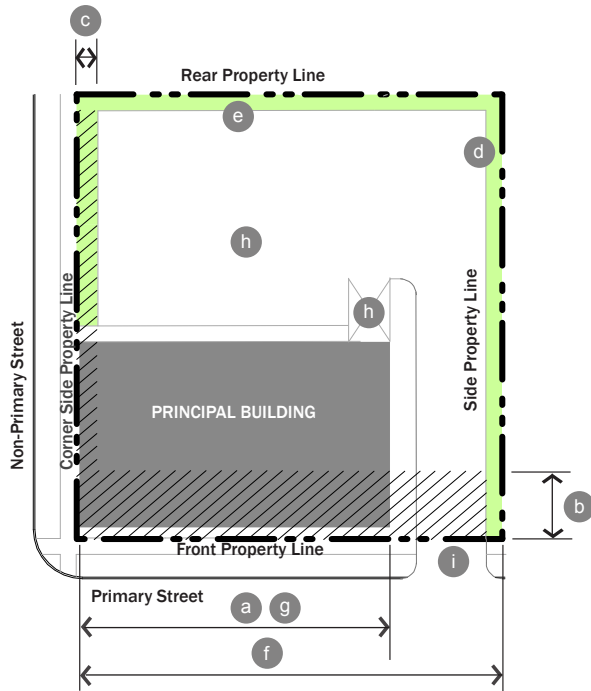
⁵ Lots wider than one hundred (100) feet are permitted one double-loaded aisle of parking (maximum width of seventy (70) feet), located perpendicular to the front lot line and shall meet a Front Lot Line Coverage of sixty percent (60%).

⁶ Eighteen (18) feet or more in height counts as two (2) stories towards maximum building height.

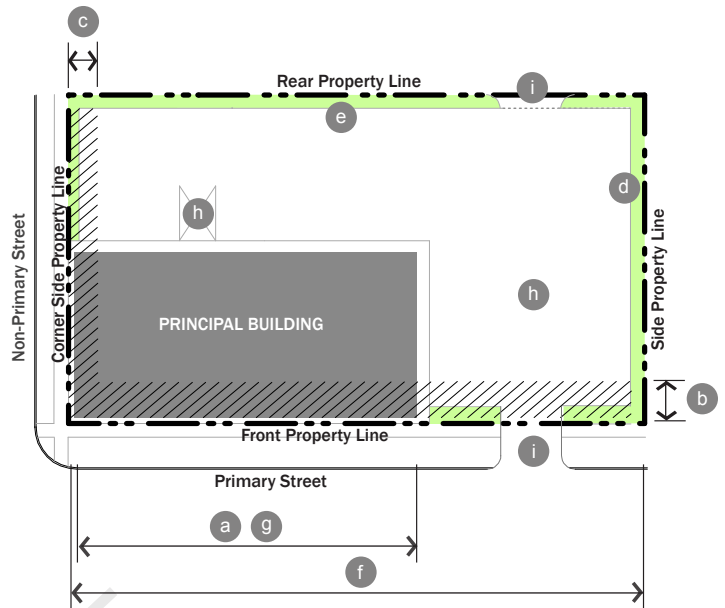
⁷ Corner Clearance: No building, structures or landscaping which obstructs vision on any corner lot between a height of two (2) feet and ten (10) feet above the finished grade of either street within a twenty-five (25) foot triangle formed by the intervening street lines are permitted.

		Permitted Districts			
		S 1: Bridge Street	S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street
(a) Building Siting Refer to Figures 10-21-4C (1) and 10-21-4C(2)					
Multiple Principal Buildings		Permitted ¹			
a	Minimum Front Lot Line Coverage	100% ²	75%	90% ²	65%
Occupation of Corner		Required ⁷			
b	Front Build-to Zone	0' to 5'			0' to 10'
c	Corner Build-to Zone	0' to 5'	0' to 10'		
d	Minimum Side Yard Setback	0'; 5' if adjacent to other Building Type			5'
e	Minimum Rear Yard Setback	5'; 25' if located adjacent to residential ³			
f	Minimum Lot Width	none	16'		
g	Maximum Building Width	none	none		
Maximum Impervious Coverage		95% ⁴	80% ⁴		
Additional Semi-Pervious Coverage		5%	20%		
h	Parking & Loading Location	Rear yard; existing developed sites require no add'l parking and/or loading facilities	Rear Yard & Side Yard ⁵		
Entry for Parking within Building		Rear & Side Facades			All Sides
i	Vehicular Access	none	Alley; if no alley exists, 1 driveway per every 80' of frontage is permitted off non-Primary street; if no side street, 1 driveway permitted off Primary Street; shared access is encouraged.		
(b) Height Refer to Figure 10-21-4C (3)					
j	Minimum Overall Height	2 stories	1 story		
k	Maximum Overall Height	6 stories (with min. 3' setback at 3 stories)	4 stories		
l	Ground Story: Minimum Height	14'	12'	14'	12'
	Maximum Height	24' ⁶	24' ⁶	24' ⁶	24' ⁶
m	Upper Stories: Minimum Height	9'			
	Maximum Height	14'			
(c) Uses Refer to Figure 10-21-4C (3)					
n	Ground Story	Per Section 10-21-3 Uses; residential permitted provided that it is located at least 20' from the front primary facade			
o	Upper Story	Per Section 10-21-3 Uses			
p	Parking within Building	Permitted fully in any basement and in rear of all floors			
q	Occupied Space	20' deep on all full height floors from the front facade			
(d) Street Facade Requirements Refer to Figure 15.4C (4)					
r	Minimum Ground Story Transparency Measured between 2' and 8' above grade	50%			30%
s	Minimum Upper Story Transparency Street-Facing Stories	20%		15%	
t	Front Facade Entrance Type	Storefront, Elevated Storefront (permitted only on parcels in flood hazard areas per Section 18 of the City's Code of Ordinances)			
u	Principal Entrance Location	Front or Corner Facades			
Number of Street Entrances		Minimum 1 for every 30' or less of facade	Minimum 1 for every 50' or less of facade		Minimum 1 for every 80' or less of facade
Ground Story Vertical Divisions		One per every 20-40' of facade width			
Horizontal Facade Divisions		Within 3' of top of ground story and the bottom of any fifth floor		Within 3' of top of ground story	
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.		Every 40' of facade width		Every 50' of facade width	
(e) Roof Type Requirements Refer to Figure 10-21-4C (4)					
v	Permitted Roof Types	Parapet, Pitched, Flat			
	Tower	Permitted			

10-21-4 Building Types



Typical Site Plan.
Figure 10-21-4C (1): Building Siting.



Site Plan with side parking (S 2 and S4 only).
Figure 10-21-4C (2): Building Siting.

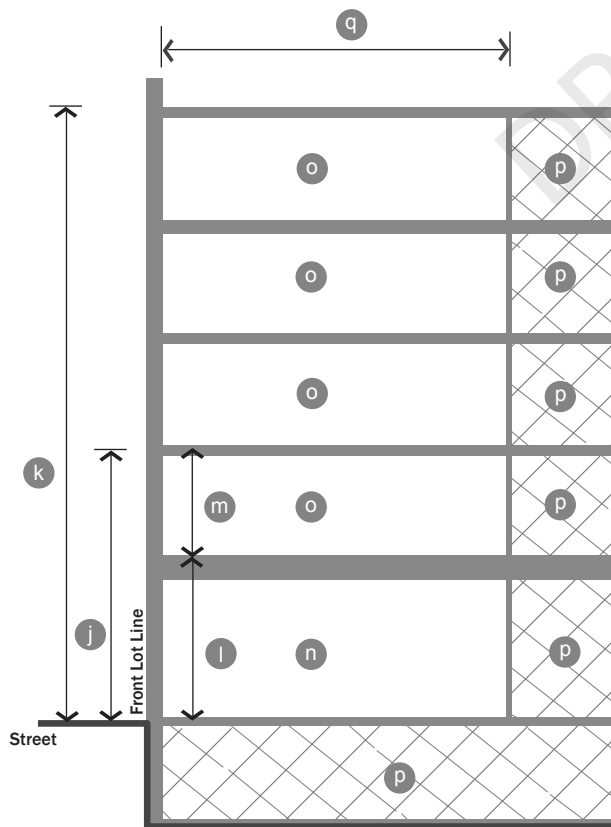


Figure 10-21-4C (3): Height & Use Requirements.

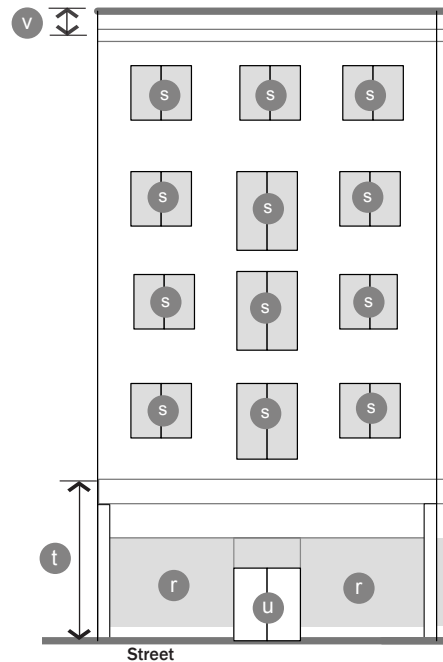


Figure 10-21-4C (4): Street Facade Requirements.

10-21-4 Building Types

D. Downtown Living Building

- Description & Intent.** The Downtown Living Building Type is limited in terms of uses by the district within which it is located, generally housing office and/or residential uses. Similar to the Downtown Commercial Building, the Downtown Living building is intended to be built close to the front and corner property lines, but generally allows for more landscape space between the building and the street. Parking may be provided in the rear of the lot, internally in the building, or, in some cases, one double loaded aisle of parking is permitted in the interior or the side yard at the front lot line.
- Regulations.** Regulations for the Downtown Living Building Type are defined in the adjacent table.

Notes:

¹ Each building shall meet all requirements of the Building Type.

² If located adjacent to flood hazard area, refer to requirements of the Yorkville Stormwater Ordinance No. 2012-56. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

³ Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

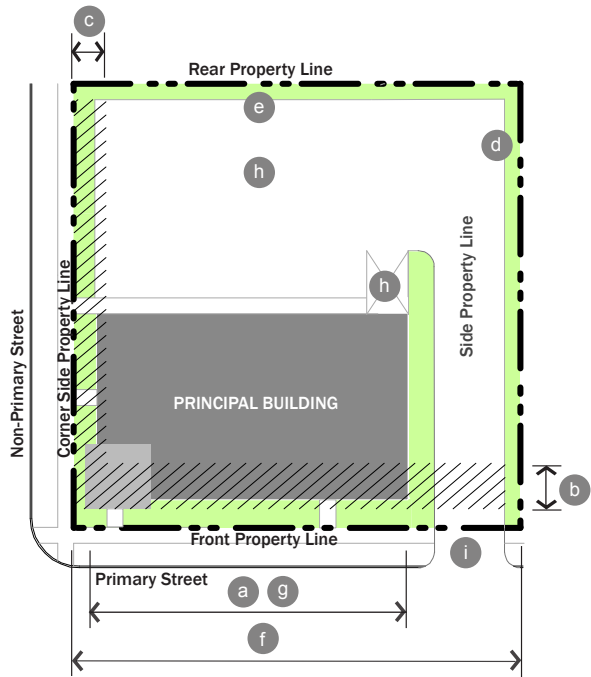
⁴ Lots wider than one hundred (100) feet are permitted one double-loaded aisle of parking (maximum width of seventy (70) feet), located perpendicular to the front lot line and shall meet a Front Lot Line Coverage of sixty percent (60%).

⁵ Corner Clearance: No building, structures or landscaping which obstructs vision on any corner lot between a height of two (2) feet and ten (10) feet above the finished grade of either street within a twenty-five (25) foot triangle formed by the intervening street lines are permitted.

Permitted Districts		
S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street

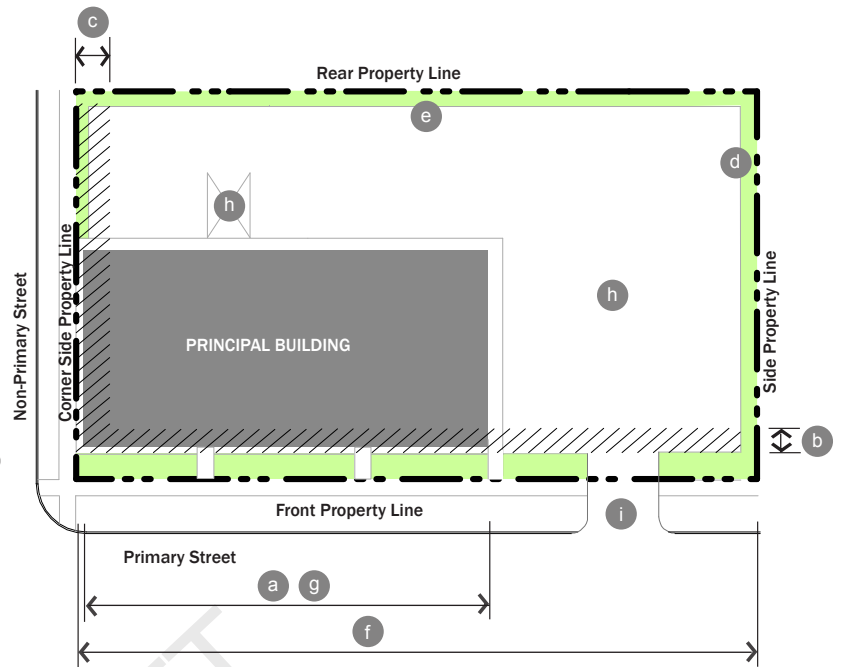
(a) Building Siting Refer to Figures 10-21-4D (1) and 10-21-4D (2)			
Multiple Principal Buildings		Permitted ¹	
a	Minimum Front Lot Line Coverage	75%	50%
Occupation of Corner		Required ⁵	
b	Front Build-to Zone	5' to 15'	5' to 20'
c	Corner Build-to Zone	0' to 10'	5' to 20'
d	Minimum Side Yard Setback	5'	10'
e	Minimum Rear Yard Setback	5'; 25' if located adjacent to residential ²	
f	Minimum Lot Width	16'	
g	Maximum Building Width	none	
Maximum Impervious Coverage		65% ³	75% ³
Additional Semi-Pervious Coverage		20%	20%
h	Parking & Loading Location	Rear yard ⁴ , Side Yard	
Entry for Parking within Building		Rear & Side Facades	
i	Vehicular Access	Alley; if no alley exists, 1 driveway per every 80' of frontage is permitted off non-Primary street; if no side street, 1 driveway permitted off Primary Street; shared access is encouraged.	
(b) Height Refer to Figure 10-21-4D (3)			
j	Minimum Overall Height	1 story	
k	Maximum Overall Height	4 stories	
l	All Stories: Minimum Height	9'	
	Maximum Height	14'	
(c) Uses Refer to Figure 10-21-4D (3).			
m	All Stories	Per Section 10-21-3 Uses; residential dwelling allowed provided that it is located at least 20' from the front primary facade	
n	Parking within Building	Permitted fully in any basement and in rear of all floors	
o	Occupied Space	20' deep on all full height floors from the front facade	
(d) Street Facade Requirements Refer to Figure 10-21-4D (4).			
p	Minimum Transparency Per each Story	20%	
q	Front Facade Entrance Type	Stoop, Porch	
r	Principal Entrance Location	Front facade or corner facade	
Number of Street Entrances		Minimum 1 for every 100' or less of facade	
Ground Story Vertical Divisions		Every 60' of facade width	
Horizontal Facade Divisions		Within 3' of the top of the ground story and any visible basement	
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.		Every 50' of facade width	
(e) Roof Type Requirements Refer to Figure 10-21-4D (4)			
s	Permitted Roof Types	Parapet, pitched, flat	
t	Tower	Permitted	

10-21-4 Building Types



Typical Site Plan.

Figure 10-21-4D (1): Building Siting.



Site Plan with side parking (S 3 and S 4 only).

Figure 10-21-4D (2): Building Siting.

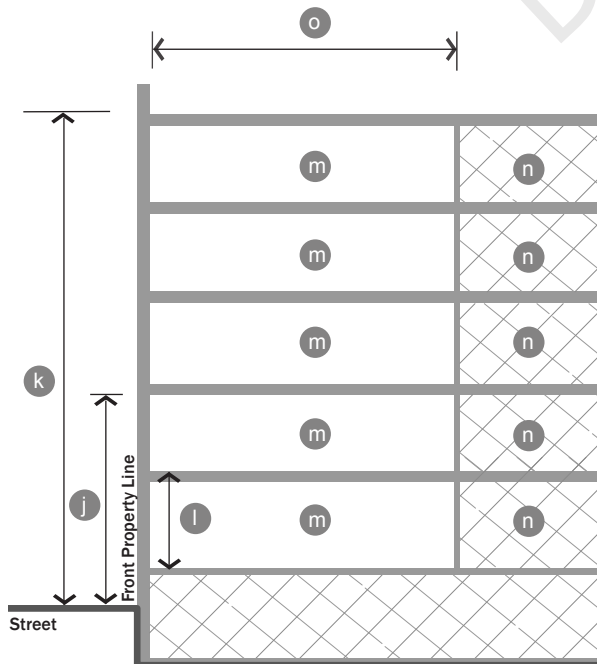


Figure 10-21-4D (3): Height & Use Requirements.

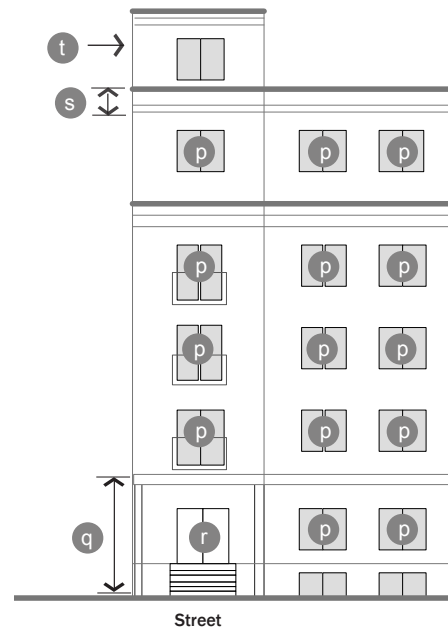


Figure 10-21-4D (4): Street Facade Requirements.

10-21-4 Building Types

E. Cottage Commercial Building

- Description & Intent.** The Cottage Commercial Building combines characteristics of the Downtown Commercial Building Type with physical characteristics of a residential cottage, such as a pitched roof and a front stoop or porch.

This lower-scale building has a pedestrian-friendly storefront, stoop, or porch entrance type with moderate transparency and a primary entrance that faces the street. Constructed with Setbacks similar to a residential cottage, this building typically has more landscape area than the Downtown Commercial Building Types. Parking is permitted in the rear of the lot or a side aisle (with conditions).

The Cottage Commercial Building may contain a mix of uses, including retail, service, and office uses on the ground floor, with residential uses on upper floors.

- Regulations.** Regulations for the Cottage Commercial building type are defined in the adjacent table.

Notes:

¹ Each building shall meet all requirements of the Building Type.

² If located adjacent to flood hazard area, refer to requirements of the Yorkville Stormwater Ordinance No. 2012-56. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

³ Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

⁴ Lots wider than eighty (80) feet are permitted one single-loaded aisle of parking (maximum width of forty (40) feet), located perpendicular to the front lot line, and shall meet a Front Lot Line Coverage of fifty percent (50%).

⁵ Attached garages are considered part of the principal building and shall meet all setbacks. Detached garages shall meet all setbacks unless an alley is present. When an alley is present, detached garages shall have a minimum rear setback of five (5) feet.

⁶ Corner Clearance: No building, structures or landscaping which obstructs vision on any corner lot between a height of two (2) feet and ten (10) feet above the finished grade of either street within a twenty-five (25) foot triangle formed by the intervening street lines are permitted.

		Permitted Districts			
		S 1: Bridge Street	S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street
(a) Building Siting Refer to Figure 10-21-4E (1)					
Multiple Principal Buildings		Refer to District Street Details			
a	Minimum Front Lot Line Coverage	60%	50%	40%	
Occupation of Corner		Required ⁶			
b	Front Build-to Zone	5' to 10'	5' to 20'		
c	Corner Build-to Zone	5' to 10'	5' to 25'	5' to 15'	
d	Minimum Side Yard Setback	10'	15'		
e	Minimum Rear Yard Setback	25' ²			
f	Minimum Lot Width	25'			
g	Maximum Building Width	50'			
Maximum Impervious Coverage		70% ³		60% ³	
Additional Semi-Pervious Coverage		15%		15%	
h	Parking & Loading Location	Rear yard; attached garages access off rear facade only. ^{4,5}			
Entry for Parking within Building		Not Permitted on Primary Street			
i	Vehicular Access	Alley; if no alley exists, 1 driveway permitted off non-Primary street; if no side street, 1 driveway permitted off Primary Street; shared access is encouraged.			
(b) Height Refer to Figure 10-21-4E (2)					
j	Minimum Overall Height	none			
k	Maximum Overall Height	3.5 stories			
l	Minimum Ground Story Height	10'			
(c) Uses Refer to Figure 10-21-4E (2)					
m	Ground Story	Per Section 10-21-3 Uses			
n	Upper Stories	Per Section 10-21-3 Uses			
o	Parking within Building	Not Permitted on Primary Street			
p	Occupied Space	20' deep on all full height floors from the front facade			
(d) Street Facade Requirements Refer to Figure 10-21-4E (3)					
q	Minimum Ground Story Transparency Measured between 2' and 8' above grade	40%	30%		
r	Minimum Transparency Upper Stories	15%			
Blank Wall Limitations		Required per floor			
s	Front Facade Entrance Type	Porch (Storefront, Elevated Storefront permitted only on parcels in flood hazard areas per Section 18 of the City's Code of Ordinances; Stoop permitted with design review			
t	Principal Entrance Location	Front or corner side facade			
Number of Street Entrances		Minimum 1 per Building			
Ground Story Vertical Divisions		Not required			
Horizontal Facade Divisions		Within 3' of the top of any visible basement			
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.		Between adjacent buildings			
(e) Roof Type Requirements Refer to Figure 10-21-4E (3)					
u	Permitted Roof Types	Pitched			
Tower		Permitted			

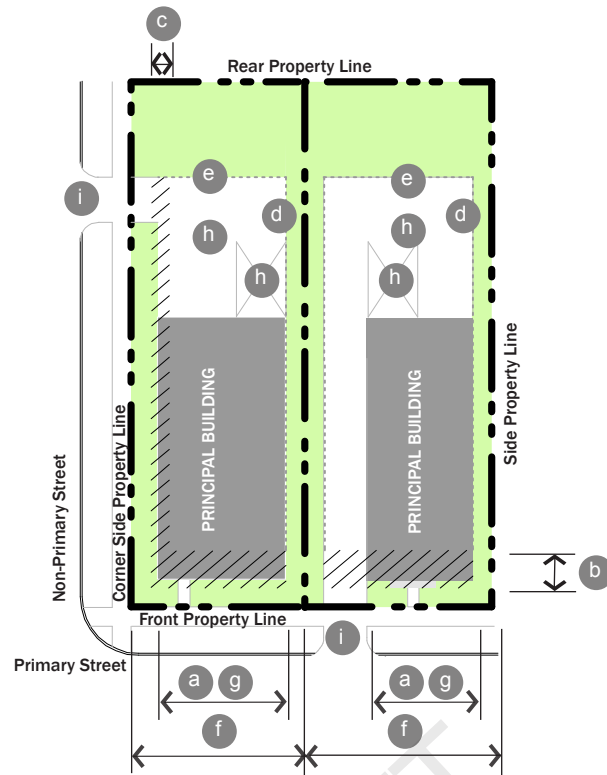


Figure 10-21-4E (1). Building Siting.

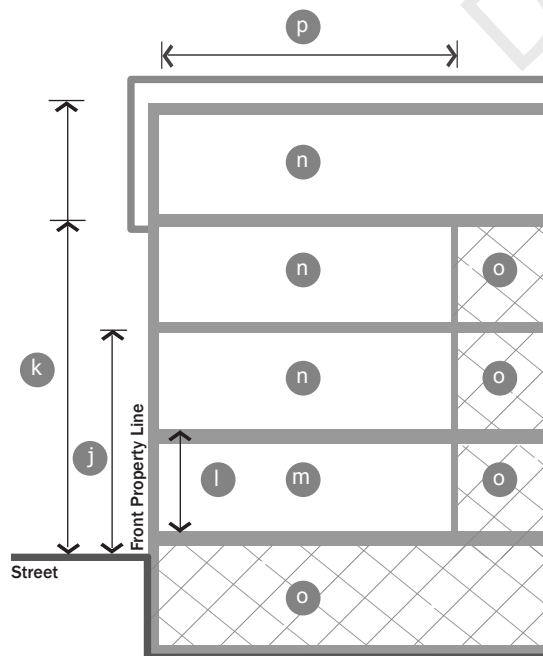


Figure 10-21-4E (2). Height & Use Requirements.

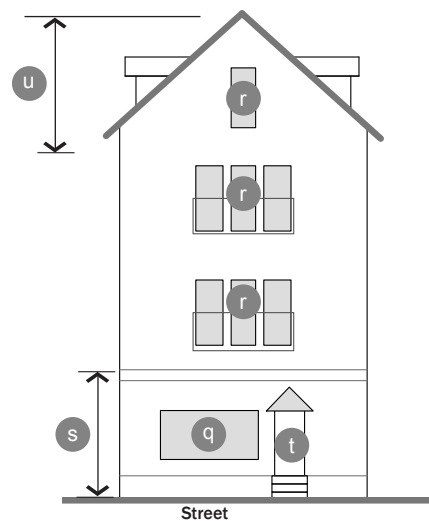


Figure 10-21-4E (3). Street Facade Requirements.

10-21-4 Building Types

F. Civic Building

1. Description & Intent. The Civic Building Type is a more flexible Building Type intended only for civic and institutional types of uses. These buildings are distinctive within the community fabric created by the other Building Types. Parking is limited to the rear in most cases. The maximum heights of this Building Type depend on the district within which it is located.
2. Regulations. Regulations for the Civic Building Type are defined in the adjacent table.

Notes:

¹ If located adjacent to flood hazard area, refer to requirements of the Yorkville Stormwater Ordinance No. 2012-56. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

² Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

³ Lots wider than one hundred (100) feet are permitted one double-loaded aisle of parking (maximum width of seventy (70) feet), located perpendicular to the front lot line.

⁴ Eighteen (18) feet or more in height counts as two (2) stories towards maximum building height.

⁵ Corner Clearance: No building, structures or landscaping which obstructs vision on any corner lot between a height of two (2) feet and ten (10) feet above the finished grade of either street within a twenty-five (25) foot triangle formed by the intervening street lines are permitted.

		Permitted Districts				
		S 1: Bridge Street	S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street	S 5: 'B' Street Residential
(a) Building Siting Refer to Figure 10-21-4F (1)						
Multiple Principal Buildings		Refer to District Street Details				
Minimum Front Lot Line Coverage		Refer to District Street Details				
Occupation of Corner		Required ⁵				
a	Front Build-to Zone	0' to 10'	0' to 15'			
b	Corner Build-to Zone					
c	Minimum Side Yard Setback	5'	10'			
d	Minimum Rear Yard Setback	5'; 25' if located adjacent to residential ¹				
e	Minimum Lot Width Maximum Building Width	16' none	30' none			
Maximum Impervious Coverage		70% ²	70% ²	50% ²		
Additional Semi-Pervious Coverage		20%	10%	20%		
f	Parking & Loading Location	Rear yard ³				
Entry for Parking within Building		Rear & Side Facades				
g	Vehicular Access	Alley	Alley; if no alley exists, 1 driveway is permitted per street frontage			
(b) Height Refer to Figure 10-21-4F (2)						
h	Minimum Overall Height	1 story				
i	Maximum Overall Height	6 stories (with min. 3' setback at 3 stories)	4 stories			3 stories
j	Ground Story: Minimum Height Maximum Height	14' 24' ⁴	12' 24' ⁴	14' 24' ⁴	12' 24' ⁴	12' 18' ⁴
k	Upper Stories: Minimum Height Maximum Height	9' 14'				9' 12'
(c) Uses Refer to Figure 10-21-4F(2)						
l	All Stories	Limited to uses in the Civic category and Entertainment Uses by Special Use. Refer to 15.3 Uses.				
m	Parking within Building	Permitted fully in any basement and in rear of all floors				
n	Occupied Space	30' deep on all full height floors from the front facade				
(d) Street Facade Requirements Refer to Figure 10-21-4F (3)						
o	Minimum Transparency Per each Story	12%				
Blank Wall Limitations		None				
p	Front Facade Entrance Type	None required				
q	Principal Entrance Location	Front or corner Facade				
Number of Street Entrances		1 per each 150' of front facade				
Ground Story Vertical Divisions		none required				
Horizontal Facade Divisions		none required				
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.		none required				
(e) Roof Type Requirements Refer to Figure 10-21-4F (3)						
r	Permitted Roof Types	Parapet, Pitched, Flat, Other Roofs with approval per 10-21-4J				Pitched
s	Tower	Permitted				

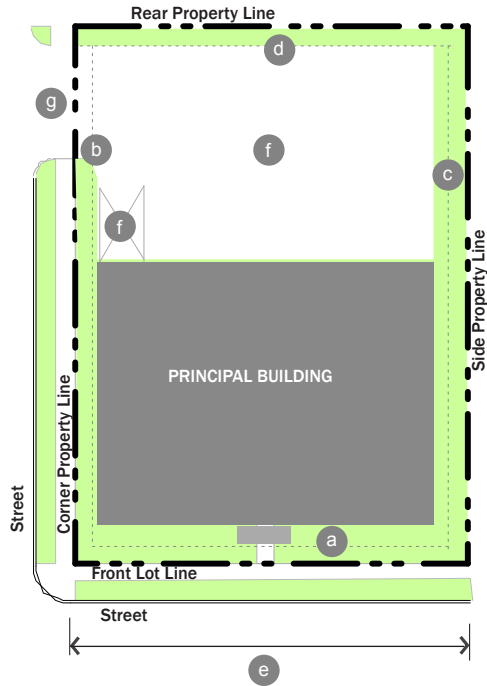


Figure 10-21-4F (1). Building Siting.

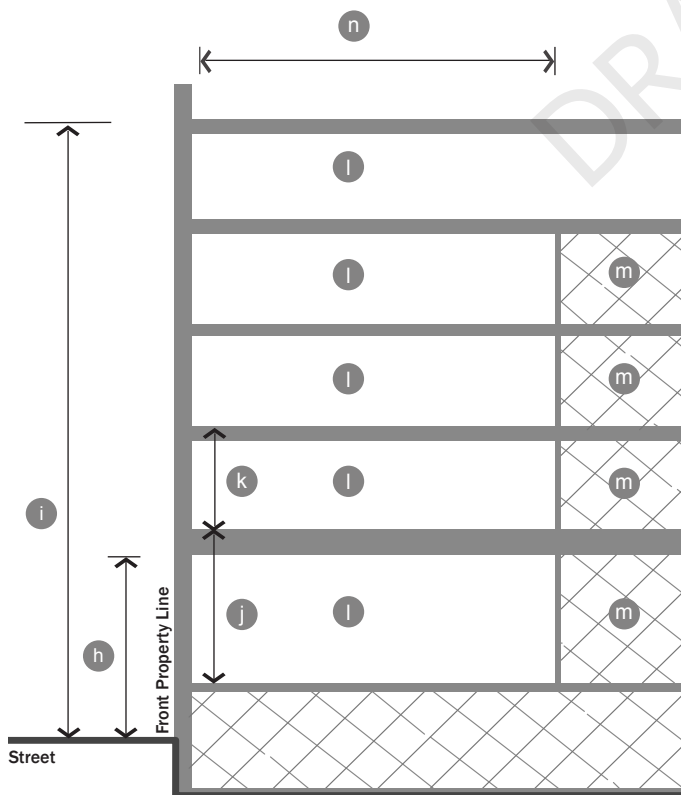


Figure 10-21-4F (2). Height & Use Requirements.

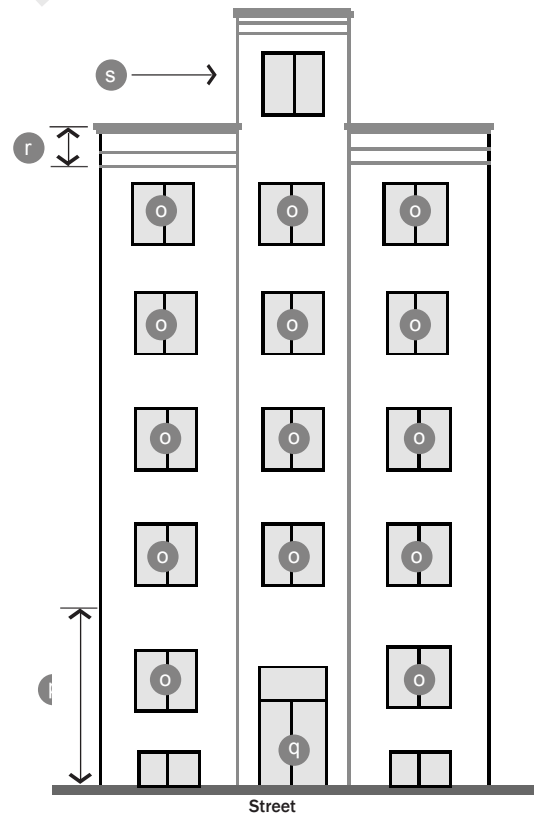


Figure 10-21-4F (3). Street Facade Requirements.

10-21-4 Building Types

G. Attached Building

- Description & Intent.** The Attached Building is a building comprised of multiple vertical units, each with its own entrance to the street. This Building Type may be organized as townhouses or rowhouses.

Parking is required to be located in the rear yard and may be incorporated either into a detached garage or in an attached garaged accessed from the rear of the building. However, when the garage is located within the building, a minimum level of occupied space is required on the front facade to ensure that the street facade is active.

- Regulations.** Regulations for the Attached Building Type are defined in the adjacent table.

Notes:

¹ For the purposes of the Attached Building, a building consists of a series of units. When permitted, multiple buildings may be located on a lot within the minimum space between them. However, each building shall meet all requirements of the Building Type.

² Each building shall meet the front lot line coverage requirement, except one of every five (5) units may front a courtyard with a minimum width of thirty (30) feet. The courtyard shall be defined on three (3) sides by units.

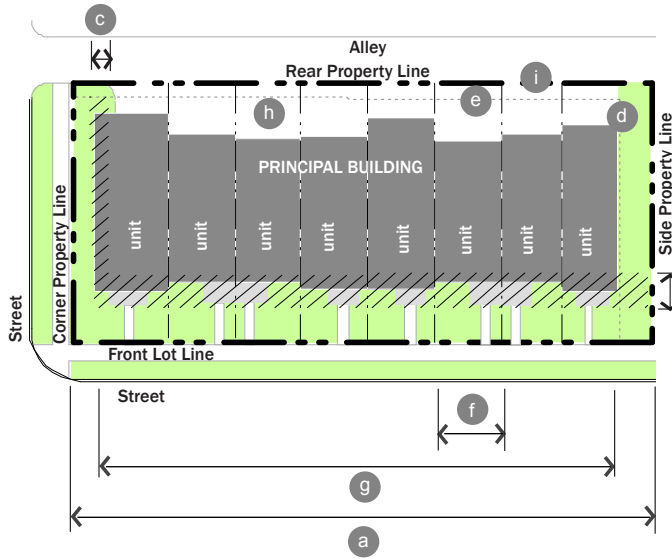
³ Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

⁴ Attached garages are considered part of the principal building and shall meet all setbacks. Detached garages shall meet all setbacks unless an alley is present. When an alley is present, detached garages shall have a minimum rear setback of five (5) feet.

⁵ Corner Clearance: No building, structures or landscaping which obstructs vision on any corner lot between a height of two (2) feet and ten (10) feet above the finished grade of either street within a twenty-five (25) foot triangle formed by the intervening street lines are permitted.

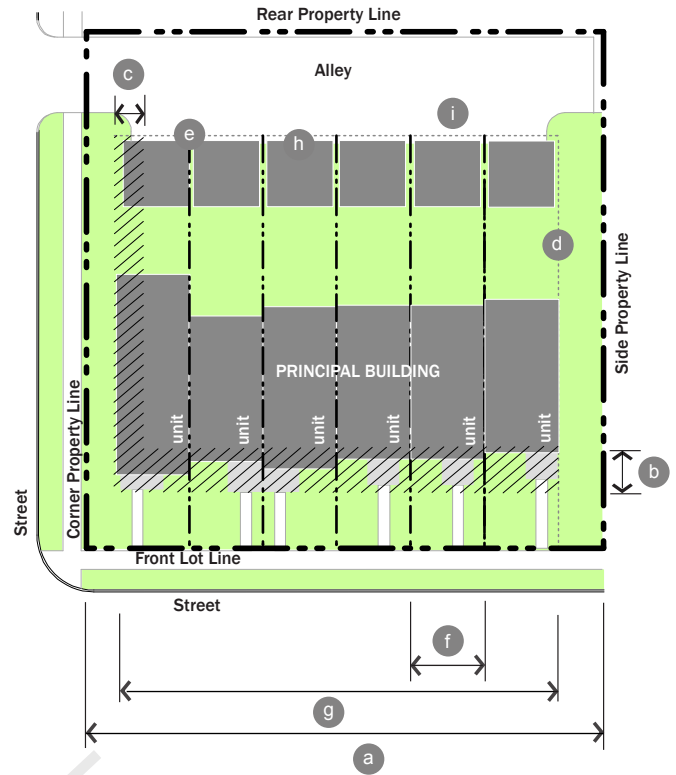
		Permitted Districts		
		S 3: Van Emmon Street	S 4: 'B' Street	S 5: 'B' Street Residential
(a) Building Siting Refer to Figures 10-21-4G (1) and 10-21-4G (2)				
Multiple Principal Buildings		Permitted ¹		
a	Minimum Front Lot Line Coverage	75% ²	70% ²	65% ²
Occupation of Corner		Required ⁵		
b	Front Build-to Zone	5' to 20'	10' to 20'	10' to 25'
c	Corner Build-to Zone	5' to 10'	10' to 15'	
d	Minimum Side Yard Setback	0' per unit; 10' between buildings'		0' per unit; 15' between buildings'
e	Minimum Rear Yard Setback	15', if alley present 5'		20', if alley present 5'
f	Minimum Unit Width	16' per unit	16' per unit	18' per unit
g	Maximum Building Width	Maximum 8 units per building	Maximum 6 units per building; maximum 120' width	Maximum 6 units per building; maximum 120' width
Maximum Impervious Coverage		65% ³	60% ³	50% ³
Additional Semi-Pervious Coverage		20%	20%	20%
h	Parking & Garage Location	Rear yard; attached garages access off rear facade only. ⁴		
i	Vehicular Access	Alley; if no alley exists, one driveway is permitted per building		
(b) Height Refer to Figure 10-21-4G (3)				
j	Minimum Overall Height	1 story		
k	Maximum Overall Height	4 stories	3.5 stories	3 stories
l	Minimum Ground Floor Height:	12'		
(c) Uses Refer to Figure 10-21-4G (3)				
m	All Stories	Residential only		
n	Parking within Building	Permitted fully in any basement and in rear of all floors		
o	Occupied Space	30' deep on all full height floors from the front facade		
(d) Street Facade Requirements Refer to Figure 10-21-4G (4)				
p	Minimum Transparency per each Story	15%	12%	
q	Front Facade Entrance Type	Stoop, Porch		
Principal Entrance Location		Front or Corner Side Facade		
r	Number of Street Entrances	1 per unit		
Ground Story Vertical Divisions		none required		
Horizontal Facade Divisions		none required		
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.		Between adjacent buildings		
(e) Roof Type Requirements Refer to Figure 10-21-4G (4)				
s	Permitted Roof Types	Parapet, Pitched, Flat		
Tower		Permitted		

10-21-4 Building Types



Site Plan without Rear Yard

Figure 10-21-4G (1): Building Siting.



Site Plan with Rear Yard

Figure 10-21-4G (2): Building Siting.

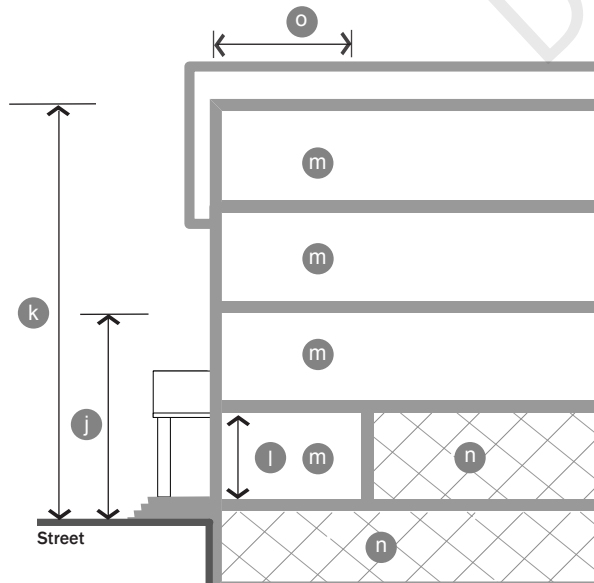


Figure 10-21-4G (3): Height & Use Requirements.

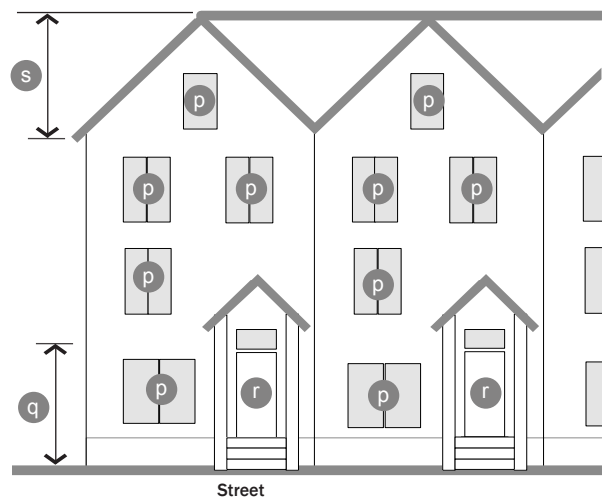


Figure 10-21-4G (4): Street Facade Requirements.

10-21-4 Building Types

H. Yard Building

- Description & Intent.** The Yard Building is a residential building, incorporating a landscaped yard surrounding all sides of the building. Parking and garages are limited to the rear only with preferred access from an alley.
- Regulations.** Regulations for the Yard Building Type are defined in the adjacent table.

Notes

¹ Each building shall meet all requirements of the Building Type.

² When multiple buildings are located on a single lot, the buildings shall collectively meet the front lot line coverage requirement. Buildings located internal to the lot may be arranged with a courtyard or bungalow court that is a minimum of twenty (20) feet in width. The width of the courtyard shall be exempt from minimum front lot line coverage requirements. The courtyard or bungalow court shall be defined on three (3) sides by units. This layout shall not be allowed on corner lots, only lots internal to a block segment.

³ Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

⁴ Attached garages are considered part of the principal building and shall meet all setbacks. Detached garages shall meet all setbacks unless an alley is present. When an alley is present, detached garages shall have a minimum rear setback of five (5) feet.

Permitted Districts

S 4:
'B'
Street

S 5:
'B' Street
Residential

(a) Building Siting Refer to Figure 10-21-4H (1)

Multiple Principal Buildings	Permitted ¹	
a Minimum Front Lot Line Coverage	50% ²	40%
b Occupation of Corner	Required	
c Front Build-to Zone	10' to 20'	10' to 25'
Corner Build-to Zone	10' to 20'	10' to 25'
d Minimum Side Yard Setback	5'	7.5'
e Minimum Rear Yard Setback	35', if alley present 5'	
f Minimum Lot Width	30'	30'
Maximum Lot Width	50'	70'
g Maximum Impervious Coverage	60% ³	50% ³
Additional Semi-Pervious Coverage	20%	20%
h Parking & Garage Location	Rear yard; attached garages access off rear or side facade only. ⁴	
Vehicular Access	Alley; if no alley exists, one driveway is permitted per building	

(b) Height Refer to Figure 10-21-4H (2)

i Minimum Overall Height	1 story
j Maximum Overall Height	3.0 stories
k All Stories: Minimum Height	9'
Maximum Height	14'

(c) Uses Refer to Figure 10-21-4H (2)

l All Stories	Residential only
m Parking within Building	Permitted
n Occupied Space	30'

(d) Street Facade Requirements Refer to Figure 10-21-4H (3)

o Minimum Transparency per each Story	12%
p Front Facade Entrance Type	Stoop, porch
q Principal Entrance Location	Front or side facade
Number of Street Entrances	Any
Ground Story Vertical Divisions	None required
Horizontal Facade Divisions	None required
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.	Between adjacent buildings

(e) Roof Type Requirements Refer to Figure 10-21-4H (3)

r Permitted Roof Types	Parapet, Pitched, Flat	Pitched
Tower	Not permitted	

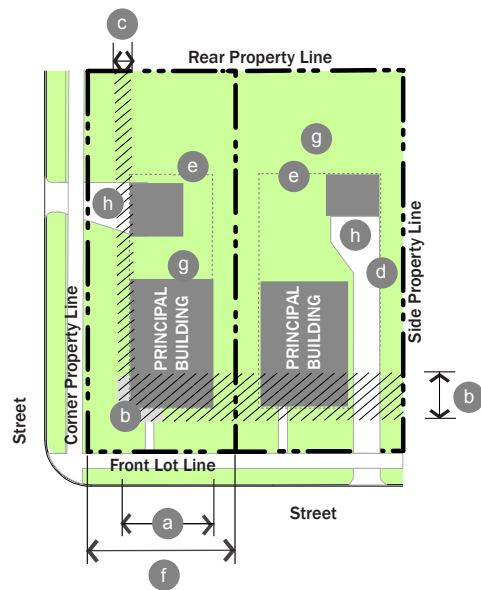


Figure 10-21-4H (1). Building Siting.

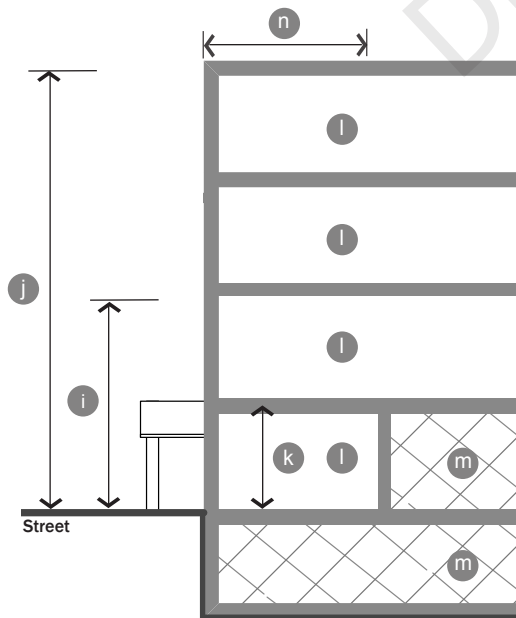


Figure 10-21-4H (2). Height and Use Requirements.

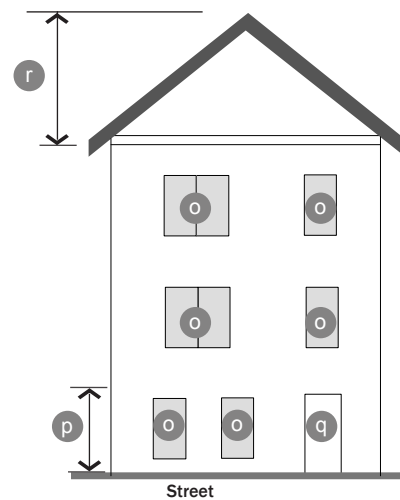


Figure 10-21-4H (3). Street Facade Requirements.

10-21-4 Building Types

I. Entrance Types

Entrance type standards apply to the ground story and visible basement of front facades of all Building Types as defined in this Section. Refer to the Building Type Table Requirements, Sections 10-21-4C through 10-21-4H.

1. **General.** The following provisions apply to all entrance types.
 - (a) Intent. To guide the design of the ground story of all buildings to relate appropriately to pedestrians on the street. Treatment of other portions of the building facades is detailed in each Building Type standard (refer to Building Types 10-21-4C through 10-21-4H).
 - (b) Applicability. The entire ground story street-facing facade(s) of all buildings shall meet the requirements of at least one (1) of the permitted entrance types, unless otherwise stated.
 - (c) Measuring Transparency. Refer to Section 10-21-4B Explanation of Building Type Table Standards, for information on measuring building transparency.
 - (d) Visible Basements. Visible basements, permitted by entrance type, are optional. The visible basement shall be a maximum of one-half the height of the tallest story.
2. **Storefront Entrance Type.** Refer to Figure 10-21-4I (1). The Storefront entrance type is a highly transparent ground story treatment designed to serve primarily as the display area and primary entrance for retail or service uses.
 - (a) Transparency. Minimum transparency is required per Building Type.
 - (b) Elevation. Storefront elevation shall be between zero (0) and one (1) foot above street sidewalk.

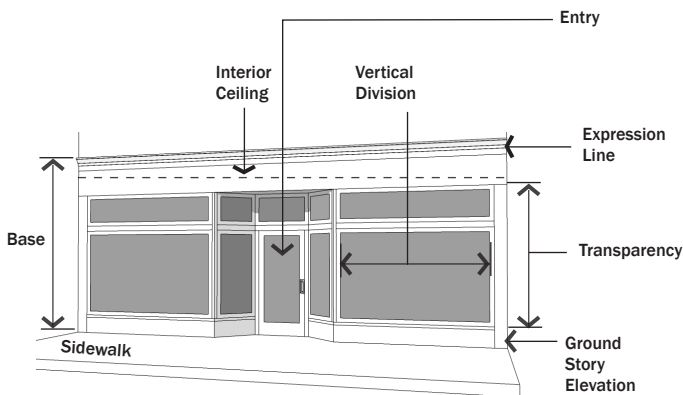


Figure 10-21-4I (1). Storefront Entrance Type.

- (c) Visible Basement. A visible basement is not permitted.
- (d) Horizontal Facade Division. Horizontally define the ground story facade from the upper stories.
- (e) Entrance. All entries shall be recessed from the front facade closest to the street.
 - i. Recess shall be a minimum of three (3) feet and a maximum of eight (8) feet deep, measured from the portion of the front facade closest to the street.
 - ii. When the recess falls behind the front build-to zone, the recess shall be no wider than eight (8) feet.
3. **Elevated Storefront Entrance Type.** Refer to Figure 10-21-4I (2). The Elevated Storefront entrance type is a highly transparent ground story treatment similar to the Storefront, but permitted to be elevated above the sidewalk for buildings located on parcels with flood hazard areas.
 - (a) Transparency. Minimum transparency is required per Building Type.
 - (b) Elevation. Storefront elevation may be a half story above the street sidewalk elevation.
 - (c) Visible Basement. A visible basement is permitted and does not require Occupied Space.
 - (d) Horizontal Facade Division. Horizontally define the ground story facade from the upper stories and any Visible Basement from the ground story.
 - (e) Entrance. All entries shall be located off a secondary walk along the building face within the build-to zone.
 - i. The secondary sidewalk shall be elevated above and essentially parallel to the street sidewalk to provide

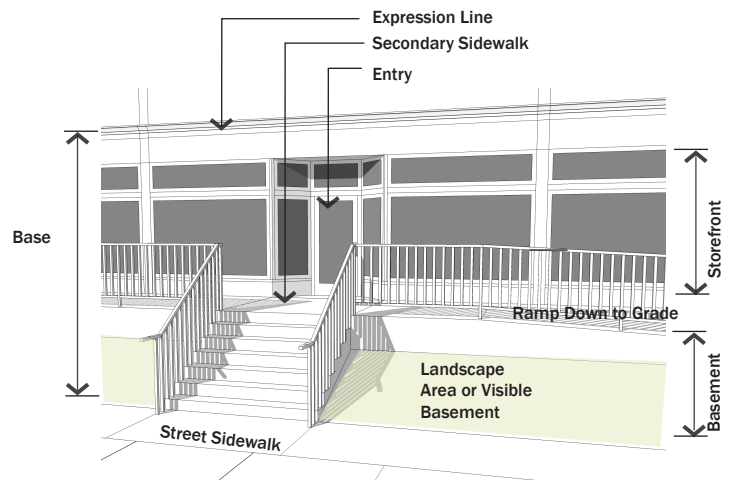


Figure 10-21-4I (2). Elevated Storefront Entrance Type.

10-21-4 Building Types

continuous walking along the facade of the building.

- ii. The secondary sidewalk shall be continuous along the facade of the building and shall connect to the street sidewalk by steps and ramps every fifty (50) feet.
- iii. The secondary sidewalk shall connect to any other adjacent developments secondary sidewalks, when feasible. Drive crossings shall be of the same material as the secondary walk.
- iv. The transition between the secondary sidewalk and street sidewalk shall include landscape, patios, and connecting walks.
- v. The visible basement shall be located a minimum of five (5) feet from the street sidewalk to allow softening of the transition.
- vi. The street and the secondary sidewalks shall be a minimum of eight (8) feet in width.

4. **Stoop Entrance Type.** Refer to Figure 10-21-4I (3). A stoop is an unroofed, open platform.
 - (a) Transparency. Minimum transparency is required per Building Type.
 - (b) Stoop Size. Stoops shall be a minimum of five (5) feet deep by six (6) feet wide.
 - (c) Elevation. Stoop elevation shall be located a maximum of two (2) feet six (6) inches (2' 6") above the sidewalk without visible basement and a maximum of four (4) feet six (6) inches (4' 6") above the sidewalk with a visible basement.
 - (d) Visible Basement. A visible basement is permitted and shall be separated from the ground story by an expression line.

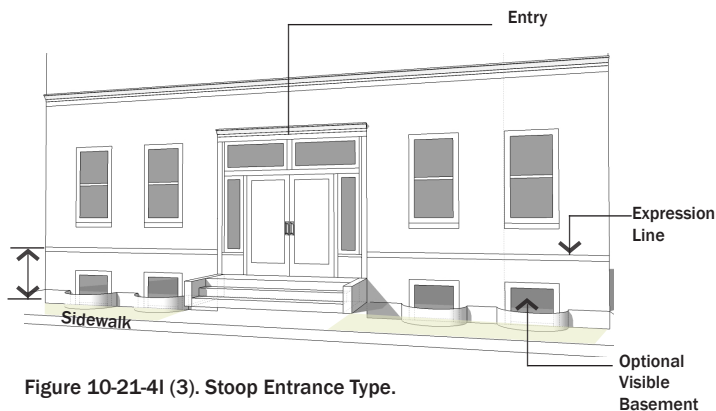


Figure 10-21-4I (3). Stoop Entrance Type.

- (e) Entrance. All entries shall be located off a stoop. The stoop may be continuous along the facade of the building.
- (f) Landscape Area. A minimum five (5) foot wide landscape area is required within the build-to zone along the length of this entrance type with the exception of walks accessing the building.
5. **Porch Entrance Type.** Refer to Figure 10-21-4I (4). A porch is a raised, roofed platform that may or may not be enclosed on all sides. If enclosed, the space shall not be climate controlled.
 - (a) Transparency.
 - i. Minimum transparency per Building Type is required.
 - ii. If enclosed, a minimum of forty percent (40%) of the enclosed porch shall be comprised of highly transparent, low reflectance windows.
 - (b) Porch Size. The porch shall be a minimum of five (5) feet deep and eight (8) feet wide.
 - (c) Elevation. Porch elevation shall be located a maximum of two (2) feet six (6) inches (2' 6") above the sidewalk without a visible basement and a maximum of four (4) feet six (6) inches (4' 6") above the sidewalk with a visible basement.
 - (d) Visible Basement. A visible basement is permitted.
 - (e) Height. Porch may be two (2) stories to provide a balcony on the second floor.
 - (f) Entrance. All entries shall be located off a porch.

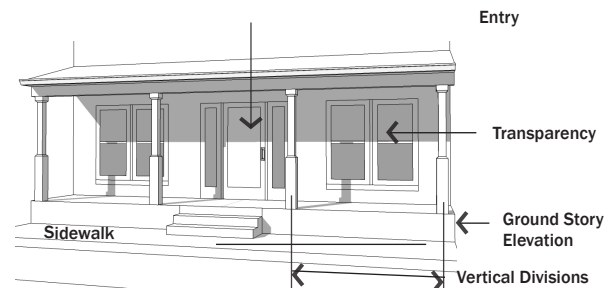


Figure 10-21-4I (4). Porch Entrance Type.

10-21-4 Building Types

J. Roof Types

Roof type standards apply to the roof and cap of all Building Types as defined in this Section. Refer to the Building Type Table Requirements, Sections 10-21-4C through 10-21-4H.

1. **General Provisions.** The following provisions apply to all roof types.

- Intent. To guide the design of the cap of all buildings.
- Applicability. All buildings shall meet the requirements of one of the roof types permitted for the Building Type.
- Measuring Height. Refer to Section 10-21-4B for information on measuring building height.
- Other roof types. Other building caps not listed as a specific type may be requested with the following requirements:
 - The roof type shall not create additional occupiable space beyond that permitted by the Building Type.
 - The shape of the Roof Type shall be significantly different from those defined in this section 10-21-4J, i.e. a dome, spire, vault.
 - The building shall warrant a separate status within the community from the fabric of surrounding buildings, with a correspondence between the form of the roof type and the meaning of the building use.

2. **Parapet Roof Type.** Refer to Figure 10-21-4J (1). A parapet is a low wall projecting above a building's roof along the perimeter of the building. It can be utilized with a flat or low pitched roof and also serves to limit the view of roof-top mechanical systems from the street.

- Parapet Height. Height is measured from the top of the upper story to the top of the parapet.
 - Minimum height is two (2) feet with a maximum height of six (6) feet.

- The parapet shall be high enough to screen the roof and any roof appurtenances from view of the street(s).

(b) **Horizontal Expression Lines.** An expression line shall define the parapet from the upper stories of the building and shall also define the top of the cap.

(c) **Occupied Space.** Occupied space shall not be incorporated behind this roof type.

3. **Pitched Roof Type.** Refer to Figure 10-21-4J (2). This roof type has a sloped or pitched roof. Slope is measured with the vertical rise divided by the horizontal span or run.

(a) **Pitch Measure.** The roof may not be sloped less than a 4:12 (rise:run) or more than 16:12.

- Slopes less than 4:12 are permitted to occur on second story or higher roofs. Refer to Figure 10-21-4J (2).

(b) **Configurations.**

- Hipped, gabled, and combination of hips and gables with or without dormers are permitted.
- Butterfly roofs (inverted gable roof) are permitted with a maximum height of eight (8) feet, inclusive of overhang.
- Gambrel and mansard roofs are not permitted.

(c) **Parallel Ridge Line.** A gabled end or perpendicular ridge line shall occur at least every one hundred (100) feet of roof when the ridge line runs parallel to the front lot line. Refer to Figure 10-21-4J (3).

(d) **Roof Height.** Roofs without occupied space and/or dormers shall have a maximum height on street-facing facades equal to the maximum floor height permitted for the Building Type.

(e) **Occupied Space.** Occupied space may be incorporated behind this roof type.

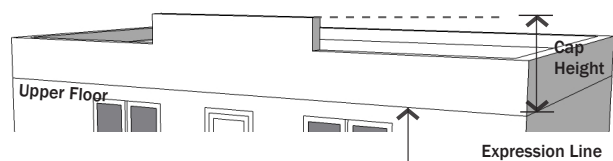


Figure 10-21-4J (1). Parapet Roof Type

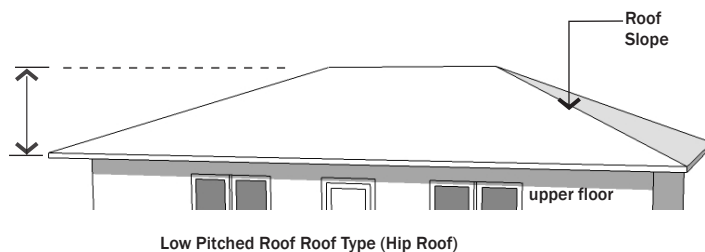
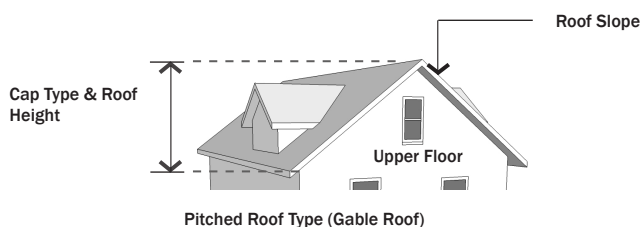


Figure 10-21-4J (2). Pitched Roof Type

10-21-4 Building Types

4. **Flat Roof Type.** Refer to Figure 10-21-4J (5), Flat Roof Type. This roof type has a flat roof with overhanging eaves.
 - (a) Configuration. Roofs with no visible slope are acceptable. Eaves are recommended on all street facing facades.
 - (b) Eave Depth. Eave depth is measured from the building facade to the outside edge of the eave. Eaves shall have a depth of at least fourteen (14) inches.
 - (c) Eave Thickness. Eave thickness is measured at the outside edge of the eave, from the bottom of the eave to the top of the eave. Eaves shall be a minimum of eight (8) inches thick.
 - (d) Interrupting Vertical Walls. Vertical walls may interrupt the eave and extend above the top of the eave with no discernible cap.
 - i. No more than one-half of the front facade can consist of an interrupting vertical wall.
 - ii. Vertical walls shall extend no more than four (4) feet above the top of the eave.
 - (e) Occupied Space. Occupied space shall not be incorporated behind this roof type.
 - (f) No mechanical equipment on roof shall be visible from the adjacent sidewalk.
5. **Towers.** Refer to Figure 10-21-4J (4). A tower is a rectilinear or cylindrical, vertical element, that shall be used with other roof types.
 - (a) Quantity. All Building Types, with the exception of the Civic Building, are limited to one (1) tower per building.
 - (b) Tower Height. Maximum height, measured from the top of the parapet or eave to the top of the tower, is the equivalent of the height of one (1) upper floor of the building to which the tower is applied.

- (c) Tower Width. Maximum width along all facades is one-third the width of the front facade or thirty (30) feet, whichever is less.
- (d) Occupied Space. Towers may be occupied by the same uses allowed in upper stories of the Building Type to which it is applied.
- (e) Application. May be combined with all other roof types.
- (f) Tower Cap. The tower may be capped by the parapet, pitched, low pitched, or flat roof roof types, or the spire may cap the tower.

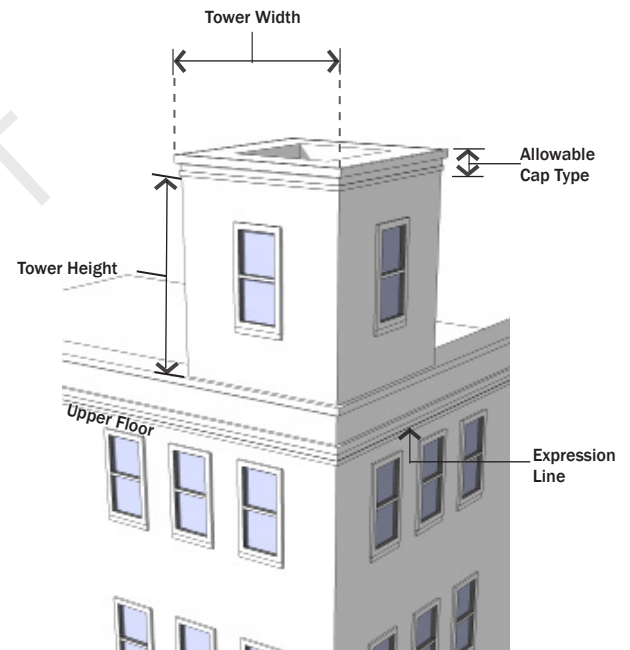


Figure 10-21-4J (4). Tower

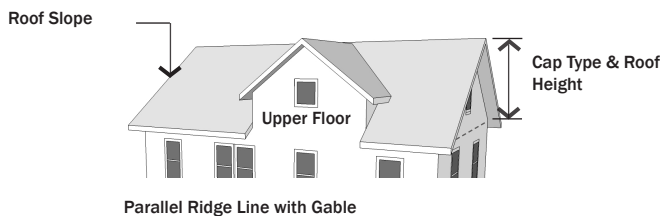


Figure 10-21-4J (3). Parallel Ridge Line

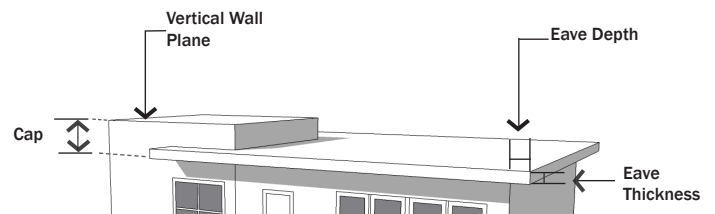


Figure 10-21-4J (5). Flat Roof Type

10-21-4 Building Types

K. Additional Design Requirements

The following outlines the district design requirements that affect a building's appearance and district cohesiveness. They improve the physical quality of buildings, enhance the pedestrian experience, and protect the character of the neighborhood.

1. Materials and Color.

- (a) **Primary Facade Materials.** Eighty percent (80%) of each street facade shall be constructed of primary materials. Street facade materials shall continue around the corner a minimum depth of twenty (20) feet onto the side facade.
 - i. Permitted primary building materials include high quality, durable, natural materials, such as stone, brick; wood lap siding; fiber cement board lapped, shingled, or panel siding; glass. Other high quality synthetic materials may be approved during the site plan process with an approved sample and examples of successful, high quality local installations. Refer to Figure 10-21-4K (1).
- (b) **Secondary Facade Materials.** Secondary materials are limited to details and accents and include gypsum reinforced fiber concrete for trim and cornice elements; metal for beams, lintels, trim, and ornamentation, and exterior architectural metal panels and cladding.
 - i. Exterior Insulation and Finishing Systems (EIFS) is permitted on upper floor facades only.



Primary Materials: Brick



Primary Materials: Stone



Primary Materials: Painted Wood

Figure 10-21-4K (1). Primary Materials.

- (c) **Roof Materials.** Acceptable roof materials include three hundred (300) pound or better, dimensional asphalt composite shingles, wood shingles and shakes, metal tiles or standing seam, slate, and ceramic tile. "Engineered" wood or slate may be approved during the site plan process with an approved sample and examples of successful, high quality local installations. Refer to Figure 10-21-4K (2).
- (d) **Color.** Main building colors shall utilize any historic palettes from any major paint manufacturer. Other colors may be utilized for details and accents, not to exceed a total area larger than ten percent (10%) of the facade surface area.
- (e) **Appropriate Grade of Materials.** Commercial quality doors, windows, and hardware shall be used on all ground floor Building Types with the exception of the Attached Building and the Yard Building. Refer to Figure 10-21-4K (3).

2. Windows, Awnings, and Shutters.

- (a) **Windows.** All upper story windows on all historic, residential, and mixed use buildings shall be recessed, and either casement or double hung. Percent of transparency is required per Building Type. Horizontal or vertical strip windows, tinted or reflective glass, and glass block (Figure 10-21-4K (4)) are prohibited on street facades.
- (b) **Security Grills.** Grills shall be fully retractable and completely within the interior of the building and inconspicuous to the



Roof Materials: Asphalt Composite Shingles



Roof Materials: Metal



Roof Materials: Ceramic Tile

Figure 10-21-4K (2). Roof Materials.

10-21-4 Building Types

extent possible. Exterior bars are prohibited on any window. Refer to Figure 10-21-4K (5).

- (c) Awnings. All awnings shall be canvas or metal. Plastic awnings and canopy awnings that extend from the front facade into the right-of-way are prohibited. Awning types and colors for each building face shall be coordinated. Refer to Figure 10-21-4K (6).
- (d) Shutters. If installed, shutters, whether functional or not, shall be sized for the windows. If closed, the shutters shall not be too small for complete coverage of the window. Shutters shall be wood. "Engineered" wood may be approved during the site plan process with an approved sample and examples of successful, high quality local installations.

3. **Rear Parking Facade Design.** The following applies in all locations where a public building entrance occurs on the rear facade adjacent to a parking lot. Refer to Figure 15.4K (7).

- (a) Entrance Type. An Entrance Type shall be utilized for a minimum of twenty (20) feet of rear facade. Refer to 10-21-4(2)-(5).



Prohibited: Glass block windows on front facade.

Figure 10-21-4K (4).Windows.

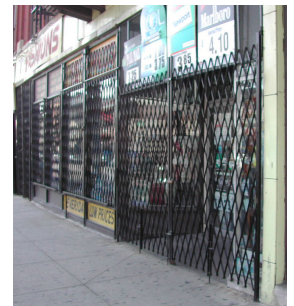


Prohibited: Residential Grade Doors on Commercial Buildings.



Permitted: Fully retractable, interior security grills.

Figure 10-21-4K (5).Security Grills.



Prohibited: Exterior grills and bars.



Permitted: Commercial Grade Doors & Windows on Commercial Buildings.

Figure 10-21-4K (3).Commercial Grade Doors & Windows.



Permitted Awnings: Metal (left) and Canvas (right)



Prohibited Awnings: Canopy awnings that extend from the front facade into the right-of-way

Figure 10-21-4K (6). Awnings.

15.4 Building Types



Front Facade Example.



Rear Facade Example.

Figure 10-21-4K (7). Rear Parking Facade Design.

- (b) Transparency Requirement. Public building entrance facade area, minimum twenty (20) feet wide, shall utilize one of the following:
 - i. When the Storefront Entrance Type is utilized, a minimum forty five percent (45%) transparency is required for the ground floor facade entrance, and the door shall be a minimum of forty five percent (45%) transparent.
 - ii. When any other Entrance Type is utilized, the minimum transparency required for upper floors of the street facade shall apply to the rear ground floor entrance area, and the door shall be a minimum of forty five percent (45%) transparent.

- (c) Awnings and signage are encouraged.

- 4. **Balconies.** The following applies in all locations where balconies are incorporated into the facade design facing any street or parking lot. Refer to Figure 10-21-4K (8).

- (a) Size. Balconies shall be a minimum of six (6) feet deep and five (5) feet wide.
- (b) Connection to Building. Balconies shall be integral to the facade at the street line. Balconies on stepbacked stories shall be independently secured and unconnected to other balconies.
- (c) Facade Coverage. A maximum of forty percent (40%) of the front and corner side facades, as calculated separately, may be covered with balconies, including street-facing railing and balcony structure.

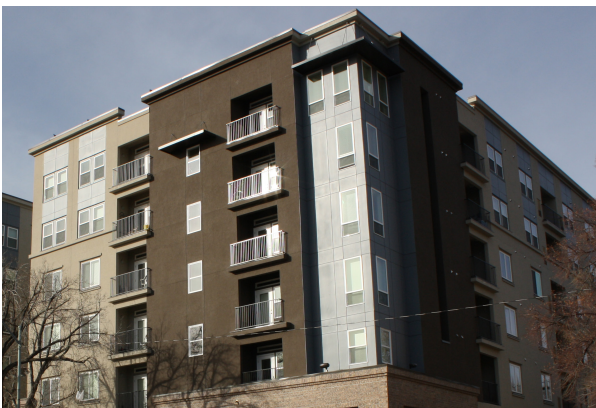


Figure 10-21-4K (8). Balconies Integral to Facade.

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10-21-5 Site Development Standards

A. Signage

1. **General Requirements.** Refer to Section 10-20 of the Yorkville City Code for all signage regulations applicable to the Downtown Overlay Districts.
2. **Revisions to the Signage Regulations.** The following revises Section 10-20 of the Yorkville City Code specific to the S Districts.
 - (a) Freestanding Low Monument Signs. (Refer to Section 10-20-4) Low Monument Signs are permitted only in the S 4 District.

B. Parking Requirements

1. **Applicability.** This section shall apply to all new development and changes in use or intensity of use for existing development in any S Districts.
2. **General Requirements.** Off-street parking spaces shall be provided in conformance with Section 10-16 Off-Street Parking and Loading Regulations, unless revised in this Section 10-21-5B.
 - (a) Required Vehicle Parking. The Required Vehicle Parking Table 10-21-5B (1) indicates the maximum vehicle parking ratio for a given use.
3. **Parking Credits.** Vehicular parking standards within Section 10-16 may be reduced by achieving one or all of the following credits.
 - (a) On-Street Parking Credit. For all non-residential uses, on-street parking spaces that meet the following shall be credited against the parking requirement.
 - i. Spaces shall be designated on-street parking available twenty four (24) hours of every day.
 - ii. On-street space located a minimum of fifty percent (50%) adjacent to the property line of the lot.
 - (b) Public Parking Credit. For all non-residential uses, public parking spaces located within six hundred and sixty (660) feet of any property line may be credited against the parking requirement at a rate of one credit for every three public parking spaces.
 - (c) Car-Share Parking Credit. The vehicular parking requirements can be reduced with the inclusion of car-share parking spaces as follows.
 - i. Per each car-share parking space provided, required parking spaces shall be reduced by four (4) spaces.
 - ii. Required parking spaces may be reduced up to forty percent (40%).
 - iii. Approval. Applicant must provide documentation of an agreement with a car-share company. If this agreement should terminate at any point, applicant shall be required to provide parking as otherwise required herein.
 - (d) Shared Parking. Required Parking may be reduced to the lower amount if at least eighty percent (80%) of non-residential parking is available as publicly shared parking. Otherwise, the higher standard parking requirement shall apply.
 - (e) Other Parking Reductions. Additional reductions may be approved by the Planning and Zoning Commission with the submittal of a parking study illustrating the reduction.

4. Bicycle Parking.

- (a) Required Bicycle Parking. The Required Bicycle Parking Table 10-21-5B (2) indicates the minimum bicycle parking ratio for a given use.
 - i. Bicycle parking is not required for uses not listed.
 - ii. Bicycle parking is not required for uses less than 2,500 square feet in size.
 - iii. No Use, other than Civic is required to accommodate more than twenty (20) bicycles.
- (b) Bicycle Parking Dimensions.
 - i. Required bicycle parking spaces shall have minimum dimensions of two (2) feet in width and six (6) feet in length.
 - ii. An aisle a minimum of five (5) feet wide shall be provided behind bicycle parking facilities to allow for maneuvering.
 - iii. A minimum of two (2) feet shall be provided beside each parked bicycle to allow access. This access may be shared by adjacent bicycles.
 - iv. Racks shall be installed a minimum of two (2) feet from any wall or other obstruction.

Land Use	Vehicle Spaces
Residential (Studio and 1 bedroom)	1 per unit
Residential (2 or more bedrooms)	1.5 per unit
Civic/Institutional	max. 2 per 1,000 square feet
Retail/Services (less than 8,000 square feet, excluding Restaurants)	no min. or max. parking requirements
Retail/Services (8,000 square feet or more, excluding Restaurants)	max. 2 per 1,000 square feet
Restaurants	max. 4 per 1,000 square feet
Office	max. 2 per 1,000 square feet

Table 10-21-5B (1). Required Vehicle Parking.

Land Use	Bicycle Spaces
Multifamily	1 per 2 Vehicular Spaces for buildings with 8+ units
Civic/Institutional	1 per 10 Vehicular Spaces, min. of 4
Retail	1 per 10 Vehicular Spaces
Services	1 per 10 Vehicular Spaces
Office	1 per 10 Vehicular Spaces

Table 10-21-5B (1). Required Bicycle Parking.

10-21-5 Site Development Standards

- (c) Location. Bicycle parking should be located within fifty (50) feet of the entrance of the Use.
 - i. Indoor or outdoor spaces are permitted, provided they are located on the lot with which they are associated.
 - ii. Bicycle parking facilities shall be separated from vehicular parking areas to protect parked bicycles from damage. The separation may be accomplished through grade separation, distance or physical barrier, such as curbs, wheel stops, poles or other similar features.
- (d) Racks and Structures. Racks and structures shall be provided for each unprotected parking space, and shall be designed to accommodate both chain and U-shaped locking devices supporting the bicycle frame at two (2) points.

C. Landscape

1. **General Requirements.** Refer to Section 10-17 Fencing and Screening for all landscaping and screening requirements.
2. **Build-to Zones and Setbacks.** All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (a) Driveways are permitted to cross the front and corner build-to zone and rear setbacks perpendicularly at a maximum of twenty five (25) feet in width.
 - (b) Driveways may encroach upon the side setbacks longitudinally on parcels fifty (50) feet or less in width.
 - (c) Parking lots shall not encroach upon any setbacks. Side and rear yard parking lots shall not be located closer to the front or corner lot line than the building.

