



United City of Yorkville

800 Game Farm Road

Yorkville, Illinois 60560

Telephone: 630-553-4350

www.yorkville.il.us

AGENDA ECONOMIC DEVELOPMENT COMMITTEE MEETING

Tuesday, July 2, 2019

6:00 p.m.

City Hall Conference Room
800 Game Farm Road, Yorkville, IL

Citizen Comments:

Minutes for Correction/Approval: June 4, 2019

New Business:

1. EDC 2019-54 Building Permit Report for May 2019
2. EDC 2019-55 Building Inspection Report for May 2019
3. EDC 2019-56 Property Maintenance Report for May 2019
4. EDC 2019-57 Economic Development Report for June 2019
5. EDC 2019-58 Accessory Structures and Uses – Text Amendment

Old Business:

1. EDC 2019-23 Downtown Form-Based Code and Streetscape Master Plan

Additional Business:

2019/2020 City Council Goals – Economic Development Committee

Goal	Priority	Staff
“Southside Development”	4	Bart Olson, Krysti Barksdale-Noble & Lynn Dubajic
“Downtown and Riverfront Development”	5	Bart Olson, Tim Evans & Krysti Barksdale-Noble
“Metra Extension”	7	Bart Olson, Rob Fredrickson, Eric Dhuse, Krysti Barksdale-Noble & Erin Willrett
“Manufacturing and Industrial Development”	8 (tie)	Bart Olson, Krysti Barksdale-Noble, Erin Willrett, Lynn Dubajic, Eric Dhuse & Brad Sanderson
“Expand Economic Development Efforts”	10	Krysti Barksdale-Noble & Lynn Dubajic
“Revenue Growth”	13	Rob Fredrickson, Krysti Barksdale-Noble & Lynn Dubajic
“Entrance Signage”	17	Krysti Barksdale-Noble & Erin Willrett

UNITED CITY OF YORKVILLE
WORKSHEET
ECONOMIC DEVELOPMENT COMMITTEE
Tuesday, July 2, 2019
6:00 PM
CITY HALL CONFERENCE ROOM

CITIZEN COMMENTS:

MINUTES FOR CORRECTION/APPROVAL:

1. June 4, 2019

☐ Approved _____

☐ As presented

☐ With corrections

NEW BUSINESS:

1. EDC 2019-54 Building Permit Report for May 2019

☐ Informational Item

☐ Notes _____

2. EDC 2019-55 Building Inspection Report for May 2019

☐ Informational Item

☐ Notes _____

3. EDC 2019-56 Property Maintenance Report for May 2019

☐ Informational Item

☐ Notes _____

4. EDC 2019-57 Economic Development Report for June 2019

☐ Informational Item

☐ Notes _____

5. EDC 2019-58 Accessory Structures and Uses – Text Amendment

☐ Moved forward to CC _____

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

OLD BUSINESS:

1. EDC 2019-23 Downtown Form-Based Code and Streetscape Master Plan

☐ Moved forward to CC _____

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

ADDITIONAL BUSINESS:



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Minutes

Tracking Number

Agenda Item Summary Memo

Title: Minutes of the Economic Development Committee – June 4, 2019

Meeting and Date: Economic Development Committee – July 2, 2019

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Committee Approval

Submitted by: Minute Taker

Name

Department

Agenda Item Notes:

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at <http://www.yorkville.il.us/320/City-Council>

DRAFT

**UNITED CITY OF YORKVILLE
ECONOMIC DEVELOPMENT COMMITTEE
Tuesday, June 4, 2019, 6:00pm
City Conference Room**

In Attendance:

Committee Members

Chairman Jackie Milschewski
Alderman Jason Peterson
Alderman Ken Koch

Absent: Alderman Joel Frieders

Other City Officials

Mayor John Purcell
City Administrator Bart Olson
Assistant City Administrator Erin Willrett
Community Development Director Krysti Barksdale-Noble
Senior Planner Jason Engberg
Code Official Pete Ratos

Other Guests

Lynn Dubajic, City Consultant
Katie Finlon, *Kendall County Record*
Mr. Ivaylo Gramatikov

The meeting was called to order at 6:03pm by Chairman Jackie Milschewski.

Citizen Comments: None

Minutes for Correction/Approval: May 7, 2019
The minutes were approved on a unanimous voice vote.

New Business

1. EDC 2019-45 Building Permit Report for April 2019

Mr. Ratos reported 131 permits total with 7 of those single family and 5 single-family attached in Autumn Creek. For information.

2. EDC 2019-46 Building Inspection Report for April 2019

There were 400 inspections, mostly single family. Mr. Ratos said the number is lower due to weather. Chairman Milschewski made note of the recent storm that damaged trees, etc. and Mr. Ratos added there were 125-135 mph winds.

3. EDC 2019-47 Property Maintenance Report for April 2019

Fifteen cases were heard in April, including one on E. Main St. where a \$2,550 fine was assessed due to no deck permit. No further action.

4. EDC 2019-48 Economic Development Report for May 2019

Ms. Dubajic highlighted the following activity:

1. Gas N Wash hopes to open a gas station by the waterpark and is considering a possible second location.
2. The multi-tenant building in Kendall Crossing is 100% rented, remaining lot slated to be under contract soon.
3. Recapped recent conference in Las Vegas—had 3 meetings for possible other businesses since the conference.

5. EDC 2019-49 Store Front Occupancy Report

Ms. Dubajic compiled a report of buildings on Rt. 47 and the current tenants. She said 87% of the buildings are occupied and 13% vacant. The national vacancy average is 13.9%. Alderman Koch asked about the status of the proposed Popeye's. Ms. Dubajic said they are still looking at Yorkville and likely to do a free-standing building with a location to be announced hopefully next month.

6. EDC 2019-50 Selection of Committee Liaisons

Ken Koch will be the Kendall County Plan Commission liaison and the PZC liaison will be determined at a later date.

7. EDC 2019-51 Meeting Dates

This committee will continue to meet on the second Tuesday at 6:00pm.

8. EDC 2019-52 E. Van Emmon and Benjamin - Rezoning

Mr. Engberg said this concerns 2 lots at the Kendallwood Estates entrance and the owner wishes to have them rezoned from B-2 to R-1. There was a 5-year development agreement which has expired and the owner wants R-1 zoning to sell as single family lots. The request is in line with the Comp Plan. The committee was OK with this and it moves to the July 10th PZC.

9. EDC 2019-53 701 N. Bridge Street – Rezoning and Variance

The petitioner wants to rezone this property from B-1 to R-2 which would then be non-conforming. Mr. Engberg shared the background and said it was a home converted to a business and the owner now wishes to convert back to residential. They wish to vary the lot size and setbacks. Since the neighboring lot is city-owned and city trucks may access this lot, the Mayor asked staff to have a conversation with the owner. This moves to the July 10th PZC.

Old Business

1. EDC 2019-23 Downtown Form-Based Code and Streetscape Master Plan

Ms. Noble said staff was asked to address some issues concerning these two items. One was a question regarding the use of gravel along the side of streets in some residential areas. Staff was asked to research alternatives which included rolled concrete and

concrete curb ribbon which provide a transition area between ROW and landscaped areas of yards. The affected area is less than ½ mile mostly on the west side, but with small pockets on Heustis and Mill. Excess runoff in hilly areas was noted as a concern. Alderman Peterson asked about the price difference between concrete and stone and how often stone would be replaced. The cost is not known at this time. Ms. Noble said new treatments would only be used in areas where there is no curb and gutter and there is also an option to take no action. Alderman Koch said gravel could be dangerous if kicked out by lawn mowers. Chairman Milschewski noted that Alderman Funkhouser had also emailed comments regarding this matter. After discussion, the committee said they preferred consistency and the ribbon concrete option.

Discussion turned to proposed decorative lights over Van Emmon and Mayor Purcell said they could cause maintenance issues and are too costly (\$230,000). All proposed ideas are still subject to Council approval and the plan has a shelf life of 5-10 years. Mr. Olson said staff will bring back ideas for downtown lighting, the streetscape code will come back at a later date and the form-based code will come back next month to committee or to City Council.

Additional Business None

There was no further business and the meeting adjourned at 7:04pm.

Minutes respectfully submitted by Marlys Young, Minute Taker



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #1

Tracking Number

EDC 2019-54

Agenda Item Summary Memo

Title: Building Permit Report for May 2019

Meeting and Date: Economic Development Committee – July 2, 2019

Synopsis: All permits issued in May 2019.

Council Action Previously Taken:

Date of Action: N/A Action Taken: N/A

Item Number: N/A

Type of Vote Required: Informational

Council Action Requested: None

Submitted by: D. Weinert Community Development
Name Department

Agenda Item Notes:



UNITED CITY OF YORKVILLE

BUILDING PERMIT REPORT

May 2019

TYPES OF PERMITS

	Number of Permits Issued	SFD <i>Single Family Detached</i>	B.U.I.L.D. <i>Single Family Detached Program begins 1/1/2012</i>	SFA <i>Single Family Attached</i>	Multi- Family <i>Apartments Condominiums</i>	Commercial <i>Includes all Permits Issued for Commercial Use</i>	Industrial	Misc.	Construction Cost	Permit Fees
May 2019	128	17	0	5	0	8	0	98	3,713,483.00	215,144.59
Calendar Year 2019	409	65	0	10	0	51	0	283	21,183,463.00	823,674.31
Fiscal Period 2020	128	17	0	5	0	8	0	98	3,713,483.00	215,144.59
May 2018	113	18	0	0	0	12	0	83	8,176,768.00	181,624.56
Calendar Year 2018	419	60	14	36	0	68	0	241	24,529,960.00	1,271,774.62
Fiscal Period 2019	113	18	0	0	0	12	0	83	8,176,768.00	181,624.56
May 2017	126	9	8	0	0	19	0	90	4,295,069.00	199,491.11
Calendar Year 2017	359	25	36	0	0	63	0	235	14,888,413.00	783,400.64
Fiscal Period 2018	126	9	8	0	0	19	0	90	4,295,069.00	199,491.11
May 2016	100	7	8	0	0	10	0	75	5,529,931.00	185,567.24
Calendar Year 2016	321	14	38	0	0	51	0	218	14,021,107.00	648,968.58
Fiscal Period 2017	100	7	8	0	0	10	0	75	5,529,931.00	185,567.24



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #2

Tracking Number

EDC 2019-55

Agenda Item Summary Memo

Title: Building Inspection Report for May 2019

Meeting and Date: Economic Development Committee – July 2, 2019

Synopsis: All inspections scheduled in May 2019.

Council Action Previously Taken:

Date of Action: N/A Action Taken: N/A

Item Number: N/A

Type of Vote Required: Informational

Council Action Requested: None

Submitted by: D. Weinert Community Development
Name Department

Agenda Item Notes:

DATE: 06/04/2019
TIME: 09:21:23
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 1

INSPECTIONS SCHEDULED FROM 05/01/2019 TO 05/31/2019

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	022-REI REINSPECTION Comments1: MODEL HOME CONVERSION, PULTE	20170013	2691 MCLELLAN BLVD	50		05/10/2019
BC	_____	023-REI REINSPECTION					05/14/2019
BF	_____	031-REL ROUGH ELECTRICAL Comments1: BALANCE FIST FLOOR	20170655	577 E KENDALL DR	4&5		05/08/2019
BF	_____	032-RMC ROUGH MECHANICAL Comments1: BALANCE OF FIRST FLOOR NOT COMPLETE					05/08/2019
BF	_____	033-INS INSULATION Comments1: FIRST FLOOR					05/10/2019
BC	_____	019-WKS PUBLIC & SERVICE WALKS Comments1: MIDWEST, CALEDONIA	20180208	3121 LAUREN DR	91		05/23/2019
BF	_____	007-BGS BASEMENT GARAGE STOOPS Comments1: UPLAND, GR STOOPS NOT READY	20180330	3126 MATLOCK DR	677		05/21/2019
BF	_____	008-STP STOOP Comments1: UPLAND					05/24/2019
BC	_____	018-WKS PUBLIC & SERVICE WALKS	20180333	3053 JUSTICE DR	633		05/28/2019
BC	_____	017-WKS PUBLIC & SERVICE WALKS	20180334	3075 JUSTICE DR	634		05/28/2019
BF	_____	018-WKS PUBLIC & SERVICE WALKS Comments1: UPLAND	20180335	3101 MATLOCK DR	635		05/08/2019
BF	_____	008-RFR ROUGH FRAMING	20180336	3106 MATLOCK DR	681		05/22/2019
BF	_____	009-REL ROUGH ELECTRICAL					05/22/2019
BF	_____	010-RMC ROUGH MECHANICAL Comments1: GRANDE RESERVE, DR HORTON					05/22/2019
PR	_____	011-PLR PLUMBING - ROUGH					05/22/2019
BF	_____	012-INS INSULATION					05/24/2019
BC	_____	016-WKS PUBLIC & SERVICE WALKS	20180337	3021 JUSTICE DR	632		05/28/2019
PR	_____	014-FIN FINAL INSPECTION	20180361	3133 MATLOCK DR	652		05/24/2019
PR	_____	015-PLF PLUMBING - FINAL OSR READ					05/24/2019
EEI	_____	016-EFL ENGINEERING - FINAL INSPE					05/24/2019

DATE: 06/04/2019
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UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 2

INSPECTIONS SCHEDULED FROM 05/01/2019 TO 05/31/2019

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	019-WKS PUBLIC & SERVICE WALKS Comments1: UPLAND	20180362	3105 MATLOCK DR	636		05/08/2019
BC	_____	008-RFR ROUGH FRAMING	20180364	3102 MATLOCK DR	682		05/13/2019
BC	_____	009-REL ROUGH ELECTRICAL					05/13/2019
BC	_____	010-RMC ROUGH MECHANICAL					05/13/2019
PR	_____	011-PLR PLUMBING - ROUGH					05/13/2019
BC	_____	012-INS INSULATION Comments1: GR HORTON					05/16/2019
BF	_____	016-FIN FINAL INSPECTION	20180367	3092 JUSTICE DR			05/10/2019
PR	_____	017-PLF PLUMBING - FINAL OSR READ					05/10/2019
EEI	_____	018-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITIONS					05/13/2019
BC	_____	014-INS INSULATION	20180547	3124 MATLOCK DR	678		05/02/2019
EEI	_____	017-REI REINSPECTION Comments1: ENG FINAL	20180617	2821 SHERIDAN CT	206	05/16/2019	
BF	_____	PM 011-PPS PRE-POUR, SLAB ON GRADE Comments1: PUBLIC WALK & PATIO RSS, HEARTLAND CIRCL Comments2: E	20180624	1373 SPRING ST	255		05/13/2019
BC	_____	017-WKS PUBLIC & SERVICE WALKS Comments1: CANCELLED BY MONICA 5/2 DUE TO RAIN	20180708	928 PURCELL ST	81	05/03/2019	
BC	_____	PM 018-FIN FINAL INSPECTION Comments1: GARB DISPOSAL NOT WIRED. SUPPORT BOLTS L Comments2: OOSE IN BSMT. SEAL SCUTTLES. INSTALL OVE Comments3: RHEAD LIGHT ON PORTCH					05/06/2019
PR	_____	PM 019-PLF PLUMBING - FINAL OSR READ					05/06/2019
BC	_____	020-REI REINSPECTION					05/09/2019
EEI	_____	021-EFL ENGINEERING - FINAL INSPE Comments1: BBOX NOT KEYABLE					05/09/2019
EEI	_____	022-EFL ENGINEERING - FINAL INSPE Comments1: REINSPECTION FOR BBOX, PASSED OK TO TEMP					05/09/2019

DATE: 06/04/2019
TIME: 09:21:23
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 3

INSPECTIONS SCHEDULED FROM 05/01/2019 TO 05/31/2019

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF		AM 023-WKS PUBLIC & SERVICE WALKS Comments1: COX, BLACKBERRY WOODS					05/23/2019
BC		AM 018-WKS PUBLIC & SERVICE WALKS Comments1: COMEX, WINDETT	20180747	2352 WINTERTHUR GREEN	181		05/16/2019
PR		019-PLF PLUMBING - FINAL OSR READ					05/31/2019
PR		020-FIN FINAL INSPECTION					05/31/2019
EEI		021-EFL ENGINEERING - FINAL INSPE Comments1: OK TO TEMP					05/28/2019
BC		019-EPW ENGINEERING- PUBLIC WALK	20180769	3102 LAUREN DR	107		05/06/2019
EEI		017-EFL ENGINEERING - FINAL INSPE	20180816	2849 KETCHUM CT	221	05/15/2019	
BC		023-WKS PUBLIC & SERVICE WALKS	20180826	3171 LAUREN DR	86		05/07/2019
BC		024-EPW ENGINEERING- PUBLIC WALK					05/23/2019
BC		019-EPW ENGINEERING- PUBLIC WALK	20180851	383 FONTANA DR	61		05/03/2019
BF		AM 012-PPS PRE-POUR, SLAB ON GRADE Comments1: WALKS & PATIO, RSS, HLC,	20180854	1131 GRACE DR	62		05/29/2019
BC		018-WKS PUBLIC & SERVICE WALKS	20180864	762 KENTSHIRE DR	113		05/08/2019
PR		019-SUM SUMP Comments1: CANCELL				05/08/2019	
PR		020-SUM SUMP					05/13/2019
PR		021-FIN FINAL INSPECTION					05/29/2019
PR		022-PLF PLUMBING - FINAL OSR READ					05/29/2019
EEI		023-EFL ENGINEERING - FINAL INSPE Comments1: OK TO TEMP					05/28/2019
BC		AM 018-WKS PUBLIC & SERVICE WALKS Comments1: COMEX, WINDETT	20180869	2431 FITZHUGH TURN	148		05/16/2019
BC	16:00	001-FIN FINAL INSPECTION	20180899	210 BEAVER ST	4		05/24/2019
EEI		020-EFL ENGINEERING - FINAL INSPE	20180927	4282 E MILLBROOK CIR	279		05/03/2019
BF		009-INS INSULATION Comments1: KENDALL CROSSING COMMERCIAL	20180929	585 E KENDALL DR	4		05/02/2019

DATE: 06/04/2019
TIME: 09:21:23
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 4

INSPECTIONS SCHEDULED FROM 05/01/2019 TO 05/31/2019

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	015-PLF PLUMBING - FINAL OSR READ	20180935	1911 WREN RD	14		05/09/2019
BC	_____	016-FIN FINAL INSPECTION					05/09/2019
EEI	_____	017-EFL ENGINEERING - FINAL INSPE					05/22/2019
EEI	_____	018-EFL ENGINEERING - FINAL INSPE				05/31/2019	
BC	_____	AM 009-BGS BASEMENT GARAGE STOOPS	20180968	3109 REHBEHN CT	639		05/06/2019
BC	_____	009-BSM BASEMENT FLOOR	20180972	3126 REHBEHN CT	647		05/17/2019
PR	_____	015-FIN FINAL INSPECTION	20180973	3129 REHBEHN CT	642		05/24/2019
PR	_____	016-PLF PLUMBING - FINAL OSR READ					05/24/2019
EEI	_____	017-EFL ENGINEERING - FINAL INSPE					05/24/2019
BF	_____	009-RFR ROUGH FRAMING	20180974	3132 REHBEHN CT	646		05/20/2019
BF	_____	010-REL ROUGH ELECTRICAL					05/20/2019
BF	_____	011-RMC ROUGH MECHANICAL Comments1: DR HORTON, GR					05/20/2019
PR	_____	012-PLR PLUMBING - ROUGH					05/20/2019
BC	_____	013-INS INSULATION					05/22/2019
BF	_____	015-FIN FINAL INSPECTION	20180976	3136 REHBEHN CT	645		05/10/2019
PR	_____	016-PLF PLUMBING - FINAL OSR READ					05/10/2019
EEI	_____	017-EFL ENGINEERING - FINAL INSPE Comments1: WINTER CONDITONS					05/13/2019
BC	_____	AM 006-WKS PUBLIC & SERVICE WALKS	20181004	2581 LYMAN LOOP	37	05/28/2019	
BC	_____	007-RFR ROUGH FRAMING					05/29/2019
BC	_____	008-REL ROUGH ELECTRICAL					05/29/2019
BC	_____	009-RMC ROUGH MECHANICAL					05/29/2019
BC	_____	010-INS INSULATION					05/31/2019
PR	_____	011-PLR PLUMBING - ROUGH					05/29/2019

INSPECTIONS SCHEDULED FROM 05/01/2019 TO 05/31/2019

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	017-FIN FINAL INSPECTION Comments1: GR - PULTE	20181005	2501 LYMAN LOOP	62		05/02/2019
PR	_____	018-PLF PLUMBING - FINAL OSR READ					05/02/2019
EEI	_____	019-EFL ENGINEERING - FINAL INSPE				05/06/2019	
BC	_____	021-WKS PUBLIC & SERVICE WALKS	20181014	3212 LAUREN DR	117		05/07/2019
PR	_____	001-RFR ROUGH FRAMING	20181024	508 CENTER PKWY	6B		05/09/2019
PR	_____	002-REL ROUGH ELECTRICAL					05/09/2019
PR	_____	003-RMC ROUGH MECHANICAL					05/09/2019
PR	_____	004-PLR PLUMBING - ROUGH					05/09/2019
PR	_____	AM 006-SEW SEWER INSPECTION	20190001	938 PURCELL ST	82		05/24/2019
PR	_____	AM 007-WAT WATER					05/24/2019
EEI	_____	016-EFL ENGINEERING - FINAL INSPE	20190002	3258 BOOMBAH BLVD	140		05/22/2019
PR	_____	017-FIN FINAL INSPECTION					05/22/2019
BC	_____	019-WKS PUBLIC & SERVICE WALKS Comments1: MIDWEST, CALEDONIA - INSPECTOR NOTES: DR Comments2: ILL STOOP & INSERT REBAR BEFORE POURING.	20190003	3141 LAUREN DR	89		05/23/2019
PR	_____	017-FIN FINAL INSPECTION	20190004	2834 SILVER SPRINGS CT	256		05/22/2019
PR	_____	018-PLF PLUMBING - FINAL OSR READ					05/22/2019
EEI	_____	019-EFL ENGINEERING - FINAL INSPE Comments1: OK TO TEMP					05/28/2019
BC	_____	PM 009-RFR ROUGH FRAMING	20190015	1001 BLACKBERRY SHORE LN	34		05/03/2019
BC	_____	PM 010-REL ROUGH ELECTRICAL					05/03/2019
BC	_____	PM 011-RMC ROUGH MECHANICAL					05/03/2019
PR	_____	PM 012-PLR PLUMBING - ROUGH					05/03/2019
BC	_____	013-GAR GARAGE FLOOR					05/07/2019
BC	_____	014-INS INSULATION					05/09/2019

INSPECTIONS SCHEDULED FROM 05/01/2019 TO 05/31/2019

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	015-WKS PUBLIC & SERVICE WALKS Comments1: NORWOOD					05/28/2019
BC	_____	006-BSM BASEMENT FLOOR	20190016	991 BLACKBERRY SHORE LN	33		05/01/2019
BC	_____	007-RFR ROUGH FRAMING					05/09/2019
BC	_____	008-REL ROUGH ELECTRICAL					05/09/2019
BF	_____	009-INS INSULATION Comments1: MCCUE					05/14/2019
PR	_____	010-PLR PLUMBING - ROUGH					05/09/2019
BC	_____	013-GAR GARAGE FLOOR Comments1: STOOP, MCCUE	20190017	1093 REDWOOD DR	47		05/22/2019
BC	_____	017-FIN FINAL INSPECTION	20190030	4351 E MILLBROOK CIR	209		05/01/2019
PR	_____	018-PLF PLUMBING - FINAL OSR READ					05/01/2019
BF	_____	AM 012-WKS PUBLIC & SERVICE WALKS Comments1: MIDWEST	20190031	3122 LAUREN DR	109		05/20/2019
PR	_____	013-FIN FINAL INSPECTION					05/29/2019
PR	_____	014-PLF PLUMBING - FINAL OSR READ					05/29/2019
EEI	_____	015-EFL ENGINEERING - FINAL INSPE Comments1: OK TO TEMP					05/29/2019
BF	_____	007-RFR ROUGH FRAMING Comments1: CAL - RYAN	20190033	3251 LAUREN DR	83		05/02/2019
BF	_____	008-REL ROUGH ELECTRICAL					05/02/2019
BF	_____	009-RMC ROUGH MECHANICAL					05/02/2019
PR	_____	010-PLR PLUMBING - ROUGH					05/02/2019
BC	_____	011-INS INSULATION					05/06/2019
BF	_____	AM 012-WKS PUBLIC & SERVICE WALKS Comments1: COX, GR	20190035	2683 MCLELLAN BLVD	49		05/23/2019
PR	_____	PM 013-SUM SUMP				05/30/2019	
BC	_____	AM 007-BGS BASEMENT GARAGE STOOPS	20190036	2692 MCLELLAN BLVD	51		05/02/2019

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BC	_____	008-RFR ROUGH FRAMING					05/08/2019
BC	_____	009-REL ROUGH ELECTRICAL					05/08/2019
BC	_____	010-RMC ROUGH MECHANICAL					05/08/2019
PR	_____	011-PLR PLUMBING - ROUGH					05/08/2019
BF	_____	012-INS INSULATION Comments1: PULTE, GR					05/10/2019
BC	_____	AM 013-WKS PUBLIC & SERVICE WALKS					05/29/2019
BC	_____	004-BKF BACKFILL	20190040	2577 LYMAN LOOP	36		05/01/2019
PR	_____	PM 005-SEW SEWER INSPECTION				05/06/2019	
PR	_____	PM 006-WAT WATER					05/10/2019
BF	_____	007-BGS BASEMENT GARAGE STOOPS					05/21/2019
BC	_____	AM 011-INS INSULATION	20190043	2583 LYMAN LOOP	38		05/01/2019
BF	_____	012-WKS PUBLIC & SERVICE WALKS Comments1: COX					05/23/2019
BC	_____	016-FIN FINAL INSPECTION	20190044	2793 GAINS CT	193		05/09/2019
PR	_____	017-PLF PLUMBING - FINAL OSR READ					05/09/2019
EEI	_____	016-EFL ENGINEERING - FINAL INSPE	20190045	485 SHADOW WOOD DR	105		05/22/2019
BC	_____	004-PHF POST HOLE - FENCE	20190055	2393 AUTUMN CREEK BLVD	269		05/14/2019
BC	_____	002-FIN FINAL INSPECTION	20190057	736 HAYDEN DR	65		05/29/2019
BC	_____	AM 011-INS INSULATION	20190060	2445 WYTHE PL	6		05/02/2019
BC	_____	012-STP STOOP					05/08/2019
PR	_____	PM 013-SUM SUMP					05/13/2019
BC	_____	008-STP STOOP	20190061	2451 WYTHE PL	7		05/08/2019
PR	_____	PM 009-SUM SUMP					05/13/2019
PR	_____	010-RFR ROUGH FRAMING					05/23/2019

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PR	_____	011-REL ROUGH ELECTRICAL					05/23/2019
PR	_____	012-RMC ROUGH MECHANICAL					05/23/2019
PR	_____	013-PLR PLUMBING - ROUGH					05/23/2019
PR	_____	004-PLU PLUMBING - UNDERSLAB	20190064	981 BLACKBERRY SHORE LN	32		05/17/2019
BF	_____	005-BSM BASEMENT FLOOR					05/22/2019
		Comments1: NORWOOD					
PR	_____	001-WAT WATER	20190066	2835 KETCHUM CT	217		05/07/2019
BF	_____	002-FTG FOOTING					05/09/2019
		Comments1: MIDWEST GR					
BF	_____	PM 003-FOU FOUNDATION					05/13/2019
		Comments1: GR MIDWEST					
PR	_____	004-PLU PLUMBING - UNDERSLAB					05/22/2019
BF	_____	005-BKF BACKFILL					05/17/2019
PR	_____	006-SEW SEWER INSPECTION				05/20/2019	
BF	_____	AM 007-BGS BASEMENT GARAGE STOOPS					05/24/2019
BF	_____	AM 013-WKS PUBLIC & SERVICE WALKS	20190067	3192 LAUREN DR			05/28/2019
		Comments1: CAL-116					
BF	_____	013-WKS PUBLIC & SERVICE WALKS	20190075	3272 LAUREN DR	120		05/10/2019
		Comments1: CAL MIDWEST					
PR	_____	014-FIN FINAL INSPECTION					05/29/2019
PR	_____	015-PLF PLUMBING - FINAL OSR READ					05/29/2019
EEI	_____	016-EFL ENGINEERING - FINAL INSPE					05/29/2019
PR	_____	007-RFR ROUGH FRAMING	20190085	2828 KETCHUM CT	215		05/01/2019
PR	_____	008-REL ROUGH ELECTRICAL					05/01/2019
PR	_____	009-RMC ROUGH MECHANICAL					05/01/2019
PR	_____	010-PLR PLUMBING - ROUGH					05/01/2019
BC	_____	011-INS INSULATION					05/03/2019

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BC	_____	012-WKS PUBLIC & SERVICE WALKS					05/07/2019
BF	_____	008-RFR ROUGH FRAMING	20190086	2847 KETCHUM CT	220		05/17/2019
BF	_____	009-REL ROUGH ELECTRICAL					05/17/2019
BF	_____	010-RMC ROUGH MECHANICAL					05/17/2019
PR	_____	011-PLR PLUMBING - ROUGH					05/17/2019
BC	_____	012-INS INSULATION					05/21/2019
BF	_____	AM 013-WKS PUBLIC & SERVICE WALKS Comments1: MIDWEST, GR					05/29/2019
BC	_____	PM 001-FIN FINAL INSPECTION	20190088	2811 OLD GLORY DR	228		05/17/2019
BC	_____	007-RFR ROUGH FRAMING Comments1: INSTALL ANCHOR BOLT NORTHSIDE OF GARAGE Comments2: AT END OF PLATE REINSTALL ROOF TRUSS B R Comments3: ACE AT VENT PIPE NEAR RADON VENT INSTALL Comments4: WASHER & NUT ON ANCHOR BOLT AT CRAWL EN	20190089	1941 WREN RD	17		05/16/2019
BC	_____	008-REL ROUGH ELECTRICAL					05/16/2019
BC	_____	009-RMC ROUGH MECHANICAL Comments1: K HOV, PRESTWICK					05/16/2019
PR	_____	010-PLR PLUMBING - ROUGH					05/14/2019
BF	_____	011-INS INSULATION Comments1: K HOV PRESTWICK					05/20/2019
PR	_____	005-PLU PLUMBING - UNDERSLAB	20190100	501 OMAHA DR	3		05/07/2019
BC	_____	006-BSM BASEMENT FLOOR					05/08/2019
PR	_____	007-PLR PLUMBING - ROUGH				05/31/2019	
BC	_____	008-RFR ROUGH FRAMING					05/31/2019
BC	_____	009-REL ROUGH ELECTRICAL					05/31/2019
BC	_____	010-RMC ROUGH MECHANICAL					05/31/2019
PR	_____	007-RFR ROUGH FRAMING	20190105	800 ALEXANDRA LN	20		05/24/2019
PR	_____	008-REL ROUGH ELECTRICAL					05/24/2019

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PR	_____	009-RMC ROUGH MECHANICAL					05/24/2019
PR	_____	010-PLR PLUMBING - ROUGH					05/24/2019
BC	_____	011-INS INSULATION					05/30/2019
BC	_____	PM 012-GAR GARAGE FLOOR					05/30/2019
PR	_____	PM 004-ESW ENGINEERING - SEWER / WAT 20190108 1431 CRIMSON LN			223-1		05/06/2019
PR	_____	PM 005-UGE UNDERGROUND ELECTRIC					05/13/2019
PR	_____	006-PLU PLUMBING - UNDERSLAB					05/13/2019
BF	_____	AM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: FLATWORK 5 UNIT, RSS					05/15/2019
PR	_____	PM 004-ESW ENGINEERING - SEWER / WAT 20190109 1433 CRIMSON LN			223-2		05/06/2019
PR	_____	005-UGE UNDERGROUND ELECTRIC					05/13/2019
PR	_____	006-PLU PLUMBING - UNDERSLAB					05/13/2019
BF	_____	007-PPS PRE-POUR, SLAB ON GRADE Comments1: FLATWORK, RSS					05/15/2019
PR	_____	004-ESW ENGINEERING - SEWER / WAT 20190110 1435 CRIMSON LN			223-3		05/06/2019
PR	_____	005-PLU PLUMBING - UNDERSLAB					05/13/2019
PR	_____	006-UGE UNDERGROUND ELECTRIC					05/13/2019
BF	_____	AM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: FLATWORK, RSS					05/15/2019
PR	_____	004-ESW ENGINEERING - SEWER / WAT 20190111 1437 CRIMSON LN			223-4		05/06/2019
PR	_____	005-PLU PLUMBING - UNDERSLAB					05/13/2019
PR	_____	006-UGE UNDERGROUND ELECTRIC					05/13/2019
BF	_____	AM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: FLATWORK , RSS					05/15/2019
PR	_____	004-ESW ENGINEERING - SEWER / WAT 20190112 1439 CRIMSON LN			223-5		05/06/2019
PR	_____	005-PLU PLUMBING - UNDERSLAB					05/13/2019

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PR	_____	006-UGE UNDERGROUND ELECTRIC					05/13/2019
BF	_____	AM 007-PPS PRE-POUR, SLAB ON GRADE Comments1: FLATWORK, RSS					05/15/2019
BC	_____	008-RFR ROUGH FRAMING Comments1: GR RYAN	20190114	2821 SILVER SPRINGS CT	245		05/13/2019
BC	_____	009-REL ROUGH ELECTRICAL					05/13/2019
BC	_____	010-RMC ROUGH MECHANICAL					05/13/2019
PR	_____	011-PLR PLUMBING - ROUGH					05/13/2019
BC	_____	012-INS INSULATION					05/15/2019
BF	_____	PM 013-WKS PUBLIC & SERVICE WALKS Comments1: MIDWEST, GR,					05/24/2019
PR	_____	001-ESW ENGINEERING - SEWER / WAT	20190115	3168 BOOMBAH BLVD	130		05/29/2019
PR	_____	AM 001-RFR ROUGH FRAMING	20190125	2422 FITZHUGH TURN	146		05/01/2019
PR	_____	AM 002-REL ROUGH ELECTRICAL					05/01/2019
PR	_____	AM 003-PLR PLUMBING - ROUGH					05/01/2019
BC	_____	001-FIN FINAL INSPECTION Comments1: PATIO DOOR	20190128	1013 INDEPENDENCE BLVD	5		05/01/2019
PR	_____	AM 004-ESW ENGINEERING - SEWER / WAT	20190130	1112 CARLY DR	26		05/03/2019
PR	_____	005-PLU PLUMBING - UNDERSLAB					05/31/2019
BC	_____	001-PHF POST HOLE - FENCE	20190139	2623 MCLELLAN BLVD	44		05/10/2019
BC	_____	AM 001-PHF POST HOLE - FENCE	20190140	2241 KINGSMILL ST			05/08/2019
BF	_____	001-FIN FINAL INSPECTION Comments1: SOLAR AUTUMN CREEK	20190143	1538 SIENNA DR	76		05/14/2019
BC	_____	002-PPS PRE-POUR, SLAB ON GRADE	20190146	2699 LILAC WAY	321		05/06/2019
BC	_____	001-PHD POST HOLE - DECK	20190149	2636 BURR ST	12		05/07/2019
BC	_____	002-FIN FINAL INSPECTION Comments1: ANYTIME WEEK OF 5/28/19				05/28/2019	

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BC	_____	002-FIN FINAL INSPECTION	20190151	2394 HOLLENBACK CT	423		05/24/2019
BC	_____	001-TRN TRENCH - (GAS, ELECTRIC, Comments1: PINK SPRAY PAINT ON COMPACTED AGGREGATE Comments2: DIRECTLY OVER GAS LINE.	20190152	1403 RUBY DR	349		05/14/2019
BC	_____	AM 001-FIN FINAL INSPECTION	20190158	2975 ELLSWORTH DR	400		05/09/2019
PR	_____	PM 001-WAT WATER	20190160	2799 GAINS CT	195		05/07/2019
BF	_____	002-FTG FOOTING Comments1: MIDWEST, GR					05/09/2019
BF	_____	003-WKS PUBLIC & SERVICE WALKS Comments1: GR MIDWEST				05/10/2019	
PR	_____	005-PLU PLUMBING - UNDERSLAB					05/21/2019
BC	_____	001-FIN FINAL INSPECTION	20190161	2839 SILVER SPRINGS CT	250		05/07/2019
BC	_____	001-PHF POST HOLE - FENCE	20190163	1004 STATE ST			05/10/2019
BC	_____	002-PHF POST HOLE - FENCE					05/15/2019
BC	_____	001-PHF POST HOLE - FENCE	20190164	2935 ELLSWORTH DR	411		05/10/2019
BC	_____	001-FIN FINAL INSPECTION Comments1: 6 WINDOWS - WINDOW ABOVE PATIO BOX IS NO Comments2: T FULLY CAULKED ON RIGHT SIDE, H/O WILL Comments3: ADDRESS IT.	20190166	2021 COUNTRY HILLS DR	338		05/01/2019
PR	_____	AM 004-FIN FINAL INSPECTION Comments1: NO ACCESS	20190168	382 POPLAR DR		05/03/2019	
PR	_____	005-FIN FINAL INSPECTION					05/09/2019
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20190170	1407 SEQUOIA CIR	44		05/22/2019
BC	_____	001-PHF POST HOLE - FENCE	20190171	403 TWINLEAF TR	82		05/13/2019
BC	_____	002-FIN FINAL INSPECTION					05/16/2019
BC	_____	PM 001-PHF POST HOLE - FENCE	20190176	505 SHADOW WOOD DR	106		05/03/2019
BC	_____	003-BND POOL BONDING	20190178	824 HOMESTEAD DR	20		05/06/2019
BC	_____	004-PPS PRE-POUR, SLAB ON GRADE					05/06/2019

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INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	005-PHF POST HOLE - FENCE Comments1: NOT READY				05/21/2019	
BC	_____	006-FIN FINAL INSPECTION Comments1: NEED FENCE BEFORE COMPLETING FINAL INSPECTION Comments2: CTION				05/24/2019	
BC	_____	007-PHF POST HOLE - FENCE					05/31/2019
BC	_____	PM 001-PHD POST HOLE - DECK	20190182	2411 ALAN DALE LN	134		05/13/2019
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20190188	904 STATE ST			05/10/2019
PR	_____	001-WAT WATER Comments1: CANCEL	20190190	4376 E MILLBROOK CIR	269	05/22/2019	
BF	_____	AM 002-FTG FOOTING Comments1: GR-269				05/28/2019	
BC	_____	003-FOU FOUNDATION					05/30/2019
BC	_____	001-PHF POST HOLE - FENCE	20190191	323 FONTANA DR	58		05/10/2019
BC	_____	AM 002-FOU FOUNDATION	20190193	272 WINDETT RIDGE RD	17		05/06/2019
PR	_____	PM 003-ESW ENGINEERING - SEWER / WAT					05/13/2019
BF	_____	AM 004-BKF BACKFILL Comments1: LENNAR					05/13/2019
PR	_____	005-PLU PLUMBING - UNDERSLAB					05/31/2019
BC	_____	001-FTG FOOTING Comments1: PERGOLA	20190194	781 OMAHA DR	17		05/07/2019
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20190195	2543 MADDEN CT	6		05/16/2019
BC	_____	001-TRN TRENCH - (GAS, ELECTRIC, Comments1: ELEC RECEPT MUST BE 6-10' FROM POOL. POOL Comments2: L REQUIRES GUARDING OR FENCING IF TOP OF Comments3: POOL IS LESS THAN 48" FROM GROUND LEVE Comments4: L	20190198	1869 WALSH DR	56		05/08/2019
BC	_____	004-BKF BACKFILL	20190199	875 PURCELL ST	71		05/08/2019
BC	_____	AM 001-PHD POST HOLE - DECK	20190203	478 HONEYSUCKLE LN	160		05/21/2019
BC	_____	002-RFR ROUGH FRAMING					05/23/2019

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BC	_____	AM 001-PHD POST HOLE - DECK	20190206	2626 BURR ST	13		05/03/2019
BC	_____	002-FIN FINAL INSPECTION Comments1: DECK					05/13/2019
BC	_____	AM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: CHECK PITCH BEFORE POURING TO ENSURE DAI Comments2: NAGE IS AWAY FROM HOME FOUNDATION.	20190208	891 PARKSIDE LN	193		05/14/2019
BC	_____	001-PHF POST HOLE - FENCE	20190213	572 PARKSIDE LN	105		05/15/2019
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20190215	1482 WALSH DR	193		05/14/2019
BC	_____	PM 001-PHD POST HOLE - DECK	20190217	1979 MEADOWLARK LN	118		05/20/2019
BC	_____	PM 001-PHD POST HOLE - DECK	20190218	2422 FITZHUGH TURN	146		05/20/2019
BC	_____	AM 001-WK SERVICE WALK	20190219	522 HEARTLAND DR	185		05/03/2019
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20190220	2833 SILVER SPRINGS CT	248		05/16/2019
BC	11:00	001-PHF POST HOLE - FENCE	20190222	114 CONOVER CT	11		05/22/2019
BC	_____	AM 003-FIN FINAL INSPECTION	20190224	608 E VETERANS PKWY			05/29/2019
BC	_____	001-PHF POST HOLE - FENCE	20190226	2836 CRANSTON CIR	96	05/02/2019	
BC	_____	002-PHF POST HOLE - FENCE					05/13/2019
BC	_____	PM 001-PHF POST HOLE - FENCE	20190229	3147 MATLOCK DR			05/15/2019
BC	_____	AM 001-PHD POST HOLE - DECK	20190231	568 WINDETT RIDGE RD	168		05/13/2019
BC	_____	002-RFR ROUGH FRAMING					05/14/2019
BC	_____	003-FIN FINAL INSPECTION					05/16/2019
BC	_____	AM 002-FIN FINAL INSPECTION Comments1: DECK	20190233	1011 S CARLY CIR	87		05/02/2019
BC	_____	001-FIN FINAL INSPECTION Comments1: FINAL - DECK REPAIR/ CODE SPECIFICALLY P Comments2: ROHIBITS LEDGER TO BE NAILED. SECURE WIT Comments3: H 1/2"BOLTS, LAGS OR SIMILAR ANCHORS.	20190234	103 E SOMONAUK ST			05/13/2019
BC	_____	002-REI REINSPECTION					05/20/2019
BC	_____	001-TRN TRENCH - (GAS, ELECTRIC,	20190235	472 HONEYSUCKLE LN	159		05/20/2019

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BC		PM 002-BND POOL BONDING Comments1: LATE PM not ready				05/20/2019	
BC		001-FIN FINAL INSPECTION	20190236	2423 FAIRFAX WAY	241		05/24/2019
BC		002-BND POOL BONDING Comments1: RESIN POOL - INSPECTION NOT NECESSARY				05/24/2019	
BC		PM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: CANCEL	20190237	2626 BURR ST	13	05/21/2019	
BC		002-PPS PRE-POUR, SLAB ON GRADE					05/24/2019
BC		001-PHF POST HOLE - FENCE Comments1: LATE AM	20190241	672 WINDETT RIDGE RD	152		05/02/2019
BC		001-ROF ROOF UNDERLAYMENT ICE & W	20190246	333 WALSH CIR	19		05/03/2019
BC		001-PHF POST HOLE - FENCE	20190251	1024 INDEPENDENCE BLVD			05/08/2019
BC		001-ROF ROOF UNDERLAYMENT ICE & W	20190252	661 WHITE OAK WAY			05/10/2019
BC	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20190253	1404 SEQUOIA CIR			05/16/2019
BC		001-FTG FOOTING	20190255	841 OMAHA DR	20		05/08/2019
BF		PM 002-FOU FOUNDATION Comments1: NORWOOD CONCRETE, HLC					05/10/2019
BF		PM 003-BKF BACKFILL Comments1: NORWOOD					05/15/2019
PR		PM 004-ESW ENGINEERING - SEWER / WAT					05/22/2019
BC		001-FIN FINAL INSPECTION	20190259	1022 JOHN ST			05/16/2019
BC		AM 001-PPS PRE-POUR, SLAB ON GRADE Comments1: DRIVEWAY	20190261	2909 OLD GLORY DR	247		05/01/2019
BC		PM 001-FIN FINAL INSPECTION	20190264	1252 WALSH DR			05/14/2019
PR		001-WAT WATER	20190265	2785 GAINS CT	191		05/15/2019
BF		002-FTG FOOTING Comments1: GR**MAKE THIS THE LAST INSPECTION FOR TH Comments2: E DAY**canc				05/21/2019	
BF		003-FTG FOOTING Comments1: GR, MIDWEST					05/22/2019