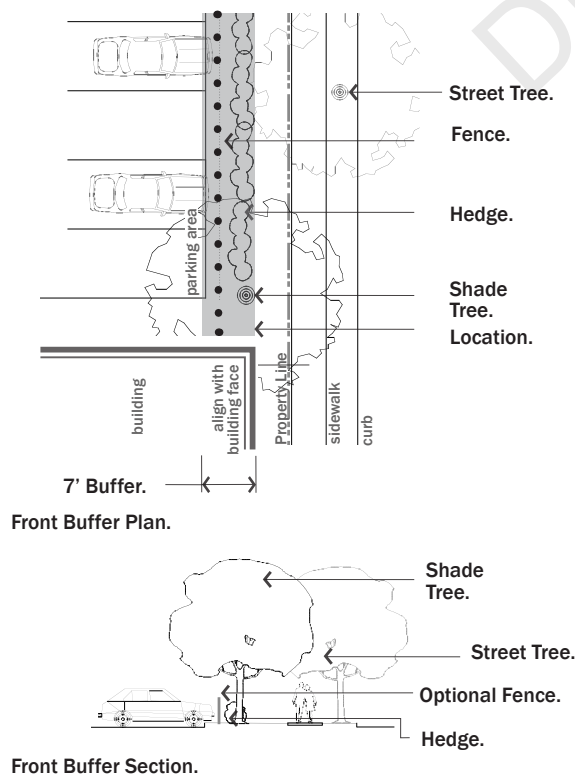


Figure 10-21-5C (1). Frontage Buffer Plan and Section.

Frontage Buffer Requirements	
Buffer Depth & Location ¹	
Depth	7'
Location on Site	Between street facing property line and vehicular areas ²
Buffer Landscape Requirements	
Uses & Materials	Uses and materials other than those indicated are prohibited in the buffer
Shade Trees	Medium or large shade tree with full, spreading canopies required at least every 40'; Locate on the street side of the fence; Spacing should alternate with street trees
Hedge	Required continuous hedge on street side of fence, between shade trees & in front of parking areas
Hedge Composition	Individual shrubs with a minimum width of 24", spaced no more than 36" on center
Existing Vegetation	May be credited toward buffer area
Fence	
Location	2' from back of curb of vehicular area
Materials	Non-galvanized steel or painted PVC; Masonry Columns (maximum width 2'6") and Low Wall (maximum 18" height) permitted
Minimum Height	3' for Steel or Painted PVC
Maximum Height	4' for Steel or Painted PVC, 18" for Low Wall
Colors	Black, gray, or dark green for Steel or Painted PVC
Opacity	Minimum 30%; Maximum 60% for Steel or Painted PVC
Gate/Opening	One gate permitted per street frontage; Opening width maximum 6'

Notes:

¹ This screening requirement does not prohibit the installation of or provision for openings necessary for allowable access drives and walkways connecting to the public sidewalk.

² In Front and Corner Yards, when the parking area is located adjacent to any building on the lot, the buffer must be located so that it aligns with or is behind the face of the adjacent building back to the vehicular area. The area between the buffer and the property line must be landscaped.

Table 10-21-5C (1). Frontage Buffer Requirements.

3. **Frontage Buffer Requirements.** Refer to Figure 10-21-5C (1). The following additional requirements are specific to the S Districts and is in addition to information within Section 10-17 Fencing and Screening guidelines.
 - (a) Intent. To lessen the visual impact of parking areas visible from the street.
 - (b) General Applicability. Applies to properties in all S Districts where a parking area is located adjacent to a right-of-way.
 - (c) Exceptions. Parking areas along alleys, except when a residential district is located across the alley. Single and two family residences are also excepted.

10-21-5 Site Development Standards

D. Street Guidelines

1. **General Street Guidelines.** The following guidelines should apply to all new streets within S Districts with the intent of creating pedestrian oriented, multimodal streets.
 - (a) **Typical Street Elements.** All street rights-of-way should include the following vehicular and pedestrian realm considerations. Refer to Figure 10-21-5D (1).
 - (1) **Vehicular Realm.** The vehicular realm is comprised of the travel lanes, bicycle lanes, and parking lanes.
 - (2) **Pedestrian Realm.** The pedestrian realm is comprised of pedestrian facilities, such as sidewalk. A buffer area that serves to buffer pedestrians or bicyclists from the movements of higher speed vehicles in the vehicular realm shall consist of one (1) of the following:
 - (i) **Landscape Zone.** A landscape area between the back of curb to the sidewalk in which street trees, stormwater swales, lighting, and signage may be located. Typically used adjacent to residential ground floor uses.
 - (ii) **Furnishings Zone.** A hardscape area that extends from the sidewalk to the back of curb, in which street trees, street furniture, lighting, and signage may be located. Typically used adjacent to commercial or office ground floor uses.
 - (b) **Bicycle Facilities.** Bicycle facilities, such as dedicated lanes and dedicated shared lanes should be included on any streets based on the City's bicycle plan. New streets within S districts shall utilize shared lanes. A shared lane refers to a street that does not have bicycle lanes or a designated shared lane, but the speed and configuration of the street is such that bicycles could comfortably share lanes with traffic.
 - (c) **Vehicular On-Street Parking.** On-street parking, whether parallel or diagonal, shall be included according to the District Street Details for that street.

2. **Street Trees.** Street trees are required along all existing and new street frontages.
 - (a) All planting material requirements within Landscaping and Screening Guidelines shall be utilized.
 - (b) Street trees shall be located in either a Landscape Zone (within a planting bed or lawn) or a Furnishings Zone (in trees wells with grate as required).
 - (c) **Permeable Surface.** For each tree preserved or planted, a minimum amount of permeable surface area is recommended.
 - i. Preserved trees should have a permeable surface area equal to the critical root zone. The critical root zone is equal to half of the radius of the tree's mature canopy, measured from the trunk out to the dripline.
 - ii. Planted trees have a suggested minimum permeable area and soil volume based upon tree size; refer to Table 10-21-5D (1) for details.
 - iii. Permeable area for one (1) tree cannot count toward that of another tree.
 - (d) **Structural Soil.** When the critical root zone of an existing tree or the suggested permeable surface area requirement of a newly planted tree extends below any pavement, structural soil is required underneath the pavement.
3. **Pedestrian Lighting.** Pedestrian light fixtures shall be installed per the street requirements of the City's Department of Public Works and any streetscape master plan adopted by the City.

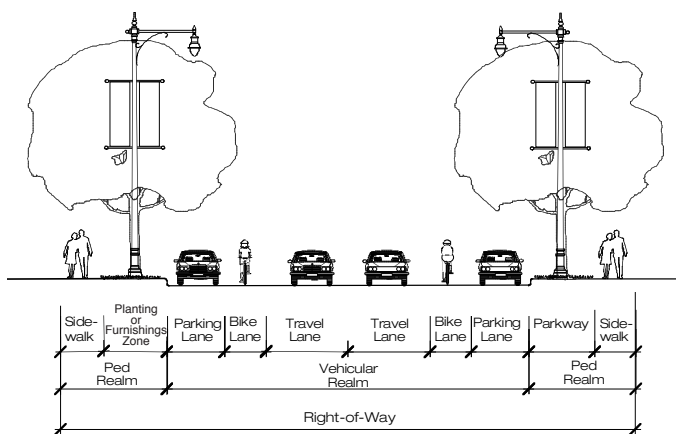


Figure 10-21-5D (1). Typical Right-of-Way Elements.

Tree Size Type	Soil Volume (cubic ft)	Soil Surface Area (sq ft) with 2.5' Soil Depth	Permeable Surface Area Requirement (sq ft)
Medium	2,852	1141 (approx. 34' x 34')	225 (15' x 15')
Large	6,532	2681 (approx. 50' x 50')	400 (20' x 20')

Table 10-21-5D (1). Minimum Recommended Soil Volumes and Permeable Area per Planted Tree.

10-21-5 Site Development Standards

4. **New Streets and Subdivision.** For all developments with total parcel acreage larger than five (5) acres, subdivision and construction of a new street will yield the most buildings. (Building Types require buildings to front streets). Refer to Figure 10-21-5D (2) for an example of a typical new block and street configuration. The following recommendations apply:
- (a) **Interconnected Street Pattern.** Streets shall connect and continue existing streets from adjoining areas and cul-de-sac and dead end streets should be avoided.
 - (b) **Blocks.**
 - i. The shape of a block shall be generally rectangular, but may vary due to natural features or site constraints.
 - ii. Blocks shall typically be two (2) lots deep with the exception of blocks containing open space. Blocks may also include an alley. Blocks may include existing lots within an existing zoning district.
 - iii. Blocks shall typically be fronted with lots on at least two (2) faces, preferably on the longest street faces.
 - iv. Consider lot and block orientation for maximum energy efficiency. For example, block orientation along an east-west longitudinal axis will encourage development of buildings oriented along an east-west axis, with smaller east and west facing facades, able to take advantage of passive solar technology.
 - v. Block size should be less than four hundred (400) feet.
 - (c) **Access Points.** A minimum of two (2) access points should be provided for each development, with a minimum of one (1) per every 1,500 feet of boundary recommended.
 - (d) **Primary Streets.** Designate primary streets so that all buildings front at least one primary street. Vehicular access should not be located off a Primary Street, unless the parcel is fronted by more than two primary streets.
 - (e) **Blocks may include interior alleys or lanes.**
 - (f) **Typical Lot Configuration.** All lots shall have frontage along a public street unless otherwise specified in Building Type requirements. Flag lots are prohibited.

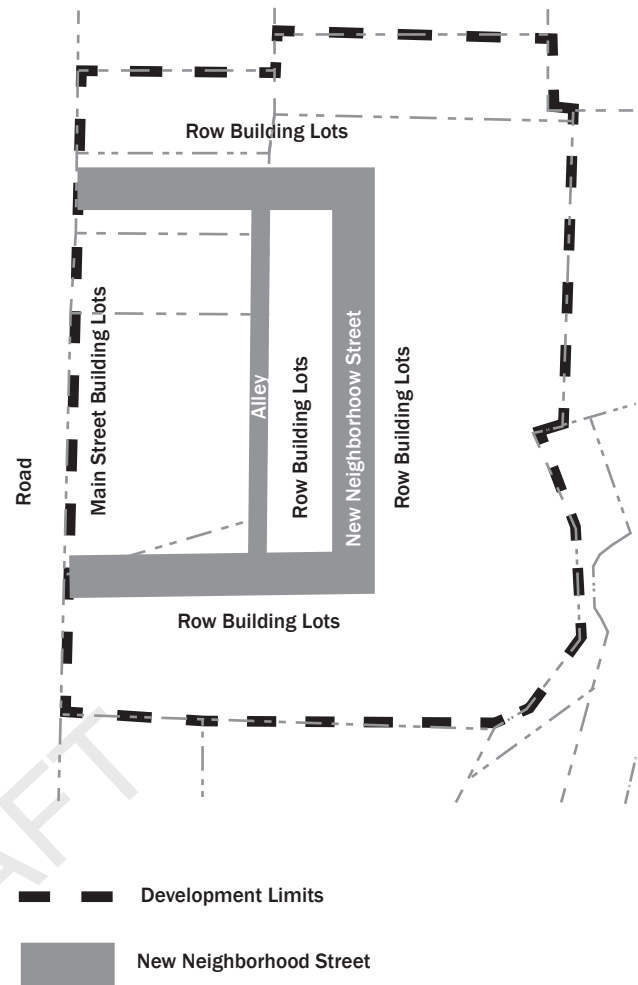


Figure 10-21-5D (2). Example of New Street and Block Configuration for Large Parcels or When Multiple Parcels are Combined.

10-21-5 Site Development Standards

E. Temporary Structures

1. **General Requirements.** Refer to 10-17 Fencing and Screening for all landscaping and screening requirements.

2. **Description and intent.** Temporary Structures are allowed in all Districts according to the following guidelines.

The small scale activity or display area can be a patio for outdoor eating or display of goods and should constitute the majority of the site. The frontage required continues the streetwall of the adjacent buildings, allowing a continuous pedestrian experience from the street with views into the outdoor space.

Two accessory structures are permitted. A temporary building may be erected in the rear of the Lot and allows patrons to enter the building. A permanent kiosk may be located anywhere on the Lot, but allows employees only in the interior.

3. **Regulations.** Regulations for Temporary Structures are defined in the adjacent table.

4. **Mobile Food Vendors.** Refer to Section 10-3-14 Mobile Food Vendor Vehicles & Retail Vendor Vehicles for all mobile food vendor requirements.

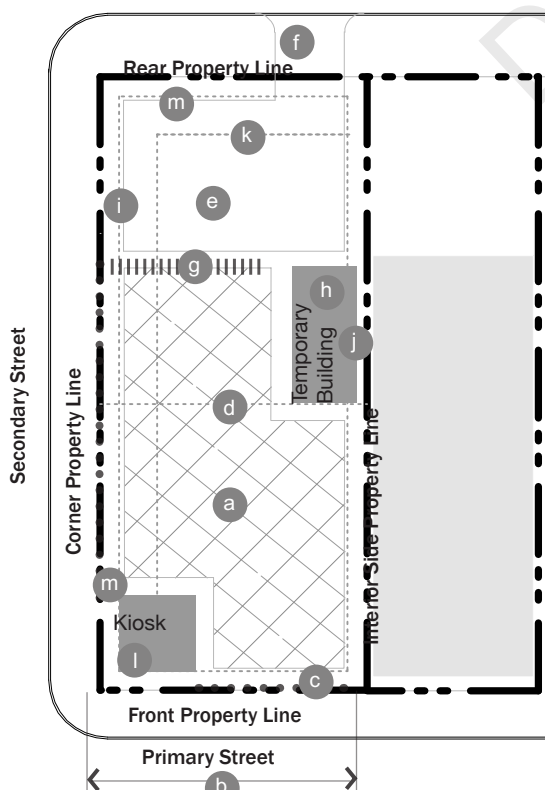


Figure 10-21-5E (1). Temporary Structure Siting

Temporary Structures Requirements		
1. Siting		
Minimum area of Unenclosed, Fully or Partially Paved Outdoor Activity/Display Area	45% of parcel	a
Min Lot Width	none	b
Max Lot Width	50'	
Max Impervious Coverage	80%	
Additional Semi-pervious Coverage	15%	
Required Front & Corner Side Frontage Type	0' to 5'	c
Parking Setbacks		d
Front	75'	
Corner, Side, Rear	5'	
Parking & Loading Facility Location		e
Access	From Alley or Side Street	f
Required Buffer between Parking & Activity/Display Area	none	g
2. Accessory Buildings		
Number of Permitted Accessory Buildings	2	
Max Building Coverage	20%	h
Temporary Building		
Front Yard Setback	75'	i
Corner Side Setback	15'	j
Side Yard Setback	0'	
Rear Yard Setback	5'	k
Kiosk Building		l
Front, Corner, Side, Rear Setback	5'	m
Max Size	500 sf	
Max Height	one story or 15'	
Min Front Facade Transparency	20%	
Roof Type	Pitched, Flat, Parapet	
Existing Vegetation	May be credited toward buffer area	
3. Uses		
Permitted Uses	Assembly General Retail General Service	

Notes:

¹ This screening requirement does not prohibit the installation of or provision for openings necessary for allowable access drives and walkways connecting to the public sidewalk.

² In Front and Corner Yards, when the parking area is located adjacent to any building on the lot, the buffer must be located so that it aligns with or is behind the face of the adjacent building back to the vehicular area. The area between the buffer and the property line must be landscaped.

Table 10-21-5E (1). Temporary Structures Requirements.

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Memorandum

To: City Council
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Jason Engberg, Senior Planner
Date: September 18, 2019
Subject: **Downtown Form Based Code and Streetscape Master Plan**
Request for Adoption of Revised Plans

SUMMARY:

Review and approval of the proposed Yorkville Downtown Overlay District Plan consisting of a Streetscape Master Plan and Form-Based Code.

BACKGROUND:

As you may recall, the final draft of the Yorkville Downtown Overlay District Plan was presented at the May 14, 2019 City Council meeting for its first reading prior to adoption. A presentation of the highlights of the Streetscape Master Plan and the Form-Based Code for the overlay district was given at that meeting by the consultant, Doug Farr of Farr & Associates.

The plans are intended to establish the broader guidance for street character and development opportunities within the downtown which can be facilitated through public capital improvement projects and private redevelopment.

Over the course of 18-months, beginning in January 2018, the consultant and staff hosted a project website; conducted two (2) public workshops; previewed a draft plan at a committee meeting; held a public open house; and had a public hearing before the Planning and Zoning Commission; all to gather input and solicit feedback on the various drafts of the plan. All feedback received during this time was incorporated into the plan. A formal recommendation for adoption was made by the Planning and Zoning Commission on April 10, 2019.

At the June 4, 2019 Economic Development Committee meeting, staff received comments regarding certain aspects of the Streetscape Masterplan, specifically the curb treatment for 'B' Street Residential areas and the proposed overhead catenary lighting on Van Emmon Street. The curb treatment and subsequent edits recommended by Alderman Funkhouser were addressed by staff at the July 2nd EDC meeting and staff was eventually given direction by the EDC at the August 6, 2019 meeting to keep the originally proposed catenary overhead lights on Van Emmon Street.

At the September 3rd Economic Development Committee meeting, staff presented a lot-by-lot analysis of the existing zoning and existing land use, versus the proposed district classification and proposed uses in the Form-Based Code which included three (3) development scenarios of lots with redevelopment potential utilizing the form-based code standards (see attached presentation). It was the consensus of the EDC at that meeting revisions be made regarding the maximum height of certain structures in the downtown within the residential areas.

REVISIONS:

As mentioned, there have been several revisions to the proposed Yorkville Downtown Overlay District Plan since it was last reviewed by the City Council in May. The following chart outlines the revisions made to both the Streetscape Master Plan and Form-Based Code as a result of review and input for the Economic Development Committee:

Streetscape Master Plan

Page	Comment	Correction
Page 3	Addition of Aldermen names under Acknowledgements	Staff has added the names of Aldermen (current and former), Planning and Zoning Commissioners and current Mayor.
Page 5	Does not like the red text on gray background.	The text has been revised to white.
Page 18	Numbers and text do not line up. Figure 20 – gravel parking is not permitted.	Numbers and text have been aligned. Image of Figure 20 was not suggesting parking would be permitted on gravel, but the area between the railroad tracks and spur (refer to #6 identified on page 19 under “Hydraulic Street Near Term”) be visually enhanced with a well-maintained gravel surface.
Page 38	Recommends a concrete ribbon for Figure 54 instead of gravel street apron.	Staff has made the requested change per direction from the EDC at the June 4, 2019 meeting.
Page 39	Recommends Figure 57 illustrate the concrete curb ribbon.	Staff has made the requested change per direction from the EDC at the June 4, 2019 meeting.
Page 58	Missing existing Clark Park parcel north of river.	Noted and revised.
Page 62	Private ownership label of Van Emmon Activity Center should be revised.	Staff has made the requested change per direction from the EDC at the June 4, 2019 meeting.
Page 65	Continuance of the railroad right-of-way color (orange) to the eastside of IL 47.	Noted and revised.

Formed-Based Code

Page	Comment	Correction
Page 2	Addition of Aldermen names under Acknowledgements	Staff has added the names of Aldermen (current and former), Planning and Zoning Commissioners and current Mayor
Page 4	Section 10-21-1-F-2 Deviations, requested second sentence be revised to read “The Community Development Director” instead of “The Director”.	Noted and revised.
Page 6	Recommendation from EDC to not allow buildings that have primary frontage in another district to extend their building up to 100’ down a side street that is designated “B” Street – Residential.	Notation on Figure 10-21-1B (1) Yorkville Form-Based Districts Regulating Plan now states “Note: Street Districts on primary streets may turn any corner and extend up to 100’ down any side street, except when the side street is designated at “B” Street Residential.”
Page 12	Section 10-21-2-B, requested the phrase “agricultural relics” be revised using different wording.	Sentence has been revised to “ <i>Hydraulic Street features short, utilitarian buildings as well as an inoperable grain elevator, that create an eclectic mix of land uses and character.</i> ”

Page 13	Remove overhead lighting in Figure 10-21-2C (1). Van Emmon Street (Long Term)	Noted and revised.
Page 14	Revise pedestrian facilities to indicate a 5' sidewalk rather than a 4' sidewalk.	Noted and revised.
Page 15	Add foot (') symbol behind 26 in Pavement Width. No gravel edge in "B" Street- Residential District. Reduce maximum stories in "B" Street Residential District from 3.5 stories to 3 stories.	Noted and revised. Noted. Noted and revised.
Page 18	Under "Key" of Figure 10-21-3A (1). Yorkville Code Permitted Uses How to, add "special" to "Requires Use Permit".	Noted and revised.
Page 19	Recommends "Amphitheater" be revised to be a "Special Use" rather than "Permitted with Development Standards".	Noted and revised.
Page 22	Recommends "Amphitheater" be revised to be a "Special Use" rather than "Permitted with Development Standards".	Noted and revised.
Page 40	Recommendation to reduce the maximum height of "Attached Building" (i.e., townhouses or row houses) from 3.5 stories to 3 stories.	Noted and revised.
Page 42	Recommendation to reduce the maximum height of "Yard Building" (i.e., single-family homes with landscape yard surrounding all sides of building) from 3.5 stories to 3 stories.	Noted and revised.
Page 43	Recommendation to reduce the maximum height of "Yard Building" (i.e., single-family homes with landscape yard surrounding all sides of building) from 3.5 stories to 3 stories.	Images of sample building types have been revised to remove notation of 0.5 stories.

STAFF COMMENTS:

Since the last Economic Development Committee meeting, staff received feedback that a residential property owner located at the northeast corner of Van Emmon Street and South Main Street expressed concerned about the potential density allowed under the proposed Form-Based Code for the property directly to the west. While the residential property owners' parcel is utilized for single-family home but is zoned B-2 Retail Commerce Business District, the property to the west is a single-family home and is zoned R-2 Single-Family Traditional Residence District.

The Form-Based Code currently proposes the intervening street between these two (2) properties, S. Main Street, be classified as "B-Street" allowing for residential (apartments and duplexes/townhomes), office, retail/commercial and civic building types permitted outright. In consideration of this resident's concern,

staff is proposing an alternative street classification of South Main Street in the area between E. Hydraulic and E. Van Emmon, from “B Street” to “B-Street Residential”. The B-Street Residential would limit the building types facing this area of South Main Street to civic buildings and single-family detached residential homes permitted outright. The alternative street classification plan has been provided in your packet for consideration.

STAFF RECOMMENDATION:

Staff believes the information provided in this memo should address all the comments and feedback received from the Economic Development Committee meetings over the past several months regarding the Streetscape Master Plan and Form-Based Code. Therefore, we are seeking approval and formal adoption from the City Council of the Yorkville Downtown Overlay District Plan.

We welcome any additional feedback you may have on the information provided and will be available to answer any questions.

ATTACHMENTS:

1. Draft Revised Yorkville Streetscape Master Plan
2. Draft Revised Yorkville Downton Form-Based Code
3. Alternative Street Classification Plan for the Downtown Form-Based Code
4. Draft Ord Approving Streetscape Master Plan
5. Draft Ord Approving Text Amendment for Downtown Overlay District – Form-Based Code
6. Public Hearing Notice 4-10-19
7. City Council Memo dated 5-6-19
8. Economic Development Committee Memo dated 5-23-19
9. Economic Development Committee Memo dated 6-6-19
10. Economic Development Committee Memo dated 7-16-19
11. Economic Development Committee Memo dated 8-21-19
 - a. Downtown Overlay| Zoning Map
 - b. Downtown Overlay| Land Use Map
 - c. Downtown Overlay| Proposed Uses
 - d. Downtown Overlay| Permitted Use Comparison
 - e. Downtown Overlay| Sample Form-Based Code Exhibits
 - f. Lot-By-Lot Analysis Presentation

**AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, ILLINOIS
APPROVING A STREETSCAPE MASTER PLAN FOR THE
DOWNTOWN OVERLAY DISTRICT**

WHEREAS, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the constitution of the State of Illinois of 1970 and the laws of the State of Illinois; and,

WHEREAS, the City’s downtown was identified as a primary concern in the 2016 Yorkville Comprehensive Plan because of the lack of an inspiring plan that presents a plan for future streetscape capital improvements that will encourage developers and property owners to also invest in the redevelopment of the downtown area; and,

WHEREAS, a streetscape master plan provides guidance for the direction and character of capital improvements for future street and public spaces; and,

WHEREAS, the streets of the City’s downtown should be the center of the community where events, festivals and family gatherings regularly take place and should be the framework that supports those functions and helps contribute to building community and the quality of life in the City.

NOW THEREFORE, BE IT ORDAINED, by the Mayor and City Council of the United City of Yorkville, Kendall County, State of Illinois, as follows:

Section 1: That the *YORKVILLE DOWNTOWN OVERLAY DISTRICT STREETSCAPE MASTER PLAN* prepared by Farr Associates, a copy of which is attached hereto and made a part hereof by reference as Exhibit A, be and the same is hereby approved as the Streetscape Master Plan of the United City of Yorkville.

Section 2: That a certified copy of this Ordinance and attached Streetscape Master Plan shall be on file for public review in the office of the City Clerk.

Section 3: This Ordinance shall be in full force and effect upon its passage, approval and publication according to law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois this _____ day of _____, 2019.

CITY CLERK

KEN KOCH _____

JACKIE MILSCHEWSKI _____

CHRIS FUNKHOUSER _____

SEAVAR TARULIS _____

DAN TRANSIER _____

ARDEN JOE PLOCHER _____

JOEL FRIEDERS _____

JASON PETERSON _____

Approved by me, as Mayor of the United City of Yorkville, Kendall County, Illinois, this
_____ day of _____ 2019.

MAYOR

Ordinance No. 2019-_____

AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS, AMENDING THE YORKVILLE ZONING ORDINANCE BY ADDING A DOWNTOWN OVERLAY DISTRICT

WHEREAS, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

WHEREAS, pursuant to Section 10-4-10 of the Yorkville Zoning Ordinance the City may initiate amendments to the United City of Yorkville Zoning Ordinance; and,

WHEREAS, the City filed seeking an amendment to the United City of Yorkville Zoning Ordinance to add an overlay district over certain downtown areas; and,

WHEREAS, the Planning and Zoning Commission convened and held a public hearing on April 10, 2019, to consider the request and made Findings of Fact and Recommendations to the City Council to approve the requested text amendment.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

Section 1: The above recitals are incorporated and made a part of this Ordinance.

Section 2: That the United City of Yorkville Zoning Ordinance, as amended, be and is hereby amended by adding a new Chapter 21 entitled “Downtown Overlay District” to read as shown by the text attached hereto and made a part hereof as Exhibit A, that includes Section 10-21-1, Introduction, Section 10-21-2 Districts, Section 10-21-3 Uses, Section 10-21-4 Building Types and Section 10-21-5 Site Development Standards.

Section 3: This Ordinance shall be in full force and effect after its passage, publication, and approval as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois, this _____ day of _____, 2019.

City Clerk

KEN KOCH _____
JACKIE MILSCHEWSKI _____
CHRIS FUNKHOUSER _____
SEAVER TARULIS _____

DAN TRANSIER _____
ARDEN JOE PLOCHER _____
JOEL FRIEDERS _____
JASON PETERSON _____

Approved by me, as Mayor of the United City of Yorkville, Kendall County, Illinois, this
_____ day of _____, 2019.

Mayor

**PUBLIC NOTICE OF A HEARING BEFORE
THE UNITED CITY OF YORKVILLE PLANNING AND ZONING COMMISSION
ON THE ADOPTION OF THE YORKVILLE DOWNTOWN OVERLAY DISTRICT**

NOTICE IS HEREBY GIVEN THAT the United City of Yorkville will conduct a public hearing regarding the adoption of the proposed Yorkville Downtown Overlay District which includes the Streetscape Master Plan and the Form-Based Code. The proposed Streetscape Master Plan provides guidance on the direction and character of future street related capital improvements in the downtown area. The Form-Based Code provides development standards for the downtown with the purpose to guide the development of a mix of uses and a pedestrian-oriented environment. Additionally, these standards are aimed at promoting a mix of housing types which are appropriate in scale and intensity in the downtown. The Form Based Code will be codified as Chapter 21: Downtown Overlay District in Title 10 of the Yorkville Municipal Code.

The project website can be viewed here: www.downtownyorkville.com

Copies of the full text of the proposed new Yorkville Downtown Overlay District may be examined at the Office of the Department of Community Development during regular business hours at City Hall located at 800 Game Farm Road, Yorkville, Illinois.

The Planning and Zoning Commission for the United City of Yorkville will conduct a public hearing on said Overlay District on **Wednesday, April 10, 2019** at 7 p.m. at the United City of Yorkville, City Council Chambers, located at 800 Game Farm Road, Yorkville, Illinois 60560.

The public hearing may be continued from time to time to dates certain without further notice being published.

All interested parties are invited to attend the public hearing and will be given an opportunity to be heard. Any written comments should be addressed to the United City of Yorkville Community Development Department, City Hall, 800 Game Farm Road, Yorkville, Illinois, and will be accepted up to the closing of the public hearing.

By order of the Corporate Authorities of the United City of Yorkville, Kendall County, Illinois.

BETH WARREN
City Clerk

BY: Lisa Pickering
Deputy Clerk



Memorandum

To: City Council
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti J. Barksdale-Noble, Community Development Director
Date: May 6, 2019
Subject: **Downtown Form Based Code and Streetscape Master Plan**

SUMMARY:

Since its adoption in 2016, the City has been working towards completing the goals and objectives set forth in the Comprehensive Plan. As part of the strategies toward implementing the identified planning goals in the Comprehensive Plan, there was a recommendation that the City enhance the visual appearance, pedestrian environment and functionality of downtown Yorkville.

The following strategies/initiatives were listed as actionable items that should be ongoing or accomplished within 2 years of the adoption of the plan:

- Enhance Streetscape appearance and improve walkability of Hydraulic, Main and Van Emmon Streets.
- Create Public Parking Areas.
- Facilitate building rehabilitation and façade improvements.
- Implement gateway finding, wayfinding, landscaping, and other placemaking treatments.
- Promote high quality development design.
- Consider zoning overlays, new design standards or other tools to promote desired corridor character.

In September 2017 staff solicited Request for Proposals (RFP) for a Downtown Overlay District and Streetscape Master Plan with Form-Based Code criteria. Farr Associates was retained to complete a Master Streetscape Plan and Downtown Form-Based Code. Below is an overview of the planning process as well as a summary of the final draft documents for City Council review.

PLANNING PROCESS:

Farr Associates were retained at the end of 2017 and began working on the project in January of 2018. Below is a brief timeline of the planning process and a summary of events for each stage of development:

STAGE	DATE	SUMMARY
Site & Background Analysis	Jan. 2018	Gathering information and creating a project boundary; setting up a project website
Public Workshop #1	Feb. 15, 2018	Gather public input to begin development
Streetscape and Form-Based Code Development	Mar.-Jun. 2018	Creation of initial draft
Public Workshop #2	Jun. 22, 2018	Showcase of initial draft and continue to take public input
Streetscape and Form-Based Code Revisions	Jul.-Aug. 2018	Revise from comments made at meeting

Staff Review #1	Sept. 2018	Staff review draft document and makes edits/suggestions
Streetscape and Form-Based Code Revisions	Oct.-Dec. 2018	Revise from comments made at meeting
Staff Review #2	Jan. 2019	Staff review draft document and makes edits/suggestions
Streetscape and Form-Based Code Revisions	Jan.-Feb. 2019	Revise from comments made at meeting
EDC Review	Mar. 5, 2019	EDC reviews documents prior to public release
Streetscape and Form-Based Code Revisions	Mar. 2019	Revise from comments made at meeting
Public Open House	Apr. 10, 2019	Provide the public a chance to review exhibits and plans
PZC Review	Apr. 10, 2019	PZC reviews documents and makes recommendation to City Council
Streetscape and Form-Based Code Revisions	Apr. 2019	Revise from comments made at meeting
City Council	May 14, 2019	City Council review
City Council	TBD	Adoption

DOCUMENT SUMMARY:

Attached is a draft for the Yorkville Downtown Overlay District Plan. The drafts focus on both the Streetscape Master Plan of the overlay district and the Form-Based Code. As presented, the plans are intended to establish the broader guidance for street character and development opportunities within the downtown which can be facilitated through public capital improvement projects and private redevelopment.

Streetscape Master Plan

The Streetscape Master Plan identifies the street type and classification for the four major roadways in the downtown: Bridge Street, Hydraulic Street, Van Emmon Street and Main Street (“B” Street). The plan walks through existing, near term and long-term planning solutions for each street and identifies tactical intervention opportunities (meaningful, planning/design related measures at a small cost which adds vitality and interest in the area) for each such as community art, public space lighting, painted crosswalks, outdoor restaurant seating, wall murals, etc.

Form-Based Code

The Form-Based Code portion of the overlay district is intended to establish codified development standards for downtown and neighboring redevelopment areas. As presented in the draft of the form-based code, the proposed standards will:

1. **GUIDE** the development of a mix of uses and a pedestrian-oriented environment as established in the Yorkville Streetscape Master Plan.
2. **PROVIDE** for a mix of housing types within the overlay district and adjacent areas for people of all ages and lifestyles.
3. **ACHIEVE** development that is appropriate in scale and intensity for the Downtown Overlay District and adjacent neighborhoods.

The major components of the form-based code are the identified districts, uses, building types and site development standards. The attached draft version provides information on all of these components.

PLANNING AND ZONING COMMISSION:

The Planning and Zoning Commission held a public hearing for the proposed Streetscape Master Plan and Form Based Code (the latter will be a text amendment to the Yorkville Zoning Ordinance). The Commission recommended approval of the documents without any additional comments or stipulations. The commission made the following action on the motion below:

In consideration of testimony presented during a Public Hearing on April 10, 2016 and discussions conducted at that meeting, the Planning and Zoning Commission recommends approval to the City Council a request to adopt the proposed Downtown Overlay District which includes the Streetscape Master Plan and Form-Based Code as prepared and presented by Farr Associates dated March 2019 and summarized in a staff memorandum dated April 3, 2019.

Action Item:

Olson-aye; Williams-aye; Marcum-aye; Vinyard-aye
4 ayes; 0 no

ATTACHMENTS:

1. Yorkville Master Streetscape Plan
2. Yorkville Downtown Form-Based Code
3. Draft Ordinances



Memorandum

To: Economic Development Department
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Jason Engberg, Senior Planner
Date: May 23, 2019
Subject: **Downtown Form Based Code and Streetscape Master Plan**

SUMMARY:

Additional review and discussion of the proposed final draft of the Yorkville Downtown Overlay District Plan consisting of a Streetscape Master Plan and Form-Based Code.

BACKGROUND:

As you may recall, the final draft of the Yorkville Downtown Overlay District Plan was presented at the May 14, 2019 City Council meeting for its first reading prior to adoption. A presentation of the highlights of the Streetscape Master Plan and the Form-Based Code for the overlay district was given at that meeting by the consultant, Doug Farr of Farr & Associates. The plans are intended to establish the broader guidance for street character and development opportunities within the downtown which can be facilitated through public capital improvement projects and private redevelopment.

Over the course of 18-months, beginning in January 2018, the consultant and staff hosted a project website; conducted two (2) public workshops; previewed a draft plan at a committee meeting; held a public open house; and had a public hearing before the Planning and Zoning Commission; all to gather input and solicit feedback on the various drafts of the plan. All feedback received during this time was incorporated into the plan. A formal recommendation for adoption was made by the Planning and Zoning Commission on April 10, 2019.

At the May 14th meeting, staff received comments from members of the City Council regarding two (2) matters in the plan related to street treatment recommendations and the misidentification of parcel ownership in the Streetscape Master Plan. Staff was asked to address these comments, and any other feedback from the council provided to the City Administrator and bring back to the committee for further discussion.

PROPOSED REVISIONS:

Gravel Street Apron

The Streetscape Master Plan identifies “gravel street aprons” as a potential long-term treatment for residential streets in the downtown district (page 38). This aesthetic detail on the residential ‘B’ streets (Main St., W Van Emmon St., W Madison St., State St. and Adams St.) would provide the visual transition from roadway to landscape where curbs do not exist. Additionally, the 18”-24” gravel edge will filtrate and slow down the flow of stormwater runoff from the streets before entering the roadside swales.

While there has been concern expressed about the upkeep of gravel street aprons, staff believes the gain in stormwater filtration and the limited scope where this treatment can be applied (approx. 2,550 linear feet or a little less than ½ mile) outweighs any potential minor maintenance concern. If, however, the committee seeks an alternative to the proposed gravel edge street apron treatment, a suggestion would be either a roller compacted concrete edge or a 18”-24” concrete curb ribbon. Illustrations of both alternatives are provided in the attached alternate page 38 of the Streetscape Master Plan.

Parcel Ownership Map

It was noted on the map titled “Parcel Ownership” on page 62 of the Streetscape Masterplan that the parcel for the Van Emmon Activity Center was mislabeled as privately owned. That map has been revised to correctly identify the parcel as city-owned. The updated map has been attached for your review.

STAFF COMMENTS:

Staff feels that the proposed revisions have addressed the comments/feedback provided at the May 14th City Council meeting. At the time of this memo, no other comments have been forwarded to staff by the City Administrator of any other requested revisions, corrections or updates by the City Council for the proposed Streetscape Masterplan or Form-Based Code. We welcome any additional feedback you may have on the attached revised documents.

ATTACHMENTS:

1. Yorkville Streetscape Master Plan revisions to Page 38
 - a. Alternative A - optional roadway edge treatment (Rolled Concrete)
 - b. Alternative B - optional roadway edge treatment (Concrete Ribbon)
 - c. Revised Parcel Ownership Map
2. Draft Yorkville Streetscape Master Plan
3. Draft Yorkville Downtown Form-Based Code
4. Draft Ordinances

Rolled Concrete Apron

Curbless streets often become unkempt with grass, weeds and dirt loosely defining the edge between roadway and shoulder. To maintain visual tidiness, an 18"-24" roller-compacted concrete (RCC) or rolled concrete apron may be used to transition from roadway to landscape. The durability and cost savings of this material is beneficial and provides for a cleaner delineation of the roadway and amenity zone.



Figure 54 - Rolled Concrete Apron (Specify Concrete)

Roadside Swales

Fitting with the character, roadside swales are often seen along rural or small-town streets or highways. They can take many forms and be aesthetically pleasing or simply utilitarian. They help detain and direct stormwater runoff from the roadway and provide a layer of buffer between sidewalk and street. Swales can be personalized by adjacent property owners or fully planted and maintained by the City.



Figure 55 - Personalized Swale (City of Seattle)

Over-Swale Pedestrian Bridges

Small pedestrian bridges can connect the street to sidewalk at each property. Each can take on a slightly different design language or be required to adhere to set design guidelines. These bridges could be a unique contribution to a 'B' Street that features minimal design qualities.



Figure 56 - Bridge Over Swale (Chesapeake Dock)

Maintaining Small Town Charm

Each component from street, to swale, to narrow residential sidewalk works together to maintain a small town feel. No improvements should look over-engineered or oversized on Yorkville's quaint neighborhood streets. These 'B' Streets should feel like a place where kids can play in the street and parents can take a quiet nighttime stroll.

- 1 Resurfaced Travel Lane
- 2 Flood Tolerant Street Trees
- 3 Continuous Swale Along N/S Streets
- 4 Bridge Over Swale
- 5 Private Property
- 6 Rolled Concrete Apron

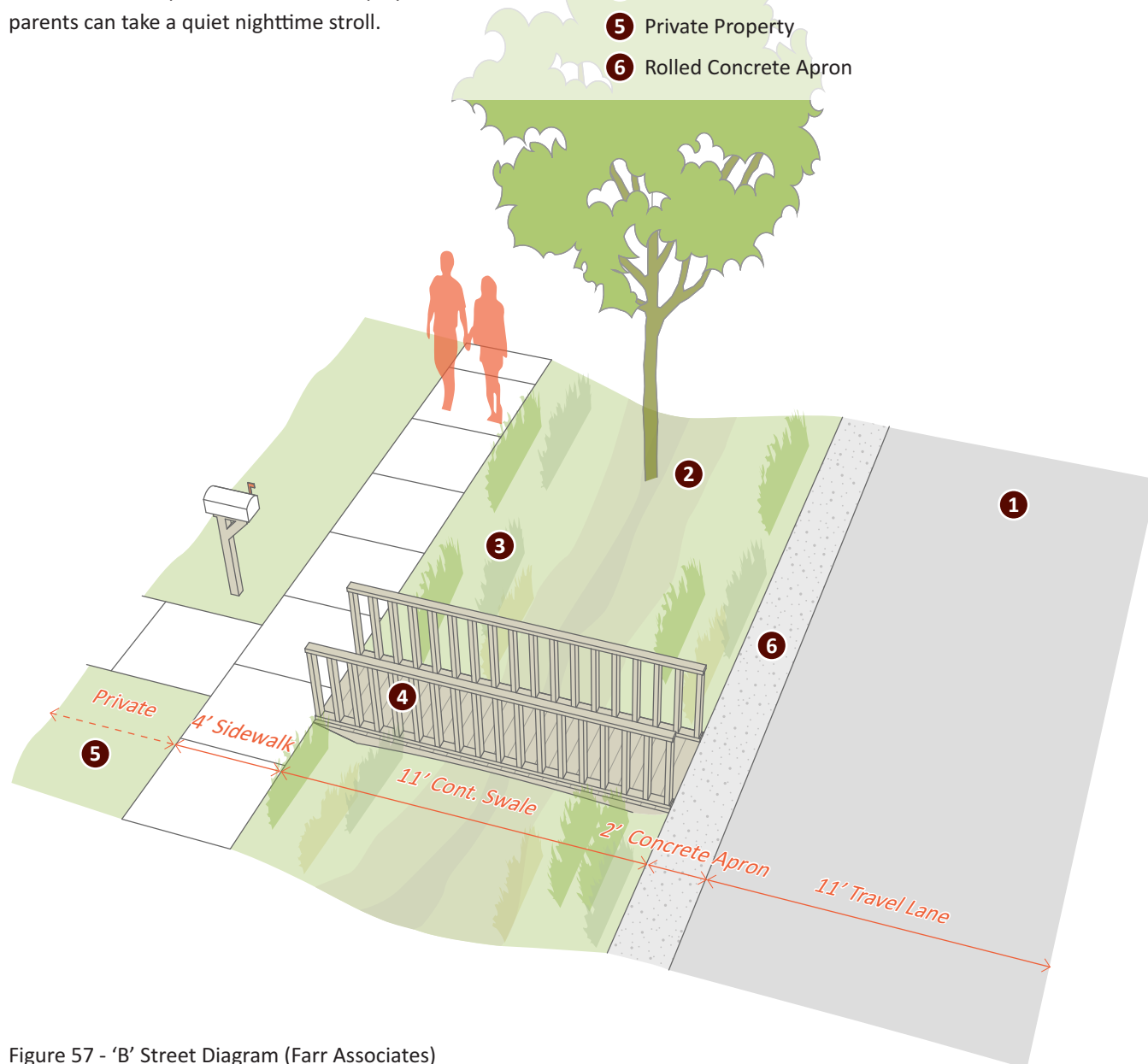


Figure 57 - 'B' Street Diagram (Farr Associates)

Concrete Curb Ribbon Apron

Curbless streets often become unkempt with grass, weeds and dirt loosely defining the edge between roadway and shoulder. To maintain visual tidiness, a 18"-24" concrete curb ribbon may be used to transition from roadway to landscape. This straight curb type is often used along roads to prevent vehicles from crossing over into a pedestrian walkway or any outdoor landscaped area and provides a barrier between the roadway and amenity zone.

Roadside Swales

Fitting with the character, roadside swales are often seen along rural or small-town streets or highways. They can take many forms and be aesthetically pleasing or simply utilitarian. They help detain and direct stormwater runoff from the roadway and provide a layer of buffer between sidewalk and street. Swales can be personalized by adjacent property owners or fully planted and maintained by the City.

Over-Swale Pedestrian Bridges

Small pedestrian bridges can connect the street to sidewalk at each property. Each can take on a slightly different design language or be required to adhere to set design guidelines. These bridges could be a unique contribution to a 'B' Street that features minimal design qualities.



Figure 54 – Concrete Curb Ribbon (TJ Campbell)



Figure 55 - Personalized Swale (City of Seattle)



Figure 56 - Bridge Over Swale (Chesapeake Dock)

Maintaining Small Town Charm

Each component from street, to swale, to narrow residential sidewalk works together to maintain a small town feel. No improvements should look over-engineered or oversized on Yorkville's quaint neighborhood streets. These 'B' Streets should feel like a place where kids can play in the street and parents can take a quiet nighttime stroll.

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- 4 Bridge Over Swale
- 5 Private Property
- 6 Concrete Curb Ribbon

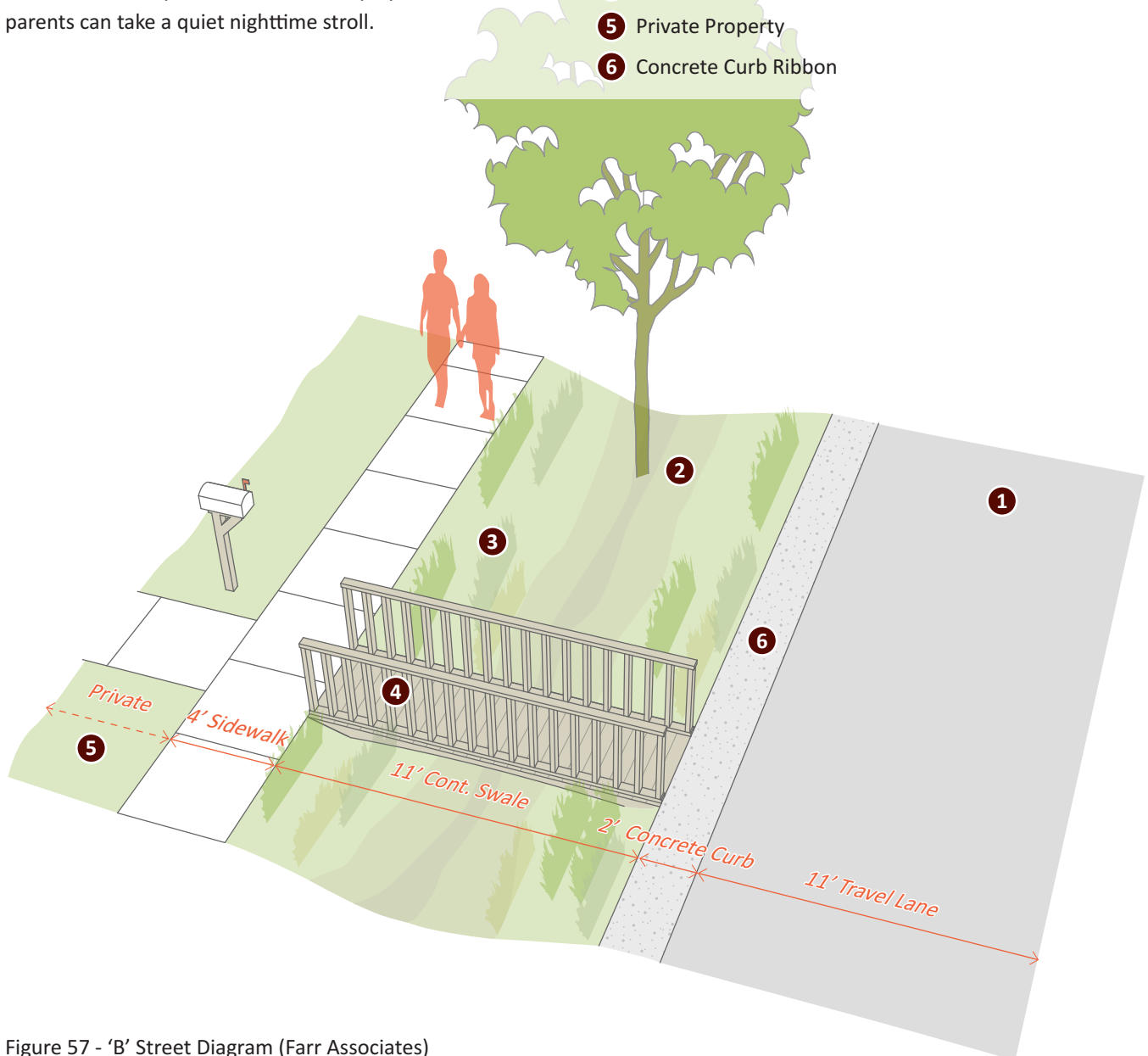


Figure 57 - 'B' Street Diagram (Farr Associates)



Memorandum

To: Economic Development Department
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Jason Engberg, Senior Planner
Date: June 6, 2019
Subject: **Downtown Form Based Code and Streetscape Master Plan**

SUMMARY:

Additional review and discussion of the proposed final draft of the Yorkville Downtown Overlay District Plan consisting of a Streetscape Master Plan and Form-Based Code.

BACKGROUND:

As you may recall, the final draft of the Yorkville Downtown Overlay District Plan was presented at the May 14, 2019 City Council meeting for its first reading prior to adoption. A presentation of the highlights of the Streetscape Master Plan and the Form-Based Code for the overlay district was given at that meeting by the consultant, Doug Farr of Farr & Associates. The plans are intended to establish the broader guidance for street character and development opportunities within the downtown which can be facilitated through public capital improvement projects and private redevelopment.

Over the course of 18-months, beginning in January 2018, the consultant and staff hosted a project website; conducted two (2) public workshops; previewed a draft plan at a committee meeting; held a public open house; and had a public hearing before the Planning and Zoning Commission; all to gather input and solicit feedback on the various drafts of the plan. All feedback received during this time was incorporated into the plan. A formal recommendation for adoption was made by the Planning and Zoning Commission on April 10, 2019.

At the May 14th meeting, staff received comments from members of the City Council regarding two (2) matters in the plan related to street treatment recommendations and the misidentification of parcel ownership in the Streetscape Master Plan. Following that meeting, on June 4, 2019, staff received additional comments during the Economic Development Committee meeting regarding certain aspects of the Streetscape Masterplan, specifically the curb treatment for 'B' Street Residential areas and the proposed overhead catenary lighting on Van Emmon Street. Subsequent written comments from Alderman Funkhouser regarding the Streetscape Masterplan and the Form-Based Code were also provided via email on June 6, 2019.

Staff was asked to address these comments and provide additional alternative options to the catenary overhead lights on Van Emmon Street and bring back to the committee for further discussion.

COMMENTS & PROPOSED REVISIONS:

Below is a summary of the comments received by Alderman Funkhouser and how they have been addressed:

Streetscape Master Plan

Page	Comment	Correction
Page 3	Addition of Aldermen names under Acknowledgements	Staff has added the names of Aldermen (current and former), Planning and Zoning Commissioners and current Mayor.

Page 5	Does not like the red text on gray background.	The text has been revised to white.
Page 15	The location of the tree covers up the mural.	Noted.
Page 18	Numbers and text does not line up. Figure 20 – gravel parking is not permitted.	Numbers and text have been aligned. Image of Figure 20 was not suggesting parking would be permitted on gravel, but the area between the railroad tracks and spur (refer to #6 identified on page 19 under “Hydraulic Street Near Term”) be visually enhanced with a well-maintained gravel surface.
Page 27	Removal of lights over Van Emmon Street and possibly placing over just pedestrian way.	Overhead catenary lights have been removed from plan.
Page 29	Removal of lights over Van Emmon Street and possibly placing over just pedestrian way. Notation that the orange triangular area labeled “Gateway Landscape/Signage” was not public property.	Overhead catenary lights have been removed from plan. Area identified in plan as “Gateway Landscape/Signage” was a reference to the previously City Council approved landscape hill project. Area is owned by IDOT but allowed to be landscaped and maintained by the City upon approval from IDOT.
Page 38	Recommends a concrete ribbon for Figure 54 instead of gravel street apron.	Staff has made the requested change per direction from the EDC at the June 4, 2019 meeting.
Page 39	Recommends Figure 57 illustrate the concrete curb ribbon.	Staff has made the requested change per direction from the EDC at the June 4, 2019 meeting.
Page 54	Denote parcels for public, park, etc.	This map only reflects the existing zoning classification for each subdivided parcel.
Page 58	Missing existing Clark Park parcel north of river. Extension of bridge to Clark Park? Bridge over canoe crossing?	Noted and revised. Extension of bridge crossings identified on “Parks and Proposed Trail Networks” was taken from the City Council approved 2009 Yorkville Integrated Transportation Plan (ITP). See attached <i>Exhibit F – Downtown Study Area Analysis</i> of the Yorkville ITP.
Page 62	Private ownership label of Van Emmon Activity Center should be revised. Why are some parcels highlighted and others not?	Staff has made the requested change per direction from the EDC at the June 4, 2019 meeting. The parcels highlighted are those that fall within the territory of the identified commercial core of the downtown.
Page 65	Continuance of the railroad right-of-way color (orange) to the eastside of IL 47.	Noted and revised.

Formed-Based Code

Page	Comment	Correction
Page 2	Addition of Aldermen names under Acknowledgements	Staff has added the names of Aldermen (current and former), Planning and Zoning Commissioners and current Mayor
Page 4	Section 10-21-1-F-2 Deviations, requested second sentence be revised to read “The Community Development Director” instead of “The Director”.	Noted and revised.
Page 12	Section 10-21-2-B, requested the phrase “agricultural relics” be revised using different wording.	Sentence has been revised to “ <i>Hydraulic Street features short, utilitarian buildings as well as an inoperable grain elevator, that create an eclectic mix of land uses and character.</i> ”
Page 13	Remove overhead lighting in Figure 10-21-2C (1). Van Emmon Street (Long Term)	Noted and revised.
Page 14	Revise pedestrian facilities to indicate a 5’ sidewalk rather than a 4’ sidewalk.	Noted and revised.
Page 15	Add foot (‘) symbol behind 26 in Pavement Width. No gravel edge in “B” Street- Residential District.	Noted and revised. Noted.
Page 18	Under “Key” of Figure 10-21-3A (1). Yorkville Code Permitted Uses How to, add “special” to “Requires Use Permit”.	Noted and revised.
Page 19	Recommends “Amphitheater” be revised to be a “Special Use” rather than “Permitted with Development Standards”. Recommends “Outdoor Storage of Goods” be revised from “Permitted with Development Standards” to “Special Use”.	Noted and revised. Staff still recommends this accessory use remain permitted with special development standards, as this is consistent with the current code regulations found in Section 10-3-11: Outdoor Displays. www.sterlingcodifiers.com/Yorkville,IL:10-3-11
Page 20	Section 10-21-3-C, insert the word ‘Special’ in front of “Use Requirements”	Noted. However, these are standards for all use types, not just for special uses. Staff recommends no change.
Page 22	Recommends “Amphitheater” be revised to be a “Special Use” rather than “Permitted with Development Standards”. Recommends “Outdoor Storage of Goods” be revised from “Permitted with Development Standards” to “Special Use”.	Noted and revised. Staff still recommends this accessory use remain permitted with special development standards, as this is consistent with the current code regulations found in Section 10-3-11: Outdoor Displays. www.sterlingcodifiers.com/Yorkville,IL:10-3-11

STAFF COMMENTS:

Staff feels that the attached revised Streetscape Masterplan and Form-Based Code has addressed the comments/feedback provided at the June 5, 2019 Economic Development Committee meeting and the subsequent comments provided by Alderman Funkhouser. No other comments have been forwarded to staff by the City Administrator of any other requested revisions.

Regarding the overhead catenary lights originally recommended in the Streetscape Masterplan, staff has not proposed any alternative downtown gateway element based upon feedback at the June Economic Development Committee meeting. Although the overhead lights were the most popular of all gateway elements presented as part of an online survey (40% out of nearly 500 survey responses), staff felt the other gateway features were just as expensive or required continued maintenance. We welcome any additional feedback you may have on the latest attached revised documents and will be available to answer any questions.

ATTACHMENTS:

1. Draft Revised Yorkville Streetscape Master Plan
2. Draft Revised Yorkville Downtown Form-Based Code
3. Exhibit F – Downtown Study Area Analysis of the 2009 Yorkville Integrated Transportation Plan
4. Draft Ordinances



Memorandum

To: Economic Development Department
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Jason Engberg, Senior Planner
Date: July 16, 2019
Subject: **Downtown Form Based Code and Streetscape Master Plan**
Alternative Catenary Lighting

SUMMARY:

Review and discussion of the proposed alternative overhead catenary lighting in the downtown as part of the Yorkville Downtown Overlay District Plan consisting of a Streetscape Master Plan and Form-Based Code.

BACKGROUND:

As you may recall, the final draft of the Yorkville Downtown Overlay District Plan was presented at the May 14, 2019 City Council meeting for its first reading prior to adoption. A presentation of the highlights of the Streetscape Master Plan and the Form-Based Code for the overlay district was given at that meeting by the consultant, Doug Farr of Farr & Associates.

The plans are intended to establish the broader guidance for street character and development opportunities within the downtown which can be facilitated through public capital improvement projects and private redevelopment.

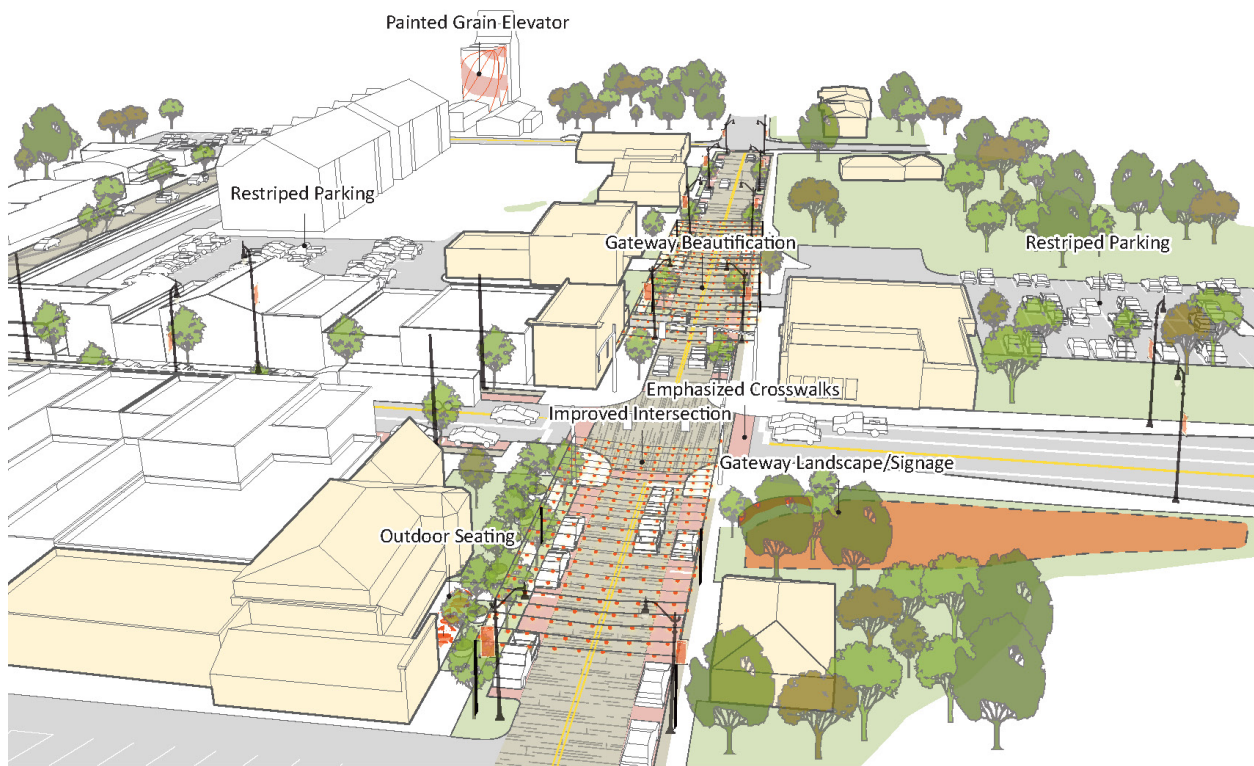
Over the course of 18-months, beginning in January 2018, the consultant and staff hosted a project website; conducted two (2) public workshops; previewed a draft plan at a committee meeting; held a public open house; and had a public hearing before the Planning and Zoning Commission; all to gather input and solicit feedback on the various drafts of the plan. All feedback received during this time was incorporated into the plan. A formal recommendation for adoption was made by the Planning and Zoning Commission on April 10, 2019.

At the June 4, 2019 Economic Development Committee meeting, staff received comments regarding certain aspects of the Streetscape Masterplan, specifically the curb treatment for 'B' Street Residential areas and the proposed overhead catenary lighting on Van Emmon Street. The curb treatment and subsequent edits recommended by Alderman Funkhouser were addressed by staff at the July 2nd meeting.

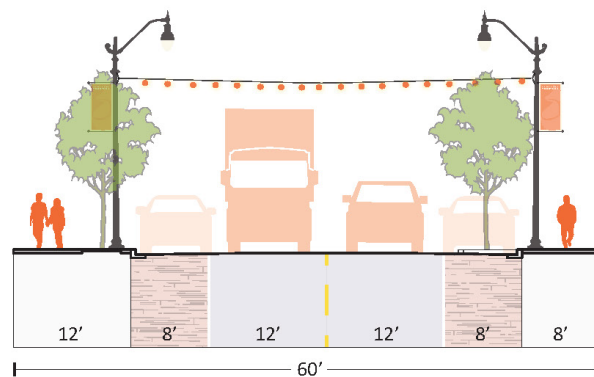
Staff is now addressing the direction given to explore alternative light fixture options to the catenary overhead lights on Van Emmon Street and bring back to the committee for further discussion.

ORIGINALLY PROPOSED PLAN:

In the originally proposed Streetscape Master Plan, overhead catenary lighting was recommended on Van Emmon Street (east and west) as a gateway and atmospheric feature within the downtown, as illustrated on the following page:



Van Emmon Street (Long-Term)



Purpose/Benefit

The introduction of lighting in any streetscape design is to define the public space. In large open public spaces such as Van Emmon Street, lighting from a suspended catenary system can create a passive transition between environments while visually identifying an intended place for gathering. The ambiance created by the cascading light “roof” maximizes the usable footprint of a public area for pedestrians beyond the sidewalk and heightens the awareness of drivers in this shared space. The increased illumination encourages night time usage of the downtown and adds another layer of security.

Design/Location

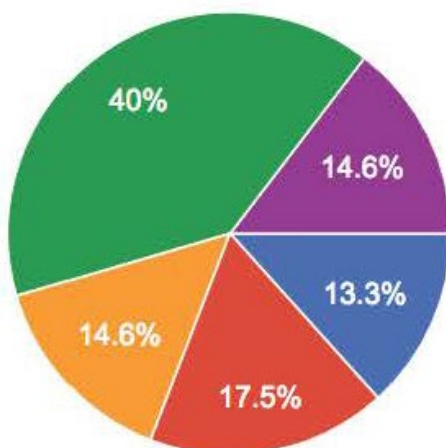
As proposed, the catenary system would have a linear grid light pattern attached to decorative poles suspended between 20 feet to 24 feet above Van Emmon Street and supported with concrete foundations. The lights, individual styled “Edison bulbs”, would extend mid-block on either side of East and West Van Emmon but will not be located within the IL Route 47 (S Bridge Street) right-of-way. The following images depict the originally proposed lighting system with views on both sides of Van Emmon Street:



Survey Results

As part of the public outreach conducted by the consultant in preparing the Yorkville Downtown Overlay District's Streetscape Master Plan, a web survey was implemented to garner feedback from citizens on design elements for the downtown. The survey was taken by nearly 500 respondents. When specifically asked "Which is a preferred gateway element into downtown?", approximately 40% responded that overhead lights should be utilized.

Which is a preferred **gateway** element into downtown?



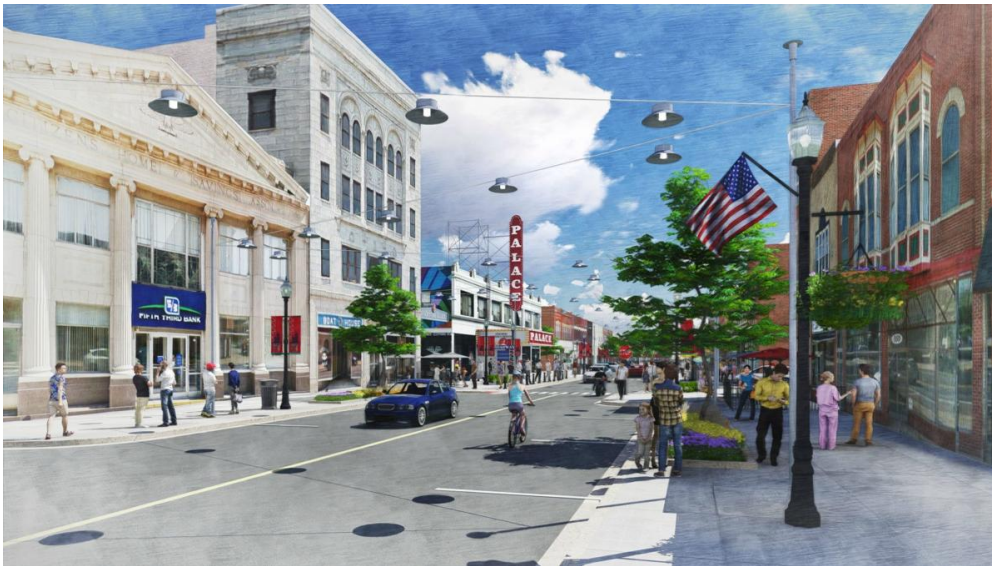
- a) Overhead signage
- b) Architectural symmetry
- c) Bridge over Bridge Street
- d) Overhead lights
- e) Unsure or Other

PROPOSED ALTERNATIVES:

During the June and July EDC discussions regarding the overhead lights, staff received mixed commentary and questions on if the catenary lights should be kept in the plan, the cost and future maintenance and we were also provided an alternative light fixture option by Alderman Funkhouser. Staff was further tasked with providing the committee with three (3) alternative light fixture options for formal consideration.

Below are four (4) alternative light fixtures proposed as alternatives to the “Edison Bulb” style depicted in the original proposal:

#1 Single Cable Pendant-Style Lights



- Simplest and most cost efficient with regards to number of light standards needed.
- Recommended for short distances and typically used in alley ways or suspended between buildings or poles where a discrete or delicate lighting effect is desired.

#2 Random Central Ring Globe Lights



- Ideal for large open areas where connections may be spaced irregularly between buildings and possibly poles.
- Depending on the spacing and number of light standards, the random positioning of the lighting can create a celestial or a luminous canopy effect.

#3 Linear Grid Bell-Shade Lights



- The uniform and geometric net-like system can be used for both small and large spaces which provides greater flexibility when incorporating temporary or seasonal decorations.
- The lighting effect provides the most coverage and the structural form of the net creates a transparent “ceiling” informally defining the space.

#4 Central Spine Singular Dome Lights



- Utilizes one principal lighting or architectural element to form an elegant appearance.
- Lighting effect is pinpoint, offering a “halo” glow at regular intervals.

COST & MAINTENANCE:

The city’s engineering consultant, Engineering Enterprises Inc. (EEI), provided a preliminary estimate of the costs to design and install the catenary lighting system. Per the originally proposed design, the total preliminary estimated cost for engineering and installation on both East and West Van Emmon Street would be approximately \$240,000. Below is a detail of those early estimates:

DOWNTOWN CATENARY LIGHTING - PRELIMINARY COST ESTIMATES

WEST VAN EMMON					EAST VAN EMMON				
<i>Item</i>	<i>Unit</i>	<i>Quantity</i>	<i>Unit Price</i>	<i>Amount</i>	<i>Item</i>	<i>Unit</i>	<i>Quantity</i>	<i>Unit Price</i>	<i>Amount</i>
Decorative Poles	EA	10	\$3,000	\$30,000	Decorative Poles	EA	12	\$3,000	\$36,000
Lighting Cable & Fixtures	FT	1,200	\$25	\$30,000	Lighting Cable & Fixtures	FT	1,450	\$25	\$36,250
Concrete Foundations	FT	70	\$250	\$17,500	Concrete Foundations	FT	84	\$250	\$21,000
Electrical Service	EA	1	\$5,000	\$5,000	Electrical Service	EA	1	\$5,000	\$5,000
Subtotal				\$82,500	Subtotal				\$98,250
Contingency (15%)				\$12,400	Contingency (15%)				\$14,800
Total				\$94,900	Total				\$113,050
Engineering (15%)				\$14,300	Engineering (15%)				\$17,000
TOTAL PRELIMINARY ESTIMATE				\$109,200	TOTAL PRELIMINARY ESTIMATE				\$130,050

The highest percentage of costs associated with the catenary light system are the decorative poles and length of lighting cable and fixtures. These estimates can be adjusted to use less expensive or fewer number of poles in addition to shortening the run of cable or limiting the number of fixtures.

With regard to future maintenance of the catenary lights, according to architectural and structural engineers who design and install such systems, they should require very little upkeep as long as careful consideration of access to the power supply in the design stage is taken. Additionally, maintenance may also include the seasonal and themed decoration changes and the washing and replacement of light fixtures.

STAFF COMMENTS/REQUESTED DIRECTION:

Staff believes the information provided in this memo outlines the comments and feedback received at the June and July Economic Development Committee meetings regarding the proposed catenary lights. Therefore, we are seeking firm direction and consensus from the committee regarding the following:

1. To keep or remove the overhead catenary lighting feature from the Streetscape Master Plan.
2. If to keep, specific catenary lighting fixture preference.

We welcome any additional feedback you may have on the information provided and will be available to answer any questions.

ATTACHMENTS:

1. Draft Revised Yorkville Streetscape Master Plan
2. Draft Revised Yorkville Downtown Form-Based Code



Memorandum

To: Economic Development Department
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Jason Engberg, Senior Planner
Date: August 21, 2019
Subject: **Downtown Form Based Code and Streetscape Master Plan**
Lot-by-Lot Analysis

SUMMARY:

Review and discussion of the proposed Yorkville Downtown Overlay District Plan consisting of a Streetscape Master Plan and Form-Based Code on a lot-by-lot basis considering the existing zoning and existing land use, versus the proposed district classification and proposed uses. Also provided are three (3) development scenarios of lots with redevelopment potential utilizing the form-based code standards.

BACKGROUND:

As you may recall, the final draft of the Yorkville Downtown Overlay District Plan was presented at the May 14, 2019 City Council meeting for its first reading prior to adoption. A presentation of the highlights of the Streetscape Master Plan and the Form-Based Code for the overlay district was given at that meeting by the consultant, Doug Farr of Farr & Associates.

The plans are intended to establish the broader guidance for street character and development opportunities within the downtown which can be facilitated through public capital improvement projects and private redevelopment.

Over the course of 18-months, beginning in January 2018, the consultant and staff hosted a project website; conducted two (2) public workshops; previewed a draft plan at a committee meeting; held a public open house; and had a public hearing before the Planning and Zoning Commission; all to gather input and solicit feedback on the various drafts of the plan. All feedback received during this time was incorporated into the plan. A formal recommendation for adoption was made by the Planning and Zoning Commission on April 10, 2019.

At the June 4, 2019 Economic Development Committee meeting, staff received comments regarding certain aspects of the Streetscape Masterplan, specifically the curb treatment for 'B' Street Residential areas and the proposed overhead catenary lighting on Van Emmon Street. The curb treatment and subsequent edits recommended by Alderman Funkhouser were addressed by staff at the July 2nd meeting. Staff was eventually given direction by the EDC at the August 6, 2019 meeting to keep the originally proposed catenary overhead lights on Van Emmon Street.

PURPOSE:

Over the past four (4) months where staff has presented the Yorkville Downtown Overlay District Plan to the City Council and Economic Development Committee for approval, a sense of hesitancy has been observed in moving towards a new planning regulation approach, particularly with the Form-Based Code. Therefore, staff recommended to the Mayor providing a lot-by-lot analysis of the parcels affected in the downtown as part of the overlay district, comparing the current zoning and land uses of traditional zoning to the proposed district classification and proposed uses in the Form-Based Code.

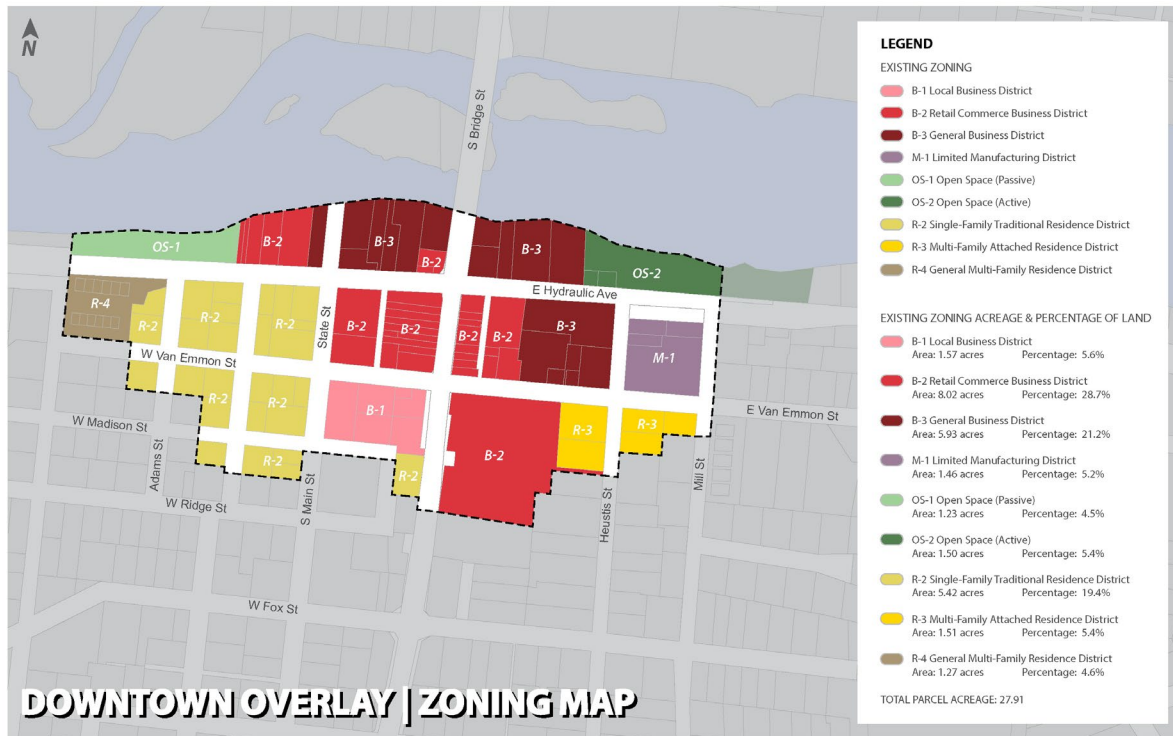
To better understand the basic differences between utilizing traditional zoning and a form-based code in the redevelopment process, staff has prepared the following chart:

	TRADITIONAL ZONING	FORM-BASED CODES
OVERALL FOCUS	Use of Land (commercial, residential, industrial, etc.)	Use of Building (form, scale, location on site, access, aesthetics, etc..)
REGULATORY APPROACH	Land Use Divided into Zones (typically based on lot size)	Buildings divided into Districts (typically based on street frontage)
	Emphasis on uses ; building placement to public realm (street) is unpredictable .	Emphasis on building form; relation to the public realm (street) is predictable .
USE FOCUS	Mostly single use zones of land; may allow for limited mix of uses in a zone; however, relies on transition of use by intensity to change zones.	Allows for an appropriate mix of uses within buildings and districts; relies on street intensity to transition changes in district.
BUILDING FOCUS	Uniformity in neighborhoods via land use.	Diversity in neighborhoods via districts.
	Open-ended design standards with little focus on public spaces	Defined architectural form & focus on public spaces
	Buildings are encouraged to disengage the public realm with required minimum setbacks	Buildings are encouraged to engage the public realm with required build-to lines.
STREET FOCUS	Focus is on site – little emphasis on right-of-way.	Focus is on site and public realm/streetscape.

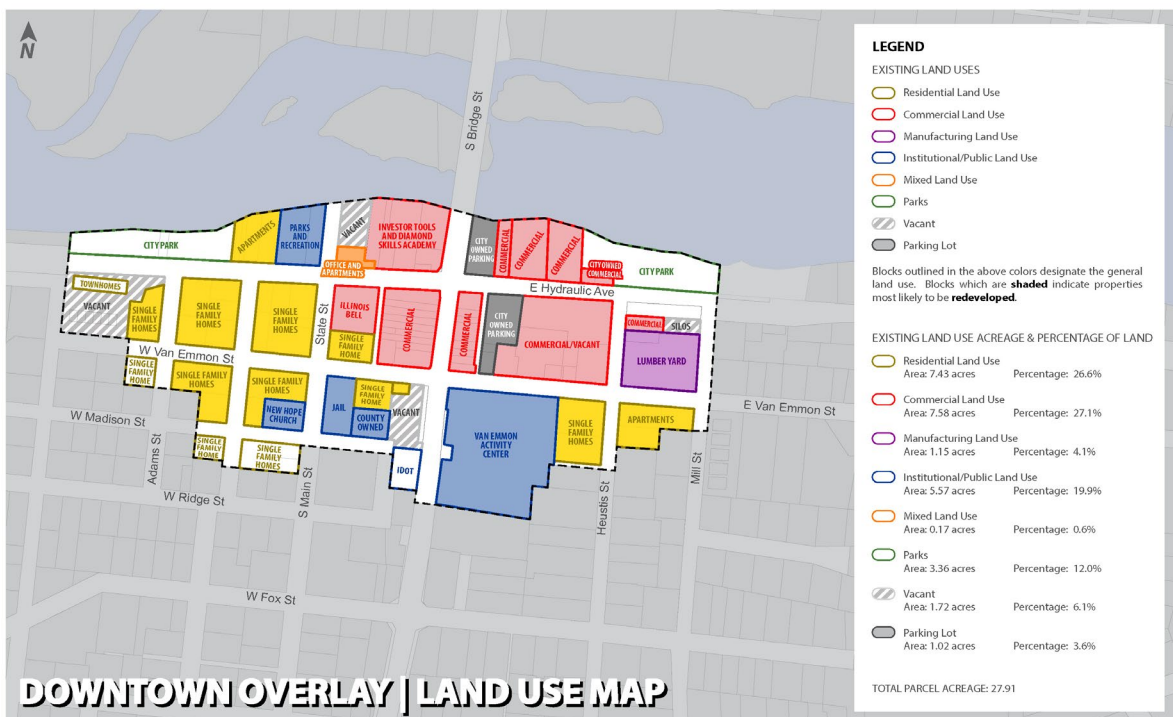
LOT-BY-LOT ANALYSIS:

Zoning & Land Use Analysis

Of the approximately 28-acres within the downtown overlay district, nearly 56% (15.5 acres) are zoned commercial. This includes B-1 Local Business District (~6%), B-2 Retail Commerce Business District (~29%), and B-3 General Business District (~21%). Residentially zoned parcels within the downtown overlay district accounts for 29% (8.2 acres), consisting of R-2 Single-Family Traditional Residence District (~19%), R-3 Multi-Family Attached Residence District (~5%) and R-4 General Multi-Family Residence District (~5%). The remaining parcels (~15%) are comprised of manufacturing (~5%) and open space (~10%). An illustration of the existing zoning designation and acreage is provided in the following map titled “Downtown Overlay| Zoning Map”.



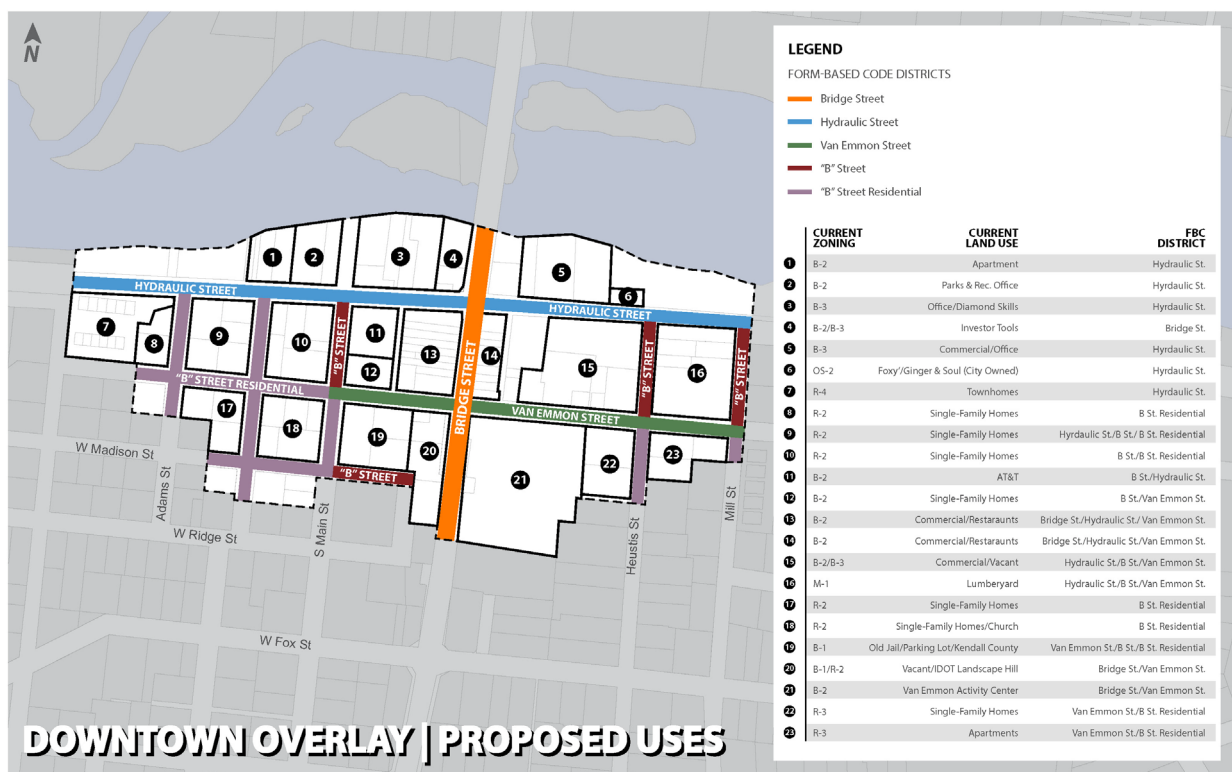
While commercial zoning is the most prevalent designation in the downtown overlay district (56%), the actual land use utilized for commercial is much lower, accounting for only 27%. As illustrated on the following map titled “Downtown Overlay| Land Use Map”, the area for existing commercial (7.58 acres) and residential (7.43 acres) land uses are almost equal within the downtown. The next most predominant land use within the downtown overlay district is Institutional/Public, nearly 20%, encompassing city/county owned properties, a state-owned transportation parcel, and a religious institution. The remaining parcels are utilized for public parks (~12%), vacant land (~6%), public parking (~4%) and mixed use (~1%).



It is staff's opinion that the underutilization of land for its currently zoned purpose (*only 27% of the 56% land zoned for commercial is actually used for commercial purposes*) indicates the downtown overlay district is primed for redevelopment. Additionally, with an almost equal match of commercial and residential land use in the downtown overlay district, further attention must be given to how the forms of buildings interact along the main corridors (Bridge Street, Hydraulic Ave., and Van Emmon Street) to ensure visual compatibility. This also means encouraging a more mix of uses within buildings themselves. All of which the proposed Form-Based Code addresses.

Proposed Use Analysis

To better understand the relationship between the current zoning, current land use and the correlating districts proposed in the Form-Based Code, staff prepared the following graphic which examines on a block by block basis the potential future uses for the parcels within the downtown overlay district:



As indicated, the Form-Based Code proposes five (5) distinct districts based upon the characteristics of the roadway it abuts. Those districts are as follows:

- Bridge Street
- Hydraulic Street
- Van Emmon Street
- "B" Street
- "B" Street Residential

The Form-Based Code has taken the unique characteristics of each of these roadways, such as: street dimensions; orientation to environmental features or other prominent buildings/architecture; pedestrian scale, and assigns appropriate standards for building scale and features, as well as land uses. While some

of the existing zoning and/or land uses of the parcels within the proposed downtown overlay district may correlate with its current zoning, the Form-Based Code looked to eliminate those uses that may not compliment the commercial/residential mixed-use intent. Especially when such uses are proposed to be within a single structure.

Finally, the Form-Based Code considered the building form when modifying land uses in the downtown overlay district, to ensure any mixed-use development would be scaled and designed appropriately, even if the adjacent uses aren't the same. The attached table titled "Downtown Overlay| Permitted Use Comparison" contrasts the permitted uses allowed under the current zoning versus the proposed permitted uses in the Form-Based Code.

Upon analyzing the permitted uses by the current zoning ordinance and the proposed permitted uses of the Form-Based Code, staff feels the Form-Based Code narrows the walkable, pedestrian-oriented "Main Street" feel the Streetscape Master Plan tried to evoke by eliminating uses that are too intensive (i.e. hospitals, Colleges/Universities, semi-truck/automobile sales/repair), incompatible (i.e., funeral homes, firearms & ammunition manufacturing, solid waste disposal site), or aesthetically mismatched (i.e., trailer parks/camps, bus storage yards, car/RV sales) for the neighborhood shops, eateries and mid-density living envisioned for the downtown overlay district area.

Review of Development under Current Zoning vs. Form-Based Code

Currently, the Zoning Ordinance allows for staff to review and approve any land use that is identified as a permitted use in that district without prior City Council authorization. This is because the City Council has already given approval of those specific land uses with the comprehensive adoption of the Zoning Ordinance. It is when a land use is deemed compatible in a certain district, but only if certain standards are met, is a Special Use is identified, requiring additional public scrutiny and City Council approval. This is similarly being proposed with the Form-Based Code.

The Form-Based Code proposes to further refine the list of out-right permitted uses in the various districts of the downtown, with two (2) key new distinctions – the promotion of mixed-use buildings/streets and the focus on the form in which those buildings/streets take. While special uses are still identified in the Form-Based Code and would require the same public review and City Council approval, the intent is to streamline the process.

The streamlining occurs by having the City Council approve the proposed new land uses they see appropriate for the downtown (such as permitting "bed & breakfast" on Hydraulic St.) and prohibiting those that aren't (such as "funeral homes" on Bridge Street) upfront. This upfront approval sets the tone for future developers to know that the specific vision is of the City for the downtown, not just by zoning, but by narrowed approved uses and building forms. Finally, the Form-Based Code minimizes the delay of desired projects having to go through the rezoning and/or special use process under the current Zoning Ordinance and conversely, rejects projects deem unsuitable for the downtown that may get approved because they are allowed under the existing zoning district.

Sample Exhibits of Form-Based Code Redevelopment

Staff has prepared the attached three (3) sample exhibits of sites within the downtown overlay district illustrating potential redevelopment options based upon the standards of the proposed Form-Based Code. The samples are from each of the major thoroughfares within the downtown overlay district: Bridge Street, Hydraulic Street and Van Emmon Street. As illustrated, staff has provided existing and potential layouts for each scenario, as well as existing and potential building massing models.

The Bridge Street development exhibits a potential three (3) story "Downtown Commercial" building type redevelopment of the current Van Emmon Activity Center property with ground floor commercial and upper story office space.

The West Block development shows a potential redevelopment of an entire city block currently zoned R-2 Single-Family Traditional Residence District. Since this block has multiple frontages on Hydraulic, Main, State and Van Emmon streets, the exhibit shows two (2) various types of the “Downtown Living Buildings”. The Van Emmon Street building is a four (4) story multi-family residential (apartments) building. The Hydraulic fronting building is three (3) stories which can be used as a mix of 1st floor commercial and upper story residential.

Finally, the Hydraulic Avenue exhibit shows a potential city block redevelopment of “Downtown Commercial”. The Hydraulic facing building is a three (3) story commercial building. The Van Emmon Street facing building is a two (2) story commercial building with accessory parking structure.

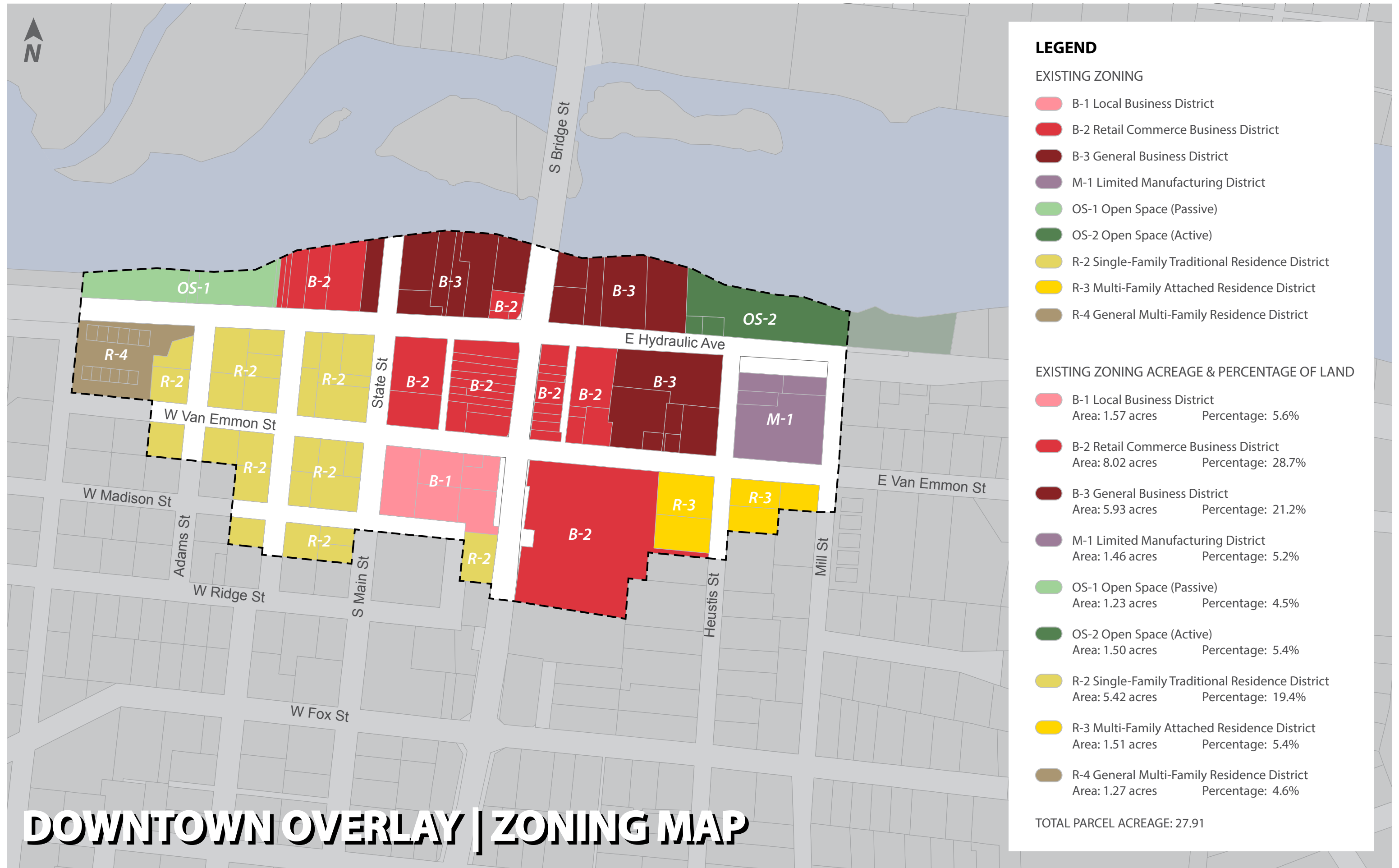
STAFF COMMENTS/REQUESTED DIRECTION:

Staff believes the information provided in this memo should address the comments and feedback received from the Economic Development Committee meetings regarding the Form-Based Code and how it relates to proposed future land use and potential building forms. Therefore, we are seeking firm direction and consensus from the committee if the Yorkville Downtown Overlay District Plan, consisting of a Streetscape Master Plan and Form-Based Code, can move forward to September 10th City Council meeting for formal adoption.

We welcome any additional feedback you may have on the information provided and will be available to answer any questions.

ATTACHMENTS:

1. Downtown Overlay| Zoning Map
2. Downtown Overlay| Land Use Map
3. Downtown Overlay| Proposed Uses
4. Downtown Overlay| Permitted Use Comparison
5. Downtown Overlay| Sample Form-Based Code Exhibits
6. Draft Revised Yorkville Streetscape Master Plan
7. Draft Revised Yorkville Downtown Form-Based Code












LEGEND

EXISTING ZONING

-  B-1 Local Business District
-  B-2 Retail Commerce Business District
-  B-3 General Business District
-  M-1 Limited Manufacturing District
-  OS-1 Open Space (Passive)
-  OS-2 Open Space (Active)
-  R-2 Single-Family Traditional Residence District
-  R-3 Multi-Family Attached Residence District
-  R-4 General Multi-Family Residence District

EXISTING ZONING ACREAGE & PERCENTAGE OF LAND

-  B-1 Local Business District
Area: 1.57 acres Percentage: 5.6%
-  B-2 Retail Commerce Business District
Area: 8.02 acres Percentage: 28.7%
-  B-3 General Business District
Area: 5.93 acres Percentage: 21.2%
-  M-1 Limited Manufacturing District
Area: 1.46 acres Percentage: 5.2%
-  OS-1 Open Space (Passive)
Area: 1.23 acres Percentage: 4.5%
-  OS-2 Open Space (Active)
Area: 1.50 acres Percentage: 5.4%
-  R-2 Single-Family Traditional Residence District
Area: 5.42 acres Percentage: 19.4%
-  R-3 Multi-Family Attached Residence District
Area: 1.51 acres Percentage: 5.4%
-  R-4 General Multi-Family Residence District
Area: 1.27 acres Percentage: 4.6%

TOTAL PARCEL ACREAGE: 27.91

DOWNTOWN OVERLAY | ZONING MAP



LEGEND

FORM-BASED CODE DISTRICTS

- Bridge Street
- Hydraulic Street
- Van Emmon Street
- "B" Street
- "B" Street Residential

	CURRENT ZONING	CURRENT LAND USE	FBC DISTRICT
1	B-2	Apartment	Hydraulic St.
2	B-2	Parks & Rec. Office	Hyrdraulic St.
3	B-3	Office/Diamond Skills	Hyrdraulic St.
4	B-2/B-3	Investor Tools	Bridge St.
5	B-3	Commercial/Office	Hyrdraulic St.
6	OS-2	Foxy'/Ginger & Soul (City Owned)	Hyrdraulic St.
7	R-4	Townhomes	Hyrdraulic St.
8	R-2	Single-Family Homes	B St. Residential
9	R-2	Single-Family Homes	Hyrdraulic St./B St./ B St. Residential
10	R-2	Single-Family Homes	B St./B St. Residential
11	B-2	AT&T	B St./Hydraulic St.
12	B-2	Single-Family Homes	B St./Van Emmon St.
13	B-2	Commercial/Restaraunts	Bridge St./Hydraulic St./ Van Emmon St.
14	B-2	Commercial/Restaraunts	Bridge St./Hydraulic St./Van Emmon St.
15	B-2/B-3	Commercial/Vacant	Hydraulic St./B St./Van Emmon St.
16	M-1	Lumberyard	Hydraulic St./B St./Van Emmon St.
17	R-2	Single-Family Homes	B St. Residential
18	R-2	Single-Family Homes/Church	B St. Residential
19	B-1	Old Jail/Parking Lot/Kendall County	Van Emmon St./B St./B St. Residential
20	B-1/R-2	Vacant/IDOT Landscape Hill	Bridge St./Van Emmon St.
21	B-2	Van Emmon Activity Center	Bridge St./Van Emmon St.
22	R-3	Single-Family Homes	Van Emmon St./B St. Residential
23	R-3	Apartments	Van Emmon St./B St. Residential

DOWNTOWN OVERLAY | PROPOSED USES

DOWNTOWN OVERLAY| PERMITTED USE COMPARISON

FORM-BASED CODE DISTRICT	CURRENT ZONING DISTRICT	CURRENT PERMITTED USES	PROPOSED FORM-BASED CODE USES
Bridge St.	B-1 Local Business	Apartments (2 nd Fl); Funeral Home; College ; Library; Religious Institutions: Art Gallery; Ad Agency; Antique Sales; Retail Bakery; Bank w/Drive up ; Barber/Beauty Shop; Boat Sales & Rental; Book Keeping; Book Store; Clothes-Pressing & Repair ; Private Club/Lodge; Coffee Shop; Commercial Laboratory; Community Center ; Detective Agency; Dressmaker; Dry Cleaning; Employment Office; Grocery Store; Liquor Store ; Massage; Medical Clinic; Microbrewery/ Microdistillery /Micro-Brewpub/Micro-Wineries; Parks; Pawnshops ; Photo Studio; Playground; Post Office; Professional Services/Offices; Radio Studio; Recreation Center ; Resale Dealers; Restaurant; Drug Store; Shoe Repair; Swimming Pool- Indoor; Tattoo & Body Piercing; Trailer Park/Camp; Treatment Center; Electric Substation ; Fire Station; Police Station; Building Mounted Solar Panels; Accessory Buildings/Structures.	Residential Dwellings (upper stories only) ; Hotel/Motel (with development standards); Bed & Breakfast (upper stories only) ; Civic Offices & Services; Library/Museum; Police & Fire (with development standards); Post Office (no distribution); Religious & Organization Assembly; Neighborhood Retail (<8,000 sf); General Retail (with development standards); Neighborhood Service; General Service (with development standards); Recreation/Entertainment; Food Services & Drinking Places; Office (upper stories only) ; Small-scale Industry (with development standards); Parking Lot/Structure (with development standards) ; Public Utility & Infrastructure; Open Space (with development standards); Alternative Energy Generation (with development standards); Home Occupation; Outdoor Restaurant Dining; Sidewalk Sales (with development standards); Mobile Food Vendors (with development standards) ; Temporary Structures (with development standards).
	B-2 Retail Commerce	All B-1 Local Business uses; Hospital; Nursing Home; Auto Parts/Accessory Sales; Auto Rental ; Bicycle Repair; Billiard Parlor; Bowling Alley; Dance Hall ; Department Store; Health & Fitness Club/Center; Hotel/Motel; Interior Decorator Studio; Locksmith; Music Instrument Sales/Repair; Newspaper Publishing ; Pet Store/Supply; Taxidermist; Theater; Watch & Clock Repair/Sales; Weaving & Mending.	
	B-3 General Business	All B-1 Local Business Uses and B-2 Retail Commerce Uses; Appliance Service; Auto Repair; Auto Sales Lot; Building Material Sales; Car Wash ; Catering; Furniture Repair; Miniature Golf Course; Golf Driving Range; Dog Kennel; Motorcycle Sales ; Nursery/Greenhouse; RV Sales ; Skating Rink; Upholstery Shop; Vet Clinic; Taxicab Business; Electric Substation ; Fire Station; Police Station.	
	R-2 Single-Family	Single-Family Dwelling; Public or Private School; Golf Course ; Parks; Playground; Building Mounted Solar Panels; Accessory Buildings/Structures.	
Hydraulic St.	B-2 Retail Commerce	All B-1 Local Business uses; Hospital; Nursing Home; Auto Parts/Accessory Sales; Auto Rental ; Bicycle Repair; Billiard Parlor; Bowling Alley; Dance Hall ; Department Store; Health & Fitness Club/Center; Hotel/Motel; Interior Decorator Studio; Locksmith; Music Instrument Sales/Repair; Newspaper Publishing ; Pet Store/Supply; Taxidermist; Theater; Watch & Clock Repair/Sales; Weaving & Mending.	Residential Dwelling – Downtown Living (Multi-Family/Apartments) ; Hotel/Motel (with development standards); Bed & Breakfast (upper stories only) ; Senior Housing (with development standards) ; Civic Offices & Services; Library/Museum; Police & Fire (with development standards); Post Office (no distribution); Religious & Organization Assembly; Neighborhood Retail (<8,000 sf); General Retail (with development standards); Neighborhood Service; General Service (with development standards); Recreation/Entertainment; Food Services & Drinking Places; Office; Small-scale Industry (with development standards); Parking Lot/Structure (with development standards) ; Public Utility & Infrastructure; Open Space (with development standards); Alternative Energy Generation (with development standards); Home Occupation; Outdoor Storage of Goods (with development standards); Outdoor Restaurant Dining; Roadside Produce Stand/Vending; Sidewalk Sales (with development standards); Mobile Food Vendors (with development standards) ; Temporary Storage Containers (with development standards);Temporary Structures (with development standards).
	B-3 General Business	All B-1 Local Business Uses and B-2 Retail Commerce Uses; Appliance Service; Auto Repair; Auto Sales Lot; Building Material Sales; Car Wash ; Catering; Furniture Repair; Miniature Golf Course; Golf Driving Range; Dog Kennel; Motorcycle Sales ; Nursery/Greenhouse; RV Sales ; Skating Rink; Upholstery Shop; Vet Clinic; Taxicab Business; Electric Substation ; Fire Station; Police Station.	
	R-2 Single-Family	Single-Family Dwelling; Public or Private School; Golf Course ; Parks; Playground; Building Mounted Solar Panels; Accessory Buildings/Structures.	
	R-4 General Multi-Family	Duplex Dwelling ; Multi-Family Dwelling (Apartments); Single-Family Dwelling; Townhouse Dwelling; Public or Private School; Golf Course ; Parks; Playground; Other Public Utility Facilities; Building Mounted Solar Panels; Accessory Buildings/Structures.	
	M-1 Limited Manufacturing	College, University or Junior College; Hospital ; Library; Religious Institutions; Art Galleries/Art Studio; Automobile Repair ; Brewery; Car Wash; Carpet & Rug Cleaning ; Contractor Offices; Health & Fitness Club/Center; Heavy Machinery & Equipment Rental ; Microbrewery/Microdistillery/Micro-Brewpub/Micro-Wineries; Milk Processing/Distribution; Newspaper Publishing; Recreation Center ; Repair of Household/Office Machinery/Equipment; Semi-Truck Repair; Tattoo & Body Piercing; Truck/Tractor Trailer/Car Trailer or Bus Yard Storage; Any Assembly/Production/Manufacturing/Testing/ Repairing/Processing ; Wholesale Bakery; Blacksmith/Welding Shop; Firearms & Ammunition Manufacturing ; Research Laboratories; Wholesaling/Warehousing; Bus/Truck Garage; Bus/Truck Storage Yard; Electric Substation; Filtration Plant ; Fire Station; Police Station; Public Utilities – Electric Substation/Distribution Centers and Gas Regulation Centers/Underground Gas Holder Stations; Other Public Utilities; Commercial Radio/Television Towers; Sewage Treatment Plant; Solid Waste Disposal Site; Utility Company Maintenance Yard; Utility Service Yard/Garage; Watchman Quarters ; Building Mounted Solar Energy Systems; Accessory Buildings/Uses and Structures.	

Black Text = No Change in Permitted Land Use

Red Text = Existing Use Not A Permitted Use in Form-Based Code

Green Text = Proposed Form-Based Code Use Unique to District or Not Permitted in Existing Zoning

DOWNTOWN OVERLAY| PERMITTED USE COMPARISON

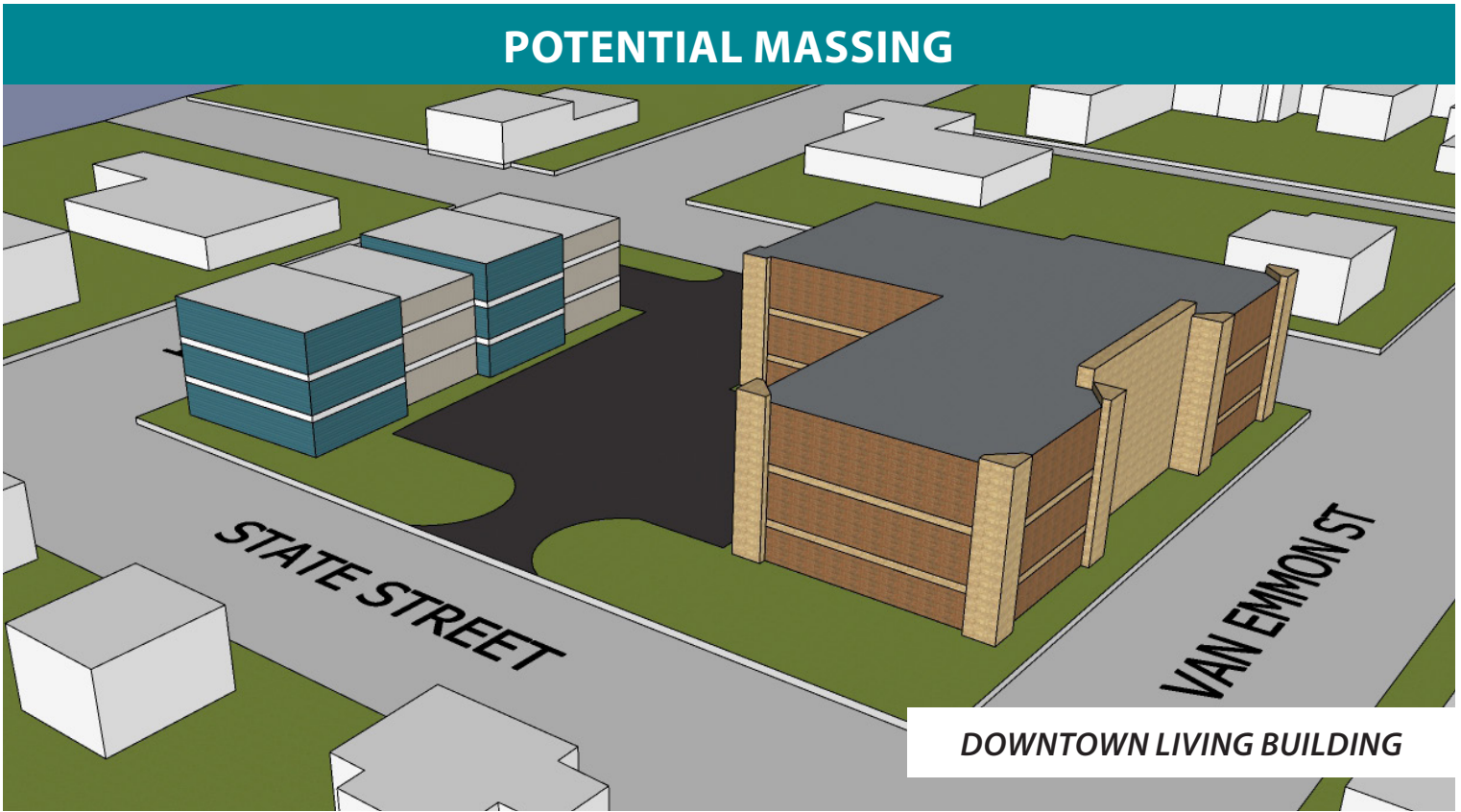
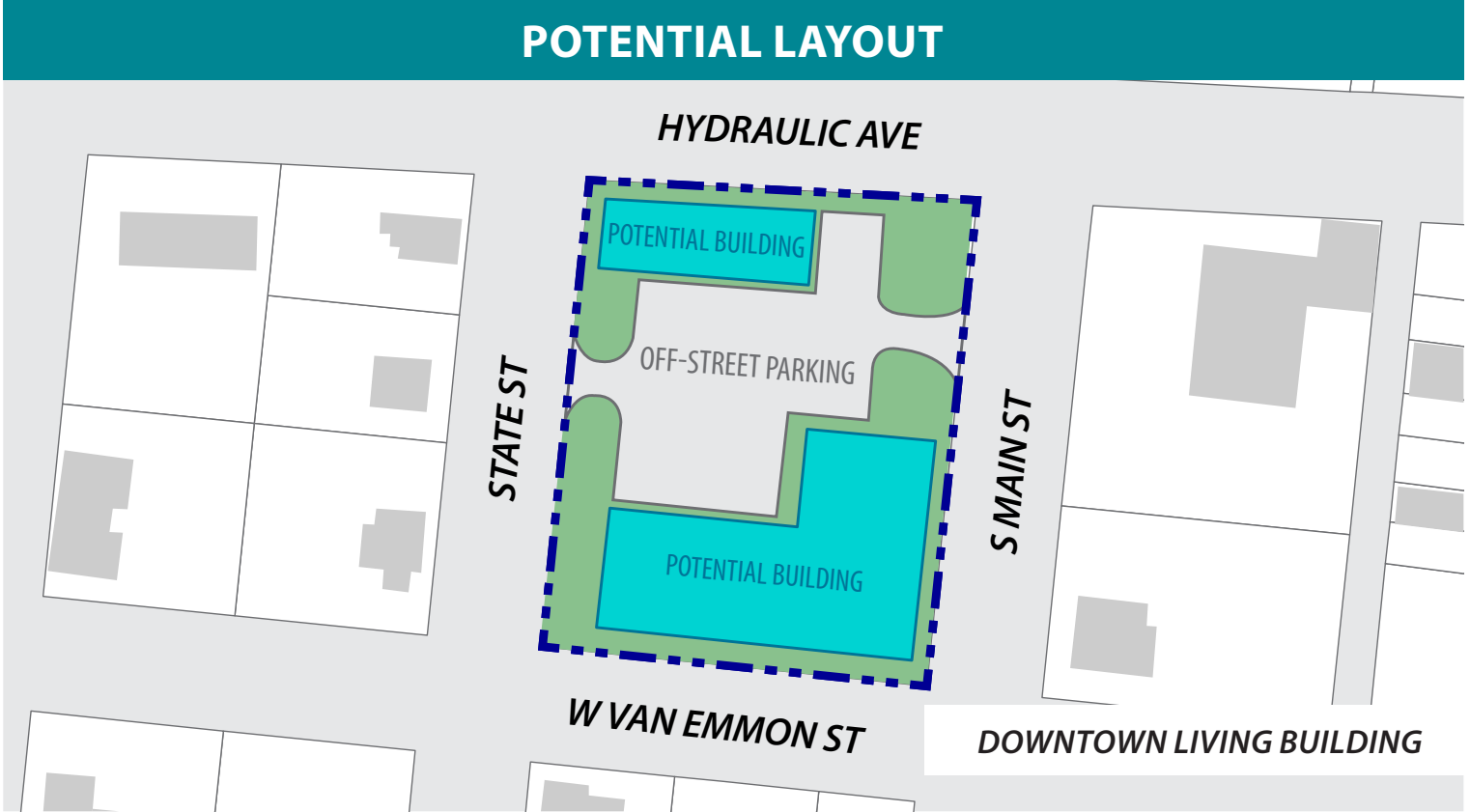
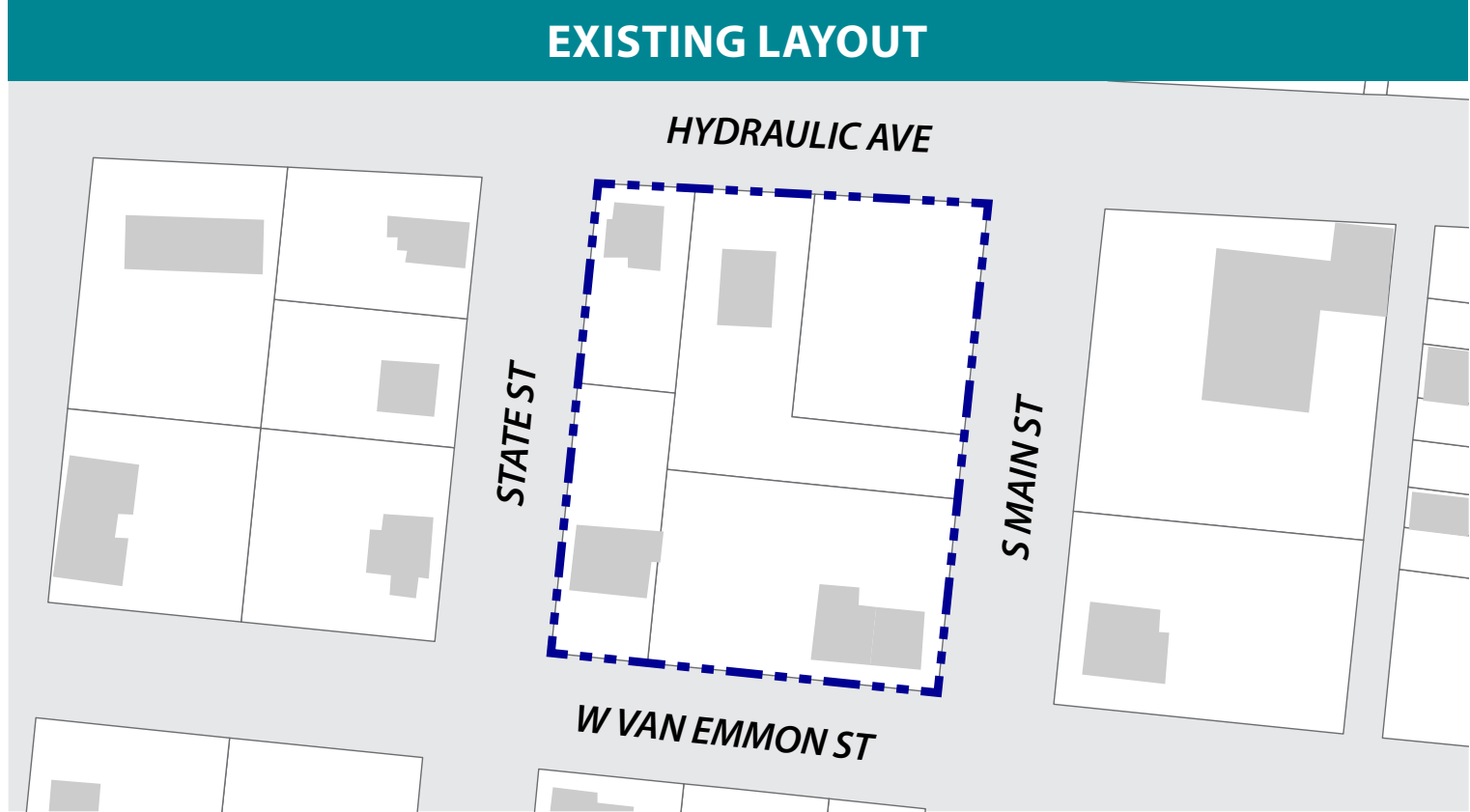
Van Emmon St.	B-1 Local Business	Apartments (2 nd Fl); Funeral Home; College; Library; Religious Institutions: Art Gallery; Ad Agency; Antique Sales; Retail Bakery; Bank w/Drive up; Barber/Beauty Shop; Boat Sales & Rental; Book Keeping; Book Store; Clothes-Pressing & Repair; Private Club/Lodge; Coffee Shop; Commercial Laboratory; Community Center; Detective Agency; Dressmaker; Dry Cleaning; Employment Office; Grocery Store; Liquor Store; Massage; Medical Clinic; Microbrewery/Microdistillery/Micro-Brewpub/Micro-Wineries; Parks; Pawnshops; Photo Studio; Playground; Post Office; Professional Services/Offices; Radio Studio; Recreation Center; Resale Dealers; Restaurant; Drug Store; Shoe Repair; Swimming Pool- Indoor; Tattoo & Body Piercing; Trailer Park/Camp; Treatment Center; Electric Substation; Fire Station; Police Station; Building Mounted Solar Panels; Accessory Buildings/Structures.	Residential Dwelling – Downtown Living (Multi-Family/Apartments)/Attached Living (Duplex/Townhomes); Hotel/Motel (with development standards); Senior Housing (with development standards); Civic Offices & Services; Library/Museum; Police & Fire (with development standards); Post Office (no distribution); Religious & Organization Assembly; Neighborhood Retail (<8,000 sf); General Retail (with development standards); Neighborhood Service; General Service (with development standards); Recreation/Entertainment (with development standards); Food Services & Drinking Places; Office; Small-scale Industry (with development standards); Parking Lot/Structure (with development standards); Public Utility & Infrastructure; Open Space (with development standards); Alternative Energy Generation (with development standards); Home Occupation; Outdoor Storage of Goods (with development standards); Outdoor Restaurant Dining; Sidewalk Sales (with development standards); Mobile Food Vendors (with development standards); Temporary Storage Containers (with development standards);Temporary Structures (with development standards).
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	R-3 Multi-Family	Duplex Dwelling; Multi-Family Dwelling (Apartments); Single-Family Dwelling; Townhouse Dwelling; Public or Private School; Golf Course; Parks; Playground; Other Public Utility Facilities; Building Mounted Solar Panels; Accessory Buildings/Structures.	
	M-1 Limited Manufacturing	College, University or Junior College; Hospital; Library; Religious Institutions; Art Galleries/Art Studio; Automobile Repair; Brewery; Car Wash; Carpet & Rug Cleaning; Contractor Offices; Health & Fitness Club/Center; Heavy Machinery & Equipment Rental; Microbrewery/Microdistillery/Micro-Brewpub/Micro-Wineries; Milk Processing/Distribution; Newspaper Publishing; Recreation Center; Repair of Household/Office Machinery/Equipment; Semi-Truck Repair; Tattoo & Body Piercing; Truck/Tractor Trailer/Car Trailer or Bus Yard Storage; Any Assembly/Production/Manufacturing/Testing/ Repairing/Processing; Wholesale Bakery; Blacksmith/Welding Shop; Firearms & Ammunition Manufacturing; Research Laboratories; Wholesaling/Warehousing; Bus/Truck Garage; Bus/Truck Storage Yard; Electric Substation; Filtration Plant; Fire Station; Police Station; Public Utilities – Electric Substation/Distribution Centers and Gas Regulation Centers/Underground Gas Holder Stations; Other Public Utilities; Commercial Radio/Television Towers; Sewage Treatment Plant; Solid Waste Disposal Site; Utility Company Maintenance Yard; Utility Service Yard/Garage; Watchman Quarters; Building Mounted Solar Energy Systems; Accessory Buildings/Uses and Structures.	
“B” Street	B-1 Local Business	Apartments (2 nd Fl); Funeral Home; College; Library; Religious Institutions: Art Gallery; Ad Agency; Antique Sales; Retail Bakery; Bank w/Drive up; Barber/Beauty Shop; Boat Sales & Rental; Book Keeping; Book Store; Clothes-Pressing & Repair; Private Club/Lodge; Coffee Shop; Commercial Laboratory; Community Center; Detective Agency; Dressmaker; Dry Cleaning; Employment Office; Grocery Store; Liquor Store; Massage; Medical Clinic; Microbrewery/Microdistillery/Micro-Brewpub/Micro-Wineries; Parks; Pawnshops; Photo Studio; Playground; Post Office; Professional Services/Offices; Radio Studio; Recreation Center; Resale Dealers; Restaurant; Drug Store; Shoe Repair; Swimming Pool- Indoor; Tattoo & Body Piercing; Trailer Park/Camp; Treatment Center; Electric Substation; Fire Station; Police Station; Building Mounted Solar Panels; Accessory Buildings/Structures.	Residential Dwelling – Downtown Living (Multi-Family/Apartments)/Attached Living (Duplex/Townhomes); Hotel/Motel; Senior Housing (with development standards); Civic Offices & Services; Religious & Organization Assembly; Neighborhood Retail (<8,000 sf); Food Services & Drinking Places; Office; Small-scale Industry; Parking Lot/Structure (with development standards); Public Utility & Infrastructure; Open Space (with development standards); Alternative Energy Generation (with development standards); Home Occupation; Outdoor Storage of Goods (with development standards); Outdoor Restaurant Dining; Roadside Produce Stand/Vending (with development standards); Mobile Food Vendors (with development standards); Temporary Storage Containers (with development standards); Temporary Structures (with development standards).
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“B” Street Residential	R-2 Single-Family	Single-Family Dwelling; Public or Private School; Golf Course; Parks; Playground; Other Public Utility Facilities; Building Mounted Solar Panels; Accessory Buildings/Structures.	Residential Dwelling – Yard Building (Single-Family Detached); Civic Offices & Services; Parking Lot/Structure (with development standards); Public Utility & Infrastructure; Open Space (with development standards); Alternative Energy Generation (with development standards); Home Occupation; Mobile Food Vendors; (with development standards); Temporary Storage Containers (with development standards); Temporary Structures (with development standards).
	R-3 Multi-Family	Duplex Dwelling; Multi-Family Dwelling (Apartments); Single-Family Dwelling; Townhouse Dwelling; Public or Private School; Golf Course; Parks; Playground; Other Public Utility Facilities; Building Mounted Solar Panels; Accessory Buildings/Structures.	

Black Text = No Change in Permitted Land Use

Red Text = Existing Use Not A Permitted Use in Form-Based Code

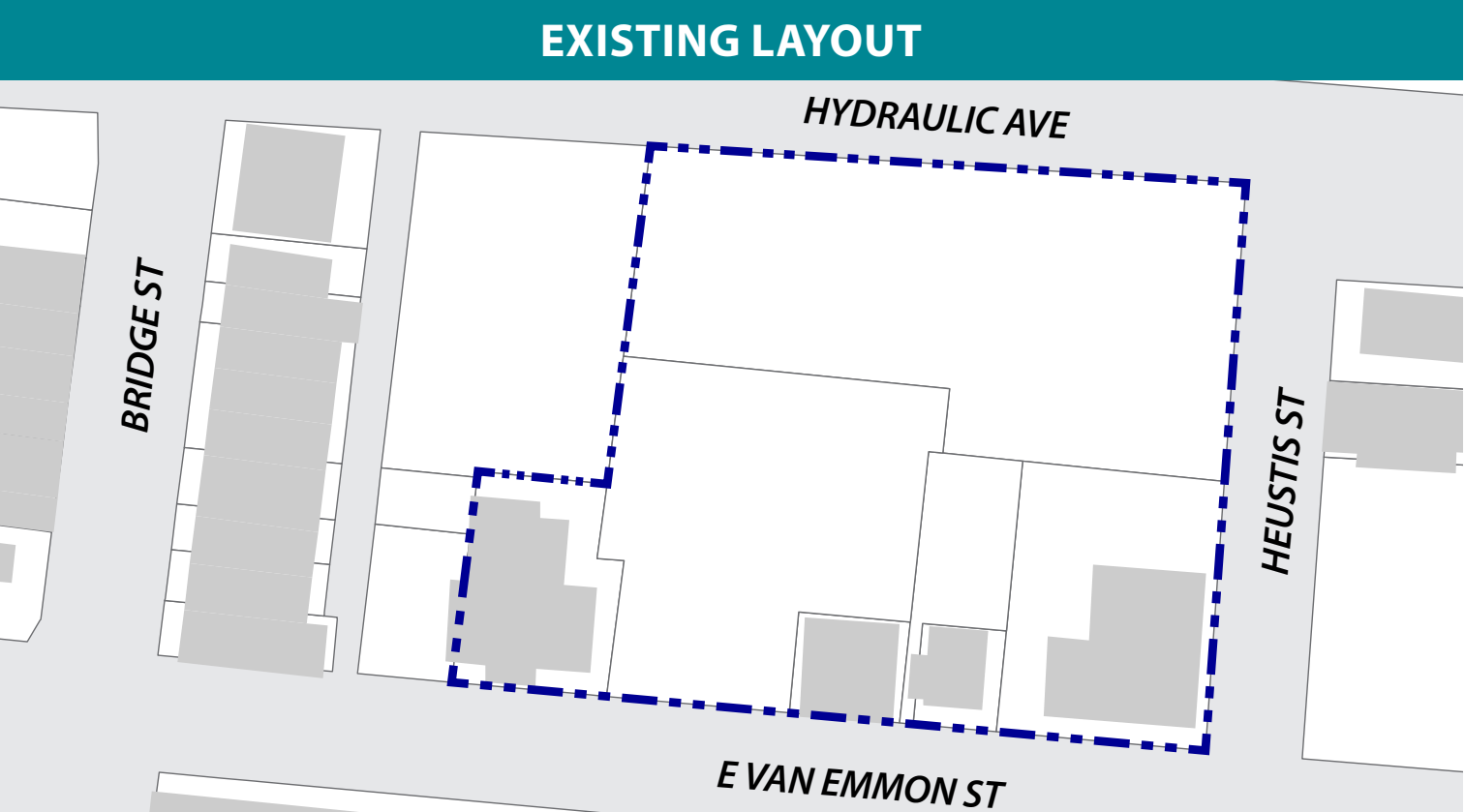
Green Text = Proposed Form-Based Code Use Unique to District or Not Permitted in Existing Zoning

WEST BLOCK DEVELOPMENT EXHIBIT

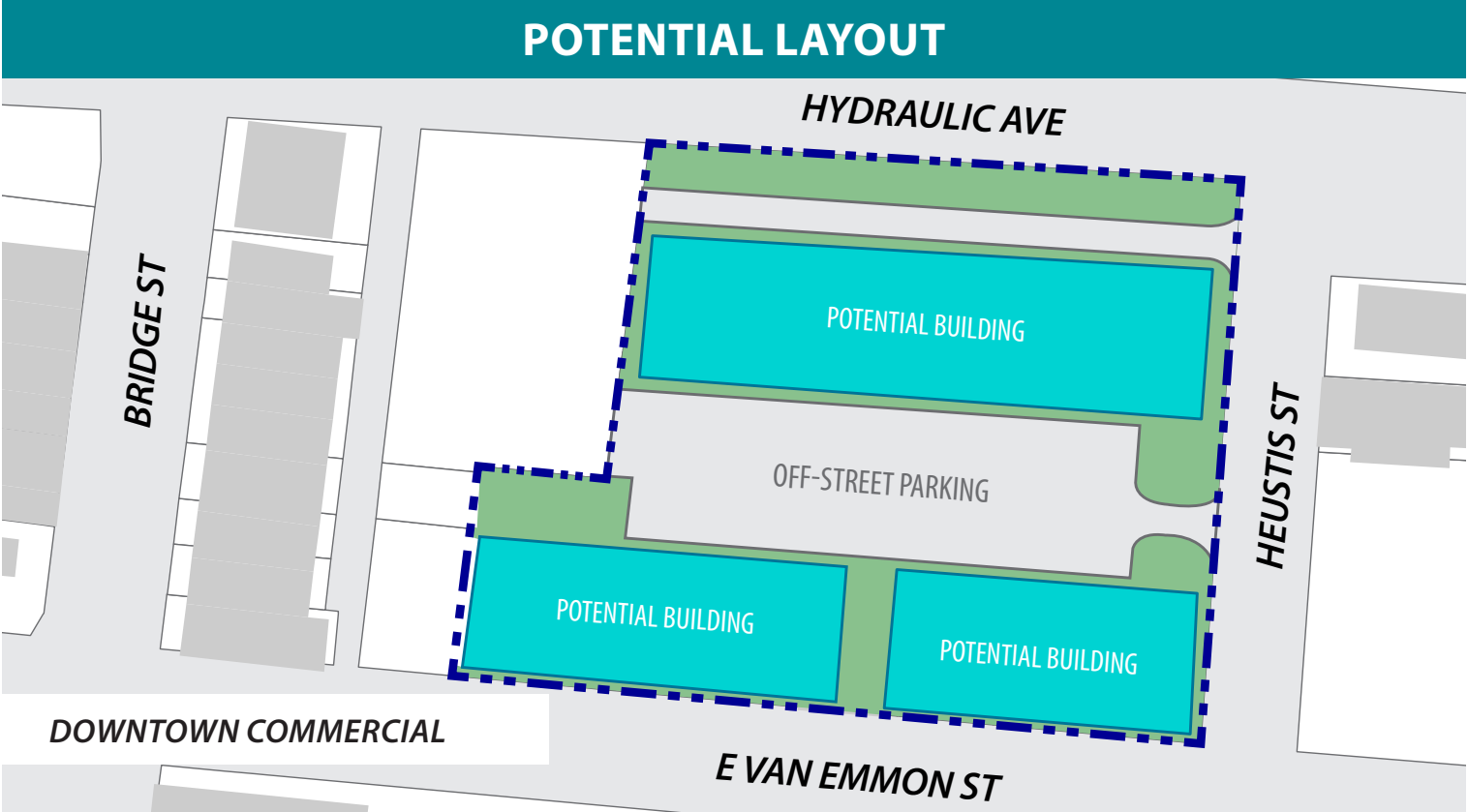


HYDRAULIC DEVELOPMENT EXHIBIT

EXISTING LAYOUT



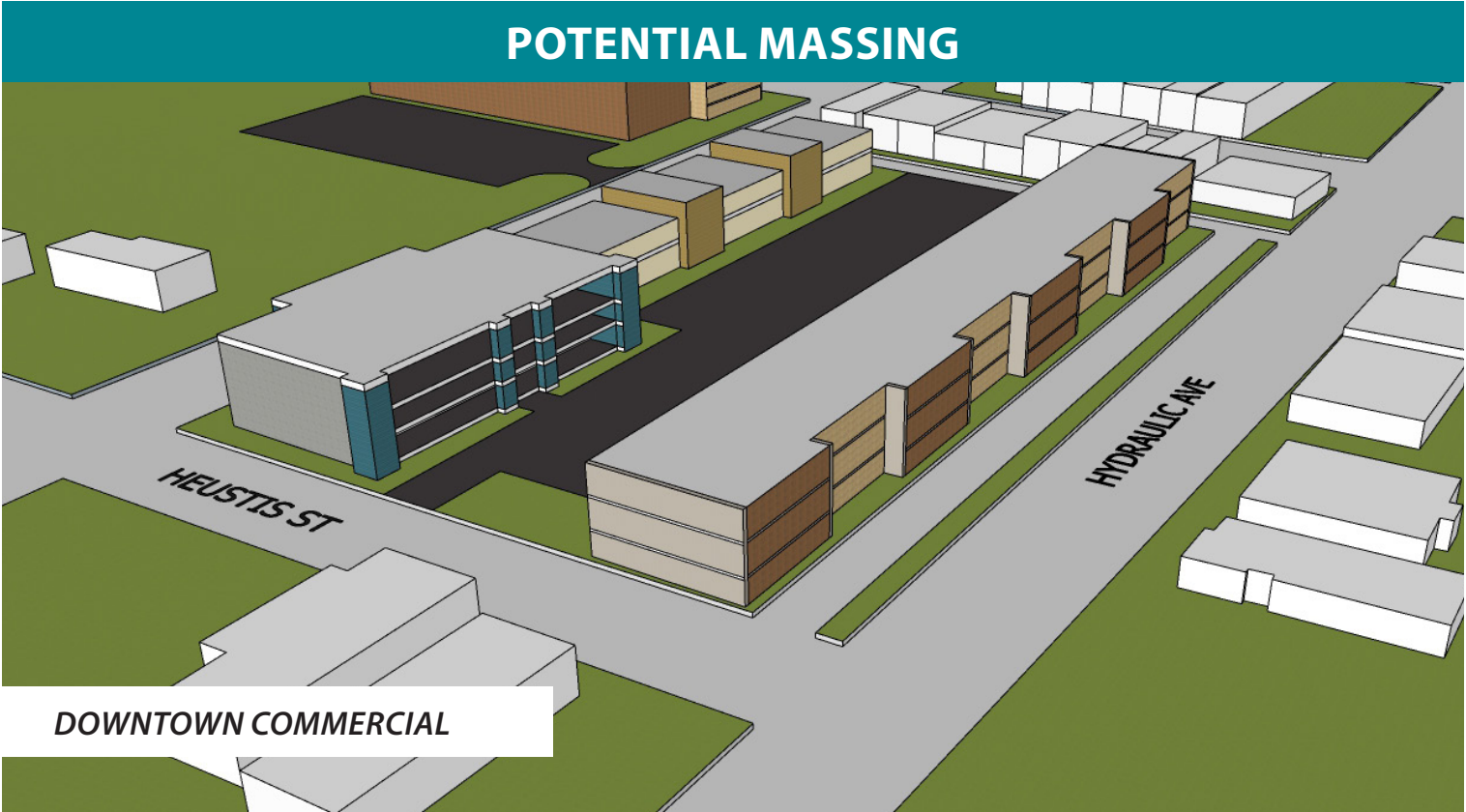
POTENTIAL LAYOUT



EXISTING MASSING

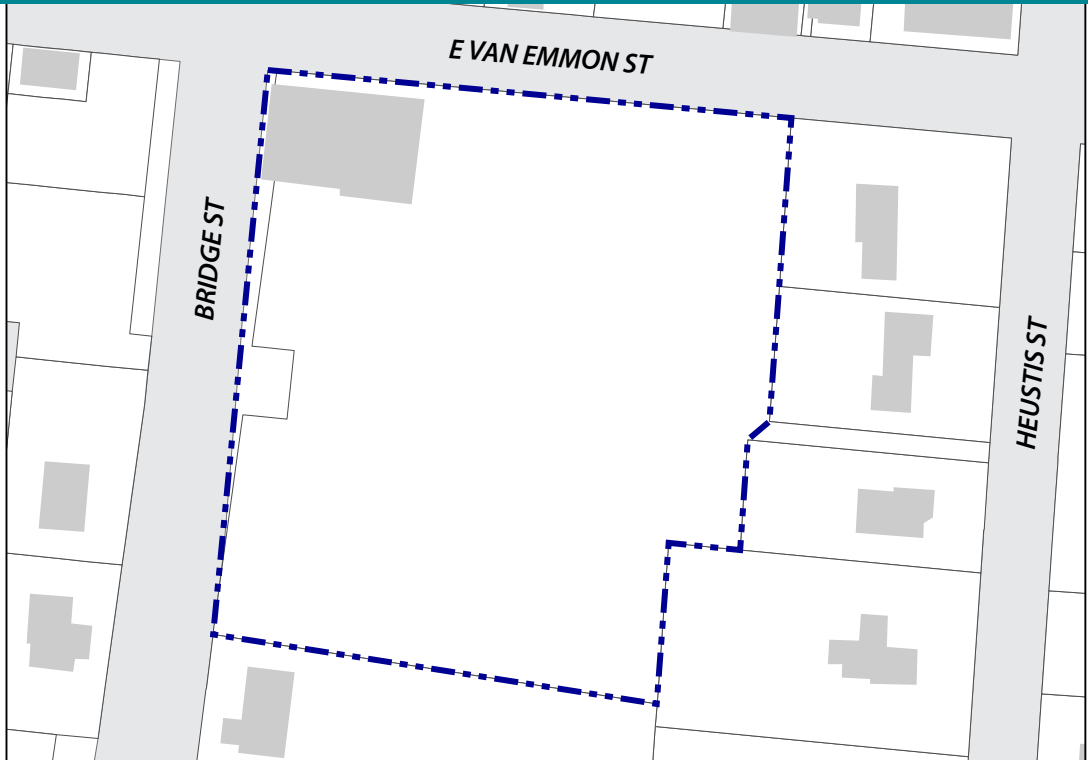


POTENTIAL MASSING

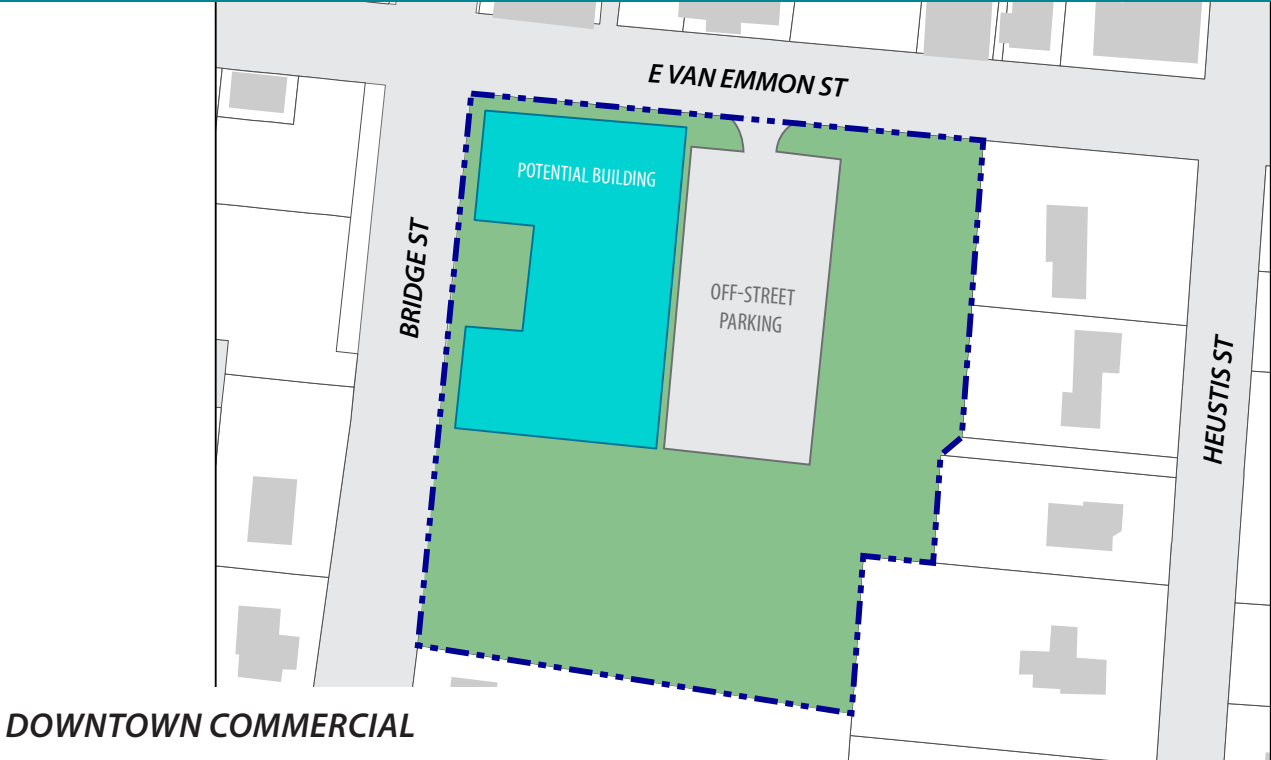


BRIDGE DEVELOPMENT EXHIBIT

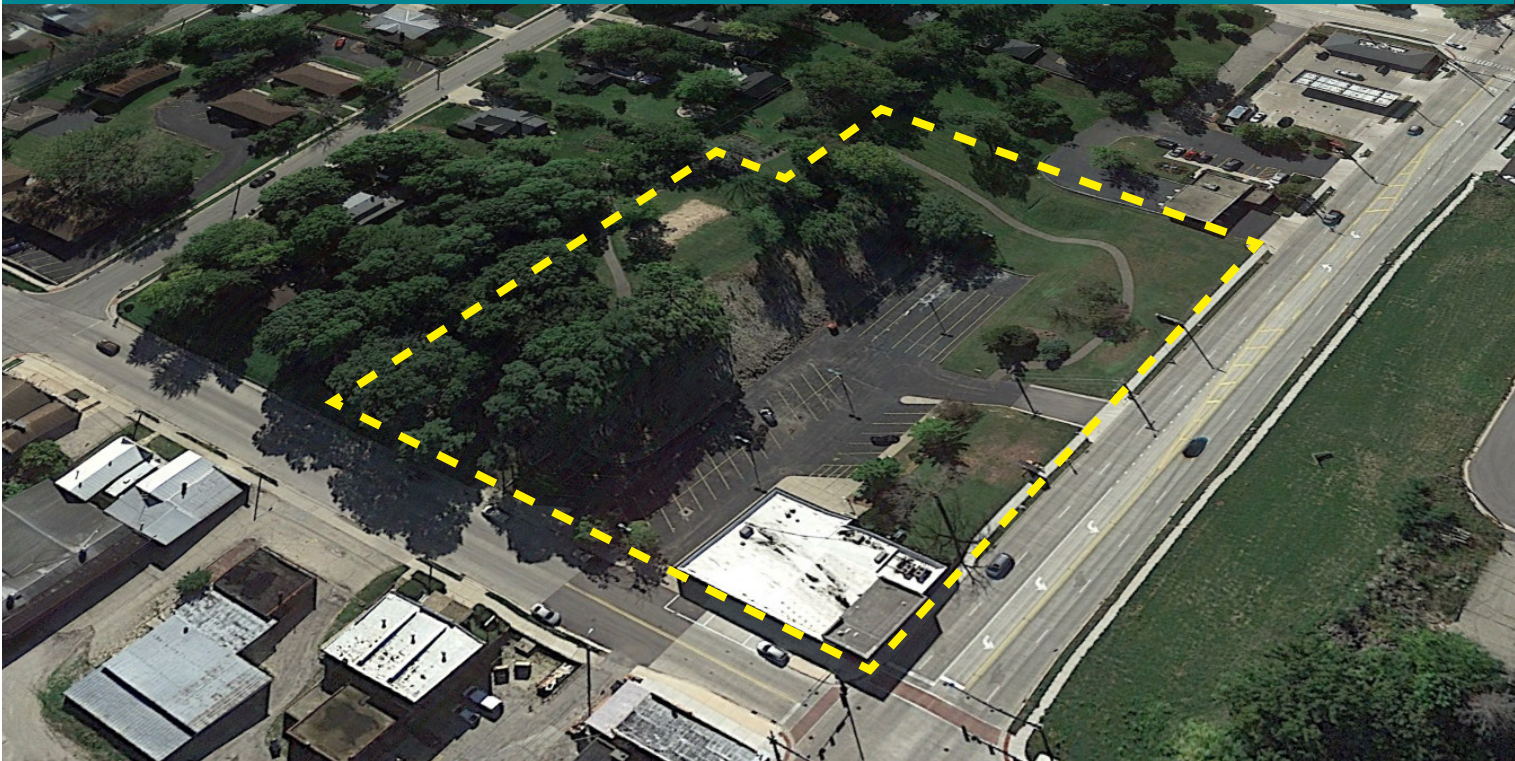
EXISTING LAYOUT



POTENTIAL LAYOUT



EXISTING MASSING



POTENTIAL MASSING



YORKVILLE

Downtown Overlay District

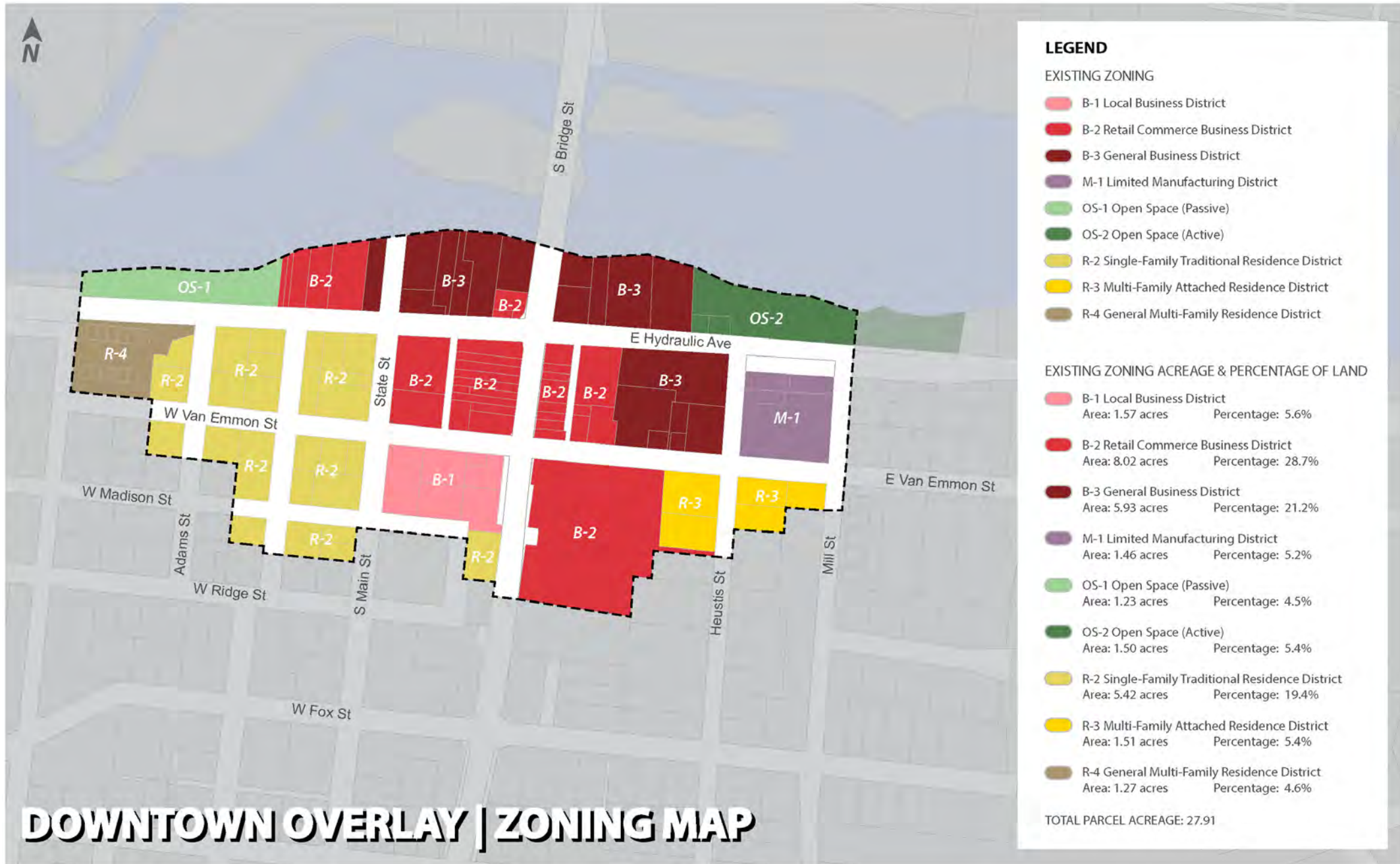
FORM-BASED CODE LOT-BY-LOT ANALYSIS



United City of
Yorkville ILLINOIS

TRADITIONAL VS. FORM-BASED CODE - WHAT IS IT ALL ABOUT?

	TRADITIONAL ZONING	FORM-BASED CODES
OVERALL FOCUS	Use of <u>Land</u> (commercial, residential, industrial, etc.)	Use of <u>Building</u> (form, scale, location on site, access, aesthetics, etc..)
REGULATORY APPROACH	Land Use Divided into <u>Zones</u> (typically based on lot size)	Buildings divided into <u>Districts</u> (typically based on street frontage)
	Emphasis on <u>uses</u> ; building placement to public realm (street) is <u>unpredictable</u> .	Emphasis on <u>building</u> form; relation to the public realm (street) is <u>predictable</u> .
USE FOCUS	Mostly <u>single</u> use zones of land; may allow for limited mix of uses in a zone; however, relies on transition of use by intensity to change zones.	Allows for an appropriate <u>mix</u> of uses within buildings and districts; relies on street intensity to transition changes in district.
BUILDING FOCUS	<u>Uniformity</u> in neighborhoods via land use.	<u>Diversity</u> in neighborhoods via districts.
	<u>Open-ended</u> design standards with little focus on public spaces	<u>Defined</u> architectural form & focus on public spaces
	Buildings are encouraged to <u>disengage</u> the public realm with required minimum setbacks	Buildings are encouraged to <u>engage</u> the public realm with required build-to lines.
STREET FOCUS	Focus is on <u>site</u> – little emphasis on right-of-way.	Focus is on <u>site and public</u> realm/streetscape.



28 Total Acres

56% Zoned Commercial

29% Zoned Residential

15% Zoned Manufacturing

5% Zoned Open-Space



LEGEND

EXISTING LAND USES

- Residential Land Use
- Commercial Land Use
- Manufacturing Land Use
- Institutional/Public Land Use
- Mixed Land Use
- Parks
- Vacant
- Parking Lot

Blocks outlined in the above colors designate the general land use. Blocks which are **shaded** indicate properties most likely to be **redeveloped**.

EXISTING LAND USE ACREAGE & PERCENTAGE OF LAND

	Residential Land Use	Area: 7.43 acres	Percentage: 26.6%
	Commercial Land Use	Area: 7.58 acres	Percentage: 27.1%
	Manufacturing Land Use	Area: 1.15 acres	Percentage: 4.1%
	Institutional/Public Land Use	Area: 5.57 acres	Percentage: 19.9%
	Mixed Land Use	Area: 0.17 acres	Percentage: 0.6%
	Parks	Area: 3.36 acres	Percentage: 12.0%
	Vacant	Area: 1.72 acres	Percentage: 6.1%
	Parking Lot	Area: 1.02 acres	Percentage: 3.6%

TOTAL PARCEL ACREAGE: 27.91

28 Total Acres

27% Used for Commercial

26% Used for Residential

19% Used for Institutional or Public Use

12% Used for Public Parks

DOWNTOWN OVERLAY | LAND USE MAP

WHAT DOES THIS TELL US?

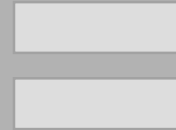
Predominate zoning in downtown is commercial (56%), yet only 27% is actually utilized for commercial.

Underutilization

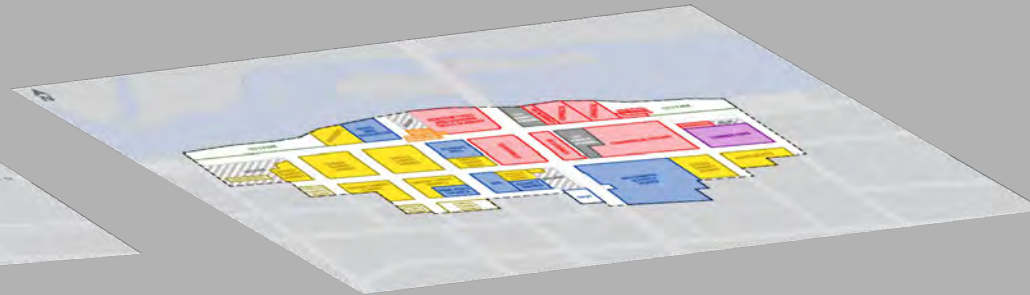
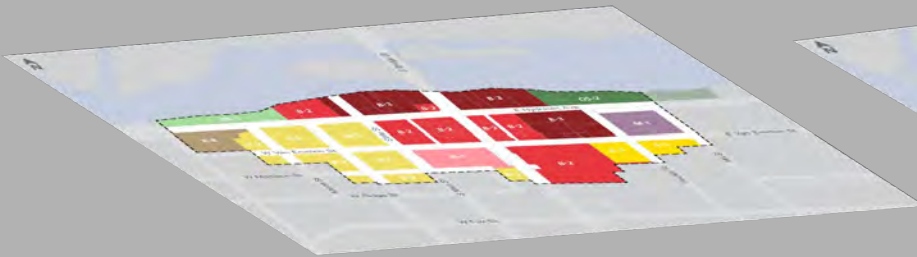


Residential land use (26.6%) is almost equal to commercial land use (27.1%) in downtown.

Co-existing Land Uses



**Primed for Redevelopment.
&
Appropriate Location for a
Mix of Uses within Buildings.**





LEGEND

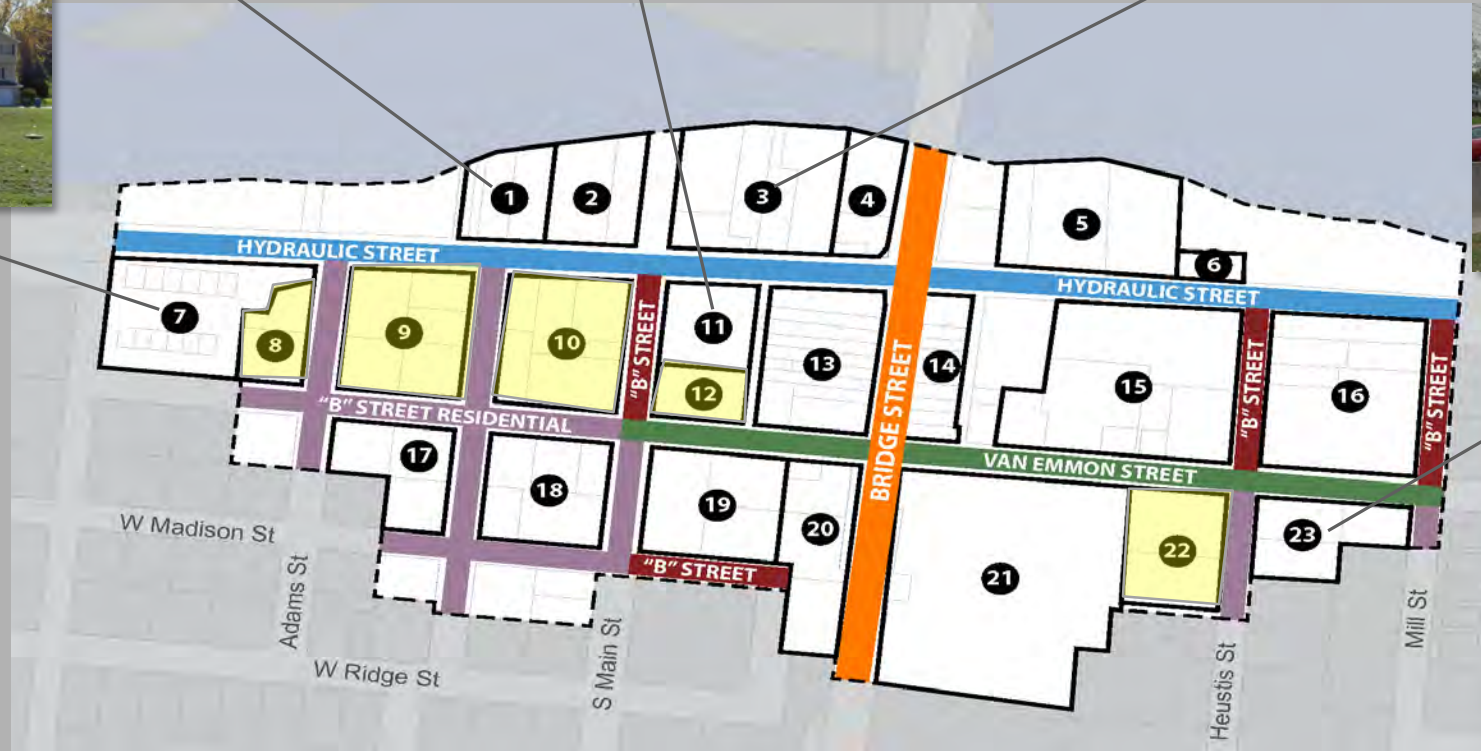
FORM-BASED CODE DISTRICTS

- Bridge Street
- Hydraulic Street
- Van Emmon Street
- "B" Street
- "B" Street Residential

	CURRENT ZONING	CURRENT LAND USE	FBC DISTRICT
1	B-2	Apartment	Hydraulic St.
2	B-2	Parks & Rec. Office	Hydraulic St.
3	B-3	Office/Diamond Skills	Hydraulic St.
4	B-2/B-3	Investor Tools	Bridge St.
5	B-3	Commercial/Office	Hydraulic St.
6	OS-2	Foxy'/Ginger & Soul (City Owned)	Hydraulic St.
7	R-4	Townhomes	Hydraulic St.
8	R-2	Single-Family Homes	B St. Residential
9	R-2	Single-Family Homes	Hydraulic St./B St./ B St. Residential
10	R-2	Single-Family Homes	B St./B St. Residential
11	B-2	AT&T	B St./Hydraulic St.
12	B-2	Single-Family Homes	B St./Van Emmon St.
13	B-2	Commercial/Restaraunts	Bridge St./Hydraulic St./ Van Emmon St.
14	B-2	Commercial/Restaraunts	Bridge St./Hydraulic St./Van Emmon St.
15	B-2/B-3	Commercial/Vacant	Hydraulic St./B St./Van Emmon St.
16	M-1	Lumberyard	Hydraulic St./B St./Van Emmon St.
17	R-2	Single-Family Homes	B St. Residential
18	R-2	Single-Family Homes/Church	B St. Residential
19	B-1	Old Jail/Parking Lot/Kendall County	Van Emmon St./B St./B St. Residential
20	B-1/R-2	Vacant/IDOT Landscape Hill	Bridge St./Van Emmon St.
21	B-2	Van Emmon Activity Center	Bridge St./Van Emmon St.
22	R-3	Single-Family Homes	Van Emmon St./B St. Residential
23	R-3	Apartments	Van Emmon St./B St. Residential

DOWNTOWN OVERLAY | PROPOSED USES

WHAT IS THERE NOW?