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BF		004-FOU FOUNDATION Comments1: MIDWEST, GR, **LATE DAY INSPECTION**					05/23/2019
PR		005-PLU PLUMBING - UNDERSLAB					05/31/2019
BF		PM 006-BG BASEMENT AND GARAGE FLOOR Comments1: RYAN					05/31/2019
BC		AM 002-FTG FOOTING	20190266	832 ALEXANDRA LN	36		05/06/2019
BF		AM 003-FOU FOUNDATION					05/09/2019
BC		004-BKF BACKFILL					05/15/2019
BC		AM 001-PPS PRE-POUR, SLAB ON GRADE	20190267	147 COMMERCIAL DR	19		05/07/2019
BC		001-PHF POST HOLE - FENCE	20190270	2411 FITZHUGH TURN	150		05/09/2019
BC	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20190273	1744 COLUMBINE CT	16		05/07/2019
PR	11:30	001-ESW ENGINEERING - SEWER / WAT	20190279	1992 MEADOWLARK LN	143		05/20/2019
BC	09:00	002-FTG FOOTING Comments1: NORWOOD, COUNTRY HILLS					05/23/2019
BC		001-PHF POST HOLE - FENCE Comments1: CANCEL	20190282	3406 RYAN DR	67	05/22/2019	
BC		002-PHF POST HOLE - FENCE					05/23/2019
PR		AM 001-ESW ENGINEERING - SEWER / WAT	20190287	709 CLOVER CT	5		05/21/2019
BC		PM 003-FTG FOOTING					05/24/2019
BF		AM 004-FOU FOUNDATION Comments1: RSS					05/31/2019
BC		AM 001-PHD POST HOLE - DECK	20190291	1991 MEADOWLARK LN	113		05/21/2019
BC		002-RFR ROUGH FRAMING Comments1: INSPECTION NOTES: INSTALL FLASHING & BOL Comments2: T ALL PLATES					05/31/2019
BF		001-FTG FOOTING	20190292	1455 CRIMSON LN	222-1		05/21/2019
BF		002-FOU FOUNDATION					05/24/2019
BC		AM 003-BKF BACKFILL					05/28/2019

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UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

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INSPECTIONS SCHEDULED FROM 05/01/2019 TO 05/31/2019

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	001-FTG FOOTING	20190293	1453 CRIMSON LN	222-2		05/21/2019
BF	_____	002-FOU FOUNDATION					05/24/2019
BC	_____	AM 003-BKF BACKFILL					05/28/2019
BF	_____	001-FTG FOOTING	20190294	1451 CRIMSON LN	222-3		05/21/2019
BF	_____	002-FOU FOUNDATION					05/24/2019
BC	_____	AM 003-BKF BACKFILL					05/28/2019
BF	_____	001-FTG FOOTING	20190295	1449 CRIMSON LN	222-4		05/21/2019
BF	_____	002-FOU FOUNDATION					05/24/2019
BC	_____	AM 003-BKF BACKFILL					05/28/2019
BF	_____	001-FTG FOOTING	20190296	1447 CRIMSON LN	222-5		05/21/2019
		Comments1: FIVE UNIT TOWNHOMES AUTUMN CREEK					
BF	_____	002-FOU FOUNDATION					05/24/2019
		Comments1: 5 UNIT TOWNHOMES AC, RSS , PULTE					
BC	_____	AM 003-BKF BACKFILL					05/28/2019
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20190306	1502 WALSH DR	191		05/13/2019
BC	11:00	001-PHF POST HOLE - FENCE	20190308	2412 SUMAC DR			05/20/2019
BC	_____	001-PHF POST HOLE - FENCE	20190314	1152 MIDNIGHT PL	304		05/23/2019
BC	_____	AM 001-PHD POST HOLE - DECK	20190316	410 S DOVER CT	65		05/15/2019
BC	_____	AM 001-PPS PRE-POUR, SLAB ON GRADE	20190319	2156 HEARTHSTONE AVE.			05/31/2019
		Comments1: PATIO & STOOP					
BF	_____	AM 001-FTG FOOTING	20190320	2078 SQUIRE CIR	182		05/31/2019
		Comments1: RYAN					
PR	_____	001-WAT WATER	20190321	4262 E MILLBROOK CIR	282		05/31/2019
PR	_____	001-WAT WATER	20190322	2782 GAINS CT	188		05/22/2019
BF	_____	AM 002-FTG FOOTING					05/28/2019
		Comments1: GR-188					
BF	_____	AM 003-FOU FOUNDATION					05/29/2019
		Comments1: MIDWEST, GR					

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INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF		001-FTG FOOTING Comments1: UPLAND, PRESTWICK	20190323	1952 WREN RD	6		05/20/2019
BF		AM 002-FOU FOUNDATION Comments1: UPLAND, PRESTWICK					05/22/2019
BF		003-BKF BACKFILL Comments1: UPLAND PRESTWICK					05/31/2019
BF		AM 001-FTG FOOTING Comments1: K HOV	20190324	1921 WREN RD	15		05/21/2019
BF		002-FOU FOUNDATION Comments1: UPLAND					05/24/2019
BF		003-BKF BACKFILL Comments1: UPLAND, PRESTWICK					05/31/2019
BC		001-ROF ROOF UNDERLAYMENT ICE & W	20190325	2491 WAVERLY CIR	234		05/07/2019
BC		001-PHF POST HOLE - FENCE	20190329	2442 SUMAC DR			05/10/2019
BC		001-FIN FINAL INSPECTION Comments1: SLIDER	20190337	3425 RYAN DR	9		05/31/2019
BC		001-PHD POST HOLE - DECK	20190341	2793 GAINS CT	193		05/31/2019
BC	11:00	001-PHF POST HOLE - FENCE	20190342	1415 CHESTNUT LN	68		05/20/2019
BC		PM 001-PHF POST HOLE - FENCE Comments1: EARLY PM	20190343	609 DENISE CT	44		05/17/2019
BC	10:00	001-PHF POST HOLE - FENCE Comments1: 10-12	20190344	2995 GRANDE TR	393		05/24/2019
BC		002-FIN FINAL INSPECTION					05/30/2019
BC		001-PHD POST HOLE - DECK	20190347	1533 CORAL DR	171		05/29/2019
BF		AM 002-RFR ROUGH FRAMING Comments1: DECK - STEVE 630-373-2325					05/31/2019
BC		001-ROF ROOF UNDERLAYMENT ICE & W	20190352	1320 EVERGREEN LN	135		05/23/2019
BC	11:00	001-FIN FINAL INSPECTION	20190353	1409 ASPEN LN			05/28/2019
BC		001-PHD POST HOLE - DECK	20190355	2778 GOLDENROD DR	254		05/30/2019

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INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	PM 001-PHF POST HOLE - FENCE	20190357	108 CONOVER CT	0		05/29/2019
BC	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20190362	388 BERTRAM DR	1032		05/22/2019
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20190370	1404 WHITE PINE CT	95		05/15/2019
BC	_____	PM 001-ROF ROOF UNDERLAYMENT ICE & W	20190372	402 W WASHINGTON			05/20/2019
BC	_____	PM 001-ROF ROOF UNDERLAYMENT ICE & W	20190373	348 BERTRAM DR.			05/28/2019
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20190375	1018 INDEPENDENCE BLVD			05/23/2019
BC	_____	001-PHF POST HOLE - DECK	20190377	722 KENTSHIRE DR	118		05/30/2019
BC	_____	001-FTG FOOTING	20190388	1975 MEADOWLARK LN	120		05/31/2019
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20190393	304 WALTER ST			05/29/2019
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20190394	303 W KENDALL DR			05/23/2019
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20190402	207 HILLCREST AVE			05/31/2019
BC	_____	AM 001-ROF ROOF UNDERLAYMENT ICE & W	20190410	1441 ASPEN LN			05/31/2019
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20190411	310 E BLACKBERRY LN	57		05/29/2019

INSPECTIONS SCHEDULED FROM 05/01/2019 TO 05/31/2019

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE

PERMIT TYPE SUMMARY:		AGP ABOVE-GROUND POOL			5		
		BDO COMMERCIAL BUILD-OUT			4		
		BSM BASEMENT REMODEL			3		
		CCO COMMERCIAL OCCUPANCY PERMIT			1		
		COM COMMERCIAL BUILDING			4		
		CRM COMMERCIAL REMODEL			1		
		DCK DECK			23		
		DRV DRIVEWAY			1		
		FNC FENCE			28		
		FOU FOUNDATION			1		
		IGP IN-GROUND POOL			6		
		MIS MISCELLANEOUS			3		
		PRG PERGOLA			2		
		PTO PATIO / PAVERS			10		
		REM REMODEL			2		
		ROF ROOFING			20		
		SFA SINGLE-FAMILY ATTACHED			35		
		SFD SINGLE-FAMILY DETACHED			233		
		SOL SOLAR PANELS			2		
		SWK PRIVATE SIDEWALK			1		
		WHR WATER HEATER REPLACEMENT			2		
		WIN WINDOW REPLACEMENT			2		
INSPECTION SUMMARY:		BG BASEMENT AND GARAGE FLOOR			1		
		BGS BASEMENT GARAGE STOOPS			5		
		BKF BACKFILL			13		
		BND POOL BONDING			3		
		BSM BASEMENT FLOOR			4		
		EFL ENGINEERING - FINAL INSPECTION			18		
		EPW ENGINEERING- PUBLIC WALK			3		
		ESW ENGINEERING - SEWER / WATER			11		
		FIN FINAL INSPECTION			40		
		FOU FOUNDATION			15		
		FTG FOOTING			20		
		GAR GARAGE FLOOR			3		
		INS INSULATION			18		
		PHD POST HOLE - DECK			13		
		PHF POST HOLE - FENCE			28		
		PLF PLUMBING - FINAL OSR READY			14		
		PLR PLUMBING - ROUGH			17		
		PLU PLUMBING - UNDERSLAB			12		
		PPS PRE-POUR, SLAB ON GRADE			17		
		REI REINSPECTION			5		
		REL ROUGH ELECTRICAL			18		
		RFR ROUGH FRAMING			21		
		RMC ROUGH MECHANICAL			16		
		ROF ROOF UNDERLAYMENT ICE & WATER			20		

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INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
		SEW SEWER INSPECTION			3		
		STP STOOP			3		
		SUM SUMP			5		
		TRN TRENCH - (GAS, ELECTRIC, ETC)			3		
		UGE UNDERGROUND ELECTRIC			5		
		WAT WATER			8		
		WK SERVICE WALK			1		
		WKS PUBLIC & SERVICE WALKS			26		
INSPECTOR SUMMARY:		BC BOB CREADEUR			188		
		BF B&F INSPECTOR CODE SERVICE			83		
		EEI ENGINEERING ENTERPRISES			19		
		PR PETER RATOS			99		
STATUS SUMMARY:	A	BC			1		
	C	BC			32		
	C	BF			2		
	C	EEI			5		
	C	PR			7		
	I	BC			138		
	I	BF			74		
	I	EEI			1		
	I	PR			74		
	T	BC			17		
	T	BF			7		
	T	EEI			13		
	T	PR			18		
REPORT SUMMARY:					389		



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #3

Tracking Number

EDC 2019-56

Agenda Item Summary Memo

Title: Property Maintenance Report for May 2019

Meeting and Date: Economic Development Committee – July 2, 2019

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Informational

Council Action Requested: None

Submitted by: Pete Ratos Community Development
Name Department

Agenda Item Notes:

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at <http://www.yorkville.il.us/320/City-Council>



Memorandum

To: Economic Development Committee
From: Pete Ratos, Code Official
CC: Bart Olson, Krysti Barksdale-Noble, Lisa Pickering
Date: June 4, 2019
Subject: May Property Maintenance

Property Maintenance Report May 2019

Adjudication:

8 Property Maintenance Cases heard in May

5/6/2019

N 3937	577 E Kendall Dr	Exterior Property	Liabe \$250
N 3938	577 E Kendall Dr	Soil Erosion & Control	Liabe \$250
N 3939	202 Church St	Motor Vehicle	Dismissed
N 3940	601 Greenfield Turn	Motor Vehicle	Dismissed
N 3941	4512 Marquette St	Motor Vehicle	Continued

5/13/2019

N 0446	2074 Ingemunson Ln	Motor Vehicle	Dismissed
N 0447	2074 Ingemunson Ln	Motor Vehicle	Dismissed
N 0448	2074 Ingemunson Ln	Motor Vehicle	Dismissed



Case Report

05/01/2019 - 05/31/2019

Case #	Case Date	ADDRESS OF COMPLAINT	TYPE OF VIOLATION	STATUS	VIOLATION LETTER SENT	FOLLOW UP STATUS	CITATION ISSUED	DATE OF HEARING	POSTED	PUBLIC WORKS TO MOW
20190353	5/31/2019	108 W Van Emmon	Grass Height	CLOSED		COMPLIANT			5/31/2019	
20190352	5/31/2019	Empty lot @ Stony	Grass & Weeds	CLOSED		COMPLIANT				
20190351	5/31/2019	311 Poplar Dr	Grass Height	CLOSED		COMPLIANT				
20190350	5/30/2019	201 W Van Emmon	Grass Height	CLOSED	5/31/2019	COMPLIANT			5/30/2019	
20190349	5/29/2019	Sarasota Dr	Grass Height	IN VIOLATION						
20190348	5/30/2019	906 N Carly Cir	Grass & Weeds	IN VIOLATION					5/30/2019	
20190347	5/30/2019	8721 Route 126	UN PERMITTED STRUCTURE	IN VIOLATION	5/30/2019					
20190346	5/30/2019	304 Walter St	Vehicle	IN VIOLATION	5/30/2019					
20190345	5/29/2019	Lot 5 Resub Lot 1	Grass, Weeds	CLOSED	5/16/2019	COMPLIANT	5/29/2019	7/1/2019	5/9/2019	YES
20190344	5/29/2019	PT LT 52 Kendall	Weeds & Grass	IN VIOLATION					5/29/2019	
20190343	5/29/2019	PT LT 52 Kendall	Weeds & Grass	IN VIOLATION					5/29/2019	
20190342	5/29/2019	PT LT 52 Kendall	Weeds & Grass	IN VIOLATION					5/29/2019	
20190341	5/29/2019	871 Purcell St	Grass & Weeds	IN VIOLATION					5/29/2019	
20190340	5/29/2019	3244 Pinewood Dr	Grass Height	IN VIOLATION					5/29/2019	
20190339	5/29/2019	232 Commercial Dr	Weeds	IN VIOLATION					5/29/2019	
20190338	5/29/2019	254 Commercial Dr	Weeds	IN VIOLATION					5/29/2019	
20190337	5/29/2019	805 S Bridge St	Grass Height	CLOSED	5/30/2019	COMPLIANT			5/29/2019	
20190336	5/29/2019	613 Greenfield	Grass Height	IN VIOLATION					5/29/2019	
20190335	5/29/2019	504 W Washington	Grass & Weeds	IN VIOLATION					5/29/2019	
20190334	5/28/2019	462 Norway Cir	Grass Height	IN VIOLATION					5/28/2019	
20190333	5/28/2019	1548 Sienna Dr	Grass Height	COMPLIANT		COMPLIANT				
20190332	5/24/2019	Longview Dr	Offensive Sign	CLOSED		COMPLIANT				
20190331	5/24/2019	404 Fairhaven Dr	Grass Clippings	COMPLIANT		COMPLIANT				
20190330	5/24/2019	1133 Taus Cir	Weeds & Grass	IN VIOLATION	5/24/2019				5/24/2019	
20190329	5/24/2019	102 W Fox St	Grass & Weeds	CLOSED		COMPLIANT			5/24/2019	
20190328	5/24/2019	1981 S Bridge St	Grass & Weeds	IN VIOLATION	5/24/2019				5/24/2019	
20190327	5/24/2019	PT LT 2 Fountain	Grass & Weeds	IN VIOLATION	5/24/2019				5/24/2019	
20190326	5/20/2019	Prairie Meadows	Grass & Weeds	CLOSED		COMPLIANT				
20190325	5/23/2019	308 E Park St	Offensive Odor	PENDING						
20190324	5/23/2019	1169 Heartland Dr	Trailer Parking	CLOSED	5/23/2019	COMPLIANT				
20190323	5/23/2019	1084 Redwood Dr	Grass Height	DUPLICATE			5/23/2019		5/15/2019	YES
20190322	5/23/2019	Center Pkwy	Weeds & Grass	CLOSED						
20190320	5/21/2019	601 MILL ST	DEAD TREE	IN VIOLATION	5/23/2019					
20190319	5/21/2019	509 Morgan St	Grass & Weeds	IN VIOLATION					5/21/2019	
20190318	5/21/2019	3194 Pinewood Dr	Grass & Weeds	IN VIOLATION						

20190317	5/21/2019	2744 Alan Dale Ln	Grass Height	CLOSED	4/25/2019	COMPLIANT					
20190316	5/21/2019	1702 John St	Grass & Weeds	IN VIOLATION						5/21/2019	
20190315	5/21/2019	309 W FOX ST	WEEDS, GRASS	IN VIOLATION							
20190314	5/21/2019	1971 WESTON AVE	WEEDS, FENCE FALLING DOWN	CLOSED	5/21/2019	COMPLIANT					
20190313	5/20/2019	2782 Goldenrod Dr	Grass & Weeds	CLOSED	5/20/2019	COMPLIANT				5/20/2019	
20190312	5/20/2019	356 Twinleaf Tr	Grass & Weeds	CLOSED		COMPLIANT				5/20/2019	
20190311	5/20/2019	206 Heustis St	BOAT ON TRAILER/WEEDS	IN VIOLATION	5/21/2019						
20190310	5/20/2019	Prairie Meadows	Grass & Weeds	IN VIOLATION							
20190309	5/20/2019	599 W	WEEDS, GRASS	CLOSED		COMPLIANT				5/20/2019	
20190308	5/20/2019	1569 Walsh	WEEDS, GRASS	DUPLICATE							
20190307	5/17/2019	204 W Hydraulic	Vehicle	CLOSED	5/19/2019	COMPLIANT					
20190306	5/17/2019	4512 Marquette St	Grass Height	CLOSED		COMPLIANT				5/17/2019	
20190305	5/17/2019	4512 Harrison St	Grass Height	CLOSED		COMPLIANT				5/17/2019	
20190304	5/17/2019	373 Bertram Dr	Grass & Weeds	CLOSED	5/17/2019	COMPLIANT					
20190303	5/17/2019	315 W Kendall Dr	Boat/Trailer Parking	IN VIOLATION	5/17/2019						
20190302	5/17/2019	1437 Slate Ct	Sprinkler Heads in Parkway	IN VIOLATION							
20190301	5/16/2019	26 Gawne Ln	Vehicle	CLOSED	5/16/2019	COMPLIANT					
20190300	5/16/2019	102 Worsley Ln	Grass & Weeds	IN VIOLATION	5/16/2019					5/16/2019	
20190299	5/16/2019	107 B Park St	Grass Height	CLOSED	5/16/2019	COMPLIANT				5/16/2019	
20190298	5/16/2019	578 RED TAIL LN	DUMPSTER IN STREET	CLOSED		COMPLIANT					
20190297	5/16/2019	212 Windham Cir	Grass & Weeds	CLOSED		COMPLIANT	7/29/2019	7/1/2019	5/16/2019	YES	
20190296	5/15/2019	402 Liberty St	Grass & Weeds	IN VIOLATION	5/16/2019		5/31/2019	7/1/2019	5/15/2019		
20190295	5/15/2019	408 Colton St	Grass Height	CLOSED		COMPLIANT			5/15/2019		
20190294	5/15/2019	507 Blaine St	Trailer Parking	IN VIOLATION							
20190293	5/15/2019	201 E Kendall Dr	Grass Height	CLOSED		COMPLIANT			5/15/2019		
20190292	5/15/2019	1162 Clearwater	Grass & Weeds	IN VIOLATION					5/15/2019		
20190291	5/15/2019	1378 Spring St	Grass & Weeds	IN VIOLATION					5/15/2019		
20190290	5/15/2019	1327 Spring St	Grass & Weeds	IN VIOLATION					5/15/2019		
20190289	5/15/2019	1105 Grace Dr	Grass & Weeds	IN VIOLATION					5/15/2019		
20190288	5/15/2019	1095 Grace Dr	Grass & Weeds	IN VIOLATION					5/15/2019		
20190287	5/15/2019	1124 Redwood Dr	Grass & Weeds	CLOSED		COMPLIANT			5/15/2019		
20190286	5/15/2019	1084 Redwood Dr	Grass Height	IN VIOLATION			5/23/2019	6/24/2019	5/15/2019	YES	
20190285	5/14/2019	807 E Main St	Grass Height	COMPLIANT							
20190284	5/14/2019	215 Newbury Ct	Vehicle Parking & Trailer Parking	CLOSED	5/15/2019	COMPLIANT					
20190283	5/14/2019	1111 S Bridge St	Sign without Permit	IN VIOLATION	5/14/2019						
20190282	5/14/2019	3284 Pinewood Dr	Grass Height	CLOSED		COMPLIANT			5/14/2019		

20190281	5/14/2019	706 Heustis St	Grass Height	IN VIOLATION			5/21/2019		5/14/2019	YES
20190280	5/14/2019	510 W Hydraulic Ave	Junk, Trash & Refuse	IN VIOLATION	5/14/2019					
20190279	5/14/2019	509 W Madison Ct	Vehicle Parking	IN VIOLATION	5/14/2019					
20190278	5/14/2019	305 Church St	Vehicle	CLOSED	5/14/2019	COMPLIANT				
20190277	5/13/2019	2732 Cranston Cir	Weeds	CLOSED		COMPLIANT			5/13/2019	
20190276	5/14/2019	201 W Van Emmon	Vehicle	CLOSED	5/14/2019	COMPLIANT				
20190275	5/13/2019	8721 Route 126	COMMERCIAL VEHICLE PARKED ON LOT	IN VIOLATION	5/14/2019		6/2/2019	7/8/2019		
20190274	5/13/2019	102 W Fox Rd	Junk, Trash & Refuse	CLOSED	5/14/2019	COMPLIANT				
20190273	5/13/2019	874 Flint Creek Ln	Grass & Weeds	CLOSED		COMPLIANT			5/13/2019	
20190272	5/13/2019	201 W Main St	Grass & Weeds	CLOSED		COMPLIANT			5/13/2019	
20190271	5/13/2019	1569 Walsh Dr	Grass Height	IN VIOLATION			5/21/2019	6/24/2019	5/13/2019	YES
20190270	5/13/2019	905 Stony Creek	Grass & Weeds	CLOSED		COMPLIANT			5/13/2019	
20190269	5/13/2019	847 Greenfield	Grass Height	CLOSED		COMPLIANT			5/13/2019	
20190268	5/10/2019	2765 Cranston	Grass Height	CLOSED		COMPLIANT				
20190267	5/10/2019	4438 Pleasant Ct	Vehicle	CLOSED	5/13/2019	COMPLIANT				
20190266	5/10/2019	1023 S Carly Cir	Soil Erosion and Sediment Control Maintenance	IN VIOLATION	5/10/2019					
20190265	5/10/2019	971 S Carly Cir	Soil Erosion and Sediment Control Maintenance	IN VIOLATION	5/10/2019					
20190264	5/10/2019	1447 Aspen Ln	Lack of Address Identification	IN VIOLATION	5/10/2019					
20190263	5/10/2019	1424 Aspen Ln	Snipe Sign	CLOSED	5/10/2019	COMPLIANT				
20190262	5/9/2019	Lot 1 Menards	Grass, Weeds	CLOSED		COMPLIANT			5/9/2019	
20190261	5/9/2019	Lot 5 Resub Lot 1	Grass, Weeds	IN VIOLATION	5/16/2019		5/29/2019	7/1/2019	5/9/2019	YES
20190260	5/9/2019	1412 Aspen Ln	Lack of Address Identification	IN VIOLATION	5/10/2019					
20190259	5/9/2019	111 W Hydraulic	Sign Maintenance	CLOSED	5/10/2019	COMPLIANT				
20190258	5/9/2019	884 Western Ln	Junk, Trash & Refuse	IN VIOLATION	5/10/2019					
20190257	5/9/2019	577 E Kendall Dr	Junk, Trash & Refuse	IN VIOLATION	5/9/2019		5/24/2019	6/24/2019		
20190256	5/9/2019	1007 S Main St	Trailer Parking	CLOSED	5/9/2019	COMPLIANT				
20190255	5/9/2019	781 Omaha Dr	Gravel on Street	CLOSED		COMPLIANT				
20190254	5/9/2019	284 Windette	Vehicle	IN VIOLATION	5/9/2019					
20190253	5/9/2019	338 Timbalier St	Vehicle	IN VIOLATION	5/9/2019					
20190252	5/9/2019	4573 Gardiner Ave	Vehicle	IN VIOLATION	5/9/2019					
20190251	5/9/2019	1202 Willow Way	Vehicle	IN VIOLATION	5/9/2019					
20190250	5/9/2019	1319 Willow Way	Vehicle	IN VIOLATION	5/9/2019					

20190249	5/9/2019	1218 Willow Way	Vehicle	IN VIOLATION	5/9/2019					
20190248	5/9/2019	306 King St	Grading and Drainage	COMPLIANT		COMPLIANT				
20190247	5/8/2019	2241 Kingsmill	Patio without permit	COMPLIANT		COMPLIANT				
20190246	5/8/2019	4512 Marquette St	Vehicle, Weeds	COMPLIANT		COMPLIANT				
20190245	5/8/2019	410 Center Pkwy	Vehicle Parking	CLOSED	5/9/2019	COMPLIANT				
20190244	5/8/2019	2391 Hollenbeck Ct	JUNK TRASH REFUSE	COMPLIANT		COMPLIANT				
20190242	5/1/2019	2761 Cranston Cir	Vehicle	IN VIOLATION	5/1/2019					

Total Records: 110

6/4/2019



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #4

Tracking Number

EDC 2019-57

Agenda Item Summary Memo

Title: Economic Development Report for June 2019

Meeting and Date: Economic Development Committee – July 2, 2019

Synopsis: See attached.

Council Action Previously Taken:

Date of Action: N/A Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: _____

Submitted by: Bart Olson Administration
Name Department

Agenda Item Notes:

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at <http://www.yorkville.il.us/320/City-Council>



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Phone 630-553-0843 • FAX 630-553-0889

Monthly Report – for July 2019 EDC Meeting of the United City of Yorkville

June 2019 Activity

Downtown Redevelopment:

- Working with a party preparing to lease the former “Capitano’s Deli” space. This experienced business owner is planning to open a quick serve restaurant specializing in healthy fresh options. There will be some cosmetic interior changes to reflect a new atmosphere. If all goes as planned, opening will take place in the fall of 2019.
- Working on a new restaurant on the former Cobblestone addition (last known as 1836 Provisions and Drink Lab). More details will be made public shortly including concept, menu and specialties. The entrance to the restaurant will be in the rear of the building.

Development south of Fox River:

- Continue working with Eleno Silva on banquet center. Eleno is completing both exterior and interior construction in Stagecoach Crossing. Official name of the business is “**Martini Banquets**”. He is focusing on opening in late summer of 2019.
- Continue working with a business who is interested in the NE corner of Route 47 and 71 to do a major ground up project.
- Working with Kevin Calder, a Yorkville resident, and All State Agent. Kevin has agency offices in Oswego, Crest Hill, and Palatine. He has purchased a 5,600 square foot office building located at 220 Garden Street in the Prairie Garden Executive Center. Kevin is moving his customer service operation for all of his agencies into this professional building. This location is for back office operations only, and it is not an agency office. There will be approximately 12 employees working out of this building.

Development north of the Fox River:

- **Kendall Crossing**...Construction is in full swing for the “**Hacienda Real**” building, the “**Flight Tasting Room & Bottle Shoppe**” building, and of course the “**Holiday Inn Express & Suites**” and “**Kendall Banquets**”. “**Burnt Barrel Social**” with 2,300 square feet and “**Chicago Title**” with 1,600 square feet will complete the remainder of the multi-tenant building. “**Burnt Barrel Social**” is a new local gathering place with great food, and small batch whiskey.
- **Kendall Marketplace**...Continue to work with specialist consultants from “Bespoke” who have been hired by center owner, Alex Berman, to work through a plan to determine new options and opportunities for the remainder of the project. Also working with perspective inline tenants, and a national restaurant for new construction on an outlot. Continue to work with Alex’s broker, Jason Pesola.
- “**Arby’s**” has submitted their building plans for remodel of the former Hardee’s location on Route 47 in early 2019. Yonas Hagos, Yorkville resident, will be the owner. Remodel will begin later this month. Arby’s is on pace to open in the fall of 2019.
- “**Gas N Wash**” has a new site in Yorkville. They have a 5 plus acre parcel under contract at northeast corner of Route 47 and Waterpark Way. Gas N Wash have formally applied for the approvals with the City, and remained focused on getting through the approval process before the weather gets too cold. They would like to begin construction this fall, and be open in the spring of 2020.
- Working with a variety of retail and service based businesses that are exploring opportunities in Yorkville.

Industrial Development:

- Working with a small food production company named “**Iya Foods**”, who is interested in purchasing two units which would total 3,300 square feet in the new “**Yorkville Commercial Center**” in Yorkville Business Center. This woman owned business will create 9 new full-time jobs, and 2-3 part time jobs. Iya Foods will also have 2 paid (stipends) internships focused on food innovation and small business start-up training. Successful interns will be involved in significant aspects of the food manufacturing process to gain insight on how to start a food company for the future. They are also planning to provide free access to their new R&D kitchen for food product development to help selected new food startups. Ultimately, Iya Foods will supply their locally produced and packed ingredients to innovative snacks and tortilla companies that supply over 20,000 stores across the United States.

Recreation:

- **Go for it Sports**...continue working with the center. “Go For It Sports” continues to develop exciting new programs such as “NFL Flag Football”, “Preschool Functional Class”, and “Chiefs Rugby Club”.

Other Activity:

- Personally met with 38 existing Yorkville businesses in June.

Respectfully submitted,

Lynn Dubajic
651 Prairie Pointe Drive, Suite 102
Yorkville, IL 60560
lynn@dlkllc.com
630-209-7151 cell



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #5

Tracking Number

EDC 2019-58

Agenda Item Summary Memo

Title: PZC 2019-18 Accessory Buildings and Structures

Meeting and Date: Economic Development Committee – July 2, 2019

Synopsis: Proposed text amendment revising the definition of a “zoning lot” and adding provisions related to accessory structures on contiguous lots under single ownership

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Approval

Submitted by: Krysti Barksdale-Noble, AICP Comm. Development
Name Department

Agenda Item Notes:



Memorandum

To: Economic Development Committee
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Date: June 11, 2019
Subject: **PZC 2019-18 Accessory Buildings and Structures**
Text Amendment

Summary

Last month, the City of Yorkville received a building permit application for the installation of a basketball court on a vacant parcel within an existing residential subdivision. The applicant owns two (2) adjacent lots, with their home on one lot and the other lot is utilized as open space/yard. Current zoning regulations are unclear regarding the construction of accessory structures on lots where no primary structure exists. Therefore, staff is proposing to amend certain sections of the zoning ordinance to outright permit contiguous lots under single ownership to build one (1) accessory building or structure on a vacant parcel, as long as the building or structure is located within the rear, corner or side yard setback as required for the zoning district. Additionally, staff is recommending sidewalks and parkway trees be required to be installed prior to the issuance of any accessory building or structure which requires a building permit.

Zoning Analysis

Previous requests by homeowners to utilize adjacent vacant parcels for permanent accessory structures such as sheds, garages and basketball courts have been far, and few in between, as most used the additional yard for open space. However, when staff was approached by a homeowner seeking to construct permanent structures on an adjacent lot, they were often encouraged to consolidate the lots; as it was the long-held interpretation by staff that lots must have a primary use on the parcel prior to permitting accessory buildings or structures to ensure all zoning and bulk regulations were being met. When this applicant requesting to install the basketball court expressed concern that the added cost to consolidate the lot and record the new plat with Kendall County was prohibitive, it was determined a review and potential amendment to the code was needed.

Review of Accessory Buildings and Structures

Section 10-3-5 of the Zoning Ordinance lists the criteria for permitted accessory buildings and structures. Included in the criteria are provisions related to the type, location, time of construction and height. The types of accessory buildings and structures permitted on a lot include: sheds, toolrooms or similar buildings for domestic or agricultural storage, gazebos, greenhouses, playground equipment, pools, recreational courts, playhouses, stables, and garages. These structures can be located no closer than five feet (5') from any side or rear property line and no closer than ten feet (10') to any main building. Accessory structures also may not be closer to the public way than the principal building on the lot.

However, it is the provision regarding the time of construction where the Zoning Ordinance stipulates the primary building must be built first if the accessory structure requires connection to city water. This regulation implies accessory structure maybe built first if city water is not needed for the building, but a primary structure will eventually be built on the lot. In the instance of the owner with

the adjoining lot, the basketball court would be the only structure and no future primary structure would be built.

Review of Definitions

In further consideration of the request, staff felt a review of the Zoning Ordinance's definitions was needed since the provisions in Section 10-3-5 required accessory buildings and structures to be built on a lot. In staff's review of the Zoning Ordinance, we found that the definition of "lot" and "zoning lot" were used interchangeably throughout the ordinance but had clearly distinctive meanings which impacted how the regulations for accessory buildings and structures were interpreted. Per Section 10-2-3: Definitions, a "**lot**" is defined as "a parcel of land legally described as a distinct portion or piece of land of record" while a "**zoning lot**" is defined as "a plot of ground made up of one or more parcels which are or may be occupied by a use, building or buildings, including the yards and open spaces required by this title."

The definition of a "lot" clearly applies to a single parcel, while the definition of a "**zoning lot**" implies multiple parcels may be utilized for a building or use. This is further evident in the following two (2) sections of the Zoning Ordinance where multiple parcels may be viewed as a single zoning lot:

- Section 10-3-3-A: Contiguous Parcels: *When two (2) or more parcels of land, each of which lacks adequate area and dimension to qualify for a permitted use under the requirements of the use district in which they are located, are contiguous and are held in one ownership, they shall be used as one **zoning lot** for such use.*
- Section 10-3-4: Number of Buildings on a Zoning Lot: *Except in the case of a planned unit development, not more than one principal detached residential or commercial building shall be located on a **zoning lot**, nor shall a principal detached residential or commercial building be located on the same **zoning lot** with any other principal building.*

It is in the definition of "lot" where staff feels constrained to not allow owners of adjacent vacant parcels to install accessory structures without having a principle building. However, the definition of a "zoning lot" offers the option to consider more than one plot of land with one or more buildings as a qualifying parcel for zoning purposes. This is where staff feels more clarity to the Zoning Ordinance can occur by amending the text to acknowledge those instances where contiguous parcels share a single owner and the placement of accessory structures are viewed in the context of entire land area and not just the individual lots.

Proposed Revisions

In order to add clarity to the Zoning Ordinance and resolve the issues regarding accessory structures on vacant adjacent parcels, staff is recommending text amendments to the Zoning Ordinance. The first amendment proposed is Section 10-2-3: Definitions, revising the definition for "Lot, Zoning" to read "*a plot of ground made up of one or more **contiguous** parcels which are **under single ownership** and may be occupied by a use, building or buildings, including the yards and open spaces required by this title.*" Staff is also proposing to amend Section 10-3-5-B: Location and Section 10-3-5-C Time of Construction to refer to a "zoning lot" rather than a "lot" when regulating accessory buildings and structures.

Finally, staff proposes to amend Section 10-3-3-A: Contiguous Parcels to add “*Further, no more than one (1) accessory structure or building may be located on a zoning lot consisting of two (2) or more parcels of contiguous land under single ownership is permitted when a principle building exists, and the accessory structure or building is located within the rear, corner or side yard setback as stipulated in the zoning ordinance for that district. Sidewalks and parkway trees will be required prior to the issuance of an accessory structure which requires a building permit.*” The proposed text amendments will clarify the intent of the code and allow for the future construction of a principal structure on the parcel with just the accessory structure, at any time, by the current owner or if the lot were ever sold.

Other Communities

Staff canvassed other local communities to determine if their zoning ordinances permit the construction accessory structures on adjacent vacant parcels under single ownership. Below is table of the responses received:

Municipality	Permits Accessory Structures on Adjacent Vacant Parcels under Single Ownership (Y/N)
City of Plano	No
Village of Sugar Grove	No
Village of Montgomery	No, but are in the process if updating their Zoning Ordinance and likely to permit.
Village of Oswego	Yes, but subject to the following stipulations: <ul style="list-style-type: none"> i. The accessory structure(s) shall not exceed one hundred forty-four (144) square feet in size; ii. No more than one (1) structure of any type shall be allowed or a total of more than two (2) accessory structures; iii. The accessory structure shall not have a foundation with footing walls; iv. No access drives shall be installed to an accessory structure; v. The lot on which the accessory structure is located is directly adjacent and substantially contiguous to the lot with the principal structure or principal use served; vi. The lot on which the accessory structure is located is under the same ownership as the lot with the principal structure or principal use served; vii. The accessory structure is located entirely within a single lot and is not constructed on the shared property line(s). viii. The accessory structure complies with all other applicable Village regulations. ix. If it is in a new subdivision, sidewalks and parkway trees are required prior to permitting the accessory use.
Village of Plainfield	Yes, but requires a case-by-case review

The City of Plano and the Village of Sugar Grove currently do not allow accessory structures to be built on adjacent vacant parcels under single ownership. While the Village of Montgomery

currently does not permit it, they are actively updating their zoning ordinance which will likely allow accessory structures to be built on contiguous lots under single ownership. Likewise, the Village of Oswego updated their zoning ordinance in 2014 allowing for accessory structures to be built on vacant parcels subject to the provisions listed above. The proposed text amendment staff is seeking was closely modeled after the Village of Oswego.

Staff Recommendation

Staff believes these changes to the Zoning Ordinance will be beneficial to staff and property owners. By amending the text to allow accessory structures and buildings to be constructed on adjacent parcels under single ownership, it will allow the permitting process to be more efficient as well as provide homeowners flexibility with their homesites. Further, the parameters established by staff with regards to placement on site (setbacks) and the existence of a principle structure on one parcel limits this provision harming the local community character. Staff plans to conduct a public hearing before the Planning and Zoning Commission on the proposed text amendments to the Zoning Ordinance at the July 10th PZC meeting.

Attachments

1. 10-2-3: Definitions
2. 10-3: General Provisions
3. Public Hearing Notice

Chapter 2

RULES AND DEFINITIONS

10-2-1: GENERAL:

In the construction of this title, the rules and definitions contained in this chapter shall be observed and applied, except when the context clearly indicates otherwise. (Ord. 2014-73, 11-25-2014)

10-2-2: RULES:

- A. Words used in the present tense shall include the future; words used in the singular number shall include the plural number, and the plural the singular.
- B. The word "shall" is mandatory and not discretionary.
- C. The word "may" is permissive.
- D. The word "lot" shall include the words "plot", "piece", "parcel"; and the phrase "used for" shall include the phrase "arranged for", "designed for", "intended for", "maintained for", and "occupied for".
- E. All measured distances shall be expressed in feet, unless otherwise indicated, and shall be calculated to the next integral foot.
- F. If any calculation results in a fraction, the next integral number shall be taken.
- G. In cases where there is a conflict between the text of the zoning ordinance and a table or figure of this zoning ordinance, the provisions that are expressed in the text shall apply.
- H. Words or terms contained in this title which are not defined hereinafter, shall assume definitions as prescribed in the most current edition of the Merriam-Webster unabridged dictionary. (Ord. 2014-73, 11-25-2014)

10-2-3: DEFINITIONS:

The following words and terms, wherever they occur in this title, shall be interpreted as herein defined:

ABUTTING: To have a common property line or zoning district.

ACCESSORY BUILDING OR USE: One which:

- A. Is subordinate to and serves a principal building or principal use.
- B. Is subordinate in area, extent or purpose to the principal building or principal use served.
- C. Contributes to the comfort, convenience or necessity of occupants of the principal building or principal use served.
- D. Is located on the same lot and in the same zoning district as the principal use.

ACRE: A measure of land containing forty three thousand five hundred sixty (43,560) square feet.

ACREAGE: Any tract or parcel of land having an area of one acre or more which has not been subdivided or platted.

AGRICULTURAL SALES AND SERVICE: A use primarily engaged in sale or rental of farm tools and implements, feed, grain, tack, animal care products, and farm supplies and farm machinery repair services that are accessory to the principal use.

AGRICULTURAL USE: The employment of land for the primary purpose of raising, harvesting, and selling crops, or feeding (including grazing), breeding, managing, selling, or producing livestock, poultry, furbearing animals or honeybees, or by dairying and the sale of dairy products, by any other horticultural, floricultural or viticulture use, by animal husbandry, or by any combination thereof. It also includes the current employment of land for the primary purpose of obtaining a profit by stabling or training equines including, but not limited to, providing riding lessons, training clinics and schooling shows.

AIRPORT: Any area of land designated, set aside, used, or intended for use, for the landing and takeoff of aircraft, and any appurtenant areas and uses such as airport buildings or other airport facilities, including approach zones.

ALCOHOLIC BEVERAGE: Any beverage that is the product of distillation of fermented liquids, whether rectified or diluted, whatever may be the origin thereof, and includes synthetic ethyl alcohol but does not include denatured alcohol or wood alcohol.

ALLEY: A public way, not more than thirty feet (30') wide, which affords only a secondary means of access to abutting property.

AMPHITHEATER: A commercial structure with tiers of spectator seating rising around a field or court, intended primarily for use of viewing musical, theatrical, sporting or other similar entertainment events and specifically designed as a place of assembly.

AMUSEMENT PARK: A commercially operated facility which may include structures and buildings, with a predominance of outdoor games and activities for entertainment, including motorized rides, water slides, miniature golf, batting cages and similar activities.

ANIMAL HOSPITAL: Any building, or portion thereof, designed or used for the care, observation or treatment of domestic animals.

ANTIQUE SALES: A building or areas within a building to provide space for the sale of antiques by antique dealers, for items such as clocks, lamps, clothing, rugs, toys, furniture, and similar household goods.

AUCTION HOUSE: A structure, area, or areas within a building used for the public sale of goods, wares, merchandise, or equipment to the highest bidder.

AUTOMOBILE RENTAL: Leasing or renting of automobiles, motorcycles and light trucks and vans, including incidental parking and servicing of vehicles for rent or lease. This definition excludes commercial truck and trailer rental.

AUTOMOBILE REPAIR: Engine rebuilding or major reconditioning of worn or damaged motor vehicles or trailers; collision service, including body, frame or fender straightening or repair and painting of vehicles including incidental repairs, replacement of parts, and motor service to automobiles. Automobile repair excludes repair to semi-trucks as defined in this section.

BAKERY, RETAIL: An establishment primarily engaged in the retail sale of baked products. The products may be prepared either on or off site.

BAKERY, WHOLESALE: A bakery in which there is permitted the production and/or wholesaling of baked goods, excluding retail bakery.

BANK: A building for the custody, loan, or exchange of money, for the extension of credit and for facilitating the transmission of funds. This definition includes credit unions, savings and loan facilities, payday loans, personal loan agencies.

BASEMENT: That portion of a building that is partly or completely below grade.

BED AND BREAKFAST INN (B&B): A private, owner/operator occupied residence with guestrooms, providing overnight accommodations and a morning meal for compensation to transients/travelers. A bed and breakfast inn is operated primarily as a business.

BILLIARD PARLOR: A business establishment for a principal use as a billiard facility.

BLOCK: A tract of land bounded by streets or, in lieu of a street or streets, by public parks, cemeteries, railroad rights-of-way, bulkhead lines or shorelines of waterways or corporate boundary lines of municipalities.