LOCATIONS WHERE SINGLE-FAMILY RESIDENTIAL LAND USES ARE CURRENTLY ADJACENT TO MULTI-FAMILY, OFFICE OR COMMERCIAL LAND USES.

WHAT CAN GO THERE NOW?

with a Building Permit and without City Council Approval

R-4 MULTI-FAMILY

(Max. 80'6 stories)

- APARTMENTS (8 DU/AC)
- TOWNHOMES
- DUPLEXES

R-2 SINGLE-FAMILY

(Max 30'2.5 stories)

- PUBLIC/PRIVATE SCHOOL
- GOLF COURSE

B-2 RETAIL COMMERCE

(Max. 80'6 stories)

- HOSPITAL
- AUTO PARTS STORE
- CAR RENTAL
- DANCE HALL/DISCO

B-1 LOCAL BUSINESS DISTRICT

(Max. 80'6 stories)

- FUNERAL HOME
- COMMERCIAL LABORATORY
- PAWN SHOP
- TRAILER PARK/CAMP

B-3 GENERAL BUSINESS

(Max. 80'6 stories)

- AUTO REPAIR
- AUTO SALES LOT
- GOLF DRIVING RANGE
- DOG KENNEL

M-1 LIMITED MANUFACTURING

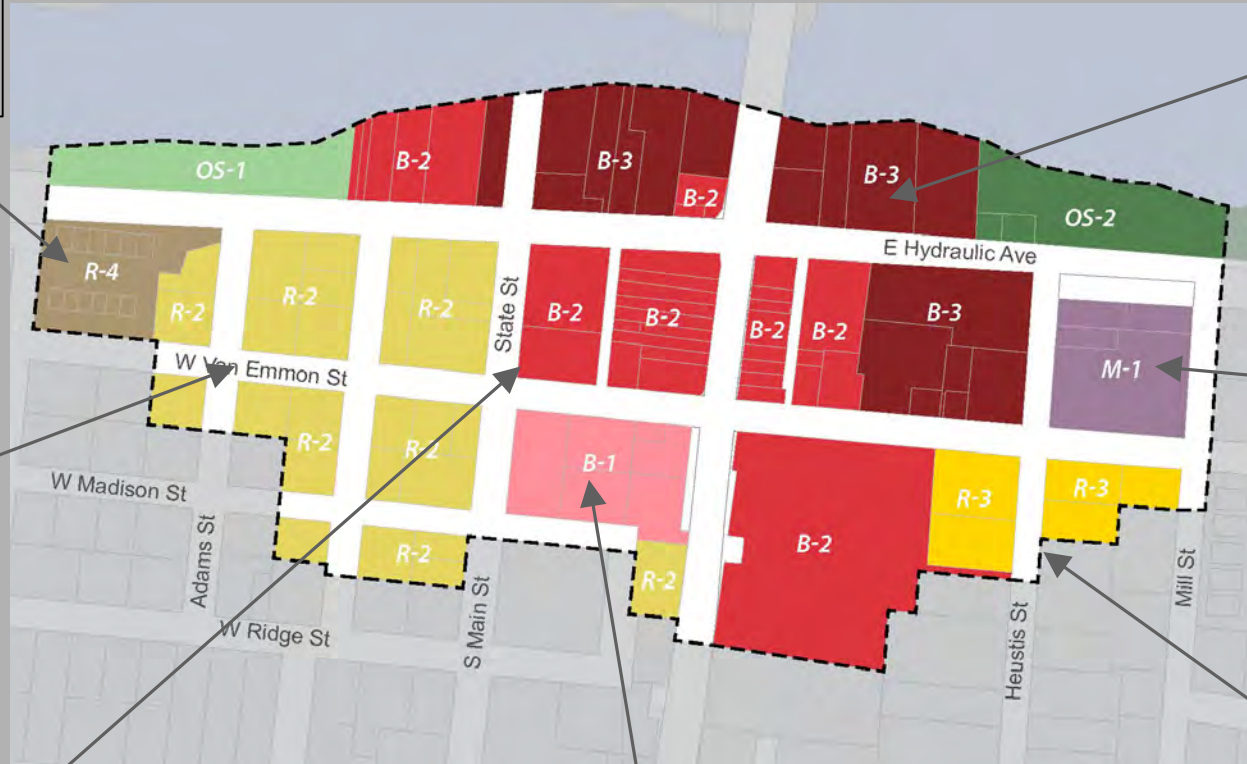
(No Maximum Height)

- BUS/SEMI TRUCK REPAIR
- REPAIR/SALES & STORAGE
- ADULT-USE BUSINESS
- SEWAGE TREATMENT PLANT
- SOLID WASTE DISPOSAL SITE

R-3 MULTI-FAMILY

(Max. 80'6 stories)

- APARTMENTS (5 DU/AC)
- TOWNHOMES
- DUPLEXES



WHAT DOES THE FORM-BASED CODE ALLOW?

DOES NOT PERMIT:

- ✗ FUNERAL HOMES
- ✗ BANKS W/DRIVE UPS
- ✗ LIQUOR STORES
- ✗ PAWN SHOPS
- ✗ TATTOO & BODY PIERCING
- ✗ AUTO REPAIR/PARTS STORES
- ✗ AUTO RENTAL/SALES
- ✗ PUBLIC/PRIVATE SCHOOLS
- ✗ MANUFACTURING
- ✗ BUS/SEMI-TRUCK REPAIR/STORAGE/SALES
- ✗ DOG KENNEL
- ✗ TRAILER PARK/CAMP
- ✗ TREATMENT CENTER
- ✗ ELECTRIC SUBSTATION
- ✗ COMMERCIAL LABORATORY

Districts				
S 1: Bridge Street	S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street	S 5: 'B' Street - Residential
Residential & Lodging Uses Category				
Residential Dwelling	●	●	●	●
Hotel/Motel	●	●	●	●
Bed & Breakfast Inn	●	●	●	●
Residential Care Facility	●	●	●	●
Senior Housing	●	●	●	●
Civic & Institutional Uses Category				
Civic Offices & Services	●	●	●	●
Library/Museum	●	●	●	●
Police & Fire	●	●	●	●
Post Office (no distribution)	●	●	●	●
Religious & Organization Assembly	●	●	●	●
School: Public or Private	●	●	●	●
School: College	●	●	●	●
Retail & Service Uses Category				
Neighborhood Retail (<8,000 sf)	●	●	●	●
General Retail	●	●	●	●
Neighborhood Service	●	●	●	●
General Service	●	●	●	●
Recreation/Entertainment	●	●	●	●
Automotive Services	●	●	●	●
Food Services & Drinking Places	●	●	●	●
Office & Industrial Uses Category				
Office	●	●	●	●
Small-Scale Industry	●	●	●	●
Infrastructure Uses Category				
Communication Antennae & Towers	●	●	●	●
Parking Lot	●	●	●	●
Parking Structure	●	●	●	●
Public Utility & Infrastructure	●	●	●	●
Open Space Uses Category				
Open Space	●	●	●	●

10-21-3 Uses				
S 1: Bridge Street	S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street	S 5: 'B' Street - Residential
Accessory Uses				
Alternative Energy Generation	●	●	●	●
Amphitheater	●	●	●	●
Car Washes, Detail Shops, and/or Service Stations	●	●	●	●
Drive Through Facility	●	●	●	●
Home Occupation	●	●	●	●
Outdoor Storage of Goods	●	●	●	●
Outdoor Restaurant Dining	●	●	●	●
Parking Lot (Accessory)	●	●	●	●
Parking Structure (Accessory)	●	●	●	●
Roadside Produce Stand/Vending	●	●	●	●
Sidewalk Sales	●	●	●	●
Temporary Storage Containers	●	●	●	●
Mobile Food Vendors	●	●	●	●
Temporary Structures	●	●	●	●

Key

- Permitted
- Permitted in Upper Stories Only
- Permitted with Development Standards
- Requires Special Use Permit

DOES PERMIT:

- ✓ DOWNTOWN LIVING (MULTI-FAMILY/APARTMENTS)
- ✓ SINGLE-FAMILY
- ✓ DUPLEXES
- ✓ HOTEL/MOTELS
- ✓ SENIOR HOUSING
- ✓ COTTAGE COMMERCIAL (RESIDENTIAL/COMMERCIAL)
- ✓ NEIGHBORHOOD RETAIL (<8,000 SQ. FT.)
- ✓ BED & BREAKFAST INN
- ✓ RECREATION/ENTERTAINMENT
- ✓ FOOD SERVICE & DINING (INDOOR & OUTDOOR)
- ✓ OFFICE/RETAIL
- ✓ SMALL SCALE INDUSTRY
- ✓ PARKING FACILITIES

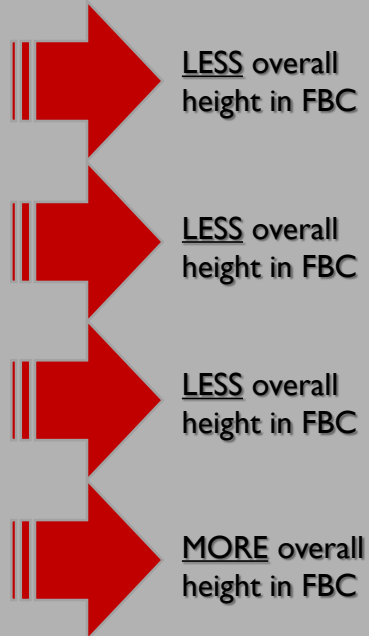
HOW DOES FORM-BASED CODE COMPARE TO TRADITIONAL ZONING STANDARDS?

FORM-BASED CODE DEFINES BY BUILDING TYPE:

Building Type	Maximum Overall Height
Downtown Commercial	6 stories (Bridge St.) (with min. 3' step-back at 3 stories)
	4 stories (all other streets)
Downtown Living	4 stories
Cottage Commercial	3.5 stories
Attached Building	4 stories (Bridge St.)
	3.5 stories (all other streets)
Yard Building	3.5 stories
Civic Building	6 stories (Bridge St.) (with min. 3' step-back at 3 stories)
	4 stories
	3 stories ("B" St. Residential)

TRADITIONAL ZONING DEFINES BY LAND USE:

Zoning	Maximum Overall Height
B-4 Service Business	6 stories
B-3 General Business	6 stories
B-2 Retail Commerce	6 stories
B-1 Local Business	6 stories
R-3 Multi-Family	6 stories
R-4 Multi-Family	6 stories
R-2 Single-Family	2.5 stories
M-1 Limited Manufacturing	No maximum height



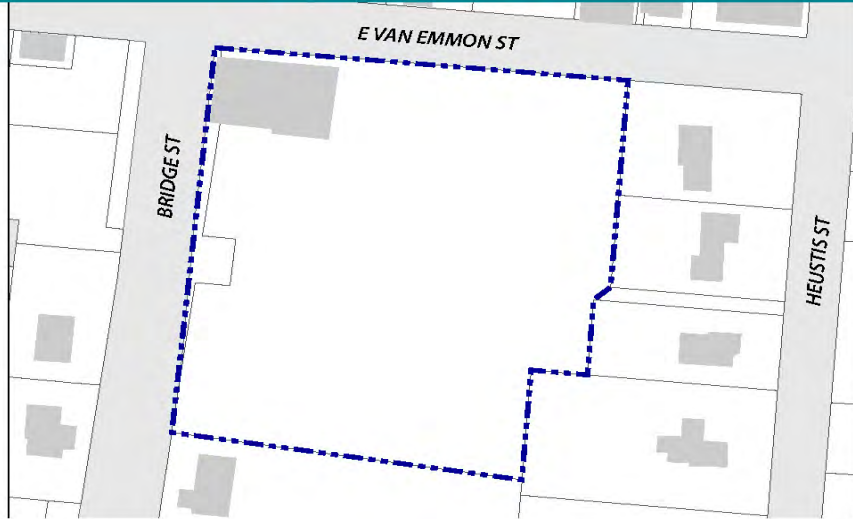
HOW DOES REVIEW & APPROVAL WORK?

TRADITIONAL REVIEW	FORM-BASED CODE REVIEW
STAFF MEETING/PLAN SUBMITTAL	STAFF MEETING/PLAN SUBMITTAL
SITE PLAN REVIEW	SITE PLAN REVIEW
IF PERMITTED – PROCEED TO BUILDING PERMIT LIMITED DISCRETION PROVIDED TO CITY STAFF DEVIATIONS REVIEWED BY PZC AND APPROVED BY PZC	IF PERMITTED – PROCEED TO BUILDING PERMIT MINOR DEVIATIONS ALLOWED WITH APPROVAL FROM CITY STAFF MAJOR DEVIATIONS REQUIRE PZC APPROVAL
IF NOT PERMITTED – PROCEED TO SPECIAL USE/REZONING/PUD PUBLIC HEARING PROCESS	IF NOT PERMITTED – PROCEED TO <u>SPECIAL USE PUBLIC HEARING PROCESS ONLY</u> (IF USE IS IDENTIFIED)
PLAN COUNCIL/EDC/PZC RECOMMENDATIONS	PLAN COUNCIL/EDC/PZC RECOMMENDATIONS
CITY COUNCIL DETERMINATION	CITY COUNCIL DETERMINATION

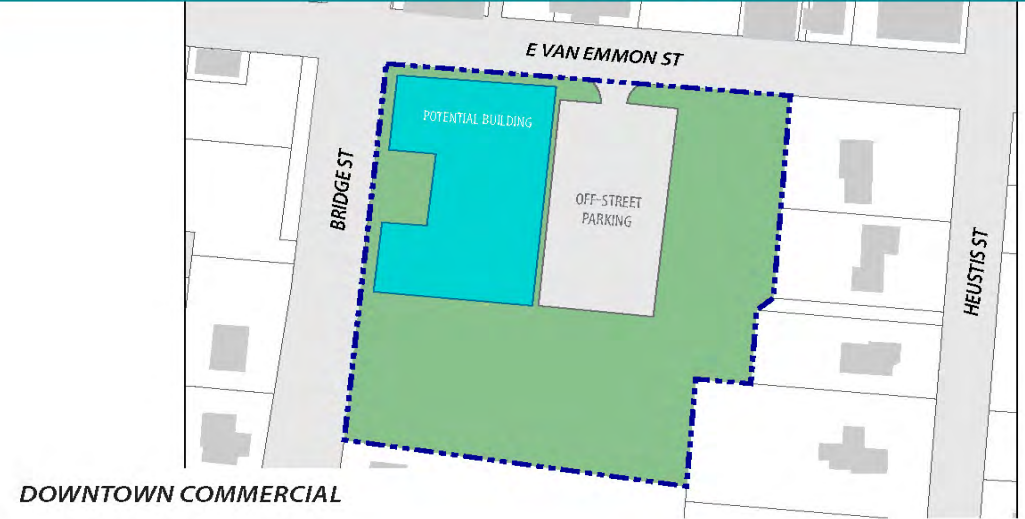
WHAT COULD IT LOOK LIKE?

BRIDGE DEVELOPMENT EXHIBIT

EXISTING LAYOUT

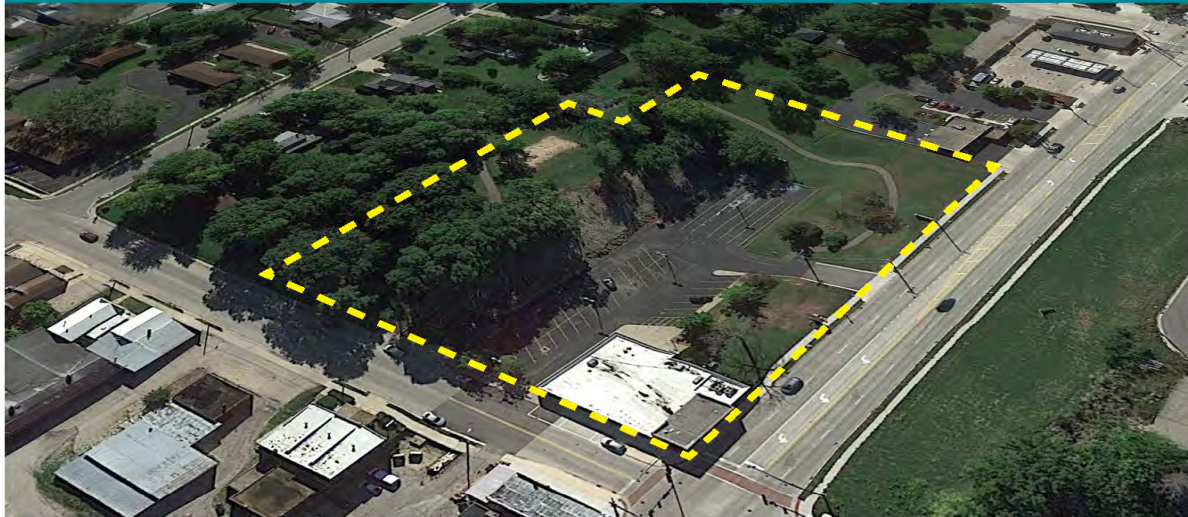


POTENTIAL LAYOUT



DOWNTOWN COMMERCIAL

EXISTING MASSING



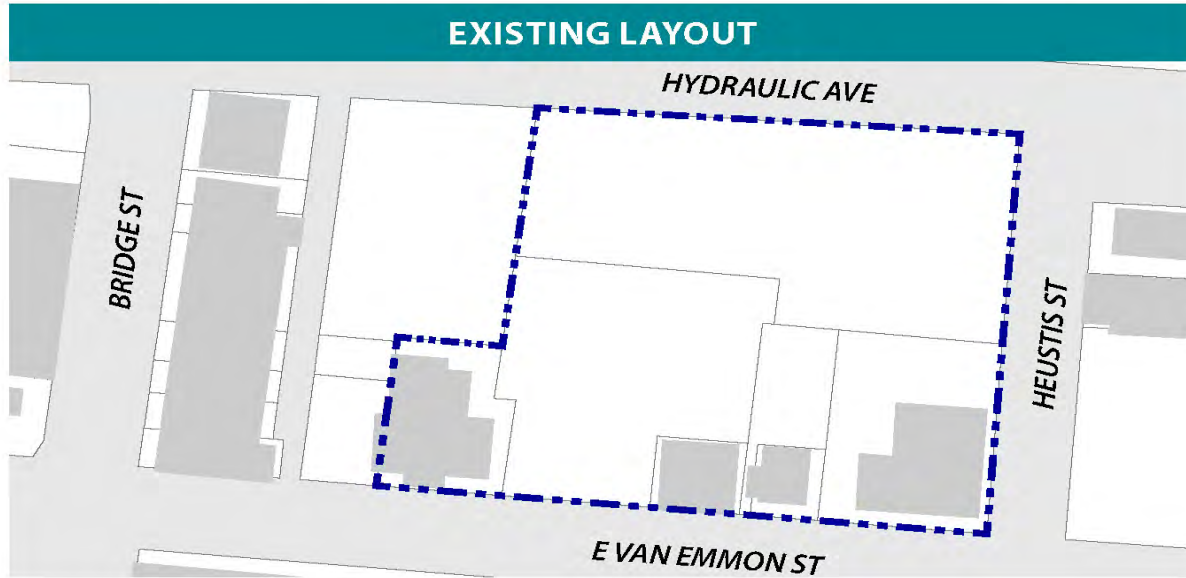
POTENTIAL MASSING



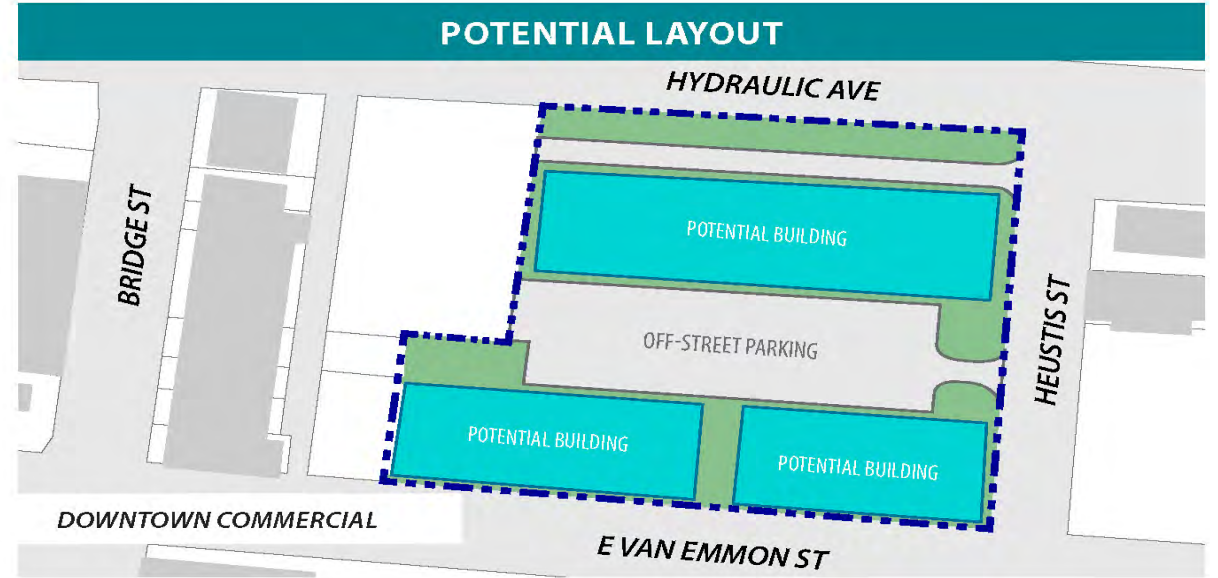
DOWNTOWN COMMERCIAL

HYDRAULIC DEVELOPMENT EXHIBIT

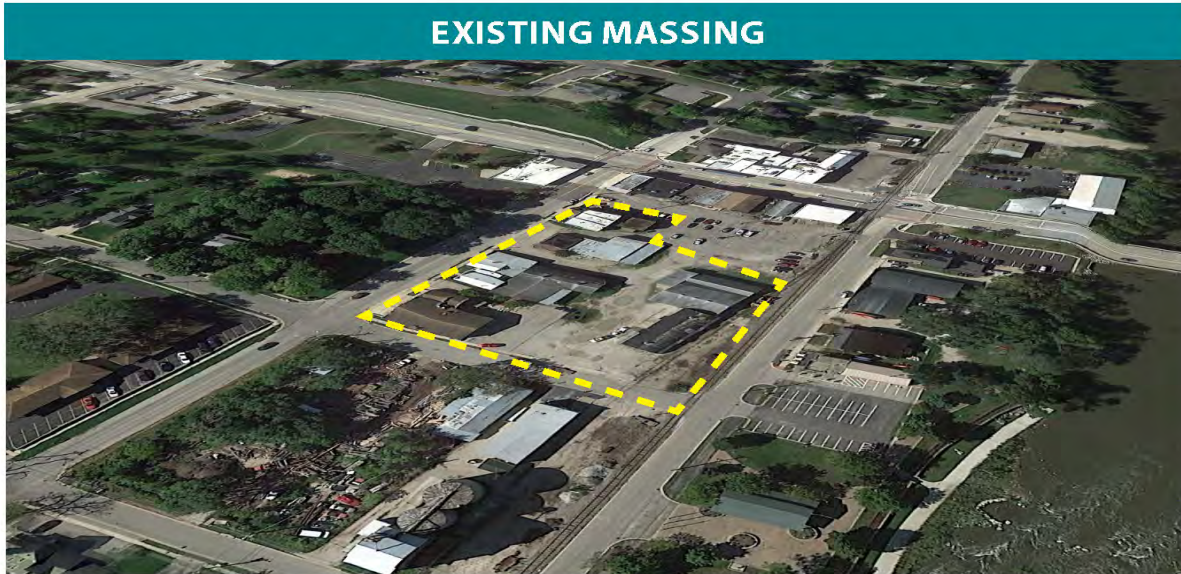
EXISTING LAYOUT



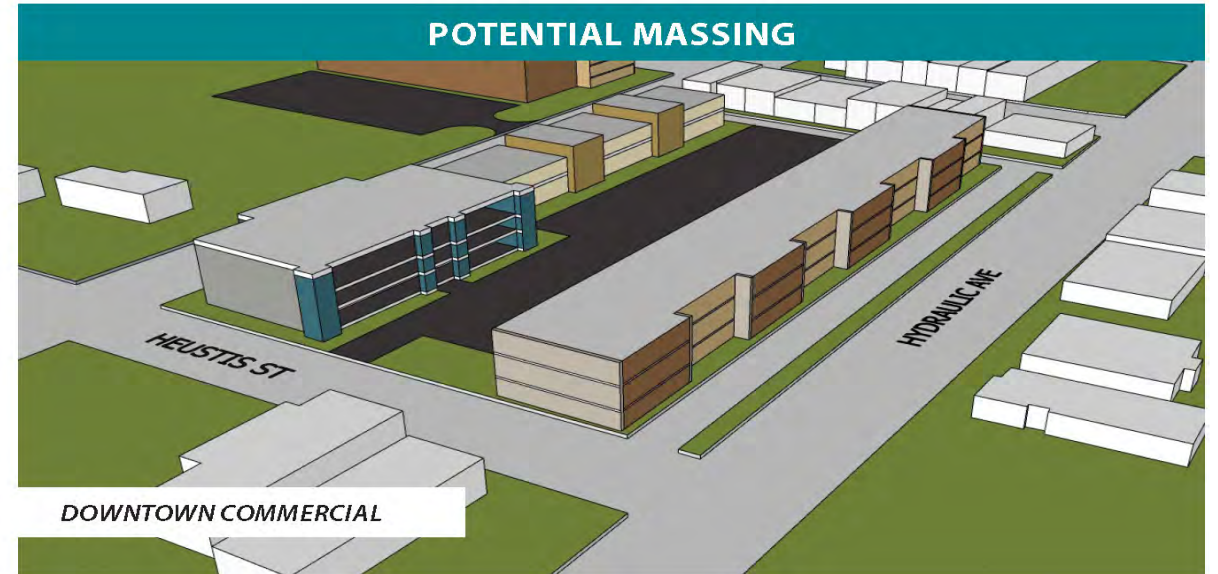
POTENTIAL LAYOUT



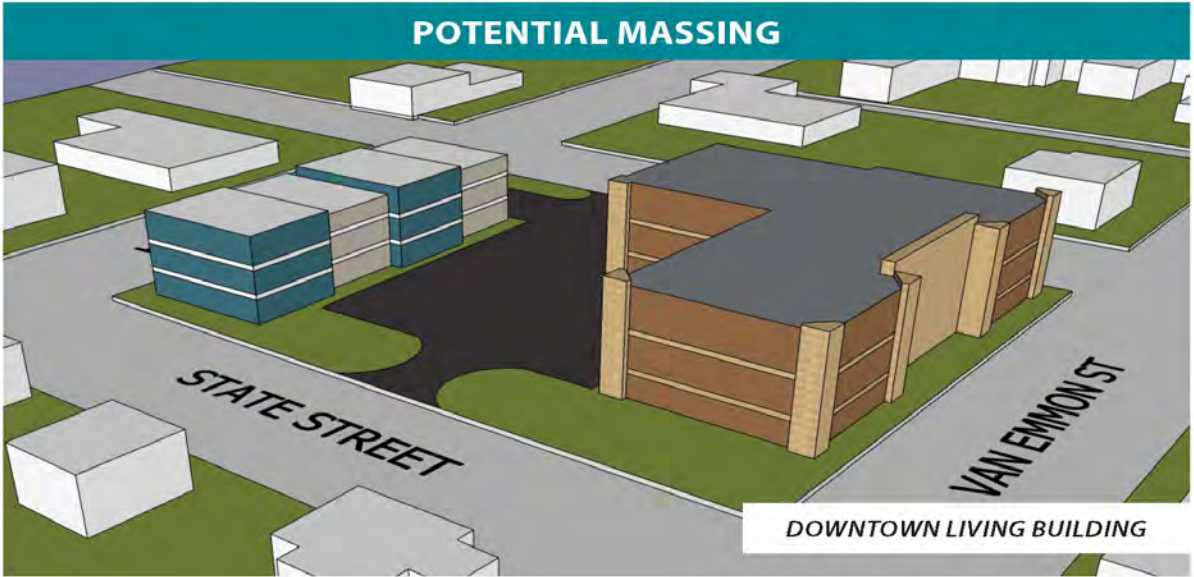
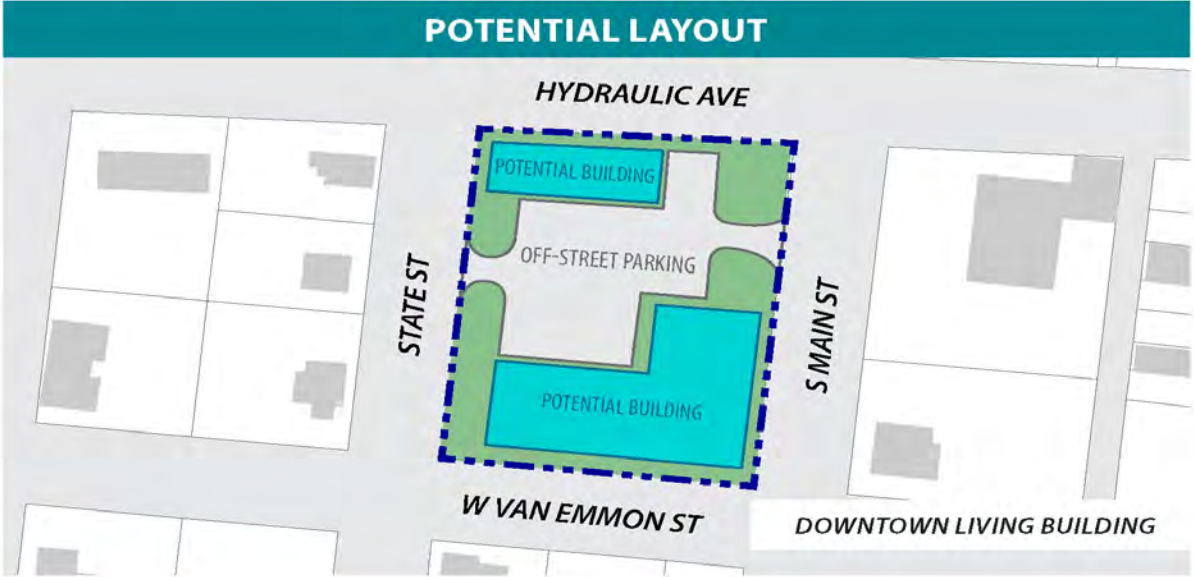
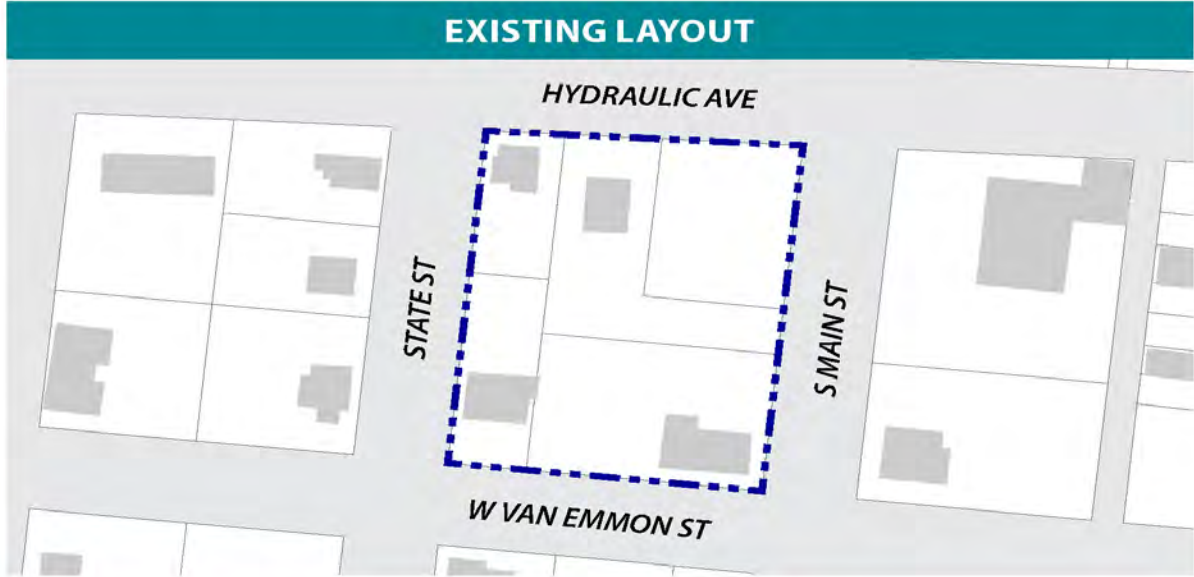
EXISTING MASSING



POTENTIAL MASSING



WEST BLOCK DEVELOPMENT EXHIBIT



QUESTIONS?



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input checked="" type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Planning and Zoning Commission #2

Tracking Number

PZC 2019-21 and EDC 2019-74

Agenda Item Summary Memo

Title: Menards – Final Plat of Resubdivision

Meeting and Date: City Council – October 8, 2019

Synopsis: Proposed Plat of Resubdivision of Lots 1&2 in the Menards Commercial Commons

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Vote

Submitted by: Krysti J. Barksdale-Noble, AICP

Community Development

Name

Department

Agenda Item Notes:

See attached memorandum.

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at http://www.yorkville.il.us/gov_officials.php



Memorandum

To: City Council
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Brad Sanderson, EEI, City Engineer
Date: September 30, 2019
Subject: **PZC 2019-21 Menards – Lots 1&2 of Menard's Commercial Commons Final Plat of Resubdivision Approval**

Background/Proposed Request

The petitioner, Tyler Edwards, on behalf of Menard, Inc. is seeking final plat approval to resubdivide Lots 1 & 2 of the Menard's Commercial Commons, an approximately 37-acre parcel. Located in the northeast quadrant of Marketview Drive and E. Countryside Parkway, the subject property was annexed as a part of a larger multi-parcel commercial development approved by the City of Yorkville in 2000. Currently, Lot 1 is improved with the Menards big-box home improvement retail store and Lot 2 is utilized for agricultural purposes, as permitted by the annexation agreement. Both lots are zoned B-3 General Business District and owned by Menard, Inc.

The proposed Final Plat of Resubdivision has been reviewed by the City's engineering consultant, Engineering Enterprises Inc., for compliance with the Subdivision Control Ordinance's Standards for Specification. Comments dated July 22, 2019 and August 14, 2019 were provided to the applicant (see attached). The minor revisions requested by the City Engineer will be addressed by the applicant prior to the Planning and Zoning Commission meeting and reviewed for compliance prior to final plat recordation.

Planning & Zoning Commission Action:

The Planning and Zoning Commission reviewed the request for final plat approval at a meeting held on September 11, 2019 and made the following action on the motion below:

In consideration of the proposed Final Plat of Resubdivision of Lots 1 & 2 of the Menard's Commercial Commons Seventh Addition, the Planning and Zoning Commission recommends approval of the plat to the City Council as presented by the Petitioner in a plan prepared by Craig R. Knoche & Associates, dated June 12, 2019, and further subject to comments provided by EEI in letters dated July 22, 2019 and August 14, 2019.

Action:

Olson – aye; Millen– aye; Williams – aye; Marcum – aye; Vinyard - aye– **5 ayes; 0 no.**

Attachments:

1. Draft Ordinance
2. Final Plat of Resubdivision of Menard's Commercial Commons Seventh Addition prepared by Craig R. Knoche & Associates dated 06-12-19.
3. EEI Letter to the City dated July 22, 2019 re: Menards Plat of Resubdivision.
4. EEI Letter to City dated August 14, 2019 re: Menards Plat of Resubdivision.
5. Copy of Petitioner's Application

STATE OF ILLINOIS)
) ss.
COUNTY OF KENDALL)

ORDINANCE No. 2019-_____

**AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY,
ILLINOIS, APPROVING THE FINAL PLAT OF THE *MENARD’S COMMERCIAL
COMMONS SEVENTH ADDITION RESUBDIVISION***

WHEREAS, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

WHEREAS, Menard, Inc. (the “Petitioner”) has filed an application and petition for approval of the Final Plat of the Menard’s Commercial Commons Seventh Addition Resubdivision of Lots 1 and 2 of property generally located in the northeast quadrant of Marketview Drive and E. Countryside Parkway, an approximately 37-acre area part of a larger multi-parcel commercial development; and,

WHEREAS, the Planning and Zoning Commission convened and held a public meeting on September 11, 2019, to consider the Final Plat of the Menard’s Commercial Commons Seventh Addition Resubdivision; and,

WHEREAS, the Planning and Zoning Commission reviewed the standards set forth in Chapter 3 and 4 of Title 11 of the Yorkville Subdivision Control Ordinance and made a recommendation to the Mayor and City Council (“the Corporate Authorities”) for approval of the resubdivision and the Final Plat of the Menard’s Commercial Commons Seventh Addition Resubdivision subject to the review comments provided in letters from the City Engineer, EEI, Inc. dated July 22, 2019 and August 14, 2019.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

Section 1: The above recitals are incorporated herein and made a part of this Ordinance.

Section 2: That the Corporate Authorities hereby approve the Final Plat of the Menard's Commercial Commons Seventh Addition Resubdivision for the property legally described and attached hereto and made a part hereof by reference as *Exhibit A*.

Section 3: That the Corporate Authorities hereby approve the Final Plat of Menard's Commercial Commons Seventh Addition Resubdivision as prepared by Craig R. Knoche & Associates, Geneva, Illinois, dated last revised June 12, 2019 attached hereto and made a part hereof as *Exhibit B* and authorize the Mayor, City Clerk, City Administrator and City Engineer to execute said Plat, subject to the review comments provided in letters from the City Engineer, EEI, INC. dated July 22, 2019 and August 14, 2019 attached hereto and made a part hereof as *Exhibit C*.

Section 4: That the City Clerk is hereby authorized pursuant to Section 11-2-3.H of the Yorkville Subdivision Control Ordinance to file a copy of this ordinance and the Final Plat of Menard's Commercial Commons Seventh Addition Resubdivision with the Kendall County Recorder of Deeds.

Section 5: This Ordinance shall be in full force and effect upon its passage, approval, and publication as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois this _____ day of _____, 2019.

CITY CLERK

KEN KOCH _____

DAN TRANSIER _____

JACKIE MILSCHEWSKI _____

ARDEN JOE PLOCHER _____

CHRIS FUNKHOUSER _____

JOEL FRIEDERS _____

SEAVER TARULIS _____

JASON PETERSON _____

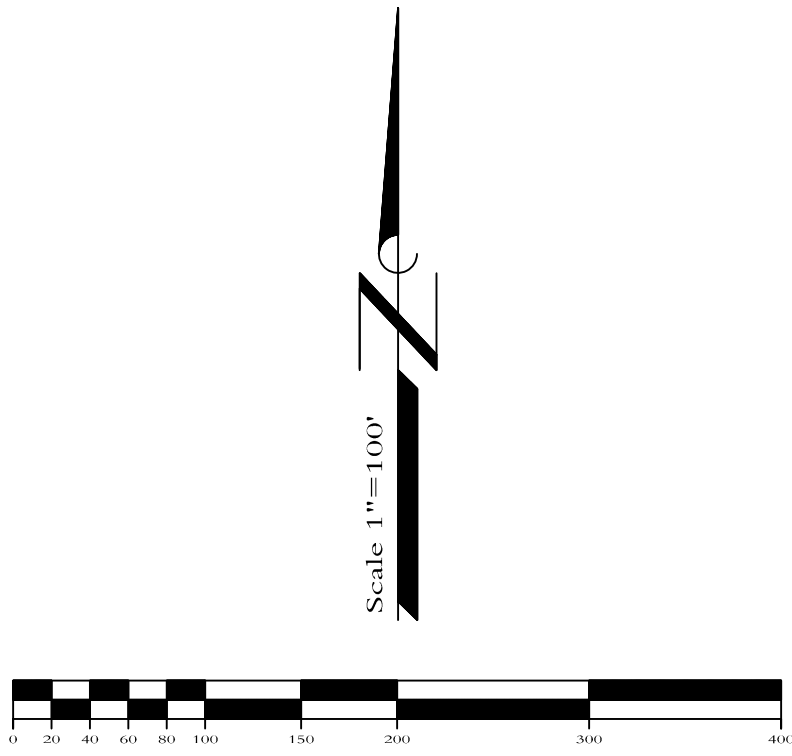
Approved by me, as Mayor of the United City of Yorkville, Kendall County, Illinois, this _____ day of _____, 2019.

MAYOR

EXHIBIT A
Legal Description

Being a resubdivision of Lots 1 and 2 of Menard's Commercial Commons Fifth Addition, Yorkville, Kendall County, Illinois, being a resubdivision of Lot 1 and part of Lot 3 of Menard's Commercial Commons, a subdivision of part of Section 21, Township 37 North, Range 7 East of the Third Principal Meridian in the United City of Yorkville, Kendall County, Illinois.

EXHIBIT B
Final Plat



Menard's Commercial Commons Seventh Addition

Being a resubdivision of Lots 1 and 2 of Menard's Commercial Commons Fifth Addition, Yorkville, Kendall County, Illinois, being a resubdivision of Lot 1 and part of Lot 3 of Menard's Commercial Commons, a subdivision of part of Section 21, Township 37 North, Range 7 East of the Third Principal Meridian in the United City of Yorkville, Kendall County, Illinois.



Notes:
Iron pipes at all Lot corners except as noted.
All easements and setback lines granted and created by the Plat of Menard's Commercial Commons Fifth Addition, Doc. 200700014706 except as noted.

Plat of Resubdivision

Prepared for:
Menard, Inc.



Craig R. Knoche & Associates
Civil Engineers, P.C.

Registered Design Firm 3783
24 North Bennett Street • Geneva, Illinois 60134 • phone (630) 845-1270 • fax (630) 845-1275

- Civil Engineers
- Surveyors
- Land Planners

Date: 6-12-19
File: 19-025RP1
Job: 19-025

Sheet
1
of
2

Menard's Commercial Commons Seventh Addition

State of Wisconsin }
County of Eau Claire } S.S.

This is to certify that Menard, Inc. is the owner of the lands shown and described on the annexed plat and by its duly elected officers has as such owner caused the same to be surveyed, resubdivided and platted as shown thereon for the uses and purposes therein set forth and does hereby acknowledge and adopt the same under the style and title thereon shown.

It is further certified that the lands platted herein fall within the boundaries of Yorkville Community Unit School District 115.

Given this____day of_____, A.D.2019.

by:_____
(title)

attest:_____
(title)

State of Wisconsin }
County of Eau Claire } S.S.

I, _____, a notary public in and for the County and State aforesaid do hereby certify that _____ and _____, as _____ and _____ of Menard, Inc., who are personally known to me to be the same persons whose names are subscribed to the foregoing certificate, appeared before me this day in person and acknowledged the execution of the annexed plat of resubdivision and accompanying instrument as being pursuant to authority given and as their free and voluntary act and as the free and voluntary act of Menard, Inc.

Given under my hand and notarial seal this____day of_____, A.D.2013.

notary public

State of Illinois }
County of Kendall } S.S.

Approved by the City Administrator of the United City of Yorkville, Illinois this _____ day of _____, A.D., 2019.

City Administrator

State of Illinois }
County of Kendall }

I, _____, City Engineer for the United City of Yorkville, do hereby certify that the required improvements have been installed or the required guarantee collateral has been posted for the completion of all required improvements.

Given at Yorkville, Illinois this____day of_____, A.D.2019

City Engineer

State of Illinois }
County of Kendall }

Approved and accepted by the Mayor and the City Council of the United City of Yorkville, Illinois, this _____ day of _____, 2019.

Mayor

City Clerk

State of Illinois }
County of DuPage } S.S.

This is to certify that I, John Cole Helfrich, an Illinois Professional Land Surveyor, have surveyed, resubdivided and platted those lands described as follows:

Lots 1 and 2 of Menard's Commercial Commons Fifth Addition, Yorkville, Kendall County, Illinois, being a resubdivision of Lot 1 and part of Lot 3 of Menard's Commercial Commons, a subdivision of part of Section 21, Township 37 North, Range 7 East of the Third Principal Meridian in the United City of Yorkville, Kendall County, Illinois.

Area: 1,607,049 sq.ft., 36.89 acres

I further certify that the lands described above fall in "Zone X, Area of Minimal Flood Hazard" as defined by the Federal Emergency Management Agency based on reference to Flood Insurance Rate Maps 170830037H and 170830045H, both with effective dates of January 8, 2014.

I further certify that the lands described above lie within the corporate limits of the United City of Yorkville, which has adopted a Comprehensive Plan and Map and is exercising the special powers authorized by Division 12 of Article 11 of the Illinois Municipal Code as now or hereafter amended.

I further certify that the platted lands do not border on or include any public waters of the state in which the state has property rights or interests.

I further certify that this professional service conforms to the current Illinois standards for a Boundary Survey.

All dimensions are given in feet and decimal parts thereof and are correct at 62° Fahrenheit.

Given under my Hand and Seal this____day of_____, A.D.2019.

Illinois Professional Land Surveyor 2967
exp. 11-30-20

State of Illinois }
County of Kendall } S.S.

I, _____, County Clerk in Kendall County, Illinois, do hereby certify that there are no delinquent general taxes, no unpaid current general taxes, no unpaid forfeited taxes, and no redeemable tax sales against any of the land included in the annexed plat. I further certify that I have received all statutory fees in connection with the annexed plat. Given under my hand and seal of the County at Yorkville, Illinois this _____ day of _____, A.D., 2019.

County Clerk

State of Illinois }
County of Kendall } S.S.

This Instrument No. _____, was filed for record in the Recorder's Office of Kendall County, Illinois, on the _____ day of _____, 2007 at _____ O'Clock _____ M., and was recorded in Plat Envelope No. _____.

Given under my hand and seal of the County at Yorkville, Illinois this _____ day of _____, A.D., 2019.

County Recorder

EXHIBIT C
Engineering Review Comments



Engineering Enterprises, Inc.

July 22, 2019

Ms. Krysti Barksdale-Noble
Community Development Director
United City of Yorkville
800 Game Farm Road
Yorkville, IL 60560

**Re: *Menards Plat of Resubdivision
United City of Yorkville, Kendall County, Illinois***

Dear Krysti:

We are in receipt of the following items for the above referenced project:

- Plat of Resubdivision dated June 12, 2019 and prepared by Craig Knoche & Assoc.

Our review of these plans is to generally determine their compliance with local ordinances and whether the improvements will conform to existing local systems and equipment. This review and our comments do not relieve the designer from his duties to conform to all required codes, regulations, and acceptable standards of engineering practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review, we cannot and do not assume responsibility for design errors or omissions in the plans. As such, we offer the following comments:

1. City certificates will need to be used. The surveyor should contact Mark Scheller with our office to obtain them electronically.
2. The minimum text size should be 0.08.
3. The text size for the existing Lots 1 and 2 should be scaled down so they are not the same size as the new Lots 1 and 2.
4. The name, address and phone number of the owners subdividing the plat needs to be on the plat.
5. The widths of all adjacent streets along with recording document numbers need to be shown.
6. The chord bearing, and length needs to be shown on the plat.
7. The locations of the two concrete monuments that are to be set need to be described and shown.

8. The basis of the bearings used in creating the plat should be provided.

The plat should be revised and resubmitted for further review. If you have any questions or require additional information, please contact our office.

Respectfully Submitted,

ENGINEERING ENTERPRISES, INC.



Bradley P. Sanderson, P.E.
Vice President

pc: Mr. Bart Olson, City Administrator (via e-mail)
Ms. Erin Willrett, Assistant City Administrator (via e-mail)
Mr. Jason Engberg, Senior Planner (via e-mail)
Mr. Eric Dhuse, Director of Public Works (via e-mail)
Mr. Pete Ratos, Building Department (via e-mail)
Ms. Dee Weinert, Admin Assistant (via e-mail)
Ms. Lisa Pickering, City Clerk (via e-mail)
Mr. Tyler Edwards, Menard, Inc. (via e-mail)
JAM, TNP, NLS EEI (Via e-mail)



Engineering Enterprises, Inc.

August 14, 2019

Ms. Krysti Barksdale-Noble
Community Development Director
United City of Yorkville
800 Game Farm Road
Yorkville, IL 60560

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United City of Yorkville, Kendall County, Illinois***

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5. The widths of all adjacent streets along with recording document numbers need to be shown.
6. The basis of the bearings used in creating the plat should be provided.
7. A revision date is needed on the plat.

Ms. Krysti Barksdale-Noble

August 14, 2019

Page 2 of 2

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Respectfully Submitted,

ENGINEERING ENTERPRISES, INC.

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Bradley P. Sanderson, P.E.
Vice President

pc: Mr. Bart Olson, City Administrator (via e-mail)
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Ms. Lisa Pickering, City Clerk (via e-mail)
Mr. Tyler Edwards, Menard, Inc. (via e-mail)
JAM, TNP, NLS EEI (Via e-mail)



Memorandum

To: Planning and Zoning Commission
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Date: July 15, 2019
Subject: **PZC 2019-21 Menards – Lots 1&2 of Menard’s Commercial Commons
Final Plat of Resubdivision Approval**

Proposed Request:

The petitioner, Tyler Edwards, on behalf of Menard., Inc. is seeking final plat approval to resubdivide Lots 1 & 2 of the Menard’s Commercial Commons, an approximately 37-acre parcel. Located in the northeast quadrant of Marketview Drive and E. Countryside Parkway, the subject property was annexed as a part of a larger multi-parcel commercial development approved by the City of Yorkville in 2000. Currently, Lot 1 is improved with the Menards big-box home improvement retail store and Lot 2 is utilized for agricultural purposes, as permitted by the annexation agreement. Both lots are zoned B-3 General Business District and owned by Menard, Inc.



Proposed Final Plat of Resubdivision:

As proposed, the parcel line separating the existing Lots 1 and 2 will be adjusted northward to allow for an addition to the yard gate for an automatic express entrance lane which is being implemented at all of Menard’s store locations. This gate allows customers with online orders to scan a barcode at the new entrance lane and enter the yard for pick up without the inconvenience of waiting for a gate guard to manually approve entrance. There will also be an additional twenty feet (20’) added to the existing gate canopy which will serve as the exit lane.

Since the yard gate is attached to the Menard’s store, the International Building Code (IBC) requires a minimum continual clearance of sixty feet (60’) around the building. This dictates the existing property line be relocated so that the structure does not straddle two (2) lot lines and remains compliant with building setback regulations for the B-3 Zoning District which is 20 feet. Below is a site plan showing the proposed addition.



United City of Yorkville
800 Game Farm Road
Yorkville, Illinois, 60560
Telephone: 630-553-4350
Fax: 630-553-7575
Website: www.yorkville.il.us

APPLICATION FOR PRELIMINARY PLAN & FINAL PLAT

INVOICE & WORKSHEET PETITION APPLICATION			
CONCEPT PLAN REVIEW	<input type="checkbox"/> Engineering Plan Review deposit	\$500.00	Total: \$
AMENDMENT	<input type="checkbox"/> Annexation <input type="checkbox"/> Plan <input type="checkbox"/> Plat <input type="checkbox"/> P.U.D.	\$500.00 \$500.00 \$500.00 \$500.00	Total: \$
ANNEXATION	<input type="checkbox"/> \$250.00 + \$10 per acre for each acre over 5 acres _____ - 5 = _____ x \$10 = _____ + \$250 = \$ _____ # of Acres Acres over 5 Amount for Extra Acres Total Amount		Total: \$
REZONING	<input type="checkbox"/> \$200.00 + \$10 per acre for each acre over 5 acres <i>If annexing and rezoning, charge only 1 per acre fee; if rezoning to a PUD, charge PUD Development Fee - not Rezoning Fee</i> _____ - 5 = _____ x \$10 = _____ + \$200 = \$ _____ # of Acres Acres over 5 Amount for Extra Acres Total Amount		Total: \$
SPECIAL USE	<input type="checkbox"/> \$250.00 + \$10 per acre for each acre over 5 acres _____ - 5 = _____ x \$10 = _____ + \$250 = \$ _____ # of Acres Acres over 5 Amount for Extra Acres Total Amount		Total: \$
ZONING VARIANCE	<input type="checkbox"/> \$85.00 + \$500.00 outside consultants deposit		Total: \$
PRELIMINARY PLAN FEE	<input type="checkbox"/> \$500.00		Total: \$
PUD FEE	<input type="checkbox"/> \$500.00		Total: \$
FINAL PLAT FEE	<input checked="" type="checkbox"/> \$500.00		Total: \$ 500
ENGINEERING PLAN REVIEW DEPOSIT	<input type="checkbox"/> Less than 1 acre <input checked="" type="checkbox"/> Over 1 acre, less than 10 acres <input type="checkbox"/> Over 10 acres, less than 40 acres <input type="checkbox"/> Over 40 acres, less than 100 acres <input type="checkbox"/> Over 100 acres	\$1,000.00 \$2,500.00 \$5,000.00 \$10,000.00 \$20,000.00	Total: \$ 2500
OUTSIDE CONSULTANTS DEPOSIT	<i>Legal, land planner, zoning coordinator, environmental services</i> For Annexation, Subdivision, Rezoning, and Special Use: <input type="checkbox"/> Less than 2 acres <input checked="" type="checkbox"/> Over 2 acres, less than 10 acres <input type="checkbox"/> Over 10 acres		Total: \$ 2500
TOTAL AMOUNT DUE:			5500



United City of Yorkville
800 Game Farm Road
Yorkville, Illinois, 60560
Telephone: 630-553-4350
Fax: 630-553-7575
Website: www.yorkville.il.us

APPLICATION FOR PRELIMINARY PLAN & FINAL PLAT

DATE:	PZC NUMBER:	DEVELOPMENT NAME:
PETITIONER INFORMATION		
NAME: Tyler Edwards		COMPANY: Menard, Inc.
MAILING ADDRESS: 5101 Menard Drive		
CITY, STATE, ZIP: Eau Claire WI 54703		TELEPHONE: 715-876-2143
EMAIL: tedwards@menard-inc.com		FAX:
PROPERTY INFORMATION		
NAME OF HOLDER OF LEGAL TITLE: Menard, Inc.		
IF LEGAL TITLE IS HELD BY A LAND TRUST, LIST THE NAMES OF ALL HOLDERS OF ANY BENEFICIAL INTEREST THEREIN:		
PROPERTY STREET ADDRESS: 1800 Marketview Drive		
TYPE OF REQUEST:		
<input type="checkbox"/> PRELIMINARY PLAN <input checked="" type="checkbox"/> FINAL PLAT <input type="checkbox"/> AMENDED PRELIMINARY PLAN <input type="checkbox"/> AMENDED FINAL PLAT		
TOTAL LOT ACREAGE: 36.9		CURRENT ZONING CLASSIFICATION: B2
ATTACHMENTS		
Petitioner must attach a legal description of the property to this application and title it as "Exhibit A".		



United City of Yorkville
800 Game Farm Road
Yorkville, Illinois, 60560
Telephone: 630-553-4350
Fax: 630-553-7575
Website: www.yorkville.il.us

APPLICATION FOR PRELIMINARY PLAN & FINAL PLAT

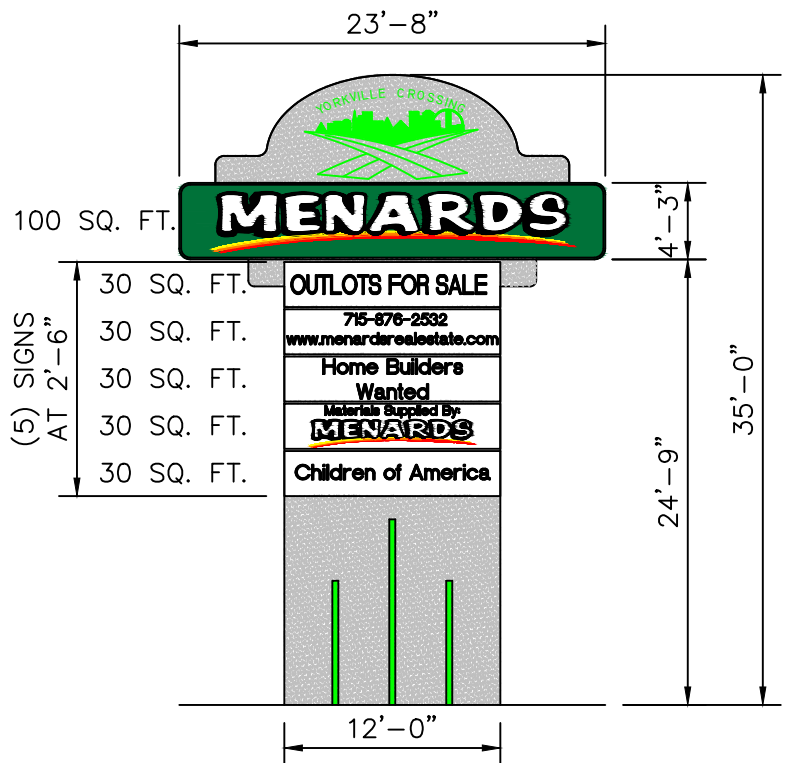
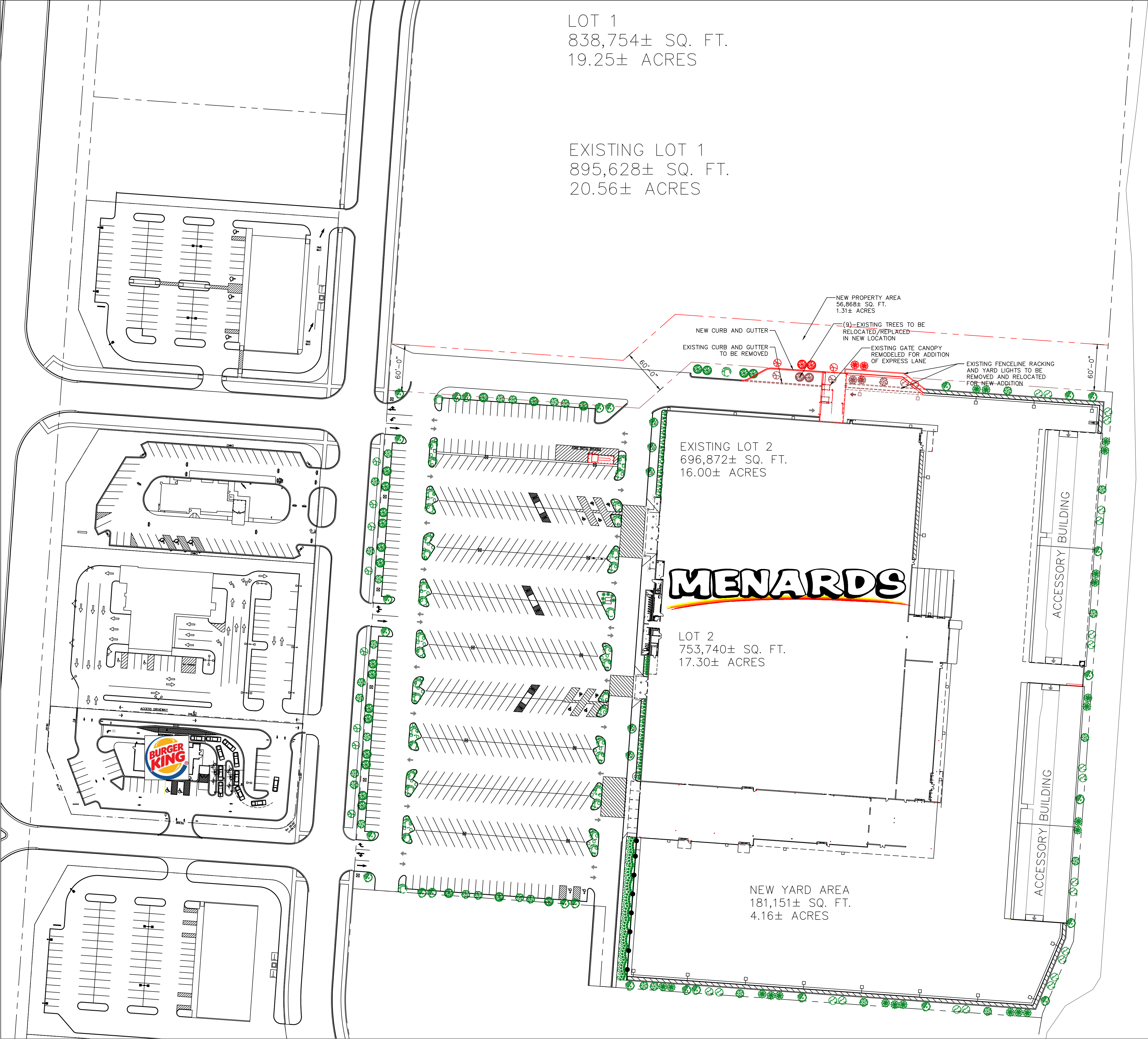
ATTORNEY INFORMATION	
NAME:	COMPANY:
MAILING ADDRESS:	
CITY, STATE, ZIP:	TELEPHONE:
EMAIL:	FAX:
ENGINEER INFORMATION	
NAME:	COMPANY:
MAILING ADDRESS:	
CITY, STATE, ZIP:	TELEPHONE:
EMAIL:	FAX:
LAND PLANNER/SURVEYOR INFORMATION	
NAME:	COMPANY:
MAILING ADDRESS:	
CITY, STATE, ZIP:	TELEPHONE:
EMAIL:	FAX:
AGREEMENT	
<p>I VERIFY THAT ALL THE INFORMATION IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE. I UNDERSTAND AND ACCEPT ALL REQUIREMENTS AND FEES AS OUTLINED AS WELL AS ANY INCURRED ADMINISTRATIVE AND PLANNING CONSULTANT FEES WHICH MUST BE CURRENT BEFORE THIS PROJECT CAN PROCEED TO THE NEXT SCHEDULED COMMITTEE MEETING.</p> <p>I UNDERSTAND ALL OF THE INFORMATION PRESENTED IN THIS DOCUMENT AND UNDERSTAND THAT IF AN APPLICATION BECOMES DORMANT IT IS THROUGH MY OWN FAULT AND I MUST THEREFORE FOLLOW THE REQUIREMENTS OUTLINED ABOVE.</p>	
<hr/>	
PETITIONER SIGNATURE	DATE
OWNER HEREBY AUTHORIZES THE PETITIONER TO PURSUE THE APPROPRIATE ENTITLEMENTS ON THE PROPERTY.	
<hr/>	
OWNER SIGNATURE	DATE
<i>Paul B. Stark</i> Paul B. Stark, Inc.	7/3/19



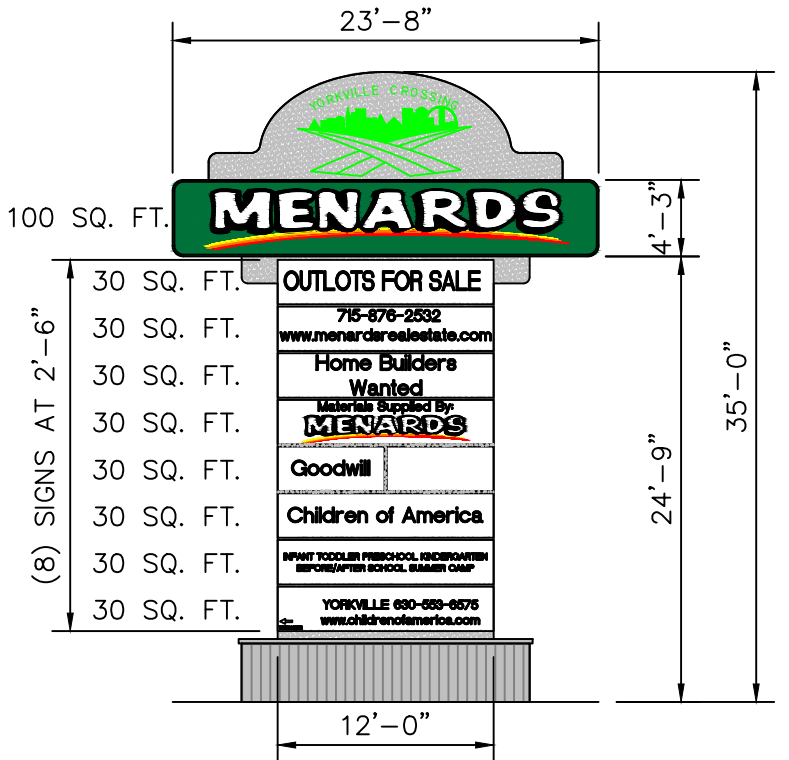
United City of Yorkville
800 Game Farm Road
Yorkville, Illinois, 60560
Telephone: 630-553-4350
Fax: 630-553-7575
Website: www.yorkville.il.us

PETITIONER DEPOSIT ACCOUNT/ ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY

PROJECT NUMBER: Tyler Edwards - Real Estate Rep	FUND ACCOUNT NUMBER: Menard, Inc.	PROPERTY ADDRESS: 5101 Menard Drive
APPLICATION/APPROVAL TYPE (check appropriate box(es) of approval requested):		
<input type="checkbox"/> CONCEPT PLAN REVIEW	<input type="checkbox"/> AMENDMENT (TEXT)	<input type="checkbox"/> ANNEXATION
<input type="checkbox"/> SPECIAL USE	<input type="checkbox"/> MILE AND 1/2 REVIEW	<input type="checkbox"/> ZONING VARIANCE
<input type="checkbox"/> FINAL PLANS	<input type="checkbox"/> PLANNED UNIT DEVELOPMENT	<input checked="" type="checkbox"/> FINAL PLAT
PETITIONER DEPOSIT ACCOUNT FUND: It is the policy of the United City of Yorkville to require any petitioner seeking approval on a project or entitlement request to establish a Petitioner Deposit Account Fund to cover all actual expenses occurred as a result of processing such applications and requests. Typical requests requiring the establishment of a Petitioner Deposit Account Fund include, but are not limited to, plan review of development approvals/engineering permits. Deposit account funds may also be used to cover costs for services related to legal fees, engineering and other plan reviews, processing of other governmental applications, recording fees and other outside coordination and consulting fees. Each fund account is established with an initial deposit based upon the estimated cost for services provided in the INVOICE & WORKSHEET PETITION APPLICATION . This initial deposit is drawn against to pay for these services related to the project or request. Periodically throughout the project review/approval process, the Financially Responsible Party will receive an invoice reflecting the charges made against the account. At any time the balance of the fund account fall below ten percent (10%) of the original deposit amount, the Financially Responsible Party will receive an invoice requesting additional funds equal to one-hundred percent (100%) of the initial deposit if subsequent reviews/fees related to the project are required. In the event that a deposit account is not immediately replenished, review by the administrative staff, consultants, boards and commissions may be suspended until the account is fully replenished. If additional funds remain in the deposit account at the completion of the project, the city will refund the balance to the Financially Responsible Party. A written request must be submitted by the Financially Responsible Party to the city by the 15th of the month in order for the refund check to be processed and distributed by the 15th of the following month. All refund checks will be made payable to the Financially Responsible Party and mailed to the address provided when the account was established.		
ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY		
NAME: Tyler Edwards - Real Estate Rep		COMPANY: Menard, Inc.
MAILING ADDRESS: 5101 Menard Drive		
CITY, STATE, ZIP: Eau Claire WI 54703		TELEPHONE: 715-876-2143
EMAIL: tedwards@menard-inc.com		FAX:
FINANCIALLY RESPONSIBLE PARTY: I acknowledge and understand that as the Financially Responsible Party, expenses may exceed the estimated initial deposit and, when requested by the United City of Yorkville, I will provide additional funds to maintain the required account balance. Further, the sale or other disposition of the property does not relieve the individual or Company/ Corporation of their obligation to maintain a positive balance in the fund account, unless the United City of Yorkville approves a Change of Responsible Party and transfer of funds. Should the account go into deficit, all City work may stop until the requested replenishment deposit is received.		
Tyler Edwards _____ PRINT NAME		Real Estate Rep _____ TITLE
 _____ SIGNATURE		7/3/19 _____ DATE
ACCOUNT CLOSURE AUTHORIZATION		
DATE REQUESTED: _____		<input type="checkbox"/> COMPLETED <input type="checkbox"/> INACTIVE
PRINT NAME: _____		<input type="checkbox"/> WITHDRAWN <input type="checkbox"/> COLLECTIONS
SIGNATURE: _____		<input type="checkbox"/> OTHER
DEPARTMENT ROUTING FOR AUTHORIZATION: <input type="checkbox"/> COM. DEV. <input type="checkbox"/> BUILDING <input type="checkbox"/> ENGINEERING <input type="checkbox"/> FINANCE <input type="checkbox"/> ADMIN.		



MONUMENT SIGN 'A'

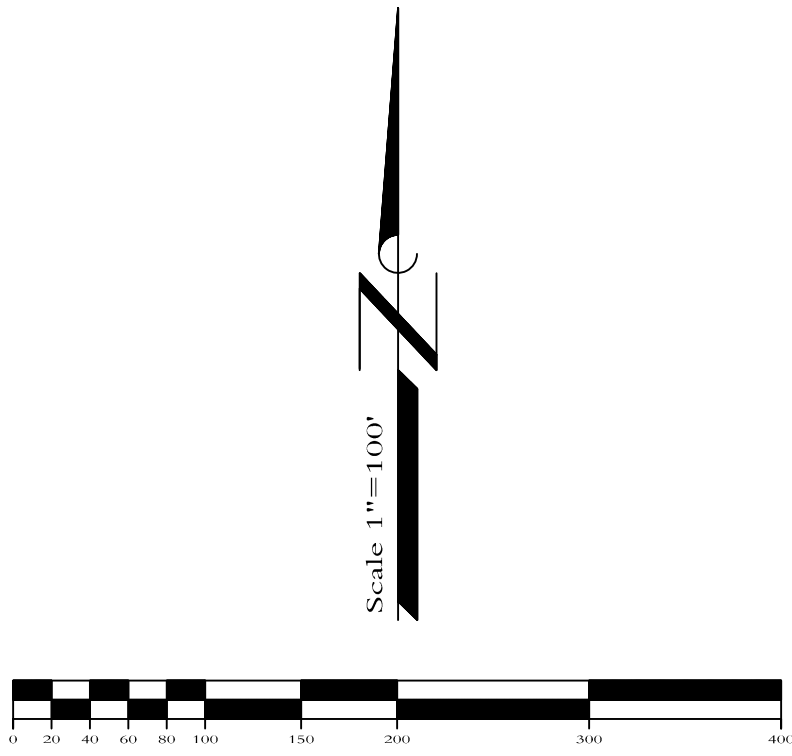


MONUMENT SIGN 'B'

LANDSCAPE LEGEND			
POINTS	SYMBOL	SCIENTIFIC, COMMON NAME	QUANTITY
31x20=620		FRAXINUS PENNSYLVANICA 'MARSHALL'S SEEDLESS', 'MARSHALL'S SEEDLESS' GREEN ASH	31
12x20=240		GINKGO BILOBA 'AUTUMN GOLD', 'AUTUMN GOLD' GINKGO	12
38x20=760		GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER', 'SHADEMASTER' THORNLESS HONEYLOCUST	38
32x20=640		ACER PLATANOIDES NORWAY MAPLE	32
26x10=260		CRATAEGUS CRUS-GALLI, THORNLESS COCKSPUR HAWTHORN	26
24x10=240		PICEA ABIES, NORWAY SPRUCE	24
23x10=230		PICEA PUNGENS, COLORADO SPRUCE	23
184x1=184		JUNIPERUS HORIZONTALIS 'BAR HARBOR', 'BAR HARBOR' JUNIPER	184
81x1=81		POTENTILLA FRUTICOSA 'MOUNT EVEREST', 'MOUNT EVEREST' POTENTILLA	81
98x1=98		BERBERIS THUNBERGII 'CRIMSON PYGMY', 'CRIMSON PYGMY' JAPANESE BARBERRY	98
3353 TOTAL POINTS			

1 SITE PLAN
SCALE: 1"=60'

MENARDS STORE DESIGN DEPARTMENT EAU CLAIRE, WISCONSIN		PROJECT TITLE YORKVILLE, IL SHEET TITLE SITE PLAN		P5-2001
SCALE AS NOTED	DRAWN BY KWK	DATE 02-07-19	CAD DWG NAME Yorkville	
REVISIONS			BY	SHEET NO.
NO.	DATE	DESCRIPTION		
				SP



Menard's Commercial Commons Seventh Addition

Being a resubdivision of Lots 1 and 2 of Menard's Commercial Commons Fifth Addition, Yorkville, Kendall County, Illinois, being a resubdivision of Lot 1 and part of Lot 3 of Menard's Commercial Commons, a subdivision of part of Section 21, Township 37 North, Range 7 East of the Third Principal Meridian in the United City of Yorkville, Kendall County, Illinois.



Notes:
Iron pipes at all Lot corners except as noted.
All easements and setback lines granted and created by the Plat of Menard's Commercial Commons Fifth Addition, Doc. 200700014706 except as noted.

Menard's Commercial Commons Seventh Addition

State of Wisconsin }
County of Eau Claire } S.S.

This is to certify that Menard, Inc. is the owner of the lands shown and described on the annexed plat and by its duly elected officers has as such owner caused the same to be surveyed, resubdivided and platted as shown thereon for the uses and purposes therein set forth and does hereby acknowledge and adopt the same under the style and title thereon shown.

It is further certified that the lands platted herein fall within the boundaries of Yorkville Community Unit School District 115.

Given this____day of_____, A.D.2019.

by:_____
(title)

attest:_____
(title)

State of Wisconsin }
County of Eau Claire } S.S.

I, _____, a notary public in and for the County and State aforesaid do hereby certify that _____ and _____, as _____ and _____ of Menard, Inc., who are personally known to me to be the same persons whose names are subscribed to the foregoing certificate, appeared before me this day in person and acknowledged the execution of the annexed plat of resubdivision and accompanying instrument as being pursuant to authority given and as their free and voluntary act and as the free and voluntary act of Menard, Inc.

Given under my hand and notarial seal this____day of_____, A.D.2013.

notary public

State of Illinois }
County of Kendall } S.S.

Approved by the City Administrator of the United City of Yorkville, Illinois this _____ day of _____, A.D., 2019.

City Administrator

State of Illinois }
County of Kendall }

I, _____, City Engineer for the United City of Yorkville, do hereby certify that the required improvements have been installed or the required guarantee collateral has been posted for the completion of all required improvements.

Given at Yorkville, Illinois this____day of_____, A.D.2019

City Engineer

State of Illinois }
County of Kendall }

Approved and accepted by the Mayor and the City Council of the United City of Yorkville, Illinois, this _____ day of _____, 2019.

Mayor

City Clerk

State of Illinois }
County of DuPage } S.S.

This is to certify that I, John Cole Helfrich, an Illinois Professional Land Surveyor, have surveyed, resubdivided and platted those lands described as follows:

Lots 1 and 2 of Menard's Commercial Commons Fifth Addition, Yorkville, Kendall County, Illinois, being a resubdivision of Lot 1 and part of Lot 3 of Menard's Commercial Commons, a subdivision of part of Section 21, Township 37 North, Range 7 East of the Third Principal Meridian in the United City of Yorkville, Kendall County, Illinois.

Area: 1,607,049 sq.ft., 36.89 acres

I further certify that the lands described above fall in "Zone X, Area of Minimal Flood Hazard" as defined by the Federal Emergency Management Agency based on reference to Flood Insurance Rate Maps 170830037H and 170830045H, both with effective dates of January 8, 2014.

I further certify that the lands described above lie within the corporate limits of the United City of Yorkville, which has adopted a Comprehensive Plan and Map and is exercising the special powers authorized by Division 12 of Article 11 of the Illinois Municipal Code as now or hereafter amended.

I further certify that the platted lands do not border on or include any public waters of the state in which the state has property rights or interests.

I further certify that this professional service conforms to the current Illinois standards for a Boundary Survey.

All dimensions are given in feet and decimal parts thereof and are correct at 62° Fahrenheit.

Given under my Hand and Seal this____day of_____, A.D.2019.

Illinois Professional Land Surveyor 2967
exp. 11-30-20

State of Illinois }
County of Kendall } S.S.

I, _____, County Clerk in Kendall County, Illinois, do hereby certify that there are no delinquent general taxes, no unpaid current general taxes, no unpaid forfeited taxes, and no redeemable tax sales against any of the land included in the annexed plat. I further certify that I have received all statutory fees in connection with the annexed plat. Given under my hand and seal of the County at Yorkville, Illinois this _____ day of _____, A.D., 2019.

County Clerk

State of Illinois }
County of Kendall } S.S.

This Instrument No. _____, was filed for record in the Recorder's Office of Kendall County, Illinois, on the _____ day of _____, 2007 at _____ O'Clock _____ M., and was recorded in Plat Envelope No. _____.

Given under my hand and seal of the County at Yorkville, Illinois this _____ day of _____, A.D., 2019.

County Recorder



Engineering Enterprises, Inc.

July 22, 2019

Ms. Krysti Barksdale-Noble
Community Development Director
United City of Yorkville
800 Game Farm Road
Yorkville, IL 60560

Re: *Menards Plat of Resubdivision*
United City of Yorkville, Kendall County, Illinois

Dear Krysti:

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The plat should be revised and resubmitted for further review. If you have any questions or require additional information, please contact our office.

Respectfully Submitted,

ENGINEERING ENTERPRISES, INC.



Bradley P. Sanderson, P.E.
Vice President

pc: Mr. Bart Olson, City Administrator (via e-mail)
Ms. Erin Willrett, Assistant City Administrator (via e-mail)
Mr. Jason Engberg, Senior Planner (via e-mail)
Mr. Eric Dhuse, Director of Public Works (via e-mail)
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Ms. Lisa Pickering, City Clerk (via e-mail)
Mr. Tyler Edwards, Menard, Inc. (via e-mail)
JAM, TNP, NLS EEI (Via e-mail)



Engineering Enterprises, Inc.

August 14, 2019

Ms. Krysti Barksdale-Noble
Community Development Director
United City of Yorkville
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Yorkville, IL 60560

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Ms. Krysti Barksdale-Noble

August 14, 2019

Page 2 of 2

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Respectfully Submitted,

ENGINEERING ENTERPRISES, INC.

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Bradley P. Sanderson, P.E.
Vice President

pc: Mr. Bart Olson, City Administrator (via e-mail)
Ms. Erin Willrett, Assistant City Administrator (via e-mail)
Mr. Jason Engberg, Senior Planner (via e-mail)
Mr. Eric Dhuse, Director of Public Works (via e-mail)
Mr. Pete Ratosh, Building Department (via e-mail)
Ms. Dee Weinert, Admin Assistant (via e-mail)
Ms. Lisa Pickering, City Clerk (via e-mail)
Mr. Tyler Edwards, Menard, Inc. (via e-mail)
JAM, TNP, NLS EEI (Via e-mail)



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input checked="" type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #3

Tracking Number

CC 2019-65

Agenda Item Summary Memo

Title: Fiscal Year 2019 Audit Report

Meeting and Date: City Council – October 8, 2019

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: _____

Submitted by: Rob Fredrickson Finance
Name Department

Agenda Item Notes:

Comprehensive Annual Financial Report

Fiscal Year Ended April 30, 2019



UNITED CITY OF YORKVILLE

800 Game Farm Road
Yorkville, Illinois 60560
(630) 553-4350
www.yorkville.il.us

**UNITED CITY OF YORKVILLE,
ILLINOIS**

**COMPREHENSIVE
ANNUAL FINANCIAL REPORT**

**FOR THE FISCAL YEAR ENDED
APRIL 30, 2019**

Prepared by:

Rob Fredrickson
Director of Finance

UNITED CITY OF YORKVILLE, ILLINOIS

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INTRODUCTORY SECTION

This section includes miscellaneous data regarding the City including: List of Principal Officials, Organization Chart, Transmittal Letter and the Certificate of Achievement for Excellence in Financial Reporting.

UNITED CITY OF YORKVILLE, ILLINOIS

Principal Officials

Fiscal Year Ended April 30, 2019

EXECUTIVE

Mayor: Gary J. Golinski

City Clerk: Beth Warren

LEGISLATIVE

Ward 1:	Carlo Colosimo, Alderman
Ward 1:	Ken Koch, Alderman
Ward 2:	Jackie Milschewski, Alderman
Ward 2:	Arden Joe Plocher, Alderman
Ward 3:	Joel Frieders, Alderman
Ward 3:	Chris Funkhouser, Alderman
Ward 4:	Seaver Tarulis, Alderman
Ward 4:	Jason Peterson, Alderman

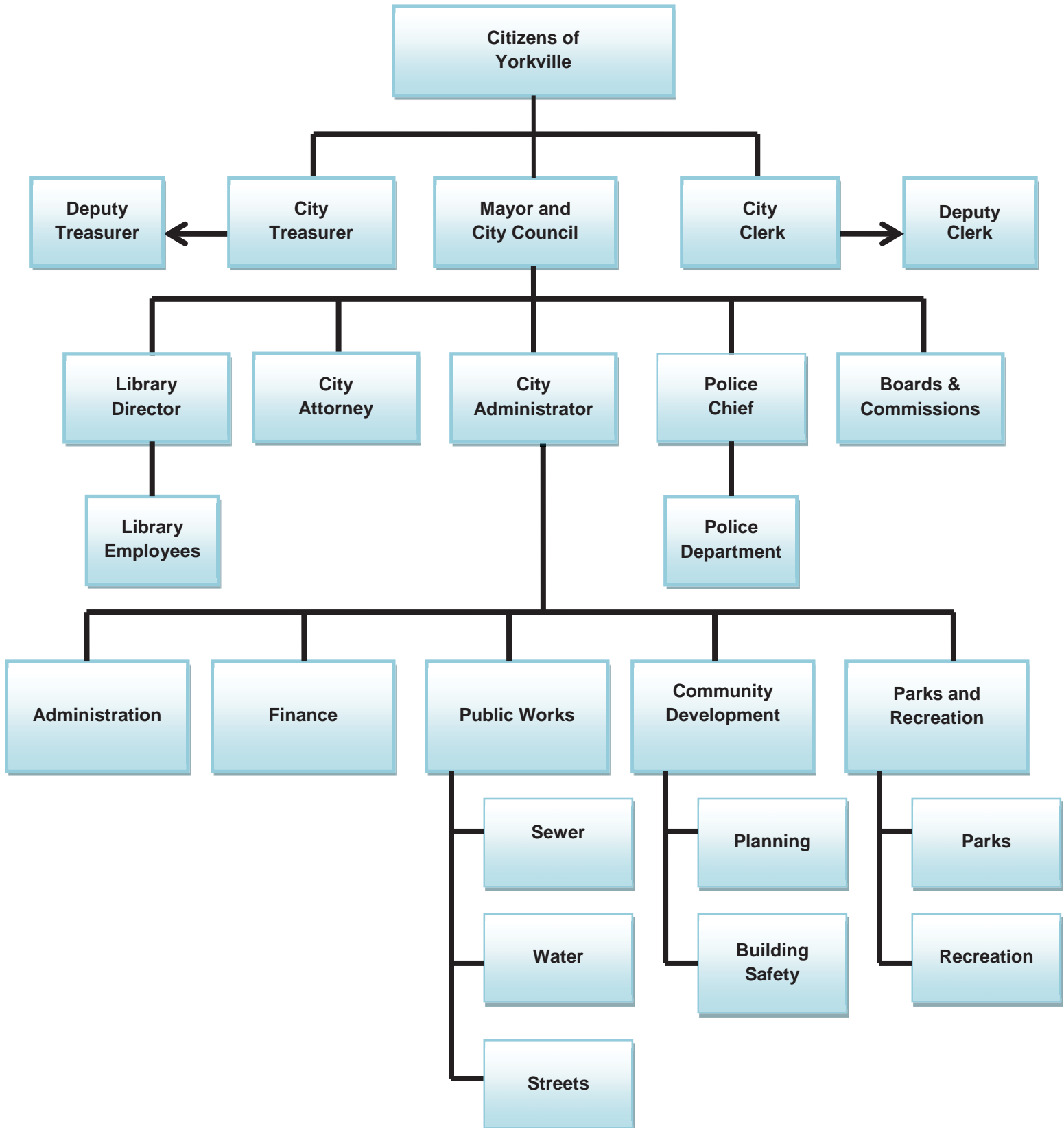
ADMINISTRATIVE

City Administrator:	Bart Olson
Director of Finance/Deputy Treasurer:	Rob Fredrickson
Director of Public Works:	Eric Dhuse
Chief of Police:	Rich Hart
Director of Community Development:	Krysti Barksdale-Noble
Director of Parks & Recreation:	Tim Evans
Library Director:	Elisa Topper



United City of Yorkville

Organizational Chart





United City of Yorkville

800 Game Farm Road
Yorkville, Illinois 60560
Telephone: (630) 553-4350
www.yorkville.il.us

September 20, 2019

To The Honorable John J. Purcell, Mayor
Members of the City Council
Citizens of Yorkville, Illinois

The Comprehensive Annual Financial Report (CAFR) of the United City of Yorkville, Illinois, for the Fiscal Year ended April 30, 2019, is hereby submitted. The submittal of this report complies with Illinois state law which requires that the City issue a report on its financial position and activity presented in conformance with generally accepted accounting principles (GAAP) and audited in accordance with generally accepted auditing standards (GAAS) by an independent firm of licensed certified public accountants.

This report consists of management's representations concerning the finances of the City. Consequently, responsibility for both the accuracy of the data and the completeness and fairness of the presentation, including all disclosures, rests with management. We believe the data, as presented, is accurate in all material respects; and is presented in a manner designed to fairly set forth the financial position of the United City of Yorkville. The results of operations as measured by the financial activity of its various funds; and all disclosures necessary to enable the reader to gain a reasonable understanding of the City's financial affairs have been included.

The City's financial statements have been audited by Lauterbach & Amen LLP, a firm of licensed certified public accountants. The goal of the independent audit is to provide reasonable assurance that the financial statements of the United City of Yorkville for the fiscal year ended April 30, 2019, are free of material misstatements. The independent audit involves examining, on a test basis, evidence supporting the amounts and disclosures in the financial statements; assessing the accounting principles used and significant estimates made by management; and evaluation of the overall financial statement presentation. The independent auditors concluded, based upon their audit procedures, that there was a reasonable basis for rendering an unmodified ("clean") opinion that the City's financial statements for the fiscal year ended April 30, 2019, are fairly presented in conformity with GAAP. The independent auditor's report is presented as the first component of the financial section of this report.

This report includes all funds of the City (primary government), including the Yorkville Public Library and Parks and Recreation Department.

Generally accepted accounting principles require that management provide a narrative introduction, overview and analysis to accompany the basic financial statements in the form of Management's Discussion and Analysis (MD&A). This transmittal letter is designed to complement the MD&A and should be read in conjunction with it. The City's MD&A can be found immediately following the report of the independent auditors.

Profile of the United City of Yorkville

Yorkville was first settled in 1833 and has been the county seat of Kendall County since 1859. The Village of Yorkville was incorporated in 1874, with a population of approximately 500 people. At that time the Village of Yorkville only encompassed land on the south side of the Fox River; another village, called Bristol, was located directly across from Yorkville on the north side of the river. In 1957 the two villages merged, via referendum, to form the United City of Yorkville. The City, a non-home rule community as defined by the Illinois Constitution, covers approximately 22 square miles with a 2017 special census population of 19,022 residents. The City is located in central Kendall County, about 45 miles southwest of Chicago, Illinois. The City is primarily agricultural and residential in nature, with housing stock consisting of approximately 7,400 single family (includes townhomes, condominiums and duplexes) dwelling units.

The City operates under a Mayor/Council form of government, as defined in Illinois State Statutes. The legislative authority of the City is vested in an eight-member council, each elected from their respective wards to overlapping four year terms. The Mayor, City Treasurer and City Clerk are elected at large. The Mayor appoints, with Council consent, a City Administrator to manage the day-to-day operations of the City.

The City provides a full range of municipal services with 77 full-time, and 73 part-time persons working in public safety, public works, planning and zoning, parks and recreation, library services and general administration. The City maintains approximately 100 miles of streets and 300 acres of park and green space. The City operates its own water distribution system with sewage treatment provided by the Yorkville Bristol Sanitary District.

The Yorkville Public Library is operated under an appointed board, which is separate from the City Council. Library Board positions are appointed by the Mayor and expire on a rotating basis. Library operations are administered by the Library Board, however, the City is required by state statute to include within its property tax levy and budget, the Library's requests. The Library does not have authority to issue debt and must do so through the City.

Accounting System and Budgetary Control

Management of the United City of Yorkville is responsible for establishing and maintaining an internal control structure. The internal control structure is designed to ensure that the assets of the City are protected from loss, theft or misuse and to ensure that adequate accounting data is compiled to allow for the preparation of financial statements in conformity with generally accepted accounting principles. This structure is designed to provide reasonable, but not absolute, assurance that these objectives are met. The concept of reasonable assurance recognizes that: (1) the cost of a control should not exceed the benefits likely to be derived; and (2) the valuation of costs and benefits requires estimates and judgments by management.

In addition, the United City of Yorkville maintains budgetary controls. The objective of these budgetary controls is to ensure compliance with legal provisions embodied in the annual appropriated budget approved by the City's governing body. Activities of the general fund, special revenue funds, capital project funds, debt service funds and enterprise funds are included in the annual appropriated budget. The level of budgetary control (that is, the level at which expenditures cannot legally exceed the appropriated amount) is established at the fund level for all budgeted funds.

Local Economy

Yorkville is home to several large and mid-sized manufacturers and retailers including the Wm. Wrigley Jr. Company, Boombah, Inc., Newlywed Foods, Jewel/Osco, Target, Kohl's, Home Depot and Menards. It is also home to Raging Waves, Illinois largest water park. The City's administrative staff, in conjunction with its economic development consultant, continues to work on attracting and retaining commercial and industrial business to the City.

Building permits were issued for several commercial developments during the current fiscal year, and several new businesses opened at various locations throughout the City. Recently a new business called Flight Tasting Room, a tasting and bottle shop, opened in Yorkville. This 3,000 square foot craft beer tap room is located in a suite of in-line commercial strip located in the Kendall Crossing development at the northwest corner of Illinois Route 47 (Bridge Street) and US Route 34 (Veterans Parkway). On the City's southwest side, within the Stagecoach Crossing development, a nearly 9,500 square foot banquet hall facility opened for business in September. Building Permits were also issued for the following new businesses: Burnt Barrel Social, a 1,900 square foot restaurant featuring small batch whiskey in Kendall Crossing; Arby's fast food chain restaurant on North Bridge Street; Parma Pizza Bar, a 2,000 square foot new full service Italian restaurant in the City's downtown; and Morton Builders, a new 7,000 square foot manufacturing/warehouse building under construction in the Yorkville Business Center. Finally, special use approval was recently granted for Lenny's Gas N Wash, located on the City's northeast side, just north of the Raging Waves Waterpark. The proposed 11,500 square foot fuel station and convenience store will also include a separate building dedicated for car washing with dog wash area. The convenience store building will also have two restaurant type businesses and plans for a mid/late spring 2020 opening.

Despite the many budgetary challenges facing the State of Illinois, including looming debt and pension obligations, the City has seen multiple signs that the local economy is continuing to remain resilient. The U.S. Census Bureau 5-year Community Survey estimates report that the City has a median family income of \$95,383. This compares to \$89,860 for Kendall County and \$61,229 for the State of Illinois. Yorkville's unemployment rate was 3.5% at the end of calendar year 2018; which mirrors Kendall County, and is lower than the State unemployment rate of 4.3%. The equalized assessed valuation (EAV) of taxable property within the City has stabilized, increasing by an average of 6% from 2015 through 2018. In addition, the City's sales tax base continues to grow, as municipal sales tax proceeds have exceeded pre-recessionary highs and have experienced consistent annualized growth over the last five years.

The local housing market continues to improve, as the number of foreclosures in the City totaled 56 in 2018, which is about 8% less than the previous calendar year, and significantly less than the post-recessionary high of 362 foreclosures in 2010. Building and development within the City continues to progress, as overall building permit issuances remained relatively steady with the prior year. In the current fiscal year, 980 permits were issued, comprised of 11 new commercial; 222 detached single-family homes; 1 solar industrial farm; and 746 miscellaneous residential and commercial permits.

Major Initiatives

In fiscal year 2019 the City continued to pursue several major initiatives, including:

- **Bond Refunding** - In February of 2019, the City issued \$5.22 million in bonds to refinance existing noncommittal debt related to the Windett Ridge Special Service Area. This refunding resulted in approximately \$1.2 million in aggregate interest savings over the remaining life of the bond. These savings, averaging over \$350 a year, will be passed on to homeowners within the Windett Ridge subdivision in the form of lower annual special service area taxes.

- **New Recreation Programming** – Previously the Yorkville Youth Baseball and Softball Association (YYBSA) had been the primary organization providing youth recreation “in-house” baseball and softball to the Yorkville community. At the request of the YYBSA Board of Directors, these activities were transitioned to the City’s Recreation Department in November of 2018. This new program is anticipated to bring in approximately \$185,000 in registration and sponsorship revenues. In addition, the acquisition of this program has streamlined scheduling and team creation, enhanced overall baseball field maintenance and enabled the Recreation Department to expand program offerings to residents.
- **Downtown Overlay District Streetscape Master Plan** – The City continued work on developing a Downtown Overlay District Streetscape Master Plan with Formed Based Codes. The plan will establish goals, objectives, implementation strategies, design and development guidelines to fulfill the vision of the City’s downtown core. The streetscape master plan component is intended to allow flexibility for the aesthetics of the various downtown corridors, while the form-based code is meant to encourage compatibility with the character of the area without inhibiting the creativity of designers.
- **Neighborhood Design Manual** – The City adopted a neighborhood design manual to encourage the conservation and preservation of the housing stock in the traditional downtown neighborhood areas, as well as guide new housing construction that is in scale and character with adjacent housing. This manual is a separate document from the existing City’s appearance code, which addresses design issues primarily in Yorkville’s newly developing areas, but may be used in tandem with a future downtown facade improvement program.
- **New Downtown TIF District** – In May of 2018, the City created a second TIF District in the downtown area, for the purposes of facilitating performance of the original redevelopment area. The new TIF is comprised of underperforming parcels from the original downtown TIF, in addition to some new parcels, which expanded the overall size of the redevelopment area. By establishing a second TIF, these underperforming parcels now have a greater period of time to generate increment. Furthermore, TIF’s that share a boundary may also distribute funds between them.
- **Road to Better Roads (RTBR) Program and Other Capital Projects** – Based on the findings of an updated road study conducted in 2018 and in an effort to address ongoing infrastructure needs, the City continued its annual capital improvement program in the current fiscal year, commonly referred to as the “Road to Better Roads” program. Construction costs in fiscal year 2019 totaled approximately \$425,000 for roadway improvements, consisting of pavement milling and overlays on several local streets. In addition, the City continued with its lining program in order to mitigate inflow and infiltration into the sanitary sewer system; demolition and restoration of the former Well #3 site were completed; construction of the Fox Highland and Raintree Village subdivisions water main interconnects were essentially finalized; design engineering commenced for the Church Street sanitary and East Orange Street water main improvement projects; and infrastructure improvements were substantially completed in Units One, Two and Four in the Whispering Meadows subdivision.

Long-Term Financial Planning

Management annually develops five-year financial forecasts for all budgeted funds. These forecasts serve as the basis for identifying not only future capital needs, but future operational and personnel requirements as well. Revenue and expenditure trends will be evaluated and prioritized based on the goals set forth by the

City Council. It is the intent of management that this five-year financial forecast will serve as the foundation for each year's corresponding budget document.

Relevant Financial Policies

In order to ensure that the City continues to meet its immediate and long term service goals, several financial policies and procedures have been implemented by management. Some of the more prescient policies include the following:

- Issue a Comprehensive Annual Financial Report (CAFR) within 180 days of the end of each fiscal year that complies with generally accepted accounting principles.
- Monthly revenue, expenditure and cash balance reporting for all funds. These financial reports ensure that the City Council is made aware of any variances from the appropriated budget. In addition, the City's budget document continues to be revised in order to enhance transparency.
- Maintain the "Information for Citizens" webpage on the City's website, which contains a wide array of financial information including: budget and audit information; annual treasurer's reports; bill lists; employee salary and benefit information; tax rates and fees; and other nonfinancial information.
- A fund balance policy establishing benchmark reserve levels to be maintained in the City's various funds, in order to promote financial stability and provide adequate cash flow for operations.
- A pension funding policy which defines the manner in which the City funds the long-term cost of benefits promised to plan participants and defines the calculation of the actuarial determined contribution (ADC) to the Yorkville Police Pension and Illinois Municipal Retirement Funds.
- An investment policy which invests public funds in a manner which protects principal, maximizes return for a given level of risk and meets the daily cash flow needs of the City.
- A capital asset policy which establishes the capitalization thresholds and estimated useful lives of capital assets.
- A purchasing policy to ensure that goods and services are obtained in a timely manner at the lowest possible cost.
- A post issuance compliance policy to ensure that City remains in compliance with federal tax laws after the issuance of tax-exempt debt.
- A credit card policy for all City related credit card purchases. All City employees are required to sign a credit card policy acknowledgement form prior to receiving a City issued credit card.

Pension Trust Funds and Post-Employment Benefits

Two pension plans are established by State Statute, which cover City employees. The benefits and funding of each plan are determined by state statute, and each plan provides retirement, disability and death benefits for participants.

The Police Pension Fund is funded through an annual property tax levy, employee contributions and investment earnings. The Illinois Municipal Retirement Fund (IMRF) pension plan covers civilian full-time

employees. Funding for IMRF is made through contributions from the employer (actuarially determined annually by IMRF) and employees of the City (established at 4.5% of total compensation). Employees covered under both pension plans also contribute to Social Security (6.2% of salary capped annually) and Medicare (1.45% of total compensation). The City also provides post-retirement health care benefits for retirees and their dependents, which is financed on a pay-as-you-go basis, with retirees paying 100% of their health care premiums. The notes to the financial statement provide more information pertaining to employee pensions and post-retirement health care benefits.

Awards and Acknowledgments

The Government Finance Officers Association of the United States and Canada (GFOA) awarded a Certificate of Achievement for Excellence in Financial Reporting to the United City of Yorkville for its comprehensive annual financial report for the fiscal year ended April 30, 2018. This was the 8th year that the City has received this prestigious award. In order to be awarded a Certificate of Achievement, a government must publish an easily readable and efficiently organized comprehensive annual financial report. The report must also satisfy both generally accepted accounting principles and applicable legal requirements. A Certificate of Achievement is valid for a period of one year only. We believe that our current comprehensive annual financial report continues to meet the Certificate of Achievement Program's requirements, and we are submitting it to the GFOA to determine its eligibility for another certificate.

The preparation of the comprehensive annual financial report would not have been possible without the dedicated services of the City department heads and staff. The entire finance department staff is extended a special appreciation for all of their assistance in the completion of the annual audit.

Additionally, we would like to acknowledge the Mayor and City Council for their leadership and support in planning and conducting the financial operations of the City, which has made preparation of this report possible.

Respectfully submitted,



Bart Olson, ICMA-CM
City Administrator



Rob Fredrickson, CPA
Director of Finance



Government Finance Officers Association

**Certificate of
Achievement
for Excellence
in Financial
Reporting**

Presented to

**United City of Yorkville
Illinois**

For its Comprehensive Annual
Financial Report
for the Fiscal Year Ended

April 30, 2018

Christopher P. Morrill

Executive Director/CEO

INDEPENDENT AUDITORS' REPORT

This section includes the opinion of the City's independent auditing firm.



INDEPENDENT AUDITORS' REPORT

September 20, 2019

The Honorable City Mayor
Members of the City Council
United City of Yorkville, Illinois

We have audited the accompanying financial statements of the governmental activities, the business-type activities, each major fund, and the aggregate remaining fund information of the United City of Yorkville, Illinois, as of and for the year ended April 30, 2019, and the related notes to the financial statements, which collectively comprise the City's basic financial statements as listed in the table of contents.

Management's Responsibility for the Financial Statements

Management is responsible for the preparation and fair presentation of these financial statements in accordance with accounting principles generally accepted in the United States of America; this includes the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error.

Auditor's Responsibility

Our responsibility is to express opinions on these financial statements based on our audit. We conducted our audit in accordance with auditing standards generally accepted in the United States of America. Those standards require that we plan and perform the audit to obtain reasonable assurance about whether the financial statements are free of material misstatement.

An audit involves performing procedures to obtain audit evidence about the amounts and disclosures in the financial statements. The procedures selected depend on the auditor's judgment, including the assessment of the risks of material misstatement of the financial statements, whether due to fraud or error. In making those risk assessments, the auditor considers internal control relevant to the City's preparation and fair presentation of the financial statements in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the City's internal control. Accordingly, we express no such opinion. An audit also includes evaluating the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluating the overall presentation of the financial statements.

We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinions.

Opinions

In our opinion, the financial statements referred to above present fairly, in all material respects, the respective financial position of the governmental activities, the business-type activities, each major fund, and the aggregate remaining fund information of the United City of Yorkville, Illinois, as of April 30, 2019, and the respective changes in financial position and, where applicable, cash flows thereof for the year then ended in accordance with accounting principles generally accepted in the United States of America.

Other Matters

Required Supplementary Information

Accounting principles generally accepted in the United States of America require that the management's discussion and analysis as listed in the table of contents and budgetary information reported in the required supplementary information as listed in the table of contents, be presented to supplement the basic financial statements. Such information, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board, who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. We have applied certain limited procedures to the required supplementary information in accordance with auditing standards generally accepted in the United States of America, which consisted of inquiries of management about the methods of preparing the information and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We do not express an opinion or provide any assurance on the information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance.

Other Information

Our audit was conducted for the purpose of forming opinions on the financial statements that collectively comprise the United City of Yorkville, Illinois' basic financial statements. The introductory section, combining and individual fund financial statements and budgetary comparison schedules, supplemental schedules, and statistical section are presented for purposes of additional analysis and are not a required part of the basic financial statements.

The combining and individual fund financial statements and budgetary comparison schedules and supplemental schedules are the responsibility of management and were derived from and relate directly to the underlying accounting and other records used to prepare the basic financial statements. Such information has been subjected to the auditing procedures applied in the audit of the basic financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the basic financial statements or to the basic financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the combining and individual fund financial statements and budgetary comparison schedules and supplemental schedules are fairly stated, in all material respects, in relation to the basic financial statements as a whole.

The introductory and statistical sections have not been subjected to the auditing procedures applied in the audit of the basic financial statements and, accordingly, we do not express an opinion or provide any assurance on them.

Lauterbach & Amen, LLP

LAUTERBACH & AMEN, LLP

MANAGEMENT'S DISCUSSION AND ANALYSIS

As management of the United City of Yorkville (“City”), we offer readers of the City’s financial statements this narrative overview and analysis of the financial activities of the City for the fiscal year ended April 30, 2019. Since the Management’s Discussion and Analysis (“MD&A”) is designed to focus on the current year’s activities, resulting changes and currently known facts, it should be read in conjunction with the Letter of Transmittal on pages 3 through 8 and the City’s financial statements (beginning on page 24).

Financial Highlights

- The assets/deferred outflows of the United City of Yorkville exceeded its liabilities/deferred inflows at the close of the fiscal year by \$142,558,315 (*net position*). Of this amount, \$141,898,470 was invested in capital assets, net of related debt; \$1,741,515 was restricted for specific activities such as IMRF, highways and streets, special service areas and library operations. Remaining net position, totaling (\$1,081,670), was unrestricted.
- The City’s aggregate net position increased by \$4,615,901 or 3.3% during the year ended April 30, 2019. Of this increase, \$2,317,527 is attributable to governmental activities and \$2,298,374 is attributable to business-type activities.
- Total revenues decreased by 20.1% from \$37,453,970 to \$29,926,004. Overall expenses totaled \$25,310,103, which is a decrease of 0.8% from the preceding fiscal year.
- At the culmination of the current fiscal year, the City’s governmental funds reported combined fund balances of \$8,481,099, compared to \$7,549,636 reported on April 30, 2018.
- For the fiscal year ended April 30, 2019, the City’s General Fund reported an increase in fund balance of \$383,450. Total ending fund balance in the General Fund was a positive \$6,879,823.
- Both the City’s Water and Sewer Funds reported positive changes in net position during the current fiscal year, reporting ending net position balances of \$31,419,231 and \$32,914,947, respectively.

Overview of the Financial Statements

This discussion and analysis is intended to serve as an introduction to the City’s basic financial statements. The City’s basic financial statements are comprised of three components: (1) government-wide financial statements, (2) fund financial statements, and (3) notes to the financial statements. The governmental-wide statements are divided between governmental activities and business-type activities. The perspective of the fund financial statements presents financial information for individual funds established by the City for specific purposes. They are categorized into three distinct groups: governmental, proprietary and fiduciary. This report also contains other supplementary information in addition to the basic financial statements.

Government-Wide Financial Statements

The government-wide financial statements are designed to provide readers with a broad overview of the City’s finances, in a manner similar to a private-sector business. The Statement of Net Position presents information on all of the City’s assets/deferred outflows and liabilities/deferred inflows, with the difference between the two reported as net position. Over time increases or decreases in net position may serve as a useful indicator of whether the financial position of the City is improving or deteriorating.

The Statement of Activities presents information showing how the City’s net position changed during the most recent fiscal year. All changes in net position are reported as soon as the underlying event giving rise to the change occurs, regardless of the timing of related cash flows. Thus, revenues and expenses are reported in this statement for some items that will only result in cash flows in future fiscal periods.

Both of the government-wide financial statements distinguish functions of the City that are principally supported by taxes and intergovernmental revenues (governmental activities) from other functions that are intended to recover all or a significant portion of their costs through user fees and charges (business-type activities). The governmental activities of the City include general government (legislative, administration

and finance), public safety (police), community development, public works (street operations, health and sanitation) and parks and recreation. Property taxes, shared state taxes and local utility taxes finance the majority of these services. Business-type activities reflect private sector type operations, where the fee for service typically covers all or most of the cost of operations, including depreciation. The business-type activities of the City include water and sewer operations.

The government-wide financial statements may be found on pages 24 through 27 of this report.

Fund Financial Statements

A fund is a grouping of related accounts that is used to maintain control over resources that have been segregated for specific activities or objectives. The City uses fund accounting to ensure and demonstrate compliance with finance-related legal requirements. All of the funds of the United City of Yorkville can be divided into three categories: governmental funds, proprietary funds and fiduciary funds.

Governmental Funds

Governmental funds are used to account for essentially the same functions reported as governmental activities in the government-wide financial statements. However, unlike the government-wide financial statements, governmental fund financial statements focus on near-term inflows and outflows of spendable resources, as well as on balances of spendable resources available at the end of the fiscal year. Such information may be useful in evaluating a government's near-term financing requirements.

Because the focus of governmental funds is narrower than that of the government-wide financial statements, it is useful to compare the information presented for governmental funds with similar information presented for governmental activities in the government-wide financial statements. By doing so, readers may better understand the long-term impact of the City's near-term financing decisions. Both the Governmental Fund Balance Sheet and the Governmental Fund Statement of Revenues, Expenditures and Changes in Fund Balances provide a reconciliation to facilitate this comparison between governmental funds and governmental activities.

The City maintains thirteen individual governmental funds. Information is presented separately in the Governmental Fund Balance Sheet and in the Governmental Fund Statement of Revenues, Expenditures and Changes in Fund Balances for the General Fund, Library Fund, Parks and Recreation Fund and the Citywide Capital Fund, all of which are considered to be major funds. Information from the City's other nine governmental funds are combined into a single column presentation. Individual fund information for these non-major governmental funds is provided elsewhere in the report.

The United City of Yorkville adopts annual budgets for its General Fund, Library Fund, Parks and Recreation Fund and Citywide Capital Fund. A budgetary comparison schedule has been provided for all four funds to demonstrate compliance with this budget. The basic governmental fund financial statements may be found on pages 28 through 33 of this report.

Proprietary Funds

The City maintains one type of proprietary fund (enterprise funds). Enterprise funds are used to report the same functions presented as business-type activities in the government-wide financial statements. The City uses enterprise funds to account for its water and sewer operations.

Proprietary funds provide the same type of information as the government-wide financial statements, only in more detail. The proprietary fund financial statements provide separate information for the Water Fund (major fund) and the Sewer Fund (major fund).

The basic proprietary fund financial statements may be found on pages 34 through 37 of this report.

Fiduciary Funds

Fiduciary funds are used to account for resources held for the benefit of parties outside the City. Fiduciary funds are not reflected in the government-wide financial statements because the resources of those funds are not available to support the City's operations. The City maintains one fiduciary trust fund; the Police Pension Fund and two agency funds; one for fees held for other governmental agencies and one for developer deposits. The accounting used for fiduciary funds is similar to that used by proprietary funds.

The basic fiduciary fund financial statements may be found on pages 38 through 39 of this report.

Notes to the Financial Statements

The notes provide additional information that is essential to a full understanding of the information provided in the government-wide and fund financial statements. The notes to the financial statements may be found on pages 40 through 89 of this report.

Other Information

In addition to the basic financial statements, this report also includes certain required supplementary information related to budgetary information and the City's progress in funding its obligation to provide pension benefits to its employees. Required non-major fund information can be found following the required supplementary information.

Required supplementary information may be found on pages 90 through 100 of this report. The combining statements referred to earlier in connection with non-major governmental funds are presented immediately following the required supplementary information on pensions. Combining and individual fund statements and schedules may be found on pages 101 through 139 of this report.

GOVERNMENT-WIDE FINANCIAL ANALYSIS

Statement of Net Position

The following chart reflects the condensed Statement of Net Position (in millions):

	Governmental Activities		Business-Type Activities		Total Primary Government	
	2019	2018	2019	2018	2019	2018
Assets:						
Current Assets	\$ 16.9	\$ 16.3	\$ 4.8	\$ 4.3	\$ 21.7	\$ 20.6
Capital Assets	96.6	96.3	69.3	70.3	165.9	166.6
Other Assets	-	-	11.1	11.1	11.1	11.1
Total Assets	113.5	112.6	85.2	85.7	198.7	198.2
Deferred Outflows	3.2	2.1	0.3	0.2	3.6	2.3
Total Assets/Deferred Outflows	116.8	114.7	85.5	85.9	202.3	200.6
Liabilities:						
Current Liabilities	4.7	5.2	3.5	3.2	8.2	8.4
Long-term Liabilities	26.6	24.6	17.7	20.3	44.3	44.9
Total Liabilities	31.3	29.8	21.1	23.5	52.4	53.3
Deferred Inflows	7.2	8.0	0.0	0.2	7.3	8.3
Total Liabilities/Deferred Inflows	38.5	37.8	21.2	23.7	59.7	61.5
Net Position:						
Net Investment in Capital Assets	83.8	83.2	58.1	57.3	141.9	140.4
Restricted	1.7	2.0	-	-	1.7	2.0
Unrestricted	(7.3)	(8.3)	6.2	4.9	(1.1)	(3.4)
Total Net Position	\$ 78.2	\$ 76.9	\$ 64.3	\$ 62.1	\$ 142.6	\$ 139.0

* The City implemented GASB Statement Number 75 in Fiscal Year 2019. The 2018 balances are presented as shown in the FY 2018 CAFR.

Beginning net position was restated in the current fiscal year, due to changes in accounting principles resulting from the implementation of GASB Statement Number 75 (Accounting & Financial Reporting for Post-Employment Benefits other than Pensions). Aggregate net position was reduced by \$1,077,271, from \$139.0 million to \$137.9 million, as the City is now required to quantify and report the implicit subsidy of providing retirees with health insurance on the face of the financial statements. The City's combined net position increased by \$4.6 million in fiscal year 2019, from \$137.9 million to \$142.6 million. The increase in the net position of governmental activities was due to better than expected operating results, an increase in deferred outflows and a reduction in current liabilities. Deferred outflows increased by \$1.1 million, primarily due to market fluctuations impacting the Illinois Municipal Retirement Fund (IMRF). Current liabilities decreased by \$0.5 million, as proceeds from several pre-funded capital projects were utilized in the current fiscal year. Restricted net position for governmental activities decreased by \$0.3 million, as the City continues to draw down on accumulated property tax proceeds to fund the employer contributions related to IMRF. The enhanced net position of business-type activities was due mainly to the continued amortization of long-term debt applicable to the Water and Sewer Funds.

The largest portion of the United City of Yorkville's net position, totaling \$141,898,470, reflects its investment in capital assets (e.g., land, infrastructure, buildings, machinery and equipment), less any related debt used to acquire or construct those assets that are still outstanding. The City uses its capital assets to provide services to citizens; consequently, these assets are not available for future spending. Although the United City of Yorkville's investment in its capital assets is reported net of related debt, it should be noted that the resources needed to repay this debt must be provided from other sources, since the capital assets themselves cannot be used to liquidate these liabilities. The final component of the United City of Yorkville's net position, or 1.2%, represents resources that are subject to external restrictions on how they

may be used. At fiscal year end, total restricted net position was comprised as follows: 26.3% is for future IMRF expenses; 36.6% is for library operations; 36.5% is for future road maintenance and improvement projects relating to the City's motor fuel tax (MFT) program; and 0.6% is restricted for special service area use.

As of April 30, 2019, the City was able to report positive balances the three categories of net position for its business-type activities. Unrestricted net position for governmental and business-type activities increased by \$0.98 million and \$1.35 million, respectively. The primary reason for this increase is attributable to positive operational results, as both governmental activities and business-type activities increased net position by approximately \$2.3 million.

Additional information on the Statement of Net Position may be found on pages 24 and 25 of this report.

Activities

The following table reflects the revenue and expenses of the City's governmental and business-type activities (in millions).

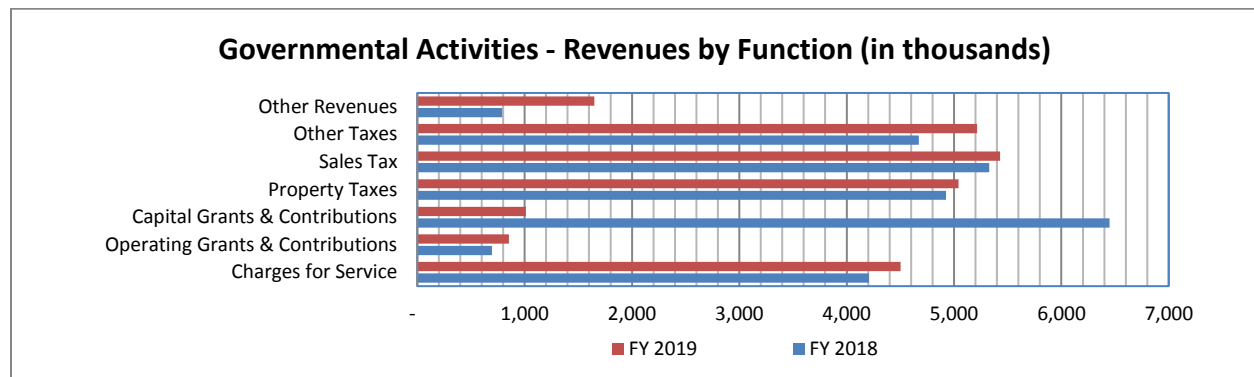
	Governmental Activities		Business-Type Activities		Total Primary Government	
	2019	2018	2019	2018	2019	2018
Revenues						
Program Revenues:						
Charges for Services	\$ 4.5	\$ 4.2	\$ 6.1	\$ 6.3	\$ 10.6	\$ 10.6
Operating Grants & Contributions	0.9	0.7	-	-	0.9	0.7
Capital Grants & Contributions	1.0	6.4	-	3.9	1.0	10.4
General Revenues:						
Property Taxes	5.0	4.9	-	-	5.0	4.9
Other Taxes	10.6	10.0	-	-	10.6	10.0
Other Revenue	1.6	0.8	0.1	0.1	1.8	0.9
Total Revenues	\$ 23.7	\$ 27.1	\$ 6.2	\$ 10.4	\$ 29.9	\$ 37.5
Expenses						
General Government	5.0	4.0	-	-	5.0	4.0
Public Safety	6.0	5.7	-	-	6.0	5.7
Community Development	0.9	0.6	-	-	0.9	0.6
Public Works	4.1	6.2	-	-	4.1	6.2
Library	1.0	0.9	-	-	1.0	0.9
Parks & Recreation	3.0	2.4	-	-	3.0	2.4
Interest Long-Term Debt	0.5	0.5	-	-	0.5	0.5
Water	-	-	3.3	3.3	3.3	3.3
Sewer	-	-	1.6	1.8	1.6	1.8
Total Expenses	\$ 20.5	\$ 20.4	\$ 4.8	\$ 5.1	\$ 25.3	\$ 25.5
Excess(Deficiency) before Transfers	\$ 3.2	\$ 6.6	\$ 1.4	\$ 5.3	\$ 4.6	\$ 11.9
Transfers	(0.9)	(0.2)	0.9	0.2	-	-
Change in Net Position	\$ 2.3	\$ 6.4	\$ 2.3	\$ 5.5	\$ 4.6	\$ 11.9
Net Position, Beginning as Restated	\$ 75.9	\$ 70.4	\$ 62.0	\$ 56.6	\$ 137.9	\$ 127.1
Net Position, Ending	\$ 78.2	\$ 76.9	\$ 64.3	\$ 62.1	\$ 142.6	\$ 139.0

* The City implemented GASB Statement Number 75 in Fiscal Year 2019. The 2018 balances are presented as shown in the FY 2018 CAFR.

Additional information on the Statement of Net Position may be found on pages 24 and 25 of this report.

Governmental Activities

Revenues



Total governmental activities revenue for the current fiscal year was \$23,703,064, compared to \$27,066,653 in the previous fiscal year, a decrease of 12.4%.

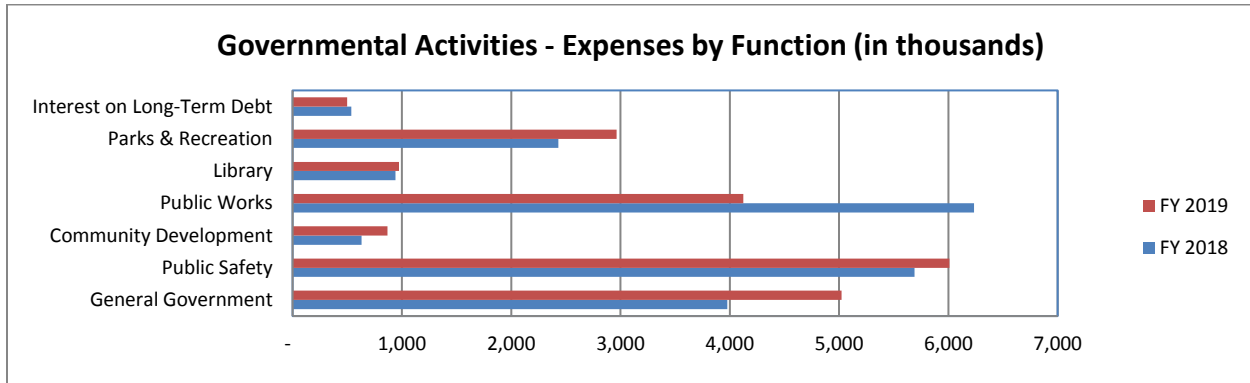
Property taxes, one of the City's principal revenue sources (21.3% of aggregate revenues), totaled \$5.0 million in fiscal year 2019. Property taxes support various governmental activities, including the City's annual contribution to the Yorkville Police Pension Fund. The City contributed \$963,361 to the Police Pension Fund in the current fiscal year, fully funding its actuarially determined contribution amount pursuant to its pension funding policy. Total property tax revenues increased by 2.4%, as the Library increased its levy for operations and debt service. The City increased its requested levy as well, but only by the increment generated solely from new construction; which resulted in additional proceeds of approximately \$60,000.

The City received sales taxes in the amount of \$5.4 million in fiscal year 2019, which is a 1.9% increase over the prior year. The "other taxes" classification includes several revenue sources, including income, excise, utility, business district, video gaming and state use taxes. The other taxes classification increased by 11.6% in the current fiscal year, as aggregate income and local use tax receipts exceeded prior year amounts by roughly \$430,000. Income tax increased by \$326,408 over fiscal year 2018 amounts, due to a strengthening of the aggregate economy and the results of the 2017 special census, which enhanced Yorkville's per capita share of intergovernmental revenues. Local use tax posted year-over-years gains of over 20%, due to the continued prevalence of online purchases; which were recently augmented by the United States Supreme Court's decision in *South Dakota v. Wayfair* in the Summer of 2018. Excise taxes continued to decline, albeit nominally, decreasing by 1.5% in the current fiscal year. However, this decrease was more than offset by natural gas tax proceeds, which posted annualized gains of 10.3% stemming from the frigid temperatures experienced in early 2019; and video gaming taxes, which increased 21.7% over the prior year.

Charges for service revenues increased by 7.1% in the current fiscal year, as building permit revenues continued to be robust; exceeding prior year amounts by almost \$180,000. The "other revenues" classification consisted of various reimbursements related to capital projects and contractual expenses. Other revenues more than doubled in fiscal year 2019, as more capital projects were eligible for reimbursement from outside sources.

Capital grant and contribution revenue decreased significantly (\$5.4 million) in comparison to fiscal year 2018 amounts, as the City accepted no material capital contributions from developers in the current fiscal year.

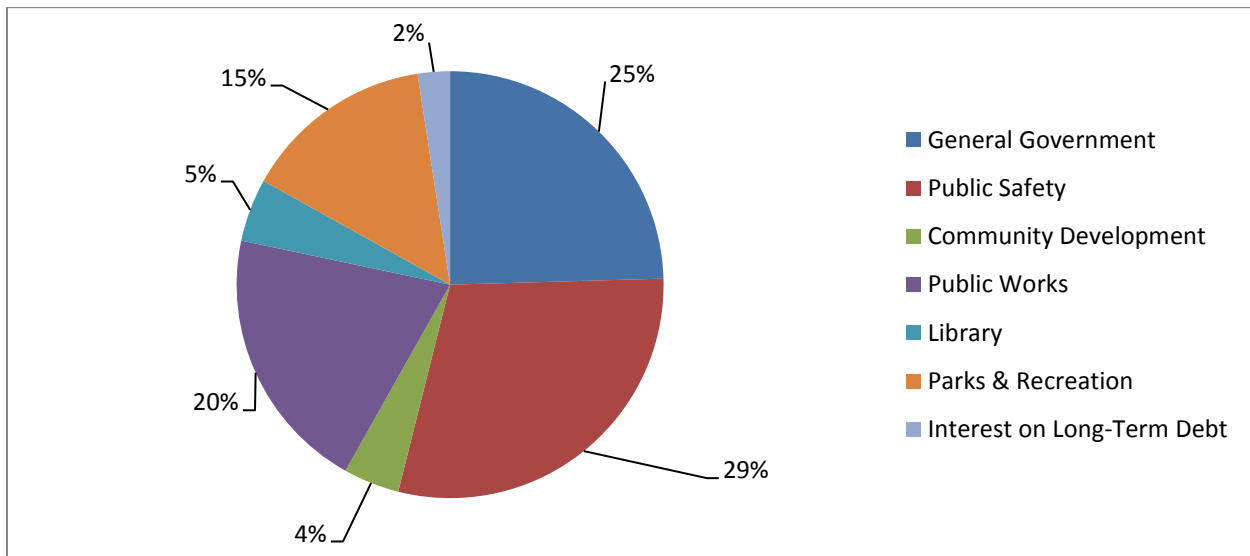
Expenses



Total expenses amounted to \$20,463,922 for governmental activities in fiscal year 2019. This reflects a nominal increase of 0.1% from the prior year. The public safety and general government functions comprised the greatest proportion of governmental activities expenses, accounting for a combined 53.9% of the total. Other primary functional areas include public works and parks and recreation, which account for 20.2% and 14.5%, respectively, of total governmental activities expense.

Public works expenses totaled \$4.1 million in fiscal year 2019, which is a 33.9% decrease over fiscal year 2018 amounts. This sharp decrease is attributable to fewer capital asset acceptances in the current fiscal year. Public safety expenses increased by 5.6%, due to several retirement payouts, equipment purchases and increased pension expense. General government expenses increased by 26.3%, as last year's amounts were skewed a bit, due to the acquisition of several large capital assets. Community development expenses increased 38.0%, due to the hiring of a full-time property maintenance inspector and an increase in inspection related contractual services. Parks and Recreation expenses were up 21.8%, due to fewer capital asset acquisitions. Interest on long-term debt declined by 6.7%, as the City continues to pay down debt related to governmental activities.

The following pie chart shows the breakdown of governmental activities expenses by function.



Business-Type Activities

Business-type activities increased the City's net position by \$2,298,374. For the current fiscal year, 98% of all business-type activity revenue was generated from fees for services relating to the City's water and sewer utilities. Charges for services totaled \$6.1 million in fiscal year 2019, which represents a decrease of approximately \$235,000 (3.7%) in comparison to the prior year. This decrease in charge for service revenue was the result of fewer connection fees in the current fiscal year, following the discontinuation of the City's stimulus incentive for the building of single-family homes, known locally as the BUILD Program.

There was no capital grant and contribution revenue for business-type activities in fiscal year 2019, as no capitalizable water and sewer related infrastructure assets were accepted from developers. "Other revenues", which are comprised of rental income, reimbursements, proceeds from capital asset sales, interest income and miscellaneous items; increased by \$15,766, due to several unanticipated reimbursements from insurance claims. Net transfers totaled a positive \$921,615, which was used to fund debt service payments.

FINANCIAL ANALYSIS OF THE GOVERNMENT'S FUNDS

Governmental Funds - The focus of the United City of Yorkville's governmental funds is to provide information on near-term inflows, outflows, and balances of spendable resources. Such information is useful in assessing the United City of Yorkville's financing requirements. In particular, unassigned fund balance may serve as a useful measure of a government's net resources available for spending at the end of the fiscal year.

At the end of the current fiscal year, the United City of Yorkville's governmental funds reported combined ending fund balances of \$8,481,099, an increase of \$931,463 over last year's totals. The majority of fund balance for the governmental funds is identified between the restricted, assigned and unassigned categories. Restricted fund balance, which accounts for 20.5% of total fund balance, includes amounts restricted for IMRF, library operations, special service areas, and the City's motor fuel tax program. The bulk of unassigned fund balance, which accounts for 59.8% of total governmental fund balance, is in the General Fund (\$6.3 million). Remaining fund balance for the governmental funds is allocated as follows: \$104,010 (1.2%) is nonspendable (i.e. prepaids); \$435,216 (5.1%) is committed for parks and recreation activities; and \$1,125,471 (13.3%) is assigned for various capital projects, vehicles and equipment.

The Library Fund reported a positive fund balance of \$637,531 at the end of fiscal year 2019, which represents an increase of \$68,733 in comparison to last year's fund balance amount of \$568,798. Property taxes used to finance library operations, which account for 41.0% of total library operational revenues, increased by \$25,040 (3.4%). The Library continued with the practice of levying property taxes separately from the City in 2017, thus pegging the growth of its levy to inflation, instead of equalized assessed valuation (EAV). Library development fees continued to remain strong in the current fiscal year, eclipsing last year's post-recession high of \$100,484, to finish at \$103,100. Aggregate operational expenditures increased by \$64,735 (4.3%), as a result of increased spending on books, computer equipment and the hiring of a full-time youth services director. However, these costs were largely offset by a reduction in maintenance related expenditures and a decrease in the hours worked by part-time staff.

The Parks and Recreation Fund reported a nominal deficit in the amount of \$20,938 in the current fiscal year, thus decreasing fund balance from \$473,852 to \$452,914. Charge for service revenues related to athletics and fitness increased substantially (70.0%), due to the addition of a new in-house youth baseball and softball program. Moreover, the Fund received grant proceeds in the amount of \$81,815, as a reimbursement for expenditures incurred in a prior fiscal year related to the installation of a playground at Riverfront Park. Operational expenditures in the Parks and Recreation Fund increased by 11.2%; due to increased costs associated with recreational program expansion, park maintenance and the continued funding of vehicles and other capital related items.

The Citywide Capital Fund ended fiscal year 2019 with a surplus of \$240,532, which increased fund balance from \$388,897 to \$629,429. Revenues exceed budgeted amounts by \$355,495, attributable to better than expected road contribution fee revenues and a partial reimbursement from Kendall County for expenditures incurred in the construction of a bike path on Kennedy Road. Expenditures in the Citywide Capital Fund totaled just over \$2.5 million in the current fiscal year, which was \$335,696 under budget; as the result of several capital projects being carried over to the subsequent fiscal year and the deferral of a facility plan study of City owned buildings. In addition, several other projects were completed in the current fiscal year including: an updated road study, which serves as the basis for the City's annual road program; the installation of two new HVAC units at the Beecher Community Center; and the completion of traffic signal installation at the intersection of Illinois Route 47 and Wrigley Way.

GENERAL FUND BUDGETARY HIGHLIGHTS

The chart below compares the fiscal year 2019 final budget to the actual results of the City's General Fund.

Fiscal Year 2019 General Fund Budgetary Highlights

	<u>Final Budget</u>	<u>Actual</u>	<u>Over(Under)</u>	<u>Actual as % of Budget</u>
Revenues				
Taxes	\$ 11,014,213	\$ 11,232,397	\$ 218,184	102%
Intergovernmental	2,512,487	2,725,393	212,906	108%
Licenses, Permits & Fees	336,000	552,416	216,416	164%
Charges for Services	1,535,112	1,598,662	63,550	104%
Fines & Forfeitures	130,400	100,726	(29,674)	77%
Interest	20,000	90,327	70,327	452%
Miscellaneous	76,750	92,491	15,741	121%
Total Revenues	\$ 15,624,962	\$ 16,392,412	\$ 767,450	105%
Expenditures				
General Government	\$ 4,782,868	\$ 4,700,475	\$ (82,393)	98%
Public Safety	5,645,116	5,351,136	(293,980)	95%
Community Development	829,646	869,044	39,398	105%
Public Works	2,093,255	2,077,940	(15,315)	99%
Total Expenditures	\$ 13,350,885	\$ 12,998,595	\$ (352,290)	97%
Excess of Revenues over Expenditures	\$ 2,274,077	\$ 3,393,817	\$ 1,119,740	149%
Other Financing Sources(Uses)	\$ (3,037,911)	(3,010,367)	(27,544)	99%
Net Change in Fund Balance	<u>\$ (763,834)</u>	<u>\$ 383,450</u>		
Fund Balance - Beginning of Year		<u>6,496,373</u>		
Fund Balance - End of Year		<u><u>\$ 6,879,823</u></u>		

The General Fund is the City's primary operating fund and the largest source of funding for the day-to-day activities of its various departments. Actual revenues exceed budgetary amounts by \$767,450, as tax, intergovernmental, licenses & permits, miscellaneous and charges for service revenues proved to be more robust than initially anticipated. Interest income exceeded budgetary amounts as well, due to more cash reserves being available for investment and a gradually rising interest rate environment. Actual General Fund expenditures for the year were \$352,290 lower than budgeted (\$12,998,595 actual compared to \$13,350,885 budgeted). All departments within the General Fund, with the exception of Health & Sanitation and Community Development, were under their respective appropriated budgets for the fiscal year ended 2019. Due to contractual changes to the refuse contract, the Health & Sanitation Department exceeded budgetary amounts by approximately \$30,000; however, this was more than offset by garbage surcharge revenues, which resulted in a net operating surplus of \$26,483. The Community Development

Department surpassed appropriated amounts by \$39,398, due to increasing outsourced inspection costs, as a direct result of increased building and development activity. Aggregate building permits totaled \$477,701 in the current fiscal year, of which \$476,202 was retained in the General Fund to cover inspection related personnel and operating costs within the Community Development Department. Remaining building permit proceeds were allocated to the Citywide Capital Fund, to assist in the facilitation of future capital projects.

As shown in the table on the previous page, current year operating results generated a surplus amount of \$383,450, which increased overall fund balance from \$6,496,373 at the beginning of the year, to \$6,879,823 at the end of fiscal year 2019. The surplus at the end of the fiscal year was primarily attributable to enhanced revenues, particularly related to the tax, intergovernmental, permit and investment earning categories; and lower than anticipated personnel costs, resulting from retirements and resignations. Ending fund balance for the General Fund was allocated as follows: \$85,744 is nonspendable (i.e. prepaids); \$458,685 is restricted for expenditures relating to IMRF in future fiscal periods; and \$6,335,394 is unassigned. At fiscal year end, unassigned fund balance as a percentage of total expenditures equated to 48.7%, which is the equivalent of approximately five to six months of operating reserves.

Proprietary Funds - The United City of Yorkville's proprietary funds provide the same type of information found in the government-wide financial statements, but in greater detail. The net position of the City's proprietary funds at the end of the year totaled \$64,334,178, allocated between the Water and Sewer Funds in the amounts of \$31,419,231 and \$32,914,947, respectively. Lower than expected operational expenses, in conjunction with capital outlay deferrals to the subsequent fiscal year, accounted for the bulk of the increase.

CAPITAL ASSET AND DEBT ADMINISTRATION

Capital Assets – The United City of Yorkville's investment in capital assets for its governmental and business-type activities as of April 30, 2019 totaled \$165,919,667 (net of accumulated depreciation). Investments in capital assets include land, land improvements, construction in progress (CIP), infrastructure (roadway improvements, sanitary sewer lines, storm sewers and water lines), buildings, equipment and vehicles. The following tables summarize the changes in the City's capital assets for governmental and business-type activities.

Change in Capital Assets – Governmental Activities (in millions)

	Balance May 1, 2018	Net Additions/ (Deletions)	Balance April 30, 2019
Non-Depreciable Assets:			
Land and Construction in Progress	\$ 34.0	\$ 0.9	\$ 34.8
Depreciable Capital Assets:			
Infrastructure	69.1	0.5	69.6
Buildings	15.5	-	15.5
Equipment	7.1	1.7	8.8
Vehicles	2.7	0.2	2.9
Accumulated Depreciation on Capital Assets	(32.1)	(2.8)	(35.0)
Total Capital Assets, Net	\$ 96.3	\$ 0.4	\$ 96.6

Total net capital assets for the City's governmental activities increased in fiscal year 2019 by \$382,638, due primarily to infrastructure assets under construction and park related equipment additions. During the fiscal year depreciation expense totaling \$2,862,451 was charged to the following functions: General Government (\$88,698), Public Safety (\$166,589), Public Works (\$2,023,774), Library (\$182,713) and Parks and Recreation (\$400,677).

Change in Capital Assets – Business-Type Activities (in millions)

	Balance May 1, 2018	Additions/ Deletions	Balance April 30, 2019
Non-Depreciable Assets:			
Land and Construction in Progress	\$ 3.1	\$ 0.2	\$ 3.3
Depreciable Capital Assets:			
Infrastructure	65.6	0.5	66.0
Equipment	18.9	(0.1)	18.8
Vehicles	0.4	0.0	0.5
Accumulated Depreciation on Capital Assets	(17.7)	(1.6)	(19.4)
Total Capital Assets, Net	\$ 70.3	\$ (1.1)	\$ 69.3

Net capital assets decreased by \$1,054,153, as current fiscal year depreciation expense exceeded the value of capital asset additions for Business-Type Activities. City completed infrastructure additions for the year totaled \$451,525; comprised of water main replacements in the Fox Highlands subdivision (\$310,979) and sanitary sewer improvements done in conjunction with the City's 2018 lining program (\$140,546).

During the fiscal year depreciation expense of \$1,036,353 and \$701,172 was charged to the Water and Sewer Fund functional expense categories, respectively.

For more detailed information, related to capital assets, see Note 3 to the financial statements, beginning on page 57.

Debt Administration

As of April 30, 2019, the United City of Yorkville had total debt outstanding of \$33,322,033, comprised of general obligation and alternative revenue source bonds, debt certificates, developer commitments and loans payable. This amount is partially comprised of nine alternative revenue bonds which pledge income, sales, incremental property taxes, and water/sewer revenues. In addition, these bonds can be reverted to the property tax rolls should the alternative revenue source prove to be inadequate.

	Governmental Activities	Business-Type Activities	Total
General Obligation & Alternative Revenue Source Bonds	\$ 11,967,952	\$ 16,503,368	\$ 28,471,320
Debt Certificates	-	580,000	580,000
Developer Commitments	-	2,194,902	2,194,902
Loans Payable	1,172,740	903,071	2,075,811
	\$ 13,140,692	\$ 20,181,341	\$ 33,322,033

The City's general obligation debt is rated AA by Standard & Poor's Ratings Services and Fitch Ratings. State statutes limit the amount of general obligation debt a non-home rule governmental entity may issue to 8.625 percent of its total assessed valuation. The current debt limit for the City is \$44,789,927. The amount of debt applicable to that limit is \$5,000,000. For more detailed information related to long-term debt, see Note 3 to the financial statements, beginning on page 60.

ECONOMIC FACTORS AND NEXT YEAR'S BUDGET

Fiscal year 2019 saw the General Fund continue to build up its reserves, as overall fund balance reached \$6.88 million, eclipsing its previous high point of \$6.49 million in the year prior. The City's sales tax base remains stable, as both municipal and non-home rule sales tax proceeds exceeded prior year amounts by 2.3% and 1.4%, respectively. Other major revenues have proved resilient as well, as aggregate tax, intergovernmental, permits, charges for service revenues and investment earnings surpassed budgetary and prior year amounts. Thus, based on the overall operating results of fiscal year 2019, it would appear that the local economy continues to improve and that development in Yorkville continues to carry on in a positive manner, as the City remains committed to developing economic incentives and other measures to attract and retain businesses.

After a 6.1% increase last year, property values (i.e. assessed valuation) in the City are currently estimated to increase an additional 8.0% in 2019; which is a positive indicator that the local housing market continues to strengthen. Despite the increases in EAV over the last several years, the City remains mindful of its impact on local taxpayers when developing its annual property tax levy. For the 2018 levy year, the City Council once again continued its past practice of only increasing the levy by the incremental property tax proceeds generated from new construction. This resulted in the City foregoing the inflationary increment of levy, valued at approximately \$65,000.

As the City moved forward into the subsequent fiscal year, management continued its practice of conservatively projecting revenues, while looking for ways to reduce expenditures, in order to maintain adequate fund balances and cash reserves. In addition, management continues to monitor the fiscal activities of the State of Illinois, in order to ascertain the impact, if any, of how additional State budget cuts would impact the local share of State revenues. Notwithstanding reductions to municipalities share of income taxes over the last several years, recently there have been new developments at the State-level which should have a positive impact on local governments across Illinois. In June of 2019, the Motor Fuel Law was amended to impose an additional tax of 19 cents per gallon on motor fuel. A portion of this increase will be allocated to municipalities in the form of a supplemental motor fuel tax allotment on a monthly basis; thus providing additional funds for roadway maintenance and improvements. The State has also initiated a new capital plan, called Rebuild Illinois, with approximately \$736.5 million earmarked to local governments for the purposes of financing additional roadway improvements. In addition, the new "21st Century" Sales Tax law, which will allow municipalities to collect locally imposed sales tax on purchases made over the internet, should have a positive impact on the City's General Fund; although the exact extent of this impact remains to be seen.

Looking ahead into fiscal year 2020, the General Fund is currently budgeted to spend down a minimal percentage of its fund balance, although reserves are expected to remain above minimum City Council prescribed thresholds. Capital related projects for the upcoming fiscal year include: the reconstruction of Mill Road at an estimated net cost of \$570,000; continuation of the annual "Road to Better Roads" program, with approximately \$1.4 million budgeted for water, sanitary sewer, storm sewer and roadway improvements; a new fueling tank and station; streambank stabilization on Pavilion Road; the construction of a new materials storage facility; water infrastructure improvements on East Orange Street; continued work on Route 71 water main relocations; US Route 34 roadway improvements; the rehabilitation of Well #7; and the implementation of a new standby generator at Well #7/water treatment plant.

REQUESTS FOR INFORMATION

This financial report is designed to provide our citizens, customers, investors and creditors with a general overview of the City's finances. Questions concerning this report or requests for additional financial information should be directed to Rob Fredrickson, Director of Finance, United City of Yorkville, 800 Game Farm Road, Yorkville, Illinois.

BASIC FINANCIAL STATEMENTS

The basic financial Statements include integrated sets of financial statements as required by the GASB. The sets of statements include:

- Government-Wide Financial Statements
- Fund Financial Statements

Governmental Funds

Proprietary Funds

Fiduciary Funds

In addition, the notes to the financial statements are included to provide information that is essential to a user's understanding of the basic financial statements.

UNITED CITY OF YORKVILLE, ILLINOIS

Statement of Net Position

April 30, 2019

See Following Page

UNITED CITY OF YORKVILLE, ILLINOIS

Statement of Net Position April 30, 2019

	Governmental Activities	Business- Type Activities	Totals
ASSETS			
Current Assets			
Cash and Investments	\$ 8,192,405	3,752,418	11,944,823
Receivables - Net	8,599,102	1,029,953	9,629,055
Prepays	104,010	14,085	118,095
Due from Other Governments	918	-	918
Total Current Assets	16,896,435	4,796,456	21,692,891
Noncurrent Assets			
Capital Assets			
Nondepreciable Capital Assets	34,833,659	3,330,527	38,164,186
Depreciable Capital Assets	96,779,922	85,329,330	182,109,252
Accumulated Depreciation	(34,973,884)	(19,379,887)	(54,353,771)
Total Capital Assets	96,639,697	69,279,970	165,919,667
Other Assets			
Assets Held for Others	-	11,091,000	11,091,000
Total Noncurrent Assets	96,639,697	80,370,970	177,010,667
Total Assets	113,536,132	85,167,426	198,703,558
DEFERRED OUTFLOWS OF RESOURCES			
Deferred Items - IMRF	1,458,895	281,492	1,740,387
Deferred Items - RBP	10,306	1,124	11,430
Deferred Items - Police Pension	1,627,087	-	1,627,087
Unamortized Loss on Refunding	127,323	49,850	177,173
Total Deferred Outflows of Resources	3,223,611	332,466	3,556,077
Total Assets and Deferred Outflows of Resources	116,759,743	85,499,892	202,259,635

The notes to the financial statements are an integral part of this statement.

	Governmental Activities	Business- Type Activities	Totals
LIABILITIES			
Current Liabilities			
Accounts Payable	\$ 1,288,805	116,877	1,405,682
Retainage Payable	47,649	-	47,649
Deposits Payable	584,507	5,000	589,507
Accrued Payroll	330,002	26,432	356,434
Accrued Interest Payable	178,878	238,368	417,246
Other Payables	686,215	4,871	691,086
Current Portion of Long-Term Debt	1,585,185	3,061,900	4,647,085
Total Current Liabilities	4,701,241	3,453,448	8,154,689
Noncurrent Liabilities			
Compensated Absences Payable	447,511	56,682	504,193
Net Pension Liability - IMRF	1,835,481	354,155	2,189,636
Net Pension Liability - Police Pension	11,698,805	-	11,698,805
Total OPEB Liability - RBP	947,308	103,366	1,050,674
Notes Payable	922,060	-	922,060
IEPA Loans Payable	-	745,816	745,816
General Obligation Bonds Payable - Net	10,743,435	13,772,885	24,516,320
Debt Certificates Payable	-	445,000	445,000
Other Liabilities	1,890	2,194,902	2,196,792
Total Noncurrent Liabilities	26,596,490	17,672,806	44,269,296
Total Liabilities	31,297,731	21,126,254	52,423,985
DEFERRED INFLOWS OF RESOURCES			
Property and State Taxes	5,478,158	-	5,478,158
Deferred Items - IMRF	204,511	39,460	243,971
Deferred Items - Police Pension	1,555,206	-	1,555,206
Total Deferred Inflows of Resources	7,237,875	39,460	7,277,335
Total Liabilities and Deferred Inflows of Resources	38,535,606	21,165,714	59,701,320
NET POSITION			
Net Investment in Capital Assets	83,800,089	58,098,381	141,898,470
Restricted			
IMRF	458,685	-	458,685
Library Operations	636,963	-	636,963
Motor Fuel Tax	635,382	-	635,382
Special Service Areas	10,485	-	10,485
Unrestricted	(7,317,467)	6,235,797	(1,081,670)
Total Net Position	78,224,137	64,334,178	142,558,315

The notes to the financial statements are an integral part of this statement.

UNITED CITY OF YORKVILLE, ILLINOIS

Statement of Activities

For the Fiscal Year Ended April 30, 2019

	Expenses	Program Revenues		
		Charges for Services	Operating Grants/ Contributions	Capital Grants/ Contributions
Governmental Activities				
General Government	\$ 5,023,227	3,798,007	-	32,878
Library	974,154	125,800	30,564	-
Parks and Recreation	2,963,434	579,155	258,083	702,474
Public Safety	6,008,959	-	-	-
Community Development	869,044	-	-	-
Public Works	4,124,935	-	566,015	276,066
Interest on Long-Term Debt	500,169	-	-	-
Total Governmental Activities	20,463,922	4,502,962	854,662	1,011,418
Business-Type Activities				
Sewer	1,589,599	1,552,159	-	-
Water	3,256,582	4,557,352	-	-
Total Business-Type Activities	4,846,181	6,109,511	-	-
	25,310,103	10,612,473	854,662	1,011,418

General Revenues

Taxes

Property Taxes

Utility Taxes

Business District Taxes

Admissions and

Amusement Taxes

Video Gaming Taxes

Other Taxes

Intergovernmental - Unrestricted

Sales Taxes

Income Taxes

State Use Taxes

Interest Income

Miscellaneous

Transfers - Internal Activity

Change in Net Position

Net Position - Beginning as Restated

Net Position - Ending

The notes to the financial statements are an integral part of this statement.

Net (Expenses)/Revenues		
Primary Government		
Governmental Activities	Business Type Activities	Totals
(1,192,342)	-	(1,192,342)
(817,790)	-	(817,790)
(1,423,722)	-	(1,423,722)
(6,008,959)	-	(6,008,959)
(869,044)	-	(869,044)
(3,282,854)	-	(3,282,854)
(500,169)	-	(500,169)
(14,094,880)	-	(14,094,880)
-	(37,440)	(37,440)
-	1,300,770	1,300,770
-	1,263,330	1,263,330
(14,094,880)	1,263,330	(12,831,550)
5,041,762	-	5,041,762
1,647,511	-	1,647,511
410,385	-	410,385
356,448	-	356,448
145,734	-	145,734
109,607	-	109,607
5,429,231	-	5,429,231
1,966,699	-	1,966,699
578,328	-	578,328
154,071	28,777	182,848
1,494,246	84,652	1,578,898
(921,615)	921,615	-
16,412,407	1,035,044	17,447,451
2,317,527	2,298,374	4,615,901
75,906,610	62,035,804	137,942,414
78,224,137	64,334,178	142,558,315

The notes to the financial statements are an integral part of this statement.

UNITED CITY OF YORKVILLE, ILLINOIS

Balance Sheet - Governmental Funds

April 30, 2019

	<u>General</u>
ASSETS	
Cash and Investments	\$ 5,237,103
Receivables - Net of Allowances	
Property Taxes	3,241,648
Accounts	259,027
Other Taxes	2,538,738
Due from Other Governments	918
Due from Other Funds	1,373,650
Prepays	<u>85,744</u>
Total Assets	<u><u>12,736,828</u></u>
LIABILITIES	
Accounts Payable	991,513
Retainage Payable	-
Deposit Payable	578,068
Accrued Payroll	250,625
Due to Other Funds	-
Other Payables	<u>60,448</u>
Total Liabilities	<u>1,880,654</u>
DEFERRED INFLOWS OF RESOURCES	
Property and State Taxes	<u>3,976,351</u>
Total Liabilities and Deferred Inflows of Resources	<u><u>5,857,005</u></u>
FUND BALANCES	
Nonspendable	85,744
Restricted	458,685
Committed	-
Assigned	-
Unassigned	<u>6,335,394</u>
Total Fund Balances	<u><u>6,879,823</u></u>
Total Liabilities, Deferred Inflows of Resources and Fund Balances	<u><u><u>12,736,828</u></u></u>

The notes to the financial statements are an integral part of this statement.

Special Revenue		Capital Projects		
Library	Parks and Recreation	Citywide Capital	Nonmajor	Totals
756,969	125,894	938,865	1,133,574	8,192,405
1,501,807	-	-	-	4,743,455
2,156	84,882	207,517	719,763	1,273,345
1,460	-	-	42,104	2,582,302
-	-	-	-	918
-	506,373	-	-	1,880,023
568	17,698	-	-	104,010
2,262,960	734,847	1,146,382	1,895,441	18,776,458
26,286	127,470	17,520	126,016	1,288,805
-	-	47,649	-	47,649
-	6,439	-	-	584,507
22,349	57,028	-	-	330,002
-	-	-	1,880,023	1,880,023
74,987	90,996	451,784	8,000	686,215
123,622	281,933	516,953	2,014,039	4,817,201
1,501,807	-	-	-	5,478,158
1,625,429	281,933	516,953	2,014,039	10,295,359
568	17,698	-	-	104,010
636,963	-	-	645,867	1,741,515
-	435,216	-	-	435,216
-	-	629,429	496,042	1,125,471
-	-	-	(1,260,507)	5,074,887
637,531	452,914	629,429	(118,598)	8,481,099
2,262,960	734,847	1,146,382	1,895,441	18,776,458

The notes to the financial statements are an integral part of this statement.

UNITED CITY OF YORKVILLE, ILLINOIS

Reconciliation of Total Governmental Fund Balance to Net Position of Governmental Activities

April 30, 2019

Total Governmental Fund Balances	\$ 8,481,099
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Amounts reported for governmental activities in the Statement of Net Position
are different because:

Capital assets used in governmental activities are not financial resources and therefore, are not reported in the funds.	96,639,697
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Deferred outflows (inflows) of resources related to the pensions not reported in the funds.	
Deferred Items - IMRF	1,254,384
Deferred Items - Police Pension	71,881
Deferred Items - RBP	10,306

Long-term liabilities are not due and payable in the current period and, therefore, are not reported in the funds.	
Accrued Interest Payable	(178,878)
Compensated Absences Payable	(559,389)
Net Pension Liability - IMRF	(1,835,481)
Net Pension Liability - Police Pension	(11,698,805)
Total OPEB Liability - RBP	(947,308)
Notes Payable	(1,170,850)
General Obligation Bonds Payable	(11,967,952)
Unamortized Loss on Refunding	127,323
Other Obligations Payable	<u>(1,890)</u>

Net Position of Governmental Activities	<u><u>78,224,137</u></u>
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The notes to the financial statements are an integral part of this statement.

UNITED CITY OF YORKVILLE, ILLINOIS

**Statement of Revenues, Expenditures and Changes in Fund Balances - Governmental Funds
For the Fiscal Year Ended April 30, 2019**

See Following Page

UNITED CITY OF YORKVILLE, ILLINOIS

Statement of Revenues, Expenditures and Changes in Fund Balances - Governmental Funds For the Fiscal Year Ended April 30, 2019

	<u>General</u>
Revenues	
Taxes	\$ 11,232,397
Intergovernmental	2,725,393
Licenses, Permits and Fees	552,416
Charges for Services	1,598,662
Fines and Forfeits	100,726
Grants and Donations	-
Interest	90,327
Miscellaneous	92,491
Total Revenues	<u>16,392,412</u>
Expenditures	
Current	
General Government	4,700,475
Library	-
Parks and Recreation	-
Public Safety	5,351,136
Community Development	869,044
Public Works	2,077,940
Capital Outlay	-
Debt Service	
Principal Retirement	-
Interest and Fiscal Charges	-
Total Expenditures	<u>12,998,595</u>
Excess (Deficiency) of Revenues Over (Under) Expenditures	<u>3,393,817</u>
Other Financing Sources (Uses)	
Transfers In	29,917
Transfers Out	(3,040,284)
	<u>(3,010,367)</u>
Net Change in Fund Balances	383,450
Fund Balances - Beginning	<u>6,496,373</u>
Fund Balances - Ending	<u><u>6,879,823</u></u>

The notes to the financial statements are an integral part of this statement.

Special Revenue		Capital Projects		
Library	Parks and Recreation	Citywide Capital	Nonmajor	Totals
1,457,087	-	-	306,372	12,995,856
30,564	81,815	32,878	1,232,945	4,103,595
103,100	-	300,743	252,086	1,208,345
13,466	579,155	752,262	232,472	3,176,017
9,234	-	-	8,640	118,600
-	14,577	-	161,691	176,268
11,719	1,533	34,016	16,476	154,071
5,298	217,280	1,169,173	10,004	1,494,246
1,630,468	894,360	2,289,072	2,220,686	23,426,998
-	-	169,990	76,458	4,946,923
791,441	-	-	-	791,441
-	2,189,997	-	372,760	2,562,757
-	-	-	5,013	5,356,149
-	-	-	-	869,044
-	-	-	210,107	2,288,047
-	-	1,945,288	836,849	2,782,137
615,000	-	274,675	572,629	1,462,304
178,790	-	133,363	202,965	515,118
1,585,231	2,189,997	2,523,316	2,276,781	21,573,920
45,237	(1,295,637)	(234,244)	(56,095)	1,853,078
23,496	1,274,699	569,725	315,781	2,213,618
-	-	(94,949)	-	(3,135,233)
23,496	1,274,699	474,776	315,781	(921,615)
68,733	(20,938)	240,532	259,686	931,463
568,798	473,852	388,897	(378,284)	7,549,636
637,531	452,914	629,429	(118,598)	8,481,099

The notes to the financial statements are an integral part of this statement.