BOAT SALES AND RENTAL: A marine retail sales and service use in which boats are rented or sold.

BOAT STORAGE: A facility where boats are stored including indoor and outdoor. Outdoor facilities shall be enclosed by an opaque fence or wall a minimum six feet (6') in height.

BOWLING ALLEY: A business establishment with a principal use for the sport of tenpin bowling which may include incidental food services.

BREWERY: An establishment that engages in the manufacture of beer as such terms are defined in the Liquor Control Act of 1934, as amended, and has obtained a liquor license from the City.

BREW PUB: See definition of microbrewery or brewpub.

BUFFER: A strip of land, including landscaping, berms, walls, and fences, that is located between land uses of different character and is intended to physically and visually separate one use area from another.

BUILDABLE AREA: The space remaining on a building lot after the minimum yard requirements of this title have been complied with.

BUILDING: Any structure with substantial walls and roof securely affixed to the land and entirely separated on all sides from any other structure by space or by walls in which there are not communicating doors, windows or openings; and which is designed or intended for the shelter, enclosure or protection of persons, animals or chattels.

BUILDING, COMPLETELY ENCLOSED: A building separated on all sides from the adjacent open space, or from other buildings or other structures, by a permanent roof and by exterior walls or party walls, pierced only by windows and normal entrance or exit doors.

BUILDING, DETACHED: A building surrounded by open space on the same zoning lot.

BUILDING HEIGHT: The vertical distance measured from the sidewalk level or its equivalent established grade opposite the middle of the front of the building to the highest point of the roof in the case of a flat roof; to the deck line of a mansard roof; and to the mean height level between eaves and the ridge of a gable, hip or gambrel roof; provided, that where buildings are set back from the street line, the height of the building may be measured from the average elevation of the finished lot grade at the front of the building. (See section [10-2-4](#) of this chapter for diagram.)

BUILDING INSPECTOR: The designated City official responsible for inspecting buildings within the City.

BUILDING LINE: A line or lines, including the building setback line, on the horizontal surface of a lot, parallel to the front, side and rear lot lines, and located at a distance prescribed by the yard regulations of this title beyond which no portion of a building may extend except as provided by this title. (See section [10-2-4](#) of this chapter for diagram.)

BUILDING, MATERIAL SALES: Establishments or places of business primarily engaged in retail or wholesale sale, from the premises, of materials used in the construction of buildings or other structures.

BUILDING, NONCONFORMING: Any building which does not conform to the regulations of this title prescribing the use, required yards, lot coverage, height and setbacks, minimum required spacing between buildings on a single lot, and minimum required usable open space for the district in which such building is located.

BUILDING, PRINCIPAL: A nonaccessory building in which the principal use of the zoning lot on which it is located is conducted.

BUILDING SETBACK LINE: A line parallel to the street line of a distance from it, regulated by the front yard requirements set up in this title. (See section [10-2-4](#) of this chapter for diagram.)

BUILDING, TEMPORARY: Any building not designed to be permanently located in the place where it is, or where it is intended to be placed or affixed.

BULK: The term used to describe the size and mutual relationships of buildings and other structures, as to size, height, coverage, shape, location of exterior walls in relation to lot lines, to the centerlines of the streets, to other walls of the same buildings, and to other buildings or structures, and to all open spaces relating to the building or structure.

BUSINESS: Any occupation, employment or enterprise wherein merchandise is exhibited or sold, or which occupies time, attention, labor and materials, or where services are offered for compensation.

CAMPGROUND: Any area that is occupied or intended or designed or improved for occupancy by transients using recreational vehicles, travel trailers, and/or tents.

CAR WASH: A building or portion thereof containing facilities for washing more than two (2) motor vehicles, using production line methods. The use of personnel for one or more phases of this operation in conjunction with or without complete automatic or mechanical devices does not alter its classification. Coin operated devices operated on a self-service basis shall be construed to be the same.

CARPORT: An automobile shelter with two (2) or more sides open.

CEMETERY: Land used or dedicated to the interment of human or animal remains or cremated remains, including crematoriums, mausoleums, necessary sales, and maintenance facilities. Mortuaries shall be included when operating within the boundary of such cemetery.

CITY: The United City Of Yorkville or the city of Yorkville.

CITY COUNCIL: The city council of the city of Yorkville.

CLUB OR LODGE, PRIVATE: A for profit or nonprofit association of persons who are bona fide members paying annual dues which owns, hires or leases a building, or portion thereof, the use of such premises being restricted to members and their guests. It shall be permissible to serve food and meals on such premises provided that adequate dining room space and kitchen facilities are available. The sale of alcoholic beverages to members and their guests shall be allowed in conjunction with the operation of a dining room for the purpose of serving food and meals, though such beverages may be served in a separate room or rooms, and provided that such sale of alcoholic beverages is in compliance with the applicable local, federal and state laws, and county ordinances¹.

COLLEGE: A private or public college or technical institution which provides full time or part time education beyond high school that grants associate, baccalaureate, or higher degrees.

COMMERCIAL FEEDING: A land use or facility used for the confined feeding operation for fish, poultry, swine or livestock.

COMMERCIAL SCHOOL, TRADE SCHOOL: A school established to provide for the teaching of industrial, clerical, managerial, artistic skills or alternative education. This definition applies to schools that are owned and operated privately for profit or not for profit. Such schools may not contain an auditorium, gymnasium, or any other sort of recreational facilities.

COMMUNITY CENTER: A building or structure used as a place of meeting, recreation or social activity, generally open to the public and designed to accommodate and serve significant segments of the community.

CONFORMING BUILDING OR STRUCTURE: A building or structure which:

A. Complies with all the regulations of this title or of any amendment hereto governing bulk of the district in which said building or structure is located; and

B. Is designed or intended for a permitted or special use as allowed in the district in which it is located.

CONTRACTOR FACILITY: A facility where a construction contractor maintains its principal office or a permanent business office including outdoor storage incidental to the business and enclosed with an opaque fence or wall a minimum of six feet (6') in height.

CONTRACTOR OFFICES: A building used for conducting contracting business that does not use any exterior storage area.

COURT: An open unoccupied space, other than a yard, on the same lot with a building or group of buildings and which is bounded on two (2) or more sides by such building or buildings.

CULTIVATION CENTER: A facility registered by the Department of Agriculture to perform activities to provide only registered medical cannabis dispensing organizations with usable medical cannabis in compliance with the Compassionate Use of Medical Cannabis Pilot Program Act².

CURB LEVEL: The level of the established curb in front of the building measured at the center of such front. Where a building faces on more than one (1) street, the "curb level" shall be the average of the levels of the curbs at the center of the front of each street. Where no curb elevation has been established, the mean level of the land immediately adjacent to the building shall be considered the "curb level".

DANCE HALL: A place of assembly, open to the public and operated for profit, where dances, parties, receptions and other gatherings are held.

DATUM POINT: Any reference point of known or assumed coordinates from which calculation or measurements may be taken.

DAYCARE FACILITY: Any childcare facility licensed by the State Department of Children and Family Services (DCFS) which regularly provides daycare for less than twenty four (24) hours per day for more than three (3) children under the age of twelve (12) in a facility other than a family home³.

DAYCARE FACILITY, ADULT: Any facility, public or private, regulated by the State of Illinois in accordance with the Older Adult Services Act which provides care for less than twenty four (24) hours per day for older adults (seniors) such as nutritious meals, planned program of activities, and social and health related services.

DAYCARE FACILITY, PART DAY: Any facility licensed by the state department of children and family services (DCFS) and which is conducted by a church, religious organization or social service agency in which individual children are provided care, on an intermittent basis, for up to ten (10) hours per seven (7) day week. Any facility which provides intermittent care for up to ten (10) hours per seven (7) day week shall not provide such care for more than eight (8) hours in any given day during the seven (7) day week. Any facility which provides intermittent care for up to ten (10) hours per seven (7) day week shall provide at least one caregiver per twenty (20) children⁴.

DAYCARE HOME, GROUP: Any in home childcare service licensed by the state department of children and family services (DCFS) which regularly provides care for less than twenty four (24) hours per day for more than three (3) and up to a maximum of sixteen (16) children under the age of twelve (12) in a family home. The number of children allowed includes the family's natural or adopted children and all other persons under the age of twelve (12)⁵.

DAYCARE, IN HOME: Any in home childcare service licensed by the state department of children and family services (DCFS) which regularly provides care for less than twenty four (24) hours per day for more than three (3) and up to a maximum of twelve (12) children under the age of twelve (12) in a family home. The term does not include facilities which receive only children from a single household⁶.

DECIBEL (dB): A unit of measurement of the intensity (loudness) of sound. Sound level meters which are employed to measure the

intensity of sound are calibrated in "decibels".

DENSITY, GROSS: A ratio of the total number of dwelling units on a site, divided by the total acreage of the site, to include streets, schools, parks, etc., expressed as dwelling units per acre.

DENSITY, NET: A ratio of the total number of dwelling units on a site, divided by the number of acres used exclusively for a residential type acreage not to include schools, parks, streets, etc., expressed as dwelling units per acre.

DEPARTMENT STORE: A retail business which is conducted under a single owner's name wherein a variety of unrelated merchandise and services are housed enclosed and are exhibited and sold directly to the consumer for whom the goods and services are furnished.

DISPLACEMENT (Earth): The amplitude or intensity of an earthborn vibration measured in inches. The displacement or amplitude is one-half ($\frac{1}{2}$) the total earth movement.

DISTRICT: A section or part of the unincorporated portion of the city for which the use regulations are uniform.

DRIVE-THROUGH SERVICE ESTABLISHMENT: A business or establishment which provides all or some of its services through a building opening or window to its patrons who remain in their vehicles.

DRIVEWAY: A paved or unpaved private roadway providing vehicular access between the right of way of the street and a parking space, garage, dwelling or other structure.

DRY CLEANING ESTABLISHMENT: An establishment or business maintained for the pick up and delivery of dry cleaning and/or laundry without the operation of any laundry or dry cleaning equipment or machinery on the premises.

DRY CLEANING PLANT: A building, or portion of a building or premises used or intended to be used for cleaning fabrics, textiles, wearing apparel, or articles of any sort by immersion and agitation, or by immersions only, in cleaning solvents including, but not limited to, nonflammable solvents and/or class I and above combustible liquid solvents.

DWELLING: A building or portion thereof, but not including a house trailer or mobile home, designed or used exclusively for residential occupancy, including single-family dwelling units, duplex dwelling units, townhomes and multiple-family dwelling units, but not including hotels, motels, boarding or lodging houses.

DWELLING, DUPLEX: A building designed or altered to provide dwelling units for occupancy by two (2) families within a single structure on separate lots, each of which has independent living quarters with direct access to the outside.

DWELLING, GROUP: A group of two (2) or more single-family, duplex, townhome and/or multiple-family dwellings occupying a parcel of land under a single ownership and having a yard or court in common, excluding hotels and motels.

DWELLING, MULTIPLE-FAMILY: A building or portion thereof, designed or altered for occupancy by two (2) or more families living independently of each other within a single or attached structure on one lot, which may or may not share common entrances or other spaces and includes apartments, group homes, and condominiums.

DWELLING, SINGLE-FAMILY: A dwelling unit designed exclusively for use and occupancy by one family which is detached from any other dwelling unit and surrounded on all sides by open space on the same lot.

DWELLING, TOWNHOUSE: A single-family dwelling unit constructed in a group of three (3) or more attached units on separate lots in which each unit extends from foundation to roof and with a yard or public way on at least two (2) sides.

DWELLING UNIT: A single unit providing complete independent living facilities for one or more persons, including permanent provisions for living, sleeping, eating, cooking and sanitation.

EASEMENT: A grant by a property owner for the use of a parcel of land by the general public, a corporation, or a certain person or persons for a specific purpose or purposes.

EFFICIENCY UNIT: A dwelling unit consisting of one principal room, exclusive of bathroom, kitchen, hallway, closets or dining alcove, directly off the principal room.

EQUIVALENT OPACITY: The shade on the Ringelmann chart that most closely corresponds to the density of smoke, other than black or gray.

ERECT: The act of placing or affixing a component of a structure upon the ground or upon another such component.

ESTABLISHMENT, BUSINESS: A separate place of business having the following three (3) characteristics:

- A. The ownership and management of all operations conducted within such establishment is separate and distinct from the ownership and management of operations conducted within other establishments on the same or adjacent zoning lots.

B. Direct public access to such "business establishment" is separate and distinct from direct access to any other "business establishment".

C. There is no direct public access from within such establishment to any other such establishment.

When adjacent places of business lack any one of the aforesaid characteristics with respect to one another, they shall then be considered as a single "business establishment" for the purpose of this title.

FAMILY: One or more persons related by blood, marriage or adoption, or a group of not more than five (5) persons (excluding servants) who need not be related by blood, marriage or adoption, living together and maintaining a common household.

FENCE: A structure, including gates, or tree or shrub hedge which is a barrier and used as a boundary or means of protection or confinement.

FENCE, OPEN: A fence which has over its entirety at least fifty percent (50%) of the surface area in open space as viewed at right angles from the fence; except, that the required open space in louver type fences may be viewed from any angle.

FENCE, SOLID: A fence which conceals from view, from adjoining properties, streets or alleys, activities conducted behind it.

FLOOR AREA, GROSS (For Determining Floor Area Ratio): The sum of the gross horizontal areas of the several floors, including also the basement floor of a building, measured from the exterior faces of the exterior walls or from the centerlines of walls separating two (2) buildings. The "floor area" shall also include the horizontal areas on each floor devoted to:

A. Elevator shafts and stairwells.

B. Mechanical equipment, except if located on the roof, when either open or enclosed, i.e., bulkheads, water tanks and cooling towers.

C. Habitable attic space as permitted by the building code.

D. Interior balconies and mezzanines.

E. Enclosed porches.

F. Accessory uses.

The "floor area" of structures used for bulk storage of materials, i.e., grain elevators and petroleum tanks, shall also be included in the "floor area" and such "floor area" shall be determined on the basis of the height of such structures with one floor for each ten feet (10') of structure height and if such structure measures less than ten feet (10') but not less than five feet (5') over such floor height intervals, it shall be construed to have an additional floor. The horizontal area in each floor of a building devoted to off street parking and off street loading facilities shall not be included in the "floor area".

"Floor area" when prescribed as the basis of measurement for off street parking spaces and off street loading spaces for any use shall be the sum of the gross horizontal area of the several floors of the building, excluding areas used for accessory off street parking facilities and the horizontal areas to the basement floors that are devoted exclusively to uses accessory to the operation of the entire building. All horizontal dimensions shall be taken from the exterior of the walls.

FLOOR AREA, LIVABLE: Any floor area within outside walls of a residential building exclusive of areas in basements, lookout basements, unfinished attics, garages, open porches and accessory buildings, but including any area "roughed in" but not completed which is designed and intended for human occupancy.

FLOOR AREA RATIO: The numerical value obtained by dividing the floor area within a building or buildings on a lot by the area of such lot. The floor area ratio as designated for each district when multiplied by the lot area in square feet shall determine the maximum permissible floor area for the building or buildings on the lot. (See section [10-2-4](#) of this chapter for diagram.)

FOOT-CANDLE: A unit of illumination, equivalent to the illumination at all points which are one foot (1') distant from a uniform point source of one candlepower.

FOOT-LAMBERT: A unit of brightness, usually of a reflecting surface. A diffusion surface of uniform brightness reflecting or emitting the equivalent of the light from one candle at one foot (1') distant over one square foot has a brightness of one foot-lambert.

FREQUENCY: The number of oscillations per second in a sound wave, measuring the pitch of the resulting sound.

GARAGE, BUS: Any building used or intended to be used for the storage of three (3) or more passenger motor buses or motor coaches used in public transportation, excluding school buses.

GARAGE, PRIVATE: An accessory building or an accessory portion of the principal building which is intended for and used to store the private passenger vehicles of the family or families resident upon the premises, and in which no business, service or industry connected directly or indirectly with automotive vehicles is carried on; provided, that not more than one-half ($\frac{1}{2}$) of the space may be rented for the private vehicles of persons not resident on the premises; except, that all the space in a garage of one or two (2) car capacity may be so rented. Such a garage shall not be used for more than one commercial vehicle and the load capacity of such vehicle shall not exceed five (5) tons.

GASOLINE SERVICE STATION: A place where gasoline, stored only in underground tanks, kerosene, lubricating oil or grease, for operation of automobiles, are offered for sale directly to the public on the premises, and including minor accessories and the services of automobiles, mechanical or manual washing of automobiles, but not including major automobile repairs. Gasoline service stations shall not include sale or storage of automobiles or trailers (new or used).

GOLF COURSE: A facility providing a private or public golf recreation area designed for regulation play along with accessory golf support facilities including golf related retail sales, restaurant, golf driving range but excluding miniature golf.

GOLF DRIVING RANGE: An area equipped with distance markers, clubs, balls and tees for practicing golf drives and putting which may include incidental retail sales and food services, but excludes miniature golf.

GRADE: The established grade of the street or sidewalk. Where no such grade has been established, the grade shall be the elevation of the sidewalk at the property line. Where no sidewalks exist, the grade shall be the average elevation of the street adjacent to the property line. Except in cases of unusual topographic conditions, as determined by the director of public works, grade shall be the average elevation of the finished surface of the ground adjoining the exterior walls of a building at the base of a structure based upon any technical advice that the director of public works deems necessary.

GROCERY STORE: Stores where most of the floor area is devoted to the sale of food products for home preparation and consumption, which typically also offer other home care and personal care products.

GROUP HOME: A single-family dwelling housing not more than eight (8) service dependent or developmentally disabled people living with professional care staff.

GUEST, PERMANENT: A person who occupies or has the right to occupy a lodging house, rooming house, boarding house, hotel, apartment hotel or motel accommodation as his domicile and place of permanent residence.

HEALTH AND FITNESS CLUB/CENTER: A facility which provides for individual or group exercise activities. Programs may include but are not limited to aerobics, calisthenics, weight training, running, swimming, court games, studio lessons and all types of instructional classes related to physical fitness. Health and fitness clubs/centers may offer a variety of recreational and fitness amenities such as weightlifting machines, free weights, swimming pools, gymnasiums, studios, sport courts, shower and changing areas and may include incidental uses such as childcare facilities, food services, saunas, and pro shops oriented towards customers during their use of the club/center.

HOME OCCUPATION: An accessory use of a residential dwelling unit which complies with the requirements of section [10-3-9](#) of this title.

HOSPITAL: An institution devoted primarily to the maintenance and operation of facilities for the diagnosis, treatment or care, for not less than twenty four (24) hours in any week, of three (3) or more nonrelated individuals suffering from illness, disease, injury, deformity or other abnormal physical conditions. The term "hospital", as used in this title, does not apply to institutions operating solely for the treatment of mentally ill or chemically dependent persons, or other types of cases necessitating restraint of patients, and the term "hospital" shall not be used for convalescent, nursing, shelter or boarding homes.

HOTEL, MOTEL, OR INN: An establishment containing lodging accommodations designed for use by transients, or travelers, or temporary guests. Facilities provided may include maid service, laundering of linen used on the premises, telephone and secretarial or desk service, restaurants, cocktail lounges, meeting rooms and ancillary retail uses, provided access to such uses are from the exterior of the principal use.

HOUSEHOLDER: The occupant of a dwelling unit who is either the owner or lessee thereof.

IMPACT NOISE: A short duration sound such as those from a forging hammer or punch press.

INCOMBUSTIBLE: A material which will not ignite nor actively support combustion during an exposure for five (5) minutes to a temperature of one thousand two hundred degrees Fahrenheit (1,200°F).

KENNEL, COMMERCIAL: Any lot or premises or portion thereof on which more than four (4) dogs, cats and other household domestic animals, over four (4) months of age, are kept for sale, or on which more than two (2) such animals are boarded for compensation.

LABORATORY, COMMERCIAL: A place devoted to experimental study such as testing and analyzing. Manufacturing assembly or packaging of products is not included within this definition.

LAND BANKING: Land that is part of a single lot or development that is set aside or reserved for a later approved use or development.

LAUNDRY: A business that provides coin operated, self-service type washing, drying, dry cleaning and ironing facilities; provided that:

A. Not more than four (4) persons, including owners, are employed on the premises; and

B. No pick up or delivery service is maintained.

LIBRARY: A public facility for the use, but not sale, of literary, musical, artistic, or reference materials.

LOADING AND UNLOADING SPACE, OFF STREET: An open, hard surfaced area of land other than a street or public way, the principal use of which is for the standing, loading and unloading of motor vehicles, tractors and trailers to avoid undue interference with public streets and alleys. Such space shall not be less than ten feet in width, twenty five feet in length and fourteen feet in height (10' x 25' x 14'), exclusive of access aisles and maneuvering space.

LOOKOUT BASEMENT: A story having more than one-half ($1/2$) of its height below the curb level or below the highest level of the adjoining ground. A lookout basement shall not be counted as a story for the purposes of height measurement.

LOT: A parcel of land legally described as a distinct portion or piece of land of record. (See section [10-2-4](#) of this chapter for diagram of lot types.)

LOT AREA: The area of a horizontal plane bounded by the front, side and rear lot lines.

LOT, CORNER: A lot situated at the junction of and abutting on two (2) or more intersecting streets; or a lot at the point of deflection in alignment of a single street, the interior angle of which is one hundred thirty five degrees (135°) or less. (See section [10-2-4](#) of this chapter for diagram.)

LOT COVERAGE: The area of a zoning lot occupied by the principal building or buildings, accessory buildings and all other impervious areas such as driveways, roads, sidewalks, parking lots and structures, and any area of concrete asphalt.

LOT DEPTH: The mean horizontal distance between the front and rear lot lines of a lot measured within the lot boundaries.

LOT, FLAG: A lot not fronting or abutting a public roadway and where access to the public roadway is limited to a narrow driveway or strip of land between abutting lots, thereby not meeting the minimum lot frontage requirements. (See section [10-2-4](#) of this chapter for diagram.)

LOT FRONTAGE: The front of a lot shall be that boundary of a lot along a public or private street; for a corner lot, the front shall be the narrowest side of the lot fronting upon a street; provided that the owner may orient the building toward either street but once frontage is established it shall be maintained.

LOT, INTERIOR: A lot other than a corner lot or reversed corner lot. (See section [10-2-4](#) of this chapter for diagram.)

LOT LINE: A property boundary line of any lot held in single or separate ownership; except, that where any portion of the lot extends into the abutting street or alley, the lot line shall be deemed to be the street or alley line.

LOT LINE, FRONT: A lot line which abuts a street shall be the front lot line. For corner lots, the narrowest side of the lot fronting upon a street shall be considered the front of the lot; provided that the owner may orient the building toward either street but once frontage is established it shall be maintained.

LOT LINE, INTERIOR: A side lot line common with another lot.

LOT LINE, REAR: The rear lot line is the lot line or lot lines most nearly parallel to and more remote from the front lot line.

LOT LINE, SIDE: Lot lines other than front or rear lot lines are side lot lines.

LOT OF RECORD: A lot which is a part of a subdivision or a parcel of land described by deed and where both the map and the deed were recorded in the office of the county recorder.

LOT, REVERSED CORNER: A corner lot, the rear of which abuts upon the side of another lot, whether across an alley or not. (See section [10-2-4](#) of this chapter for diagram.)

LOT, THROUGH: A lot having frontage on two (2) parallel or approximately parallel streets, and which is not a corner lot. On a through lot, both street lines shall be deemed front lot lines. (See section [10-2-4](#) of this chapter for diagram.)

LOT WIDTH: The mean horizontal distance between the side lot lines measured within the lot boundaries, or the minimum distance between the side lot lines within the buildable area.

LOT, ZONING: A plot of ground made up of one or more parcels which are or may be occupied by a use, building or buildings,

including the yards and open spaces required by this title.

MANUFACTURER, FIREARMS AND AMMUNITION: Any person or entity in: a) the business of transporting, shipping and receiving firearms and ammunition for the purpose of sale or distribution, b) selling firearms at wholesale or retail, c) repairing firearms or making or fitting special barrels, stocks or trigger mechanisms to firearms and operating under the provisions of the applicable local, State and Federal licenses.

MANUFACTURING ESTABLISHMENT: An establishment, the principal use of which is manufacturing, fabricating, processing, assembly, repairing, storing, cleaning, servicing or testing of materials, goods or products.

MARINA: A facility for secure mooring of boats, including facilities for storage and repair of boats and sale of boating supplies and fuel.

MASSAGE ESTABLISHMENT: Any establishment having a source of income or compensation derived from the practice of "massage" as defined in section 10 of the Massage Licensing Act⁷ and which has a fixed place of business where any person, firm, association or corporation engages in or carries on any of the activities defined in [title 3, chapter 9](#), "Massage Establishments", of this Code.

MEDICAL CANNABIS DISPENSING ORGANIZATION: A facility operated by an organization or business that is registered by the Department of Financial and Professional Regulation to acquire medical cannabis from a registered cultivation center for the purpose of dispensing cannabis, paraphernalia, or related supplies and educational materials to registered qualified patients in compliance with the Compassionate Use of Medical Cannabis Pilot Program Act⁸.

MEDICAL CLINIC: An establishment where patients are admitted for special study and treatment by two (2) or more licensed physicians or dentists and their professional associates, practicing medicine together.

MICROBREWERY OR BREWPUB: A restaurant-brewery that brews beer primarily for sale in the restaurant and/or bar and is dispensed directly from the brewery's storage tanks. Total production capacity shall not exceed one hundred fifty five thousand (155,000) gallons per calendar year. One U.S. barrel is equivalent to thirty one (31) gallons.

MICRODISTILLERY: A small scale artisan manufacturing business that blends, ferments, processes, packages, distributes and serves alcoholic spirits on and off the premises and produces no more than fifteen thousand (15,000) gallons per calendar year on site. The microdistillery facility may include an ancillary tasting room and retail component in which guests/customers may sample and purchase the product. Off site distribution of the alcoholic beverages shall be consistent with State law.

MICROWINERY: Combination retail, wholesale and small scale artisan manufacturing business that blends, ferments, processes, packages, distributes and serves wine for sale on or off site, and produces no more than one hundred thousand (100,000) gallons per year. The microwinery facility may include an ancillary tasting room and retail component in which guests/customers may sample and purchase the product. Off site distribution of the vinous beverages shall be consistent with State law.

MINIATURE GOLF COURSE: A novelty version of golf played with a putter and golf ball on a miniature course, typically theme oriented with artificial playing surfaces and including obstacles such as bridges and tunnels.

MOBILE HOME: A manufactured home structure transportable in one or more sections, which in the traveling mode is eight (8) body feet or more in width and forty (40) body feet or more in length or when erected on site is three hundred twenty (320) square feet or more and which is built on a permanent chassis and designed to be used as a dwelling unit with or without a permanent foundation when connected to the required utilities, and includes the plumbing, heating, air conditioning and electrical systems that may be contained therein; except that such term shall include any structure that meets all the requirements of this definition except the size requirements and with respect to which the manufacturer voluntarily files a certification required by the secretary (HUD) and complies with the standards established under this title. For manufactured homes built prior to June 15, 1976, a label certifying compliance to the standard for mobile homes, NFPA 501, in effect at the time of manufacture is required.

MOBILE HOME PARK: A lot, parcel or tract of land developed with facilities for accommodating two (2) or more mobile homes, provided each mobile home contains a kitchen, flush toilet and shower or bath; and such park shall be for use only by nontransient dwellers remaining continuously for more than one month, whether or not a charge is made. It shall not include a sales lot in which automobiles or unoccupied mobile homes or other trailers are parked for the purpose of inspection or sale, except mobile homes located on a site in the mobile home park which are occupied or vacant for not more than ninety (90) days after occupancy may be sold or offered for sale.

MODULAR CONSTRUCTION: A structure not built on site, but which is placed on a permanent foundation and meets building code requirements.

MOTELS, MOTOR LODGES, TOURIST COURTS: A group of attached or detached buildings containing individual sleeping units, designed for or used temporarily by automobile tourists or transients, with garage attached or parking space conveniently located to each unit, including auto courts, motels or motor lodges, but not including mobile homes.

MOTOR FREIGHT TERMINAL: A building in which freight, brought to said building by motor truck, is assembled and sorted for routing in intrastate and interstate shipment by motor truck.

MOTOR VEHICLE: A passenger vehicle, truck, truck trailer, trailer or semitrailer propelled or drawn by mechanical power.

NONCONFORMING USE: Any building, structure or land lawfully occupied by use or lawfully established which does not conform to

the current regulations of the zoning ordinance.

NOXIOUS MATTER: Material which is capable of causing injury to living organisms by chemical reaction or is capable of causing detrimental effects upon the physical, social or economic well being of human beings.

NURSERY: Retail business whose principal activity is the selling of plants and having outdoor storage, growing and/or display of plants.

NURSING HOME: A home for the care of children or the aged or infirm, or a place of rest for those suffering bodily disorders, but not including facilities for the treatment of sickness or injuries or for surgical care.

OCTAVE BAND: A means of dividing the range of sound frequencies into octaves in order to classify sound according to pitch.

OCTAVE BAND FILTER: An electrical frequency analyzer designed according to standards formulated by the American Standards Association and used in conjunction with a sound level meter to take measurements in specific octave intervals. (American Standard For Sound-Level Meters/ASA - no. 224.3 - 1944)

ODOR THRESHOLD: The lowest concentration of odorous matter in air that will produce an olfactory response in a human being. Odor thresholds shall be determined in accordance with ASTM method D 1391-57, "Standard Method For Measurement Of Odor In Atmospheres (Dilution Method)".

ODOROUS MATTER: Any material that produces an olfactory response among human beings.

OFFICE: A place, such as a building, room or suite, in which services, clerical work, professional duties or the like are carried out.

OPEN SALES LOT: Any land used or occupied for the purpose of buying and selling new or secondhand passenger cars or trucks, motor scooters, motorcycles, boats, trailers, aircraft, monuments, etc., and for the storing of same prior to sale.

OUTDOOR MUSIC VENUE: A property where sound equipment is used to amplify sound that is not fully enclosed by permanent, solid walls or roof.

PARAPET: An architectural feature of a building where that portion of an exterior wall extends above the roof deck.

PARKING AREA, PRIVATE: An open, hard surfaced area, other than a street or public way, designed, arranged and made available for the storage of private passenger automobiles only of occupants of the building or buildings for which the parking area is developed and is accessory.

PARKING AREA, PUBLIC: An open, hard surfaced area, other than a street or public way, intended to be used for the storage of passenger automobiles and commercial vehicles under one and one-half ($1\frac{1}{2}$) tons' capacity, and available to the public, whether for compensation, free or as an accommodation to clients or customers.

PARKING SPACE, AUTOMOBILE: Space within a public or private parking area designed in conformance with section [10-16-3](#) of this title, exclusive of access drives, or aisles, ramps, columns or office and work areas, for the storage of one passenger automobile or commercial vehicle under one and one-half ($1\frac{1}{2}$) tons' capacity.

PARKING STRUCTURE: An attached or detached structure that is fully or partially enclosed with one or more levels and is used exclusively for the parking or storage of motor vehicles. This does not include private one-story garages for single-, two-, or multiple-family residential uses. Parking structures may either be above or below grade.

PARTICULATE MATTER: Material which is suspended in or discharged into the atmosphere in finely divided form as a liquid or solid at atmospheric pressure and temperature.

PARTY WALL: An interior wall of adjoining structures extending from its footing to the underside of the roof, and which separates and is in common use by such adjoining structures.

PAWNBROKER/PAWNSHOP: Any person who lends money on deposit or pledge of personal property, or deals in the purchase of personal property on condition of selling the same back at a stipulated price, or who publicly displays at his or her place of business the sign generally used by pawnbrokers to denote the pawnbroker's business, or who publicly displays a sign which indicates, in substance, a business on the premises which "loans money for personal property, or deposit or pledge". The business of a pawnbroker shall not include the lending of money on deposit or pledge of title to property.

PERFORMANCE STANDARD: A criterion to control noise, odor, smoke, toxic or noxious matter, vibration, fire and explosive hazards, or glare or heat generated by or inherent in uses of land or buildings.

PHILANTHROPIC INSTITUTION: Any building or group of buildings devoted to and supported by charity.

PLAN COMMISSION: The plan commission of the city of Yorkville.

PLANNED UNIT DEVELOPMENT: A tract of land which is developed as a unit under single ownership or control, which includes two (2) or more principal buildings, and which is at least four (4) acres in area, except for planned developments operated by a municipal

corporation which shall be at least two (2) acres in area, and planned unit developments in manufacturing districts which shall be at least ten (10) acres in area.

PORCH: A roofed over structure, projecting out from the wall or walls of a main structure and commonly open to the weather in part.

PREFERRED FREQUENCIES: A set of octave bands described by the band center frequency and standardized by the American Standards Association in ASA standard N. S1.6-1960, "Preferred Frequencies For Acoustical Measurements".

PRINCIPAL USE: The main use of land or buildings as distinguished from a subordinate or accessory use.

PROFESSIONAL SERVICES: A business that offers any type of professional service to the public which requires, as a condition precedent to the rendering of such service, the obtaining of a license or other legal authorization. By way of example, and without limiting the generality of this definition, professional services include services rendered by certified public accountants, engineers, chiropractors, dentists, physicians, podiatrists, architects, veterinarians, attorneys at law, physical therapists and insurance agents.

PUBLIC OPEN SPACE: Any publicly owned open area, including, but not limited to, the following: parks, playgrounds, forest preserves, beaches, waterways, parkways and streets.

PUBLIC UTILITY: Any person, firm, corporation or municipal department duly authorized to furnish, under public regulation, to the public, electricity, gas, steam, telephone, sewers, transportation or water.

RAILROAD PASSENGER STATION: A facility for the boarding of passengers and related ticketing sales and offices.

RAILROAD RIGHT OF WAY: A strip of land with tracks and auxiliary facilities for track operation, but not including depot loading platforms, stations, train sheds, warehouses, car shops, car yards, locomotive shops, water towers, etc.

RECREATION CENTER: A building or structure used as a place of recreation, generally open to the public and designed to accommodate and serve significant segments of the community.

RECREATIONAL CAMP - PRIVATE: An establishment consisting of permanent buildings used periodically by an association of persons where seasonal accommodations for recreational purposes are provided only to the members of such association and not to anyone who may apply.

RECREATIONAL VEHICLE: Any type of vehicle used primarily for recreational pleasure or bearing recreational vehicle registration license plates. Examples include, but are not limited to, motor homes, boats, snowmobiles, and all-terrain vehicles.

REFUSE: All waste products resulting from human habitation, except sewage.

RELIGIOUS INSTITUTION, LARGE: A building, having four hundred (400) or more seats or larger than eight thousand (8,000) square feet of total gross floor area, wherein persons regularly assemble for religious worship and which is maintained and controlled by a religious body organized to sustain public worship, together with all accessory buildings and uses customarily associated with such primary purpose. Includes church, synagogue, temple, mosque or other such place for worship and religious activities.

RELIGIOUS INSTITUTION, SMALL: A building, having four hundred (400) or fewer seats or no larger than eight thousand (8,000) square feet of total gross floor area, wherein persons regularly assemble for religious worship and which is maintained and controlled by a religious body organized to sustain public worship, together with all accessory buildings and uses customarily associated with such primary purpose. Includes church, synagogue, temple, mosque or other such place for worship and religious activities.

RESALE DEALER: Any individual, firm, corporation or partnership engaged in the business of operating a business for profit which buys, sells, possesses on consignment for sale or trades jewelry, stamps, audio-video equipment or any precious metals which may have been previously owned by a consumer; or which derives more than thirty five percent (35%) of its gross receipts from the sale, consignment for sale, pledge or trade of any goods, wares or merchandise which have previously been owned by a consumer, including, but not limited to, furniture, appliances, clothing, automobile accessories, books or metals, whether in bulk or manufactured state.

A. The term "resale dealer" shall include, but not be limited to, businesses commonly known as swapshop operators, stamp dealers, coin dealers and jewelers that purchase and resell items from persons other than dealers and suppliers and engage in disassembling, melting and otherwise altering jewelry. The term "resale dealer" shall not include pawnbrokers.

B. The fact that any business does any of the following acts shall be prima facie proof that such business is a resale dealer:

1. Advertise in any fashion that it buys or sells used items. Such advertisements shall include, but not be limited to, media advertisements, websites, telephone listings, and signs whether in the exterior or interior of business.
2. Devotes a significant segment or section of the business premises to the purchase or sale of used items.

RESEARCH LABORATORY: A building or group of buildings in which are located facilities for scientific research, investigation, testing or experimentation, but not facilities for the manufacture or sale of products, except as incidental to the main purpose of the laboratory.

RESIDENCE: The act or condition of residing or dwelling in a place.

REST HOME: See definition of Nursing Home.

RESTAURANT: Any land, building or part thereof where meals are provided for compensation, including a cafe, cafeteria, coffee shop, lunchroom, drive-in stand, tearoom and dining room, and including the serving of alcoholic beverages when served with and incidental to the serving of meals, where permitted.

RESTAURANT, CONVENIENCE: An establishment commonly referred to as "fast casual" dining with the following characteristics: a) limited menu items are made to order and are prepared only upon request; b) food is either ordered and picked up at a counter or served at the patron's table in a limited dine in area; and c) usually part of a chain or franchise establishment.

RESTAURANT, FAST FOOD: A quick service restaurant with the following characteristics: a) typically includes drive-through service; b) limited menu items consisting of prepackaged or quickly prepared food items; c) food is ordered and picked up at a counter with no table service provided; d) limited dine in area; and e) usually part of a chain or franchise establishment.

RETAIL STORE: A building or portion of a building providing area for the selling of new or used goods, wares, and merchandise directly to the consumer for whom the goods are furnished.

RINGELMANN CHART: A chart which is described in the U.S. bureau of mines information circular 6888, and on which are illustrated graduated shades of gray for use in estimating the light obscuring capacity of smoke.

RINGELMANN NUMBER: The number of the area on the Ringelmann chart that coincides most nearly with the visual density of smoke emission.

ROADSIDE STAND: A temporary structure which is used solely for the display or sale of farm produce and related materials. No roadside stand shall be more than three hundred (300) square feet in ground area and there shall be no more than one (1) roadside stand on any one (1) premises.

ROADWAY: That portion of a street which is used or intended to be used for the travel of motor vehicles.

RUNWAY: A strip or area of pavement used exclusively for the landing and taking off of aircraft, or for the movement of vehicles incidental to such use.

SALVAGE YARD: An open area where waste, scrap metal, paper, rags or similar materials are bought, sold, exchanged, stored, baled, packed, disassembled or handled, including auto, farm implements and machinery, and building wrecking yards, but excluding similar uses taking place entirely within a completely enclosed building.

SCHOOL: Elementary, high school or college, public or private, or nonprofit junior college, college or university, other than trade, commercial and business schools, including instructional and recreational uses, with or without living quarters, dining rooms, restaurants, heating plants and other incidental facilities for students, teachers and employees. These schools typically contain an auditorium, gymnasium, cafeteria, or other recreational facilities.

SEMI-TRUCK: A tractor unit which is used to tow or move semi-trailers. A semi-truck typically has two (2) or three (3) axles and is built for hauling large amounts of products, goods, and heavy machinery.

SEMI-TRUCK REPAIR: Engine rebuilding or major reconditioning of worn or damaged semi-trucks; collision service, including body, frame or fender straightening or repair and painting including incidentals repairs, replacement of parts and motor service to semi-trucks.

SETBACK: The minimum distance maintained between a street right-of-way and the nearest supporting member of any structure on the lot, except where otherwise regulated in this title.

SETBACK, ESTABLISHED: When forty percent (40%) or more of the lots fronting on one (1) side of a street within a block are improved, the existing setbacks of such improved lots shall be the "established setback" for determining the depth of the required front yards for the remainder of the lots along such street frontage, as regulated in this title.

SETBACK LINE, BUILDING: See definition of building setback line.

SHOOTING GALLERY/GUN RANGE, INDOOR: An enclosed facility, public or private, specifically for the purpose of providing a place in which to discharge various types of firearms, shoot air guns and/or archery equipment at designated targets and designed to contain all projectiles fired within the confines of the building. Auxiliary training and instructional classroom facilities may also be provided, as well as ancillary retail sales of firearms, ammunition and associated products upon proof of applicable local, State and Federal licensure.

SKATING RINK: An establishment that provides facilities for participant skating.

SMOKE: Small gasborne particles other than water that form a visible plume in the air.

SMOKE UNIT: The number obtained by multiplying the smoke density in Ringelmann numbers by the time of emission in minutes. For the purpose of this chart, Ringelmann density reading is made at least once every minute during the period of observation; each reading is then multiplied by the time in minutes during which it is observed, and the various products are added together to give the total number of smoke units observed during the total period under observation.

SOUND LEVEL METER: An electronic instrument which includes a microphone, an amplifier and an output meter which measures noise and sound pressure levels in a specified manner. It may be used with the octave band analyzer that permits measuring the sound pressure level in discrete octave bands.

SOUND PRESSURE LEVEL: The intensity of a sound measured in decibels mathematically described as twenty (20) times the logarithm to the base-10 of the ratio of the pressure of the sound to a reference pressure of 0.0002 microbar.

STABLE, PRIVATE: Any building which is located on a lot on which a dwelling is located and which is designed, arranged, used or intended to be used for housing horses for the private use of occupants of the dwelling.

STABLE, PUBLIC (RIDING OR BOARDING STABLE): A building and grounds which are designed, arranged, used or intended to be used for the storage, boarding or breeding of horses, including accessory uses which may include riding and horsemanship instructions and the hire of riding horses.

STACKING REQUIREMENTS: The number of cars that must be accommodated in a reservoir space while awaiting ingress or egress to specified business or service establishments.

STADIUM: Any facility, building, corral, arena, or structure of any kind designed for use as either a sports facility (including animal sports, i.e., rodeos, horseraces, etc.), entertainment facility, whether for profit or not, where activities are to be undertaken generally for the entertainment of others. Said description includes ball fields, when any type of structure is involved, skating rinks, racetracks, football or soccer fields, softball fields, gymnasiums, swimming facilities, music halls, theaters, stages or any other type of field or facility.

STORY: That portion of a building included between the surface of any floor and the surface of the floor above it, or if there is no floor above, then the space between the floor and ceiling next above it. Any portion of a story exceeding fourteen feet (14') in height shall be considered as an additional story for each fourteen feet (14') or fraction thereof.

STORY, HALF: That portion of a building under a gable, hip or mansard roof, the wall plates of which on at least two (2) opposite exterior walls are not more than four and one-half feet ($4\frac{1}{2}'$) above the finished floor of each story. In the case of one-family dwellings, two-family dwellings and multiple-family dwellings less than three (3) stories in height, a half story in a sloping roof shall not be counted as a story for the purpose of this title. In the case of multiple-family dwellings three (3) or more stories in height, a half story shall be counted as a story.

STREET: A way other than an alley which affords a primary means of access to abutting property.

STREET LINE: A line separating an abutting lot, piece or parcel from a street.

STRUCTURAL ALTERATIONS: Any change other than incidental repairs which would prolong the life of the supporting members of a building or structure such as bearing walls, columns, beams and girders.

STRUCTURE: Anything constructed or erected which requires location on the ground or is attached to something having location on the ground.

TATTOO AND BODY PIERCING ESTABLISHMENTS: Any establishment which performs or provides services for tattooing and/or body piercing as defined in [title 3, chapter 10](#) of this code.

TAVERN OR LOUNGE: A building where liquors are sold to be consumed on the premises, but not including restaurants where the principal business is serving food.

TAXICAB BUSINESS: A service that offers transportation in passenger automobiles and vans to persons in return for remuneration. The business may include facilities for servicing, repair, and fueling the taxicabs or vans.

TERRACE, OPEN: A level and rather narrow plane or platform which, for the purpose of this title, is located adjacent to one or more faces of the principal structure and which is constructed not more than four feet (4') in height above the average level of the adjoining ground.

THEATER: A structure used for dramatic, operatic, motion pictures for admission to which money is received. Such establishments may include related services such as food and beverage sales and other concessions.

TITLE: Reference to "title" herein shall be construed to be the Yorkville zoning ordinance.