UNITED CITY OF YORKVILLE, ILLINOIS

Reconciliation of the Statement of Revenues, Expenditures and Changes in Fund Balances of Governmental Funds to the Statement of Activities

For the Fiscal Year Ended April 30, 2019

Net Change in Fund Balances - Total Governmental Funds	\$ 931,463
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Amounts reported for governmental activities in the Statement of Activities are different because:

Governmental funds report capital outlays as expenditures. However, in the Statement of Activities the cost of those assets is allocated over their estimated useful lives and reported as depreciation expense.

Capital Outlays	2,969,023
Capital Contributions	276,066
Depreciation Expense	(2,862,451)
Disposals - Cost	(35,044)
Disposals - Accumulated Depreciation	35,044

The net effect of deferred outflows (inflows) of resources related to the pensions not reported in the funds.

Change in Deferred Items - IMRF	1,735,268
Change in Deferred Items - Police Pension	345,393
Change in Deferred Items - RBP	10,306

The issuance of long-term debt provides current financial resources to governmental funds, while the repayment of the principal on long-term debt consumes the current financial resources of the governmental funds.

Deductions to Compensated Absences Payable	24,535
Additions to Net Pension Liability - IMRF	(1,781,694)
Additions to Net Pension Liability - Police Pension	(831,614)
Deductions to Total OPEB Liability - RBP	23,979
Retirement of Debt	1,462,304
Amortization of Loss on Refunding	(40,133)
Amortization of Premium	38,119

Changes to accrued interest on long-term debt in the Statement of Activities does not require the use of current financial resources and, therefore, are not reported as expenditures in the governmental funds.

16,963

Changes in Net Position of Governmental Activities

2,317,527

The notes to the financial statements are an integral part of this statement.

UNITED CITY OF YORKVILLE, ILLINOIS

Statement of Net Position - Proprietary Funds

April 30, 2019

See Following Page

UNITED CITY OF YORKVILLE, ILLINOIS

**Statement of Net Position - Proprietary Funds
April 30, 2019**

	Business-Type Activities - Enterprise		
	Sewer	Water	Totals
ASSETS			
Current Assets			
Cash and Investments	\$ 908,192	2,844,226	3,752,418
Receivables - Net of Allowances			
Accounts	232,968	796,985	1,029,953
Prepays	2,813	11,272	14,085
Total Current Assets	1,143,973	3,652,483	4,796,456
Noncurrent Assets			
Capital Assets			
Nondepreciable	523,798	2,806,729	3,330,527
Depreciable	35,111,242	50,218,088	85,329,330
Accumulated Depreciation	(6,282,211)	(13,097,676)	(19,379,887)
	29,352,829	39,927,141	69,279,970
Other Assets			
Assets Held for Others	11,091,000	-	11,091,000
Total Noncurrent Assets	40,443,829	39,927,141	80,370,970
Total Assets	41,587,802	43,579,624	85,167,426
DEFERRED OUTFLOWS OF RESOURCES			
Deferred Items - IMRF	91,276	190,216	281,492
Deferred Items - RBP	350	774	1,124
Unamortized Loss on Refunding	11,992	37,858	49,850
	103,618	228,848	332,466
Total Assets and Deferred Outflows of Resources	41,691,420	43,808,472	85,499,892

The notes to the financial statements are an integral part of this statements.

	Business-Type Activities - Enterprise		
	Sewer	Water	Totals
LIABILITIES			
Current Liabilities			
Accounts Payable	\$ 21,047	95,830	116,877
Deposits Payable	5,000	-	5,000
Accrued Payroll	7,675	18,757	26,432
Accrued Interest Payable	104,000	134,368	238,368
Other Payables	-	4,871	4,871
Current Portion of Long-Term Debt	1,041,392	2,020,508	3,061,900
Total Current Liabilities	1,179,114	2,274,334	3,453,448
Noncurrent Liabilities			
Compensated Absences Payable	13,065	43,617	56,682
Net Pension Liability - IMRF	114,838	239,317	354,155
Total OPEB Liability - RBP	32,173	71,193	103,366
IEPA Loans Payable	-	745,816	745,816
General Obligation Bonds Payable - Net	5,910,000	7,862,885	13,772,885
Debt Certificates Payable	445,000	-	445,000
Other Liabilities	1,069,488	1,125,414	2,194,902
Total Noncurrent Liabilities	7,584,564	10,088,242	17,672,806
Total Liabilities	8,763,678	12,362,576	21,126,254
DEFERRED INFLOWS OF RESOURCES			
Deferred Items - IMRF	12,795	26,665	39,460
Total Liabilities and Deferred Inflows of Resources	8,776,473	12,389,241	21,165,714
NET POSITION			
Net Investment in Capital Assets	28,731,989	29,366,392	58,098,381
Unrestricted	4,182,958	2,052,839	6,235,797
Total Net Position	32,914,947	31,419,231	64,334,178

UNITED CITY OF YORKVILLE, ILLINOIS

**Statement of Revenues, Expenses and Changes in Net Position - Proprietary Funds
For the Fiscal Year Ended April 30, 2019**

	Business-Type Activities - Enterprise		
	Sewer	Water	Totals
Operating Revenues			
Charges for Services	\$ 1,379,981	4,191,172	5,571,153
Operating Expenses			
Operations	472,396	1,858,861	2,331,257
Depreciation and Amortization	704,951	945,370	1,650,321
Total Operating Expenses	1,177,347	2,804,231	3,981,578
Operating Income	202,634	1,386,941	1,589,575
Nonoperating Revenues (Expenses)			
Interest Income	9,677	19,100	28,777
Connection Fees	172,178	366,180	538,358
Other Income	6,050	78,602	84,652
Interest Expense	(412,252)	(452,351)	(864,603)
	(224,347)	11,531	(212,816)
Income (Loss) Before Transfers	(21,713)	1,398,472	1,376,759
Transfers In	856,583	142,707	999,290
Transfers Out	(77,675)	-	(77,675)
	778,908	142,707	921,615
Change in Net Position	757,195	1,541,179	2,298,374
Net Position - Beginning as Restated	32,157,752	29,878,052	62,035,804
Net Position - Ending	32,914,947	31,419,231	64,334,178

The notes to the financial statements are an integral part of this statement.

UNITED CITY OF YORKVILLE, ILLINOIS

Statement of Cash Flows - Proprietary Funds For the Fiscal Year Ended April 30, 2019

	Business-Type Activities - Enterprise		
	Sewer	Water	Totals
Cash Flows from Operating Activities			
Receipts from Customers and Users	\$ 1,500,013	4,569,434	6,069,447
Payments to Employees	(182,588)	(383,008)	(565,596)
Payments to Suppliers	(294,455)	(1,406,446)	(1,700,901)
	<u>1,022,970</u>	<u>2,779,980</u>	<u>3,802,950</u>
Cash Flows from Noncapital Financing Activities			
Transfers In	856,583	142,707	999,290
Transfers (Out)	(77,675)	-	(77,675)
	<u>778,908</u>	<u>142,707</u>	<u>921,615</u>
Cash Flows from Capital and Related Financing Activities			
Purchase of Capital Assets	(234,182)	(449,190)	(683,372)
Debt Repayment	(1,498,619)	(1,119,528)	(2,618,147)
Interest Payments	(412,252)	(452,351)	(864,603)
	<u>(2,145,053)</u>	<u>(2,021,069)</u>	<u>(4,166,122)</u>
Cash Flows from Investing Activities			
Interest Received	9,677	19,100	28,777
Net Change in Cash and Cash Equivalents	(333,498)	920,718	587,220
Cash and Cash Equivalents - Beginning	<u>1,241,690</u>	<u>1,923,508</u>	<u>3,165,198</u>
Cash and Cash Equivalents - Ending	<u><u>908,192</u></u>	<u><u>2,844,226</u></u>	<u><u>3,752,418</u></u>
Reconciliation of Operating Income to Net Cash Provided			
(Used) by Operating Activities			
Operating Income (Loss)	202,634	1,386,941	1,589,575
Adjustments to Reconcile Operating Income to Net Income			
to Net Cash Provided by (Used in) Operating Activities:			
Depreciation and Amortization Expense	704,951	945,370	1,650,321
Connection Fees/Other Income	178,228	444,782	623,010
(Increase) Decrease in Current Assets	(58,196)	(66,520)	(124,716)
Increase (Decrease) in Current Liabilities	(4,647)	69,407	64,760
Net Cash Provided by Operating Activities	<u><u>1,022,970</u></u>	<u><u>2,779,980</u></u>	<u><u>3,802,950</u></u>

The notes to the financial statement are an integral part of this statement.

UNITED CITY OF YORKVILLE, ILLINOIS**Statement of Fiduciary Net Position
April 30, 2019**

	Police Pension Trust	Agency
ASSETS		
Cash and Cash Equivalents	\$ 218,538	644,296
Investments		
U.S. Treasury Securities	2,347,662	
U.S. Agency Securities	673,151	-
Corporate Bonds	488,526	-
Mutual Funds	1,636,085	-
Common Stocks	5,016,968	-
Receivables - Net of Allowances	-	578,607
Accrued Interest	25,362	-
Total Assets	10,406,292	1,222,903
LIABILITIES		
Accounts Payable	2,574	-
Other Liabilities	-	1,222,903
Total Liabilities	2,574	1,222,903
NET POSITION		
Net Position Restricted for Pensions	10,403,718	-

The notes to the financial statement are an integral part of this statement.

UNITED CITY OF YORKVILLE, ILLINOIS

Statement of Changes in Fiduciary Net Position For the Fiscal Year Ended April 30, 2019

	Police Pension Trust
Additions	
Contributions - Employer	\$ 963,361
Contributions - Plan Members	243,941
Total Contributions	<u>1,207,302</u>
Investment Income	
Interest Earned	223,004
Net Change in Fair Value	<u>528,516</u>
	751,520
Less Investment Expenses	<u>(34,449)</u>
Net Investment Income	<u>717,071</u>
Total Additions	<u>1,924,373</u>
Deductions	
Administration	12,693
Benefits and Refunds	<u>597,064</u>
Total Deductions	<u>609,757</u>
Change in Fiduciary Net Position	1,314,616
Net Position Restricted for Pensions	
Beginning	<u>9,089,102</u>
Ending	<u><u>10,403,718</u></u>

The notes to the financial statement are an integral part of this statement.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES

The United City of Yorkville (City) is an Illinois unit of local government. The financial statements include all functions, programs and activities under control of the City Council. The City's major operations include public safety, public works, library, parks and recreation, community development, water and sewer services, and general administration. The City Council has oversight responsibility for the City, the Public Library and the Park and Recreation Board. Oversight responsibility includes designation of management and all other control over operations of these entities.

The government-wide financial statements are prepared in accordance with generally accepted accounting principles (GAAP). The Governmental Accounting Standards Board (GASB) is responsible for establishing GAAP for state and local governments through its pronouncements (Statements and Interpretations). The more significant of the City's accounting policies established in GAAP and used by the City are described below.

REPORTING ENTITY

The City's financial reporting entity comprises the following:

Primary Government:

United City of Yorkville

In determining the financial reporting entity, the City complies with the provisions of GASB Statement No. 61, "The Financial Reporting Omnibus - an Amendment of GASB Statements No. 14 and No. 34," and includes all component units that have a significant operational or financial relationship with the City. Based upon the criteria set forth in the GASB Statement No. 61, there are no component units included in the reporting entity.

Police Pension Employees Retirement System

The City's police employees participate in the Police Pension Employees Retirement System (PPERS). PPERS functions for the benefit of these employees and is governed by a five-member pension board. Two members appointed by the City's Mayor, one elected pension beneficiary and two elected police employees constitute the pension board. The participants are required to contribute a percentage of salary as established by state statute and the City is obligated to fund all remaining PPERS costs based upon actuarial valuations. The State of Illinois is authorized to establish benefit levels and the City is authorized to approve the actuarial assumptions used in the determination of contribution levels. Although it is legally separate from the City, the PPERS is reported as if it were part of the primary City because its sole purpose is to provide retirement benefits for the City's police employees. The PPERS is reported as a pension trust fund.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES – Continued

BASIS OF PRESENTATION

Government-Wide Statements

The City's basic financial statements include both government-wide (reporting the City as a whole) and fund financial statements (reporting the City's major funds). Both the government-wide and fund financial statements categorize primary activities as either governmental or business-type. The City's public safety, highway and street maintenance and reconstruction, building code enforcement, public improvements, economic development, parks and recreation, planning and zoning, and general administrative services are classified as governmental activities. The City's sewer and water services are classified as business-type activities.

In the government-wide Statement of Net Position, both the governmental and business-type activities columns are: (a) presented on a consolidated basis by column, and (b) reported on a full accrual, economic resource basis, which recognizes all long-term assets/deferred outflows and receivables as well as long-term debt/deferred inflows and obligations.

The City's net position is reported in three parts: net investment in capital assets; restricted; and unrestricted. The City first utilizes restricted resources to finance qualifying activities.

The government-wide Statement of Activities reports both the gross and net cost of each of the City's functions (general government, public safety, highways and streets, etc.) and business-type activities. The functions are supported by general government revenues (property, sales and use taxes, certain intergovernmental revenues, fines, permits and charges for services, etc.). The Statement of Activities reduces gross expenses (including depreciation) by related program revenues, which include 1) changes to customers or applicants who purchase, use or directly benefit from goods, services or privileges provided by a given function or segment and 2) grants and contributions that are restricted to meeting the operational or capital requirements of a particular function or segment.

The net costs (by function or business-type activity) are normally covered by general revenue (property, sales and use taxes, certain intergovernmental revenues, permits and charges for services, etc.).

This government-wide focus is more on the sustainability of the City as an entity and the change in the City's net position resulting from the current year's activities.

Fund Financial Statements

The financial transactions of the City are reported in individual funds in the fund financial statements. Each fund is accounted for by providing a separate set of self-balancing accounts that comprise its assets/deferred outflows, liabilities/deferred inflows, fund equity, revenues and expenditures/expenses. Funds are organized into three major categories: governmental, proprietary, and fiduciary. The emphasis in fund financial statements is on the major funds in either the governmental or business-type activities categories.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES – Continued

BASIS OF PRESENTATION – Continued

Fund Financial Statements – Continued

Nonmajor funds by category are summarized into a single column. GASB Statement No. 34 sets forth minimum criteria (percentage of the assets/deferred outflows, liabilities/deferred inflows, revenues or expenditures/expenses of either fund category or the governmental and enterprise combined) for the determination of major funds. The City electively added funds, as major funds, which either have debt outstanding or a specific community focus. The nonmajor funds are combined in a column in the fund financial statements. A fund is considered major if it is the primary operating fund of the City or meets the following criteria:

Total assets/deferred outflows, liabilities/deferred inflows, revenues, or expenditures/expenses of that individual governmental or enterprise fund are at least 10 percent of the corresponding total for all funds of that category or type; and

Total assets/deferred outflows, liabilities/deferred inflows, revenues, or expenditures/expenses of the individual governmental fund or enterprise fund are at least 5 percent of the corresponding total for all governmental and enterprise funds combined.

The various funds are reported by generic classification within the financial statements. The following fund types are used by the City:

Governmental Funds

The focus of the governmental funds' measurement (in the fund statements) is upon determination of financial position and changes in financial position (sources, uses, and balances of financial resources) rather than upon net income. The following is a description of the governmental funds of the City:

General fund is the general operating fund of the City. It is used to account for all financial resources except those required to be accounted for in another fund. The General Fund is a major fund.

Special revenue funds are used to account for the proceeds of specific revenue sources that are legally restricted to expenditures for specified purposes. The City maintains nine special revenue funds. The Library Fund, a major fund, is used to account for the activity relating to the Yorkville Public Library. The primary revenue source for the Library Fund is property taxes. The Parks and Recreation Fund, also a major fund, is used to account for the revenues and expenditures associated with Yorkville's Parks and Recreation departments. The primary revenue source for the Parks and Recreation Fund is charges for services.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES – Continued

BASIS OF PRESENTATION – Continued

Fund Financial Statements – Continued

Governmental Funds – Continued

Debt service funds are used to account for the accumulation of funds for the periodic payment of principal and interest on general long-term debt. The City maintains one debt service fund.

Capital projects funds are used to account for financial resources to be used for the acquisition or construction of major capital facilities (other than those financed by business-type/proprietary funds). The City maintains two capital projects funds. The Citywide Capital Fund, a major fund, is used to account for financial resources accumulated for maintenance of public infrastructure and to fund new capital improvements that benefit the public.

Proprietary Funds

The focus of proprietary fund measurement is upon determination of operating income, changes in net position, financial position, and cash flows. The generally accepted accounting principles applicable are those similar to businesses in the private sector. The following is a description of the proprietary funds of the City:

Enterprise funds are required to account for operations for which a fee is charged to external users for goods or services and the activity is (a) financed with debt that is solely secured by a pledge of the net revenues, (b) has third party requirements that the cost of providing services, including capital costs, be recovered with fees and charges, or (c) establishes fees and charges based on a pricing policy designed to recover similar costs. The City maintains two enterprise funds. The Sewer Fund, a major fund, is used to account for the operation and sewer infrastructure maintenance of the City-owned sewer system, as well as the construction of new sewer systems within City limits. Revenues are generated through user maintenance fees. The Water Fund, also a major fund, is used to account for the operation and water infrastructure maintenance of the City-owned water distribution system, as well as the construction of new water systems. Revenues are generated through charges based on water consumption and user maintenance fees.

Fiduciary Funds

Fiduciary funds are used to report assets held in a trustee or agency capacity by the City for others and therefore are not available to support City programs. The reporting focus is on net position and changes in net position and is reported using accounting principles similar to proprietary funds.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES – Continued

BASIS OF PRESENTATION – Continued

Fund Financial Statements – Continued

Fiduciary Funds – Continued

Pension trust funds are used to account for assets held in a trustee capacity by the City for pension benefit payments. The Police Pension Fund accounts for the accumulation of resources to pay pension costs. Resources are contributed by police force members at rates fixed by state statutes and by the government through an annual property tax levy.

Agency funds are used to account for assets held by the City in a purely custodial capacity. The Developer Deposit Fund is used to account for developer deposits that are used to reimburse the City for all expenses incurred as a result of processing developer applications and requests. The Escrow Deposit Fund is used to account for various funds collected on behalf of other governmental agencies.

The City's fiduciary funds are presented in the fiduciary fund financial statements by type (pension trust and agency). Since by definition these assets are being held for the benefit of a third party (other local governments, private parties, pension participants, etc.) and cannot be used to address activities or obligations of the City, these funds are not incorporated into the government-wide statements.

MEASUREMENT FOCUS AND BASIS OF ACCOUNTING

Measurement focus is a term used to describe "which" transactions are recorded within the various financial statements. Basis of accounting refers to "when" transactions are recorded regardless of the measurement focus applied.

Measurement Focus

On the government-wide Statement of Net Position and the Statement of Activities, both governmental and business-type activities are presented using the economic resources measurement focus as defined below.

In the fund financial statements, the "current financial resources" measurement focus or the "economic resources" measurement focus is used as appropriate.

All governmental funds utilize a "current financial resources" measurement focus. Only current financial assets/deferred outflows and liabilities/deferred inflows are generally included on their balance sheets. Their operating statements present sources and uses of available spendable financial resources during a given period. These funds use fund balance as their measure of available spendable financial resources at the end of the period.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES – Continued

MEASUREMENT FOCUS AND BASIS OF ACCOUNTING – Continued

Measurement Focus – Continued

All proprietary and pension trust funds utilize an “economic resources” measurement focus. The accounting objectives of this measurement focus are the determination of operating income, changes in net position (or cost recovery), financial position, and cash flows. All assets/deferred outflows and liabilities/deferred inflows (whether current or noncurrent) associated with their activities are reported. Proprietary and pension trust fund equity is classified as net position.

Agency funds are not involved in the measurement of results of operations; therefore, measurement focus is not applicable to them.

Basis of Accounting

In the government-wide Statement of Net Position and Statement of Activities, both governmental and business-type activities are presented using the accrual basis of accounting. Under the accrual basis of accounting, revenues are recognized when earned and expenses are recorded when the liability/deferred inflow is incurred or economic asset used. Revenues, expenses, gains, losses, assets/deferred outflows, and liabilities/deferred inflows resulting from exchange and exchange-like transactions are recognized when the exchange takes place.

In the fund financial statements, governmental funds are presented on the modified accrual basis of accounting. Under this modified accrual basis of accounting, revenues are recognized when “measurable and available.” Measurable means knowing or being able to reasonably estimate the amount. Available means collectible within the current period or within sixty days after year-end. The City recognizes property taxes when they become both measurable and available in accordance with GASB Codification Section P70.

A sixty-day availability is generally used for revenue recognition for all other governmental fund revenues. Expenditures (including capital outlay) are recorded when the related fund liability is incurred, except for general obligation bond principal and interest which are recognized when due.

In applying the susceptible to accrual concept under the modified accrual basis, those revenues susceptible to accrual are property taxes, state and utility taxes, franchise taxes, interest revenue, charges for services, and fines and forfeits. All other revenues are not susceptible to accrual because generally they are not measurable until received in cash.

All proprietary, pension trust and agency funds utilize the accrual basis of accounting. Under the accrual basis of accounting, revenues are recognized when earned and expenses are recorded when the liability is incurred or economic asset used.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES – Continued

MEASUREMENT FOCUS AND BASIS OF ACCOUNTING – Continued

Basis of Accounting – Continued

Proprietary funds distinguish operating revenues and expenses from nonoperating items. Operating revenues and expenses generally result from providing services and producing and delivering goods in connection with a proprietary fund's principal ongoing operations. The principal operating revenues of the City's enterprise funds are charges to customers for sales and services. Operating expenses for enterprise funds include the cost of sales and services, administrative expenses, and depreciation on capital assets. All revenues and expenses not meeting this definition are reported as nonoperating revenues and expenses.

ASSETS/DEFERRED OUTFLOWS, LIABILITIES/DEFERRED INFLOWS, AND NET POSITION OR EQUITY

Cash and Investments

Cash and cash equivalents on the Statement of Net Position are considered to be cash on hand, demand deposits, and cash with fiscal agent. For the purpose of the proprietary funds "Statement of Cash Flows," cash and cash equivalents are considered to be cash on hand, demand deposits, cash with fiscal agent, and all highly liquid investments with an original maturity of three months or less.

Investments are generally reported at fair value. Short-term investments are reported at cost, which approximates fair value. For investments, the City categorizes its fair value measurements within the fair value hierarchy established by generally accepted accounting principles. The hierarchy is based on the valuation inputs used to measure the fair value of the asset. Level 1 inputs are quoted prices in active markets for identical assets; Level 2 inputs are significant other observable inputs; Level 3 inputs are significant unobservable inputs.

Interfund Receivables, Payables and Activity

Interfund activity is reported as loans, services provided, reimbursements or transfers. Loans are reported as interfund receivables and payables as appropriate and are subject to elimination upon consolidation. All other interfund transactions are treated as transfers. Any residual balances outstanding between the governmental activities and business-type activities are reported in the government-wide financial statements as "internal balances."

Receivables

In the government-wide financial statements, receivables consist of all revenues earned at year-end and not yet received. Major receivables balances for governmental activities include property taxes, state and utility taxes, franchise taxes, and grants. Business-type activities report utility charges as their major receivables.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES – Continued

ASSETS/DEFERRED OUTFLOWS, LIABILITIES/DEFERRED INFLOWS, AND NET POSITION OR EQUITY – Continued

Prepays

Prepays are valued at cost, which approximates market. The cost of governmental fund-type prepaids are recorded as expenditures when consumed rather than when purchased. Certain payments to vendors reflect costs applicable to future accounting periods and are recorded as prepaids in both the government-wide and fund financial statements.

Assets Held for Others

In June of 2004, the City entered into an intergovernmental agreement with Yorkville-Bristol Sanitary District for design and construction of the Rob Roy Creek Interceptor. At the date of completion, the Yorkville-Bristol Sanitary District owns and maintains the Interceptor. All costs associated with the construction of the infrastructure asset are recorded as Assets Held for Others in the City's financial statements. As of April 30, 2019, the balance of this project was \$11,091,000 reported in the Sewer Fund. In connection with this project, the City issued General Obligation Alternate Revenue Source Bonds of 2005D in the fiscal year 2006 for \$11,300,000, which were refunded in 2008 and again in 2011. At April 30, 2019, the outstanding balance of the 2011 refunding bonds is \$6,755,000. See Note 3 for more information on this long-term debt issue.

Deferred Outflows/Inflows of Resources

Deferred outflow/inflow of resources represents an acquisition/reduction of net position that applies to a future period and therefore will not be recognized as an outflow of resources (expense)/inflow of resources (revenue) until that future time.

Capital Assets

Capital assets purchased or acquired with an original cost of \$5,000 to \$75,000, depending on asset class, (see chart on the following page) or more are reported at historical cost or estimated historical cost. Contributed assets are reported at acquisition value as of the date received. Additions, improvements and other capital outlays that significantly extend the useful life of an asset are capitalized. Other costs incurred for repairs and maintenance are expensed as incurred.

The accounting and financial reporting treatment applied to a fund is determined by its measurement focus. General capital assets are long-lived assets of the City as a whole. Infrastructure such as streets, traffic signals and signs are capitalized. In the case of the initial capitalization of general infrastructure assets (i.e., those reported by the governmental activities) the government chose to include all such items regardless of their acquisition date. The valuation basis for general capital assets are historical cost, or where historical cost is not available, estimated historical cost based on replacement costs.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES – Continued

ASSETS/DEFERRED OUTFLOWS, LIABILITIES/DEFERRED INFLOWS, AND NET POSITION OR EQUITY – Continued

Capital Assets – Continued

Capital assets in the proprietary funds are capitalized in the fund in which they are utilized. The valuation bases for proprietary fund capital assets are the same as those used for the general capital assets. Donated capital assets are capitalized at acquisition value on the date donated.

Depreciation on all assets is computed and recorded using the straight-line method of depreciation over the following estimated useful lives:

Capital Asset	Capitalized Threshold	Estimated Useful Life
Land	\$ 25,000	N/A
Buildings	35,000	10 - 50 Years
Equipment	5,000	5 - 75 Years
Vehicles	5,000	5 - 15 Years
Infrastructure - Street and Storm Sewer	50,000	10 - 75 Years
Infrastructure - Water and Sewer	75,000	10 - 75 Years

Compensated Absences

The City accrues accumulated unpaid vacation and associated employee-related costs when earned (or estimated to be earned) by the employee. In accordance with GASB Statement No. 16, no liability is recorded for nonvesting accumulation rights to receive sick pay benefits. However, a liability is recognized for that portion of accumulated sick leave that is estimated to be taken as “terminal leave” prior to retirement. All vacation pay is accrued when incurred in the government-wide and proprietary fund financial statements. A liability for these amounts is reported in the governmental funds only if they have matured, for example, as a result of employee resignations and retirements.

Long-Term Obligations

In the government-wide financial statements, and proprietary fund types in the fund financial statements, long-term debt and other long-term obligations are reported as liabilities in the applicable governmental activities, business-type activities, or proprietary fund type Statement of Net Position. Bond premiums and discounts are deferred and amortized over the life of the bonds using the effective interest method. Bonds payable are reported net of the applicable bond premium or discount. Bond issuance costs are reported as expenses at the time of issuance.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES – Continued

ASSETS/DEFERRED OUTFLOWS, LIABILITIES/DEFERRED INFLOWS, AND NET POSITION OR EQUITY – Continued

Long-Term Obligations – Continued

In the fund financial statements, governmental fund types recognize bond premiums and discounts, as well as bond issuance costs, during the current period. The face amount of debt issued is reported as other financing sources. Premiums received on debt issuances are reported as other financing sources while discounts on debt issuances are reported as other financing uses. Issuance costs, whether or not withheld from the actual debt proceeds received, are reported as debt service expenditures.

Net Position

In the government-wide financial statements, equity is classified as net position and displayed in three components:

Net Investment in Capital Assets – Consists of capital assets including restricted capital assets, net of accumulated depreciation and reduced by the outstanding balances of any bonds, mortgages, notes or other borrowings that are attributable to the acquisition, construction, or improvement of those assets.

Restricted – Consists of net position with constraints placed on the use either by (1) external groups such as creditors, grantors, contributors, or laws or regulations of other governments; or (2) law through constitutional provisions or enabling legislations.

Unrestricted – All other net position balances that do not meet the definition of “restricted” or “net investment in capital assets.”

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 2 – STEWARDSHIP, COMPLIANCE, AND ACCOUNTABILITY

BUDGETARY INFORMATION

Budgets are adopted on a basis consistent with generally accepted accounting principles. Annual budgets are adopted for all funds. All annual appropriations lapse at fiscal year-end. During the year, several supplementary appropriations were necessary. The City follows these procedures in establishing the budgetary data reflected in the financial statements:

- Prior to May 1, the Mayor submits to the City Council the proposed budget for the fiscal year commencing the following May 1. The operating budget includes proposed expenditures and the means of financing them.
- Public hearings are conducted at the City offices to obtain taxpayer comments.
- Prior to May 1, the budget is legally adopted by a vote of the City Council through passage of an ordinance.
- The budget officer is authorized to transfer budgeted amounts between departments within any fund; however, any revisions that alter the total expenditures of any fund must be approved by the City Council.

DEFICIT FUND BALANCE

The following funds had deficit fund balance as of the date of this report:

<u>Fund</u>	<u>Deficit</u>
Sunflower Special Service Area	\$ 22,626
Countryside TIF	422,459
Downtown TIF	1,024,518
Downtown TIF II	2,736

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS

DEPOSITS AND INVESTMENTS

The City maintains a cash and investment pool that is available for use by all funds except the pension trust fund. Each fund type's portion of this pool is displayed on the financial statements as "cash and investments." In addition, investments are separately held by several of the City's funds. The deposits and investments of the pension trust fund are held separately from those of other funds.

Permitted Deposits and Investments – Statutes authorize the City to make deposits/invest in commercial banks, savings and loan institutions, obligations of the U.S. Treasury and U.S. Agencies, obligations of States and their political subdivisions, credit union shares, repurchase agreements, commercial paper rated within the three highest classifications by at least two standard rating services and Illinois Funds.

The deposits and investments of the Pension Fund are held separately from those of other City funds. Statutes authorize the Pension Fund to make deposits/invest in interest bearing direct obligations of the United States of America; obligations that are fully guaranteed or insured as to the payment of principal and interest by the United States of America; bonds, notes, debentures, or similar obligations of agencies of the United States of America; savings accounts or certificates of deposit issued by banks or savings and loan associations chartered by the United States of America or by the State of Illinois, to the extent that the deposits are insured by the agencies or instrumentalities of the federal government; credit unions, to the extent that the deposits are insured by the agencies or instrumentalities of the federal government; State of Illinois bonds; pooled accounts managed by the Illinois Funds Market Fund (Formerly known as IPTIP, Illinois Public Treasurer's Investment Pool), or by banks, their subsidiaries or holding companies, in accordance with the laws of the State of Illinois; bonds or tax anticipation warrants of any county, township, or municipal corporation of the State of Illinois; direct obligations of the State of Israel; money market mutual funds managed by investment companies that are registered under the Federal Investment Company Act of 1940 and the Illinois Securities Law of 1953 and are diversified, open-ended management investment companies, provided the portfolio is limited to specified restrictions; general accounts of life insurance companies; and separate accounts of life insurance companies and mutual funds, the mutual funds must meet specific restrictions, provided the investment in separate accounts and mutual funds does not exceed ten percent of the Pension Fund's plan net position; and corporate bonds managed through an investment advisor, rated as investment grade by one of the two largest rating services at the time of purchase. Pension Funds with plan net position of \$2.5 million or more may invest up to forty-five percent of plan net position in separate accounts of life insurance companies and mutual funds. Pension Funds with plan net position of at least \$5 million that have appointed an investment advisor, may through that investment advisor invest up to forty-five percent of the plan net position in common and preferred stocks that meet specific restrictions. In addition, pension funds with plan net position of at least \$10 million that have appointed an investment advisor, may invest up to fifty percent of its net position in common and preferred stocks and mutual funds that meet specific restrictions effective July 1, 2011 and up to sixty-five percent effective July 1, 2012.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS

DEPOSITS AND INVESTMENTS – Continued

The Illinois Funds is an investment pool managed by the Illinois Public Treasurer's Office which allows governments within the State to pool their funds for investment purposes. The Illinois Funds is not registered with the SEC as an investment company. Investments in Illinois Funds are valued at the share price, the price for which the investment could be sold.

City Interest Rate Risk, Credit Risk, Custodial Credit Risk and Concentration Risk

Deposits. At year-end, the carrying amount of the City's deposits for governmental and business-type activities totaled \$8,816,585 and the bank balances totaled \$8,974,972. Additionally, the City has \$3,128,238 invested in the Illinois Fund at year-end, which is measured at net asset value per share determined by the plan.

Interest Rate Risk. Interest rate risk is the risk that changes in interest rates will adversely affect the fair value of an investment. The City's investment policy states that a variety of financial instruments and maturities, properly balanced, will help to insure liquidity and reduce risk or interest rate volatility and loss of principal. The policy does not state specific limits in investment maturities as a means of managing its exposure to fair value losses arising from increasing interest rates. At year-end, the City's investment in the Illinois Funds have an average maturity of less than one year.

Credit Risk. Credit risk is the risk that an issuer or other counterparty to an investment will not fulfill its obligations. Investments shall be made with judgment and care, under circumstances then prevailing, which persons of prudence, discretion and intelligence exercise in management of their own affairs, no for speculation, but for investment, considering the safety of their capital, as well as the probable income to be derived. The standard of prudence to be used by investment officials shall be the 'prudent person' standard and shall be applied in the context of managing an overall portfolio. At year-end, the City's investment in the Illinois Funds is rated AAAm by Standard & Poor's.

Concentration Risk. This is the risk of loss attributed to the magnitude of the City's investment in a single issuer. The City's investment policy states that a variety of financial instruments and maturities, properly balanced, will help to insure liquidity and reduce risk or interest rate volatility and loss of principal. Diversifying instruments and maturities will avoid incurring unreasonable risks in the investment portfolio regarding specific security types, issuers or individual financial institutions. The City shall diversify to the best of its ability based on the type of funds invested and the cash flow needs of those funds. The City places no limit on the amount the City may invest in any one issuer. At year-end, the City does not have any investments over 5 percent of the total cash and investment portfolio (other than investments issued or explicitly guaranteed by the U.S. government and investments in mutual funds, external investment pools, and other pooled investments) over 5 percent of the total cash and investment portfolio.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

DEPOSITS AND INVESTMENTS – Continued

City Interest Rate Risk, Credit Risk, Custodial Credit Risk and Concentration Risk – Continued

Custodial Credit Risk. In the case of deposits, this is the risk that in the event of a bank failure, the City's deposits may not be returned to it. The City's investment policy requires that all amounts in excess of any insurance limits be collateralized by approved securities or surety bonds issued by top-rated insurers, having a value of at least 110% of the deposits. Collateral is required as security whenever deposits exceed the insurance limits of the FDIC. Repurchase agreements must also be collateralized in the amount of 105% of the market value of principal and accrued interest. Collateral shall be held at an independent, third party institution in the name of the City. The third-party institution shall comply with all qualifications and requirements as set forth in the Illinois Compiled Statutes 30 ILCS 235/6. At year end, all deposits are collateralized.

For an investment, this is the risk that in the event of the failure of the counterparty, the City will not be able to recover the value of its investments or collateral securities that are in the possession of an outside party. At year-end, the City's investment in the Illinois Funds is not subject to custodial credit risk.

Police Pension Fund Interest Rate Risk, Credit Risk, Custodial Credit Risk and Concentration Risk

Deposits. At year-end, the carrying amount of the Fund's deposits totaled \$218,538 and the bank balances totaled \$218,695.

Investments. At year-end, the Fund has the following investments and maturities:

Investment Type	Investment Maturities (in Years)				
	Fair Value	Less Than 1	1 to 5	6 to 10	More Than 10
U.S. Treasuries	\$ 2,347,662	452,616	955,351	939,695	-
U.S. Agencies	673,151	279,281	374,286	1,991	17,593
Corporate Bonds	488,526	74,856	413,670	-	-
	3,509,339	806,753	1,743,307	941,686	17,593

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

DEPOSITS AND INVESTMENTS – Continued

Police Pension Fund Interest Rate Risk, Credit Risk, Custodial Credit Risk and Concentration Risk

Investments. At year-end, the Fund has the following recurring fair value measurements:

Investments by Fair Value Level	Total	Fair Value Measurements Using		
		Quoted Prices in Active Markets for Identical Assets (Level 1)	Significant Other Observable Inputs (Level 2)	Significant Unobservable Inputs (Level 3)
Debt Securities				
U.S. Treasuries	\$ 2,347,662	2,347,662	-	-
U.S. Agencies	673,151	-	673,151	-
Corporate Bonds	488,526	-	488,526	-
Equity Securities				
Mutual Funds	1,636,085	1,636,085	-	-
Common Stock	5,016,968	5,016,968	-	-
Total Investments by Fair Value Level	10,162,392	9,000,715	1,161,677	-

Debt Securities classified in Level 2 of the fair value hierarchy are valued using a matrix pricing technique. Matrix pricing is used to value securities based on the securities' relationship to benchmark quoted prices.

Interest Rate Risk. The Fund's investment policy states that the investment portfolio shall remain sufficiently liquid to enable the Fund to meet all operating requirements which may be reasonable anticipated.

Credit Risk. Credit risk is the risk that an issuer or other counterparty to an investment will not fulfill its obligations. The Fund helps limit its exposure to credit risk by primarily investing in securities issued by the United States Government and/or its agencies that are implicitly guaranteed by the United States Government. The Pension Fund's investment policy establishes criteria for allowable investments; those criteria follow the requirements of the Illinois Pension Code. The investments in the securities of U.S. Government Agencies obligations were all rated AA+ by Standard & Poor's or by Moody's Investors Services and Corporate Bond ratings are not available. Besides investing in securities issued by agencies of the United States Government, the Pension Fund's investment policy for reducing credit risk is by the Board conducting its responsibilities with the care, skill and caution under the circumstances then prevailing which a prudent person acting in a like capacity and familiar with those matters would use the conduct of an activity of like character or purpose.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

DEPOSITS AND INVESTMENTS – Continued

Police Pension Fund Interest Rate Risk, Credit Risk, Custodial Credit Risk and Concentration Risk – Continued

Custodial Credit Risk. The Fund's investment policy requires all deposits in excess of federally insured limits (other than bank managed money market mutual funds) to be no less than 110% of the fair market value and secured by some form of collateral. The Fund will accept (1) United States Treasury Bills, Notes or Bonds, or (2) United States Government Agency Notes or Bonds as authorized by the Public Funds Investment Act but excluding the government sponsored agencies prohibited by the Department of Insurance. At year-end, the entire amount of the bank balance of deposits was covered by collateral, federal depository or equivalent insurance.

Concentration Risk. This is the risk of loss attributed to the magnitude of the Pension Fund's investment in a single issuer. The Funds investment policy states the Board should diversify investments to avoid incurring unreasonable risks from the practice of concentrating investments in specific security types and/or individual financial institutions. In addition to the securities and fair values previously listed, the Fund also has \$1,636,085 invested in mutual funds and \$5,016,968 invested in common stocks. At year-end, the Fund has no investments over 5 percent of net plan position available for retirement benefits (other than investments issued or explicitly guaranteed by the U.S. government and investments in mutual funds, external investment pools, and other pooled investments) in any one organization that represent 5 percent or more of net position available for benefits.

The Fund's investment policy in accordance with Illinois Compiled Statutes (ILCS) establishes the following target allocation across asset classes:

Asset Class	Target	Long-Term Expected Real Rate of Return
Fixed Income	55%	7.30%
Equities	45%	11.50%
Cash and Cash Equivalents	2%	4.4%

Illinois Compiled Statutes (ILCS) limit the Fund's investments in equities, mutual funds and variable annuities to 65%. Securities in any one company should not exceed 5% of the total fund.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

DEPOSITS AND INVESTMENTS – Continued

Police Pension Fund Interest Rate Risk, Credit Risk, Custodial Credit Risk and Concentration Risk – Continued

Concentration Risk – Continued. The long-term expected rate of return on the Fund's investments was determined using an asset allocation study conducted by the Fund's investment management consultant in May 2019 in which best-estimate ranges of expected future real rates of return (net of pension plan investment expense and inflation) were developed for each major asset class. These ranges were combined to produce the long-term expected rate of return by weighting the expected future real rates of return by the target asset allocation percentage and by adding the expected inflation. Best estimates or arithmetic real rates of return for each major asset class included in the Fund's target asset allocation as of April 30, 2019 are listed in the table on previous page.

Rate of Return

For the year ended April 30, 2019, the annual money-weighted rate of return on pension plan investments, net of pension plan investment expense, was 7.56%. The money-weighted rate of return expresses investment performance, net of investment expense, adjusted for the changing amounts actually invested.

PROPERTY TAXES

Property taxes for 2018 attach as an enforceable lien on January 1, 2019, on property values assessed as of the same date. Taxes are levied by December of the subsequent fiscal year (by passage of a Tax Levy Ordinance). Tax bills are prepared by the County and are payable in two installments, on or about June 1 and September 1. The County collects such taxes and remits them periodically.

UNITED CITY OF YORKVILLE, ILLINOIS**Notes to the Financial Statements
April 30, 2019****NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued****CAPITAL ASSETS****Governmental Activities**

Governmental capital asset activity for the year was as follows:

	Beginning Balances	Increases	Decreases	Ending Balances
Nondepreciable Capital Assets				
Land	\$ 30,991,088	-	-	30,991,088
Construction in Progress	2,992,756	2,085,315	1,235,500	3,842,571
	<u>33,983,844</u>	<u>2,085,315</u>	<u>1,235,500</u>	<u>34,833,659</u>
Depreciable Capital Assets				
Buildings	15,520,909	-	-	15,520,909
Equipment	7,104,407	1,654,152	4,000	8,754,559
Vehicles	2,688,827	229,190	31,044	2,886,973
Infrastructure	69,105,549	511,932	-	69,617,481
	<u>94,419,692</u>	<u>2,395,274</u>	<u>35,044</u>	<u>96,779,922</u>
Less Accumulated Depreciation				
Buildings	4,152,645	319,657	-	4,472,302
Equipment	5,748,709	426,825	4,000	6,171,534
Vehicles	2,183,189	206,854	31,044	2,358,999
Infrastructure	20,061,934	1,909,115	-	21,971,049
	<u>32,146,477</u>	<u>2,862,451</u>	<u>35,044</u>	<u>34,973,884</u>
Total Net Depreciable Capital Assets	<u>62,273,215</u>	<u>(467,177)</u>	<u>-</u>	<u>61,806,038</u>
Total Net Capital Assets	<u>96,257,059</u>	<u>1,618,138</u>	<u>1,235,500</u>	<u>96,639,697</u>

Depreciation expense was charged to governmental activities as follows:

General Government	\$ 88,698
Library	182,713
Parks and Recreation	400,677
Public Safety	166,589
Public Works	<u>2,023,774</u>
	<u>2,862,451</u>

UNITED CITY OF YORKVILLE, ILLINOIS**Notes to the Financial Statements
April 30, 2019****NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued****CAPITAL ASSETS – Continued****Business-Type Activities**

Business-type capital asset activity for the year was as follows:

	Beginning Balances	Increases	Decreases	Ending Balances
Nondepreciable Capital Assets				
Land	\$ 615,376	-	-	615,376
Construction in Progress	2,528,181	638,495	451,525	2,715,151
	<u>3,143,557</u>	<u>638,495</u>	<u>451,525</u>	<u>3,330,527</u>
Depreciable Capital Assets				
Equipment	18,895,110	-	93,413	18,801,697
Vehicles	445,696	44,877	-	490,573
Infrastructure	65,585,535	451,525	-	66,037,060
	<u>84,926,341</u>	<u>496,402</u>	<u>93,413</u>	<u>85,329,330</u>
Less Accumulated Depreciation				
Equipment	6,890,264	453,157	93,413	7,250,008
Vehicles	209,707	71,914	-	281,621
Infrastructure	10,635,804	1,212,454	-	11,848,258
	<u>17,735,775</u>	<u>1,737,525</u>	<u>93,413</u>	<u>19,379,887</u>
Total Net Depreciable Capital Assets	<u>67,190,566</u>	<u>(1,241,123)</u>	<u>-</u>	<u>65,949,443</u>
Total Net Capital Assets	<u>70,334,123</u>	<u>(602,628)</u>	<u>451,525</u>	<u>69,279,970</u>

Depreciation expense was charged to business-type activities as follows:

Sewer	\$ 701,172
Water	<u>1,036,353</u>
	<u><u>1,737,525</u></u>

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

INTERFUND RECEIVABLES, PAYABLES AND TRANSFERS

Interfund Balances

Interfund balances are advances in anticipation of receipts to cover temporary cash shortages. The composition of interfund balances as of the date of this report, is as follows:

Receivable Fund	Payable Fund	Amount
General	Nonmajor Governmental	\$ 1,373,650
Parks and Recreational	Nonmajor Governmental	<u>506,373</u>
		<u><u>1,880,023</u></u>

Interfund Transfers

Interfund transfers for the year consisted of the following:

Transfers In	Transfers Out	Amount
General	City Wide Capital	\$ 29,917 (1)
Library	General	23,496 (2)
Parks and Recreation	General	1,274,699 (2)
City Wide Capital	General	569,725 (1)
Nonmajor Governmental	General	315,781 (2)
Sewer	General	856,583 (1)
Water	Sewer	77,675 (1)
Water	City Wide Capital	<u>65,032 (1)</u>
		<u><u>3,212,908</u></u>

Transfers are used to (1) move revenues from the fund that statute or budget requires to collect them to the fund that statute or budget requires to expend them and (2) use unrestricted revenues collected in the General Fund to finance various programs accounted for in other funds in accordance with budgetary authorizations.

The purpose of significant interfund transfers are as follows:

- \$1,274,699 to the Parks and Recreation Fund to subsidize operations.
- \$856,583 to the Sewer Fund to partially fund debt service payments on the 2011 Refunding Bonds sourced from Non-Home Rule Sales Tax.
- \$569,725 to the Citywide Capital Fund to fund Beecher Center HVAC project and other capital improvements, pursuant to the Fiscal Year 2019 budget.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

LONG-TERM DEBT

Other Obligations

Other Obligations currently outstanding are as follows:

Issue	Fund Debt Retired by	Beginning Balances	Issuances	Retirements	Ending Balances
Conover Sewer Recapture owed to John Conover as reimbursement for sewer extension, due in one lump sum payment of \$1,890 in fiscal year 2023.	Governmental Activities	\$ 1,890	-	-	1,890

Notes Payable

The City enters into notes payable to provide funds for acquisition of capital assets. Notes payable have been issued for the governmental activities. Notes payable are direct obligations and pledge the full faith and credit of the City. Notes payable currently outstanding are as follows:

Issue	Fund Debt Retired by	Beginning Balances	Issuances	Retirements	Ending Balances
Betzwisser Development, LLC Adjustable Rate Note Payable of 2008, due in monthly installments of \$6,491, which includes an annualized interest rate of 5.83% through October 1, 2028.	Vehicle & Equipment	\$ 616,148	-	45,298	570,850
Kendall County River Road Bridge Loan Payable of 2013, payable in annual installments equal to one-sixth of the amount borrowed through October 31, 2018.	Citywide Capital	84,674	-	84,674	-
102 E Van Emmon Building Loan Payable of 2017, payable in annual installments equal to one-fourth of the amount borrowed which includes an annualized interest rate of 3.00% through June 1, 2021.	Downtown TIF	800,000	-	200,000	600,000
		1,500,822	-	329,972	1,170,850

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

LONG-TERM DEBT – Continued

Illinois Environmental Protection Agency (IEPA) Loans Payable

The City has entered into loan agreements with the IEPA to provide low interest financing for sewer and water improvements. IEPA loans currently outstanding are as follows:

Issue	Fund Debt Retired by	Beginning Balances	Issuances	Retirements	Ending Balances
IEPA (L17-115300) Loan Payable of 2000, due in semi-annual installments of \$37,166 to \$52,832 including interest at 2.625% through September 6, 2019.	Sewer	\$ 156,451	-	103,619	52,832
IEPA (L17-1156300) Loan Payable of 2007, due in semi-annual installments of \$28,263 to \$61,744 including interest at 2.50% through August 9, 2026.	Water	952,099	-	101,860	850,239
		1,108,550	-	205,479	903,071

General Obligation Bonds

The City issues general obligation bonds to provide funds for the acquisition and construction of major capital facilities. General obligation bonds have been issued for both governmental and business-type activities. General obligation bonds issued for business-type activities are reported in the proprietary funds as they are expected to be repaid from proprietary revenues. General obligation bonds are direct obligations and pledge the full faith and credit of the City.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

LONG-TERM DEBT – Continued

General Obligation Bonds – Continued

General obligation bonds currently outstanding are as follows:

Issue	Fund Debt Retired by	Beginning Balances	Issuances	Retirements	Ending Balances
General Obligation Alternate Revenue Source Bonds of 2004B, due in annual installments of \$120,000 to \$455,000 plus interest at 2.50% to 4.00% through December 30, 2018.	Sewer	\$ 455,000	-	455,000	-
General Obligation Library Bonds of 2006, due in annual installments of \$50,000 to \$100,000 plus interest at 4.75% to 4.80% through December 30, 2024.	Library	525,000	-	50,000	475,000
General Obligation Refunding Alternate Revenue Source Bonds of 2011, due in annual installments of \$660,000 to \$1,100,000 plus interest at 4.28% through December 30, 2025.	Sewer	7,565,000	-	810,000	6,755,000
General Obligation Library Refunding Bonds of 2013, due in annual installments of \$155,000 to \$730,000 plus interest at 2.00% to 4.00% through December 30, 2024.	Library	4,510,000	-	565,000	3,945,000

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

LONG-TERM DEBT – Continued

General Obligation Bonds – Continued

Issue	Fund Debt Retired by	Beginning Balances	Issuances	Retirements	Ending Balances
General Obligation Refunding Alternate Revenue Source Bonds of 2014, due in annual installments of \$230,000 to \$270,000 plus interest at 4.00% to 4.30% through December 1, 2029.	Countryside TIF	\$ 1,235,000	-	-	1,235,000
General Obligation Alternate Revenue Source Bonds of 2014A, due in annual installments of \$135,000 to \$300,000 plus interest at 3.00% to 4.00% through December 1, 2033.	Citywide Capital	3,785,000	-	190,000	3,595,000
General Obligation Refunding Alternate Revenue Source Bonds of 2014B, due in annual installments of \$255,000 to \$320,000 plus interest at 2.00% to 3.00% through December 30, 2022.	Debt Service	1,500,000	-	285,000	1,215,000
General Obligation Refunding Alternate Revenue Source Bonds of 2014C, due in annual installments of \$120,000 to \$140,000 plus interest at 2.00% to 3.00% through December 30, 2024.	Water	930,000	-	130,000	800,000
General Obligation Alternate Revenue Source Bonds of 2015A, due in annual installments of \$100,000 to \$475,000 plus interest at 4.00% through December 1, 2034.	Countryside TIF	1,407,534	-	42,332	1,365,202
	Water	3,912,466	-	117,668	3,794,798

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

LONG-TERM DEBT – Continued

General Obligation Bonds – Continued

Issue	Fund Debt Retired by	Beginning Balances	Issuances	Retirements	Ending Balances
General Obligation Refunding Alternate Revenue Source Bonds of 2016, due in annual installments of \$430,000 to \$1,475,000 plus interest at 4.00% to 4.25% through December 30, 2022.	Water	\$ 5,370,000	-	470,000	4,900,000
		31,195,000	-	3,115,000	28,080,000
Governmental		12,962,534	-	1,132,332	11,830,202
Business-Type		18,232,466	-	1,982,668	16,249,798
		31,195,000	-	3,115,000	28,080,000

Debt Certificates

The City issues debt certificates to provide funds for the acquisition and construction of major capital facilities. Debt certificates have been issued for both governmental and business-type activities. Debt Certificates issued for business-type activities are reported in the proprietary funds as they are expected to be repaid from proprietary revenues. Debt certificates currently outstanding are as follows:

Issue	Fund Debt Retired by	Beginning Balances	Issuances	Retirements	Ending Balances
Illinois Rural Bond Bank Debt Certificates of 2003A, due in annual installments of \$80,000 to \$155,000 plus interest at 1.60% to 5.20% through February 1, 2023.	Sewer	\$ 710,000	-	130,000	580,000
Debt Certificates of 2003, due in annual installments of \$100,000 to \$300,000 plus interest at 3.80% to 5.00% through December 15, 2018.	Water	300,000	-	300,000	-
		1,010,000	-	430,000	580,000

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

LONG-TERM DEBT – Continued

Long-Term Liability Activity

Changes in long-term liabilities during the fiscal year were as follows:

Type of Debt	Restated Beginning Balances	Additions	Deductions	Ending Balances	Amounts Due within One Year
Governmental Activities					
Compensated Absences	\$ 583,924	24,535	49,070	559,389	111,878
Net Pension Liability - IMRF	53,787	1,781,694	-	1,835,481	-
Police Pension	10,867,191	831,614	-	11,698,805	-
Total OPEB Liability - RBP	971,287	-	23,979	947,308	-
Notes Payable	1,500,822	-	329,972	1,170,850	248,790
General Obligation Bonds	12,962,534	-	1,132,332	11,830,202	1,224,517
Plus: Unamortized Premium	175,869	-	38,119	137,750	-
Other Obligations	1,890	-	-	1,890	-
	<u>27,117,304</u>	<u>2,637,843</u>	<u>1,573,472</u>	<u>28,181,675</u>	<u>1,585,185</u>
Business-Type Activities					
Compensated Absences	\$ 106,582	10,740	21,478	95,844	39,162
Net Pension Liability - IMRF	13,134	341,021	-	354,155	-
Total OPEB Liability - RBP	105,984	-	2,617	103,367	-
IEPA Loans Payable	1,108,550	-	205,479	903,071	157,255
General Obligation Bonds	18,232,466	-	1,982,668	16,249,798	2,730,483
Plus: Unamortized Premium	372,599	-	119,029	253,570	-
Debt Certificates	1,010,000	-	430,000	580,000	135,000
Developer Agreements	2,126,963	103,877	35,938	2,194,902	-
	<u>23,076,278</u>	<u>455,638</u>	<u>2,797,209</u>	<u>20,734,707</u>	<u>3,061,900</u>

For the governmental activities, the compensated absences, the net pension liabilities and the total OPEB liability are generally liquidated by the General Fund. The Citywide Capital and the Vehicle and Equipment Funds make payment on the notes payable. General obligation bonds are being liquidated by the Library, Countryside TIF, Citywide Capital and Debt Service Funds.

For the business-type activities, the Sewer and Water Funds liquidate compensated absences, the net pension liability, and the total OPEB liability. The Sewer and Water Funds are making payments on the IEPA loans payable, general obligation bonds, debt certificates and developer agreements.

UNITED CITY OF YORKVILLE, ILLINOIS**Notes to the Financial Statements
April 30, 2019****NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued****LONG-TERM DEBT – Continued****Debt Service Requirements to Maturity**

The annual debt service requirements to maturity, including principal and interest, are as follows:

Fiscal Year	Governmental Activities			
	Notes Payable		General Obligation Bonds	
	Principal	Interest	Principal	Interest
2020	\$ 248,790	42,495	1,224,517	428,078
2021	250,995	34,240	1,287,163	392,324
2022	253,301	25,817	1,342,455	351,324
2023	55,711	17,324	1,396,424	308,612
2024	58,229	14,806	1,131,716	257,493
2025	60,862	12,173	1,175,685	213,574
2026	63,614	9,421	511,889	167,947
2027	66,490	6,545	523,212	149,721
2028	69,496	3,539	550,858	130,806
2029	43,362	622	568,504	108,650
2030	-	-	601,150	85,527
2031	-	-	343,796	60,671
2032	-	-	351,442	46,919
2033	-	-	364,088	32,861
2034	-	-	376,734	18,297
2035			80,569	3,228
Total	1,170,850	166,982	11,830,202	2,756,032

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

LONG-TERM DEBT – Continued

Debt Service Requirements to Maturity – Continued

Fiscal Year	Business-Type Activities					
	IEPA Loan Payable		General Obligation Bonds		Debt Certificates	
	Principal	Interest	Principal	Interest	Principal	Interest
2020	\$ 157,255	21,300	2,730,483	640,101	135,000	29,668
2021	107,049	17,981	2,787,837	531,015	140,000	22,850
2022	109,742	15,288	2,407,545	418,324	150,000	15,710
2023	112,503	12,527	2,333,576	331,196	155,000	8,060
2024	115,333	9,697	1,478,284	245,665	-	-
2025	118,235	6,795	1,529,315	185,134	-	-
2026	121,209	3,821	1,258,111	122,385	-	-
2027	61,745	772	161,788	68,981	-	-
2028	-	-	169,142	62,509	-	-
2029	-	-	176,496	55,743	-	-
2030	-	-	183,850	48,683	-	-
2031	-	-	191,204	41,329	-	-
2032	-	-	198,558	33,681	-	-
2033	-	-	205,912	25,739	-	-
2034	-	-	213,266	17,503	-	-
2035	-	-	224,431	8,972	-	-
Total	903,071	88,181	16,249,798	2,836,960	580,000	76,288

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

LONG-TERM DEBT – Continued

Non-Commitment Debt

Special service area bonds outstanding as of the date of this report totaled \$62,290,000, Kendall Marketplace business district bonds totaled \$6,665,000 and Kendall Marketplace sales tax bonds totaled \$5,465,000. These bonds are not an obligation of the government and are secured by the levy of an annual tax on the real property within the special service area, business district taxes, and sales taxes, respectively. The government is in no way liable for repayment but is only acting as agent for the property owners in levying/assessing and collecting the tax, and forwarding the collections to bondholders.

Legal Debt Margin

Chapter 65, Section 5/8-5-1 of the Illinois Compiled Statutes provides, "...no municipality having a population of less than 500,000 shall become indebted in any manner or for any purpose, to an amount, including existing indebtedness in the aggregate exceeding 8.625% on the value of the taxable property therein, to be ascertained by the last assessment for state and county purposes, previous to the incurring of the indebtedness or, until January 1, 1983, if greater, the sum that is produced by multiplying the municipality's 1978 equalized assessed valuation by the debt limitation percentage in effect on January 1, 1979."

Assessed Valuation - 2018	<u>\$ 519,303,500</u>
Legal Debt Limit - 8.625% of Assessed Value	44,789,927
Amount of Debt Applicable to Limit	
General Obligation Bonds	<u>5,000,000</u>
Legal Debt Margin	<u>39,789,927</u>

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

NET POSITION CLASSIFICATIONS

Net investment in capital assets was comprised of the following as of April 30, 2019:

Governmental Activities	
Capital Assets - Net of Accumulated Depreciation	\$ 96,639,697
Plus: Unspent Bond Proceeds	171,871
Less Capital Related Debt:	
Notes Payable of 2008	(570,850)
Loan Payable of 2017	(600,000)
General Obligation Library Bonds of 2006	(475,000)
General Obligation Library Refunding Bonds of 2013	(3,945,000)
General Obligation Refunding Alternate Revenue Source Bonds of 2014	(1,235,000)
General Obligation Refunding Alternate Revenue Source Bonds of 2014A	(3,595,000)
General Obligation Refunding Alternate Revenue Source Bonds of 2014B	(1,215,000)
General Obligation Alternate Revenue Source Bonds of 2015A	(1,365,202)
Loss on Refunding	127,323
Premium on Debt Issuance	(137,750)
Net Investment in Capital Assets	<u>83,800,089</u>
Business-Type Activities	
Capital Assets - Net of Accumulated Depreciation	69,279,970
Less Capital Related Debt:	
IEPA (L17-115300) Loan Payable of 2000	(52,832)
IEPA (L17-1156300) Loan Payable of 2007	(850,239)
General Obligation Refunding Alternate Revenue Source Bonds of 2014C	(800,000)
General Obligation Alternate Revenue Source Bonds of 2015A	(3,794,798)
General Obligation Alternate Revenue Source Bonds of 2016	(4,900,000)
Illinois Rural Bond Bank Debt Certificates of 2003	(580,000)
Loss on Refunding	49,850
Premium on Debt Issuance	(253,570)
Net Investment in Capital Assets	<u>58,098,381</u>

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

FUND BALANCE CLASSIFICATIONS

In the governmental funds financial statements, the City considers restricted amounts to have been spent when an expenditure is incurred for purposes for which both restricted and unrestricted fund balance is available. The City first utilizes committed, then assigned and then unassigned fund balance when an expenditure is incurred for purposes for which all three unrestricted fund balances are available.

The following is a schedule of fund balance classifications for the governmental funds as of the date of this report:

	Special Revenue		Capital Projects			
	General	Library	Parks and Recreation	Citywide Capital	Nonmajor	Totals
Fund Balances						
Nonspendable						
Prepays	\$ 85,744	568	17,698	-	-	104,010
Restricted						
IMRF	458,685	-	-	-	-	458,685
Library Operations	-	636,963	-	-	-	636,963
Motor Fuel Tax	-	-	-	-	635,382	635,382
Special Service Areas	-	-	-	-	10,485	10,485
	458,685	636,963	-	-	645,867	1,741,515
Committed						
Parks and Recreation						
Programs and Facility Improvements	-	-	435,216	-	-	435,216
Assigned						
Capital Projects	-	-	-	629,429	496,042	1,125,471
Unassigned	6,335,394	-	-	-	(1,260,507)	5,074,887
Total Fund Balances	6,879,823	637,531	452,914	629,429	(118,598)	8,481,099

Nonspendable Fund Balance. Consists of resources that cannot be spent because they are either: a) not in a spendable form; or b) legally or contractually required to be maintained intact.

Restricted Fund Balance. Consists of resources that are restricted to specific purposes, that is, when constraints placed on the use of resources are either: a) externally imposed by creditors (such as through debt covenants), grantors, contributors, or laws or regulations of other governments; or b) imposed by law through constitutional provisions or enabling legislation.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 3 – DETAIL NOTES ON ALL FUNDS – Continued

FUND BALANCE CLASSIFICATIONS – Continued

Committed Fund Balance. Consists of resources constrained (issuance of an ordinance) to specific purposes by the government itself, using its highest level of decision-making authority, Members of the City Council; to be reported as committed, amounts cannot be used for any other purpose unless the government takes the same highest-level action to remove or change the constraint.

Assigned Fund Balance. Consists of amounts that are constrained by Members of the City Council' intent to be used for specific purposes but are neither restricted nor committed. Intent is expressed by a) Members of the City Council itself or b) a body or official to which Members of the City Council has delegated the authority to assign amounts to be used for specific purposes. The City's highest level of decision-making authority is Members of the City Council, who is authorized to assign amounts to a specific purpose.

Unassigned Fund Balance. Consists of residual net resources of a fund that has not been restricted, committed, or assigned within the General Fund and deficit fund balances of other governmental funds.

Minimum Fund Balance Policy. The City's policy states that the General fund should maintain a minimum unrestricted fund balance of no less than 30% of the annual appropriations budget.

Net Position Restatement

Beginning net position was restated due to the implementation of GASB Statement No. 75. The following is a summary of the net position as originally reported and as restated:

Net Position	As Reported	As Restated	Increase/ (Decrease)
Governmental Activities	\$ 76,877,897	75,906,610	(971,287)
Business-Type Activities	62,141,788	62,035,804	(105,984)
Sewer Fund	32,190,740	32,157,752	(32,988)
Water Fund	29,951,048	29,878,052	(72,996)

NOTE 4 – OTHER INFORMATION

RISK MANAGEMENT

The City is exposed to various risks of loss related to torts; theft of, damage to and destruction of assets; errors and omissions; natural disasters; and injuries to the City's employees. The City has purchased insurance from private insurance companies. Risks covered included certain types of liabilities and bonds. Premiums have been displayed as expenditures/expenses in appropriate funds. There were no significant changes in insurance coverages from the prior year and settlements did not exceed insurance coverage in any of the past three fiscal years.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

CONTINGENT LIABILITIES

Litigation

The City is a defendant in various lawsuits. Although the outcome of these lawsuits is not presently determinable, in the opinion of the City's attorney, the resolution of these matters will not have a material adverse effect on the financial condition of the City.

Grants

Amounts received or receivable from grantor agencies are subject to audit and adjustment by grantor agencies, principally the federal government. Any disallowed claims, including amounts already collected, may constitute a liability of the applicable funds. The amount, if any, of expenditures which may be disallowed by the grantor cannot be determined at this time although the City expects such amounts, if any, to be immaterial.

COMMITMENTS

Agreements with Developers – Governmental Activities

Under a Development/Economic Initiative Agreement entered into in March of 2001, the City agreed to reimburse eligible costs associated with a development located at Route 47 and Route 34. Eligible costs of \$2,074,833 and accrued interest at 5% are to be reimbursed from 50% of the sales tax generated in the development, limited to a period of eighteen years. Through April 30, 2019, the City has reimbursed \$2,773,246 including \$189,398 in the current year. All payments have been recorded as an expenditure of the General Fund.

Under a Development and Annexation Agreement entered into in July of 2000, amended in October of 2001, the City agreed to reimburse eligible costs associated with a development located at Route 47 and Kennedy Road. Eligible costs of \$5,977,027 are to be reimbursed from 50% of the sales tax generated in the development. Through April 30, 2019, the City has reimbursed \$2,844,066, including \$221,089 in the current year. All payments have been recorded as an expenditure of the General Fund.

Under an Annexation Agreement entered into in April of 2006, the City agreed to reimburse eligible costs associated with a development located at Route 47 between Base Line Road and Corneils Road. Eligible costs are to be reimbursed from 55% of City Admissions Taxes collected, limited to a period of ten years. Through April 30, 2019, the City has reimbursed \$1,177,720, including \$148,133 in the current year. All payments have been recorded as an expenditure of the General Fund. The agreement was amended in August of 2011 to rebate 100% of admissions tax received by the City from the developer for a period of ten years, and the admissions tax rate was decreased from 5% to 2.75%. The 100% rebate went into effect beginning with the 2013 fiscal year.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

COMMITMENTS – Continued

Agreements with Developers – Governmental Activities – Continued

Under a Development/Economic Initiative Agreement entered into in January of 2007, the City agreed to reimburse eligible costs associated with a development located at Route 47 and Corneils Road. Eligible costs of \$287,392 are to be reimbursed from 50% of the sales tax generated in the development, limited to a period of twenty years. Through April 30, 2019, the City has reimbursed \$23,404, including \$0 in the current year. All payments have been recorded as an expenditure of the General Fund.

Under a Development Agreement entered into in June of 2007, the City agreed to create a business district in the area around Route 34 and Cannonball Trail. Under the agreement, 50% of sales tax and 100% of the business district tax generated in the district are remitted by the City to an escrow agent to pay the debt service on the Special Service Area Revenue Bonds of 2007. The bonds are secured solely by the pledged revenues and are not obligations of the City and are therefore not recorded on the City's books. All payments have been recorded as an expenditure of the General Fund. Expenditures in the current year were \$430,543 for sales taxes and \$355,617 in business district taxes.

In February of 2011, the City amended a Development/Economic Initiative Agreement dated April 2007. Under the original agreement, the City agreed to reimburse 20% of eligible costs associated with a development located at Route 47 and Fountainview Drive from 50% of the sales tax generated in the development, limited to a period of twenty years. Under the amended agreement, the City will hold the sales tax rebates in an escrow account until certain land improvements has been completed. Through April 30, 2019, the City is holding \$18,122 in escrow, including \$3,349 in the current year. All payments have been recorded as an expenditure of the General Fund.

Under a Development/Economic Initiative Agreement entered into on December 22, 2011 the City agreed to reimburse eligible costs associated with a development located west of Route 47 and north of Cannonball Trail on Boombah Boulevard. Through April 30, 2019, the City has reimbursed \$65,685, including \$10,905 in the current year. All payments have been recorded as an expenditure of the General Fund.

Under development agreements entered into in April 2012, the City agreed to reimburse eligible costs associated with a development located at within the Downtown TIF district. Eligible costs are to be reimbursed from 85% of the incremental property tax and 100% of the business district tax generated in the development, through December 31, 2029. Through April 30, 2019, the City has reimbursed \$109,127 in incremental property taxes and \$104,054 in business district taxes. Incremental property tax payments have been recorded as an expenditure of the Downtown TIF Fund and the Business District Tax Rebates have been recorded as an expenditure of the General Fund.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

COMMITMENTS – Continued

Agreements with Developers – Governmental Activities – Continued

Under a Development/Economic Initiative Agreement entered into on September 18, 2012 the City agreed to reimburse eligible costs associated with a development located at 704 East Veterans Parkway. Eligible costs of \$30,740 are to be reimbursed from 50% of the sales tax generated in the development, limited to a period of ten years. Through April 30, 2019, the City has reimbursed \$26,507, including \$4,219 in the current year. All payments have been recorded as an expenditure of the General Fund.

Under a development agreement entered into in May 2013, the City agreed to reimburse eligible costs associated with a development located at Route 34 and Route 47 in the Countryside TIF district. Eligible costs are to be reimbursed from 50% of the amusement tax and 100% of the business district tax generated in the development, limited to a period of 10 years. Through April 30, 2019, the City has reimbursed \$285,155 in amusement taxes and \$54,509 in business district taxes. Amusement tax rebate expenditures have been recorded in the General Fund of \$44,548 and Business District rebate expenditures have been recorded in the General Fund of \$10,227.

Under a Development/Economic Initiative Agreement entered into in March of 2016, the City agreed to reimburse eligible costs associated with a development located within the Fountainview Subdivision. Eligible costs of \$95,000 are to be reimbursed from 50% of the sales tax generated in the development, limited to a period of ten years. Through April 30, 2019, the City has reimbursed \$7,108, including \$3,417 in the current year. All payments have been recorded as an expenditure of the General Fund.

Under a Development/Economic Initiative Agreement entered into in April of 2019, the City agreed to accept all previously constructed public improvements and complete all remaining infrastructure improvements in the Raintree Subdivision Special Service Area, as stipulated in the agreement. The Developer has agreed to acquire certain vacant lots within the Raintree Subdivision on or before December 31, 2019. After acquisition of the subject property, the Developer further agrees to pay certain impact fees and other contributions to the City at agreed upon timeframes and complete construction on certain dwelling units. Should the Developer fail to acquire the subject property before December 31, 2019 the Agreement becomes void.

Agreements with Developers – Business-Type Activities

Under an agreement entered into in December of 2002, the City and developer of the Raintree Village subdivision agreed to reimburse the costs of sanitary sewer over-sizing within the development. The amount of eligible expenses to be reimbursed by the City totals \$1,154,718, of which \$1,132,819 has been paid through April 30, 2019. The remaining balance, \$30,643, is subject to interest based on the twelve month LIBOR. Annual sewer charges assessed on the residents of the subdivision are earmarked to repay this obligation. The related sanitary sewer infrastructure was accepted by the City as an asset in December of 2007. This amount is recorded in the Sewer Fund.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

COMMITMENTS – Continued

Agreements with Developers – Business-Type Activities – Continued

Under a reimbursement agreement entered into in August of 2003, the City and the developer of the Fox Hill subdivision agreed to reimburse eligible costs associated with the construction and over-sizing of water and sewer infrastructure lines within the area. Eligible costs are to be paid to the developer within twenty years of the agreement. This agreement was amended in April 2006 to include additional costs. Total eligible costs were \$807,847, which accrues compounded interest of 5% annually. Interest for a portion of eligible costs was computed back to January 1, 1995. Total interest to date is \$1,356,413. The amount recorded as a liability, including interest, as of April 30, 2019 is \$2,164,260. 52% of this amount is recorded in the Water Fund. The remaining 48% of this amount is recorded in the Sewer Fund.

Hotel/Motel Tax Rebates

All hotels and motels located within the City limits are required to pay a tax of 3% based on the gross rental receipts from the renting, leasing or letting of a hotel or motel room. Proceeds from the hotel/motel tax are remitted to the Aurora Area Convention & Visitors Bureau (AACVB) for the purposes of promoting tourism and conventions within Yorkville, pursuant to State Statute. The City has recorded \$69,807 in rebates in the General Fund for the fiscal year ended April 30, 2019.

EMPLOYEE RETIREMENT SYSTEM – DEFINED BENEFIT PENSION PLANS

The City contributes to two defined benefit pension plans, the Illinois Municipal Retirement Fund, a defined benefit agent multiple-employer public employee retirement system and the Police Pension Plan which is a single-employer pension plan. A separate report is issued for the Police Pension Plan and may be obtained by writing to the City at 804 Game Farm Road, Yorkville, Illinois 60560. IMRF does issue a publicly available financial report that includes financial statements and required supplementary information for the plan as a whole, but not by individual employer. That report may be obtained on-line at www.imrf.org. The benefit, benefit levels, employee contributions, and employer contributions are governed by Illinois Compiled Statutes (ILCS) and can only be amended by the Illinois General Assembly.

The aggregate amount of pension expense recognized for the two pension plans is:

IMRF	\$ 378,659
Police Pension	1,449,582
	<u>1,828,241</u>

Plan Descriptions

Plan Administration. All employees (other than those covered by the Police Pension Plan) hired in positions that meet or exceed the prescribed annual hourly standard must be enrolled in IMRF as participating members. The plan is accounted for on the economic resources measurement focus and the accrual basis of accounting. Employer and employee contributions are recognized when earned in the year that the contributions are required, benefits and refunds are recognized as an expense and liability when due and payable.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

EMPLOYEE RETIREMENT SYSTEM – DEFINED BENEFIT PENSION PLANS – Continued

Illinois Municipal Retirement (IMRF)

Plan Descriptions – Continue

Benefits Provided. IMRF has three benefit plans. The vast majority of IMRF members participate in the Regular Plan (RP). The Sheriff's Law Enforcement Personnel (SLEP) plan is for sheriffs, deputy sheriffs, and selected police chiefs. Counties could adopt the Elected County Official (ECO) plan for officials elected prior to August 8, 2011 (the ECO plan was closed to new participants after that date).

IMRF provides two tiers of pension benefits. Employees hired *before* January 1, 2011, are eligible for Tier 1 benefits. Tier 1 employees are vested for pension benefits when they have at least eight years of qualifying service credit. Tier 1 employees who retire at age 55 (at reduced benefits) or after age 60 (at full benefits) with eight years of service are entitled to an annual retirement benefit, payable monthly for life, in an amount equal to 1-2/3% of the final rate of earnings for the first 15 years of service credit, plus 2% for each year of service credit after 15 years to a maximum of 75% of their final rate of earnings. Final rate of earnings is the highest total earnings during any consecutive 48 months within the last 10 years of service, divided by 48. Under Tier 1, the pension is increased by 3% of the original amount on January 1 every year after retirement.

Employees hired *on or after* January 1, 2011, are eligible for Tier 2 benefits. For Tier 2 employees, pension benefits vest after ten years of service. Participating employees who retire at age 62 (at reduced benefits) or after age 67 (at full benefits) with ten years of service are entitled to an annual retirement benefit, payable monthly for life, in an amount equal to 1-2/3% of the final rate of earnings for the first 15 years of service credit, plus 2% for each year of service credit after 15 years to a maximum of 75% of their final rate of earnings. Final rate of earnings is the highest total earnings during any 96 consecutive months within the last 10 years of service, divided by 96. Under Tier 2, the pension is increased on January 1 every year after retirement, upon reaching age 67, by the *lesser* of:

- 3% of the original pension amount, or 1/2 of the increase in the Consumer Price Index of the original pension amount.

Plan Membership. As of December 31, 2018, the measurement date, the following employees were covered by the benefit terms:

Inactive Plan Members Currently Receiving Benefits	46
Inactive Plan Members Entitled to but not yet Receiving Benefits	53
Active Plan Members	<u>50</u>
Total	<u><u>149</u></u>

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

EMPLOYEE RETIREMENT SYSTEM – DEFINED BENEFIT PENSION PLANS – Continued

Illinois Municipal Retirement (IMRF) – Continued

Plan Descriptions – Continued

Contributions. As set by statute, the City's Regular Plan Members are required to contribute 4.5% of their annual covered salary. The statute requires employers to contribute the amount necessary, in addition to member contributions, to finance the retirement coverage of its own employees. For the year-ended April 30, 2019, the City's contribution was 10.00% of covered payroll.

Net Pension Liability. The City's net pension liability was measured as of December 31, 2018. The total pension liability used to calculate the net pension liability was determined by an actuarial valuation as of that date.

Actuarial Assumptions. The total pension liability was determined by an actuarial valuation performed, as of December 31, 2018, using the following actuarial methods and assumptions:

Actuarial Cost Method	Entry Age Normal
Asset Valuation Method	Market
Actuarial Assumptions	
Interest Rate	7.25%
Salary Increases	3.39% to 14.25%
Cost of Living Adjustments	2.50%
Inflation	2.50%

For non-disabled retirees, an IMRF specific mortality table was used with fully generational projection scale MP-2017 (base year 2015). The IMRF specific rates were developed from the RP-2014 Blue Collar Health Annuitant Mortality Table with adjustments to match current IMRF experience. For disabled retirees, an IMRF specific mortality table was used with fully generational projection scale MP-2017 (base year 2015). The IMRF specific rates were developed from the RP-2014 Disabled Retirees Mortality Table applying the same adjustment that were applied for non-disabled lives. For active members, an IMRF specific mortality table was used with fully generational projection scale MP-2017 (base year 2015). The IMRF specific rates were developed from the RP-2014 Employee Mortality Table with adjustments to match current IMRF experience.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

EMPLOYEE RETIREMENT SYSTEM – DEFINED BENEFIT PENSION PLANS – Continued

Illinois Municipal Retirement (IMRF) – Continued

Plan Descriptions – Continued

Actuarial Assumptions – Continued. The long-term expected rate of return on pension plan investments was determined using a building-block method in which best-estimate ranges of expected future real rates of return (expected returns, net of pension plan investment expense, and inflation) are developed for each major asset class. These ranges are combined to produce the long-term expected rate of return by weighting the expected future real rates of return to the target asset allocation percentage and adding expected inflation. The target allocation and best estimates of geometric real rates of return for each major asset class are summarized in the following table:

Asset Class	Target	Long-Term Expected Real Rate of Return
Fixed Income	28.00%	3.75%
Domestic Equities	37.00%	7.15%
International Equities	18.00%	7.25%
Real Estate	9.00%	6.25%
Blended	7.00%	3.20% - 8.50%
Cash and Cash Equivalents	1.00%	2.50%

Discount Rate

The discount rate used to measure the total pension liability was 7.25% and 7.50% in the prior valuation. The projection of cash flows used to determine the discount rate assumed that member contributions will be made at the current contribution rate and that City contributions will be made at rates equal to the difference between the actuarially determined contribution rates and the member rate. Based on those assumptions, the Fund's fiduciary net position was projected to be available to make all project future benefit payments of current plan members. Therefore, the long-term expected rate of return on pension plan investments was applied to all period of projected benefit payments to determine the total pension liability.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

EMPLOYEE RETIREMENT SYSTEM – DEFINED BENEFIT PENSION PLANS – Continued

Illinois Municipal Retirement (IMRF) – Continued

Discount Rate Sensitivity

The following is a sensitivity analysis of the net pension liability to changes in the discount rate. The table below presents the pension liability of the City calculated using the discount rate as well as what the City's net pension liability would be if it were calculated using a discount rate that is one percentage point lower or one percentage point higher than the current rate:

	1% Decrease (6.25%)	Current Discount Rate (7.25%)	1% Increase (8.25%)
Net Pension Liability	\$ 4,543,465	2,189,636	315,097

Changes in the Net Pension Liability

	Total Pension Liability (A)	Plan Fiduciary Net Position (B)	Net Pension Liability (A) - (B)
Balances at December 31, 2017	\$ 12,389,644	12,322,723	66,921
Changes for the Year:			
Service Cost	316,829	-	316,829
Interest on the Total Pension Liability	924,525	-	924,525
Difference Between Expected and Actual Experience of the Total Pension Liability	507,597	-	507,597
Changes of Assumptions	508,408	-	508,408
Contributions - Employer	-	365,769	(365,769)
Contributions - Employees	-	167,364	(167,364)
Net Investment Income	-	(594,987)	594,987
Benefit Payments, including Refunds of Employee Contributions	(442,124)	(442,124)	-
Other (Net Transfer)	-	196,498	(196,498)
Net Changes	1,815,235	(307,480)	2,122,715
Balances at December 31, 2018	14,204,879	12,015,243	2,189,636

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

EMPLOYEE RETIREMENT SYSTEM – DEFINED BENEFIT PENSION PLANS – Continued

Illinois Municipal Retirement (IMRF) – Continued

Pension Expense, Deferred Outflows of Resources, and Deferred Inflows of Resources Related to Pensions

For the year ended April 30, 2019, the City recognized pension expense of \$378,659. At April 30, 2019, the City reported deferred outflows of resources and deferred inflows of resources related to pensions from the following sources:

	Deferred Outflows of Resources	Deferred Inflows of Resources	Totals
Difference Between Expected and Actual Experience	\$ 470,935	-	470,935
Change in Assumptions	387,278	(243,971)	143,307
Net Difference Between Projected and Actual Earnings on Pension Plan Investments	784,729	-	784,729
Total Expenses to be Recognized in Future Periods	1,642,942	(243,971)	1,398,971
Pension Contributions Made Subsequent to the Measurement Date	97,445	-	97,445
Total Deferred Amounts Related to IMRF	1,740,387	(243,971)	1,496,416

The \$97,445 reported as deferred outflows of resources related to pensions resulting from employer contributions subsequent to the measurement date and will be recognized as a reduction of the net pension liability in the reporting year ended April 30, 2020. Amounts reported as deferred outflows of resources and deferred inflows of resources related to pensions will be recognized in pension expense in future periods as follows:

Fiscal Year	Net Deferred Outflows of Resources
2020	\$ 435,535
2021	288,255
2022	321,451
2023	353,730
2024	-
Thereafter	-
Total	1,398,971

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

EMPLOYEE RETIREMENT SYSTEM – DEFINED BENEFIT PENSION PLANS – Continued

Police Pension Plan

Plan Descriptions

Plan Administration. The Police Pension Plan is a single-employer defined benefit pension plan that covers all sworn police personnel. The defined benefits and employee and minimum employer contribution levels are governed by Illinois Compiled Statutes (40 ILCS 5/3-1) and may be amended only by the Illinois legislature. The City accounts for the Fund as a pension trust fund. The Fund is governed by a five-member pension board. Two members of the Board are appointed by the City Mayor, one member is elected by pension beneficiaries and two members are elected by active police employees.

Plan Membership. At April 30, 2019, the measurement date, membership consisted of the following:

Inactive Plan Members Currently Receiving Benefits	10
Inactive Plan Members Entitled to but not yet Receiving Benefits	6
Active Plan Members	<u>28</u>
Total	<u>44</u>

Benefits Provided. The following is a summary of the Police Pension Plan as provided for in Illinois State Statutes.

The Police Pension Plan provides retirement benefits through two tiers of benefits as well as death and disability benefits. Covered employees hired before January 1, 2011 (Tier 1), attaining the age of 50 or older with 20 or more years of creditable service are entitled to receive an annual retirement benefit of $\frac{1}{2}$ of the salary attached to the rank held on the last day of service, or for one year prior to the last day, whichever is greater. The annual benefit shall be increased by 2.5 percent of such salary for each additional year of service over 20 years up to 30 years, to a maximum of 75 percent of such salary. Employees with at least eight years but less than 20 years of credited service may retire at or after age 60 and receive a reduced benefit. The monthly benefit of a police officer who retired with 20 or more years of service after January 1, 1977 shall be increased annually, following the first anniversary date of retirement and be paid upon reaching the age of at least 55 years, by 3 percent of the original pension and 3 percent compounded annually thereafter.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

EMPLOYEE RETIREMENT SYSTEM – DEFINED BENEFIT PENSION PLANS – Continued

Police Pension Plan – Continued

Plan Descriptions – Continued

Benefits Provided – Continued. Covered employees hired on or after January 1, 2011 (Tier 2), attaining the age of 55 or older with 10 or more years of creditable service are entitled to receive an annual retirement benefit equal to the average monthly salary obtained by dividing the total salary of the police officer during the 96 consecutive months of service within the last 120 months of service in which the total salary was the highest by the number of months of service in that period. Police officer salary for the pension purposes is capped at \$106,800, plus the lesser of ½ of the annual change in the Consumer Price Index or 3 percent compounded. The annual benefit shall be increased by 2.5 percent of such a salary for each additional year of service over 20 years up to 30 years to a maximum of 75 percent of such salary. Employees with at least 10 years may retire at or after age 50 and receive a reduced benefit (i.e., ½ percent for each month under 55). The monthly benefit of a Tier 2 police officer shall be increased annually at age 60 on the January 1st after the police officer retires, or the first anniversary of the pension starting date, whichever is later. Noncompounding increases occur annually, each January thereafter. The increase is the lesser of 3 percent of ½ of the change in the Consumer Price Index for the proceeding calendar year.

Contributions. Covered employees are required to contribute 9.91% of their base salary to the Police Pension Plan. If an employee leaves covered employment with less than 20 years of service, accumulated employee contributions may be refunded without accumulated interest. The City is required to contribute the remaining amounts necessary to finance the plan and the administrative costs as actuarially determined by an enrolled actuary. However, effective January 1, 2011, ILCS requires the City to contribute a minimum amount annually calculated using the projected unit credit actuarial cost method that will result in the funding of 90% of the past service cost by the year 2040. For the year-ended April 30, 2019, the City's contribution was 39.33% of covered payroll.

Concentrations. At year end, the Pension Plan did not have any investments (other than investments issued or explicitly guaranteed by the U.S. government and investments in mutual funds, external investment pools, and other pooled investments), in any one organization that represent 5 percent or more of net position available for benefits.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

EMPLOYEE RETIREMENT SYSTEM – DEFINED BENEFIT PENSION PLANS – Continued

Police Pension Plan – Continued

Actuarial Assumptions

The total pension liability was determined by an actuarial valuation performed, as of April 30, 2019, using the following actuarial methods and assumptions:

Actuarial Cost Method	Entry Age Normal
Asset Valuation Method	Market
Actuarial Assumptions	
Interest Rate	7.00%
Salary Increases	5.00%
Cost of Living Adjustments	2.50%
Inflation	2.50%

Mortality rates were based on the RP-2014 base rates with blue collar adjustment projected from 2013 with scale MP2018 fully generationally.

Discount Rate

The discount rate used to measure the total pension liability was 7.00%, the same as the prior valuation. The projection of cash flows used to determine the discount rate assumed that member contributions will be made at the current contribution rate and that City contributions will be made at rates equal to the difference between the actuarially determined contribution rates and the member rate. Based on those assumptions, the Fund's fiduciary net position was projected to be available to make all project future benefit payments of current plan members. Therefore, the long-term expected rate of return on pension plan investments was applied to all period of projected benefit payments to determine the total pension liability.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

EMPLOYEE RETIREMENT SYSTEM – DEFINED BENEFIT PENSION PLANS – Continued

Police Pension Plan – Continued

Discount Rate Sensitivity

The following is a sensitive analysis of the net pension liability to changes in the discount rate. The table below presents the pension liability of the City calculated using the discount rate as well as what the City's net pension liability would be if it were calculated using a discount rate that is one percentage point lower or one percentage point higher than the current rate:

	1% Decrease (6.00%)	Current Discount Rate (7.00%)	1% Increase (8.00%)
Net Pension Liability	\$ 15,592,605	11,698,805	8,613,346

Changes in the Net Pension Liability

	Total Pension Liability (A)	Plan Fiduciary Net Position (B)	Net Pension Liability (A) - (B)
Balances at April 30, 2018	\$ 19,956,293	9,089,102	10,867,191
Changes for the Year:			
Service Cost	650,245	-	650,245
Interest on the Total Pension Liability	1,374,562	-	1,374,562
Difference Between Expected and Actual Experience of the Total Pension Liability	105,712	-	105,712
Changes of Assumptions	612,775	-	612,775
Contributions - Employer	-	963,361	(963,361)
Contributions - Employees	-	243,941	(243,941)
Net Investment Income	-	717,071	(717,071)
Benefit Payments, including Refunds of Employee Contributions	(597,064)	(597,064)	-
Administrative Expense	-	(12,693)	12,693
Net Changes	2,146,230	1,314,616	831,614
Balances at April 30, 2019	22,102,523	10,403,718	11,698,805

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

EMPLOYEE RETIREMENT SYSTEM – DEFINED BENEFIT PENSION PLANS – Continued

Police Pension Plan – Continued

Pension Expense, Deferred Outflows of Resources, and Deferred Inflows of Resources Related to Pensions

For the year ended April 30, 2019, the City recognized pension expense of \$1,449,582. At April 30, 2019, the City reported deferred outflows of resources and deferred inflows of resources related to pensions from the following sources:

	Deferred Outflows of Resources	Deferred Inflows of Resources	Totals
Difference Between Expected and Actual Experience	\$ 269,928	(1,187,005)	(917,077)
Change in Assumptions	1,259,226	(368,201)	891,025
Net Difference Between Projected and Actual Earnings on Pension Plan Investments	97,933	-	97,933
Total Deferred Amounts Related to Police Pension	1,627,087	(1,555,206)	71,881

Amounts reported as deferred outflows of resources and deferred inflows of resources related to pensions will be recognized in pension expense in future periods as follows:

Fiscal Year	Net Deferred Outflows/(Inflows) of Resources
2020	\$ 277,524
2021	102,322
2022	(73,630)
2023	(99,161)
2024	(80,050)
Thereafter	(55,124)
Total	71,881

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements

April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

OTHER POST-EMPLOYMENT BENEFITS

General Information about the OPEB Plan

Plan Description. The City's defined benefit OPEB plan, Retiree Benefits Plan (RBP), provides OPEB for all permanent full-time general and public safety employees of the City. RBP is a single-employer defined benefit OPEB plan administered by the City. Article 11 of the State Compiled Statutes grants the authority to establish and amend the benefit terms and financing requirements to the City Board. No assets are accumulated in a trust that meets the criteria in paragraph 4 of Statement 75.

Benefits Provided. RBP provides coverage under the City of Yorkville group health program by contributing the monthly premium to retirees and their dependents.

Plan Membership. As of April 30, 2019, the measurement date, the following employees were covered by the benefit terms:

Inactive Plan Members Currently Receiving Benefits	10
Inactive Plan Members Entitled to but not yet Receiving Benefits	-
Active Plan Members	<u>77</u>
Total	<u><u>87</u></u>

Total OPEB Liability

The City's total OPEB liability was measured as of April 30, 2019, and was determined by an actuarial valuation as of that date.

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

OTHER POST-EMPLOYMENT BENEFITS – Continued

Actuarial Assumptions and Other Inputs. The total OPEB liability in the April 30, 2019 actuarial valuation was determined using the following actuarial assumptions and other inputs, applied to all periods included in the measurement, unless otherwise specified:

Inflation	3.50%
Salary Increases	3.50%
Discount Rate	3.79%
Healthcare Cost Trend Rates	9.5% for 2019, decreasing 0.5% per year to an ultimate rate of 4.0% for 2027 and later years
Retirees' Share of Benefit-Related Costs	100% of projected health insurance premiums for retirees

The discount rate was based upon the expected rate of return associated with funded benefits, and unfunded benefits, the 20-year muni bond rate..

Mortality rates were based on the RP-2014 Blue Collar base rates projected to 2018 using scale MP2018 for Police. For all others the RP-2014 base rates projected to 2018 using scale MP2018 was used.

Change in the Total OPEB Liability

	Total OPEB Liability
Balance at April 30, 2018	<u>\$ 1,077,271</u>
Changes for the Year:	
Service Cost	43,413
Interest on the Total Pension Liability	40,335
Changes of Benefit Terms	-
Difference Between Expected and Actual Experience	-
Changes of Assumptions or Other Inputs	12,225
Benefit Payments	<u>(122,570)</u>
Net Changes	<u>(26,597)</u>
Balance at April 30, 2019	<u><u>1,050,674</u></u>

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

OTHER POST-EMPLOYMENT BENEFITS – Continued

Sensitivity of the Total OPEB Liability to Changes in the Discount Rate

The following presents the total OPEB liability, calculated using a Single Discount Rate of 3.79%, as well as what the total OPEB liability would be if it were calculated using a Single Discount Rate that is one percentage point lower or one percentage point higher:

	1% Decrease (2.79%)	Current Discount Rate (3.79%)	1% Increase (4.79%)
Total OPEB Liability	\$ 1,120,908	1,050,674	984,522

Sensitivity of the Total OPEB Liability to Changes in the Healthcare Cost Trend Rates

The following presents the total OPEB liability, calculated using a Healthcare Trend Rate of 8.00%, as well as what the total OPEB liability would be if it were calculated using a Healthcare Trend Rate that is one percentage point lower or one percentage point higher:

	(7.00% Decreasing to 3.00%)	Healthcare Cost Trend Rates (8.00% Decreasing to 4.00%)	(9.00% Decreasing to 5.00%)
Total OPEB Liability	\$ 958,057	1,050,674	1,159,990

UNITED CITY OF YORKVILLE, ILLINOIS

Notes to the Financial Statements April 30, 2019

NOTE 4 – OTHER INFORMATION – Continued

OTHER POST-EMPLOYMENT BENEFITS – Continued

OPEB Expense and Deferred Outflows of Resources and Deferred Inflows of Resources Related to OPEB

For the year ended April 30, 2019, the City recognized OPEB expense of \$84,543. At April 30, 2019, the City reported deferred outflows of resources and deferred inflows of resources related to OPEB from the following sources:

	Deferred Outflows of Resources	Deferred Inflows of Resources	Totals
Difference Between Expected and Actual Experience	\$ -	-	-
Change in Assumptions	11,430	-	11,430
Net Difference Between Projected and Actual Earnings on Pension Plan Investments	-	-	-
Total Deferred Amounts Related to OPEB	11,430	-	11,430

Amounts reported as deferred outflows of resources and deferred inflows of resources related to OPEB will be recognized in OPEB expense as follows:

Fiscal Year	Net Deferred Outflows of Resources
2020	\$ 795
2021	795
2022	795
2023	795
2024	795
Thereafter	7,455
Total	11,430

REQUIRED SUPPLEMENTARY INFORMATION

Required supplementary information includes financial information and disclosures that are required by the GASB but are not considered a part of the basic financial statements. Such information includes:

- Schedule of Employer Contributions
 - Illinois Municipal Retirement Fund
 - Police Pension Fund
- Schedule of Changes in the Employer's Net Pension Liability
 - Illinois Municipal Retirement Fund
 - Police Pension Fund
- Schedule of Investment Returns
 - Police Pension Fund
- Schedule of Changes in the Employer's Total OPEB Liability
 - Retiree Benefit Plan
- Budgetary Comparison Schedule
 - General Fund
 - Library – Special Revenue Fund
 - Parks and Recreation – Special Revenue Fund

Notes to the Required Supplementary Information

Budgetary Information – Budgets are adopted on a basis consistent with generally accepted accounting principles.

UNITED CITY OF YORKVILLE, ILLINOIS

Illinois Municipal Retirement Fund

Required Supplementary Information

Schedule of Employer Contributions

April 30, 2019

Fiscal Year	Actuarially Determined Contribution	Contributions in Relation to the Actuarially Determined Contribution	Contribution Excess/ (Deficiency)	Covered Payroll	Contributions as a Percentage of Covered Payroll
2016	\$ 311,346	\$ 311,346	\$ -	\$ 2,853,781	10.91%
2017	308,134	308,134	-	2,898,722	10.63%
2018	344,487	344,487	-	3,217,682	10.71%
2019	350,666	350,666	-	3,506,685	10.00%

Notes to the Required Supplementary Information:

Actuarial Cost Method	Entry Age Normal
Amortization Method	Level % Pay (Closed)
Remaining Amortization Period	25 Years
Asset Valuation Method	5-Year Smoothed Market
Inflation	3.50%
Salary Increases	3.75% - 14.50%
Investment Rate of Return	7.50%
Retirement Age	See the Notes to the Financial Statements
Mortality	IMFR specific mortality table was used with fully generational projection scale MP-2014 (base year 2012).

Note:

This schedule is intended to show information for ten years. Information for additional years will be displayed as it becomes available.

UNITED CITY OF YORKVILLE, ILLINOIS

Police Pension Fund

Required Supplementary Information Schedule of Employer Contributions April 30, 2019

Fiscal Year	Actuarially Determined Contribution	Contributions in Relation to the Actuarially Determined Contribution	Contribution Excess/ (Deficiency)	Covered Payroll	Contributions as a Percentage of Covered Payroll
2015	\$ 571,437	\$ 624,168	\$ 52,731	\$ 2,220,146	28.11%
2016	722,940	722,940	-	2,294,948	31.50%
2017	825,413	825,413	-	2,320,642	35.57%
2018	966,211	966,211	-	2,543,266	37.99%
2019	963,361	963,361	-	2,449,210	39.33%

Notes to the Required Supplementary Information:

Actuarial Cost Method	Entry Age Normal
Amortization Method	Level % Pay (Closed)
Remaining Amortization Period	22 Years
Asset Valuation Method	Market Value
Inflation	2.5%
Salary Increases	5.0%
Investment Rate of Return	7.0%
Retirement Age	50 - 70
Mortality	RP2014 base rates with blue collar adjustment projected from 2013 with Scale MP2018 fully generationally

Note:

This schedule is intended to show information for ten years. Information for additional years will be displayed as it becomes available.

UNITED CITY OF YORKVILLE, ILLINOIS

Illinois Municipal Retirement Fund

Required Supplementary Information Schedule of Changes in the Employer's Net Pension Liability April 30, 2019

	December 31, 2015
Total Pension Liability	
Service Cost	\$ 303,003
Interest	764,628
Changes in Benefit Terms	-
Differences Between Expected and Actual Experience	40,167
Change of Assumptions	-
Benefit Payments, Including Refunds of Member Contributions	(295,309)
Net Change in Total Pension Liability	812,489
Total Pension Liability - Beginning	10,191,193
Total Pension Liability - Ending	11,003,682
Plan Fiduciary Net Position	
Contributions - Employer	\$ 311,346
Contributions - Members	129,289
Net Investment Income	49,844
Benefit Payments, Including Refunds of Member Contributions	(295,309)
Other (Net Transfer)	(289,688)
Net Change in Plan Fiduciary Net Position	(94,518)
Plan Net Position - Beginning	9,896,191
Plan Net Position - Ending	9,801,673
Employer's Net Pension Liability	\$ 1,202,009
Plan Fiduciary Net Position as a Percentage of the Total Pension Liability	89.08%
Covered Payroll	\$ 2,853,781
Employer's Net Pension Liability as a Percentage of Covered Payroll	42.12%

Note: This schedule is intended to show information for ten years. Information for additional years will be displayed as it becomes available.

December 31, 2016	December 31, 2017	December 31, 2018
317,347	330,734	316,829
825,222	887,780	924,525
-	-	-
27,153	132,182	507,597
-	(449,845)	508,408
(318,792)	(365,819)	(442,124)
850,930	535,032	1,815,235
11,003,682	11,854,612	12,389,644
11,854,612	12,389,644	14,204,879
308,134	335,204	365,769
132,252	139,927	167,364
684,949	1,792,699	(594,987)
(318,792)	(365,819)	(442,124)
39,225	(226,729)	196,498
845,768	1,675,282	(307,480)
9,801,673	10,647,441	12,322,723
10,647,441	12,322,723	12,015,243
1,207,171	66,921	2,189,636
89.82%	99.46%	84.59%
2,898,722	3,109,498	3,467,005
41.64%	2.15%	63.16%

UNITED CITY OF YORKVILLE, ILLINOIS

Police Pension Fund

Required Supplementary Information Schedule of Changes in the Employer's Net Pension Liability April 30, 2019

	2015
Total Pension Liability	
Service Cost	\$ 522,029
Interest	986,212
Differences Between Expected and Actual Experience	(483,445)
Change of Assumptions	999,313
Benefit Payments, Including	
Refunds of Member Contributions	(435,435)
Net Change in Total Pension Liability	1,588,674
Total Pension Liability - Beginning	14,306,459
Total Pension Liability - Ending	15,895,133
Plan Fiduciary Net Position	
Contributions - Employer	\$ 624,168
Contributions - Members	214,237
Contributions - Others	-
Net Investment Income	343,590
Benefit Payments, Including	
Refunds of Member Contributions	(435,435)
Administrative Expense	(14,285)
Net Change in Plan Fiduciary Net Position	732,275
Plan Net Position - Beginning	5,690,471
Plan Net Position - Ending	6,422,746
Employer's Net Pension Liability	\$ 9,472,387
Plan Fiduciary Net Position as a	
Percentage of the Total Pension Liability	40.41%
Covered Payroll	\$ 2,220,146
Employer's Net Pension Liability as a	
Percentage of Covered Payroll	426.66%

Note: This schedule is intended to show information for ten years. Information for additional years will be displayed as it becomes available.

2016	2017	2018	2019
576,907	611,857	589,463	650,245
1,097,143	1,283,144	1,349,196	1,374,562
322,766	123,907	(1,529,007)	105,712
1,116,723	(565,454)	498,740	612,775
(443,314)	(469,494)	(501,417)	(597,064)
2,670,225	983,960	406,975	2,146,230
15,895,133	18,565,358	19,549,318	19,956,293
18,565,358	19,549,318	19,956,293	22,102,523
722,940	825,413	966,211	963,361
222,736	234,058	249,421	243,941
-	32,388	-	-
(30,493)	473,420	421,975	717,071
(443,314)	(469,494)	(501,417)	(597,064)
(13,448)	(11,774)	(12,266)	(12,693)
458,421	1,084,011	1,123,924	1,314,616
6,422,746	6,881,167	7,965,178	9,089,102
6,881,167	7,965,178	9,089,102	10,403,718
11,684,191	11,584,140	10,867,191	11,698,805
37.06%	40.74%	45.55%	47.07%
2,294,948	2,320,642	2,543,266	2,449,210
509.13%	499.18%	427.29%	477.66%

UNITED CITY OF YORKVILLE, ILLINOIS

Police Pension Fund

**Required Supplementary Information
Schedule of Investment Returns
April 30, 2019**

Fiscal Year	Annual Money- Weighted Rate of Return, Net of Investment Expense
2015	5.89%
2016	(0.43%)
2017	6.54%
2018	5.09%
2019	7.56%

Note:

This schedule is intended to show information for ten years. Information for additional years will be displayed as it becomes available.

UNITED CITY OF YORKVILLE, ILLINOIS

Retiree Benefit Plan

Required Supplementary Information

Schedule of Changes in the Employer's Total OPEB Liability

April 30, 2019

	4/30/2019
Total OPEB Liability	
Service Cost	\$ 43,413
Interest	40,335
Changes in Benefit Terms	-
Differences Between Expected and Actual Experience	-
Change of Assumptions or Other Inputs	12,225
Benefit Payments	(122,570)
Net Change in Total OPEB Liability	(26,597)
Total OPEB Liability - Beginning	1,077,271
Total OPEB Liability - Ending	1,050,674
Covered Payroll	\$ 5,675,523
Total OPEB Liability as a Percentage of Covered Payroll	18.51%

Notes:

This schedule is intended to show information for ten years. Information for additional years will be displayed as it becomes available.

Changes of Benefit Terms. There was no change in the retirees' share of health insurance premiums.

Changes of Assumptions. Changes of assumptions and other inputs reflect the effects of changes in the trend rate each period. The following are the trend rates used in each period:

Fiscal Year	Medical
2020	7.50%
2021	7.00%
2022	6.50%
2023	6.00%
2024	5.50%
2025	5.00%
2026	4.50%
Ultimate	4.00%

In 2019, there was no change in the healthcare trend rates from the prior year.

UNITED CITY OF YORKVILLE, ILLINOIS

General Fund

Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual For the Fiscal Year Ended April 30, 2019

	Budget		Actual
	Original	Final	
Revenues			
Taxes	\$ 11,014,213	11,014,213	11,232,397
Intergovernmental	2,512,487	2,512,487	2,725,393
Licenses, Permits and Fees	336,000	336,000	552,416
Charges for Services	1,535,112	1,535,112	1,598,662
Fines and Forfeitures	130,400	130,400	100,726
Interest	20,000	20,000	90,327
Miscellaneous	76,750	76,750	92,491
Total Revenues	15,624,962	15,624,962	16,392,412
Expenditures			
General Government	4,782,868	4,782,868	4,700,475
Public Safety	5,536,325	5,645,116	5,351,136
Community Development	829,646	829,646	869,044
Public Works	2,078,155	2,093,255	2,077,940
Total Expenditures	13,226,994	13,350,885	12,998,595
Excess (Deficiency) of Revenues Over (Under) Expenditures	2,397,968	2,274,077	3,393,817
Other Financing Sources (Uses)			
Transfers In	7,000	7,000	29,917
Transfers Out	(2,725,186)	(3,044,911)	(3,040,284)
	(2,718,186)	(3,037,911)	(3,010,367)
Net Change in Fund Balance	(320,218)	(763,834)	383,450
Fund Balance - Beginning			6,496,373
Fund Balance - Ending			6,879,823

UNITED CITY OF YORKVILLE, ILLINOIS**Library - Special Revenue Fund****Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Revenues			
Taxes	\$ 1,464,606	1,464,606	1,457,087
Intergovernmental	18,350	18,350	30,564
Licenses, Permits and Fees	43,200	43,200	103,100
Charges for Services	11,500	11,500	13,466
Fines and Forfeits	8,500	8,500	9,234
Interest	1,750	1,750	11,719
Miscellaneous	6,750	6,750	5,298
Total Revenues	1,554,656	1,554,656	1,630,468
Expenditures			
Library	806,288	806,288	791,441
Debt Service			
Principal Retirement	615,000	615,000	615,000
Interest and Fiscal Charges	178,801	178,801	178,790
Total Expenditures	1,600,089	1,600,089	1,585,231
Excess (Deficiency) of Revenues Over (Under) Expenditures	(45,433)	(45,433)	45,237
Other Financing Sources			
Transfers In	25,179	25,179	23,496
Net Change in Fund Balance	(20,254)	(20,254)	68,733
Fund Balance - Beginning			568,798
Fund Balance - Ending			637,531

UNITED CITY OF YORKVILLE, ILLINOIS**Parks and Recreation - Special Revenue Fund****Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Revenues			
Charges for Services	\$ 430,000	578,000	579,155
Intergovernmental	81,815	81,815	81,815
Grants and Donations	20,000	15,000	14,577
Interest	500	1,500	1,533
Miscellaneous	181,000	209,007	217,280
Total Revenues	713,315	885,322	894,360
Expenditures			
Parks and Recreation			
Park Operations	1,023,743	1,143,164	1,115,901
Recreation Operations	1,062,565	1,109,462	1,074,096
Total Expenditures	2,086,308	2,252,626	2,189,997
Excess (Deficiency) of Revenues Over (Under) Expenditures	(1,372,993)	(1,367,304)	(1,295,637)
Other Financing Sources			
Transfers In	1,274,699	1,274,699	1,274,699
Net Change in Fund Balance	(98,294)	(92,605)	(20,938)
Fund Balance - Beginning			473,852
Fund Balance - Ending			452,914

OTHER SUPPLEMENTARY INFORMATION

Other supplementary information includes financial statements and schedules not required by the GASB, nor a part of the basic financial statements, but are presented for purposes of additional analysis.

Such statements and schedules include:

- Budgetary Comparison Schedules – Major Governmental Funds
- Combining Statements – Nonmajor Governmental Funds
- Budgetary Comparison Schedules – Nonmajor Governmental Funds
- Budgetary Comparison Schedules – Enterprise Funds
- Combining Statement of Changes in Assets and Liabilities – Agency Funds
- Consolidated Year-End Financial Report

MAJOR GOVERNMENTAL FUNDS

GENERAL FUND

The General Fund accounts for all financial resources except those required to be accounted for in another fund.

SPECIAL REVENUE FUND

Special Revenue Funds are created to account for the proceeds of specific revenue sources (other than fiduciary funds or capital project funds) that are legally restricted to expenditure for specified purposes.

Library Fund

The Library Fund is used to account for the activity relating to the Yorkville Public Library.

Parks and Recreation Fund

The Parks and Recreation Fund is used to account for the revenues and expenditures associated with the Yorkville Parks and Recreation departments.

CAPITAL PROJECTS FUND

Capital Projects Funds are created to account for all resources used for the acquisition of capital facilities by a governmental unit except those financed by Proprietary Funds.

Citywide Capital Fund

The Citywide Capital Fund is used to account for financial resources accumulated for maintenance of public infrastructure and to fund new capital improvements that benefit the public.

UNITED CITY OF YORKVILLE, ILLINOIS

General Fund

Schedule of Revenues - Budget and Actual For the Fiscal Year Ended April 30, 2019

	Budget		Actual
	Original	Final	
Taxes			
Property Tax	\$ 3,149,823	3,149,823	3,149,635
Sales Tax	3,009,475	3,009,475	3,070,663
Non-Home Rule Sales Tax	2,339,575	2,339,575	2,358,568
Municipal Utility Tax	943,340	943,340	1,016,669
Excise Tax	325,000	325,000	329,742
Cable TV Franchise Tax	290,000	290,000	301,100
Hotel Tax	80,000	80,000	77,563
Video Gaming Tax	110,000	110,000	145,734
Admissions and Amusement Tax	320,000	320,000	356,448
Business District Tax	434,000	434,000	410,385
Auto Rental Tax	13,000	13,000	15,890
	11,014,213	11,014,213	11,232,397
Intergovernmental			
State Income Taxes	1,822,308	1,822,308	1,966,699
State Use Tax	500,279	500,279	578,328
Township Road and Bridge Tax	135,000	135,000	128,668
Personal Property Replacement Tax	17,000	17,000	16,154
Federal Grants	16,000	16,000	13,553
State Grants	21,000	21,000	21,108
Miscellaneous	900	900	883
	2,512,487	2,512,487	2,725,393
Licenses, Permits and Fees			
Liquor Licenses	56,000	56,000	65,819
Other Licenses	5,000	5,000	10,395
Building Permits	275,000	275,000	476,202
	336,000	336,000	552,416
Charges for Services			
Garbage Surcharge	1,180,225	1,180,225	1,225,500
Collection Fees - Sanitary District	160,000	160,000	178,775
Administrative Chargeback	194,387	194,387	194,387
Police Special Detail	500	500	-
	1,535,112	1,535,112	1,598,662

UNITED CITY OF YORKVILLE, ILLINOIS

General Fund

Schedule of Revenues - Budget and Actual - Continued For the Fiscal Year Ended April 30, 2019

	Budget		Actual
	Original	Final	
Fines and Forfeitures			
Circuit Court Fines	\$ 45,000	45,000	37,822
Administrative Adjudication	30,000	30,000	26,275
Other	400	400	420
Police Tows	55,000	55,000	36,209
	130,400	130,400	100,726
Interest			
Investment Income	20,000	20,000	90,327
Miscellaneous			
Reimbursements			
Engineering	25,000	25,000	-
Liability Insurance	5,000	5,000	2,809
Cable Consortium	20,000	20,000	36,358
Other	11,750	11,750	35,092
Miscellaneous Income	15,000	15,000	18,232
	76,750	76,750	92,491
Total Revenues	15,624,962	15,624,962	16,392,412

UNITED CITY OF YORKVILLE, ILLINOIS

General Fund

Schedule of Detailed Expenditures - Budget and Actual For the Fiscal Year Ended April 30, 2019

	Budget		Actual
	Original	Final	
General Government			
Administration			
Salaries - Mayor	\$ 11,000	11,000	9,570
Salaries - Liquor Commissioner	1,000	1,000	1,000
Salaries - City Clerk	8,000	8,000	7,086
Salaries - City Treasurer	1,000	1,000	1,000
Salaries - Alderman	52,000	52,000	46,825
Salaries - Administration	506,552	506,552	507,566
Retirement Plan Contribution	54,119	54,119	51,208
FICA Contribution	40,339	40,339	38,889
Group Health Insurance	120,465	120,465	116,611
Group Life Insurance	451	451	493
Dental Insurance	7,853	7,853	7,853
Vision Insurance	1,130	1,130	1,130
Tuition Reimbursement	13,000	13,000	12,864
Training and Conferences	17,000	17,000	10,167
Travel and Lodging	9,000	9,000	6,952
Computer Replacement Chargeback	4,568	4,568	2,081
Publishing and Advertising	5,000	5,000	2,269
Printing and Duplicating	3,250	3,250	2,456
Telecommunications	19,000	19,000	17,788
Filing Fees	500	500	183
Codification	5,000	5,000	7,808
Postage and Shipping	3,000	3,000	1,518
Dues and Subscriptions	17,000	17,000	21,775
Professional Services	12,000	12,000	6,791
Utilities	19,610	19,610	29,317
Rental and Lease Purchase	2,400	2,400	1,844
Office Cleaning	11,662	11,662	11,416
Office Supplies	10,000	10,000	10,280
	955,899	955,899	934,740
Finance			
Salaries and Wages	272,370	272,370	271,575
Retirement Plan Contribution	29,100	29,100	27,428
FICA Contribution	19,988	19,988	19,526

UNITED CITY OF YORKVILLE, ILLINOIS**General Fund****Schedule of Detailed Expenditures - Budget and Actual - Continued
For the Fiscal Year Ended April 30, 2019**

	Budget		
	Original	Final	Actual
General Government - Continued			
Finance - Continued			
Group Health Insurance	\$ 64,390	64,390	59,400
Group Life Insurance	246	246	246
Dental Insurance	5,192	5,192	5,192
Vision Insurance	707	707	707
Training and Conferences	3,500	3,500	2,432
Auditing Services	33,200	33,200	29,800
Travel and Lodging	1,000	1,000	160
Computer Replacement Chargeback	2,836	2,836	-
Printing and Duplicating	3,500	3,500	2,804
Telecommunications	1,250	1,250	1,165
Postage and Shipping	1,200	1,200	991
Dues and Subscriptions	1,250	1,250	1,165
Professional Services	46,000	46,000	48,322
Rental and Lease Purchase	2,200	2,200	1,666
Office Supplies	2,700	2,700	1,345
	490,629	490,629	473,924
Administrative Services			
Police Special Detail Wages	500	500	-
Unemployment Insurance	20,000	20,000	16,317
Liability Insurance	313,712	313,712	298,408
Group Health Insurance - Retirees	41,367	41,367	20,877
Dental Insurance - Retirees	449	449	86
Vision Insurance - Retirees	80	80	41
Purchasing Services	53,419	53,419	42,953
IDOR Adminstration Fee	57,357	57,357	45,371
GC Housing Rental Assistance	12,000	12,000	6,555
Utility Tax Rebate	14,375	14,375	3,305
Facility Management Services	50,000	50,000	53,471
Amusement Tax Rebate	60,000	60,000	44,548
Kencom	110,958	110,958	106,287
Information Technology Services	136,000	136,000	203,631
Corporate Counsel	110,000	110,000	134,248
Litigation Counsel	120,000	120,000	78,469
Professional Services	-	-	21,042
Special Counsel	20,000	20,000	55,901
Engineering Services	390,000	390,000	385,933

UNITED CITY OF YORKVILLE, ILLINOIS**General Fund****Schedule of Detailed Expenditures - Budget and Actual - Continued
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
General Government - Continued			
Administrative Services - Continued			
Kendall Area Transit	\$ 25,000	25,000	23,550
Cable Consortium Fee	92,000	92,000	101,403
Hotel Tax Rebate	72,000	72,000	69,807
Economic Development	145,000	145,000	161,950
City Property Tax Rebate	1,500	1,500	1,233
Sales Tax Rebate	928,303	928,303	862,920
Business District Rebate	425,320	425,320	402,177
Admission Tax Rebate	120,000	120,000	148,133
Bad Debt	2,000	2,000	386
Reimbursable Repairs	15,000	15,000	2,809
	3,336,340	3,336,340	3,291,811
Total General Government	4,782,868	4,782,868	4,700,475
Public Safety			
Police Department			
Salaries - Police Officers	1,775,116	1,775,116	1,683,202
Salaries - Chief and Deputies	385,551	385,551	445,280
Salaries - Sergeants	616,592	616,592	552,940
Salaries - Police Clerks	169,464	169,464	162,466
Salaries - Crossing Guard	24,000	24,000	29,460
Part Time Salaries	70,000	70,000	34,390
Overtime	111,000	111,000	92,461
Retirement Plan Contribution	18,105	18,105	16,262
Employer Contribution - Police Pension	963,361	963,361	963,361
FICA Contribution	234,853	234,853	219,536
Group Health Insurance	686,289	686,289	624,253
Group Life Insurance	2,619	2,619	2,281
Dental Insurance	48,434	48,434	46,051
Vision Insurance	6,761	6,761	6,408
Tuition Reimbursement	15,000	15,000	10,050
Police Commission	4,000	4,000	9,846
Training and Conferences	21,000	21,000	27,103
Travel and Lodging	10,000	10,000	1,713
Vehicle and Equipment Chargeback	31,450	140,241	77,159
Computer Replacement Chargeback	9,358	9,358	6,115

UNITED CITY OF YORKVILLE, ILLINOIS**General Fund****Schedule of Detailed Expenditures - Budget and Actual - Continued
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Public Safety - Continued			
Police Department - Continued			
Printing and Duplicating	\$ 4,500	4,500	3,402
Telecommunications	36,500	36,500	42,738
Postage and Shipping	1,600	1,600	1,187
Dues and Subscriptions	5,300	5,300	10,490
Professional Services	30,000	30,000	10,189
Adjudication Services	20,000	20,000	12,925
New World Live Scan	19,500	19,500	-
Kendall Co. - Juve Probation	4,000	4,000	3,717
MDT - Alerts Fee	7,000	7,000	-
Rental and Lease Purchase	5,750	5,750	5,702
Office Cleaning	11,662	11,662	11,416
Outside Repair and Maintenance	60,000	60,000	43,635
Wearing Apparel	15,000	15,000	29,110
Office Supplies	4,500	4,500	2,665
Operating Supplies	16,000	16,000	77,383
Computer Equipment and Software	12,500	12,500	12,825
Community Services	1,500	1,500	1,446
Ballistic Vests	6,000	6,000	7,350
Gasoline	62,060	62,060	54,704
Ammunition	10,000	10,000	9,915
Total Public Safety	5,536,325	5,645,116	5,351,136
Community Development			
Building and Zoning			
Salaries and Wages	440,585	440,585	465,031
Part Time Salaries	48,000	48,000	2,404
Retirement Plan Contribution	47,071	47,071	46,722
FICA Contribution	36,504	36,504	34,486
Group Health Insurance	88,827	88,827	77,686
Group Life Insurance	393	393	374
Dental Insurance	5,706	5,706	5,893
Vision Insurance	846	846	890
Training and Conferences	7,300	7,300	4,645

UNITED CITY OF YORKVILLE, ILLINOIS**General Fund****Schedule of Detailed Expenditures - Budget and Actual - Continued
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Community Development - Continued			
Building and Zoning - Continued			
Travel and Lodging	\$ 6,500	6,500	4,713
Vehicle and Equipment Chargeback	40,000	40,000	44,985
Computer Replacement Chargeback	3,624	3,624	-
Publishing and Advertising	2,500	2,500	3,433
Printing and Duplicating	1,500	1,500	1,254
Telecommunications	4,000	4,000	3,914
Postage and Shipping	1,000	1,000	687
Inspections	5,000	5,000	102,073
Dues and Subscriptions	2,100	2,100	2,876
Professional Services	76,500	76,500	55,251
Rental and Lease Purchase	3,150	3,150	2,700
Office Supplies	1,500	1,500	1,132
Operating Supplies	3,000	3,000	2,989
Computer Equipment and Software	1,000	1,000	1,191
Books and Publications	750	750	1,422
Gasoline	2,290	2,290	2,293
Total Community Development	829,646	829,646	869,044
Public Works			
Streets Operations			
Salaries and Wages	382,309	382,309	378,009
Part Time Salaries	11,600	11,600	13,430
Overtime	15,000	15,000	23,048
Retirement Plan Contribution	42,448	42,448	40,023
FICA Contribution	30,161	30,161	30,330
Group Health Insurance	115,626	115,626	113,502
Group Life Insurance	437	437	428
Dental Insurance	7,363	7,363	7,363
Vision Insurance	1,065	1,065	1,065
Training and Conferences	3,000	3,000	1,476
Travel and Lodging	2,000	2,000	950
Computer Replacement Chargeback	1,523	1,523	316
Traffic Signal Maintenance	20,000	20,000	6,201
Telecommunications	3,500	3,500	3,725
Mosquito Control	7,499	7,499	-
Tree and Stump Removal	15,000	15,000	10,245

UNITED CITY OF YORKVILLE, ILLINOIS**General Fund****Schedule of Detailed Expenditures - Budget and Actual - Continued
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Public Works - Continued			
Streets Operations - Continued			
Professional Services	\$ 4,000	4,000	5,250
Street Lighting	9,000	9,000	508
Julie Services	3,000	3,000	2,190
Rental and Lease Purchase	6,000	6,000	2,124
Office Cleaning	1,199	1,199	1,020
Vehicle Maintenance Services	55,000	55,000	105,158
Wearing Apparel	5,100	5,100	3,584
Signs	15,000	15,000	13,149
Operating Supplies	10,000	25,100	8,159
Vehicle Maintenance Supplies	30,000	30,000	32,735
Small Tools and Equipment	6,000	6,000	1,613
Asphalt Patching	35,000	35,000	18,970
Repair and Maintenance	25,000	25,000	10,927
Street Lighting Supplies	17,000	17,000	16,152
Julie Supplies	1,200	1,200	380
Gasoline	22,898	22,898	20,172
	903,928	919,028	872,202
Health and Sanitation			
Garbage Services	1,169,227	1,169,227	1,199,018
Leaf Pickup	5,000	5,000	6,720
	1,174,227	1,174,227	1,205,738
Total Public Works	2,078,155	2,093,255	2,077,940
Total Expenditures	13,226,994	13,350,885	12,998,595

UNITED CITY OF YORKVILLE, ILLINOIS**Library - Special Revenue Fund****Schedule of Revenues - Budget and Actual
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Taxes			
Property Tax	\$ 1,464,606	1,464,606	1,457,087
Intergovernmental			
Personal Property Replacement Tax	5,250	5,250	5,353
State Grant	13,100	13,100	25,211
	18,350	18,350	30,564
Licenses, Permits and Fees			
Development Fees	43,200	43,200	103,100
Charges for Services			
Library Subscription Cards	7,500	7,500	9,185
Copy Fees	3,000	3,000	3,980
Program Fees	1,000	1,000	301
	11,500	11,500	13,466
Fines and Forfeitures	8,500	8,500	9,234
Interest	1,760	1,760	11,719
Miscellaneous			
Rental Income	4,750	4,750	2,633
Miscellaneous Income	2,000	2,000	2,665
	6,750	6,750	5,298
Total Revenues	1,554,666	1,554,666	1,630,468

UNITED CITY OF YORKVILLE, ILLINOIS**Library - Special Revenue Fund****Schedule of Expenditures - Budget and Actual
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Library			
Salaries and Wages	\$ 226,998	226,998	261,231
Part Time Salaries	195,700	195,700	165,624
Retirement Plan Contribution	24,252	24,252	26,614
FICA Contribution	31,720	31,720	31,983
Group Health Insurance	79,318	79,318	68,695
Group Life Insurance	328	328	351
Dental Insurance	4,652	4,652	6,699
Vision Insurance	701	701	973
Unemployment Insurance	750	750	604
Liability Insurance	24,429	24,429	22,891
Training and Conferences	2,500	2,500	1,374
Travel and Lodging	600	600	1,557
Publishing and Advertising	2,000	2,000	3,019
Telecommunications	5,000	5,000	5,313
Postage and Shipping	500	500	655
Dues and Subscriptions	11,000	11,000	9,602
Professional Services	40,000	40,000	24,213
Legal Services	3,000	3,000	2,205
Automation	20,000	20,000	13,854
Utilities	9,540	9,540	11,973
Outside Repair and Maintenance	50,000	50,000	28,900
Office Supplies	8,000	8,000	7,147
Operating Supplies	2,000	2,000	3,821
Custodial Supplies	8,000	8,000	4,215
Library Programming	1,000	1,000	1,737
Employee Recognition	200	200	247
E-Book Subscriptions	3,500	3,500	3,212
Computer Equipment and Software	15,000	15,000	16,096
Audio Books	1,600	1,600	3,877
DVD's and CD's	4,000	4,000	3,771
Books	30,000	30,000	58,988
Total Library	806,288	806,288	791,441

UNITED CITY OF YORKVILLE, ILLINOIS

Library - Special Revenue Fund

**Schedule of Expenditures - Budget and Actual - Continued
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Debt Service			
Principal Retirement	\$ 615,000	615,000	615,000
Interest and Fiscal Charges	178,801	178,801	178,790
Total Debt Service	793,801	793,801	793,790
Total Expenditures	1,600,089	1,600,089	1,585,231

UNITED CITY OF YORKVILLE, ILLINOIS**Parks and Recreation - Special Revenue Fund****Schedule of Revenues - Budget and Actual
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Charges for Services			
Fees for Programs	\$ 400,000	550,000	551,758
Concessions	30,000	28,000	27,397
Total Charges for Services	430,000	578,000	579,155
Intergovernmental			
Oslad Grant - Riverfront Park	81,815	81,815	81,815
Grants and Donations			
Sponsorships and Donations	20,000	15,000	14,577
Interest	500	1,500	1,533
Miscellaneous			
Rental Income	70,000	68,708	68,922
Hometown Days Revenue	108,000	118,141	118,141
Reimbursements	-	19,158	23,137
Miscellaneous Income	3,000	3,000	7,080
Total Miscellaneous	181,000	209,007	217,280
Total Revenue	713,315	885,322	894,360

UNITED CITY OF YORKVILLE, ILLINOIS

Parks and Recreation - Special Revenue Fund

Schedule of Expenditures - Budget and Actual For the Fiscal Year Ended April 30, 2019

	Budget		Actual
	Original	Final	
Parks and Recreation			
Park Operations			
Salaries and Wages	\$ 485,686	485,000	485,017
Part Time Salaries	50,000	50,000	49,603
Overtime	3,000	5,000	4,283
Retirement Plan Contribution	54,010	54,650	51,004
FICA Contribution	39,814	40,354	39,628
Group Health Insurance	155,114	141,675	130,395
Group Life Insurance	580	583	570
Dental Insurance	10,417	9,797	9,509
Vision Insurance	1,457	1,393	1,354
Training and Conferences	7,000	1,000	725
Travel and Lodging	3,000	100	1
Vehicle & Equipment Chargeback	-	90,000	90,000
Computer Replacement Chargeback	5,200	5,200	5,218
Telecommunications	6,500	6,500	6,786
Professional Services	3,000	3,000	8,105
Legal Services	6,000	2,000	645
Rental and Lease Purchase	2,500	2,500	2,770
Office Cleaning	2,800	2,792	2,435
Outside Repairs and Maintenance	50,000	50,000	42,578
Wearing Apparel	6,220	6,220	4,905
Operating Supplies	25,000	35,200	40,658
Small Tools and Equipment	6,000	6,000	5,801
Computer Equipment and Software	20,000	-	2,000
Repairs and Maintenance	66,000	120,000	109,934
Gasoline	14,445	24,200	21,977
Total Park Operations	1,023,743	1,143,164	1,115,901
Recreation Operations			
Salaries and Wages	324,086	337,500	338,230
Part Time Salaries	30,000	25,000	18,784
Concession Wages	15,000	10,000	8,023
Preschool Wages	40,000	37,500	34,324
Instructor Wages	25,000	37,500	33,747
Retirement Plan Contribution	39,956	36,000	34,687
FICA Contribution	32,367	32,367	32,343
Group Health Insurance	90,945	90,570	86,065

UNITED CITY OF YORKVILLE, ILLINOIS**Parks and Recreation - Special Revenue Fund****Schedule of Expenditures - Budget and Actual - Continued
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Parks and Recreation - Continued			
Recreation Operations - Continued			
Group Life Insurance	\$ 440	440	440
Dental Insurance	6,539	6,539	6,539
Vision Insurance	948	948	947
Tuition Reimbursement	-	3,216	-
Training and Conferences	5,000	4,075	4,074
Travel and Lodging	3,000	50	35
Computer Replacement Chargeback	4,412	4,412	3,799
Publishing and Advertising	55,000	58,000	55,361
Telecommunications	8,000	8,000	9,034
Scholarships	2,500	-	-
Postage and Shipping	3,500	3,000	6,322
Dues and Subscriptions	3,000	3,000	3,139
Professional Services	100,000	95,000	91,593
Utilities	13,483	13,483	13,205
Rental and Lease Purchase	3,000	3,000	1,711
Office Cleaning	4,319	3,876	3,876
Outside Repairs and Maintenance	3,000	2,000	2,261
Hometown Days Expenditures	100,000	110,986	110,986
Program Supplies	110,000	135,000	139,495
Concession Supplies	18,000	18,000	14,482
Office Supplies	3,000	2,000	1,967
Operating Supplies	15,000	25,000	16,407
Repairs and Maintenance	2,000	2,000	966
Gasoline	1,070	1,000	1,254
Total Recreation Operations	1,062,565	1,109,462	1,074,096
Total Expenditures	2,086,308	2,252,626	2,189,997

UNITED CITY OF YORKVILLE, ILLINOIS

Citywide Capital - Capital Projects Fund

**Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Revenues			
Intergovernmental			
Grants	\$ -	-	32,878
Licenses, Permits and Fees			
Build Program	-	-	1,815
Building Permits	-	-	1,499
Development Fees	21,500	21,500	35,429
Road Contribution Fee	70,000	70,000	262,000
Charges for Services			
Road Infrastructure Fee	730,000	730,000	752,262
Interest	1,000	1,000	34,016
Miscellaneous	1,111,077	1,111,077	1,169,173
Total Revenues	1,933,577	1,933,577	2,289,072
Expenditures			
General Government	283,200	283,200	169,990
Capital Outlay	1,848,049	2,167,774	1,945,288
Debt Service			
Principal Retirement	274,675	274,675	274,675
Interest and Fiscal Charges	133,363	133,363	133,363
Total Expenditures	2,539,287	2,859,012	2,523,316
Excess (Deficiency) of Revenues Over (Under) Expenditures	(605,710)	(925,435)	(234,244)
Other Financing Sources (Uses)			
Transfers In	250,000	569,725	569,725
Transfers Out	(18,000)	(18,000)	(94,949)
	232,000	551,725	474,776
Net Change in Fund Balance	(373,710)	(373,710)	240,532
Fund Balance - Beginning			388,897
Fund Balance - Ending			629,429

UNITED CITY OF YORKVILLE, ILLINOIS**Citywide Capital - Capital Projects Fund****Schedule of Expenditures - Budget and Actual
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
General Government			
Build Program	\$ -	-	1,815
Property and Building Maintenance Services	150,000	150,000	71,157
Property and Building Maintenance Supplies	27,000	27,000	38,138
Buildings and Structures	40,000	40,000	-
Engineering Services	65,000	65,000	58,195
Bad Debt	1,200	1,200	685
Total General Government	283,200	283,200	169,990
Capital Outlay			
Beecher Center	-	319,725	320,386
Wrigley(Rt 47) Expansion	-	-	32,878
Property Acquisition	-	-	1,239
Mill Road Improvement	-	-	195,781
Blackberry Woods Subdivision	7,549	7,549	4,125
Greenbriar Pond Naturalization	5,000	5,000	2,360
Pavilion Road	110,000	110,000	260
Fountain Village Subdivision	256,528	256,528	99,284
Road To Better Roads Program	100,000	100,000	69,633
Whispering Meadows Subdivision	1,070,000	1,070,000	974,070
Sidewalk Construction	5,000	5,000	18,199
RT 71 (RT47/Orchard Road) Project	30,333	30,333	8,351
US 34 (Center/Eldamain Road) Project	110,226	110,226	127,534
US 34 (IL 47/Orchard Road) Project	98,413	98,413	84,854
Kennedy Road Improvements	10,000	10,000	404
Kennedy Road Bike Trail	45,000	45,000	5,930
Total Capital Outlay	1,848,049	2,167,774	1,945,288
Debt Service			
Principal Retirement	274,675	274,675	274,675
Interest and Fiscal Charges	133,363	133,363	133,363
Total Debt Service	408,038	408,038	408,038
Total Expenditures	2,539,287	2,859,012	2,523,316

**NONMAJOR GOVERNMENTAL FUNDS
COMBINING STATEMENTS**

UNITED CITY OF YORKVILLE, ILLINOIS**Nonmajor Governmental Funds****Combining Balance Sheet****April 30, 2019**

	Special Revenue	Debt Service	Capital Projects	Totals
ASSETS				
Cash and Investments	\$ 638,973	-	494,601	1,133,574
Receivables - Net of Allowances				
Accounts	718,322	-	1,441	719,763
Other Taxes	42,104	-	-	42,104
Total Assets	1,399,399	-	496,042	1,895,441
LIABILITIES				
Accounts Payable	126,016	-	-	126,016
Due to Other Funds	1,880,023	-	-	1,880,023
Other Payables	8,000	-	-	8,000
Total Liabilities	2,014,039	-	-	2,014,039
FUND BALANCES				
Restricted	645,867	-	-	645,867
Assigned	-	-	496,042	496,042
Unassigned	(1,260,507)	-	-	(1,260,507)
Total Fund Balances	(614,640)	-	496,042	(118,598)
Total Liabilities, Deferred Inflows of Resources and Fund Balances	1,399,399	-	496,042	1,895,441

UNITED CITY OF YORKVILLE, ILLINOIS

Nonmajor Governmental Funds

Combining Statement of Revenues, Expenditures and Changes in Fund Balances For the Fiscal Year Ended April 30, 2019

	Special Revenue	Debt Service	Capital Projects	Totals
Revenues				
Taxes	\$ 306,372	-	-	306,372
Intergovernmental	1,232,945	-	-	1,232,945
Licenses, Permits and Fees	-	8,944	243,142	252,086
Charges for Services	-	-	232,472	232,472
Fines and Forfeits	-	-	8,640	8,640
Grants and Donations	161,691	-	-	161,691
Interest	15,613	-	863	16,476
Miscellaneous	3,426	-	6,578	10,004
Total Revenues	1,720,047	8,944	491,695	2,220,686
Expenditures				
General Government	76,458	-	-	76,458
Parks and Recreation	372,760	-	-	372,760
Public Safety	-	-	5,013	5,013
Public Works	206,603	-	3,504	210,107
Capital Outlay	567,524	-	269,325	836,849
Debt Service				
Principal Retirement	242,332	285,000	45,297	572,629
Interest and Fiscal Charges	133,480	39,725	29,760	202,965
Total Expenditures	1,599,157	324,725	352,899	2,276,781
Excess (Deficiency) of Revenues Over (Under) Expenditures	120,890	(315,781)	138,796	(56,095)
Other Financing Sources (Uses)				
Transfers In	-	315,781	-	315,781
Net Change in Fund Balances	120,890	-	138,796	259,686
Fund Balances - Beginning	(735,530)	-	357,246	(378,284)
Fund Balances - Ending	(614,640)	-	496,042	(118,598)

NONMAJOR SPECIAL REVENUE FUNDS

Special Revenue Funds are created to account for the proceeds of specific revenue sources (other than fiduciary funds or capital project funds) that are legally restricted to expenditure for specified purposes.

Fox Hill Special Service Area Fund

The Fox Hill Special Service Area Fund is used to account for the revenues and expenditures associated with the maintenance of the common areas of the Fox Hill Estates subdivision.

Sunflower Special Service Area Fund

The Sunflower Special Service Fund is used to account for revenues and expenditures associated with the maintenance of the common areas of the Sunflower Estates subdivision.

Motor Fuel Tax Fund

The Motor Fuel Tax Fund is used to account for allotments of motor fuel taxes from the State of Illinois made on per capita basis. These taxes are to be used to construct and maintain street, traffic signals and signs.

Land Cash Fund

The Land Cash Fund is used to account for the revenues and expenditures associated with the construction of park facilities.

Countryside TIF Fund

The Countryside TIF Fund is used to account for the accumulation of monies for the payment of the 2014 General Refunding Obligation Bond Series and 2015A General Obligation Refunding Bond Series. These bonds were issued to refund the 2005 General Obligation Bond Series, which were issued to finance retail development at Countryside Center.

Downtown TIF Fund

The Downtown TIF I Fund is used to account for revenues and expenditures associated with the development activities of the downtown area located primarily along Hydraulic Avenue, Illinois Route 47 and Benjamin Street within Yorkville's historic commercial core.

Downtown TIF II Fund

The Downtown TIF II Fund is used to account for revenues and expenditures associated with the development activities of the downtown area located primarily south of Hydraulic Avenue and just north of Washington Street, between White Oak Estate to the west and Benjamin Street to the east.

UNITED CITY OF YORKVILLE, ILLINOIS

Nonmajor Governmental - Special Revenue Funds

Combining Balance Sheet

April 30, 2019

	Fox Hill Special Service Area	Sunflower Special Service Area
ASSETS		
Cash and Investments	\$ 11,666	-
Receivables - Net of Allowances		
Accounts	-	-
Other Taxes	-	-
Total Assets	11,666	-
LIABILITIES		
Accounts Payable	1,181	3,906
Due to Other Funds	-	18,720
Other Payables	-	-
Total Liabilities	1,181	22,626
FUND BALANCES		
Restricted	10,485	-
Unassigned	-	(22,626)
Total Fund Balances	10,485	(22,626)
Total Liabilities and Fund Balances	11,666	-

Motor Fuel Tax	Land Cash	Countryside TIF	Downtown TIF	Downtown TIF II	Totals
627,307	-	-	-	-	638,973
100	718,205	-	17	-	718,322
42,104	-	-	-	-	42,104
669,511	718,205	-	17	-	1,399,399
26,129	-	-	94,639	161	126,016
-	506,373	422,459	929,896	2,575	1,880,023
8,000	-	-	-	-	8,000
34,129	506,373	422,459	1,024,535	2,736	2,014,039
635,382	-	-	-	-	645,867
-	211,832	(422,459)	(1,024,518)	(2,736)	(1,260,507)
635,382	211,832	(422,459)	(1,024,518)	(2,736)	(614,640)
669,511	718,205	-	17	-	1,399,399

UNITED CITY OF YORKVILLE, ILLINOIS**Nonmajor Governmental - Special Revenue Funds****Combining Statement of Revenues, Expenditures and Changes in Fund Balances
For the Fiscal Year Ended April 30, 2019**

	Fox Hill Special Service Area	Sunflower Special Service Area
Revenues		
Taxes	\$ 13,382	15,638
Intergovernmental	-	-
Grants and Donations	-	-
Interest	-	-
Miscellaneous	-	-
Total Revenues	13,382	15,638
Expenditures		
General Government	-	-
Parks and Recreation	-	-
Public Works	9,453	17,013
Capital Outlay	-	-
Debt Service		
Principal Retirement	-	-
Interest and Fiscal Charges	-	-
Total Expenditures	9,453	17,013
Net Change in Fund Balances	3,929	(1,375)
Fund Balances - Beginning	6,556	(21,251)
Fund Balances - Ending	10,485	(22,626)

Motor Fuel Tax	Land Cash	Countryside TIF	Downtown TIF	Downtown TIF II	Totals
-	-	198,918	78,434	-	306,372
530,471	702,474	-	-	-	1,232,945
-	161,691	-	-	-	161,691
15,613	-	-	-	-	15,613
-	3,426	-	-	-	3,426
546,084	867,591	198,918	78,434	-	1,720,047
-	4,795	11,547	57,380	2,736	76,458
-	372,760	-	-	-	372,760
180,137	-	-	-	-	206,603
429,058	-	-	138,466	-	567,524
-	-	42,332	200,000	-	242,332
-	-	107,679	25,801	-	133,480
609,195	377,555	161,558	421,647	2,736	1,599,157
(63,111)	490,036	37,360	(343,213)	(2,736)	120,890
698,493	(278,204)	(459,819)	(681,305)	-	(735,530)
635,382	211,832	(422,459)	(1,024,518)	(2,736)	(614,640)

UNITED CITY OF YORKVILLE, ILLINOIS

Fox Hill Special Service Area - Special Revenue Fund

Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual For the Fiscal Year Ended April 30, 2019

	Budget		Actual
	Original	Final	
Revenues			
Taxes			
Property Tax	\$ 13,381	13,381	13,382
Expenditures			
Public Works			
Professional Services	2,835	2,835	2,835
Outside Repair and Maintenance	6,000	6,620	6,618
Total Expenditures	8,835	9,455	9,453
Net Change in Fund Balance	4,546	3,926	3,929
Fund Balance - Beginning			6,556
Fund Balance - Ending			10,485

UNITED CITY OF YORKVILLE, ILLINOIS

Sunflower Special Service Area - Special Revenue Fund

**Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Revenues			
Taxes			
Property Tax	\$ 15,637	15,637	15,638
Expenditures			
Public Works			
Pond Maintenance	5,000	5,000	1,525
Professional Services	2,835	2,835	2,835
Outside Repair and Maintenance	11,000	11,000	12,653
Total Expenditures	18,835	18,835	17,013
Net Change in Fund Balance	(3,198)	(3,198)	(1,375)
Fund Balance - Beginning			(21,251)
Fund Balance - Ending			(22,626)

UNITED CITY OF YORKVILLE, ILLINOIS

Motor Fuel Tax - Special Revenue Fund

Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual For the Fiscal Year Ended April 30, 2019

	Budget		Actual
	Original	Final	
Revenues			
Intergovernmental	\$ 530,817	530,817	530,471
Interest	5,000	5,000	15,613
Total Revenues	535,817	535,817	546,084
Expenditures			
Public Works			
Supplies	212,000	212,000	180,137
Capital Outlay			
Streets and Alleys	479,787	479,787	429,058
Total Expenditures	691,787	691,787	609,195
Net Change in Fund Balance	(155,970)	(155,970)	(63,111)
Fund Balance - Beginning			698,493
Fund Balance - Ending			635,382

UNITED CITY OF YORKVILLE, ILLINOIS

Land Cash - Special Revenue Fund

Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual For the Fiscal Year Ended April 30, 2019

	Budget		Actual
	Original	Final	
Revenues			
Intergovernmental			
Riverfront Park	\$ 312,671	312,671	312,671
Bristol Bay	389,803	389,803	389,803
Grants and Donations			
Autum Creek	-	-	3,003
Blackberry Woods	-	-	10,795
Caledonia	11,639	11,639	32,214
Country Hills	-	-	769
Anthony's Place	-	-	97,162
Windett Ridge	-	-	10,000
Kendall Marketplace	-	-	1,133
Briarwood	-	-	6,615
Miscellaneous			
Other	-	-	3,426
Total Revenues	714,113	714,113	867,591
Expenditures			
General Government			
Build Program	-	-	4,795
Parks and Recreation			
Park Improvements	300,000	300,000	267,479
Bristol Bay Regional Park	50,000	20,000	6,483
Riverfront Park	40,000	40,000	41,228
Blackberry Creek Nature Preserve	25,000	25,000	-
Windett Ridge Park	50,000	50,000	57,570
Total Expenditures	465,000	435,000	377,555
Net Change in Fund Balance	249,113	279,113	490,036
Fund Balance - Beginning			(278,204)
Fund Balance - Ending			211,832

UNITED CITY OF YORKVILLE, ILLINOIS**Countryside TIF - Special Revenue Fund****Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Revenues			
Taxes			
Property Taxes	\$ 246,261	246,261	198,918
Expenditures			
General Government			
Administrative Fees	11,049	11,049	11,049
Professional Services	2,000	2,000	498
TIF Incentive Payout	700,000	700,000	-
Debt Service			
Principal Retirement	42,336	42,336	42,332
Interest and Fiscal Charges	107,722	107,722	107,679
Total Expenditures	863,107	863,107	161,558
Net Change in Fund Balance	(616,846)	(616,846)	37,360
Fund Balance - Beginning			(459,819)
Fund Balance - Ending			(422,459)

UNITED CITY OF YORKVILLE, ILLINOIS**Downtown TIF - Special Revenue Fund****Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Revenues			
Taxes			
Property Taxes	\$ 80,000	80,000	78,434
Intergovernmental			
ITEP Grant Proceeds	50,536	-	-
Total Revenues	130,536	80,000	78,434
Expenditures			
General Government			
Administrative Fees	31,533	31,533	31,533
TIF Incentive Payout	20,000	20,000	22,108
Professional Services	6,000	6,000	294
Legal Services	15,000	15,000	3,445
Capital Outlay			
Project Costs	20,320	179,243	105,516
Downtown Hill	63,170	-	-
Downtown Streetscape Improvement	30,000	30,000	25,468
Route 47 Expansion	7,420	7,420	7,482
Debt Service			
Principal Retirement	200,000	200,000	200,000
Interest and Fiscal Charges	25,800	25,800	25,801
Total Expenditures	419,243	514,996	421,647
Net Change in Fund Balance	(288,707)	(434,996)	(343,213)
Fund Balance - Beginning			(681,305)
Fund Balance - Ending			(1,024,518)

UNITED CITY OF YORKVILLE, ILLINOIS

Downtown TIF II - Special Revenue Fund

Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual For the Fiscal Year Ended April 30, 2019

	Budget		Actual
	Original	Final	
Revenues			
Taxes			
Property Taxes	\$ -	-	-
Expenditures			
General Government			
Legal Services	10,000	10,000	2,736
Net Change in Fund Balance	<u>(10,000)</u>	<u>(10,000)</u>	(2,736)
Fund Balance - Beginning			<u>-</u>
Fund Balance - Ending			<u>(2,736)</u>

NONMAJOR DEBT SERVICE FUND

The Debt Service Fund is used to account for the accumulation of resources for, and the payment of, general long-term debt principal and interest.

UNITED CITY OF YORKVILLE, ILLINOIS**Debt Service Fund****Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Revenues			
Licenses, Permits and Fees			
Recapture Fees	\$ 6,000	6,000	8,944
Expenditures			
Debt Service			
Principal	285,000	285,000	285,000
Interest and Fiscal Charges	39,725	39,725	39,725
Total Expenditures	324,725	324,725	324,725
Excess (Deficiency) of Revenues Over (Under) Expenditures	(318,725)	(318,725)	(315,781)
Other Financing Sources			
Transfers In	318,725	318,725	315,781
Net Change in Fund Balance	-	-	-
Fund Balance - Beginning			-
Fund Balance - Ending			-

NONMAJOR CAPITAL PROJECTS FUNDS

Capital Projects Funds are created to account for all resources used for the acquisition of capital facilities by a governmental unit except those financed by Proprietary Funds.

Vehicle and Equipment Fund

The Vehicle & Equipment Fund is used to account for financial resources accumulated to purchase vehicles, equipment and other capital assets for use in the Police, General Government, Public Works and Park and Recreation departments.

UNITED CITY OF YORKVILLE, ILLINOIS**Vehicle and Equipment - Capital Projects Fund****Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Revenues			
Licenses, Permits and Fees			
Development Fees	\$ 108,600	133,000	220,872
Build Program	-	-	2,720
Engineering Capital Fee	12,000	12,000	19,550
Charges for Services	107,861	306,652	232,472
Fines and Forfeits			
DUI Fines	6,000	6,000	7,994
Electronic Citations	700	700	646
Miscellaneous	2,000	2,000	6,578
Interest	150	150	863
Total Revenues	237,311	460,502	491,695
Expenditures			
Public Safety	8,750	8,750	5,013
Public Works	3,750	3,750	3,504
Capital Outlay	191,411	422,611	269,325
Debt Service			
Principal Retirement	46,679	46,679	45,297
Interest and Fiscal Charges	26,355	26,355	29,760
Total Expenditures	276,945	508,145	352,899
Net Change in Fund Balance	(39,634)	(47,643)	138,796
Fund Balance - Beginning			357,246
Fund Balance - Ending			496,042

UNITED CITY OF YORKVILLE, ILLINOIS**Vehicle and Equipment - Capital Projects Fund****Schedule of Expenditures - Budget and Actual
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Police Capital			
Contractual Services	\$ 8,750	8,750	5,013
Capital Outlay			
Equipment	5,000	5,000	-
Vehicles	55,000	155,000	150,707
Total Police Capital	68,750	168,750	155,720
General Government Capital			
Capital Outlay			
Equipment	34,411	34,411	18,162
Vehicles	40,000	40,000	44,985
Total General Government Capital	74,411	74,411	63,147
Public Works Capital			
Build Program	-	-	2,720
Contractual Services	1,750	1,750	784
Supplies	2,000	2,000	-
Capital Outlay			
Equipment	7,000	13,200	8,435
Vehicles	-	35,000	33,497
Total Public Works Capital	10,750	51,950	45,436
Park and Recreation Capital			
Capital Outlay			
Buildings and Structures	-	20,000	-
Equipment	50,000	50,000	13,539
Vehicles	-	70,000	-
Total Park and Recreation Capital	50,000	140,000	13,539
Debt Service			
Principal Retirement	46,679	46,679	45,297
Interest and Fiscal Charges	26,355	26,355	29,760
Total Debt Service	73,034	73,034	75,057
Total Expenditures	276,945	508,145	352,899

ENTERPRISE FUNDS

Enterprise Funds are used to account for operations that are financed and operated in a manner similar to private business enterprises where the intent is that costs of providing goods or services to the general public on a continuing basis be financed or recovered primarily through user charges; or where it has been decided that periodic determination of revenues earned, expenses incurred, and/or net income is appropriate for capital maintenance, public policy, management control, accountability, or other purpose.

Sewer Fund

The Sewer Fund is used to account for the operation and sewer infrastructure maintenance of the City-owned sewer system, as well as the construction of new sewer systems within City limits. Revenues are generated through user maintenance fees.

Water Fund

The Water Fund is used to account for the operation and water infrastructure maintenance of the City-owned water distribution system, as well as the construction of new water systems. Revenues are generated through charges based on water consumption and user maintenance fees.

UNITED CITY OF YORKVILLE, ILLINOIS**Sewer - Enterprise Fund****Schedule of Revenues, Expenses and Changes in Net Position - Budget and Actual
For the Fiscal Year Ended April 30, 2019**

	Budget		Actual
	Original	Final	
Operating Revenues			
Charges for Services	\$ 1,304,258	1,304,258	1,379,981
Operating Expenses			
Operations	1,087,514	1,092,314	472,396
Depreciation and Amortization	-	-	704,951
Total Operating Expenses	1,087,514	1,092,314	1,177,347
Operating Income (Loss)	216,744	211,944	202,634
Nonoperating Revenues (Expenses)			
Interest Income	1,250	1,250	9,677
Connection Fees	254,400	254,400	172,178
Other Income	-	-	6,050
Interest Expense	(381,646)	(381,646)	(412,252)
	(125,996)	(125,996)	(224,347)
Income (Loss) Before Transfers	90,748	85,948	(21,713)
Transfers In	856,583	856,583	856,583
Transfers Out	(77,675)	(77,675)	(77,675)
	778,908	778,908	778,908
Change in Net Position	869,656	864,856	757,195
Net Position - Beginning as Restated			32,157,752
Net Position - Ending			32,914,947

UNITED CITY OF YORKVILLE, ILLINOIS

Water - Enterprise Fund

Schedule of Revenues, Expenses and Changes in Net Position - Budget and Actual For the Fiscal Year Ended April 30, 2019

	Budget		Actual
	Original	Final	
Operating Revenues			
Charges for Services	\$ 4,033,206	4,198,961	4,191,172
Operating Expenses			
Operations	3,343,534	3,351,034	1,858,861
Depreciation and Amortization	-	-	945,370
Total Operating Expenses	3,343,534	3,351,034	2,804,231
Operating Income (Loss)	689,672	847,927	1,386,941
Nonoperating Revenues (Expenses)			
Interest Income	7,000	7,000	19,100
Connection Fees	293,280	293,280	366,180
Other Income	62,491	62,491	78,602
Interest Expense	(413,313)	(413,313)	(452,351)
	(50,542)	(50,542)	11,531
Income (Loss) Before Transfers	639,130	797,385	1,398,472
Transfers In	142,541	142,541	142,707
Change in Net Position	781,671	939,926	1,541,179
Net Position - Beginning as Restated			29,878,052
Net Position - Ending			31,419,231

AGENCY FUNDS

Agency funds are established to administer resources received and held by the City as the trustee. Use of these funds facilitates the discharge of responsibilities placed upon the governmental unit by virtue of law or other similar authority.

Developer Deposit Fund

The Developer Deposit Fund is used to account for developer deposits that are used to reimburse the City for all expenses incurred as a result of processing developer applications and requests.

Escrow Deposit Fund

The Escrow Deposit Fund is used to account for various funds collected on behalf of other governmental agencies.