TOXIC MATERIALS: Substances (liquid, solid or gaseous) which are inherently harmful and likely to destroy life or impair health or capable of causing injury to the well being of persons or damage to property.

TRAILER: A vehicle without motive power, designed to be towed by another vehicle but not designed for human occupancy and which may include a utility trailer, boat trailer, horse trailer or cargo trailer.

TRAILER, CAMPING: A trailer designed and constructed for temporary dwelling purposes which does not contain built in sanitary facilities and has a gross floor area of less than one hundred thirty (130) square feet.

TRAILER HOUSE OR MOBILE HOME: See definition of Mobile Home.

TRAILER, TRAVEL: A trailer designed and constructed for dwelling purposes which may contain cooking, sanitary and electrical facilities and has a gross floor area of one hundred thirty (130) square feet or more but less than three hundred twenty (320) square feet.

TREATMENT CENTER: One or more buildings designed and used for the medical and surgical diagnosis and treatment. This definition excludes hospitals and nursing homes.

TRUCK AND TRAILER RENTAL: Leasing or renting of trucks and trailers, including incidental parking and servicing of vehicles for rent or lease.

TRUCK STORAGE YARD: Any land used or intended to be used for the storage or parking of trucks, trailers, tractors, and including commercial vehicles, while not loading or unloading, and which exceed one and one-half ($1\frac{1}{2}$) tons in capacity.

USABLE OPEN SPACE: Ground area of a lot, landscaping and recreational facilities may qualify as usable open space provided that it is an area unobstructed from the ground to the sky and which:

- A. Is not devoted to public or private roadways or driveways and off street parking and loading;
- B. Is accessible and available only to occupants of dwelling units on the premises, except balconies;
- C. Is not covered by buildings, except not more than five percent (5%) of the required open space may be recreational facilities enclosed within a building for the use of occupants of the dwelling units on the premises;
- D. Has not less than ten feet (10') at its narrowest dimension between either a lot line and an area not qualifying as usable open space; and
- E. Is developed, landscaped and maintained suitable for pedestrian, recreational and leisure use.

USE: The purpose for which land or a building thereon is designed, arranged or intended, or for which it is occupied or maintained, let or leased.

USE, LAWFUL: The use of any building, structure or land that conforms with all of the regulations of this title and which conforms with all of the codes, ordinances and other legal requirements as existing when the structure or land is being examined.

USE, NONCONFORMING: See definition of Nonconforming Use.

USE, PERMITTED: Any use which is or may be lawfully established in a particular district or districts, provided it conforms with all requirements, regulations, and when applicable, performance standards of this title for the district in which such use is located.

USE, PRINCIPAL: The dominant use of land or buildings as distinguished from a subordinate or accessory use.

USE, SPECIAL: A use that has unusual operational, physical or other characteristics that may be different from those of the predominant permitted uses in a district, but which is a use that complements and is otherwise, or can be made, compatible with the intended overall development within a district. Compliance with special standards not necessarily applicable to other permitted or conditional uses in the district shall be required as regulated in this title.

VACANT LAND: A lot or parcel of land on which no improvements or structures have been constructed or actively used for any land use purpose.

VIBRATION: The periodic displacement, measured in inches, of earth at designated frequency cycles per second.

WAREHOUSE: A structure, part thereof, or an area used principally for the storage of goods and merchandise for wholesale or distribution, excluding bulk storage of materials that are inflammable or explosive or that present hazards.

YARD: An open area on a lot which is unobstructed from its lowest level to the sky, except as otherwise provided in this title.

YARD, FRONT: A yard extending along the full width of a front lot line between the side lot lines, and has a depth between the front lot

line and the front yard line.

YARD, INTERIOR SIDE: A side yard which adjoins another lot or an alley separating such side yard from another lot.

YARD LINE: A line in a lot that is parallel to the lot line along which the applicable yard extends and which is not nearer to such lot line at any point than the required depth or width of the applicable yard. A building, structure or other obstruction shall not encroach into the area between the "yard line" and such adjacent lot line, except for such permitted obstructions in yards as are set forth in this title. (See section [10-2-4](#) of this chapter for diagram.)

YARD, REAR: A yard extending along the width of the rear lot line between the side lot lines, and from the rear lot line to the rear yard line in depth.

YARD, SIDE: A yard extending along the length of a side lot line between the rear yard line and front yard line, from the side yard line to the side lot line in width.

YARD, SIDE - ADJOINING A STREET: A yard which is bounded by the front lot line, side yard adjoining a street line and rear lot line.

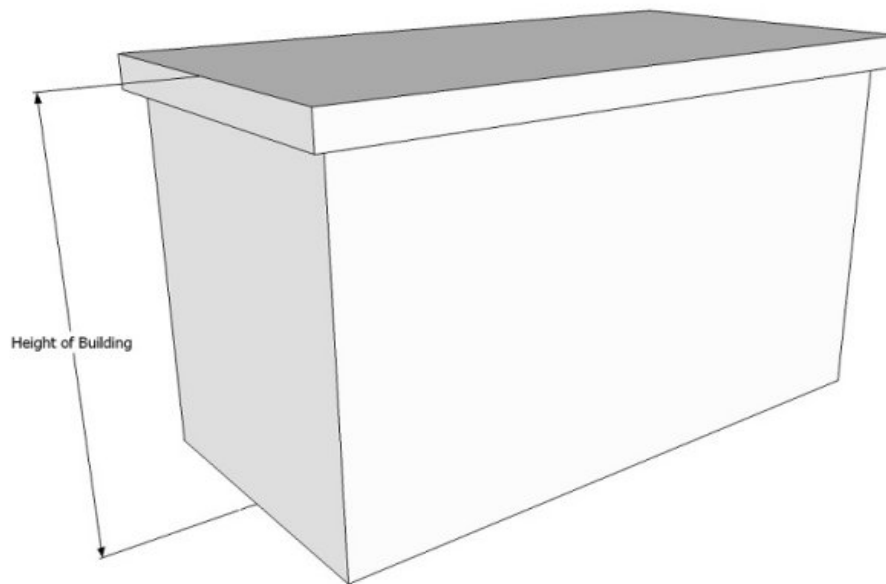
YARD, TRANSITIONAL: A yard that must be provided on a lot in a business district which adjoins a lot in a residential district as a buffer and subject to regulations provided in the landscape ordinance.

ZONE: A "district", as defined in this section.

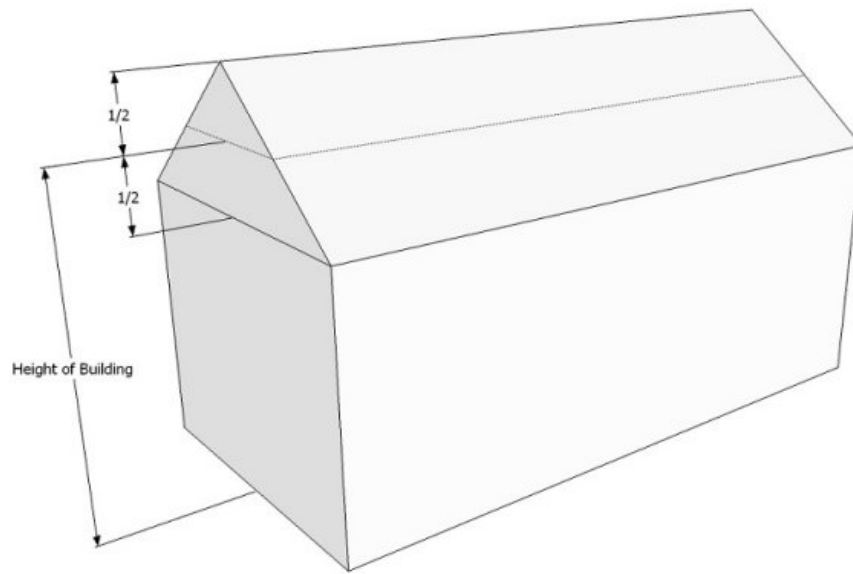
ZONING BOARD OF APPEALS: See [title 2, chapter 2](#) of this Code. (Ord. 2014-73, 11-25-2014; amd. Ord. 2015-32, 6-9-2015; Ord. 2016-35, 4-26-2016; Ord. 2017-02, 1-24-2017; Ord. 2017-32, 5-23-2017; Ord. 2019-08, 1-29-2019)

10-2-4: DIAGRAMS:

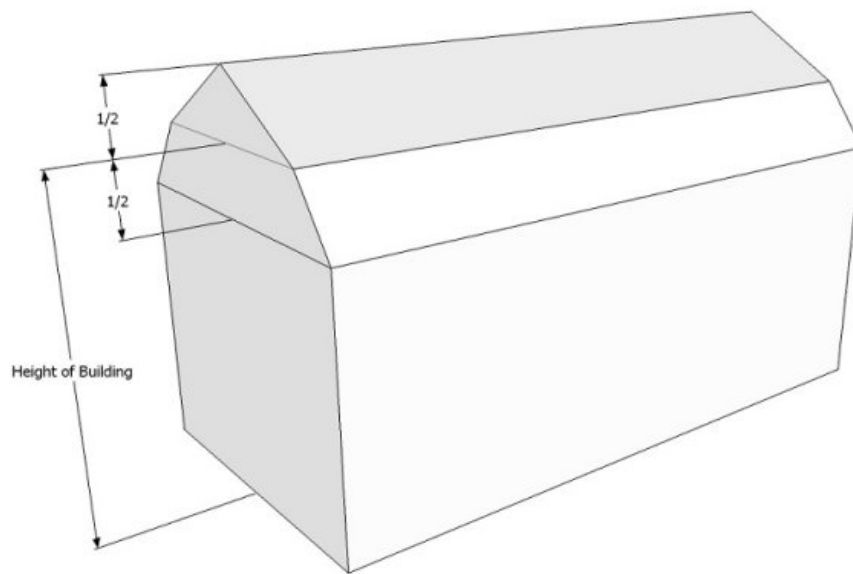
BUILDING HEIGHTS



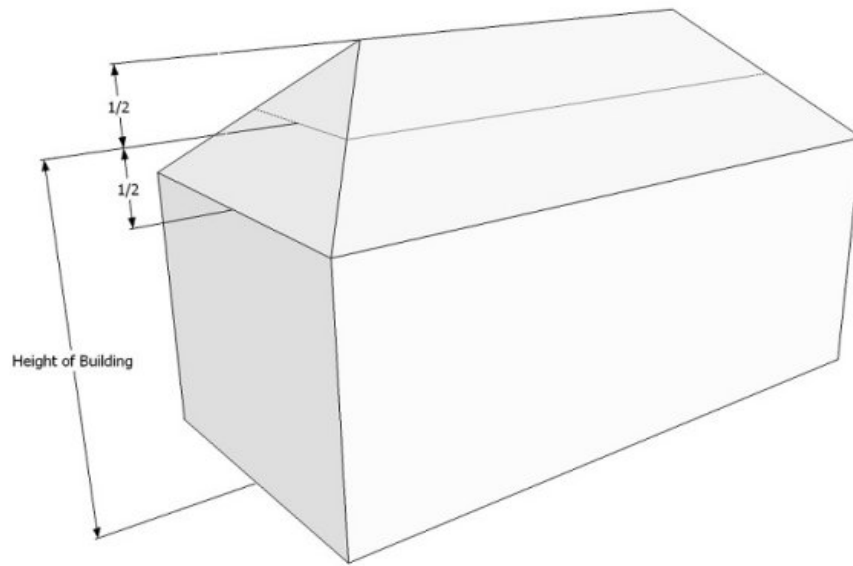
Flat Building Height



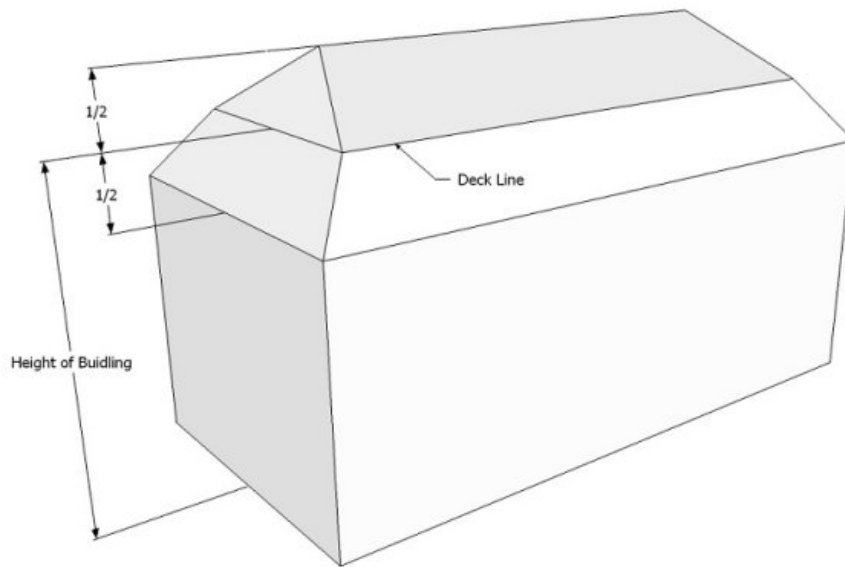
Gable Building Height



Gambrel Building Height

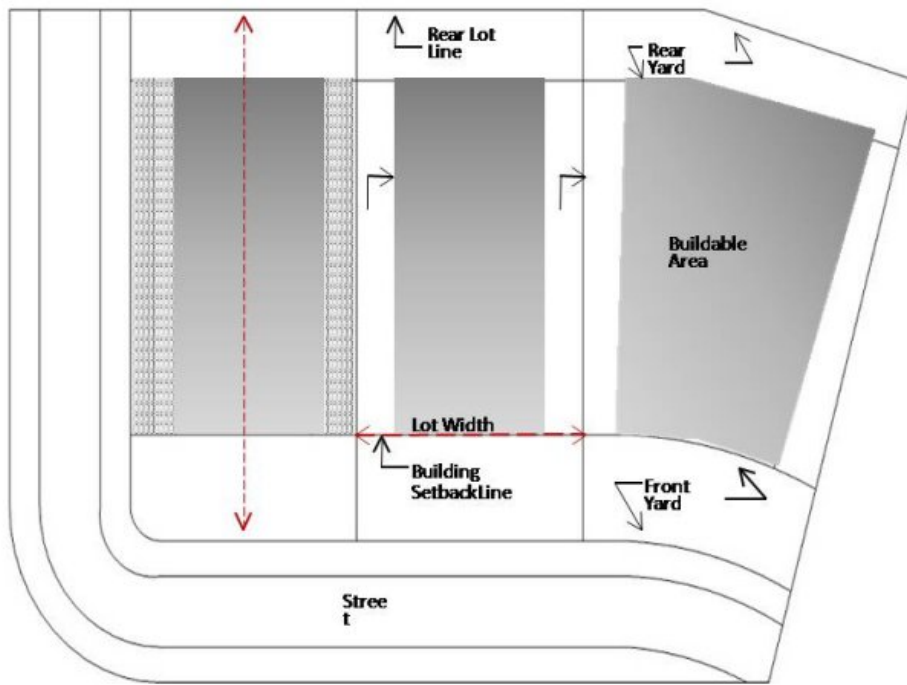


Hip Building Height



Mansard Building Height

YARD AND BUILDING LINES

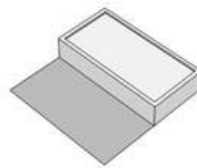


FLOOR AREA RATIO

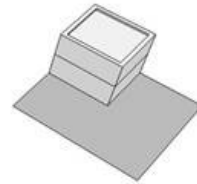
Floor Area Ratio

$$\text{Floor Area Ratio (FAR)} = \frac{\text{Gross Building Area (All Floors)}}{\text{Lot Area}}$$

0.5 FAR

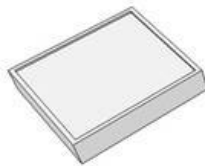


1 Story
(50% Lot Coverage)

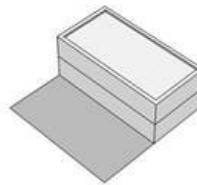


2 Stories
(25% Lot Coverage)

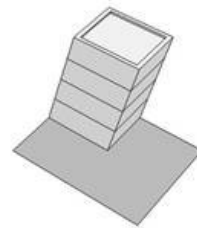
1.0 FAR



1 Story
(100% Lot Coverage)



2 Stories
(50% Lot Coverage)

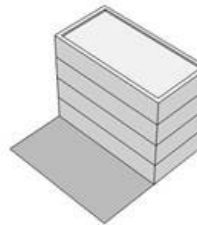


4 Stories
(50% Lot Coverage)

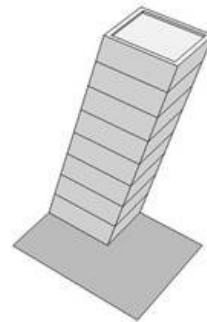
2.0 FAR



2 Stories
(100% Lot Coverage)

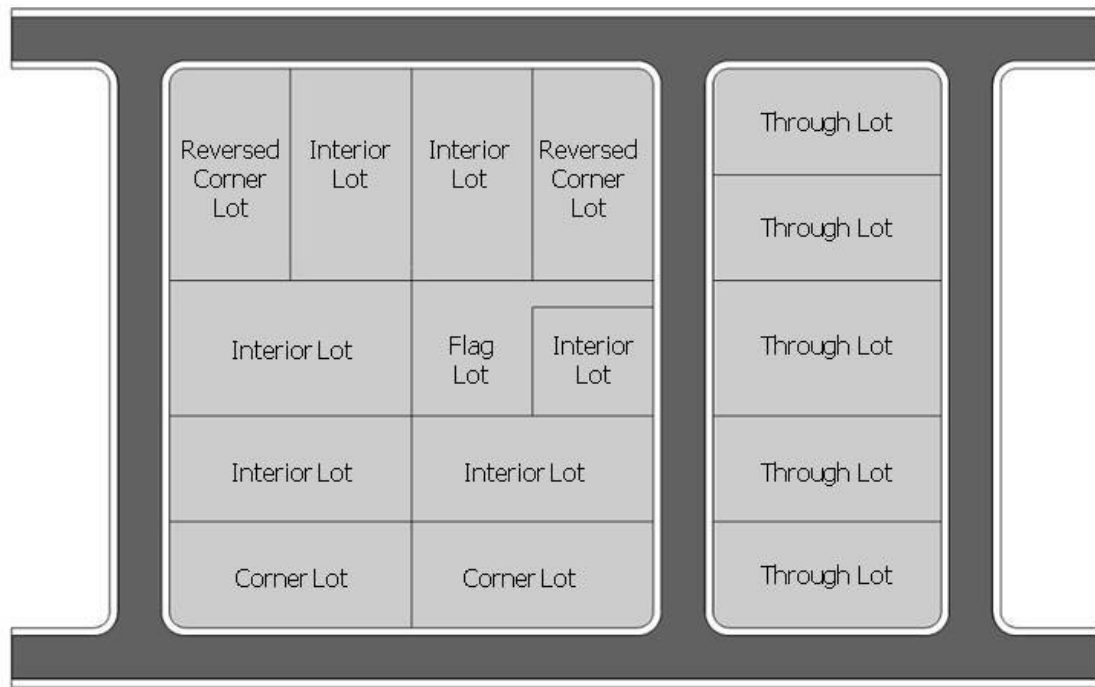


4 Stories
(50% Lot Coverage)



8 Stories
(25% Lot Coverage)

TYPES OF LOTS



(Ord. 2014-73, 11-25-2014)

10-3-3: LOT AREA AND DIMENSIONS:

- A. Contiguous Parcels: When two (2) or more parcels of land, each of which lacks adequate area and dimension to qualify for a permitted use under the requirements of the use district in which they are located, are contiguous and are held in one ownership, they shall be used as one zoning lot for such use.
- B. Lots Or Parcels Of Land Of Record: Any single lot or parcel of land held in one ownership which was of record at the effective date hereof that does not meet the requirements for minimum lot width and area may be utilized for a permitted use; provided, that yards, courts or usable open spaces are not less than seventy five percent (75%) of the minimum required dimensions or areas, except as provided in section [10-15-5](#) of this title. (Ord. 2014-73, 11-25-2014)

10-3-4: NUMBER OF BUILDINGS ON A ZONING LOT:

Except in the case of a planned unit development, not more than one principal detached residential or commercial building shall be located on a zoning lot, nor shall a principal detached residential or commercial building be located on the same zoning lot with any other principal building. (Ord. 2014-73, 11-25-2014)

10-3-5: ACCESSORY BUILDINGS AND STRUCTURES:

- A. Enumeration: Permitted accessory buildings and structures shall include: sheds; toolrooms; similar buildings or structures for domestic or agricultural storage; gazebos; greenhouses; playground equipment; pools; recreational courts; playhouses; stables; garages and parking structures. Refer to section [10-3-12](#), table 10.03.01, "Permitted Accessory Buildings, Structures And Obstructions", of this chapter.
- B. Location: No part of any accessory building or structure shall be located closer than five feet (5') from any side or rear property line. No accessory building or structure shall be closer than ten feet (10') to any main building or closer to the public way than the principal building on the lot.
- C. Time Of Construction: No accessory building or structure with a connected water supply shall be constructed on any lot prior to the start of construction of the principal building to which it is accessory.
- D. Height Of Accessory Buildings Or Structures In Required Rear Yards: No accessory building or structure or portion thereof located in a required rear yard shall exceed fifteen feet (15') in height.
- E. On Reversed Corner Lots: On a reversed corner lot in a residence district and within fifteen feet (15') of any adjacent property to the rear in a residence district, no accessory building or structure or portion thereof located in a required rear yard shall be closer to the side lot line abutting the street than a distance equal to sixty percent (60%) of the least depth which would be required under this title for the front yard on such adjacent property to the rear. Further, in the above

instance, no such accessory building or structure shall be located within five feet (5') of any part of a rear lot line which coincides with a side lot line or portion thereof of property in a residence district. (Ord. 2014-73, 11-25-2014)

10-3-12: PERMITTED ACCESSORY BUILDINGS, STRUCTURES AND OBSTRUCTIONS:

TABLE 10.03.01
PERMITTED ACCESSORY BUILDINGS, STRUCTURES AND OBSTRUCTIONS

Key:	
	P = Permitted
	- = Not permitted

Building, Structure Or Obstruction	Required Yards			
	All Required Yards	Required Front Yards	Required Rear Yards	Required Side Yards
Open terraces and decks ¹	P	P	P	P
Awnings and canopies ²	P	P	P	P
Steps ³	P	P	P	P
Chimneys ⁴	P	P	P	P
Arbors and trellises	P	P	P	P
Landscaping	P	P	P	P
Flagpoles	P	P	P	P
Fences ⁵	P	P	P	P
One-story bay windows ⁶	-	P	-	-
Ornamental light standards	-	P	-	P
Overhanging eaves and gutters ⁶	-	P	P	P ⁷
Enclosed, attached or detached off street parking	-	-	P	-
Open off street parking	-	-	P	-
Accessory buildings and structures	-	-	P	-

Balconies, breezeways, open porches and one-story bay windows ⁶	-	-	P	-
Recreational equipment and clotheslines/racks	-	-	P	-
Air conditioning units ⁸	-	-	-	P

Notes:

1. Not over 4 feet above the average level of the adjoining ground but not including a permanently roofed over terrace or porch.
2. Adjoining a principal structure not exceeding 3 feet or less into required yard.
3. 4 feet or less above grade which are necessary for access to zoning lot from a street or alley.
4. Projecting 18 inches or less into the yard.
5. Fences shall not extend beyond the front plane of the building facade.
6. Projecting 3 feet or less into the yard.
7. Projecting into a required yard for a distance not exceeding 40 percent of the required yard width, but in no case exceeding 30 inches.
8. For a distance not exceeding 10 percent of the required yard width, but in no case exceeding 12 inches.

(Ord. 2014-73, 11-25-2014)

PUBLIC NOTICE OF A HEARING BEFORE
THE UNITED CITY OF YORKVILLE
PLANNING AND ZONING COMMISSION
PZC 2019-18

NOTICE IS HEREWITH GIVEN THAT the United City of Yorkville, Kendall County, Illinois, petitioner, is proposing a text amendment to two Chapters of the United City of Yorkville Zoning Ordinance including “Chapter 2: Definitions” and “Chapter 3: General Zoning Provisions.” The amendment to Chapter 2 revises the definition for a “Zoning Lot” to include contiguous parcels under single ownership. The Chapter 3 amendment will provide that accessory buildings or uses located on a contiguous zoning lot which have an existing primary structure and is under single ownership, are permitted, as long as the building or use is located within the rear, corner or side yard setback as stipulated in the zoning ordinance for that district.

NOTICE IS HEREWITH GIVEN THAT the Planning and Zoning Commission for the United City of Yorkville will conduct a public hearing at a meeting on said amendments on Wednesday, July 10, 2019 at 7 p.m. at the Yorkville City Hall, located at 800 Game Farm Road, Yorkville, Illinois 60560.

The public hearing may be continued from time to time to dates certain without further notice being published.

All interested parties are invited to attend the public hearing and will be given an opportunity to be heard. Any written comments should be addressed to the United City of Yorkville Community Development Department, City Hall, 800 Game Farm Road, Yorkville, Illinois, and will be accepted up to the date of the public hearing.

By order of the Corporate Authorities of the United City of Yorkville, Kendall County, Illinois.

LISA PICKERING
City Clerk

AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS, AMENDING SECTION 10-3-5-B: LOCATION AND SECTION 10-3-5-C: TIME OF CONSTRUCTION REGARDING ACCESSORY BUILDINGS AND STRUCTURES OF THE YORKVILLE ZONING ORDINANCE AND SECTION 10-3-3-A: CONTIGUOUS PARCELS TO PERMIT ACCESSORY BUILDINGS AND STRUCTURES TO BE BUILT ON CONTIGUOUS LOTS UNDER SINGLE OWNERSHIP

WHEREAS, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

WHEREAS, pursuant to Section 10-4-10 of the Yorkville Zoning Ordinance the City may initiate amendments to the Yorkville Zoning Ordinance; and,

WHEREAS, the City filed seeking an amendment to the Yorkville Zoning Ordinance to permit accessory building and structures to be built on contiguous lots under single ownership under certain provisions; and,

WHEREAS, the Planning and Zoning Commission convened and held a public hearing on July 10, 2019, to consider the request and made recommendations to the City Council to approve the requested text amendments.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

Section 1: The above recitals are incorporated and made a part of this Ordinance.

Section 2: That Section 10-2-3, Definitions, of the United City of Yorkville Zoning Ordinance of the Yorkville City Code is hereby amended by revising the definition for “Lot, Zoning” to read as follows:

“LOT, ZONING: A plot of ground made up of one or more contiguous parcels which are under single ownership and may be occupied by a use, building or buildings, including the yards and open spaces required by this title.”

Section 3: That Section 10-3-5, Accessory Buildings and Structures, of the United City of Yorkville Zoning Ordinance of the Yorkville City Code is hereby amended to read as follows:

“B. Location. No part of any accessory building or structure shall be located closer than five feet (5’) from any side or rear property line of a zoning lot. No accessory building or structure shall be closer than ten feet (10’) to any main building or closer to the public way than the principal building on any zoning lot.

C. Time of Construction: No accessory building or structure with a connected water supply shall be constructed on any zoning lot prior to the start of construction of the principal building to which it is accessory, or as provided in section 10-3-3 of this title for contiguous parcels.”

Section 4: That Section 10-3-3 of the United City of Yorkville Zoning Ordinance of the Yorkville City Code be and is hereby amended to read as follows:

“A. Contiguous Parcels: When two (2) or more parcels of land, each of which lacks adequate area and dimension to qualify for a permitted use under the requirements of the use district in which they are located, are contiguous and are held in one ownership, they shall be used as one zoning lot for such use. Further, no more than one (1) accessory structure or building may be located on a zoning lot consisting of two (2) or more parcels of contiguous land under single ownership is permitted when a principle building exists, and the accessory structure or building is located within the rear, corner or side yard setback as stipulated in the zoning ordinance for that district. Sidewalks and parkway trees will be required prior to the issuance of an accessory structure which requires a building permit. ”

Section 5: This Ordinance shall be in full force and effect after its passage, publication, and approval as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois, this _____ day of _____, 2019.

City Clerk

KEN KOCH _____

DAN TRANSIER _____

JACKIE MILSCHEWSKI _____

ARDEN JOE PLOCHER _____

CHRIS FUNKHOUSER _____

JOEL FRIEDERS _____

SEAVER TARULIS _____

JASON PETERSON _____

Approved by me, as Mayor of the United City of Yorkville, Kendall County, Illinois, this _____ day of _____, 2019.

Mayor



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Old Business #1

Tracking Number

EDC 2019-23

Agenda Item Summary Memo

Title: Downtown Form Based Code and Master Streetscape Plan

Meeting and Date: Economic Development Committee – July 2, 2019

Synopsis: Revisions proposed for the downtown overlay district Streetscape Masterplan and
Form-Based Code documents

Council Action Previously Taken:

Date of Action: 6-4-19 Action Taken: Additional Revisions per Committee

Item Number: _____

Type of Vote Required: Vote

Council Action Requested: Feedback

Submitted by: Krysti J. Barksdale-Noble, AICP

Name

Community Development

Department

Agenda Item Notes:

See attached memo.



Memorandum

To: Economic Development Department
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Jason Engberg, Senior Planner
Date: June 6, 2019
Subject: **Downtown Form Based Code and Streetscape Master Plan**

SUMMARY:

Additional review and discussion of the proposed final draft of the Yorkville Downtown Overlay District Plan consisting of a Streetscape Master Plan and Form-Based Code.

BACKGROUND:

As you may recall, the final draft of the Yorkville Downtown Overlay District Plan was presented at the May 14, 2019 City Council meeting for its first reading prior to adoption. A presentation of the highlights of the Streetscape Master Plan and the Form-Based Code for the overlay district was given at that meeting by the consultant, Doug Farr of Farr & Associates. The plans are intended to establish the broader guidance for street character and development opportunities within the downtown which can be facilitated through public capital improvement projects and private redevelopment.

Over the course of 18-months, beginning in January 2018, the consultant and staff hosted a project website; conducted two (2) public workshops; previewed a draft plan at a committee meeting; held a public open house; and had a public hearing before the Planning and Zoning Commission; all to gather input and solicit feedback on the various drafts of the plan. All feedback received during this time was incorporated into the plan. A formal recommendation for adoption was made by the Planning and Zoning Commission on April 10, 2019.

At the May 14th meeting, staff received comments from members of the City Council regarding two (2) matters in the plan related to street treatment recommendations and the misidentification of parcel ownership in the Streetscape Master Plan. Following that meeting, on June 4, 2019, staff received additional comments during the Economic Development Committee meeting regarding certain aspects of the Streetscape Masterplan, specifically the curb treatment for 'B' Street Residential areas and the proposed overhead catenary lighting on Van Emmon Street. Subsequent written comments from Alderman Funkhouser regarding the Streetscape Masterplan and the Form-Based Code were also provided via email on June 6, 2019.

Staff was asked to address these comments and provide additional alternative options to the catenary overhead lights on Van Emmon Street and bring back to the committee for further discussion.

COMMENTS & PROPOSED REVISIONS:

Below is a summary of the comments received by Alderman Funkhouser and how they have been addressed:

Streetscape Master Plan

Page	Comment	Correction
Page 3	Addition of Aldermen names under Acknowledgements	Staff has added the names of Aldermen (current and former), Planning and Zoning Commissioners and current Mayor.

Page 5	Does not like the red text on gray background.	The text has been revised to white.
Page 15	The location of the tree covers up the mural.	Noted.
Page 18	Numbers and text does not line up. Figure 20 – gravel parking is not permitted.	Numbers and text have been aligned. Image of Figure 20 was not suggesting parking would be permitted on gravel, but the area between the railroad tracks and spur (refer to #6 identified on page 19 under “Hydraulic Street Near Term”) be visually enhanced with a well-maintained gravel surface.
Page 27	Removal of lights over Van Emmon Street and possibly placing over just pedestrian way.	Overhead catenary lights have been removed from plan.
Page 29	Removal of lights over Van Emmon Street and possibly placing over just pedestrian way. Notation that the orange triangular area labeled “Gateway Landscape/Signage” was not public property.	Overhead catenary lights have been removed from plan. Area identified in plan as “Gateway Landscape/Signage” was a reference to the previously City Council approved landscape hill project. Area is owned by IDOT but allowed to be landscaped and maintained by the City upon approval from IDOT.
Page 38	Recommends a concrete ribbon for Figure 54 instead of gravel street apron.	Staff has made the requested change per direction from the EDC at the June 4, 2019 meeting.
Page 39	Recommends Figure 57 illustrate the concrete curb ribbon.	Staff has made the requested change per direction from the EDC at the June 4, 2019 meeting.
Page 54	Denote parcels for public, park, etc.	This map only reflects the existing zoning classification for each subdivided parcel.
Page 58	Missing existing Clark Park parcel north of river. Extension of bridge to Clark Park? Bridge over canoe crossing?	Noted and revised. Extension of bridge crossings identified on “Parks and Proposed Trail Networks” was taken from the City Council approved 2009 Yorkville Integrated Transportation Plan (ITP). See attached <i>Exhibit F – Downtown Study Area Analysis</i> of the Yorkville ITP.
Page 62	Private ownership label of Van Emmon Activity Center should be revised. Why are some parcels highlighted and others not?	Staff has made the requested change per direction from the EDC at the June 4, 2019 meeting. The parcels highlighted are those that fall within the territory of the identified commercial core of the downtown.
Page 65	Continuance of the railroad right-of-way color (orange) to the eastside of IL 47.	Noted and revised.

Formed-Based Code

Page	Comment	Correction
Page 2	Addition of Aldermen names under Acknowledgements	Staff has added the names of Aldermen (current and former), Planning and Zoning Commissioners and current Mayor
Page 4	Section 10-21-1-F-2 Deviations, requested second sentence be revised to read “The Community Development Director” instead of “The Director”.	Noted and revised.
Page 12	Section 10-21-2-B, requested the phrase “agricultural relics” be revised using different wording.	Sentence has been revised to “ <i>Hydraulic Street features short, utilitarian buildings as well as an inoperable grain elevator, that create an eclectic mix of land uses and character.</i> ”
Page 13	Remove overhead lighting in Figure 10-21-2C (1). Van Emmon Street (Long Term)	Noted and revised.
Page 14	Revise pedestrian facilities to indicate a 5’ sidewalk rather than a 4’ sidewalk.	Noted and revised.
Page 15	Add foot (‘) symbol behind 26 in Pavement Width. No gravel edge in “B” Street- Residential District.	Noted and revised. Noted.
Page 18	Under “Key” of Figure 10-21-3A (1). Yorkville Code Permitted Uses How to, add “special” to “Requires Use Permit”.	Noted and revised.
Page 19	Recommends “Amphitheater” be revised to be a “Special Use” rather than “Permitted with Development Standards”. Recommends “Outdoor Storage of Goods” be revised from “Permitted with Development Standards” to “Special Use”.	Noted and revised. Staff still recommends this accessory use remain permitted with special development standards, as this is consistent with the current code regulations found in Section 10-3-11: Outdoor Displays. www.sterlingcodifiers.com/Yorkville,IL:10-3-11
Page 20	Section 10-21-3-C, insert the word ‘Special’ in front of “Use Requirements”	Noted. However, these are standards for all use types, not just for special uses. Staff recommends no change.
Page 22	Recommends “Amphitheater” be revised to be a “Special Use” rather than “Permitted with Development Standards”. Recommends “Outdoor Storage of Goods” be revised from “Permitted with Development Standards” to “Special Use”.	Noted and revised. Staff still recommends this accessory use remain permitted with special development standards, as this is consistent with the current code regulations found in Section 10-3-11: Outdoor Displays. www.sterlingcodifiers.com/Yorkville,IL:10-3-11

STAFF COMMENTS:

Staff feels that the attached revised Streetscape Masterplan and Form-Based Code has addressed the comments/feedback provided at the June 5, 2019 Economic Development Committee meeting and the subsequent comments provided by Alderman Funkhouser. No other comments have been forwarded to staff by the City Administrator of any other requested revisions.

Regarding the overhead catenary lights originally recommended in the Streetscape Masterplan, staff has not proposed any alternative downtown gateway element based upon feedback at the June Economic Development Committee meeting. Although the overhead lights were the most popular of all gateway elements presented as part of an online survey (40% out of nearly 500 survey responses), staff felt the other gateway features were just as expensive or required continued maintenance. We welcome any additional feedback you may have on the latest attached revised documents and will be available to answer any questions.

ATTACHMENTS:

1. Draft Revised Yorkville Streetscape Master Plan
2. Draft Revised Yorkville Downtown Form-Based Code
3. Exhibit F – Downtown Study Area Analysis of the 2009 Yorkville Integrated Transportation Plan
4. Draft Ordinances

YORKVILLE

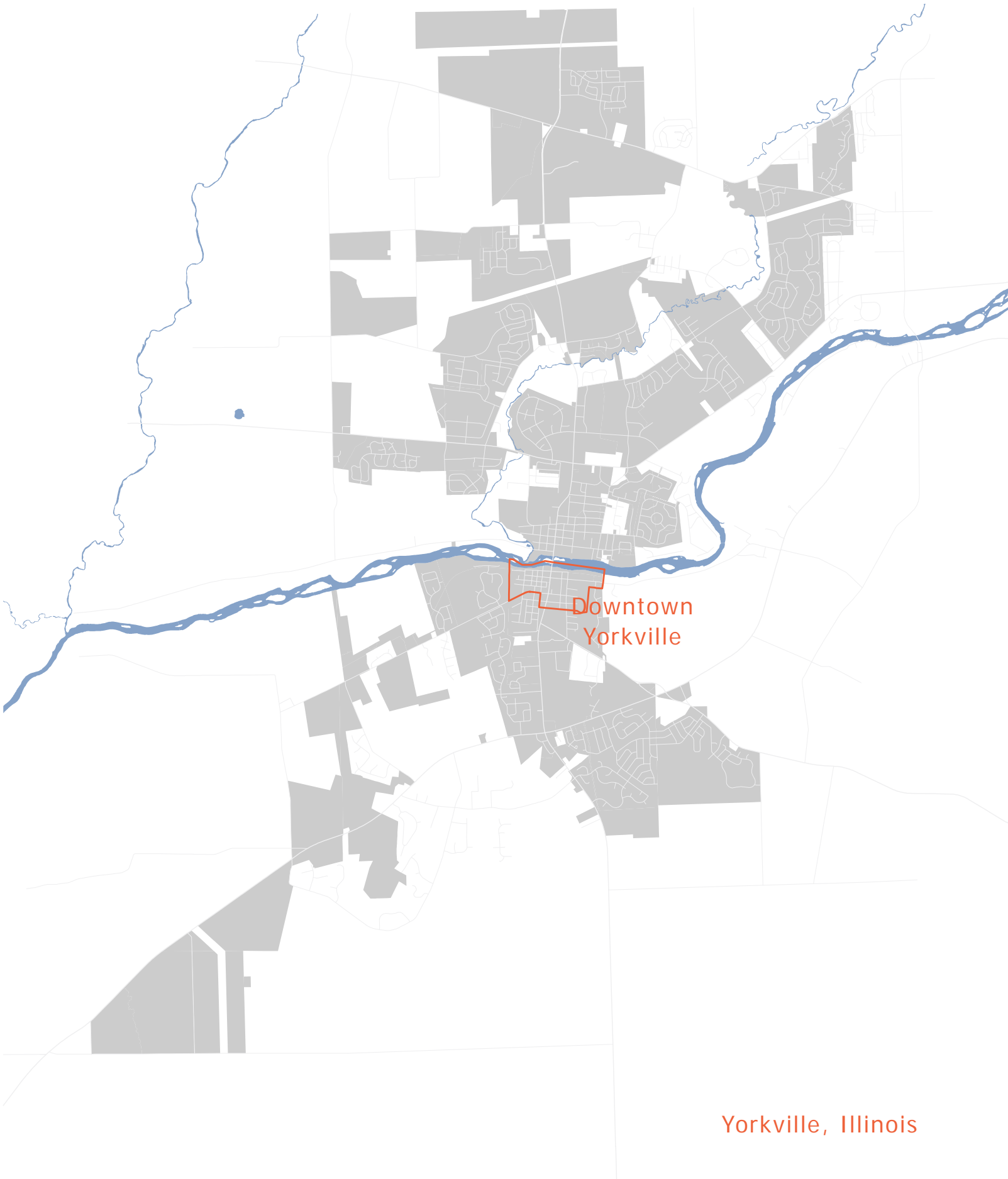
Downtown Overlay District

Streetscape Master Plan



United City of
Yorkville ILLINOIS

FARR ASSOCIATES



Yorkville, Illinois

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Van Emmon Street	p. 26
'B' Street	p. 34
Appendix	p. 52

Acknowledgements

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Daniel Williams, *Commissioner*



United City of
Yorkville ILLINOIS



Introduction

A streetscape master plan provides guidance for the direction and character of future street related capital improvement projects. As downtown Yorkville continues to evolve, so too should its streets and public spaces to support the changing land uses over time. Downtown has experienced multiple moments of transition over the years, but recently, downtown has experienced a renaissance of sorts with desirable new restaurants and small local businesses occupying existing structures. An improved Fox River-oriented park and other recreational amenities add another layer to downtown's assets.

At its heart, Yorkville is a small-town on a sleepy river with residents committed to improving the quality of the city for all. What better place to start than improving a downtown that should be the center of the community, where events, festivals, and family gatherings take place regularly. The streets of downtown Yorkville should be the armature that supports these functions and helps contribute to building community and quality of life.

Downtown Overlay District

Streetscape Master Plan

Street Type Classification p. 08

Bridge Street p. 10

Hydraulic Street p. 16

Van Emmon Street p. 24

‘B’ Street p. 32

Wayfinding and Signage p. 40

General Streetscape Guidance p. 42

Streetscape Master Plan

Why a Streetscape Master Plan?



Figure 1 - Bridge Street (Farr Associates)

Because downtown Yorkville needs one. Investors and property owners interested in improving their downtown assets may think twice if they do not sense a commitment from the City. The downtown TIF I was certainly an effort to encourage redevelopment within downtown and TIF II is an added incentive for owners to invest; however, the lack of an inspiring plan that presents future capital improvement priorities for the City leaves much to be desired. This streetscape master plan is intended to get people excited about the potential of downtown. Knowing that improvements are in the pipeline, investors can get out in front and establish a presence prior to downtown realizing its full potential.

A streetscape master plan's focus is on the public realm - most notably the streets, furnishing zones, and sidewalks. It helps to establish what role each street will play moving forward. For example, it establishes which streets are 'A' Streets; meaning a street that should be accompanied by building frontages, glazing, signage, and activity. They are the

streets that residents come to downtown to stroll along and enjoy a sunny Saturday afternoon. Alternatively, a 'B' Street supports the 'A' Street. Parking access, sides of buildings, and service oriented functions should be accessed off 'B' Streets. Like 'A' Streets, they are critical to the functioning successes of places we love. Accommodating both within downtown, while defining which is which, can help property owners prioritize where their future front entry is located or where that new café tenant should face.

Downtown was identified as a primary concern in the 2016 Yorkville Comprehensive Plan for good reason. Despite its current downfalls, downtown contains exciting assets to build upon. Restaurants, old buildings packed with potential, plenty of infill and redevelopment opportunities, and a fantastic recreational amenity in the Fox River, all bode well for the future of downtown. This plan demonstrates some of the strategies the City can implement to pave the way for the future of downtown.

Providing Framework for the FBC

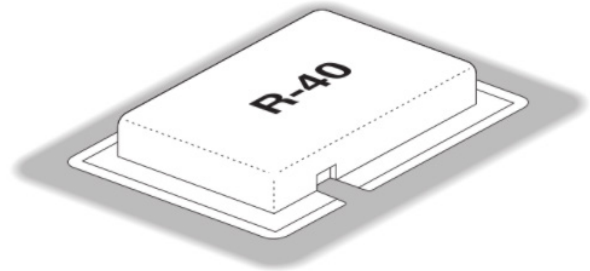
The streetscape master plan is structured to complement the **Downtown Yorkville Form-Based Code**. Form-based codes (FBC) are land development regulations that seek to produce predictable built results that prioritize building form over building use as a distinguishing factor. Often times, a regulatory zone or framework is applied at the block level, much like zoning, where parcels fall into a specific FBC classification.