UNITED CITY OF YORKVILLE, ILLINOIS

Agency Funds

**Combining Statement of Changes in Assets and Liabilities
For the Fiscal Year Ended April 30, 2019**

	Beginning Balances	Additions	Deductions	Ending Balances
All Funds				
ASSETS				
Cash and Investments	\$ 833,705	5,280,387	5,469,796	644,296
Accounts Receivable	562,597	3,458,208	3,442,198	578,607
Total Assets	1,396,302	8,738,595	8,911,994	1,222,903
LIABILITIES				
Other Liabilities	1,396,302	9,991,695	10,165,094	1,222,903
Developer Deposit				
ASSETS				
Cash and Investments	164,240	584,018	555,102	193,156
LIABILITIES				
Other Liabilities	164,240	589,382	560,466	193,156

	Beginning Balances	Additions	Deductions	Ending Balances
Escrow Deposit				
ASSETS				
Cash and Investments	\$ 669,465	4,696,369	4,914,694	451,140
Accounts Receivable	562,597	3,458,208	3,442,198	578,607
Total Assets	1,232,062	8,154,577	8,356,892	1,029,747
LIABILITIES				
Other Liabilities	1,232,062	9,402,313	9,604,628	1,029,747

UNITED CITY OF YORKVILLE, ILLINOIS**Consolidated Year-End Financial Report****April 30, 2019**

CSFA #	Program Name	State	Federal	Other	Totals
422-11-0970	Open Space Land Acquisition and Development	\$ 38,570	-	9,141	47,711
494-00-0967	High-Growth Cities Program	47,605	-	-	47,605
494-00-1004	Local Highway Safety Improvement Program	18,553	-	8,605	27,158
494-00-1488	Motor Fuel Tax Program	561,589	-	-	561,589
494-42-0495	Local Surface Transportation Program	32,878	-	-	32,878
	Other Grant Programs and Activities	-	17,950	21,151	39,101
	All Other Costs Not Allocated	-	-	24,554,061	24,554,061
	Totals	699,195	17,950	24,592,958	25,310,103



**REPORT ON INTERNAL CONTROL OVER FINANCIAL REPORTING AND ON
COMPLIANCE AND OTHER MATTERS BASED ON AN AUDIT OF FINANCIAL
STATEMENTS PERFORMED IN ACCORDANCE WITH GOVERNMENTAL AUDITING
STANDARDS**

September 20, 2019

The Honorable City Mayor
Members of the City Council
United City of Yorkville, Illinois

We have audited, in accordance with the auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards* issued by the Comptroller General of the United States, the financial statements of the governmental activities, the business-type activities, each major fund, and the aggregate remaining fund information of the United City of Yorkville, Illinois, as of and for the year ended April 30, 2019, and the related notes to the financial statements, which collectively comprise the City's basic financial statements, and have issued our report thereon dated September 20, 2019.

Internal Control Over Financial Reporting

In planning and performing our audit of the financial statements, we considered the City's internal control over financial reporting (internal control) to determine the audit procedures that are appropriate in the circumstances for the purpose of expressing our opinions on the financial statements, but not for the purpose of expressing an opinion on the effectiveness of the City's internal control. According, we do not express an opinion on the effectiveness of the City's internal control.

A *deficiency in internal control* exists when the design or operation of a control does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, misstatements on a timely basis. A *material weakness* is a deficiency, or a combination of deficiencies, in internal control, such that there is a reasonable possibility that a material misstatement of the City's financial statements will not be prevented, or detected and corrected on a timely basis. A *significant deficiency* is a deficiency, or a combination of deficiencies, in internal control that is less severe than a material weakness, yet important enough to merit attention by those charged with governance.

Our consideration of internal control was for the limited purpose described in the first paragraph of this section and was not designed to identify all deficiencies in internal control that might be material weaknesses or significant deficiencies. Given these limitations, during our audit we did not identify any deficiencies in internal control that we consider to be material weaknesses. However, material weaknesses may exist that have not been identified.

Compliance and Other Matters

As part of obtaining reasonable assurance about whether the City's financial statements are free from material misstatement, we performed tests of its compliance with certain provisions of laws, regulations, contracts, and grant agreements, noncompliance with which could have a direct and material effect on the determination of financial statement amounts. However, providing an opinion on compliance with those provisions was not an objective of our audit, and accordingly, we do not express such an opinion. The results of our tests disclosed no instances of noncompliance or other matters that are required to be reported under *Government Auditing Standards*.

Purpose of this Report

The purpose of this report is solely to describe the scope of our testing of internal control and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the City's internal control or on compliance. This report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the City's internal control and compliance. Accordingly, this communication is not suitable for any other purpose.

Lauterbach & Amen, LLP
LAUTERBACH & AMEN, LLP

SUPPLEMENTAL SCHEDULES

UNITED CITY OF YORKVILLE, ILLINOIS

Schedule of Long-Term Debt Requirements

Betzwiser Development, LLC Adjustable Rate Note Payable of 2008 April 30, 2019

Date of Issue	October 1, 2008
Date of Maturity	October 1, 2028
Authorized Issue	\$937,500 *
Interest Rate	Variable - 5yr T-Note Rate Plus 3% **
Interest Dates	Monthly
Principal Maturity Dates	Monthly
Payable at	Betzwiser Development, LLC

CURRENT AND LONG-TERM PRINCIPAL AND INTEREST REQUIREMENTS

Fiscal Year	Requirements		
	Principal	Interest	Totals
2020	\$ 48,790	24,245	73,035
2021	50,995	22,040	73,035
2022	53,301	19,734	73,035
2023	55,711	17,324	73,035
2024	58,229	14,806	73,035
2025	60,862	12,173	73,035
2026	63,614	9,421	73,035
2027	66,490	6,545	73,035
2028	69,496	3,539	73,035
2029	43,362	622	43,984
	570,850	130,449	701,299

* The original purchase price was \$1,251,900 with an initial cash payment of \$314,400 and the remaining \$937,500 to be financed by the seller at an initial interest rate of 6.26% through November of 2013. The current interest rate is 5.83% and the note will continue to adjust every five years until maturity.

** Interest rate is scheduled to adjust in December 2023.

UNITED CITY OF YORKVILLE, ILLINOIS

Schedule of Long-Term Debt Requirements

102 E Van Emmon Building Loan Payable of 2017
April 30, 2019

Date of Issue	May 10, 2017
Date of Maturity	June 1, 2021
Authorized Issue	\$800,000
Interest Rate	3.00%
Interest Dates	June 1
Principal Maturity Dates	June 1
Payable at	First National Bank of Omaha

CURRENT AND LONG-TERM PRINCIPAL AND INTEREST REQUIREMENTS

Fiscal Year	Requirements		Totals
	Principal	Interest	
2020	\$ 200,000	18,250	218,250
2021	200,000	12,200	212,200
2022	200,000	6,083	206,083
	600,000	36,533	636,533

UNITED CITY OF YORKVILLE, ILLINOIS

Schedule of Long-Term Debt Requirements

IEPA (L17-115300) Loan Payable of 2000

April 30, 2019

Date of Issue	November 23, 1999
Date of Maturity	September 6, 2019
Authorized Issue	\$1,656,809
Denomination of Bonds	\$5,000
Interest Rate	2.625%
Interest Dates	September 6 and March 6
Principal Maturity Dates	September 6 and March 6
Payable at	Illinois Environmental Protection Agency

CURRENT AND LONG-TERM PRINCIPAL AND INTEREST REQUIREMENTS

Fiscal Year	Requirements			Interest Due on			
	Principal	Interest	Totals	Sept. 6	Amount	Mar. 6	Amount
2020	\$ 52,832	693	53,525	2019	693	2020	-

UNITED CITY OF YORKVILLE, ILLINOIS

Schedule of Long-Term Debt Requirements

IEPA (L17-1156300) Loan Payable of 2007

April 30, 2019

Date of Issue	November 9, 2006
Date of Maturity	August 9, 2026
Authorized Issue	\$1,889,244
Denomination of Bonds	\$5,000
Interest Rate	2.50%
Interest Dates	August 9 and February 9
Principal Maturity Dates	August 9 and February 9
Payable at	Illinois Environmental Protection Agency

CURRENT AND LONG-TERM PRINCIPAL AND INTEREST REQUIREMENTS

Fiscal Year	Requirements			Interest Due on			
	Principal	Interest	Totals	Aug. 9	Amount	Feb. 9	Amount
2020	\$ 104,423	20,607	125,030	2019	10,628	2020	9,979
2021	107,049	17,981	125,030	2020	9,323	2021	8,658
2022	109,742	15,288	125,030	2021	7,985	2022	7,303
2023	112,503	12,527	125,030	2022	6,613	2023	5,914
2024	115,333	9,697	125,030	2023	5,207	2024	4,490
2025	118,235	6,795	125,030	2024	3,765	2025	3,030
2026	121,209	3,821	125,030	2025	2,287	2026	1,534
2027	61,745	772	62,517	2026	772	2027	-
	<u>850,239</u>	<u>87,488</u>	<u>937,727</u>		<u>46,580</u>		<u>40,908</u>

UNITED CITY OF YORKVILLE, ILLINOIS

Schedule of Long-Term Debt Requirements

General Obligation Library Bonds of 2006

April 30, 2019

Date of Issue	August 1, 2006
Date of Maturity	December 30, 2024
Authorized Issue	\$1,500,000
Denomination of Bonds	\$5,000
Interest Rates	4.75% to 4.80%
Interest Dates	June 30 and December 30
Principal Maturity Date	December 30
Payable at	BNY Midwest Trust Company

CURRENT AND LONG-TERM PRINCIPAL AND INTEREST REQUIREMENTS

Fiscal Year	Requirements			Interest Due on			
	Principal	Interest	Totals	Jun. 30	Amount	Dec. 30	Amount
2020	\$ 50,000	22,612	72,612	2019	11,306	2019	11,306
2021	75,000	20,238	95,238	2020	10,119	2020	10,119
2022	75,000	16,676	91,676	2021	8,338	2021	8,338
2023	75,000	13,112	88,112	2022	6,556	2022	6,556
2024	100,000	9,550	109,550	2023	4,775	2023	4,775
2025	100,000	4,800	104,800	2024	2,400	2024	2,400
	475,000	86,988	561,988		43,494		43,494

UNITED CITY OF YORKVILLE, ILLINOIS**Schedule of Long-Term Debt Requirements****General Obligation Refunding Alternate Revenue Source Bonds of 2011****April 30, 2019**

Date of Issue	November 10, 2011
Date of Maturity	December 30, 2025
Authorized Issue	\$11,150,000
Denomination of Bonds	\$5,000
Interest Rate	4.28%
Interest Dates	June 30 and December 30
Principal Maturity Date	December 30
Payable at	The Bank of New York Trust Company

CURRENT AND LONG-TERM PRINCIPAL AND INTEREST REQUIREMENTS

Fiscal Year	Requirements			Interest Due on			
	Principal	Interest	Totals	Jun. 30	Amount	Dec. 30	Amount
2020	\$ 845,000	289,114	1,134,114	2019	144,557	2019	144,557
2021	885,000	252,948	1,137,948	2020	126,474	2020	126,474
2022	920,000	215,070	1,135,070	2021	107,535	2021	107,535
2023	960,000	175,694	1,135,694	2022	87,847	2022	87,847
2024	1,000,000	134,606	1,134,606	2023	67,303	2023	67,303
2025	1,045,000	91,806	1,136,806	2024	45,903	2024	45,903
2026	1,100,000	47,080	1,147,080	2025	23,540	2025	23,540
	<u>6,755,000</u>	<u>1,206,318</u>	<u>7,961,318</u>		<u>603,159</u>		<u>603,159</u>

UNITED CITY OF YORKVILLE, ILLINOIS

Schedule of Long-Term Debt Requirements

General Obligation Library Refunding Bonds of 2013 April 30, 2019

Date of Issue	May 9, 2013
Date of Maturity	December 30, 2024
Authorized Issue	\$6,625,000
Denomination of Bonds	\$5,000
Interest Rates	2.00% to 4.00%
Interest Dates	June 30 and December 30
Principal Maturity Date	December 30
Payable at	Bank of New York Mellon

CURRENT AND LONG-TERM PRINCIPAL AND INTEREST REQUIREMENTS

Fiscal Year	Requirements			Interest Due on			
	Principal	Interest	Totals	Jun. 30	Amount	Dec. 30	Amount
2020	\$ 585,000	139,400	724,400	2019	69,700	2019	69,700
2021	610,000	121,850	731,850	2020	60,925	2020	60,925
2022	645,000	103,550	748,550	2021	51,775	2021	51,775
2023	675,000	84,200	759,200	2022	42,100	2022	42,100
2024	700,000	57,200	757,200	2023	28,600	2023	28,600
2025	730,000	29,200	759,200	2024	14,600	2024	14,600
	3,945,000	535,400	4,480,400		267,700		267,700

UNITED CITY OF YORKVILLE, ILLINOIS

Schedule of Long-Term Debt Requirements

General Obligation Refunding Alternate Revenue Source Bonds of 2014 April 30, 2019

Date of Issue	January 6, 2014
Date of Maturity	December 1, 2029
Authorized Issue	\$1,235,000
Denomination of Bonds	\$5,000
Interest Rate	4.00% to 4.30%
Interest Dates	June 1 and December 1
Principal Maturity Date	December 1
Payable at	The Bank of New York Trust Company

CURRENT AND LONG-TERM PRINCIPAL AND INTEREST REQUIREMENTS

Fiscal Year	Requirements			Interest Due on			
	Principal	Interest	Totals	Jun. 1	Amount	Dec. 1	Amount
2020	\$ -	50,715	50,715	2019	25,357	2019	25,358
2021	-	50,715	50,715	2020	25,357	2020	25,358
2022	-	50,715	50,715	2021	25,357	2021	25,358
2023	-	50,715	50,715	2022	25,357	2022	25,358
2024	-	50,715	50,715	2023	25,357	2023	25,358
2025	-	50,715	50,715	2024	25,357	2024	25,358
2026	230,000	50,715	280,715	2025	25,357	2025	25,358
2027	235,000	41,515	276,515	2026	20,757	2026	20,758
2028	245,000	32,115	277,115	2027	16,057	2027	16,058
2029	255,000	22,193	277,193	2028	11,096	2028	11,097
2030	270,000	11,610	281,610	2029	5,805	2029	5,805
	1,235,000	462,438	1,697,438		231,214		231,224

UNITED CITY OF YORKVILLE, ILLINOIS

Schedule of Long-Term Debt Requirements

General Obligation Refunding Alternate Revenue Source Bonds of 2014A

April 30, 2019

Date of Issue	August 5, 2014
Date of Maturity	December 1, 2033
Authorized Issue	\$4,295,000
Denomination of Bonds	\$5,000
Interest Rate	3.00% to 4.00%
Interest Dates	June 1 and December 1
Principal Maturity Date	December 1
Payable at	Amalgamated

CURRENT AND LONG-TERM PRINCIPAL AND INTEREST REQUIREMENTS

Fiscal Year	Requirements			Interest Due on			
	Principal	Interest	Totals	Jun. 1	Amount	Dec. 1	Amount
2020	\$ 195,000	127,188	322,188	2019	63,594	2019	63,594
2021	200,000	121,338	321,338	2020	60,669	2020	60,669
2022	200,000	115,337	315,337	2021	57,669	2021	57,668
2023	210,000	109,337	319,337	2022	54,669	2022	54,668
2024	210,000	103,037	313,037	2023	51,519	2023	51,518
2025	220,000	96,737	316,737	2024	48,369	2024	48,368
2026	225,000	90,137	315,137	2025	45,069	2025	45,068
2027	230,000	83,387	313,387	2026	41,694	2026	41,693
2028	245,000	76,200	321,200	2027	38,100	2027	38,100
2029	250,000	66,400	316,400	2028	33,200	2028	33,200
2030	265,000	56,400	321,400	2029	28,200	2029	28,200
2031	275,000	45,800	320,800	2030	22,900	2030	22,900
2032	280,000	34,800	314,800	2031	17,400	2031	17,400
2033	290,000	23,600	313,600	2032	11,800	2032	11,800
2034	300,000	12,000	312,000	2033	6,000	2033	6,000
	<u>3,595,000</u>	<u>1,161,698</u>	<u>4,756,698</u>		<u>580,852</u>		<u>580,846</u>

UNITED CITY OF YORKVILLE, ILLINOIS

Schedule of Long-Term Debt Requirements

General Obligation Refunding Alternate Revenue Source Bonds of 2014B April 30, 2019

Date of Issue	August 5, 2014
Date of Maturity	December 30, 2022
Authorized Issue	\$2,300,000
Denomination of Bonds	\$5,000
Interest Rate	2.00% to 3.00%
Interest Dates	June 30 and December 30
Principal Maturity Date	December 30
Payable at	Amalgamated

CURRENT AND LONG-TERM PRINCIPAL AND INTEREST REQUIREMENTS

Fiscal Year	Requirements			Interest Due on			
	Principal	Interest	Totals	Jun. 30	Amount	Dec. 30	Amount
2020	\$ 290,000	33,550	323,550	2019	16,775	2019	16,775
2021	295,000	27,750	322,750	2020	13,875	2020	13,875
2022	310,000	18,900	328,900	2021	9,450	2021	9,450
2023	320,000	9,600	329,600	2022	4,800	2022	4,800
	<u>1,215,000</u>	<u>89,800</u>	<u>1,304,800</u>		<u>44,900</u>		<u>44,900</u>

UNITED CITY OF YORKVILLE, ILLINOIS

Schedule of Long-Term Debt Requirements

General Obligation Refunding Alternate Revenue Source Bonds of 2014C

April 30, 2019

Date of Issue	August 5, 2014
Date of Maturity	December 30, 2024
Authorized Issue	\$1,290,000
Denomination of Bonds	\$5,000
Interest Rate	2.00% to 3.00%
Interest Dates	June 30 and December 30
Principal Maturity Date	December 30
Payable at	Amalgamated

CURRENT AND LONG-TERM PRINCIPAL AND INTEREST REQUIREMENTS

Fiscal Year	Requirements			Interest Due on			
	Principal	Interest	Totals	Jun. 30	Amount	Dec. 30	Amount
2020	\$ 125,000	22,750	147,750	2019	11,375	2019	11,375
2021	130,000	20,250	150,250	2020	10,125	2020	10,125
2022	135,000	16,350	151,350	2021	8,175	2021	8,175
2023	135,000	12,300	147,300	2022	6,150	2022	6,150
2024	140,000	8,250	148,250	2023	4,125	2023	4,125
2025	135,000	4,050	139,050	2024	2,025	2024	2,025
	800,000	83,950	883,950		41,975		41,975

UNITED CITY OF YORKVILLE, ILLINOIS

Schedule of Long-Term Debt Requirements

General Obligation Refunding Alternate Revenue Source Bonds of 2015A

April 30, 2019

Date of Issue	July 8, 2015
Date of Maturity	December 1, 2034
Authorized Issue	\$5,575,000
Denomination of Bonds	\$5,000
Interest Rates	4.00%
Interest Dates	June 1 and December 1
Principal Maturity Date	December 1
Payable at	Amalgamated

CURRENT AND LONG-TERM PRINCIPAL AND INTEREST REQUIREMENTS

Fiscal Year	Requirements			Interest Due on			
	Principal	Interest	Totals	Jun. 1	Amount	Dec. 1	Amount
2020	\$ 395,000	206,400	601,400	2020	103,200	2020	103,200
2021	405,000	190,600	595,600	2021	95,300	2021	95,300
2022	425,000	174,400	599,400	2022	87,200	2021	87,200
2023	440,000	157,400	597,400	2023	78,700	2022	78,700
2024	460,000	139,800	599,800	2024	69,900	2023	69,900
2025	475,000	121,400	596,400	2025	60,700	2024	60,700
2026	215,000	102,400	317,400	2026	51,200	2025	51,200
2027	220,000	93,800	313,800	2027	46,900	2026	46,900
2028	230,000	85,000	315,000	2028	42,500	2027	42,500
2029	240,000	75,800	315,800	2029	37,900	2028	37,900
2030	250,000	66,200	316,200	2030	33,100	2029	33,100
2031	260,000	56,200	316,200	2031	28,100	2030	28,100
2032	270,000	45,800	315,800	2032	22,900	2031	22,900
2033	280,000	35,000	315,000	2033	17,500	2032	17,500
2034	290,000	23,800	313,800	2034	11,900	2033	11,900
2035	305,000	12,200	317,200	2035	6,100	2034	6,100
	<u>5,160,000</u>	<u>1,586,200</u>	<u>6,746,200</u>		<u>793,100</u>		<u>793,100</u>
Governmental	1,365,202	419,708	1,784,910		209,854		209,854
Business-Type	3,794,798	1,166,492	4,961,290		583,246		583,246
	<u>5,160,000</u>	<u>1,586,200</u>	<u>6,746,200</u>		<u>793,100</u>		<u>793,100</u>

UNITED CITY OF YORKVILLE, ILLINOIS

Schedule of Long-Term Debt Requirements

General Obligation Refunding (Alternate Revenue Source) Bonds of 2016 April 30, 2019

Date of Issue	October 27, 2016
Date of Maturity	December 30, 2022
Authorized Issue	\$5,800,000
Denomination of Bonds	\$5,000
Interest Rates	4.00% to 4.25%
Interest Dates	June 30 and December 30
Principal Maturity Date	December 30
Payable at	Amalgamated

CURRENT AND LONG-TERM PRINCIPAL AND INTEREST REQUIREMENTS

Fiscal Year	Requirements			Interest Due on			
	Principal	Interest	Totals	Jun. 30	Amount	Dec. 30	Amount
2020	\$ 1,470,000	176,450	1,646,450	2019	88,225	2019	88,225
2021	1,475,000	117,650	1,592,650	2020	58,825	2020	58,825
2022	1,040,000	58,650	1,098,650	2021	29,325	2021	29,325
2023	915,000	27,450	942,450	2022	13,725	2022	13,725
	<u>4,900,000</u>	<u>380,200</u>	<u>5,280,200</u>		<u>190,100</u>		<u>190,100</u>

UNITED CITY OF YORKVILLE, ILLINOIS

Schedule of Long-Term Debt Requirements

Illinois Rural Bond Bank Debt Certificates of 2003A April 30, 2019

Date of Issue	September 24, 2003
Date of Maturity	February 1, 2023
Authorized Issue	\$2,035,000
Denomination of Bonds	\$5,000
Interest Rates	1.60% to 5.20%
Interest Dates	August 1 and February 1
Principal Maturity Date	February 1
Payable at	US National Bank Assoc.

CURRENT AND LONG-TERM PRINCIPAL AND INTEREST REQUIREMENTS

Fiscal Year	Requirements			Interest Due on			
	Principal	Interest	Totals	Aug. 1	Amount	Feb. 1	Amount
2020	\$ 135,000	29,668	164,668	2019	14,834	2020	14,834
2021	140,000	22,850	162,850	2020	11,425	2021	11,425
2022	150,000	15,710	165,710	2021	7,855	2022	7,855
2023	155,000	8,060	163,060	2022	4,030	2023	4,030
	<u>580,000</u>	<u>76,288</u>	<u>656,288</u>		<u>38,144</u>		<u>38,144</u>

STATISTICAL SECTION

(Unaudited)

This part of the comprehensive annual financial report presents detailed information as a context for understanding what the information in the financial statements, note disclosures, and required supplementary information says about the City's overall financial health.

Financial Trends

These schedules contain trend information to help the reader understand how the City's financial performance and well-being have changed over time.

Revenue Capacity

These schedules contain information to help the reader assess the City's most significant local revenue sources.

Debt Capacity

These schedules present information to help the reader assess the affordability of the City's current levels of outstanding debt and the City's ability to issue additional debt in the future.

Demographic and Economic Information

These schedules offer demographic and economic indicators to help the reader understand the environment within which the City's financial activities take place.

Operating Information

These schedules contain service and infrastructure data to help the reader understand how the information in the City's financial report relates to the services the City provides and the activities it performs.

UNITED CITY OF YORKVILLE, ILLINOIS

Net Position by Component - Last Ten Fiscal Years*
April 30, 2019 (Unaudited)

See Following Page

UNITED CITY OF YORKVILLE, ILLINOIS

Net Position by Component - Last Ten Fiscal Years* April 30, 2019 (Unaudited)

	2010	2011	2012	2013
Governmental Activities				
Net Investment in Capital Assets	\$ 60,971,543	61,594,404	58,943,771	62,000,588
Restricted	3,468,150	3,315,028	3,478,139	3,537,867
Unrestricted	(4,124,885)	(3,827,879)	93,682	3,341,127
Total Governmental Activities Net Position	60,314,808	61,081,553	62,515,592	68,879,582
Business-Type Activities				
Net Investment in Capital Assets	32,942,926	33,166,989	26,640,987	31,719,100
Restricted	215,000	285,000	683,147	-
Unrestricted	2,904,916	2,608,587	13,406,883	13,502,177
Total Business-Type Activities Net Position	36,062,842	36,060,576	40,731,017	45,221,277
Primary Government				
Net Investment in Capital Assets	93,914,469	94,761,393	85,584,758	93,719,688
Restricted	3,683,150	3,600,028	4,161,286	3,537,867
Unrestricted	(1,219,969)	(1,219,292)	13,500,565	16,843,304
Total Primary Government Net Position	96,377,650	97,142,129	103,246,609	114,100,859

* Accrual Basis of Accounting

Note: The City implemented GASB Statement No. 68 for the year ended April 30, 2016.

2014	2015	2016	2017	2018	2019
63,873,210	66,706,243	70,624,870	74,001,408	83,186,083	83,800,089
1,946,088	2,744,103	3,064,646	2,634,940	1,992,274	1,741,515
3,566,727	3,328,570	(6,321,934)	(6,198,767)	(8,300,460)	(7,317,467)
69,386,025	72,778,916	67,367,582	70,437,581	76,877,897	78,224,137
34,717,042	46,482,812	49,232,266	53,490,328	57,257,183	58,098,381
-	-	-	-	-	-
13,015,100	1,891,407	2,346,622	3,158,076	4,884,605	6,235,797
47,732,142	48,374,219	51,578,888	56,648,404	62,141,788	64,334,178
98,590,252	113,189,055	119,857,136	127,491,736	140,443,266	141,898,470
1,946,088	2,744,103	3,064,646	2,634,940	1,992,274	1,741,515
16,581,827	5,219,977	(3,975,312)	(3,040,691)	(3,415,855)	(1,081,670)
117,118,167	121,153,135	118,946,470	127,085,985	139,019,685	142,558,315

UNITED CITY OF YORKVILLE, ILLINOIS
Changes in Net Position - Last Ten Fiscal Years*
April 30, 2019 (Unaudited)

	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019
Expenses										
Governmental Activities										
General Government	\$ 4,367,204	4,757,527	5,731,692	3,121,857	5,808,954	4,075,153	4,533,840	4,467,831	3,976,577	5,023,227
Public Safety	3,665,295	3,287,448	2,905,184	3,750,318	918,131	4,393,482	6,073,977	6,053,696	5,689,480	6,008,959
Community Development	447,491	394,687	307,053	356,689	2,029,523	592,588	649,507	734,317	629,894	869,044
Public Works	3,082,318	3,420,923	2,861,052	2,983,200	3,874,698	3,140,446	3,955,539	4,450,509	6,236,169	4,124,935
Library	1,103,649	1,170,275	871,050	932,748	407,537	930,024	877,154	930,739	941,123	974,154
Parks and Recreation	2,217,232	1,645,468	1,862,044	1,812,483	3,444,587	2,381,698	2,225,512	2,003,935	2,432,818	2,963,434
Unallocated Bad Debt Adjustment	1,016,132	-	-	-	-	-	-	-	-	-
Interest on Long-Term Debt	757,192	723,246	704,213	691,551	698,519	611,243	540,506	570,061	536,177	500,169
Total Governmental Activities Expenses	16,656,513	15,399,574	15,242,288	13,648,846	17,181,949	16,124,634	18,856,035	19,211,088	20,442,238	20,463,922
Business-Type Activities										
Water	2,416,462	2,396,100	2,505,247	2,638,252	1,595,266	2,792,755	3,257,504	3,251,836	3,271,956	3,256,582
Sewer	1,569,785	1,628,159	1,653,025	1,630,023	2,710,511	1,704,058	1,789,770	1,701,742	1,806,076	1,589,599
Recreation Center	634,346	688,218	657,479	592,707	232,882	-	-	-	-	-
Total Business-Type Activities Expenses	4,620,593	4,712,477	4,815,751	4,860,982	4,538,659	4,496,813	5,047,274	4,953,578	5,078,032	4,846,181
Total Primary Government Expenses	21,277,106	20,112,051	20,058,039	18,509,828	21,720,608	20,621,447	23,903,309	24,164,666	25,520,270	25,310,103
Program Revenues										
Governmental Activities										
Charges for Services										
General Government	1,795,244	1,840,958	2,057,279	1,751,309	2,381,788	2,885,990	3,072,590	3,222,388	3,629,476	3,798,007
Public Safety	-	-	-	-	-	-	-	-	-	-
Public Works	-	-	-	-	-	-	-	-	-	-
Library	61,096	48,983	50,582	58,794	74,037	44,522	53,372	71,213	123,156	125,800
Parks and Recreation	388,913	342,311	265,698	265,614	299,478	352,714	408,469	455,675	453,466	579,155
Operating Grants/Contributions	629,822	830,767	633,091	696,058	1,135,659	943,410	774,856	610,480	694,321	854,662
Capital Grants/Contributions	10,650,597	1,596,067	1,409,412	3,317,256	1,229,829	768,423	3,317,330	3,814,671	6,448,555	1,011,418
Total Governmental Activities Program Revenues	13,525,672	4,659,086	4,416,062	6,089,031	5,120,791	4,995,059	7,626,617	8,174,427	11,348,974	6,369,042
Business-Type Activities										
Charges for Services										
Water	1,875,826	2,543,796	2,592,652	2,823,357	2,394,494	2,626,114	3,624,374	4,127,783	4,655,750	4,557,352
Sewer	1,991,015	1,476,558	1,366,022	1,358,420	1,130,954	1,186,389	1,388,258	1,390,806	1,688,339	1,552,159
Recreation	582,889	620,020	620,489	493,617	44,891	-	-	-	-	-
Operating Grants/Contributions	-	-	-	-	-	-	-	-	-	-
Capital Grants/Contributions	14,473,957	241,344	2,433,079	4,829,491	1,658,648	6,805	2,029,848	3,257,187	3,945,565	-
Total Business-Type Activities Program Revenues	18,923,687	4,881,718	7,012,242	9,504,885	5,228,987	3,819,308	7,042,480	8,775,776	10,289,654	6,109,511
Total Primary Government Program Revenues	32,449,359	9,540,804	11,428,304	15,593,916	10,349,778	8,814,367	14,669,097	16,950,203	21,638,628	12,478,553

	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019
Net (Expense) Revenue										
Governmental Activities	\$ (10,740,488)	(10,826,226)	(7,559,815)	(12,061,158)	(11,129,575)	(11,129,575)	(11,229,418)	(11,036,661)	(9,093,264)	(14,094,880)
Business-Type Activities	169,241	2,196,491	4,643,903	690,328	(677,505)	(677,505)	1,995,206	3,822,198	5,211,622	1,263,330
Total Primary Government										
Net (Expense) Revenue	<u>(10,571,247)</u>	<u>(8,629,735)</u>	<u>(2,915,912)</u>	<u>(11,370,830)</u>	<u>(11,807,080)</u>	<u>(11,807,080)</u>	<u>(9,234,212)</u>	<u>(7,214,463)</u>	<u>(3,881,642)</u>	<u>(12,831,550)</u>
General Revenues and Other Changes in Net Position										
Governmental Activities										
Taxes										
Property	4,087,698	4,281,902	4,953,862	4,743,599	4,670,934	4,850,981	4,901,983	4,899,485	4,925,489	5,041,762
Sales	2,480,213	2,577,651	2,962,810	4,409,926	4,573,026	4,782,712	4,904,967	5,200,763	5,327,756	5,429,231
Income	1,280,519	1,306,325	1,444,426	1,587,324	1,613,102	1,735,422	1,715,155	1,602,410	1,640,291	1,966,699
Utility	1,542,649	1,614,294	1,568,699	1,553,693	1,633,242	1,600,296	1,585,758	1,615,153	1,587,270	1,647,511
Other	641,360	780,863	963,524	922,439	988,822	1,127,859	1,265,439	1,331,191	1,445,549	1,600,502
Development Fees	-	-	-	-	-	-	-	-	-	-
Interest	73,327	6,762	10,388	16,368	14,895	(176,911)	9,828	30,481	85,356	154,071
Miscellaneous	783,999	764,528	667,637	690,456	737,693	1,736,079	761,857	561,229	705,968	1,494,246
Transfers	134,209	174,908	-	-	(1,626,263)	(1,133,972)	(1,134,654)	(1,134,052)	(184,099)	(921,615)
Total Governmental Activities	<u>11,023,974</u>	<u>11,507,233</u>	<u>12,571,346</u>	<u>13,923,805</u>	<u>12,605,451</u>	<u>14,522,466</u>	<u>14,010,333</u>	<u>14,106,660</u>	<u>15,533,580</u>	<u>16,412,407</u>
Business-Type Activities										
Property Taxes	-	-	1,883,730	1,883,730	-	-	-	-	-	-
Interest	5,527	3,401	2,687	9,542	11,491	11,206	6,685	13,623	36,002	28,777
Connection Fees	-	-	-	-	-	-	-	-	-	-
Miscellaneous	-	-	60,691	(1,624,872)	182,783	174,404	64,678	99,643	61,661	84,652
Transfers	(134,209)	(174,908)	-	-	1,626,263	1,133,972	1,134,654	1,134,052	184,099	921,615
Total Business-Type Activities	<u>(128,682)</u>	<u>(171,507)</u>	<u>1,947,108</u>	<u>268,400</u>	<u>1,820,537</u>	<u>1,319,582</u>	<u>1,206,017</u>	<u>1,247,318</u>	<u>281,762</u>	<u>1,035,044</u>
Total Primary Government	<u>10,895,292</u>	<u>11,335,726</u>	<u>14,518,454</u>	<u>14,192,205</u>	<u>14,425,988</u>	<u>15,842,048</u>	<u>15,216,350</u>	<u>15,353,978</u>	<u>15,815,342</u>	<u>17,447,451</u>
Changes in Net Position										
Governmental Activities	283,486	681,007	5,011,531	1,862,647	1,475,876	3,392,891	2,780,915	3,069,999	6,440,316	2,317,527
Business-Type Activities	40,559	2,024,984	6,591,011	958,728	1,143,032	642,077	3,201,223	5,069,516	5,493,384	2,298,374
Total Primary Government	<u>324,045</u>	<u>2,705,991</u>	<u>11,602,542</u>	<u>2,821,375</u>	<u>2,618,908</u>	<u>4,034,968</u>	<u>5,982,138</u>	<u>8,139,515</u>	<u>11,933,700</u>	<u>4,615,901</u>

* Accrual Basis of Accounting

UNITED CITY OF YORKVILLE, ILLINOIS

Fund Balances of Governmental Funds - Last Ten Fiscal Years* April 30, 2019 (Unaudited)

	2010	2011	2012	2013
General Fund				
Reserved	\$ 39,497	136,917	-	-
Unreserved	(532,436)	(408,817)	-	-
Nonspendable	-	-	153,770	139,985
Restricted	-	-	-	-
Assigned	-	-	332,500	-
Unassigned	-	-	784,353	4,083,835
Total General Fund	(492,939)	(271,900)	1,270,623	4,223,820
All Other Governmental Funds				
Reserved	3,482,941	3,323,515	-	-
Unreserved, Reported in,				
Special Revenue Funds	403,793	828,903	-	-
Debt Service Funds	-	-	-	-
Capital Projects Funds	(626,102)	(586,372)	-	-
Nonspendable	-	-	27,913	34,586
Restricted	-	-	3,565,649	3,549,913
Committed	-	-	264,616	305,804
Assigned	-	-	428,933	504,314
Unassigned	-	-	(874,152)	(571,615)
Total All Other Governmental Funds	3,260,632	3,566,046	3,412,959	3,823,002
Total All Governmental Funds	2,767,693	3,294,146	4,683,582	8,046,822

* Modified Accrual Basis of Accounting

Note: The City adopted GASB Statement 54 for the fiscal year ended April 30, 2012.

2014	2015	2016	2017	2018	2019
-	-	-	-	-	-
-	-	-	-	-	-
156,680	145,012	138,312	150,464	83,305	85,744
-	984,526	1,216,288	984,514	726,019	458,685
-	-	-	-	-	-
3,703,901	3,696,520	4,337,106	5,079,111	5,687,049	6,335,394
3,860,581	4,826,058	5,691,706	6,214,089	6,496,373	6,879,823
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
34,385	33,284	37,376	37,664	16,392	18,266
1,951,407	1,767,419	1,848,358	1,650,426	1,266,255	1,282,830
527,635	537,853	480,034	421,586	467,816	435,216
824,301	4,788,775	3,004,149	1,625,937	743,997	1,125,471
(534,087)	(624,928)	(584,901)	(511,528)	(1,441,197)	(1,260,507)
2,803,641	6,502,403	4,785,016	3,224,085	1,053,263	1,601,276
6,664,222	11,328,461	10,476,722	9,438,174	7,549,636	8,481,099

UNITED CITY OF YORKVILLE, ILLINOIS

Changes in Fund Balances of Governmental Funds - Last Ten Fiscal Years* April 30, 2019 (Unaudited)

	2010	2011	2012	2013
Revenues				
Taxes	\$ 8,694,985	9,254,138	10,020,005	6,767,061
Intergovernmental	1,910,171	2,479,758	2,906,407	7,545,978
Licenses, Permits and Fees	894,871	486,264	336,683	400,718
Charges for Services	1,252,904	1,519,004	1,842,620	1,479,712
Fines and Forfeitures	166,078	228,009	194,256	195,287
Interest	73,327	6,762	10,388	16,368
Miscellaneous	676,539	763,503	667,637	690,456
Total Revenues	13,668,875	14,737,438	15,977,996	17,095,580
Expenditures				
General Government	4,590,261	4,724,320	5,501,632	3,498,104
Public Safety	3,260,256	2,886,313	2,849,067	3,568,665
Community Development	423,835	395,291	307,053	365,188
Public Works	1,976,664	2,038,458	1,926,169	1,841,795
Library	915,195	975,587	691,525	752,373
Parks and Recreation	1,532,422	1,360,244	1,488,018	1,450,824
Capital Outlay	242,005	376,030	101,133	572,022
Debt Service				
Principal Retirement	849,937	896,544	1,038,254	1,025,074
Interest and Fiscal Charges	764,364	733,106	701,809	663,495
Total Expenditures	14,554,939	14,385,893	14,604,660	13,737,540
Excess (Deficiency) of Revenues Over (Under) Expenditures	(886,064)	351,545	1,373,336	3,358,040
Other Financing Sources (Uses)				
Disposal of Capital Assets	-	-	16,100	5,200
Adjustment for Bad Debts	(1,016,132)	-	-	-
Debt Issuance	-	-	-	-
Bond Premium/(Discount)	-	-	-	-
Payment to Escrow Agent	-	-	-	-
Transfers In	2,046,452	1,848,135	1,047,727	1,504,002
Transfers Out	(1,912,243)	(1,673,227)	(1,047,727)	(1,504,002)
	(881,923)	174,908	16,100	5,200
Net Change in Fund Balances	(1,767,987)	526,453	1,389,436	3,363,240
Debt Service as a Percentage of Noncapital Expenditures	11.227%	11.709%	13.098%	17.159%

* Modified Accrual Basis of Accounting

2014	2015	2016	2017	2018	2019
5,176,481	11,830,762	12,103,254	12,466,013	12,662,678	12,995,856
9,469,590	3,312,823	3,180,626	3,343,533	3,164,026	4,279,863
393,746	379,242	493,619	706,782	1,016,223	1,208,345
2,169,670	2,749,195	2,897,718	2,888,281	3,047,606	3,176,017
191,887	154,789	143,094	154,213	142,269	118,600
14,895	(176,911)	9,828	30,481	85,356	154,071
737,693	1,736,079	761,857	561,229	705,968	1,494,246
18,153,962	19,985,979	19,589,996	20,150,532	20,824,126	23,426,998
5,685,541	3,910,635	3,928,055	4,293,081	5,036,599	4,946,923
3,834,655	4,337,573	4,689,129	4,907,384	5,302,038	5,356,149
407,537	592,588	649,507	734,317	629,894	869,044
2,207,757	2,361,827	2,460,192	2,344,878	2,223,750	2,288,047
737,191	748,905	694,441	748,026	758,411	791,441
1,644,065	2,041,792	1,803,333	1,936,083	2,632,896	2,562,757
2,050,456	3,285,489	3,653,071	3,656,703	5,037,740	2,782,137
1,099,223	844,112	1,040,880	1,149,185	1,195,669	1,462,304
641,673	496,090	604,406	563,433	514,068	515,118
18,308,098	18,619,011	19,523,014	20,333,090	23,331,065	21,573,920
(154,136)	1,366,968	66,982	(182,558)	(2,506,939)	1,853,078
16,325	-	48,446	278,062	2,500	-
-	-	-	-	-	-
8,053,963	6,670,678	1,627,183	-	800,000	-
115,109	119,680	122,288	-	-	-
(7,787,598)	(2,359,115)	(1,581,984)	-	-	-
2,881,535	1,375,448	1,326,090	1,524,658	2,753,031	2,213,618
(4,507,798)	(2,509,420)	(2,460,744)	(2,658,710)	(2,937,130)	(3,135,233)
(1,228,464)	3,297,271	(918,721)	(855,990)	618,401	(921,615)
(1,382,600)	4,664,239	(851,739)	(1,038,548)	(1,888,538)	931,463
11.540%	9.497%	10.293%	9.793%	9.228%	10.629%

UNITED CITY OF YORKVILLE, ILLINOIS

Assessed Value and Actual Value of Taxable Property - Last Ten Fiscal Years April 30, 2019 (Unaudited)

Fiscal Year	Tax Levy Year	Residential Property	Farm	Commercial Property
2010	2009	\$ 444,422,818	\$ 2,524,355	\$ 124,381,958
2011	2010	407,528,709	2,398,027	122,304,406
2012	2011	367,600,683	2,450,231	112,753,206
2013	2012	332,551,186	2,568,351	101,264,981
2014	2013	311,316,069	2,618,131	99,434,012
2015	2014	310,655,449	2,743,283	90,744,145
2016	2015	320,914,471	2,861,401	84,529,087
2017	2016	354,408,067	2,963,511	84,099,111
2018	2017	386,855,913	3,083,218	83,975,023
2019	2018	416,780,620	3,202,140	83,874,064

Data Source: Office of the County Clerk

Note: Property is assess at 33% of actual value.

Industrial Property	Railroad Property	Total Taxable Assessed Value	Estimated Actual Value of Taxable Property	Total Direct Tax Rate
\$ 6,921,977	\$ 17,328	\$ 578,268,436	\$ 1,734,805,308	0.4374
6,820,310	17,328	539,068,780	1,617,206,340	0.9019
7,283,729	17,328	490,105,177	1,470,315,531	0.7046
6,720,962	17,328	443,122,808	1,329,368,424	0.7490
6,656,792	17,328	420,042,332	1,260,126,996	0.7738
12,668,201	17,328	416,828,406	1,250,485,218	0.7581
13,000,039	17,329	421,322,327	1,263,966,981	0.7361
14,944,561	17,328	456,432,578	1,369,297,734	0.6795
15,349,880	17,328	489,281,362	1,467,844,086	0.6471
15,386,433	60,243	519,303,500	1,557,910,500	0.6242

UNITED CITY OF YORKVILLE, ILLINOIS

Principal Property Taxpayers - Current Tax Levy Year and Nine Tax Levy Years Ago April 30, 2019 (Unaudited)

Taxpayer	2018 Tax Levy			2009 Tax Levy		
	Taxable Assessed Value	Rank	Percentage of Total City Taxable Assessed Value	Taxable Assessed Value	Rank	Percentage of Total City Taxable Assessed Value
Wrigley Manufacturing Co., LLC	\$ 4,551,800	1	0.88%	\$ 3,768,518	7	0.65%
Copley Ventures, Inc.	3,956,207	2	0.76%	8,581,800	2	1.48%
Yorkville Marketplace LLC	3,891,085	3	0.75%	4,800,722	4	0.83%
Menard, Inc	3,212,882	4	0.62%	9,528,945	1	1.65%
Boombah Properties LLC	3,074,392	5	0.59%			
Yorkville Leased Housing Assoc.	2,637,510	6	0.51%			
Kendall Holdings LLC	2,403,344	7	0.46%			
York Meadows LLC	2,286,011	8	0.44%			
Rainy Properties LLC	2,030,221	9	0.39%			
Target Corporation	1,900,000	10	0.37%	4,539,293	5	0.78%
Cannonball LLC				6,581,769	3	1.14%
Few Acquisitions LLC				3,785,974	6	0.65%
Cest La Vie Inc.				2,491,808	8	0.43%
Quality Properties Asset Mgmt Co.				2,458,279	9	0.43%
Home Depot USA Inc.				2,436,845	10	0.42%
	<u>\$ 29,943,452</u>		<u>5.77%</u>	<u>\$ 48,973,953</u>		<u>8.46%</u>

Data Source: Office of the County Clerk

UNITED CITY OF YORKVILLE, ILLINOIS

Direct and Overlapping Property Tax Rates - Last Ten Tax Levy Years April 30, 2019 (Unaudited)

	2009	2010	2011
City Direct Rates			
Corporate	0.1138	0.1472	0.2108
Bonds and Interest	-	0.4105	0.1477
IMRF	0.0778	0.0804	0.0918
Police Protection	0.0584	0.0620	0.0714
Police Pension	0.0583	0.0670	0.0900
Audit	0.0095	0.0098	0.0082
Liability Insurance	0.0583	0.0615	0.0082
Social Security	0.0528	0.0546	0.0612
School Crossing Guard	0.0042	0.0044	0.0051
Unemployment Insurance	0.0043	0.0045	0.0102
Total Direct Rates	0.4374	0.9019	0.7046
Overlapping Rates			
Kendall County	0.5734	0.6396	0.6999
Kendall County Forest Preserve	0.0944	0.1041	0.1205
Bristol Township	0.2963	0.3246	0.3693
Bristol - Kendall Fire District	0.6007	0.6734	0.7176
Yorkville - Bristol Sanitary District	-	-	-
Yorkville Community Unit School District #115	4.6973	5.2767	5.9101
Waubonsee Community College District #516	0.4037	0.4115	0.4702
Yorkville Public Library	0.2172	0.2589	0.3042
Total Direct and Overlapping Rates	7.3204	8.5907	9.2964

Data Source: Office of the County Clerk

Notes:

- (1) Rates are per \$100 of Assessed Value.
- (2) Representative tax rates for other government units are from Bristol Township

2012	2013	2014	2015	2016	2017	2018
0.2354	0.2484	0.2503	0.2380	0.2197	0.2049	0.1931
0.1097	0.0797	0.0397	0.0113	-	-	-
0.1016	0.1071	0.1080	-	-	-	-
0.0790	0.0833	0.0840	0.2407	0.1999	0.2003	0.1709
0.1229	0.1493	0.1694	0.1959	0.2117	0.1969	0.2140
0.0068	0.0071	0.0072	0.0069	0.0066	0.0061	0.0057
0.0090	0.0095	0.0096	0.0091	0.0088	0.0082	0.0077
0.0677	0.0714	0.0720	0.0342	0.0329	0.0307	0.0289
0.0056	0.0060	0.0060	-	-	-	0.0039
0.0113	0.0119	0.0120	-	-	-	-
0.7490	0.7738	0.7581	0.7361	0.6795	0.6471	0.6242
0.7446	0.8009	0.8085	0.7909	0.7477	0.7088	0.6728
0.1495	0.1640	0.1826	0.1787	0.1755	0.1752	0.1503
0.3934	0.4239	0.4172	0.3960	0.3408	0.2787	0.2618
0.7356	0.7718	0.8041	0.8077	0.7592	0.7425	0.7300
-	-	-	-	-	-	-
6.7561	7.4081	7.7083	7.8713	7.5634	7.3444	7.1852
0.5306	0.5691	0.5973	0.5885	0.5601	0.5514	0.5413
0.3242	0.3241	0.3299	0.3287	0.3080	0.2994	0.2892
10.3830	11.2357	11.6060	11.6979	11.1342	10.7475	10.4548

UNITED CITY OF YORKVILLE, ILLINOIS

Property Tax Levies and Collections - Last Ten Fiscal Years April 30, 2019 (Unaudited)

Fiscal Year	Tax Levy Year	Taxes Levied for the Fiscal Year	Collected within the Fiscal Year of the Levy		Collections in Subsequent Years***	Total Collections to Date **	
			Amount	Percentage of Levy		Amount	Percentage of Levy
2010	2008	\$ 2,420,411	\$ 2,407,483	99.47%	-	\$ 2,407,483	99.47%
2011	2009	2,529,057	2,521,570	99.70%	-	2,521,570	99.70%
2012	2010*	4,862,185	4,849,681	99.74%	-	4,849,681	99.74%
2013	2011*	3,452,742	3,435,616	99.50%	-	3,435,616	99.50%
2014	2012*	3,318,990	3,193,672	96.22%	-	3,193,672	96.22%
2015	2013*	3,250,204	3,234,448	99.52%	-	3,234,448	99.52%
2016	2014*	3,159,892	3,146,278	99.57%	-	3,146,278	99.57%
2017	2015*	3,101,185	3,071,484	99.04%	-	3,071,484	99.04%
2018	2016	3,101,322	3,093,892	99.76%	-	3,093,892	99.76%
2019	2017	3,278,303	3,278,303	100.00%	-	3,278,303	100.00%

Data Source: Office of the County Treasurer

* The 2010, 2011, 2012, 2013, 2014 and 2015 tax levy extended amounts include bonds and interest in the amount of \$2,212,770, \$723,689, \$486,150, \$334,816, \$165,564 & \$47,525, respectively, that were previously abated.

** Includes property taxes collected in the current year that may be attributable to prior years. These collections, if any, are immaterial as 99% or greater of the current year's tax levy has historically been collected during the respective fiscal year. Additionally, information to associate any non-current tax collections to a specific tax levy is not readily available.

*** Information for collections in subsequent years is unavailable.

Note: Property in the City is reassessed each year. Property is assessed at 33% of actual value.

UNITED CITY OF YORKVILLE, ILLINOIS

Estimate of Taxable Sales by Category - Last Ten Calendar Years April 30, 2019 (Unaudited)

	2009	2010	2011
General Merchandise*	\$ 449,732	508,825	555,129
Food	276,477	258,675	262,556
Drinking and Eating Places	236,676	248,772	268,418
Apparel*	52,413	58,032	68,320
Furniture & H.H. & Radio	15,300	21,282	-
Lumber, Building Hardware	347,804	359,245	352,669
Automobile and Filling Stations	164,330	187,309	194,135
Drugs and Miscellaneous Retail	372,802	562,570	603,718
Agriculture and All Others	175,964	53,410	58,065
Manufacturers	302,537	323,334	191,287
Total	2,394,035	2,581,454	2,554,297
City Direct Sales Tax Rate	1.00%	1.00%	1.00%

Data Source: Illinois Department of Revenue - Local Tax Allocation Division

Data available for calendar year only.

* Data by category is not available from the State of Illinois for categories with less than four taxpayers. However, they are included in the totals. Per the State of Illinois, there must not have been four taxpayers during the year 2011.

2012	2013	2014	2015	2016	2017	2018
571,210	594,685	593,361	608,996	597,618	581,090	596,620
259,509	266,937	289,897	385,034	377,825	417,028	452,298
279,649	293,131	299,300	332,752	376,762	401,725	413,204
85,797	88,739	87,834	95,975	99,354	94,459	99,121
7,727	3,370	2,710	2,597	2,373	1,590	1,902
362,987	413,711	446,440	470,357	510,521	539,760	558,358
178,282	156,091	146,062	160,717	188,830	187,127	220,232
582,001	597,615	566,665	362,225	506,123	487,129	484,825
64,558	89,360	161,114	232,923	135,378	213,964	219,283
78,346	89,239	90,998	102,011	116,723	36,167	30,503
2,470,066	2,592,877	2,684,381	2,753,587	2,911,507	2,960,039	3,076,346
1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%

UNITED CITY OF YORKVILLE, ILLINOIS

Direct and Overlapping Sales Tax Rates - Last Ten Fiscal Years April 30, 2019 (Unaudited)

Fiscal Year	State Sales Tax	Local Sales Tax to City	City Non-Home Rule Sales Tax*	County Sales Tax	County Public Safety Property	Total Sales Tax Rate
2010	5.00%	1.00%	0.00%	0.25%	1.00%	7.25%
2011	5.00%	1.00%	0.00%	0.25%	1.00%	7.25%
2012	5.00%	1.00%	1.00%	0.25%	1.00%	8.25%
2013	5.00%	1.00%	1.00%	0.25%	1.00%	8.25%
2014	5.00%	1.00%	1.00%	0.25%	1.00%	8.25%
2015	5.00%	1.00%	1.00%	0.25%	1.00%	8.25%
2016	5.00%	1.00%	1.00%	0.25%	1.00%	8.25%
2017	5.00%	1.00%	1.00%	0.25%	1.00%	8.25%
2018	5.00%	1.00%	1.00%	0.25%	1.00%	8.25%
2019	5.00%	1.00%	1.00%	25.00%	1.00%	8.25%

Data Source: Illinois Department of Revenue

*Non-Home Rule Sales Tax was implemented on January 1, 2012.

The above tax rates are for General Merchandise.

UNITED CITY OF YORKVILLE, ILLINOIS

Ratios of Outstanding Debt by Type - Last Ten Fiscal Years April 30, 2019 (Unaudited)

Fiscal Year	Governmental Activities				General Obligation and Alternative Revenue Source Bonds
	General Obligation and Alternative Revenue Source Bonds	Debt Certificates	Loans Payable	Other Commitments	
2010	\$ 15,365,000	\$ 285,000	\$ 1,152,623	\$ 1,890	\$ 18,855,000
2011	14,715,000	190,000	1,001,079	1,890	18,605,000
2012	13,925,000	95,000	847,825	1,890	18,175,000
2013	13,025,000	-	855,601	1,890	17,905,000
2014	12,520,000	-	940,341	1,890	16,855,000
2015	16,120,000	-	901,907	1,890	15,700,000
2016	15,325,990	-	938,210	1,890	18,555,000
2017	14,252,531	-	820,482	1,890	20,613,544
2018	13,138,403	-	1,500,822	1,890	18,605,065
2019	11,967,952	-	1,170,850	1,890	16,622,397

Note: Details regarding the City's outstanding debt can be found in the notes to the financial statements.

(1) See the Schedule of Demographic and Economic Statistics for personal income and population data.

Business-Type Activities						
Debt Certificates	IEPA Loans Payable	Other Commitments	Total Primary Government	Percentage of Personal Income (1)	Per Capita (1)	
\$ 9,571,912	\$ 2,686,846	\$ 2,523,422	\$ 50,441,693	12.13%	\$ 2,996	
9,064,112	2,483,882	2,296,958	48,357,921	11.43%	2,858	
8,460,000	2,275,320	2,065,958	45,845,993	10.30%	2,655	
7,465,000	2,060,997	1,952,534	43,266,022	9.25%	2,470	
6,680,000	1,880,084	1,919,909	40,797,224	8.70%	2,291	
5,865,000	1,694,504	1,942,898	42,226,199	8.72%	2,325	
5,220,000	1,504,138	2,000,619	43,545,847	8.38%	2,360	
1,230,000	1,308,862	2,061,951	40,289,260	7.61%	2,139	
1,010,000	1,108,550	2,126,965	37,491,695	6.95%	1,971	
580,000	903,070	2,194,902	33,441,061	5.84%	1,662	

UNITED CITY OF YORKVILLE, ILLINOIS

Ratios of General Bonded Debt Outstanding - Last Ten Fiscal Years April 30, 2019 (Unaudited)

Fiscal Year	General Obligation and Alternative Revenue Source Bonds	Less: Amounts Available in Debt Service	Total	Percentage of Total Taxable Assessed Value of Property (1)	Per Capita (2)
2010	\$ 34,220,000	\$ -	\$ 34,220,000	5.92%	\$ 2,032
2011	33,320,000	-	33,320,000	6.18%	1,969
2012	32,100,000	57,844	32,042,156	6.54%	1,856
2013	30,930,000	-	30,930,000	6.98%	1,766
2014	29,375,000	-	29,375,000	6.99%	1,650
2015	31,820,000	-	31,820,000	7.63%	1,752
2016	33,880,990	-	33,880,990	8.04%	1,836
2017	34,866,075	-	34,866,075	7.64%	1,851
2018	31,743,468	-	31,743,468	6.49%	1,669
2019	28,590,349	-	28,590,349	5.51%	1,421

Note: Details regarding the City's outstanding debt can be found in the notes to the financial statements.

(1) See the Schedule of Assessed Value and Actual Value of Taxable Property for property value data.

(2) See the Schedule of Demographic and Economic Statistics for personal income and population data.

UNITED CITY OF YORKVILLE, ILLINOIS

Schedule of Direct and Overlapping Governmental Activities Debt April 30, 2019 (Unaudited)

Governmental Unit	(1) Gross Debt	(2) Percentage of Debt Applicable to City *	(3) City's Share of Debt
United City of Yorkville	\$ 13,140,692	100.000%	\$ 13,140,692
Overlapping Debt			
County of Kendall (4)	27,855,000	16.09%	4,481,870
Forest Preserve District of Kendall County	35,860,000	16.09%	5,769,874
Yorkville Community Unit School District #115	60,789,166	59.07%	35,908,160
Waubensee Community College District #516	52,510,000	5.33%	2,798,783
Plano Community Unit School District #88	34,274,877	0.28%	95,970
Newark Community Consolidated School District #66	1,080,000	0.43%	4,644
Total Overlapping Debt	212,369,043		49,059,301
Total Direct and Overlapping Debt	225,509,735		62,199,993

Data Source: Kendall County Tax Extension Department

* Determined by ratio of assessed valuation of property subject to taxation in the City to valuation of property subject to taxation in overlapping unit.

Notes:

(1) As of June 5, 2019.

(2) Percentages are based on 2018 EAV's, the latest available.

(3) The United City of Yorkville has \$74,420,000 in outstanding non-committal debt which is expected to be paid from sources other than City revenues.

(4) Includes Public Building Commission.

UNITED CITY OF YORKVILLE, ILLINOIS

**Schedule of Legal Debt Margin - Last Ten Fiscal Years
April 30, 2019 (Unaudited)**

	2010	2011	2012	2013
Legal Debt Limit	\$ 49,875,653	46,494,682	42,271,572	38,219,342
Total Net Debt Applicable to Limit	18,356,912	17,529,112	24,860,000	22,945,000
Legal Debt Margin	31,518,741	28,965,570	17,411,572	15,274,342
Total Net Debt Applicable to the Limit as a Percentage of Debt Limit	36.81%	37.70%	58.81%	60.04%

2014	2015	2016	2017	2018	2019
36,228,651	35,951,450	36,339,051	39,367,310	42,200,517	44,789,927
19,290,000	14,855,000	13,420,000	6,835,000	6,045,000	5,000,000
16,938,651	21,096,450	22,919,051	32,532,310	36,155,517	39,789,927
53.25%	41.32%	36.93%	17.36%	14.32%	11.16%

Legal Debt Margin Calculation for Fiscal Year 2019	
Assessed Value	<u>\$ 519,303,500</u>
Bonded Debt Limit - 8.625% of Assessed Value	44,789,927
Amount of Debt Applicable to Limit	<u>5,000,000</u>
Legal Debt Margin	<u>39,789,927</u>

UNITED CITY OF YORKVILLE, ILLINOIS

Pledged-Revenue Coverage - Last Ten Fiscal Years

Governmental Activities

April 30, 2019 (Unaudited)

Fiscal Year	Incremental Property/ Property Tax	Municipal Utility Tax	Motor Fuel Tax	Municipal Sales Tax	Net Available Revenue	Debt Service		Coverage
						Principal	Interest	
2010	\$ 222,927	\$ 833,669	\$ 434,263	\$ 2,446,099	\$ 3,936,958	\$ 405,000	\$ 299,239	5.59
2011	234,718	873,999	425,971	2,569,233	4,103,921	425,000	283,604	5.79
2012	586,590	-	417,416	2,552,483	3,556,489	440,000	267,104	5.03
2013	364,742	-	402,932	2,490,503	3,258,177	460,000	249,609	4.59
2014	315,790	-	-	2,586,460	2,902,250	400,000	230,917	4.60
2015	327,984	418,509	-	2,704,651	3,451,144	225,000	56,789	12.25
2016	164,852	393,680	-	2,778,116	3,336,648	255,000	53,550	10.81
2017	215,360	359,947	-	2,940,976	3,516,283	270,000	50,150	10.98
2018	198,294	334,595	-	3,002,133	3,535,022	275,000	44,750	11.06
2019	198,918	329,742	-	3,070,663	3,599,323	285,000	39,250	11.10

Notes:

Details regarding the City's outstanding debt can be found in the Notes to the Financial Statements.

Series 2014, 2014A and 2015A Bonds are payable from revenues from Sales Taxes and incremental taxes, if any, from the Countryside TIF. Series 2014B Bonds are payable from Utility Taxes.

UNITED CITY OF YORKVILLE, ILLINOIS

Pledged-Revenue Coverage - Last Ten Fiscal Years

Business-Type Activities

April 30, 2019 (Unaudited)

Fiscal Year	Water and Sewer Revenues	Less: Operating Expenses	State Income Tax	Non-Home Rule Sales Tax	Net Available Revenue	Debt Service		Coverage
						Principal	Interest	
2010	\$ 3,738,010	\$ 1,978,482	\$ 1,277,889	\$ -	\$ 3,037,417	\$ 235,000	\$ 813,634	\$ 2.90
2011	4,020,017	1,895,466	1,315,321	-	3,439,872	250,000	804,306	3.26
2012	5,891,708	2,776,270	1,444,426	410,327	4,559,864	260,000	793,668	4.33
2013	4,432,710	2,895,830	1,587,324	1,919,423	5,043,627	270,000	769,100	4.85
2014	3,379,454	1,695,780	1,613,102	1,986,566	5,283,342	1,050,000	759,986	2.92
2015	3,646,020	1,929,555	1,735,422	2,078,061	5,529,948	1,175,000	704,410	2.94
2016	4,493,694	2,386,468	1,715,155	2,126,851	5,949,232	1,245,000	624,002	3.18
2017	4,364,434	2,366,493	1,602,410	2,259,787	5,860,138	1,290,000	592,364	3.11
2018	5,642,966	2,570,417	1,640,291	2,325,623	7,038,463	1,878,991	831,200	2.60
2019	5,571,153	2,331,257	1,966,699	2,358,568	7,565,163	1,982,668	719,080	2.80

Notes:

Details regarding the City's outstanding debt can be found in the notes to the financial statements.

Water and Sewer revenues exclude capital contributions and developer donations. Operating expenses do not include depreciation or amortization expenses.

UNITED CITY OF YORKVILLE, ILLINOIS

Demographic and Economic Statistics - Last Ten Calendar Years April 30, 2019 (Unaudited)

Calendar Year	Population (1)	Personal Income (4)	Per Capita Personal Income (4)	Median Age (1)	School Enrollment (2)	Unemployment Rate (3)
2009	16,838	\$ 415,835,242	\$ 44,099	33.2	5,105	6.60%
2010	16,921	423,231,547	44,691	32.4	5,283	6.40%
2011	17,266	445,027,116	46,877	33.5	5,426	5.90%
2012	17,518	467,491,704	49,110	32.9	5,474	5.20%
2013	17,804	468,864,947	49,123	31.1	5,630	8.20%
2014	18,161	484,322,292	50,690	31.6	5,786	6.40%
2015	18,451	519,692,602	54,516	31.6	5,801	4.80%
2016	18,833	529,121,652	55,621	32.3	5,980	5.20%
2017	19,022	539,704,085	56,733	32.3	6,026	4.50%
2018	20,119	572,600,072	59,927	33.7	6,233	3.50%

Data Source:

- (1) U.S. Census Bureau
- (2) Data provided by School District Administrative Offices
- (3) Illinois Department of Employment Security, Economic Information and Analysis
- (4) U.S. Bureau of Economic Analysis: Chicago-Naperville-Elgin Metropolitan Statistical Area

UNITED CITY OF YORKVILLE, ILLINOIS

Principal Employers - Current Calendar Year and Nine Calendar Years Ago April 30, 2019 (Unaudited)

Employer	2018 Calendar Year			2009 Calendar Year		
	Employees	Rank	Percentage of Total City Employment	Employees	Rank	Percentage of Total City Employment
Wrigley Manufacturing Co.	600	1	2.98%	387	2	2.30%
Raging Waves (Seasonal)	450	2	2.24%	400	1	2.38%
Super Target	225	3	1.12%	200	3	1.19%
Jewel/Osco	150	4	0.75%	160	4	0.95%
Newlywed Foods	140	5	0.70%	110	7	0.65%
Menards Mega Store	130	6	0.65%	160	4	0.95%
Boombah, Inc	130	6	0.65%			
Kohl's	115	7	0.57%	120	6	0.71%
Home Depot	110	8	0.55%	85	10	0.50%
Hillside Health Care Center	90	9	0.45%	90	9	0.53%
Aurora Speciality Textiles	85	10	0.42%			
Wheatland Title	85	10	0.42%			
F. E. Wheaton				160	4	0.95%
X-Pac				130	5	0.77%
Rush-Copley Healthcare Center				100	8	0.59%
	<u>2,310</u>		<u>11.48%</u>	<u>2,102</u>		<u>12.48%</u>

Data Source: City Records and Illinois Manufacturers Directory.

UNITED CITY OF YORKVILLE, ILLINOIS

Full-Time and Part-Time Government Employees by Function - Last Ten Fiscal Years April 30, 2019 (Unaudited)

	2010	2011	2012
<u>Full Time</u>			
General Government			
Administration	5.0	4.0	4.0
Finance	5.0	4.0	4.0
Community Relations	1.0	-	-
Engineering	4.0	3.0	-
Community Development	4.0	3.0	2.0
Public Safety			
Police			
Officers	27.0	25.0	25.0
Civilians	5.0	3.0	3.0
Public Works			
Streets	6.0	5.0	5.0
Water	6.0	6.0	5.5
Sewer	4.0	3.0	3.5
Culture & Recreation			
Parks	8.0	8.0	8.0
Recreation	6.0	4.0	4.0
Library	5.0	5.0	5.0
<u>Part Time</u>			
General Government			
Administration	-	-	-
Community Development	1.0	1.0	1.0
Public Safety			
Police			
Officers	2.0	3.0	5.0
Civilians	6.0	6.0	7.0
Parks & Recreation			
Parks	2.0	2.0	3.0
Recreation	38.0	40.0	40.0
Library	33.0	30.0	30.0
Total	168.0	155.0	155.0

Data Source: City Human Resource Department
N/A - Not Available

2013	2014	2015	2016	2017	2018	2019
4.0	4.0	4.0	4.0	4.0	5.5	5.5
4.0	4.0	4.0	4.0	4.0	4.0	4.0
-	-	-	-	-	-	-
-	-	-	-	-	-	-
3.0	4.0	4.0	4.0	4.0	5.0	6.0
26.0	28.0	29.0	29.0	29.0	30.0	27.0
2.0	3.0	3.0	3.0	3.0	3.0	3.0
5.3	5.3	5.3	5.3	5.3	5.3	5.3
5.3	5.3	5.3	5.3	5.3	5.3	4.3
3.3	3.3	3.3	3.3	3.3	3.3	2.3
8.5	8.5	8.5	6.5	7.5	7.5	8.5
5.5	4.5	5.5	5.5	5.5	6.0	6.0
5.0	5.0	4.0	4.0	4.0	4.0	5.0
1.0	1.0	-	1.0	1.0	-	-
2.0	1.0	1.0	1.0	3.0	2.0	-
6.0	5.0	6.0	5.0	5.0	4.0	3.0
9.0	10.0	9.0	9.0	8.0	9.0	8.0
4.0	4.0	7.0	7.0	7.0	7.0	6.0
16.0	3.0	23.0	32.0	35.0	33.0	33.0
26.0	25.0	31.0	27.0	28.0	24.0	23.0
135.9	123.9	152.9	156.0	161.9	157.9	150.0

UNITED CITY OF YORKVILLE, ILLINOIS

Operating Indicators by Function/Program - Last Ten Fiscal Years April 30, 2019 (Unaudited)

	2010	2011	2012	2013
Police				
Arrests Made	657	531	700	547
Parking Violations	845	918	1,501	846
Traffic Violations	4,436	3,729	4,338	4,287
Reports Taken	2,798	2,236	1,815	1,813
Calls for Service	13,533	12,170	13,311	11,860
Community Development				
Permits Issued	593	570	566	593
Public Works				
Street Resurfacing (Miles)	-	-	-	-
Snow and Ice Control (Tons of Salt)	2,213.00	1,900.03	1,986.36	1,080.67
Pothole Repairs (Tons of Asphalt)	246.05	226.96	286.43	335.91
Water				
Number of Accounts	5,969	6,051	5,947	6,189
Total Annual Consumption (Cubic Feet)	59,485,277	62,574,451	59,828,300	66,401,150
Average Daily Consumption (Cubic Feet)	162,973	171,437	163,913	181,921

*Police information is presented on a calendar year basis. Operating indicators for 2019 are thru June.

Data Source: Various City Departments

2014	2015	2016	2017	2018	2019	
390	503	466	602	619	266	*
628	515	655	426	274	110	*
1,097	987	1,252	881	1,022	273	*
1,840	1,788	1,911	1,916	2,045	917	*
11,633	12,458	13,727	11,953	12,047	5,781	*
576	577	681	871	1,003	980	
1.69	0.65	2.12	6.01	7.51	4.39	
1,349.00	1,509.00	1,490.28	1,285.00	1,748.49	1,730.01	
252.00	442.00	610.35	511.00	217.89	212.26	
6,135	6,361	6,465	6,644	6,805	7,038	
62,743,823	56,658,370	58,570,769	64,208,149	68,062,433	68,173,114	
171,901	155,228	160,468	175,913	186,472	186,776	

UNITED CITY OF YORKVILLE, ILLINOIS

Capital Asset Statistics by Function/Program - Last Ten Fiscal Years April 30, 2019 (Unaudited)

	2010	2011	2012
Public Safety			
Police			
Stations	1.00	1.00	1.00
Patrol Units	23.00	24.00	19.00
Public Works			
Streets (Miles)	56.00	59.56	60.79
Traffic Signals	26.00	26.00	26.00
Storm Sewers (Miles)	68.90	69.63	72.91
Water			
Water Mains (Miles)	58.85	59.88	61.97
Fire Hydrants	1,188	1,207	1,239
Sewer			
Sanitary Sewers (Miles)	53.43	54.25	55.48
Lift Stations	7.00	7.00	7.00

Data Source: Various City Departments

N/A - Not Available

2013	2014	2015	2016	2017	2018	2019
1.00	1.00	1.00	1.00	1.00	1.00	1.00
20.00	20.00	22.00	20.00	20.00	22.00	21.00
82.00	83.20	84.31	88.23	90.33	94.52	94.52
26.00	26.00	26.00	26.00	26.00	26.00	26.00
80.43	83.21	83.21	89.52	96.33	106.33	106.33
66.65	68.28	68.28	72.05	77.38	84.62	84.68
1,327	1,349	1,349	1,415	1,515	1,645	1,647
59.29	60.39	60.39	63.82	67.92	73.73	73.79
7.00	7.00	7.00	7.00	7.00	7.00	7.00

UNITED CITY OF YORKVILLE, ILLINOIS

New Permits and Construction Values - Last Ten Fiscal Years

April 30, 2019 (Unaudited)

Fiscal Year	Commercial Construction		Residential Construction Single-Family		Residential Construction Multi-Family		Total	
	Permits Issued	Construction Value	Permits Issued	Construction Value	Permits Issued	Construction Value	Permits Issued	Construction Value
2010	11	\$ 445,727	43	\$ 12,155,740	6	\$ 529,607	60	\$ 13,131,074
2011	6	4,742,704	43	6,285,744	-	-	49	11,028,448
2012	7	1,016,600	69	10,318,804	-	-	76	11,335,404
2013	9	3,149,000	83	12,287,740	-	-	92	15,436,740
2014	11	3,215,000	73	11,451,799	-	-	84	14,666,799
2015	10	38,279,500	72	13,063,555	-	-	82	51,343,055
2016	6	1,060,000	98	16,451,049	-	-	104	17,511,049
2017	6	2,361,795	159	28,818,289	-	-	165	3,118,084
2018	10	25,292,000	165	28,598,202	48	2,640,000	223	56,530,202
2019	8	3,626,350	217	34,439,272	5	324,254	230	38,489,876

Data Source: City Records

UNITED CITY OF YORKVILLE, ILLINOIS

MANAGEMENT LETTER

FOR THE FISCAL YEAR ENDED
APRIL 30, 2019



September 20, 2019

The Honorable City Mayor
Members of the City Council
United City of Yorkville, Illinois

In planning and performing our audit of the financial statements of the United City of Yorkville (City), Illinois, for the year ended April 30, 2019, we considered its internal control structure in order to determine our auditing procedures for the purpose of expressing our opinion on the financial statements and not to provide assurance on the internal control structure.

We do not intend to imply that our audit failed to disclose commendable aspects of your system and structure. For your consideration we herein submit our comments and suggestions which are designed to assist in effecting improvements in internal controls and procedures. Those less significant matters, if any, which arose during the course of the audit, were reviewed with management as the audit fieldwork progressed.

The accompanying comments and recommendations are intended solely for the information and use of the Finance Committee, City Council, management, and others within the United City of Yorkville, Illinois.

We will review the status of these comments during our next audit engagement. We have already discussed many of these comments and suggestions with various City personnel. We would be pleased to discuss our comments and suggestions in further detail with you at your convenience, to perform any additional study of these matters, or to review the procedures necessary to bring about desirable changes.

We commend the finance department for the well prepared audit package and we appreciate the courtesy and assistance given to us by the entire City staff.

Lauterbach & Amen, LLP

LAUTERBACH & AMEN, LLP

PRIOR RECOMMENDATIONS

1. **FUNDS OVER BUDGET**

Comment

Previously, we noted that the following funds had an excess of actual expenditures over budget for the fiscal year:

<u>Fund</u>	<u>Excess</u>
Downtown TIF	\$ 522,305

Recommendation

We recommended the City investigate the causes of the funds over budget and adopt appropriate future funding measures.

Management Response

The Downtown TIF Fund was over budget due to the issuance of a bank loan in the amount of \$800,000; the proceeds of which were used to acquire property at 102 East Van Emmon Street in the City's downtown. A resolution approving the purchase of property, and the corresponding bank loan, was approved by City Council on April 11, 2017. The flow of funds related to the bank loan transaction are offsetting, and thus have no impact on ending fund balance.

Status

This comment has been implemented and will not be repeated in the future.

PRIOR RECOMMENDATIONS – Continued

2. **GASB STATEMENT NO. 74 FINANCIAL REPORTING FOR POST-EMPLOYMENT BENEFIT PLANS OTHER THAN PENSION PLANS AND GASB STATEMENT NO. 75 ACCOUNTING AND FINANCIAL REPORTING FOR POST-EMPLOYMENT BENEFITS OTHER THAN PENSIONS**

Comment

In June 2015, the Governmental Accounting Standards Board (GASB) issued Statement No. 74, *Financial Reporting for Post-Employment Benefits Plans Other Than Pension Plans*, which applies to individual postemployment benefit plans, and Statement No. 75, *Accounting and Financial Reporting for Post-Employment Benefits Other Than Pensions*, which applies to the state and local government employers that sponsor the plans. The Statements apply to the reporting of other post-employment benefits, including medical, dental, life, vision and other insurance coverages provided by the employer post-employment. The Statements establish standards for measuring and recognizing liabilities, deferred outflows of resources, deferred inflows of resources, and expense/expenditures related to the other post-employment benefit plans, and specifically identify the methods and assumptions that are to be used in calculating and disclosing these OPEB accounts in the financial statements. The Statements also provide for additional note disclosures and required supplementary information and are intended to improve information provided by state and local government employers regarding financial support to their OPEB plans. GASB Statement No. 75 applies to the employer's reporting of other post-employment benefit plans and is applicable to the City's financial statements for the year ended April 30, 2019.

Recommendation

We recommended that the City reach out to the private pension actuary engaged to provide the OPEB actuarial calculations in order to confirm the timeline for implementation and to review requested materials that will be required in order to implement the provisions and requirements of the new Statements. Lauterbach & Amen, LLP will also work directly with the City to assist in the implementation process, including assistance in determining the implementation timeline with the City and private actuary, providing all framework for the financial statements in order to complete the implementation, and assist in answering any questions or concerns the City might have related to the implementation process or requirements.

Status

This comment has been implemented and will not be repeated in the future.

PRIOR RECOMMENDATIONS – Continued

3. FUNDS WITH DEFICIT FUND EQUITY

Comment

Previously and during the current year-end audit procedures, we noted funds with deficit fund equity. See the following deficit fund balances at April 30, 2019 and April 30, 2018:

Fund	Deficit	
	4/30/19	4/30/18
Land Cash	\$ -	(278,204)
Sunflower Special Service Area	(22,626)	(21,251)
Countryside TIF	(422,459)	(459,820)
Downtown TIF	(1,024,518)	(681,305)
Downtown TIF II	(2,736)	-

Recommendation

We recommended the City investigate the causes of the various deficits and adopt appropriate future funding measures.

Management Response

Management is aware of the negative equity position of the Countryside TIF, Downtown and Downtown II TIF Funds, and believes that over time the development within the TIF districts will yield sufficient property tax increment to meet debt service requirements and eliminate the fund's negative equity.

The negative equity position of the Land Cash Fund was temporary, as a result of the construction activities that took place at the Riverfront and Bristol Bay park sites prior to the current fiscal year. The City will be reimbursed for both of these projects in the subsequent fiscal year by the State, through its Open Space Lands Acquisition and Development (OSLAD) grant program. The City has recorded a receivable at the end of the current fiscal year in anticipation of these grant proceeds, thus eliminating the negative equity position of the fund.

The deficit in the Sunflower Special Service Area Fund is due to one-time expenditures relating to the naturalization of three detention basins within the SSA. This project will be paid back with SSA property tax proceeds over the next six years.

Status

As of April 30, 2019, this comment has not been implemented and will be repeated in the future.