The **Downtown Yorkville Form-Based Code** uses the street types as a regulatory framework. The parcels that front a specific street type identified in this plan use that street type as the underlying FBC classification. If a parcel fronts more than one street, the FBC articulates the process of discerning which FBC zone takes precedent. The FBC includes further instruction on how to identify a parcel, determine the underlying regulatory zone, and easily interpret the zone's requirements for redevelopment.

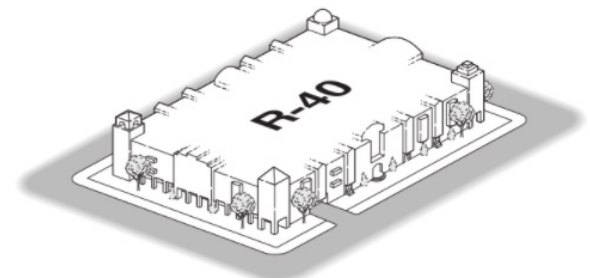
The streetscape master plan brings a visual interpretation of what form and character future capital improvements will exhibit. Though the streetscape master plan and the FBC are intended to be stand-alone documents, they are coordinated efforts that provide layers of detail to collectively envision the future of downtown Yorkville.

The series of diagrams on the right is from the Form-Based Codes Institute (FBCI) and meant to visualize the physical consequences that stem from conventional zoning (top), conventional zoning with supporting design guidelines (middle), and form-based codes (right). Standards that prioritize form over use have the capabilities of encouraging a more fine-grained outcome.

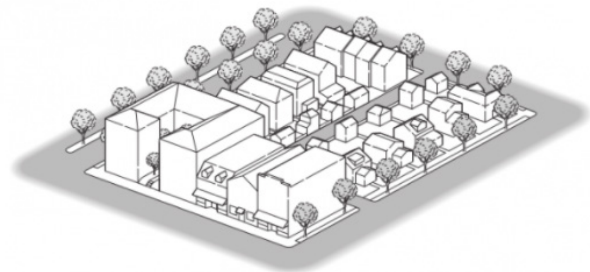
Conventional Zoning (FBCI)



Zoning Design Guidelines (FBCI)



Form-Based Codes (FBCI)



Street Type Classification

Street Type Classification

The following street types represent what will be the guiding framework for the form-based code (FBC) parcel classifications. Parcels fronting their respective street type should follow the form-based guidelines outlined in the Downtown Yorkville Form-Based Code. The different street types are

- 'A' Streets
 - Bridge Street
 - Hydraulic Street
 - Van Emmon
- 'B' Streets

These street types are represented on the following pages with the existing condition, proposed near-term improvements, and proposed long-term vision. The street types are represented at typical segments along key stretches; therefore, minor variations will occur where applicable.

This Streetscape Master Plan is intended to envision the character and role each street contributes to the future of downtown Yorkville and does not represent finalized landscape and construction details.



Figure 2 - Bridge Street (Google Maps)



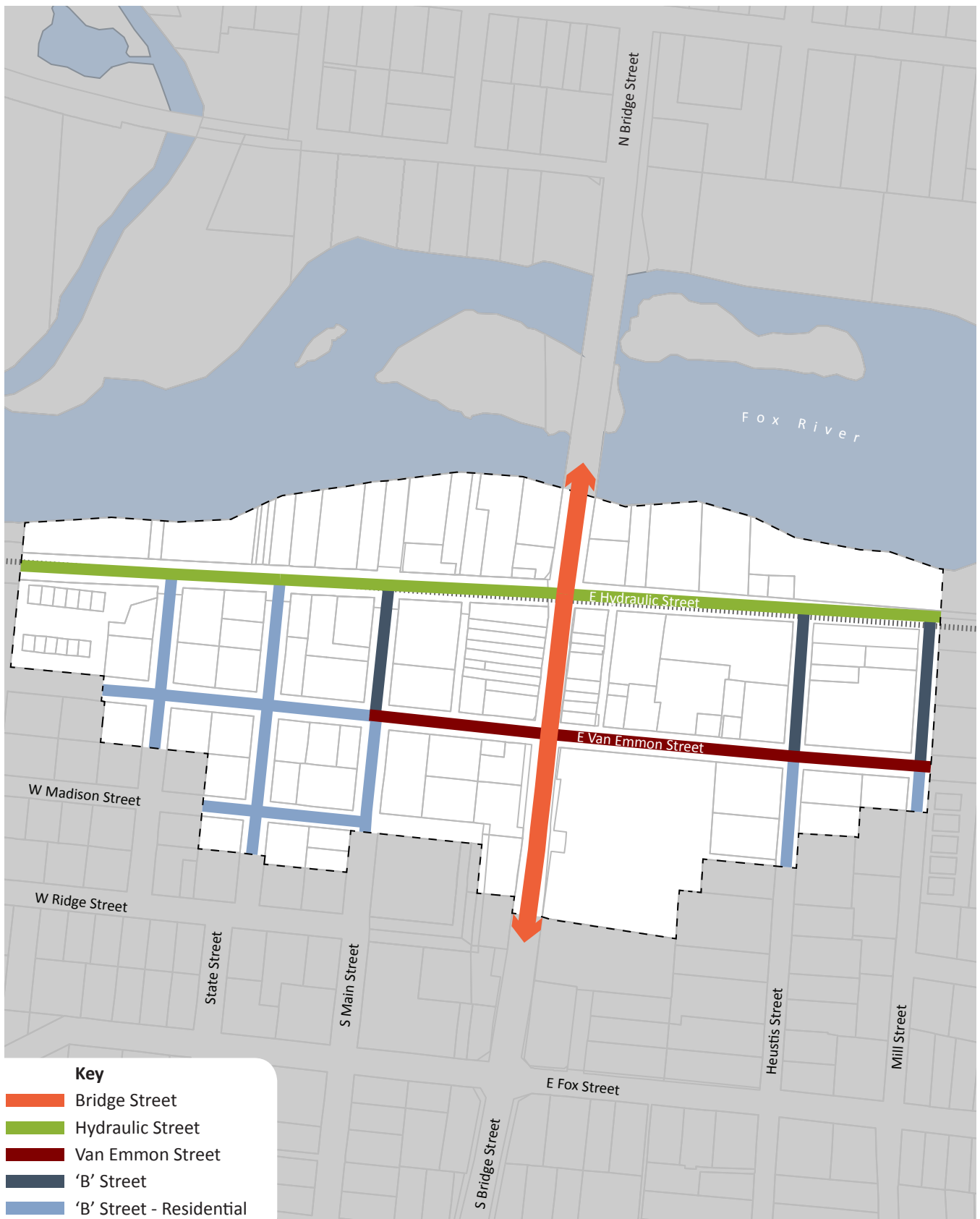
Figure 3 - Hydraulic Street (Google Maps)



Figure 4 - Van Emmon Street (Google Maps)



Figure 5 - Main Street (Google Maps)



Bridge Street (Existing)

IDOT's Improvements

Bridge Street, between Hydraulic Street to the north and Van Emmon Street to the south, was clearly the historic downtown core of Yorkville. Though this stretch is only one block long, it retains much of the scale and character of the past. Bridge Street was historically a two travel-lane street with parallel parking on either side to serve the businesses. Traffic became congested, since Bridge Street (IL 47) is the main truck route through Yorkville. The Illinois Department of Transportation (IDOT) studied widening the street along with other improvements to alleviate the congestion. Many years after the initial plan of a five-lane Bridge Street, the proposal was finally taken to construction. Yorkville residents were anxious to speed up flow through a downtown long removed from representing the heart of the community.

Since the IDOT improvements, the commercial viability of the businesses were challenged. Travel lanes replaced parallel parking and concrete barriers were placed between street and sidewalk. The combination of road widening, increased speed, lack of parallel parking, and other factors drove many of the primary building entries around to the backs of the Bridge Street buildings. The increased speeds and lack of pedestrian traffic along Bridge Street have effectively drained downtown of any potential for vitality. Residents have mixed opinions about the impacts of IDOT's improvements; however, it is clear that the term "improvements" may not be the correct expression for Bridge Street's new character.

This stretch of Bridge Street may be considered the gateway into downtown Yorkville and retains potential to become the iconic stretch that helps draw people into local businesses and displays an attractive image that represents the people of Yorkville.



Figure 6 - Bridge Street Facades (Farr Associates)

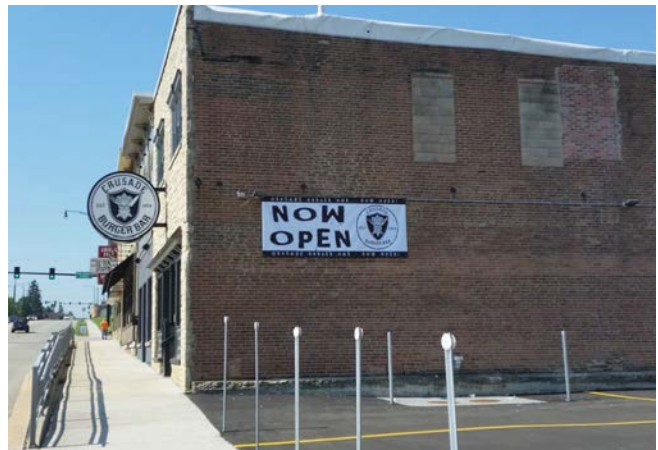
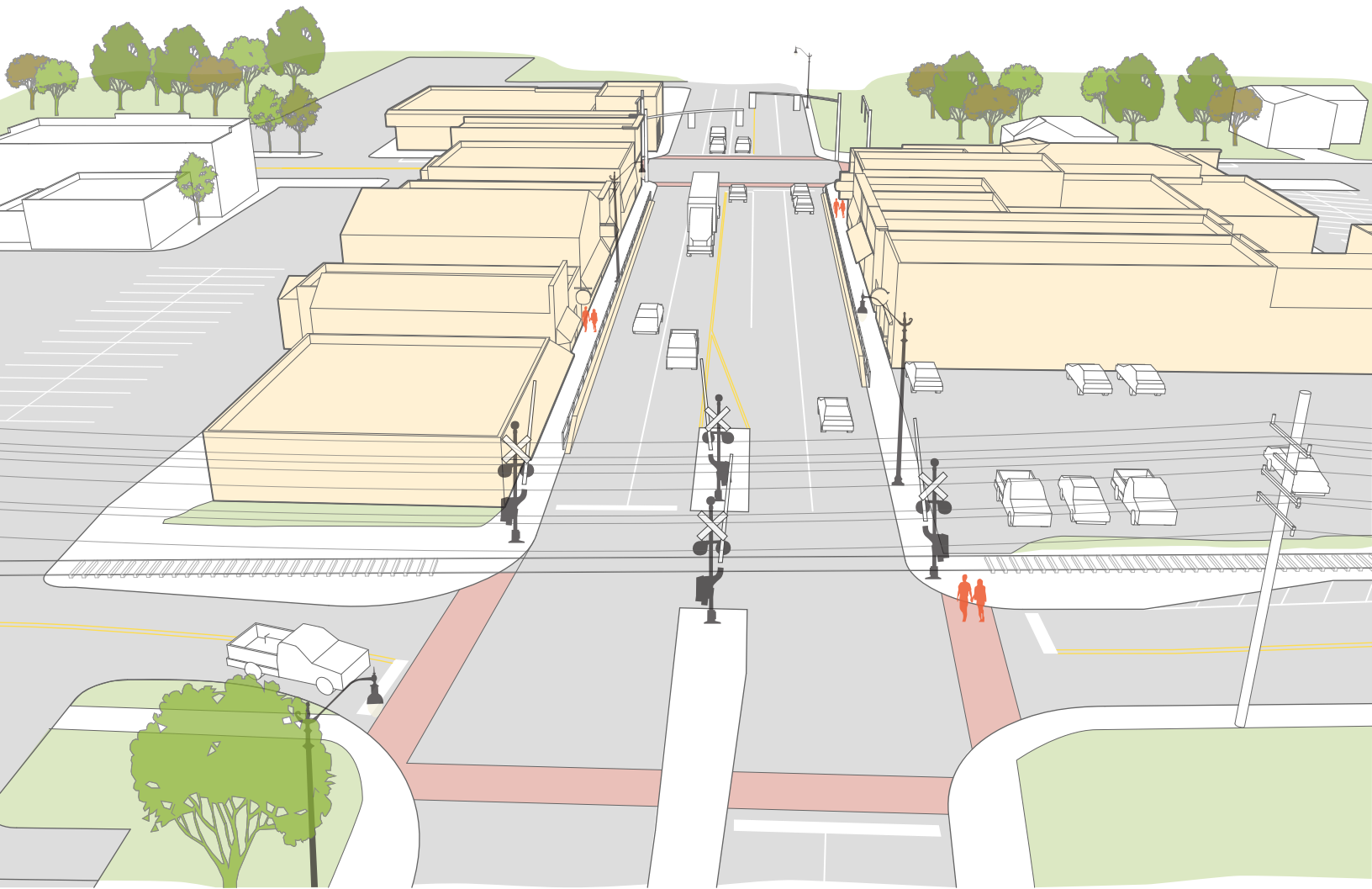


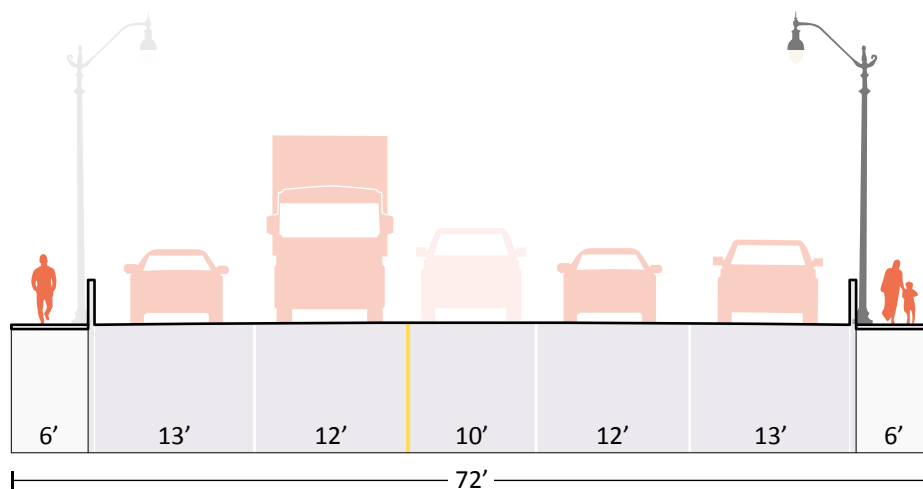
Figure 7 - Bridge Street Blank Wall (Farr Associates)



Figure 8 - Bridge Street Sidewalk/Barrier (Farr Associates)



Bridge Street (Existing)



Bridge Street (Near-Term)

Tactical Interventions

Meaningful measures to display an image of vitality and interest can be taken with a cost sensitive approach. For example, instead of temporarily narrowing traffic lanes or tearing down the now important concrete barriers flanking Bridge Street; beautification strategies might include painting the concrete barriers and hand rails with a custom design or painting large iconic murals on the blank downtown building walls. Each of these interventions could contribute to the overall character of downtown and play a dual role of encouraging vehicular and pedestrian traffic to be cautious and slow down.

Because this segment of Bridge Street is such an important gateway for the City, concentrating multiple interventions on this location within the greater downtown should take priority over other streets and locations. Drivers would recognize that downtown could be worth visiting. The larger scale of these proposed interventions caters to the car, because it is in this brief moment that downtown has to attract the attention of passersby.

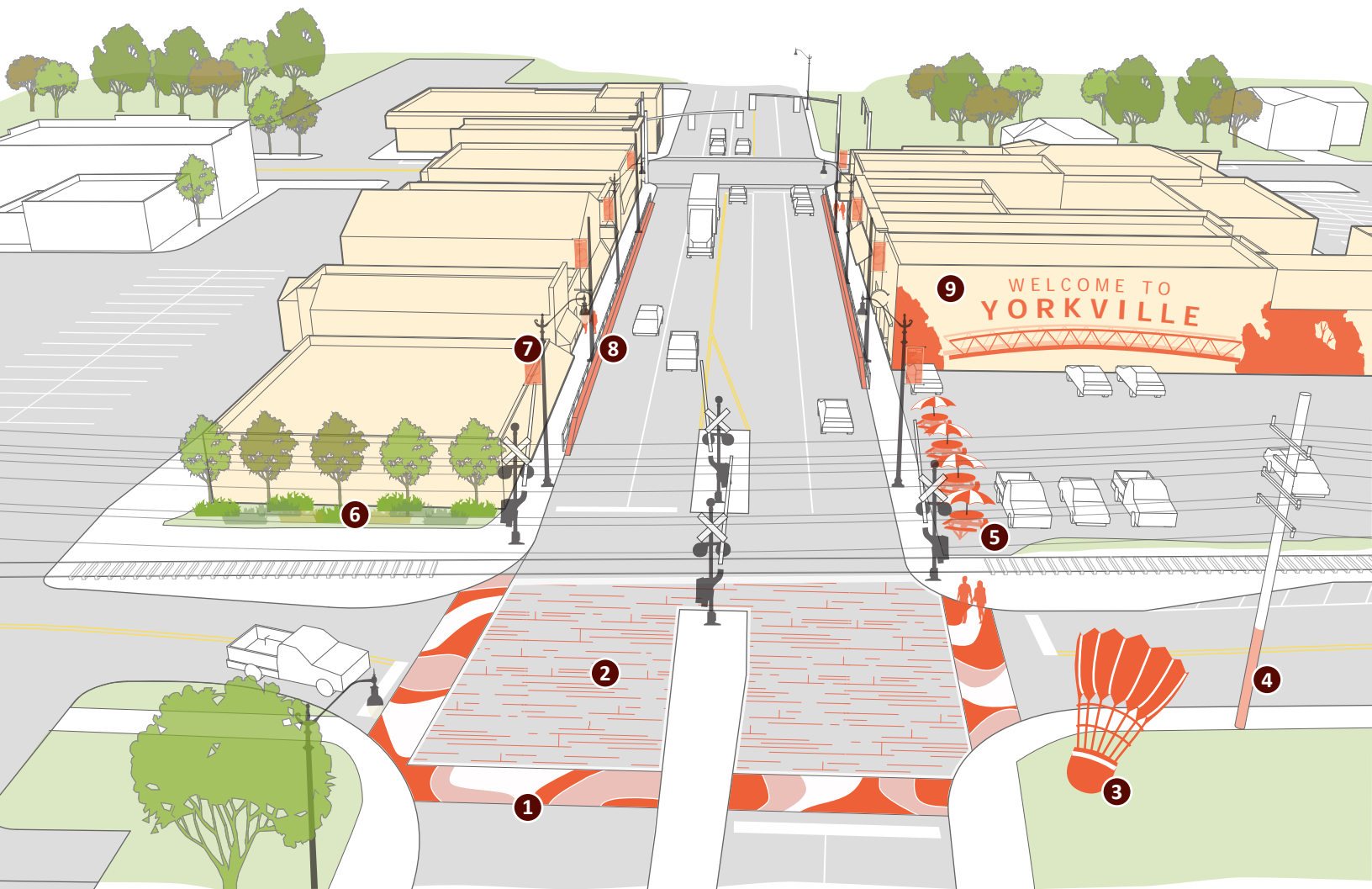
- ① Painted Crosswalks
- ② Paving Texture or Material Change
- ③ Public Art/Sculpture
- ④ Painted Light Poles
- ⑤ Outdoor Restaurant Seating
- ⑥ Entry Landscape Improvements
- ⑦ Seasonal Banners
- ⑧ Painted Bridge Street Barrier/Railing
- ⑨ Yorkville Entry Wall Mural



Figure 9 - Wall Mural (Philly Magazine)



Figure 5 - Outdoor Restaurant Seating (Pictures Boss)



Bridge Street (Near-Term)



Figure 11 - Painted Concrete Barrier (NYC Parks)

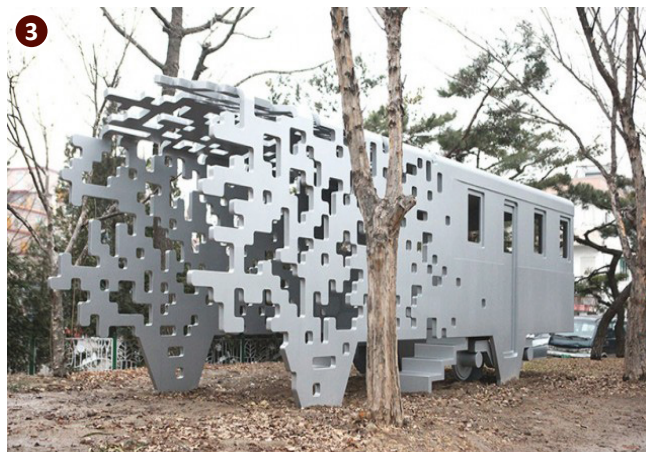


Figure 12 - Public Art / Sculpture (Designboom)

Bridge Street (Long-Term)

Minor Upgrades Go a Long Way

The existing Bridge Street right-of-way affords very little flexibility for major improvements; however, that does not preclude meaningful upgrades from happening. Squeezing in improvements where possible, such as: the addition of seasonal banners to the light poles; repaving the sidewalks with high-quality and interesting materials for pedestrians; or replacing the damaged handrail with a feature handrail that may be an art installation; can make a surprisingly dramatic impact for both drivers and pedestrians. Additionally, if the buildings better engage the sidewalks through accessible entrances, signage, and outdoor seating options, this would improve this highly visible stretch of downtown Yorkville.

A reduction in lane width on Bridge street, which would require a reclassification from IDOT to remove its truck route status, is not currently an option. Therefore, a five-lane street will likely be the long-term reality.

It will be critical for the City to address the perception issues with Bridge Street through near-term solutions that may last many years. Near-term strategies can add value to downtown Yorkville through amplified crosswalks, branding and wayfinding elements, visible outdoor seating, and much more.



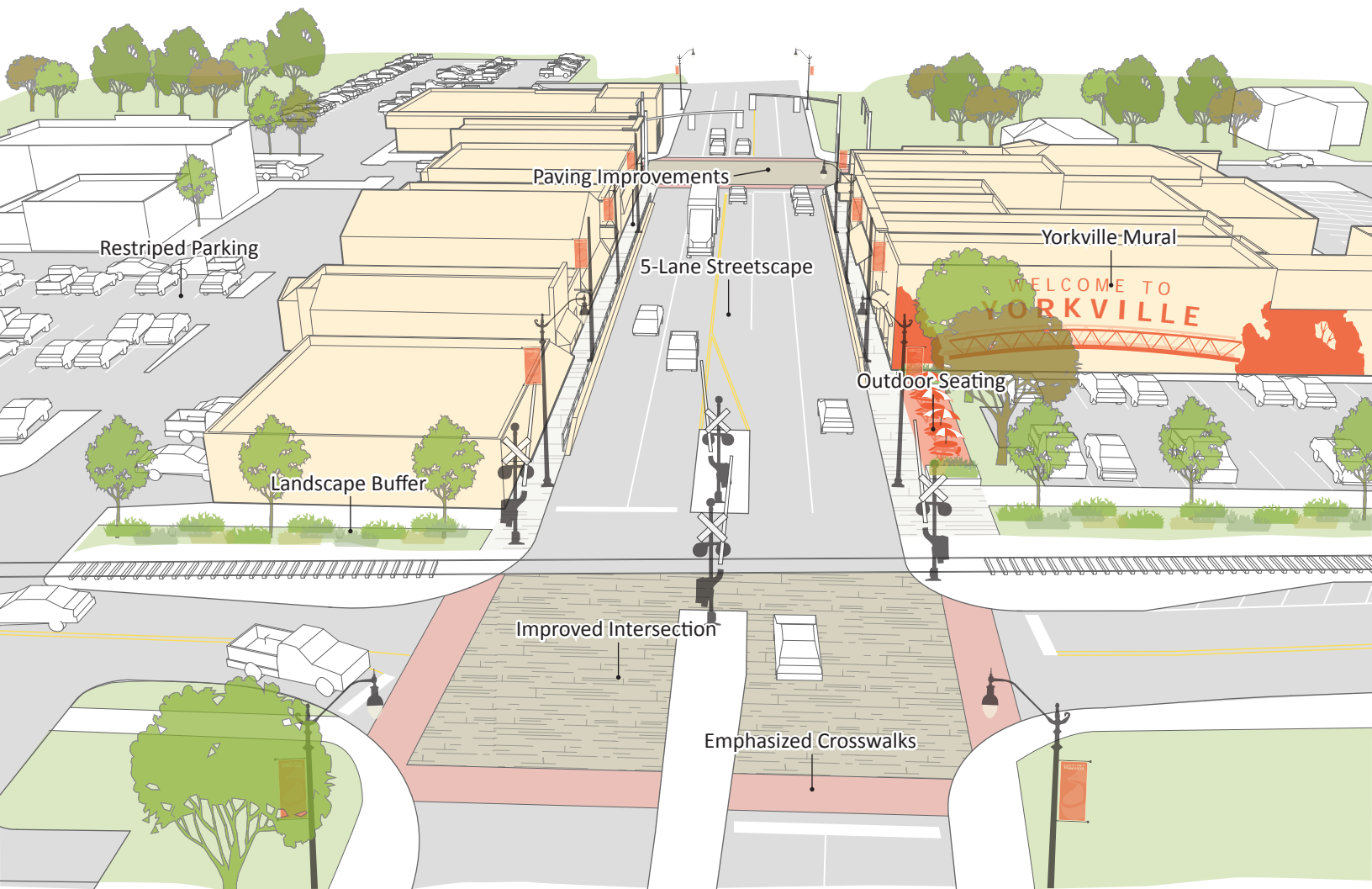
Figure 13 - Improved, Feature Handrail (Hype Science)



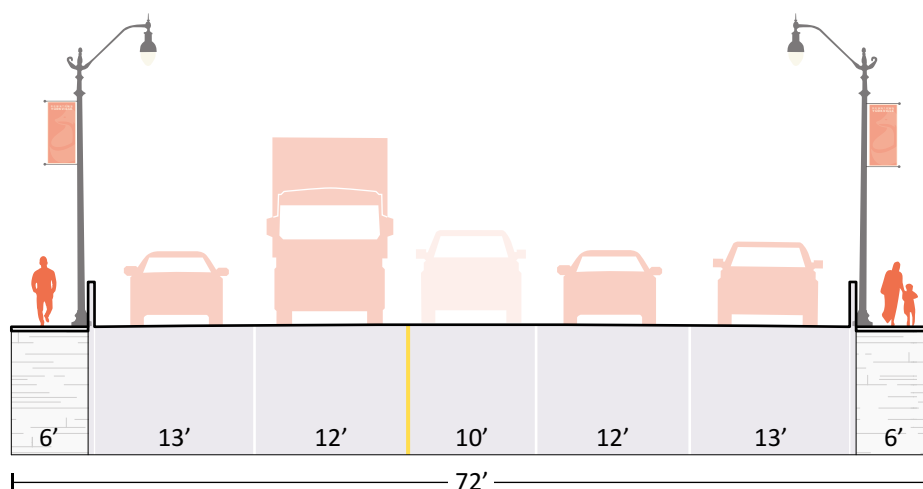
Figure 14 - Seasonal Banners (Farr Associates)



Figure 15 - Improved Sidewalk Pavement (California DOT)



Bridge Street (Long-Term)



Hydraulic Street (Existing)

Unique Industrial Character

Hydraulic Street includes complex conditions, such as utility poles landing in the street; a tapering right-of-way that narrows from west to east; and an active freight rail line that runs parallel to the street surface within the right-of-way. Because it runs parallel to the Fox River, there are multiple access and view corridors that connect pedestrians on Hydraulic Street to one of Yorkville's most important assets.

The freight rail line tracks are immediately adjacent to the southern edge of the street. This proximity could be a safety issue; however, during the citizen engagement events, residents did not voice much concern over the rail, except the noise complaints and potential for trains to back up traffic along Bridge Street. Though only one rail company utilizes the line, it is important to the natural gas industry because it accesses select sand used for the fracking process. Any expectations of the rail line closure are unrealistic, at least in the near-term. The active rail line will remain something that any redesign plans, current or future, must address.

Hydraulic Street features a unique industrial character as a result of the rail and adjacent buildings and uses. The short, utilitarian buildings, as well as agricultural relics, such as the grain elevator, create an eclectic mix of land uses and character. Multiple popular businesses and parks exist along Hydraulic Street, and the existing character seems to support these types of businesses. As improvements occur to make Hydraulic Street a more attractive, safe, and usable street, a respect for its industrial past and present should be retained.



Figure 16 - Hydraulic Street (Farr Associates)



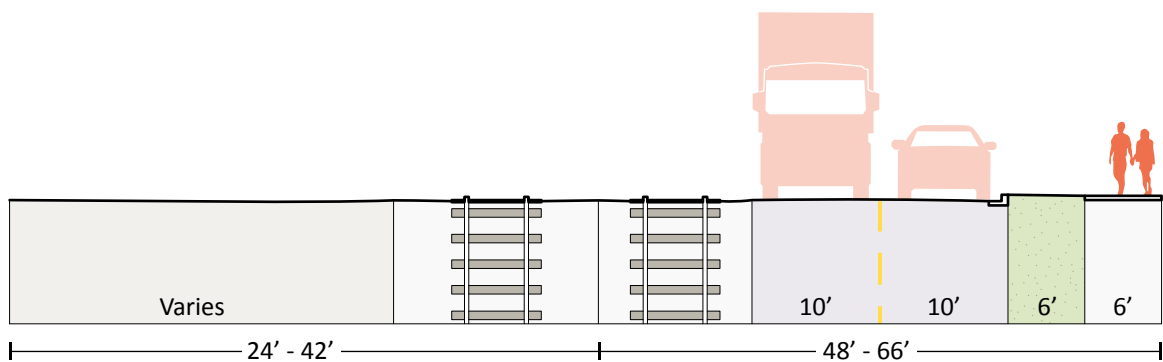
Figure 17 - Hydraulic Street (Farr Associates)



Figure 18 - Inactive Grain Elevator (Farr Associates)



Hydraulic Street (Existing)



Hydraulic Street (Near-Term)

Tactical Interventions

Hydraulic Street character will remain unique and interesting with or without planning interventions. The low traffic counts and limited number of businesses that currently front onto Hydraulic Street suggest that a lower level of resources should be placed in its near-term improvements.

However, a few key improvements that help support the current businesses should be prioritized. This could include allowing outdoor seating areas either in the parking lots or at the edge of the street and sidewalks; painting the existing light poles with unique artwork; adding seasonal banners to the existing light poles; and improving the rear facade of Bridge Street, as this has effectively become the primary entry to many of those businesses. The rear facade of the Bridge Street buildings is highly visible since no structures currently exist to obscure mid-block views.

Additionally, moveable planters with trees and other vegetation could bring life, shade, and color to an otherwise utilitarian Hydraulic Street.

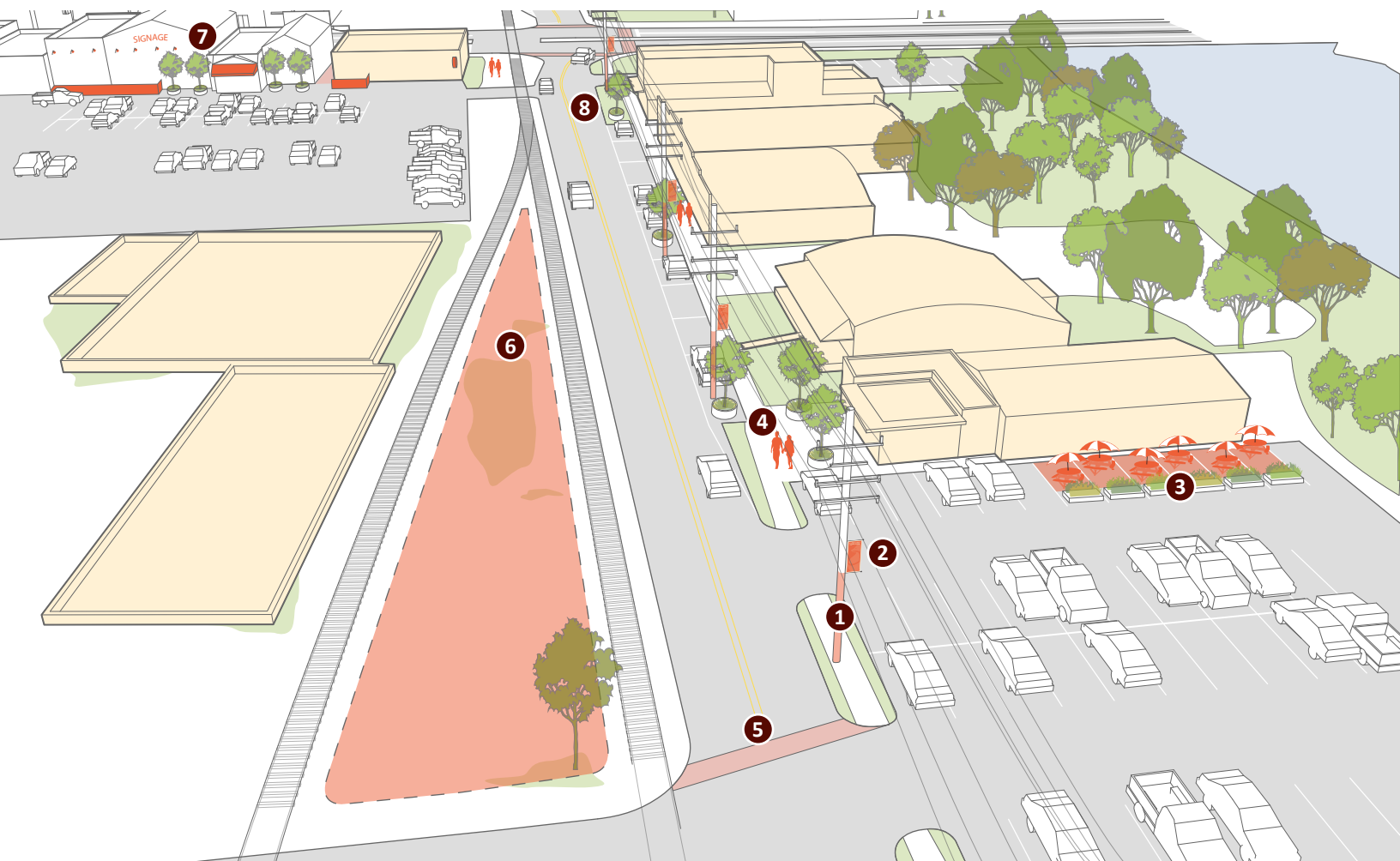
- ① Painted Light Poles
- ② Seasonal Banners
- ③ Outdoor Restaurant Seating
- ④ Temporary Tree Planters
- ⑤ Painted Crosswalks
- ⑥ Maintain Gravel Between Tracks
- ⑦ Bridge Street Rear Facade Improvements
- ⑧ Street Surface Lane Striping



Figure 19 - Painted Light Pole (Tops Images)



Figure 20 - Well Maintained Gravel Surface (Dare Inc.)



Hydraulic Street (Near-Term)



Figure21 - Rear Facade Lighting and Signage (House St. Clair)



Figure22 - Outdoor Restaurant Seating (South Milwaukee)

Hydraulic Street (Long-Term)

Conversion to a Shared Street

The unique qualities of Hydraulic Street with its irregular street section, limited traffic count, paralleling of the Fox River, and already funky, casual character lends itself well to becoming a woonerf, or “shared street”. This long-term vision would allow Hydraulic Street to be closed down for festivals or events between the current driveway aligning with the rear entrances of the Bridge Street buildings and Heustis or Mill Street. Circulation around the block would still be possible through the use of a “slip lane” or access lane that would run along the south edge of the railroad tracks in order to access future redevelopment on those parcels.

Hydraulic Street could take on a unique design such as permeable pavers to add character and stormwater management benefits. Being adjacent to the Fox River, an effort to minimize stormwater runoff and encourage percolation would be an environmentally conscious solution. Continuous pavers spanning between vehicular travel areas and traditional pedestrian areas would effectively blur the line between pedestrian and car right-of-way. This would encourage slow moving traffic on non-event days when Hydraulic Street is open, and add an attractive frontage for the businesses along Hydraulic Street.

A shared street deserves a custom design. When City budget is allocated towards Hydraulic Street capital improvements, an emphasis should be placed on hiring highly-qualified landscape architects experienced in right-of-way redesign.



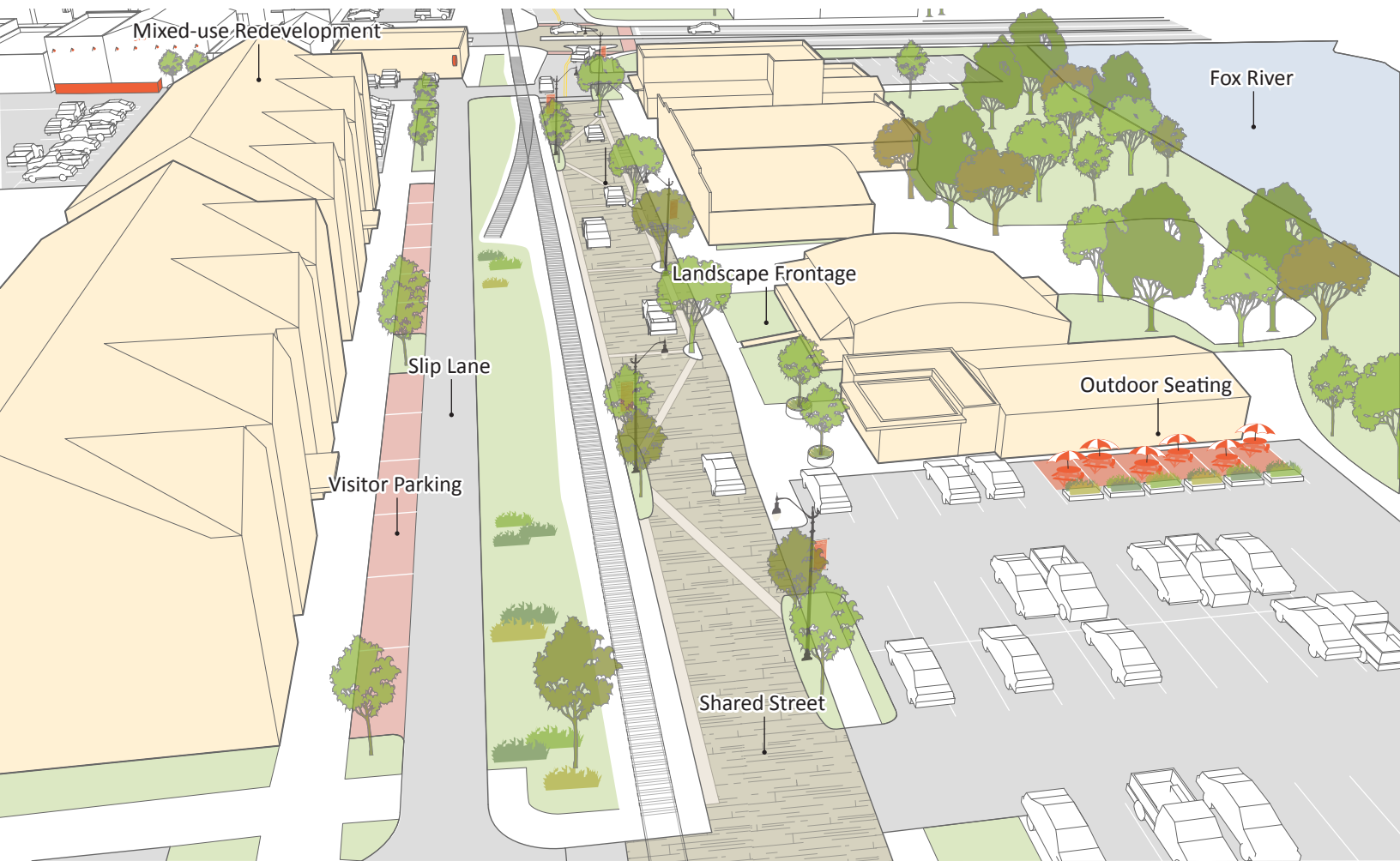
Figure 23 - Chicane Plantings (NACTO)



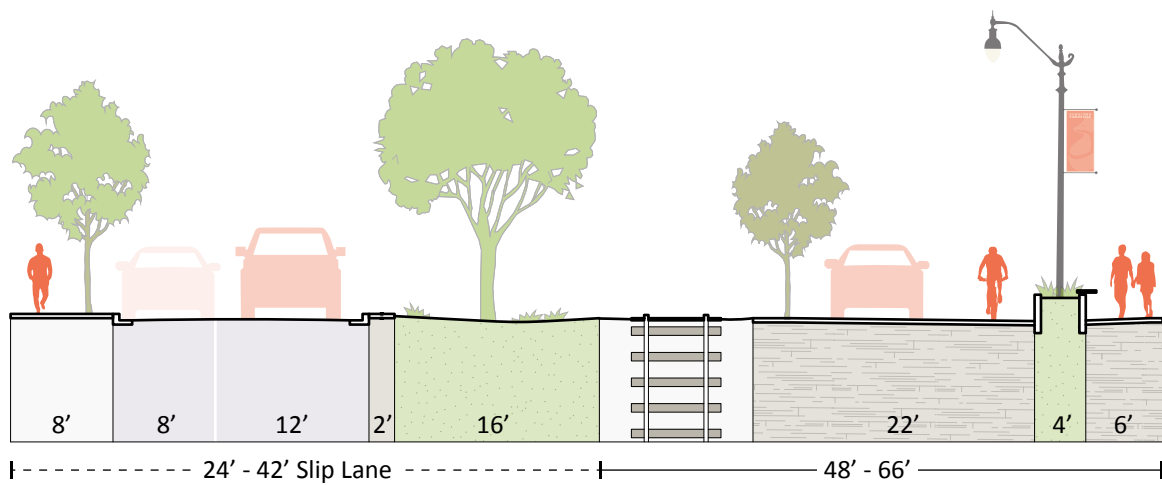
Figure 24 - Funky Outdoor Seating (Asik Site)



Figure 25 - Shared Street (Ithaca College)



Hydraulic Street (Long-Term)



Hydraulic Street Shared Street

As previously mentioned, a shared street should blur the lines between vehicle and pedestrian zones. Subtle changes to paving materials and the use of planters, street furnishings, and markings can define where cars should or should not drive. Since Hydraulic Street runs parallel with the Fox River, a street section that sheet flows stormwater into a continuous drainage channel within paving change is an example of integrated street design. These site design details are important, as this will become a major downtown event location.

- ❶ Paving Texture or Material Change
- ❷ Chicane Planting Beds
- ❸ Maintain Existing Distance from Tracks
- ❹ Raised Planting Beds
- ❺ Planter Seating Ledge
- ❻ Continuous Drainage Channel on One Side

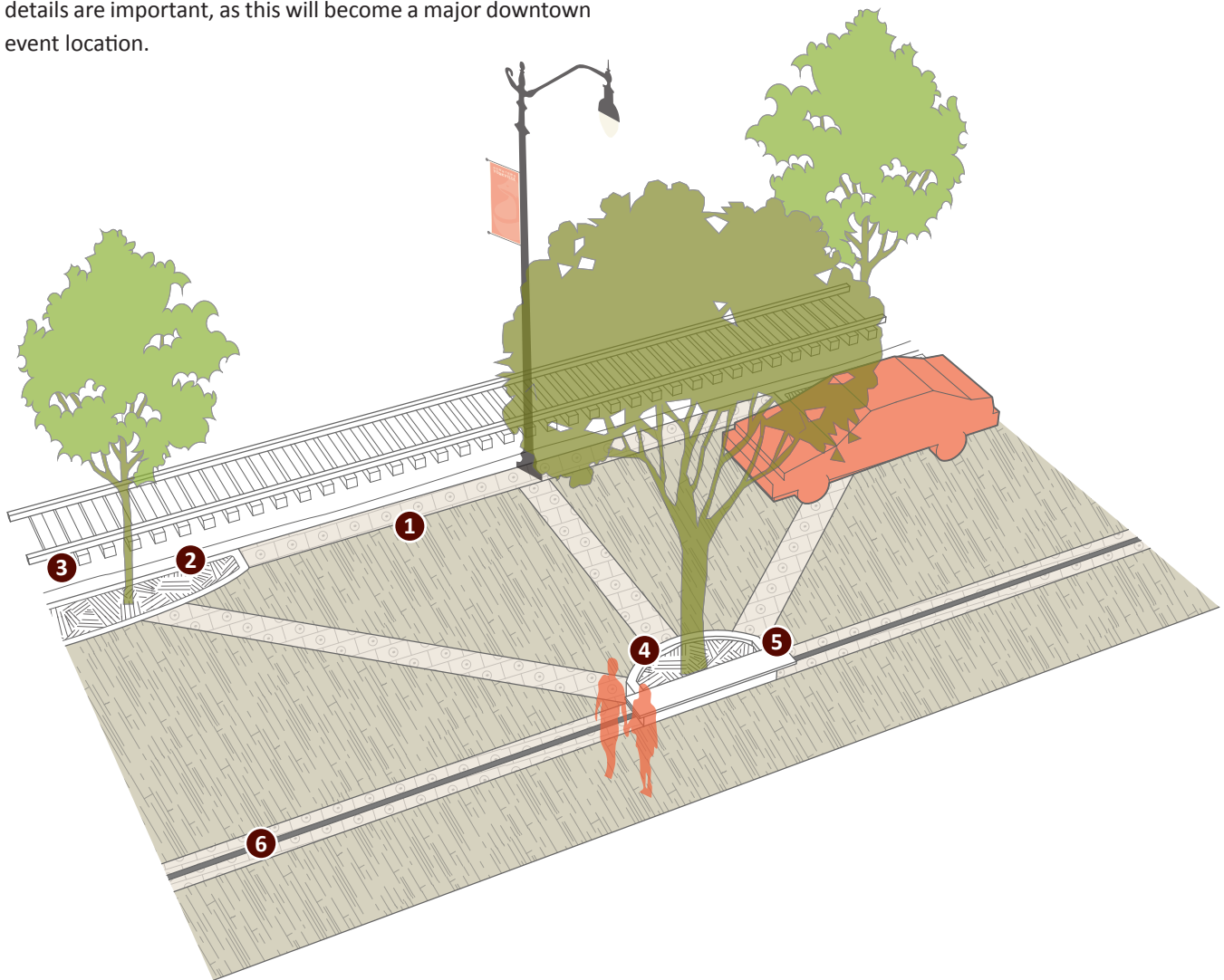


Figure 26 - Hydraulic Street Diagram (Farr Associates)

Material Contrast

Subtle paving details, such as a change in material, texture, or orientation, contribute interest to the pedestrian environment. Minor variations can help make a design unique to a specific location and help brand the place. Paving details may be used to delineate where vehicles are allowed to drive or park. These variations may help inform the location of custom street furniture, emphasize locations for tree plantings and signage locations, or simply add aesthetic appeal.

Street to Woonerf Transition

Shared streets typically have vehicular travel routes and parking at the same elevation as a sidewalk. This means that the street section will not have its typical curb and gutter condition and will also need to reconcile where a regular street meets the woonerf. Raised intersections and crosswalks commonly feature short ramp transition zones to raise travel lanes to the desired shared height. The transition zones can also help alert drivers that they are entering a special area and a heightened awareness for pedestrians is necessary.

Planter Seating Ledge

A custom street design can include custom street planters and seating. In the instance of a shared street, raised planters made of a durable material could house low plantings and street trees; accommodate one or multiple built in seating ledges; and play a role in vehicular circulation by delineating the travel lanes, narrowing travel lanes to encourage slower travel speeds, or creating chicanes that slow-traffic to a greater degree.



Figure 27 - Paving Texture Change (Site Design Group)



Figure 28 - Raised Intersection (NACTO)



Figure 29 - Planter Seating Ledge (Transform KC)

Van Emmon Street (Existing)

Downtown's Second Gateway

Traveling east from downtown Yorkville, Van Emmon Street eventually becomes Van Emmon Road and meets Route 71, which connects Yorkville with Oswego. Van Emmon Street acts as the second gateway into downtown, particularly at its intersection with Bridge Street. Recently, buildings have been torn down along Van Emmon Street and the expectation of future redevelopment is not unreasonable.

The approach traveling west into downtown along Van Emmon does not best represent Yorkville. Vegetation overgrowth between Mill Street and Heustis Street; an imbalanced street section of residential buildings with parking in front; a concrete retaining wall; and multiple “missing teeth” in the urban fabric leave much to be desired. Additionally, the intersection of Van Emmon Street and Bridge Street is not particularly inspiring, as each corner does not activate the intersection. Businesses are making an effort at providing visible programming at the intersection, but improvements are needed to establish the cohesive image the downtown Yorkville deserves.

Van Emmon Street west of Bridge Street has a different character. It generally becomes more residential after the first half block. Naturally, the street section abruptly adjusts as it enters the neighborhood.



Figure 30 - View West Down Van Emmon Street (Google)



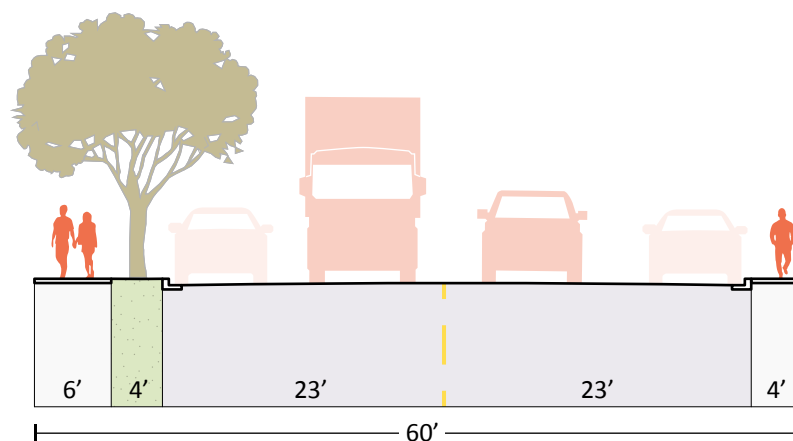
Figure 31 - View West Down Van Emmon Street (Google)



Figure 32 - View West Down Van Emmon Street (Google)



Van Emmon Street (Existing)



Van Emmon Street (Near-Term)

Tactical Interventions

Interventions should be focused at the intersection of Van Emmon Street and Bridge Street. Businesses on either side of the intersection are already considering providing outdoor seating options, which would add visible energy to the downtown when approaching from the south. This is a positive direction and can be amplified with the removal of parking spaces to construct a temporary or permanent parklet, providing a canopy or other form of weather protection, or introducing outdoor space heaters to extend seating months.

This intersection is also the primary crossing for pedestrians and vehicles moving between the east and west sides of Bridge Street due to traffic signalization and pedestrian crossing indicators. Painting the crosswalk and intersection would be an opportunity to brand downtown, enhance safety and visibility for crossing pedestrians, and draw attention to its businesses.

In addition to intersection treatments, the southwest corner of the intersection could be used for signage that greets residents and visitors traveling into downtown. Plans are already underway to improve the County Courthouse slope.

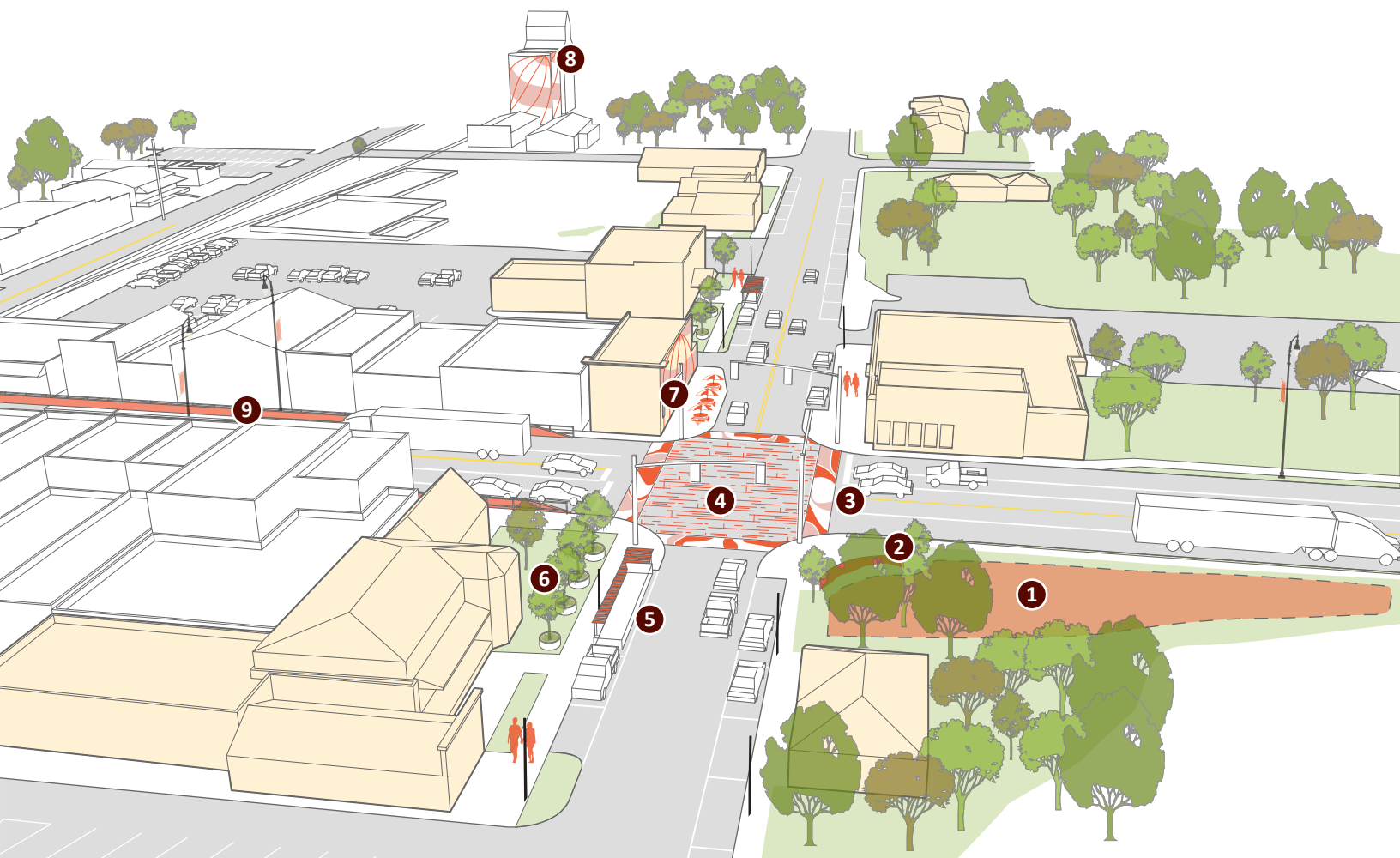
- ① County Courthouse Landscape Beautification
- ② Gateway Monument Signage
- ③ Painted Crosswalks
- ④ Painted Intersection
- ⑤ Parklet
- ⑥ Temporary Street Trees
- ⑦ Outdoor Seating
- ⑧ Painted Grain Elevator
- ⑨ Painted Bridge Street Barrier/Railing



Figure 33 - Landscape Beautification (Cedrus Landscaping)



Figure 34 - Painted Grain Elevator (News OK)



Van Emmon Street (Near-Term)



Figure 35 - Temporary Street Trees (ASLA)



Figure 36 - Painted Crosswalk (Broward Palm Beach)

Van Emmon Street (Long-Term)

Greeting Visitors with Beauty

Van Emmon Street should be beautiful to establish a first impression to visitors, particularly east of Bridge Street. The mix of topography and building forms can be challenging when the desired outcome is a pleasant street; however, the asymmetry can be accommodated through careful design considerations.

A primary consideration should include where stormwater is flowing. With elevated parcels on the south edge of Van Emmon Street, surface water will flow towards the street and sidewalk. Utilizing rain gardens that temporarily store rainwater before discharge or percolation and/or using permeable pavers that allow water to dissipate through the parking surface, are ways to accommodate the increased runoff. Also helping with stormwater, street trees should be planted on either side of the approach from the east to create a block long gateway when driving into Yorkville from Oswego.

Downtown branding elements, such as seasonal banners and wayfinding signage, can add to the cohesion of downtown. The historic Kendall County Courthouse slope can act as a gateway feature incorporating signage, or some other built element, to establish a four-sided Van Emmon and Bridge Street intersect. These improvements could be completed in the near-term with the expectation that they would remain as other capital improvements take place.



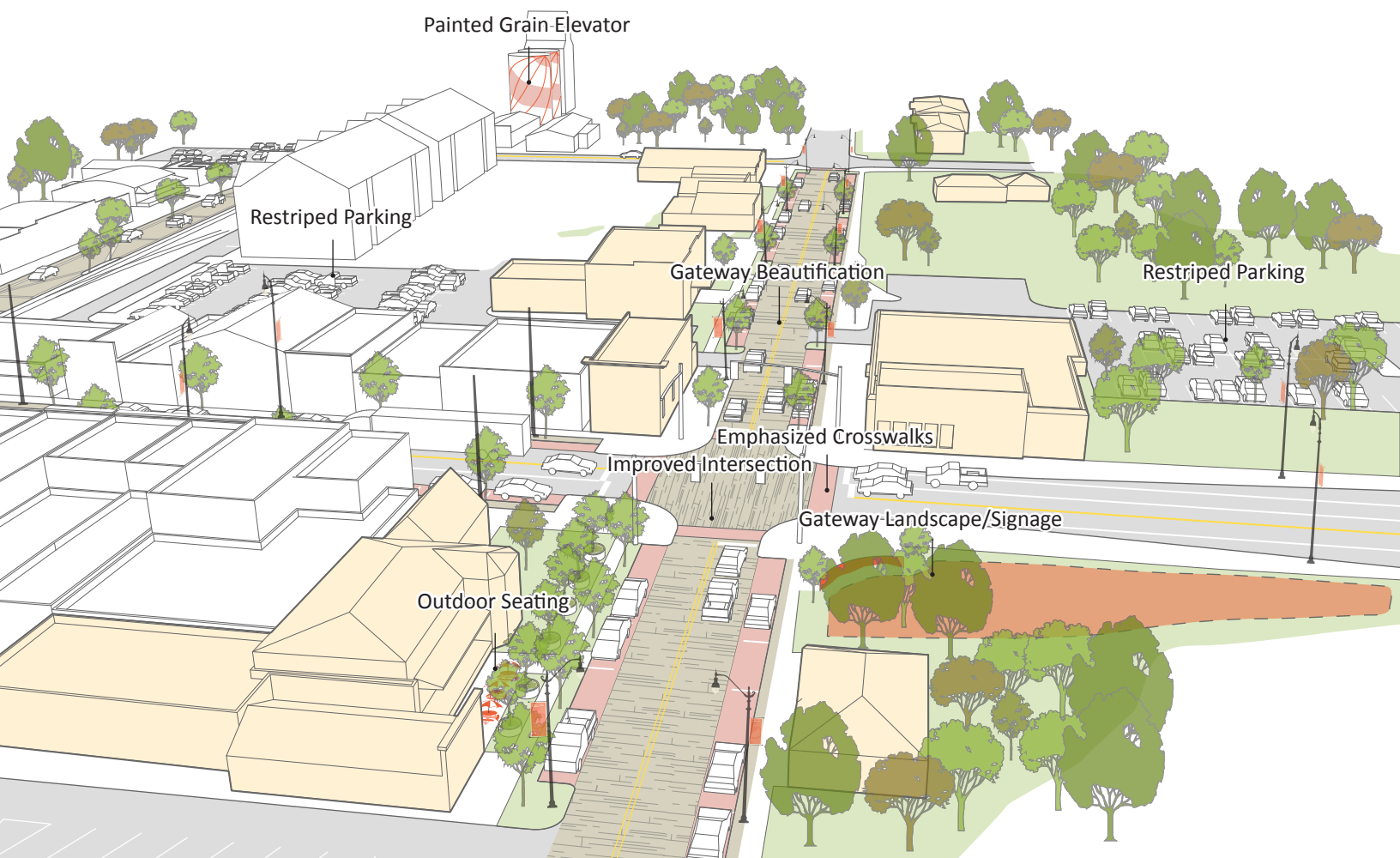
Figure 37 - Stormwater Streetscape (novitalas.com)



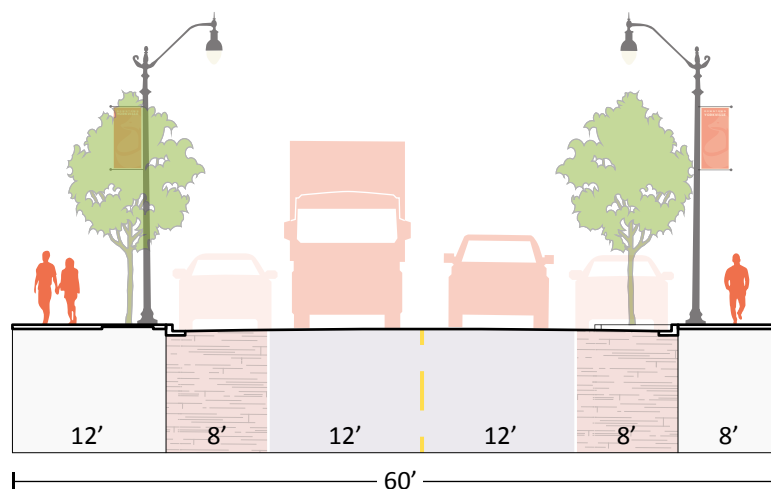
Figure 38 - Intersection Improvements (PicSnaper)



Figure 39 - Permeable Parking Pavers (Village of Shorewood)



Van Emmon Street (Long-Term)



Stormwater Bulb-Outs

Bulb-outs typically narrow roadways to direct traffic, slow speeds down, expand the sidewalk, or simply accommodate plantings. Integrating bulb-outs that also perform stormwater management functions, would be an attractive design feature along Van Emmon Street. Bulb-out curbs should be slotted, or notched with openings, to allow surface stormwater to enter and exit the planting zone of the bulb-out.



Figure 40 - Stormwater Bulb-Out (Toni Best)

Sidewalk Rain Gardens

Stormwater rain gardens could be used to improve runoff quality and provide detention for significant storm events. Like bulb-outs, they can accommodate a variety of planting types and should have inlets allowing water to flow in and out from the street. Trees and a variety of plantings that provide color and texture would add to the beautification of Van Emmon Street.



Figure 41 - Rain Garden (Vava)

Permeable Parking Pavers

Tying designs back to other streets within downtown, Van Emmon Street could feature open grid permeable pavers that both define the parking areas and increase stormwater capacity. Coordinating pavers between Van Emmon Street, Hydraulic Street, and any other location they are used in the greater downtown would support a cohesive design and branding language.



Figure 42 - Permeable Pavers (Terran Capital)

Sustainable Street Section

Van Emmon Street can represent Yorkville's demonstration of a sustainable street section. The right-of-way width provides plenty of flexibility for a two-lane street. Additionally, the asymmetrical street section that has a higher elevation on one side is an ideal candidate to display sustainable stormwater strategies.

- ❶ Slotted Curbs
- ❷ Stormwater Bulb-Out Planter
- ❸ Parallel Parking
- ❹ Rain Garden Planter
- ❺ Permeable Pavers

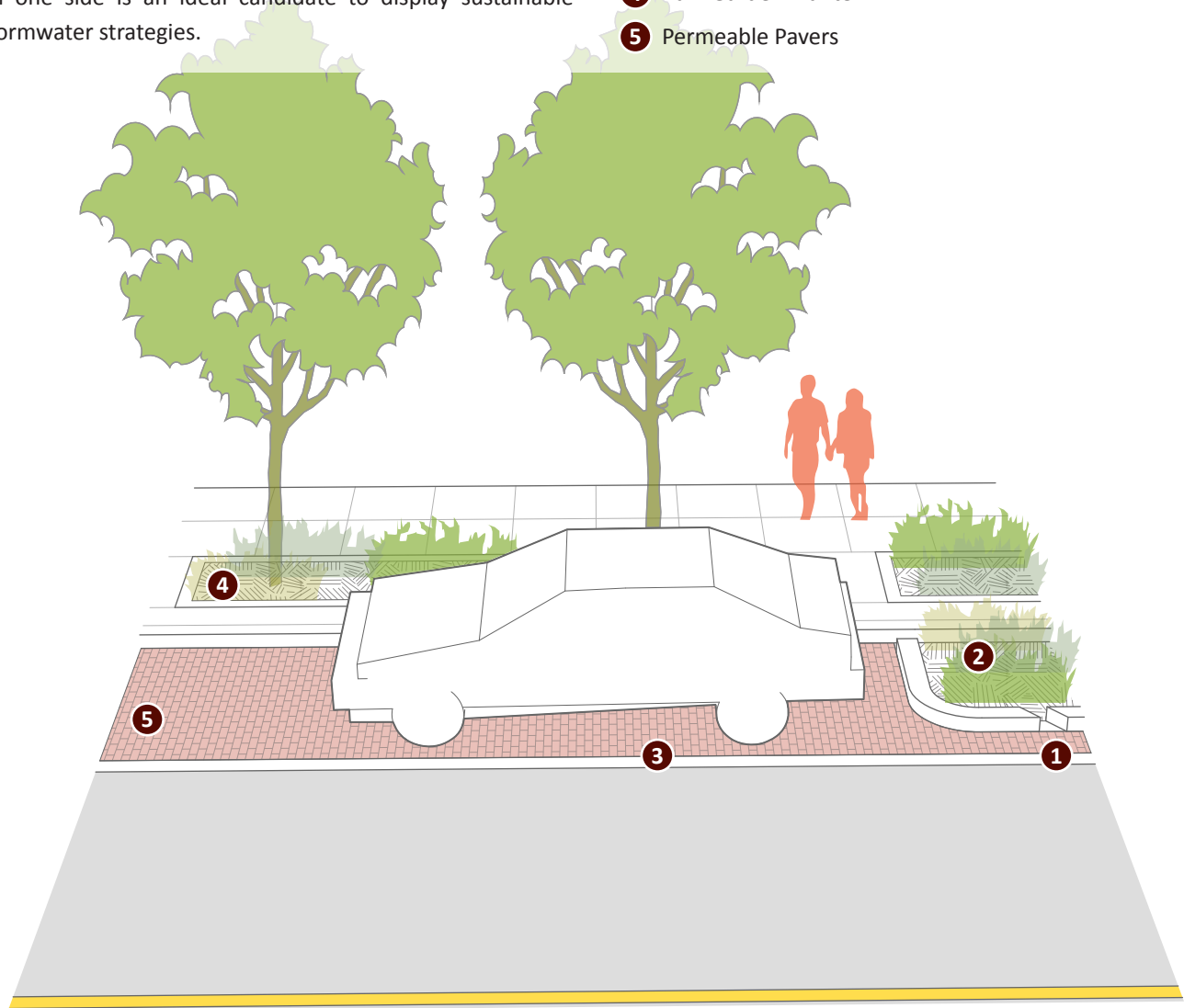


Figure 43 - Van Emmon Street Diagram (Farr Associates)

'B' Street (Existing)

Small-Town Character

One of the most charming aspects of Yorkville, is the historic, small-town character inherent in the City's streets and buildings. These streets may have narrow or no sidewalks, are often curbless, and exhibit a casual feel that may slightly change between each individual property. Many of these streets are both the front door and driveway access to homes and buildings. These types of streets that serve buildings through parking and service access are vital to the functionality of the neighborhoods.

Around downtown the north/south streets that run parallel with Bridge Street act as 'B' Streets. These streets that feature a small-town character should continue to support the downtown uses, as well as provide a framework for future development to take place.

Because future development will likely be limited, to an extent, and single-family homes exist immediately adjacent to the downtown blocks, the 'B' Streets should maintain a small-town character that aligns with many future uses but does not negatively affect existing single-family homes.



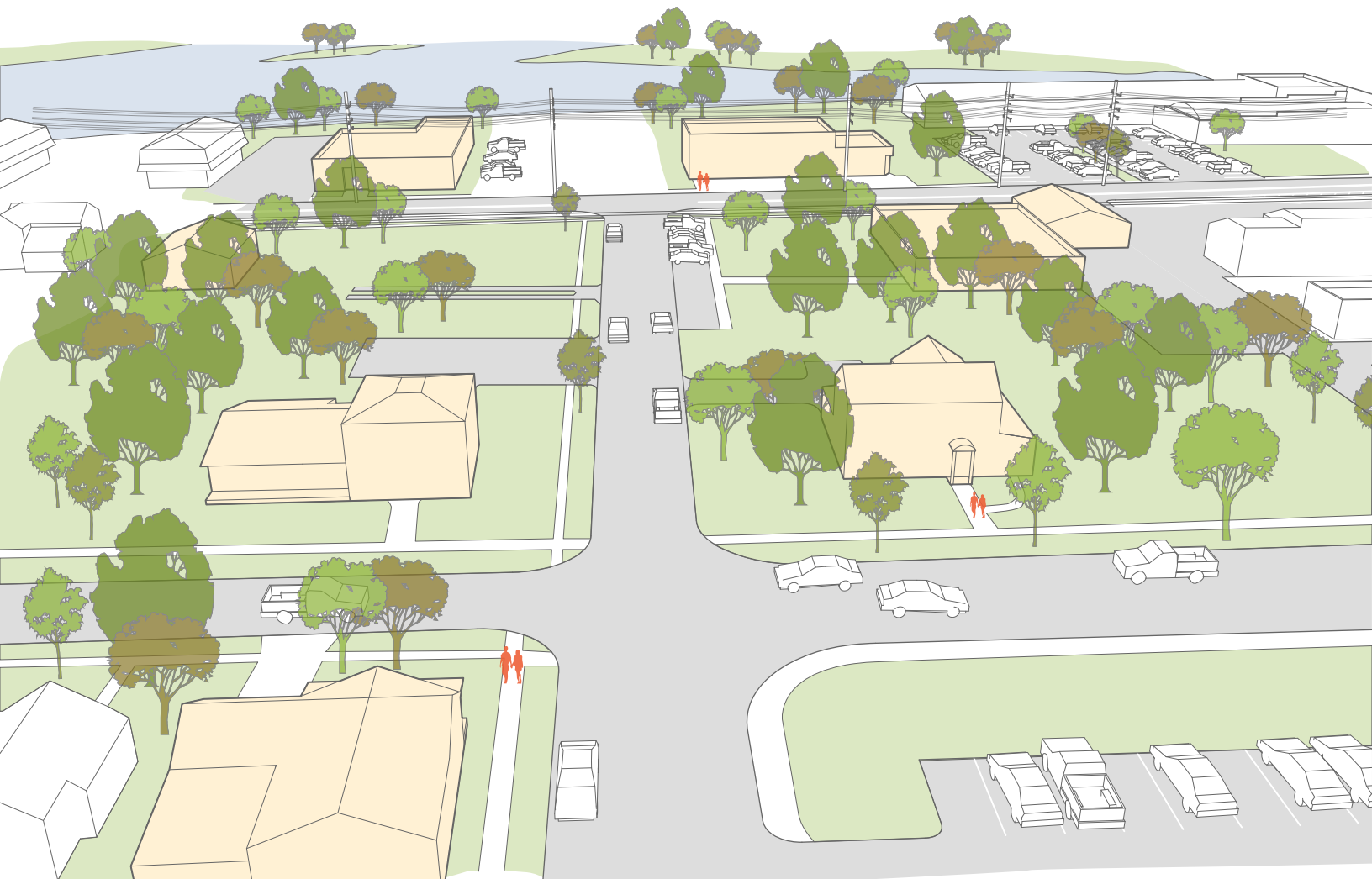
Figure 44 - View North Down Main Street (Google)



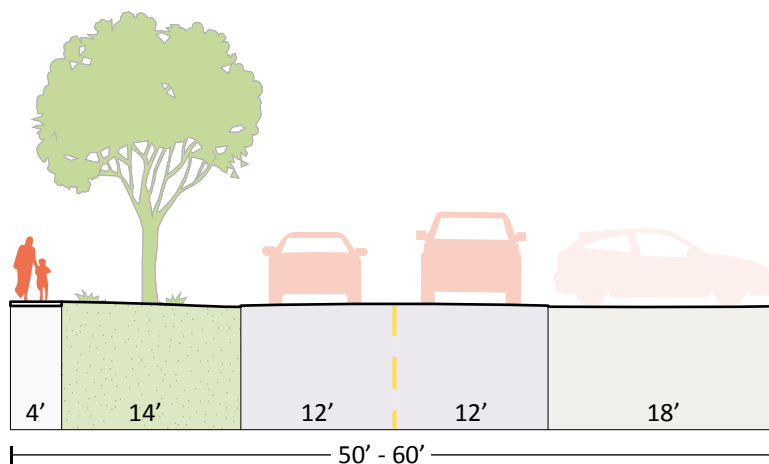
Figure 45 - View North Down Main Street (Google)



Figure 46 - View North Down Main Street (Google)



'B' Street (Existing)



'B' Street (Near-Term)

Tactical Interventions

The 'B' Streets should be less of an investment priority. They receive less of the pedestrian and vehicular traffic compared to Bridge Street, Hydraulic Street, and Van Emmon Street. It is important that they play a supporting role, but resource allocation should be minimal.

Ensuring sidewalk continuity and basic maintenance should be the City's top priority. Having overgrown landscape shoulders, missing and poorly maintained portions of the sidewalks, and poor road surfacing are examples of issues that should be addressed. Downtown's 'B' Streets should be eligible for resurfacing and landscape maintenance.

One unique aspect of downtown's 'B' Streets, which primarily run north/south, is how they terminate into the Fox River. Each of these moments where drivers and pedestrians can look down the street and have a visual connection to the river is an opportunity that should be taken advantage of by implementing such measures as prohibiting parking, providing an active or focal point of interest, and trimming back overgrown vegetation to reveal the water.

- ❶ Added Crosswalks Towards River
- ❷ Roadside Swale Improvements
- ❸ Additional Street Trees
- ❹ River Access Signage
- ❺ Public Art/Sculpture at Main Street Terminus
- ❻ Trim Vegetation for View Towards Water



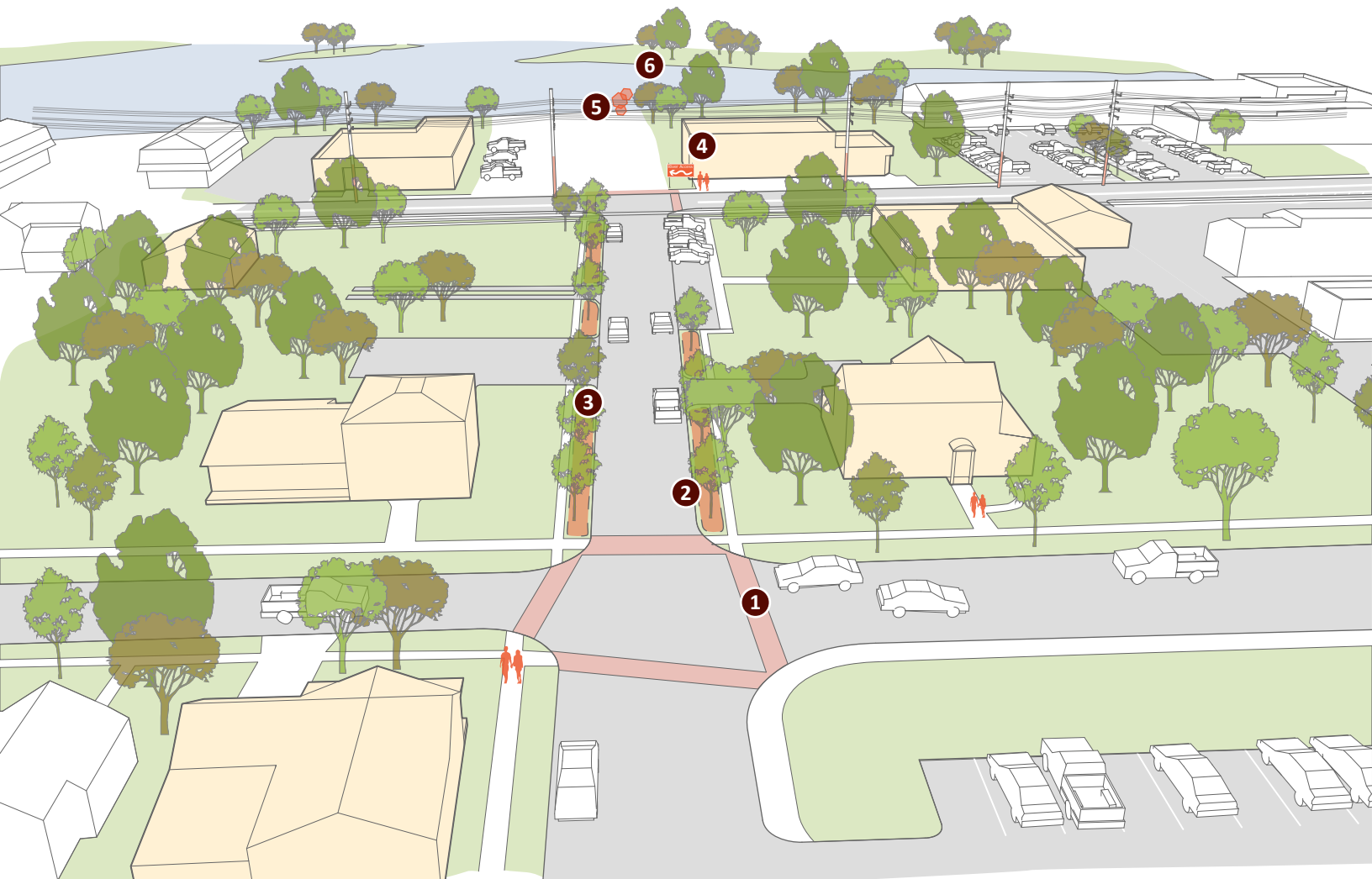
Figure 47 - River Access Signage (Google)



Figure 48 - Road Resurfacing (Decatur Daily)



Figure 49 - View Towards Water (Google)



'B' Street (Near-Term)



Figure 50 - Basic Roadside Swale (NACTO)

'B' Street (Long-Term)

Redefining Small Town Streets

As streets are rebuilt to support a changing downtown, it will remain important to minimize impact on the pleasant, historic character of the surrounding neighborhood. Careful design consideration to not over-correct the 'B' Streets should be maintained. Community members have expressed how they value the small-town character that brought many of them to Yorkville, or kept them there, in the first place.

Roadside swales can be used to both direct and detain stormwater. Plantings can include a mixture of City contributions and resident contributions. This will allow the property owner to make some customizations to the extension of their front lawn. For example, small wooden bridges might connect the street with the sidewalk to their front door. These small customizations add to the character that already exists.

Small details can make these streets more attractive, such as having a curbless intersection that allows stormwater runoff to enter the roadside swales. The edge of the street pavement can be a gravel transition that delineates between travel lane and shoulder. Trees could be planted irregularly or even provided by the property owners from an approved landscape palette. Sidewalks should be narrow, but continuous to have minimal impact while providing maximum connectivity.



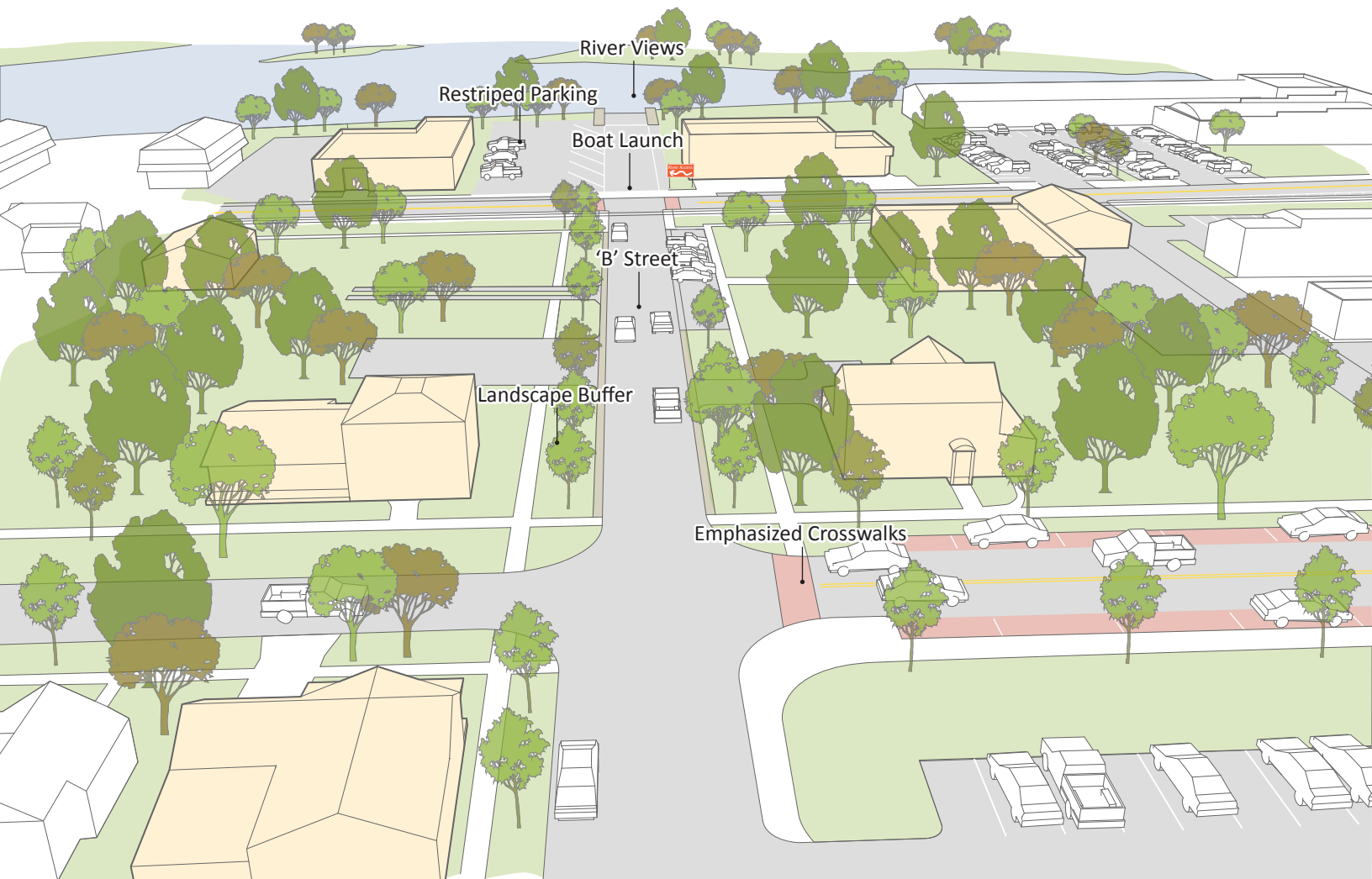
Figure 51 - Roadside Swale (Green Infrastructure Digest)



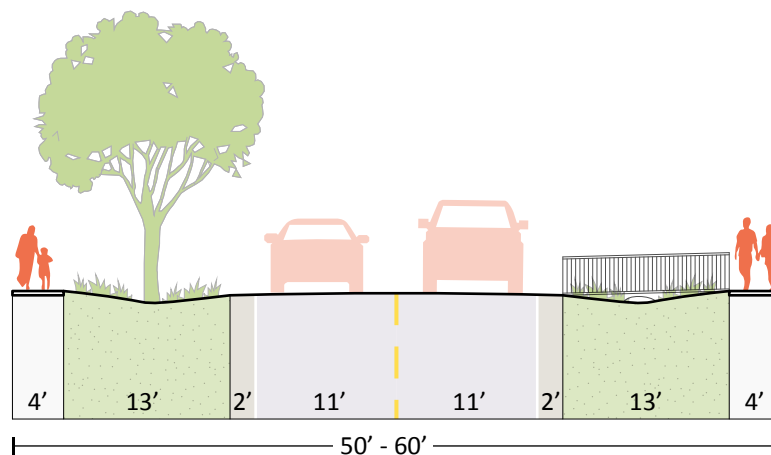
Figure 52 - Roadside Swale (Mithun)



Figure 53 - Roadside Swale (IPFS)



'B' Street (Long-Term)



Concrete Curb Ribbon Apron

Curbless streets often become unkempt with grass, weeds and dirt loosely defining the edge between roadway and shoulder. To maintain visual tidiness, a 18"-24" concrete curb ribbon may be used to transition from roadway to landscape. This straight curb type is often used along roads to prevent vehicles from crossing over into a pedestrian walkway or any outdoor landscaped area and provides a barrier between the roadway and amenity zone.

Roadside Swales

Fitting with the character, roadside swales are often seen along rural or small-town streets or highways. They can take many forms and be aesthetically pleasing or simply utilitarian. They help detain and direct stormwater runoff from the roadway and provide a layer of buffer between sidewalk and street. Swales can be personalized by adjacent property owners or fully planted and maintained by the City.

Over-Swale Pedestrian Bridges

Small pedestrian bridges can connect the street to sidewalk at each property. Each can take on a slightly different design language or be required to adhere to set design guidelines. These bridges could be a unique contribution to a 'B' Street that features minimal design qualities.



Figure 54 - Rolled Concrete Apron (Specify Concrete)



Figure 55 - Personalized Swale (City of Seattle)



Figure 56 - Bridge Over Swale (Chesapeake Dock)

Maintaining Small Town Charm

Each component from street, to swale, to narrow residential sidewalk works together to maintain a small town feel. No improvements should look over-engineered or oversized on Yorkville's quaint neighborhood streets. These 'B' Streets should feel like a place where kids can play in the street and parents can take a quiet nighttime stroll.

- 1 Resurfaced Travel Lane
- 2 Flood Tolerant Street Trees
- 3 Continuous Swale Along N/S Streets
- 4 Bridge Over Swale
- 5 Private Property
- 6 Concrete Curb Ribbon Apron

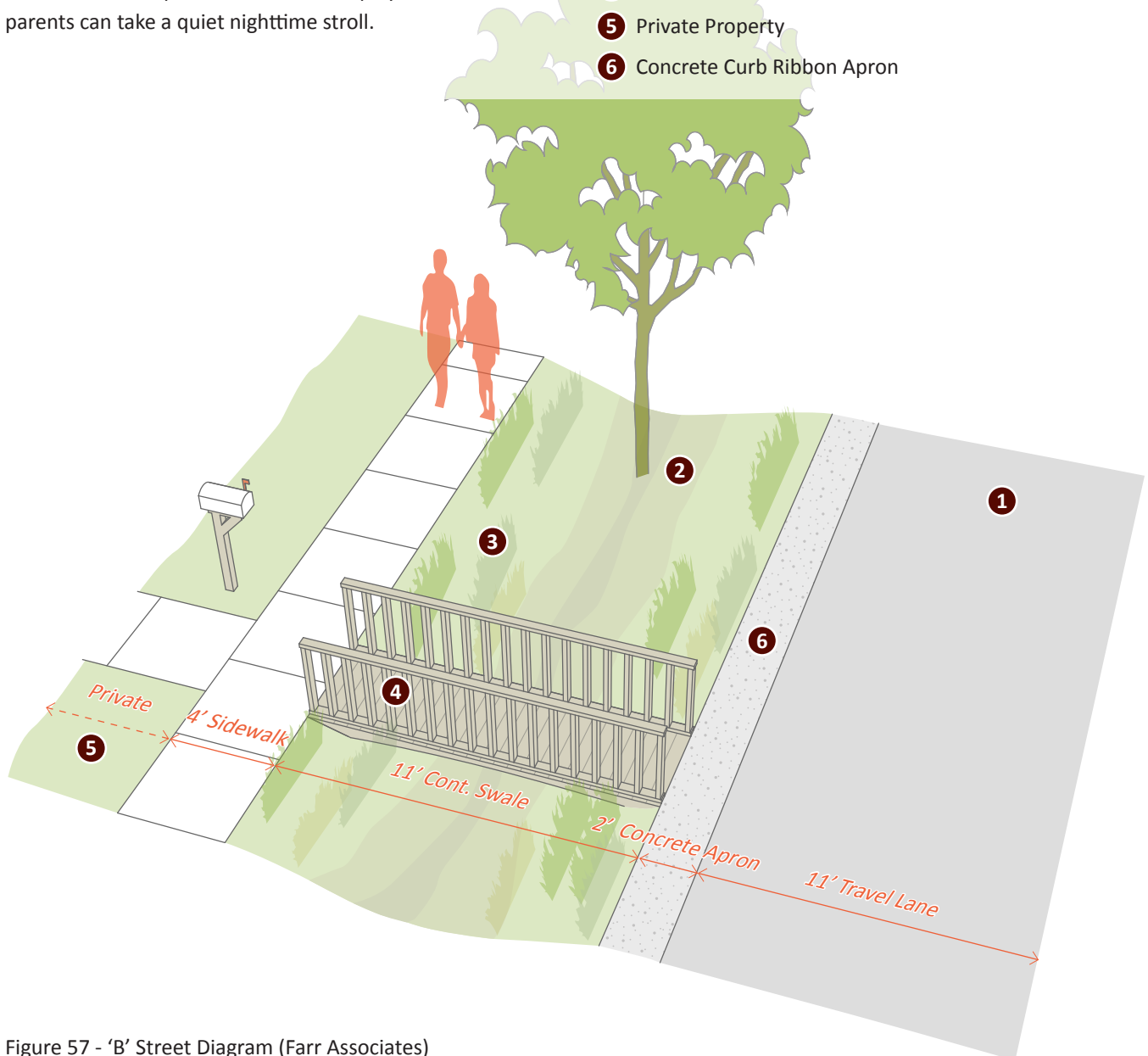


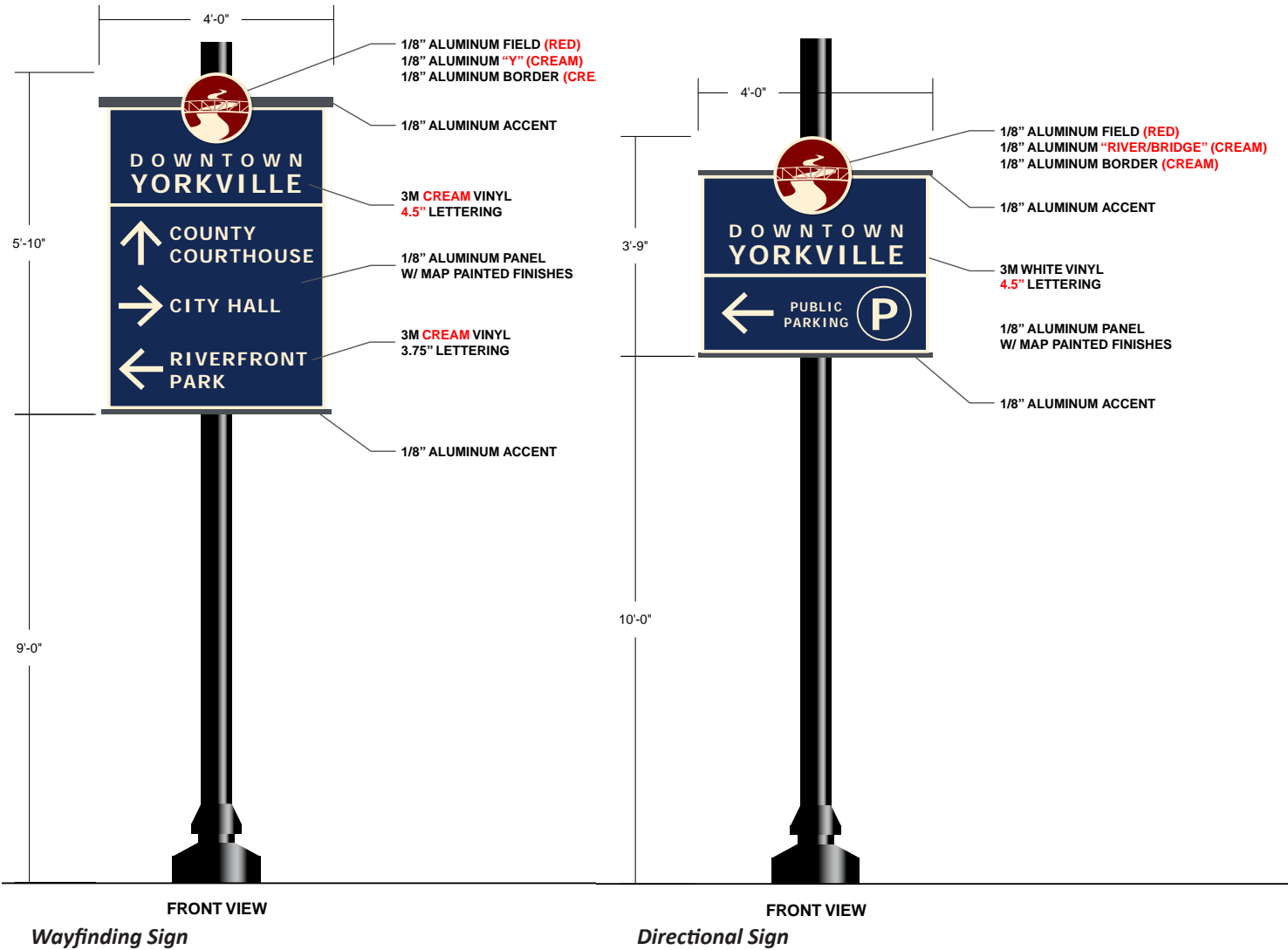
Figure 57 - 'B' Street Diagram (Farr Associates)

Downtown Signage and Wayfinding

Cohesive Downtown Signage

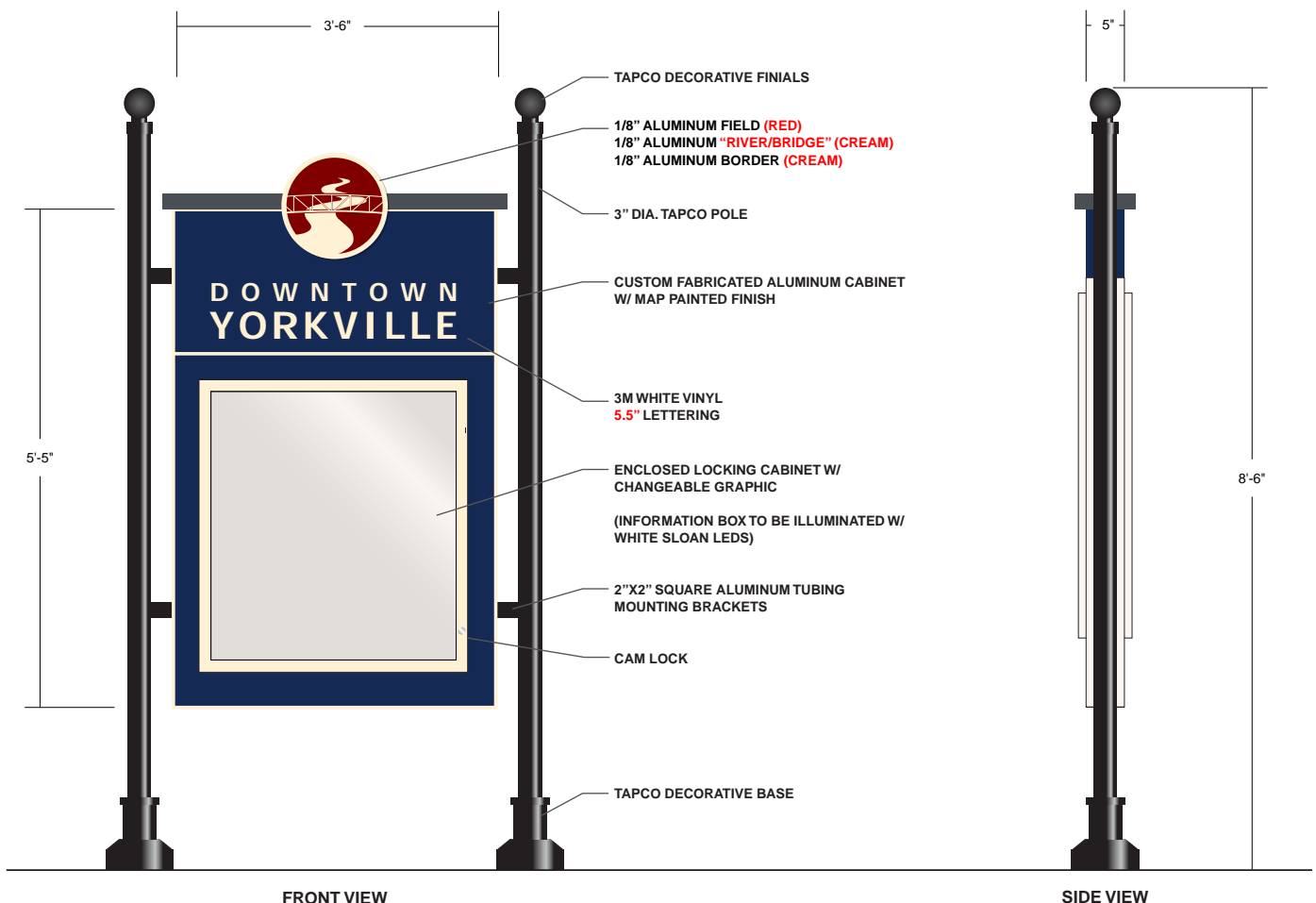
Effectively navigating downtown is one of the major elements to be improved. For example, there is currently sufficient parking to accommodate patrons of the downtown uses; however, that parking is dispersed unevenly throughout downtown and is difficult to locate unless you are familiar with the area. Situations, such as no left turns allowed at the Bridge Street and Hydraulic Street intersection, make it difficult to navigate if a turn is missed and an opportunity to redirect is not obvious.

One way to help alleviate this problem is through providing downtown signage. This signage can make a statement and solidify a cohesive brand and image for the area as a whole. From signage to banners or emblems, consistent, beautiful signage shows visitors that the city cares about providing an inviting user experience.





Seasonal Banners



Information Kiosk

Downtown Wayfinding

Starting with three different wayfinding sign types: (1) an informational kiosk; (2) pole mounted directional signage; and (3) branded wayfinding signage; Yorkville can make a near-term impact on how users navigate the area.

Informational kiosks can house either rotating or stationary content, such as maps, historic markers, or recreational programming. Maps can help pedestrians identify where they are in relation to other nearby destinations and help them discover new places to explore. These kiosks will be sidewalk mounted and cater to the pedestrian over vehicles.

Directional signage is most effectively mounted on the existing light poles in locations that help drivers know when to turn for parking or riverfront access. The directional signage should have a specific purpose of getting someone from point A to point B. Though these signs should be pole mounted and high enough to be visible for passing cars, they should also be easily visible to pedestrians.

As with each type of sign, wayfinding signage should be both branded and informative, letting users know that they are located in the proper area or neighborhood and provide markers for points of interest. Points of interest within downtown Yorkville may include specific restaurants, the historic Kendall County Courthouse, County offices, Bicentennial Riverfront Park, and public parking lots.



Figure 58 - Informational Kiosk (Trans Associates)



Figure 59 - Directional Signage (Flickr)



Figure 60 - Branded Wayfinding Signage (Google)



Downtown Signage



Lighting Strategies

Implement Lighting Best Practices

Lighting is a key component of walkability, as it lends itself to creating a more safe environment for pedestrians. There are several streets where street lighting exists, but the lighting is inconsistent and is not always human-scaled. Lighting in the downtown can serve multiple functions, including branding the area, creating more vibrancy, and increasing safe conditions for residents and visitors. The increase and consistency of lighting gives people a sense of street character and trust of what is to come, and encourages walking and biking.

Nancy Clanton of Clanton & Associates has provided lighting best-practices for municipalities by creating some “dos and don’ts” for street and facade lighting. In general, well-designed lighting strategies should not only light the area, but take into account all view angles while creating a beautiful ambiance without glare and annoyance. The list on page 45 expands on Nancy Clanton’s strategies.

High color temperature (CCT) light sources have the highest concentration of blue light. Many municipalities are limiting the CCT of their street and pedestrian lighting to 3000K or less which is similar to the color of the setting sun. Dimming or turning off lighting is another strategy to reduce over-lighting an area.

Ideally, light sources should change color over the course of the evening and into the late night. Blue light will enhance visibility during the rush hour, but as vehicular and pedestrian traffic decreases at night, the spectrum can minimize blue light and switch to the red range.



Figure 61 - Street Lighting “Do” (American City and County)



Figure 62 - Building Lighting “Do” (Houzz)



Figure 63 - Public Space Lighting “Do” (Google)



Figure 64 - Street Lighting “Don’t” (Farr Associates)



Figure 65 - Building Lighting “Don’t” (Farr Associates)



Figure 66 - Public Space Lighting “Don’t” (Google)

Lighting “Dos”

Street Lighting

- Light sidewalks and streets appropriately for the neighborhood and explicitly where needed
- Use low-glare streetlights
- Minimize uplight of all kinds (cobra lights, etc.)

Building Lighting

- Mount light at the top of facades and aim inward
- Emphasize architectural features such as columns and arches using beam distributions
- Use warm-colored, dim light

Public Space Lighting

- Define the space with lighting of a consistent type and brightness
- Dimly light the features where people gather: seating areas, outdoor dining, public parks and plazas

Lighting “Don’ts”

Street Lighting

- Use streetlights to light yards and private property
- Overlight
- Use high-glare streetlights

Building Lighting

- Aim across a visual path with a floodlight
- Aim up a façade
- Overlight
- Select glaring luminaries

Public Space Lighting

- Light individual elements unless they are features
- Flood the public space with heavy lighting
- Appear messy and unorganized
- Include multiple types of lighting accomplishing the same goal

Stormwater Management

Green Infrastructure

It is widely understood that stormwater runoff from roofs, pavement, and other urban surfaces are contributing to water body degradation and flooding. Minimizing this impact, particularly in urban contexts, is often difficult because of the amount of land dedicated to dense buildings, supportive surface parking lots, and wide streets with generous sidewalks; however, there are strategies to accommodate both the urban and green infrastructure solutions.

Yorkville has been a settlement for a long time - even longer than many other cities and villages in the greater Chicago area. The Fox River was the main reason for locating Yorkville where it is today, so taking measures to preserve the water quality, beauty, and function of the river should be a priority. The City has old stormwater infrastructure, so removing some of the burden would help to lengthen its useful life. As capital improvements occur, there is an opportunity to do two things: 1) updated the stormwater infrastructure and 2) construct green infrastructure in the public rights-of-way to reduce potential negative impacts of storm surges and surface runoff degradation the Fox River. Strategies such as rain gardens, bioswales on the sloped streets, or even green roofs could all contribute to beauty and utility.

Signage Encouraging Awareness

Green infrastructure is not familiar to everyone, so these can be excellent educational opportunities for the public. Signage and story-telling of why the City is placing rain gardens next to sidewalks and bioswales cascading down slopes could encourage residents to invest in doing the same on their properties. Additionally, the City could incentivize rain gardens or rain water cisterns for private residences to minimize negative impacts on natural resources and reduce flooding.



Figure 67 - Residential Rain Garden (Metro Blooms)



Figure 68 - Rain Garden Off Curbless Street (Prairie Rivers)



Figure 69 - Rain Garden Signage (City of Springfield, MO)



Figure 70 - Pervious Pavers (Techniseal)



Figure 71 - Pervious Pavers (MWMO)



Figure 72 - Paver Laying Machine (Detroit News)

Pervious Pavement

Permeable paving products, such as porous asphalt and concrete, as well as permeable pavers allow water to pass through the surface and into a stone storage layer below.

The water stored in the stone layer either infiltrates into the soil below or is slowly released to a sewer or other drainage system to reduce stormwater runoff volumes and rates. Sediment, metals, and organic compounds are filtered and/or biologically treated as the runoff moves through and is stored in the system.

Properly designed permeable paving systems are applicable to both pedestrian and vehicular areas. Permeable paving should be avoided in the through lanes of high traffic areas (such as County and State highway routes) and areas of high sediment or other pollutant loading that could clog the system or overwhelm the system's ability to treat typical urban runoff pollutants.

Ideal locations for pervious pavement might be Hydraulic Street, parallel parking lanes, mid-block alleys, and surface parking lots.

Installing Pervious Pavers

Pavers appear laborious to lay down in large quantities, such as a street or sidewalk; however, technology advancements have bred paver laying machines that lay down entire swaths of pavers in one motion. This drastically minimizes installation times, but still provides that hand-laid, classic look that is often loved for its character. Pavers can be cost competitive to concrete, because of the external impact it has on sizing stormwater infrastructure systems.

Public Art and Sculpture

The Role of Public Art

Yorkville's current downtown does not compete well with some of the loved downtowns nearby, such as Oswego and Plainfield; however, it should not need to directly compete. Yorkville can distinguish itself with its own identity and unique character as a community. There are few better ways to do this than through public art.

First and foremost, public art is free. Anyone can experience and enjoy it. It also adds a layer of uniqueness when so many downtowns attempt to emulate each other and therefore lose some of their authenticity. There are plenty of opportunities for public art, from blank walls on the sides of buildings, to vacant parcels and parking lots, and even the grain elevator. Each can become a canvas for community expression.

The City should seek to commission works in addition to allowing community members to contribute pieces to the collection through interactive events for residents of all ages. When everyone can get involved, there is more of a sense of ownership over the end product. Public art is a medium to show visitors what Yorkville is all about.

Make it Interactive!

Not only can art be something to experience visually, but it can also be interactive. This can be done through sculptures that encourage climbing or provide a backdrop for a photograph. Art can cater to children and adults alike and should remain informal enough to fit into Yorkville's beloved small-town character.



Figure 73 - Wall Mural on Blank Wall (City of Missouri City)



Figure 74 - Interactive Sculpture (ISU College of Design)



Figure 75 - Temporary Installation (Playscapes)



Potential Public Art Locations

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Appendix

Supplemental Content

Context Scale Analysis Mapping	p. 52
Site Scale Analysis Mapping	p. 60
Website Survey Results	p. 68

Downtown Overlay

Context Scale

Downtown Overlay District

The Downtown Overlay District context scale includes both the defined downtown from the 2016 Comprehensive Plan and the immediate surrounding areas, which includes the north banks of the Fox River. The following series of analysis maps reveals that downtown Yorkville has a variety of commercial, industrial, and public land uses surrounded by primarily lower density single-family housing. The underlying zoning allows for a more intense development pattern than currently exists; therefore, downtown has potential to densify and redevelop to more intense land uses. With relatively high traffic counts along Bridge Street, downtown experiences crosstown traffic that makes it visible and accessible by pedestrians and vehicles, and it could take advantage of higher traffic through non-residential uses.

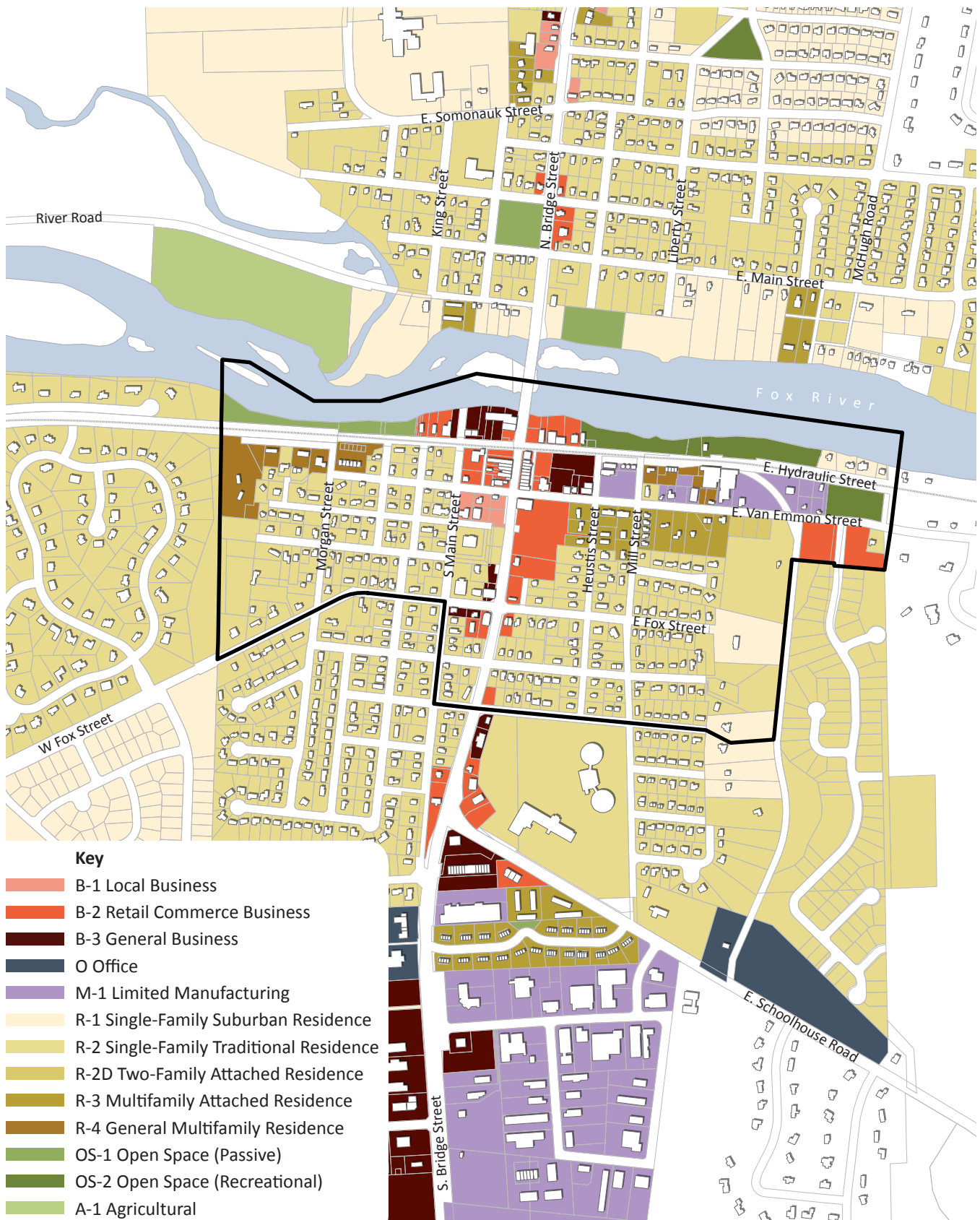
A TIF 1 and 2 are current and future strategies that seek to encourage reinvestment in the downtown. Though the TIF boundaries are not consistent with the downtown boundary defined in the map, it does include much of the downtown land and parcels along the Fox River. Parcels along the Fox River may be the most attractive to investors because of the views towards the river and access to recreation.

Investment in public space along the river has helped provide a destination for visitors and residents alike. Additionally, recreational bicycle facilities, trails, and connections to the greater trail system offer opportunities to improve quality of life and may become a catalyst for future real estate investment.



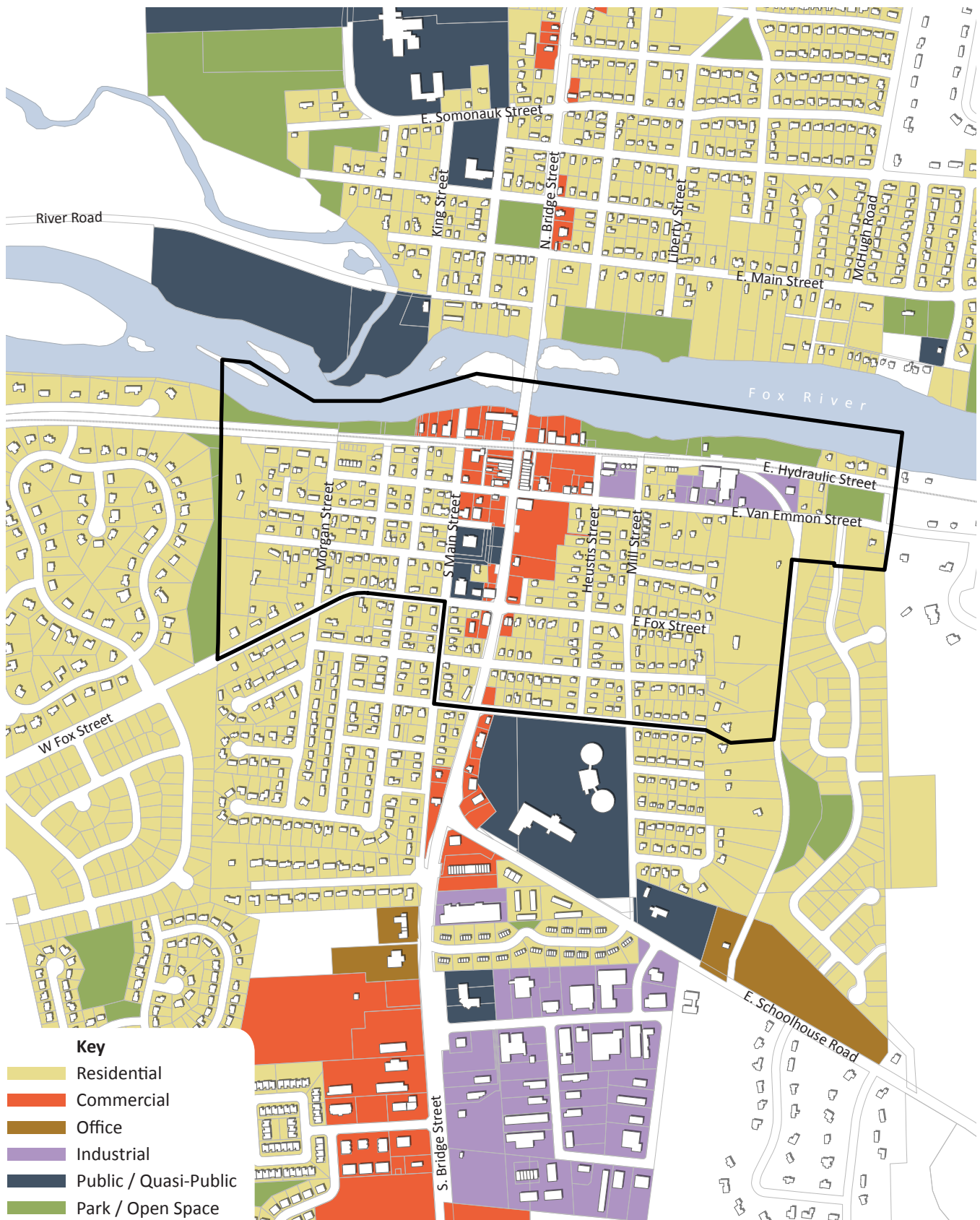
Area Scale Map (Aerial)





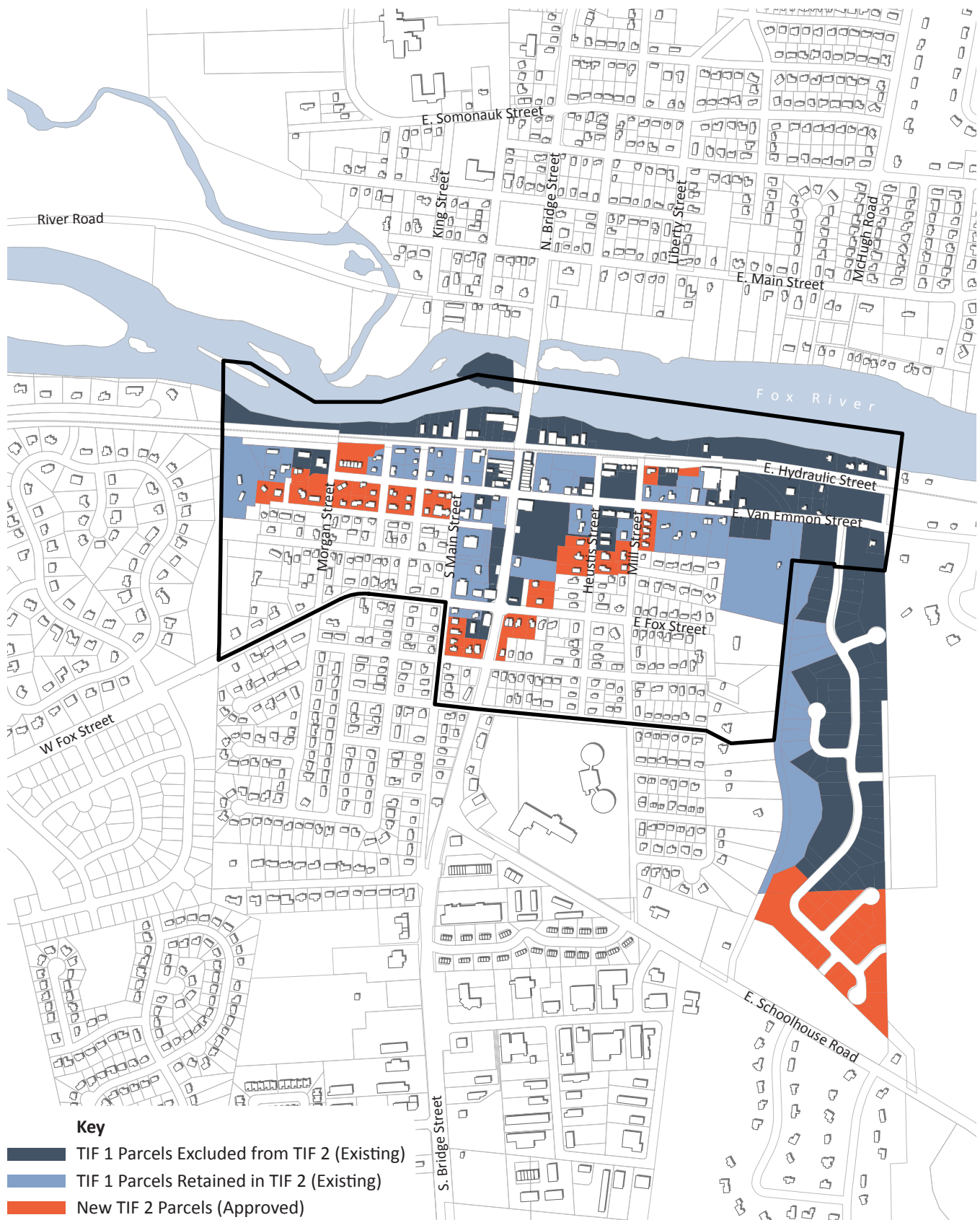
Existing Zoning Classifications

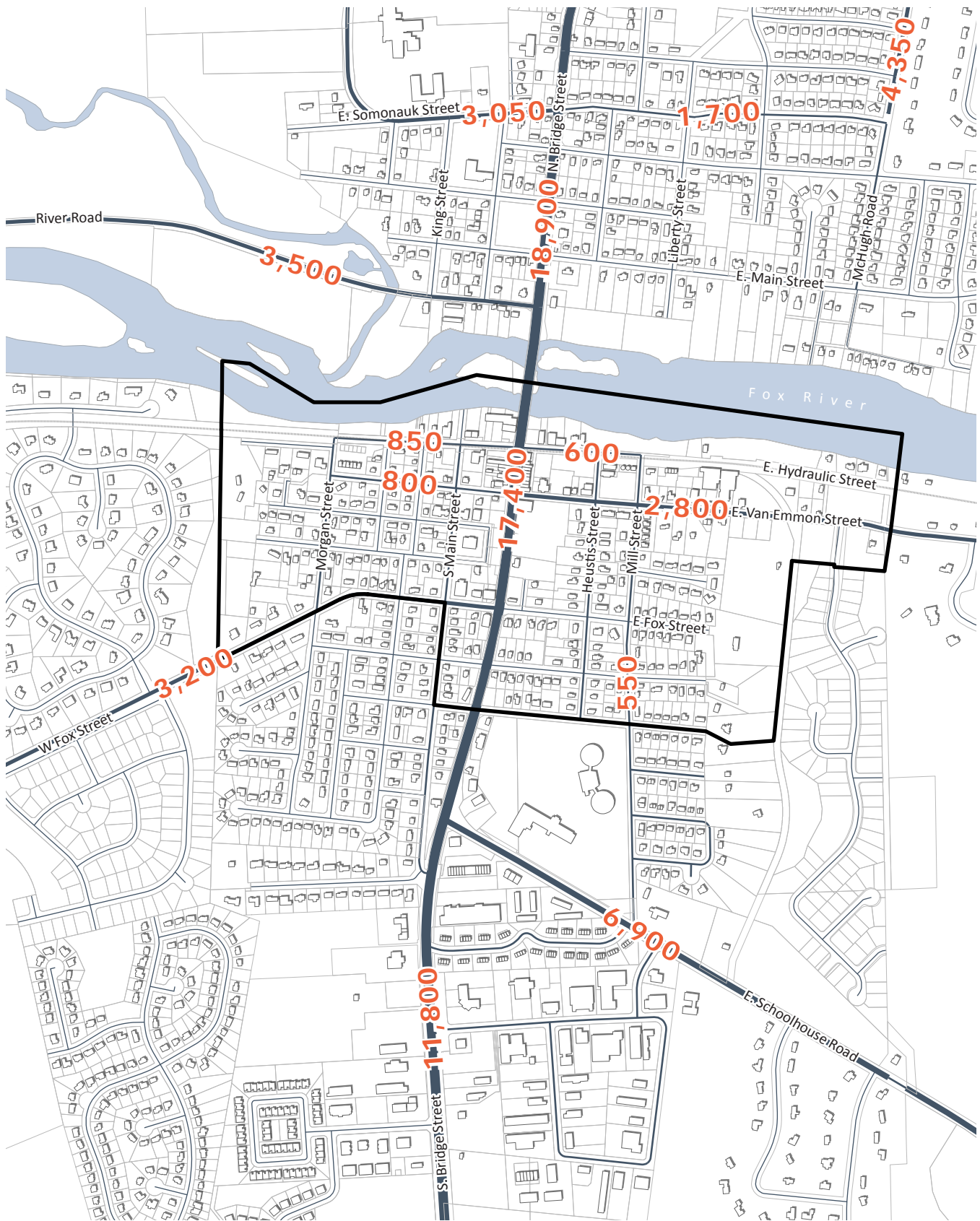




Existing Land Uses

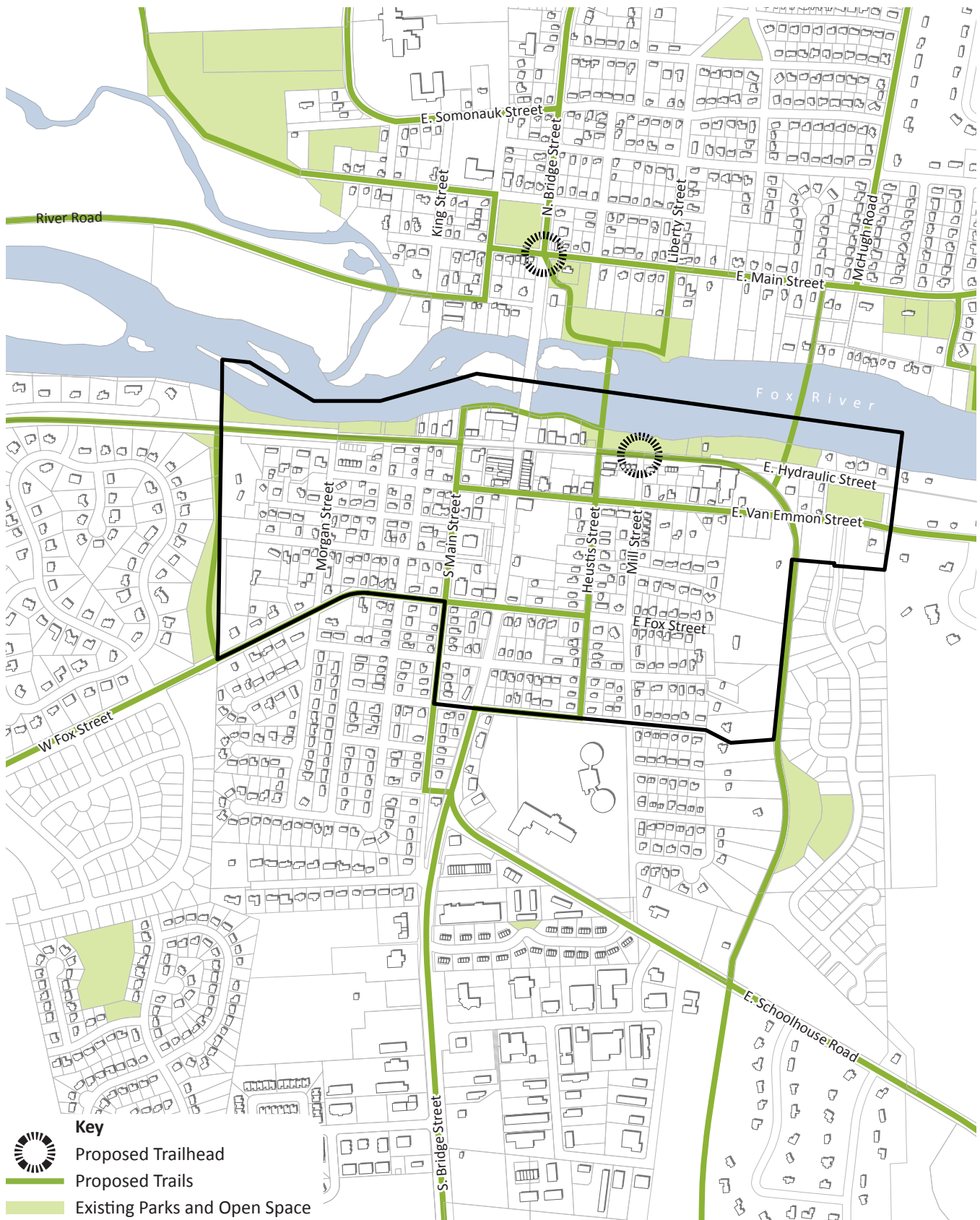




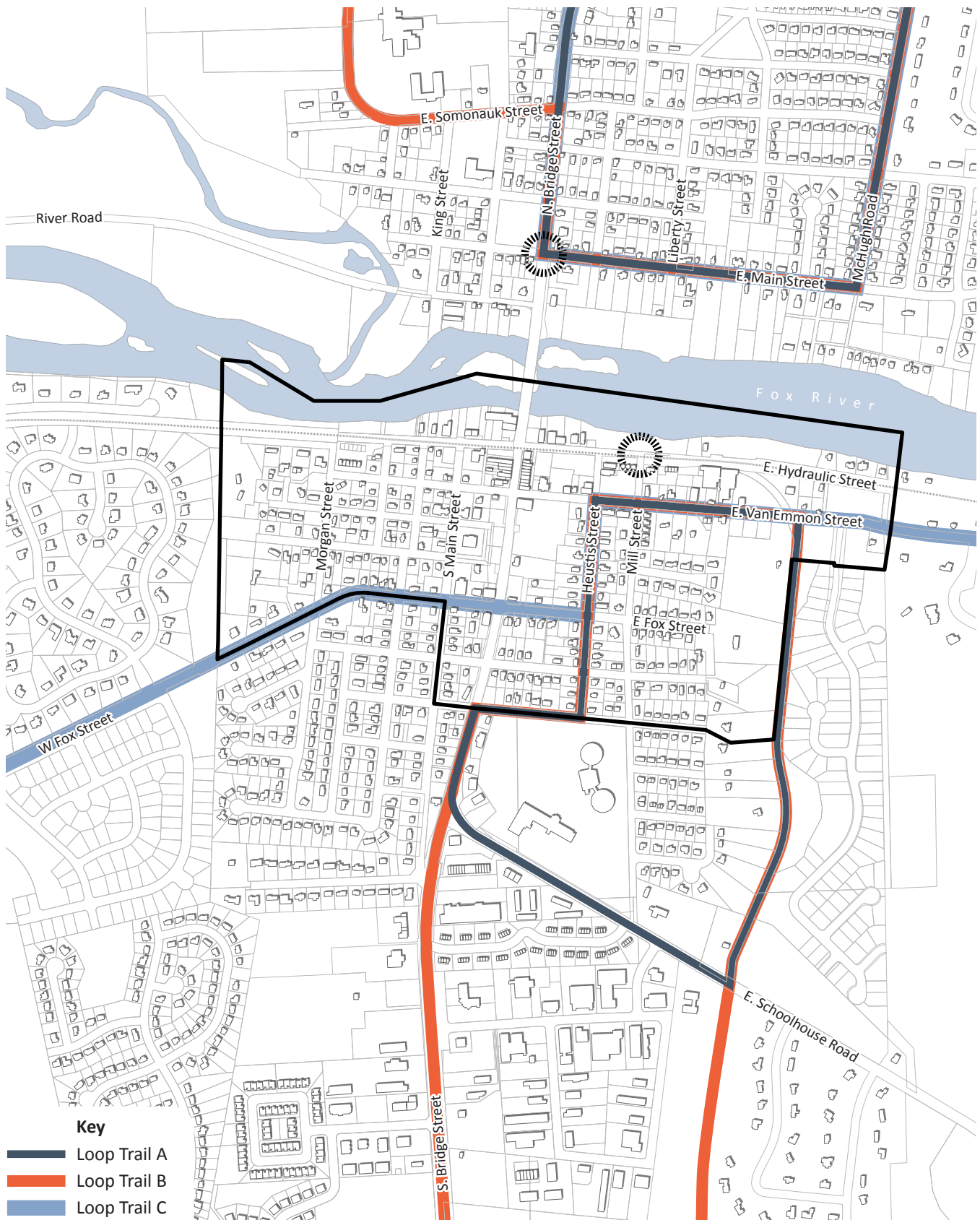


Average Annual Daily Traffic (AADT)





Parks and Proposed Trail Network



Proposed Loop Trail System

Downtown Overlay

Site Scale

Downtown Overlay District

The Downtown Overlay District site scale includes most of the downtown as defined in the 2016 Comprehensive Plan, as well as the immediate areas to the north and south. The following series of analysis maps illustrates that downtown Yorkville features a walkable grid; however, certain factors are minimizing its effectiveness. Notable contributing factors include segments of non-continuous sidewalks, primary building entries being oriented towards parking lots, and blocks that feature highly visible surface parking.

The primary stretch of downtown is defined by buildings that are built to the sidewalk in a continuous row along Bridge Street; however, Bridge Street's priority as a truck route has added to an anti-pedestrian feel. With only a small stretch of downtown being defined by urban building types, walkability is limited.

There are few buildings taller than two-stories, which reduces visual cues that downtown Yorkville is in fact a downtown. Some exceptions to this include the historic courthouse and grain elevator, which provide a unique sense of place. Large, vacant, or underutilized parcels are ripe for redevelopment and, with generous underlying zoning, should be attractive investments with modified guidelines.



Area Scale Map (Aerial)









Existing Sidewalks



ROW Width and Ownership





Parcel Area



Building Heights

Website Survey Results

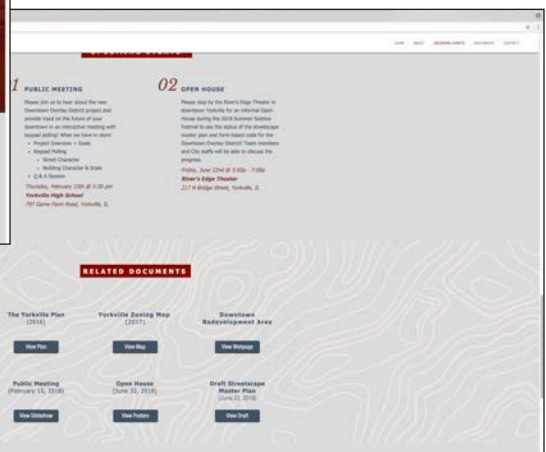
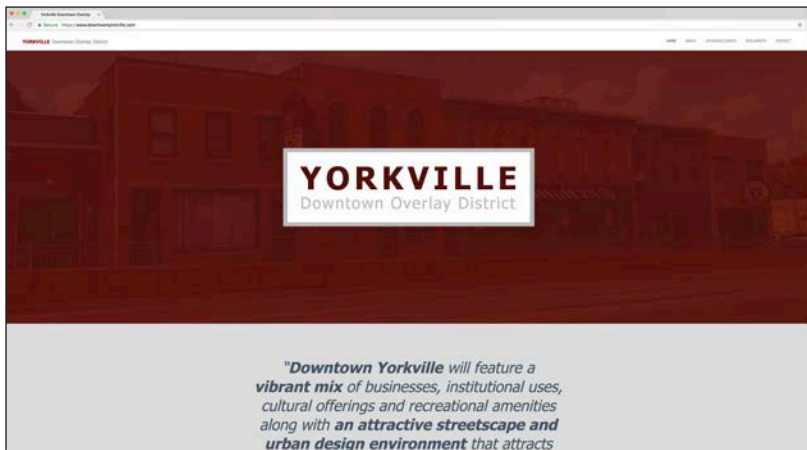
www.downtownyorkville.com/

The Yorkville Downtown Overlay District website survey was posted between February 19, 2018, and March 12, 2018. The survey gathered **473 responses**. The survey participants were concentrated in the 18 - 49 years old range. Key takeaways from the online survey include:

- A faster actual driving speed on Bridge Street is revealed
- People seem to feel safer than expected walking along Bridge Street; however, online comments conflict
- There is a perceived or real lack of parking
- Bridge Street is clearly important from a downtown image standpoint
- All gateway elements seem popular; however, the overhead lights are leading
- Bridge Street, Hydraulic Street, and Van Emmon Street are the focus
- The form-based code should not regulate architectural

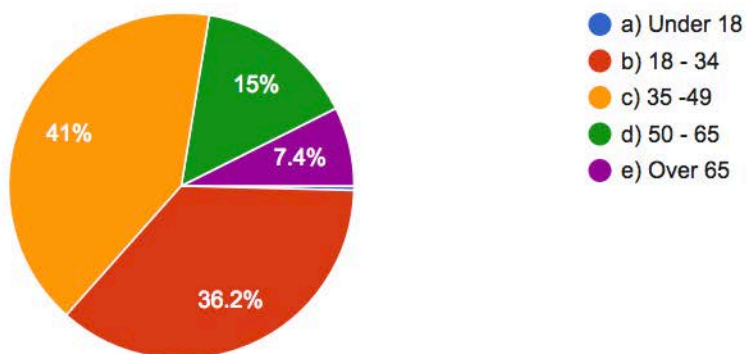
style to leave flexibility

- The “step back” question was difficult to comprehend in the survey format
- The front of Bridge Street needs a makeover



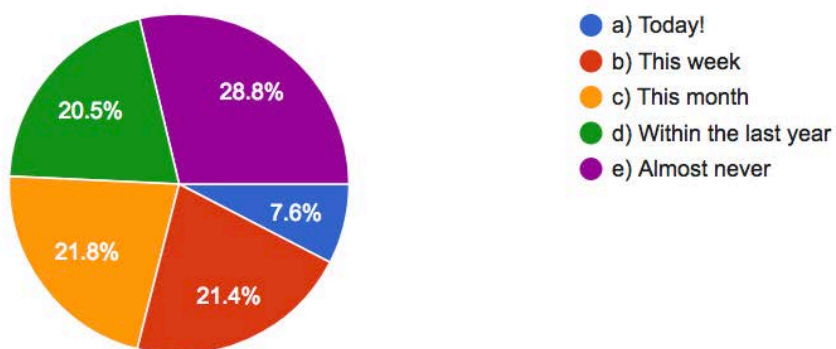
Question 1

Which is our age group?



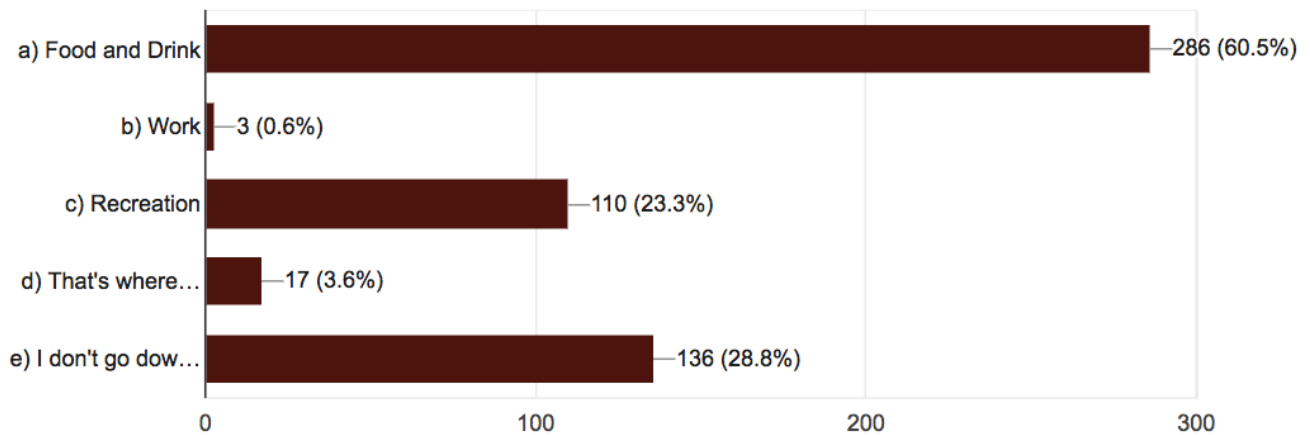
Question 2

When was the last time you visited downtown?



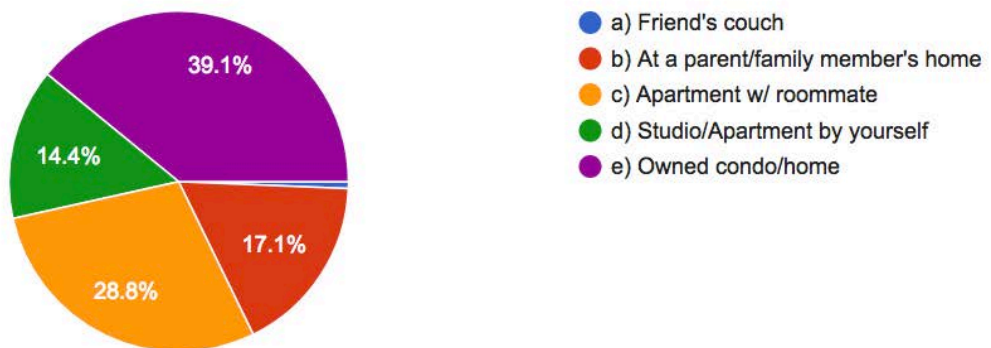
Question 3

What is the primary reason you come to downtown? (Check multiple)



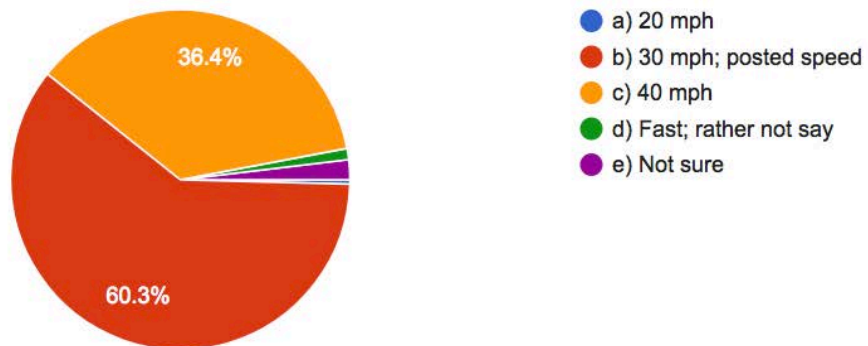
Question 4

Where was the first place you lived as an adult?



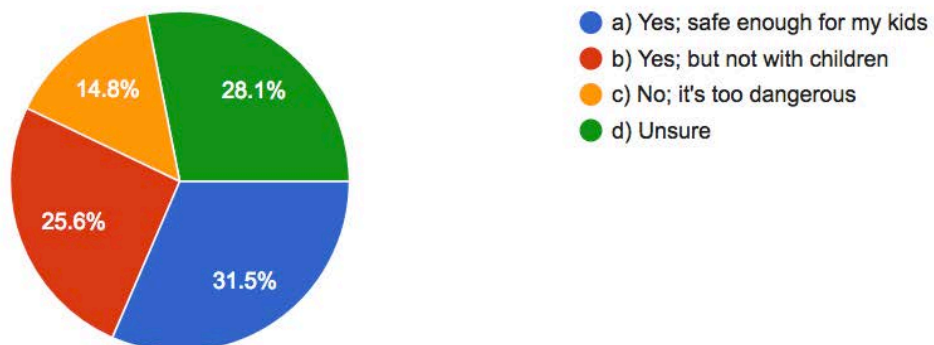
Question 5

How fast do you drive through downtown on Bridge Street?



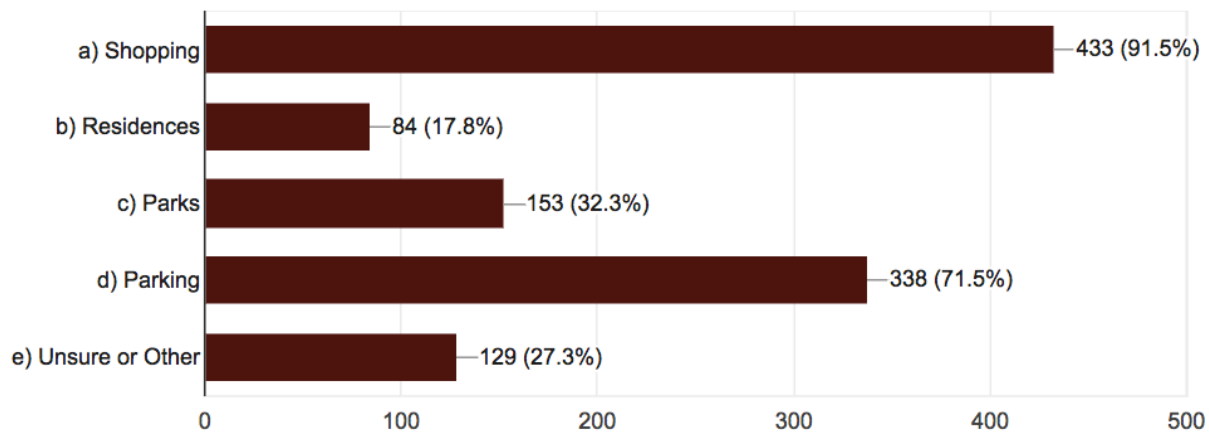
Question 6

Would you feel safe walking along Bridge Street?



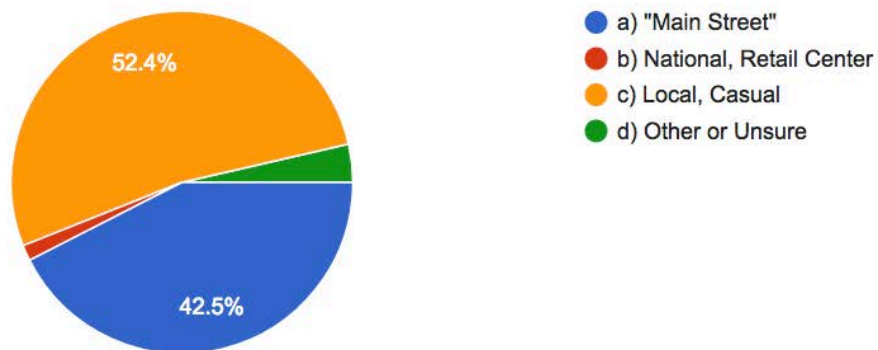
Question 7

What is missing most from downtown? (Check multiple)



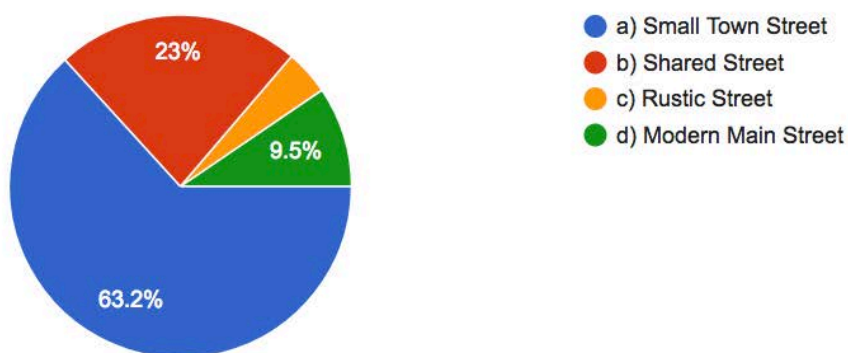
Question 8

Which image most represents your vision of downtown?



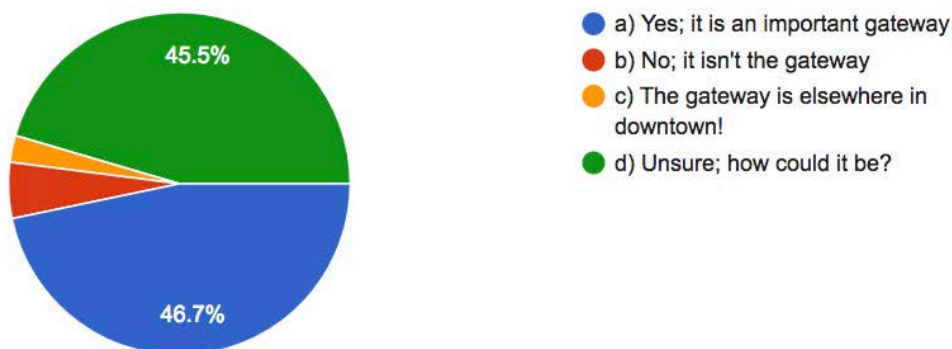
Question 9

Which street character do you prefer?



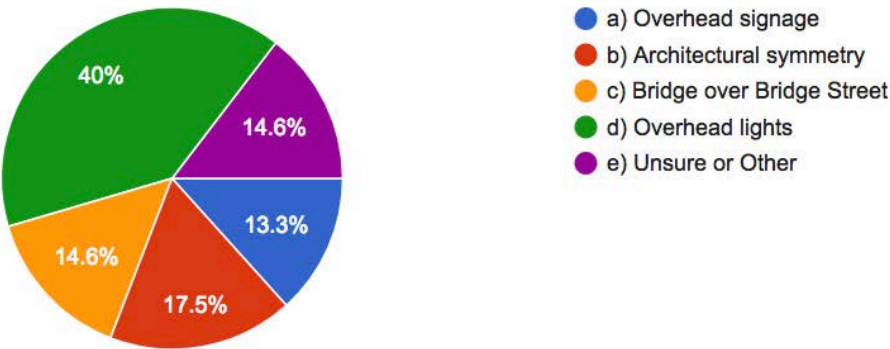
Question 10

Should Bridge Street be a gateway to downtown?



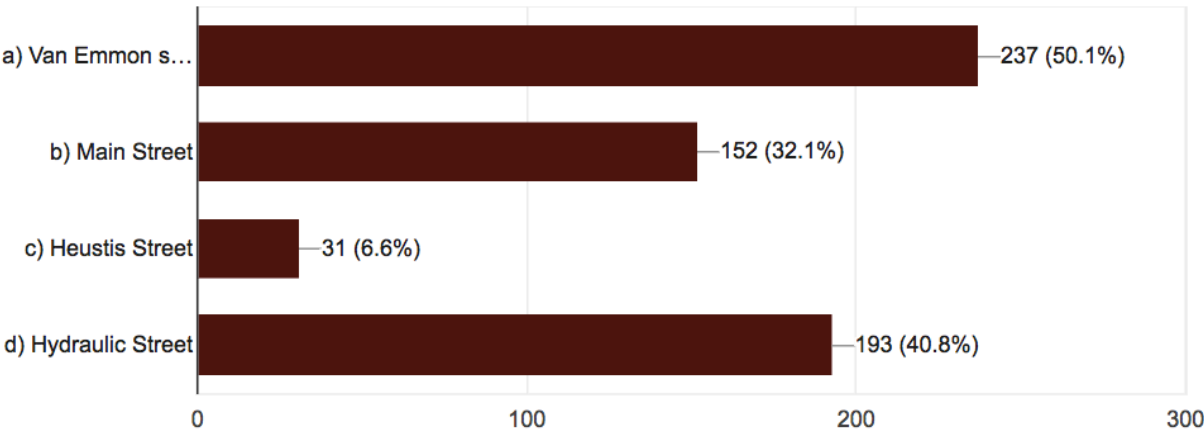
Question 11

Which is a preferred gateway element into downtown?



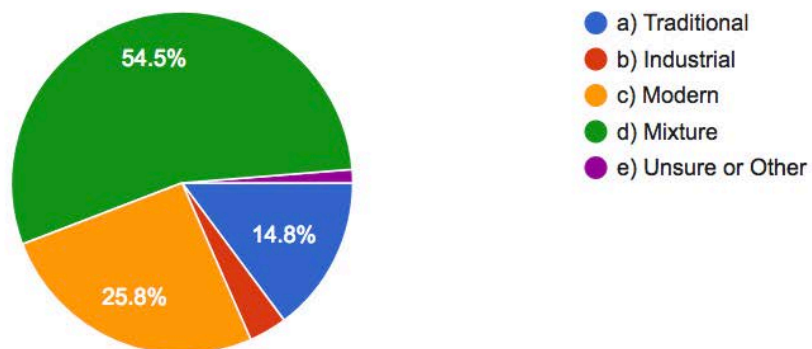
Question 12

Which street do you most consider an 'A' Street? (Check multiple)



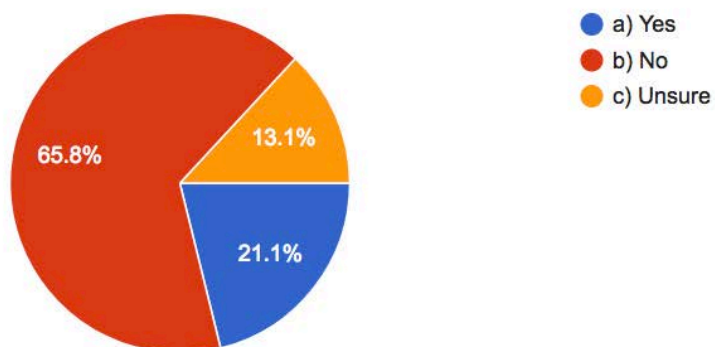
Question 13

Which architectural character do you prefer?



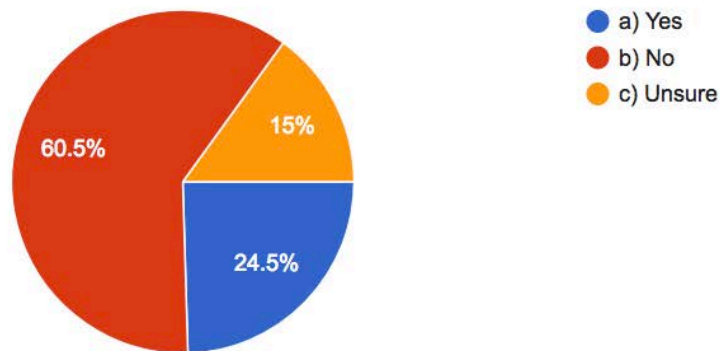
Question 14

Would attached housing be a good fit downtown?



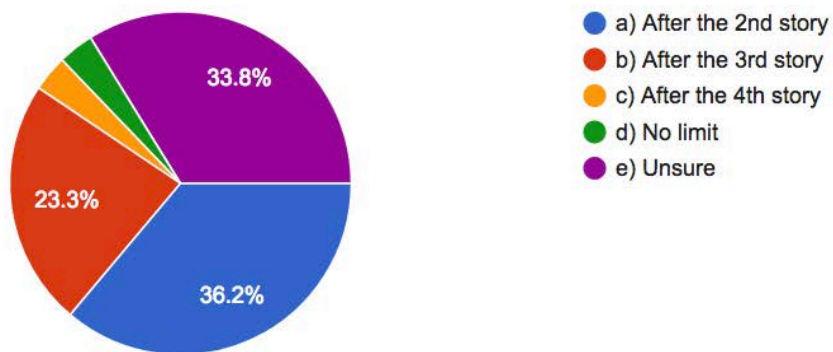
Question 15

Would multi-family housing be a good fit downtown?



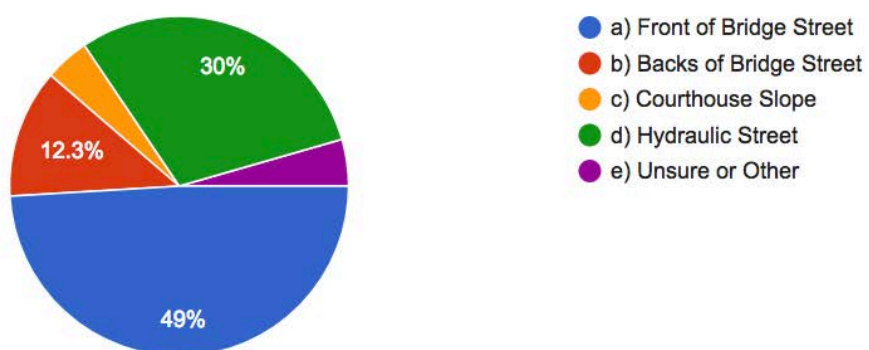
Question 16

After how many stories should upper levels “step back” from the facade?



Question 17

Which place would you invest in first?



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YORKVILLE

Downtown Overlay District

Form-Based Code



United City of
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FARR ASSOCIATES

Acknowledgements

United City of Yorkville
Farr Associates
Former Mayor Gary J. Golinski
Bart Olson, *City Administrator*
Erin Willrett, *Assistant City Administrator*
Krysti Barksdale-Noble, *Community Development Director*
Jason Engberg, *Senior Planner*
Eric Dhuse, *Public Works Director*
Lisa Pickering, *City Clerk*
Richard T. Hart, *Chief of Police*
Tim Evans, *Director of Parks and Recreation*
Brad Sanderson, EEl, *Engineering Consultant*

City Council

Mayor John Purcell
Joel Frieders, *Alderman*
Chris Funkhouser, *Alderman*
Ken Koch, *Alderman*
Jacquelyn Milschewski, *Alderman*
Jason Peterson, *Alderman*
Arden Joe Plocher, *Alderman*
Seaver Tarulis, *Alderman*
Daniel Transier, *Alderman*

Planning and Zoning Commissioners

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Reagan Goins, *Commissioner*
Debra Horaz, *Commissioner*
Don Marcum, *Commissioner*
Jeff Olson, *Commissioner*
Richard Vinyard, *Commissioner*
Daniel Williams, *Commissioner*



United City of
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FARR ASSOCIATES

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10-21-1 Introduction

A. Title

This Article 10-21 shall be known, cited, and referred to as the Downtown Overlay District code. Any reference to this Article following its effective date shall mean this entire Article as it may hereafter be amended.

B. Intent

It is the intent of this Article to provide development standards to the United City of Yorkville for downtown and adjacent redevelopment areas that promote public health, safety, and general welfare of the community, including, but not limited to the specific purposes set forth below.

1. To guide the development of a mix of uses and a pedestrian-oriented environment as established in the United City of Yorkville 2016 Comprehensive Plan, adopted September 2016, and the 2019 Yorkville Downtown Overlay District Streetscape Master Plan.
2. To provide for a mix of housing types within the Downtown Overlay District and adjacent areas for people of all ages and lifestyles.
3. To achieve development that is appropriate in scale and intensity for the Downtown Overlay District and adjacent neighborhoods.

C. Overview of the Code

1. **Section 10-21-2: Districts.** These regulations are organized within street types for adoption into the City's existing code. These zoning districts shall be mapped on the City's Zoning Map; however, the Primary Streets designation shall be referenced from Figure 10-21-2G (4). The following Districts are established for mixed use, commercial, and residential development within downtown and adjacent redevelopment areas. Figure 10-21-1B (1) illustrates the locations for the districts.

S1: Bridge Street District
S2: Hydraulic Street District
S3: Van Emmon Street District
S4: 'B' Street District
S5: 'B' Street - Residential District

3. **Section 10-21-3: Uses.** Use requirements are defined in Section 10-21-3 for each of the Street Districts. Uses may also be further limited by the Building Types. Refer to Section 10-21-2 Building Types and the "Uses" section in the tables per building type.
4. **Section 10-21-4: Building Types.** Six (6) Building Types are defined for use in the Street Districts. A mix of building types are typically permitted per district. These Building Types outline the desired building forms for the new construction and renovation of structures and contain regulations that determine physical building elements such as build-to-zones, transparency levels, entrance location, and parking location. Refer to Figure 10-21-4A (1) for a typical Building Type page layout.
5. **Section 10-21-5: Site Development Standards.** The site development standards provide references to other City ordinances or parts of the zoning ordinance and may include additional information or revision to those ordinances applicable only to the Street Districts. These include signage, parking, and landscape.

D. Applicability

These regulations apply to the downtown and adjacent redevelopment areas within the City as mapped on the City's zoning map. Refer to Figure 10-21-1B (1) for affected parcels.

E. How to Use the Code.

Refer to Figure 10-21-1D (1) for a step by step illustration about applying the code to a parcel. Throughout this section, call out boxes titled "How to Use the Code" appear with code application instructions.

F. Development Approval Process

1. **Site Plan Review.** An approved site plan is required for the development or redevelopment of all parcels in any District (refer to 10-4 of the Zoning Ordinance) with the following revisions:
 - (a) The Community Development Director may approve a major site plan if the site plan complies with all requirements of the city's zoning ordinance. If the Community Development Director denies approval of a major site plan, including the provision of written comments as to the reason for such denial, the denial may be appealed by the applicant to the Planning and Zoning Commission for review. The Planning and Zoning Commission shall then recommend approval to City Council the major site plan, recommend approval to City Council of the major site plan with conditions, or recommend denial of the site plan to City Council.
2. **Deviations.** The Applicant shall submit requested deviations to the Community Development Director with the Site Plan application. The Community Development Director may approve deviations to a site plan for the following:
 - (a) **Minor Deviations.** The Community Development Director may approve minor deviations to any dimension or percentage as follows:
 - i. The location of the building within up to one (1) foot from any minimum yard requirement or build-to zone width/ location.
 - ii. Up to five percent (5%) increase in total impervious coverage, not to exceed the total amount of permitted impervious plus semi-pervious coverage.
 - iii. Up to five percent (5%) decrease in Front Property Line coverage.
 - iv. Additional height of any story up to two (2) feet, as long as the overall building height does not exceed the allowable height of all floors at their maximum permitted height.
 - (b) **Design Deviations.** The Community Development Director shall review and make a recommendation for the following deviations:
 - i. **Alternative Building Materials.** The Director may approve alternative building materials from the requirements of Section 10-21-5, with the exception of the prohibited materials. For approval, the Applicant shall submit samples and local examples of the material a minimum of four weeks prior to the review, to allow site visits to the location.

- ii. Facade Variety Alternative. The Director may approve a reprieve from the facade variety requirements in Section 10-21-4. The Applicant shall submit fully rendered elevations and three (3) dimensional drawings of all street facades with materials samples for all surfaces to prove a higher quality building design with variation and relief from monotony.
- (c) Existing Building Deviations. The Planning and Zoning Commission shall review and make a recommendation to City Council for the following deviations, when applied to the renovation of an existing building(s):
 - i. For renovation of existing buildings, the maximum front property line coverage may be waived with an existing coverage of sixty percent (60%); however, any expansion on the ground story shall contribute to the extension of the front property line coverage.
 - ii. For renovation of existing buildings, the location of the building within up to five (5) feet from any minimum yard requirement or build-to zone width/location.
 - iii. For renovation of existing buildings, the minimum height of the ground story and upper story may be increased or decreased by up to two (2) feet for existing stories.
 - iv. For renovation of existing buildings, other required dimensions may be modified up to five (5) feet or ten percent (10%), whichever is less, unless otherwise modified by this section.

G. Nonconforming Structures

1. **Nonconforming Uses.** Refer to Section 10-15 of this Article for Non-Conforming Uses requirements with the following exception and addition.
2. **Nonconforming Structures.** The following regulations allow for the continuation of occupation of a structure that was legally constructed prior to the adoption or amendment to this code, but that could not occur under the provisions of this code.
 - (a) All Building Type standards apply to all new construction and renovation of existing structures, where the renovation includes an addition of more than sixty percent (60%) in gross building square footage.
 - (b) When the existing front or corner facade is located within the build-to zone and a renovation of the front facade occurs with or without any added building square footage, the Street Facade Requirements and Entrance Type Requirements of any permitted Building Type shall be met when the renovation includes any of the following:
 - i. Installation of additional doors or a change in location of a door;
 - ii. Expansion or change in location of thirty percent (30%) of windows on any street facade; or
 - iii. Replacement of thirty percent (30%) or more of facade materials on any street facade with a different facade material.
 - (c) When the existing building front or corner facade is located within the build-to zone and a renovation of the shape or style of the roof occurs with or without added building square

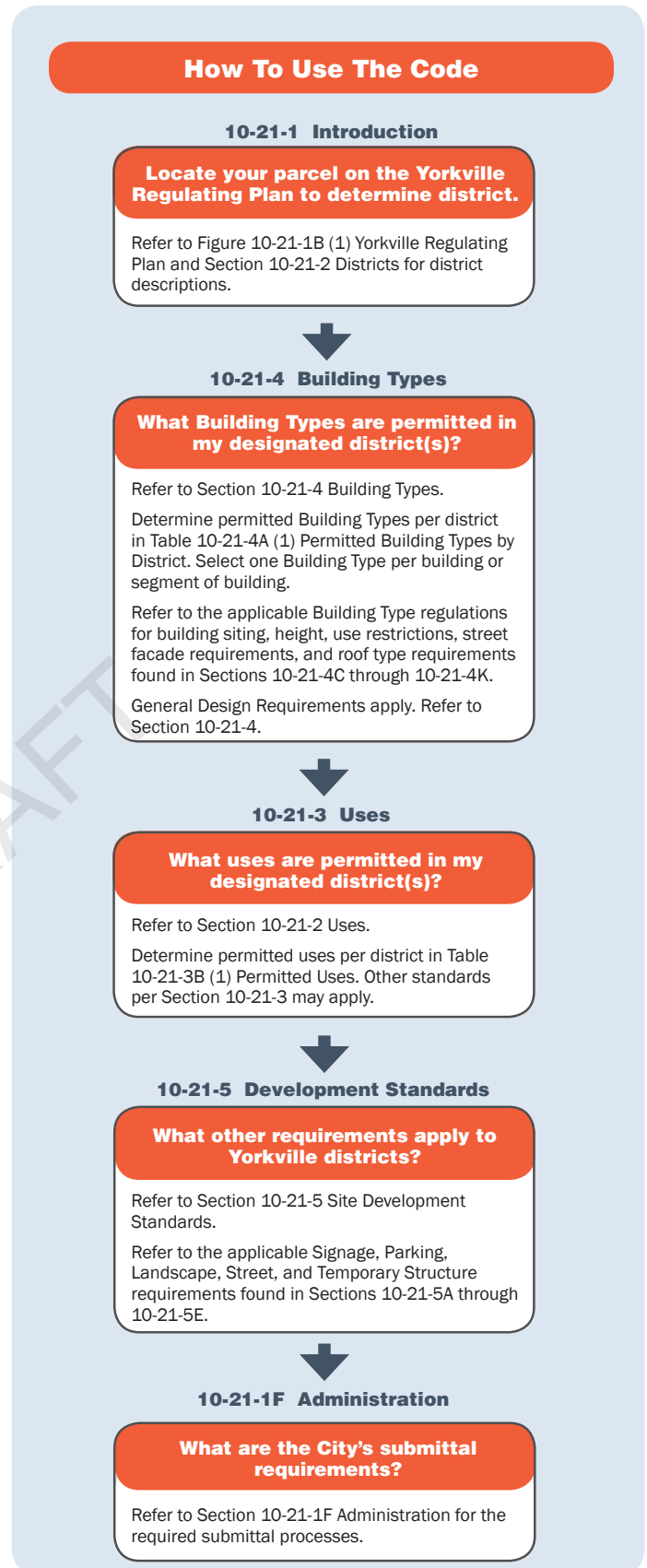


Figure 10-21-1D (1). Yorkville Code Flow Chart.

10-21-1 Introduction

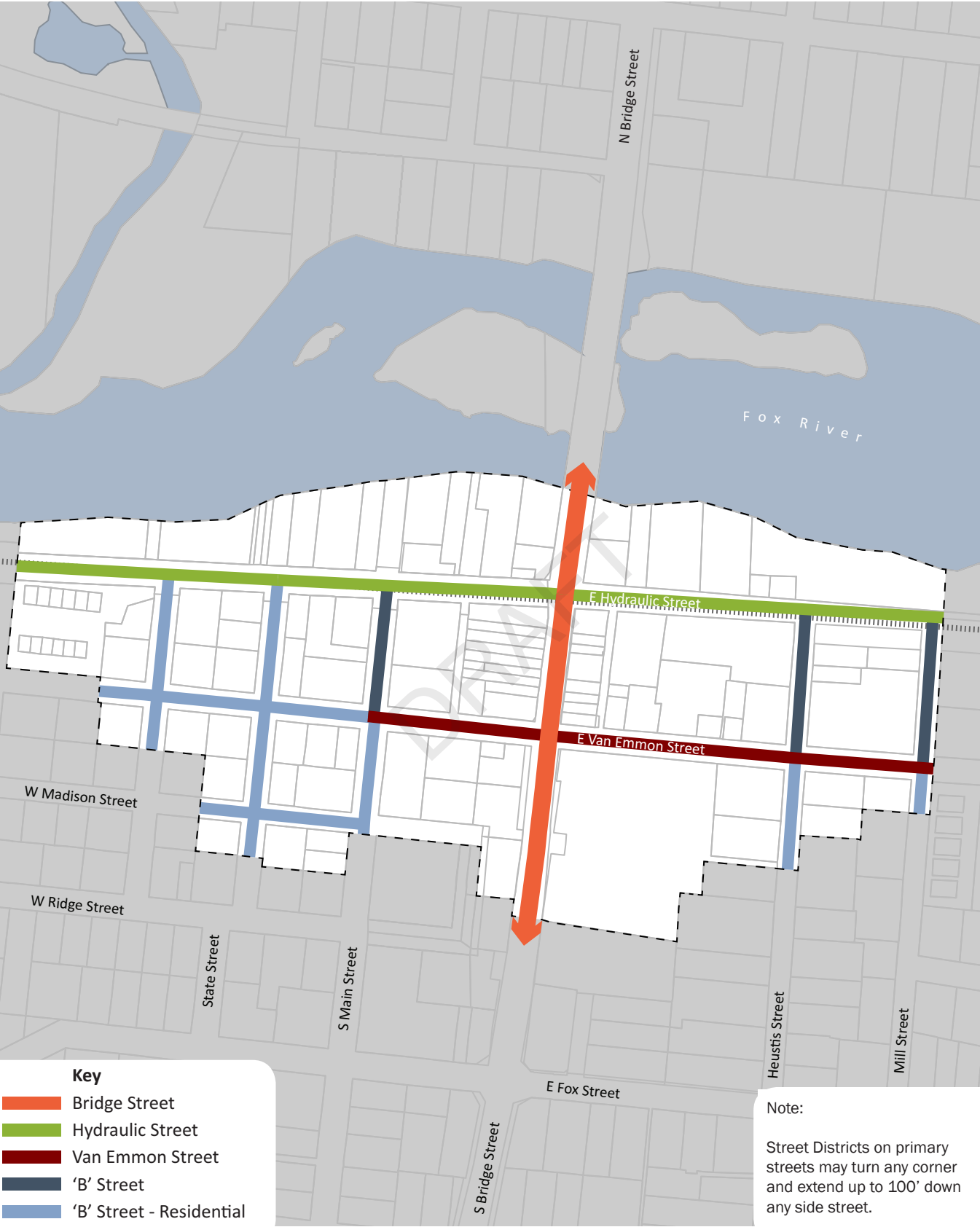


Figure 10-21-1B (1). Yorkville Form-Based Districts Regulating Plan.

footage, the Roof Type Requirements of any permitted Building Type shall be met.

- (d) Under all circumstances, no portion of the Building Type standards must be met in the case of normal repairs required for safety and continued use of the structure, such as replacement of window or door glass.

H. Definitions

For the purposes of this document, the following terms shall have the following meanings:

Applicant. The Owner of a subject property or the authorized representative of the Owner on which a land development application is being made.

Block. Refer to Section 10-2-3 for definition.

Block Depth. A Block measurement that is the horizontal distance between the Front Lot Line on a Block Face and the Front Lot Line of the parallel or approximately parallel Block Face.

Block Ends. The Lots located on the end of a Block; these Lots are often larger than the Lots in the interior of the Block or those at the opposite end of the Block and can be located on a more intense Street Type. They are typically more suitable for more intensive development, such as multiple family or mixed Use development.

Block Face. The aggregate of all the building Facades on one side of a Block.

Block Length. A Block measurement that is the horizontal distance along the Front Lot Lines of the Lots comprising the Block.

Building Type. The Facade of a structure defined by the combination of configuration, form, and function as it relates to the adjacent street. Refer to 10-21-4B Building Type Standards for more information and the list of permitted Building Types.

Build-to Zone. An area in which the front or corner side facade of a building shall be placed; it may or may not be located directly adjacent to a lot line. The zone dictates the minimum and maximum distance a structure may be placed from a lot line. Refer to Figure 10-21-1H (3).

Courtyard. An outdoor area enclosed by a building on at least three (3) sides and is open to the sky.

Coverage, Building. The percentage of a Lot developed with a Principal or Accessory Structure.

Coverage, Impervious Site. The percentage of a Lot developed with Principal or Accessory Structures and Impervious Surfaces, such as driveways, sidewalks, and patios. Refer to "Lot Coverage" in Section 10-2-3.

Eave. The edge of a pitched roof, typically overhangs beyond the side of a building.

Entrance Type. The permitted treatment types of the Ground Floor Facade of a Building Type. Refer to Section 10-21-4I for more information and a list of permitted Entrance Types.

Expression Line. An architectural feature consisting of a decorative, three (3) dimensional, linear element, horizontal or vertical,

protruding or indented at least two (2) inches from the exterior facade of a building typically utilized to delineate the top or bottom of floors or stories of a building.

Facade. The exterior face of a building, including but not limited to the wall, windows, windowsills, doorways, and design elements such as Expression Lines. The front facade is any building face adjacent to the Front Lot Line.

Frontage District. A type of zoning district specific to this Article, where the location, height and bulk of structures is defined by Building Types. Refer to Section 10-21-4.

Landscape Area. Area on a Lot not dedicated to a structure, parking or loading facility, frontage buffer, side and rear buffer, or interior parking lot landscaping. Landscape Areas may include landscape, sidewalks, patios, or other pedestrian amenities.

Lot, Flag. Refer to Section 10-2-3 for definition. Refer to Figure 10-21-1H (2).

Lot, Interior. For the purposes of this Chapter, a parcel of land abutting a vehicular Right-of-Way, excluding an Alley, along one Lot Line; surrounded by Lots along the remaining Lot Lines.

Lot, Through. Refer to Section 10-2-3 for definition. Refer to Figure 10-21-1H (2).

Lot Area. Refer to Section 10-2-3 for definition; it is typically denoted in square feet or acres.

Lot Depth. For the purposes of this Chapter, the smallest horizontal distance between the Front and Rear Lot Lines measured approximately parallel to the Corner and/or Side Lot Line. Refer to Figure 10-21-1H (2).

Lot Frontage. Refer to Section 10-2-3 for definition.

Lot Line, Corner. For the purposes of this Chapter, a boundary of a Lot that is approximately perpendicular to the Front Lot Line and is directly adjacent to a public Right-of-Way, other than an Alley or railroad. Refer to Figure 10-21-1H (2).

Lot Line, Front. For the purposes of this Chapter, the boundary abutting a Right-of-Way, other than an Alley, from which the required Setback or Build-to Zone is measured, with the following exceptions.

- (a) Corner and through Lots that abut a Primary Street (refer to Figure 10-21-2G (4)) shall have the Front Lot Line on that Primary Street.
- (b) Corner and Through Lots that abut two (2) Primary Streets or do not abut a Primary Street shall utilize the orientation of the two (2) directly adjacent lots, or shall have the Front Lot Line determined by the Director.
- (c) Lot Line, Rear. Refer to Section 10-2-3 for definition. Refer to Figure 10-21-1H (2).

Occupied Space. Interior building space regularly occupied by the building users. It does not include storage areas, utility space, or parking.

Open Space. Refer to Section 10-2-3 (Public Open Space and Usable Open Space) for definitions. Open space may also be utilized to host temporary private or community events, such as a farmer's

10-21-1 Introduction

market or art fair.

Pedestrianway. A pathway designed for use by pedestrians; it can be located mid-block allowing pedestrian movement from one street to another without traveling along the block's perimeter.

Pervious Surface. Also referred to as pervious material. A material or surface that allows for the absorption of water into the ground or plant material, such as permeable pavers or a vegetated roof.

Primary Street. A street that receives priority over other streets in terms of setting front lot lines and locating building entrances. Refer to Figure 10-21-2G (4) for mapped Primary Streets.

Roof Type. The detail at the top of a building that finishes a Facade, including a pitch roof with various permitted slopes and a parapet. Refer to 10-21-4I for more information and a list of the permitted Roof Types.

Scale. The relative size of a building, street, sign, or other element of the built environment.

Semi-Pervious Surface. Also referred to as semi-pervious material. A material that allows for at least forty percent (40%) absorption of water into the ground or plant material, such as pervious pavers, permeable asphalt and concrete, or gravel.

Setback. For the purposes of this Chapter, the horizontal distance from a Lot Line inward, beyond which a structure may be placed. For the purposes of this Chapter, structures and parking lots are not permitted within a Setback, unless specifically stated otherwise in this Chapter. Refer to Figure 10.21.1H (1).

Solar Reflectance Index (SRI). A measure of a constructed surface's ability to reflect solar heat, as shown by a small temperature rise. The measure utilizes a scale from zero (0) to one hundred (100) and is defined so that a standard black surface is zero (0) and a standard white surface is one hundred (100). To calculate for a given material, obtain the reflectance value and emittance value for the material; calculate the SRI according to ASTM E 1980-01 or the latest version.

Story. For the purposes of this Chapter, a habitable level within a building measured from finished floor to finished floor. Refer to Section 10-21-4 for dimensions.

Story, Ground. Also referred to as ground floor. The first floor of a building that is level to or elevated above the finished Grade on the Front and Corner Facades, excluding basements or cellars.

Story, Half. For the purposes of this Chapter, a story either in the base of the building, partially below grade and partially above grade, or a story fully within the roof structure with transparency facing the street.

Story, Upper. Also referred to as upper floor. The floors located above the Ground Story of a building.

Street Face. The Facade of a building that faces a public Right-of-Way.

Street Frontage. Also refer to Lot Frontage. The portion of a building or Lot directly adjacent to a vehicular Right-of-Way.

Street Termini. At a three (3)-way or "T" intersection, it is the location where one street terminates at the other street.

Streetwall. The vertical plane created by building Facades along a

street. A continuous Streetwall occurs when buildings are located in a row next to the sidewalk without vacant Lots or significant Setbacks.

Transparency. The measurement of the percentage of a facade that has highly transparent, low reflectance windows. Mirrored glass is not permitted.

Yard. Refer to Section 10-2-3 for definition. Refer to Figure 10-21-1H (3) Illustration of Yards. Note that the Rear Yard is fully screened from the street by the Structure.

- (a) **Yard, Corner Side.** A Yard extending from the corner side building Facade along a Corner Side Property Line between the Front Yard and Rear Property Line.
- (b) **Yard, Front.** Refer to Section 10-2-3 for definition.
- (c) **Yard, Rear.** Refer to Section 10-2-3 for definition.
- (d) **Yard, Side.** Refer to Section 10-2-3 for definition.

Visible Basement. A half story partially below grade and partially exposed above with required transparency on the street facade.

10-21-1 Introduction



Build-to Zone vs Setback Line

A setback line indicates the closest a building may be placed to a property line, but is silent on where behind that line a building may be placed. A build-to zone indicates a zone or area in which the Facade of a building must be located. The use of a build-to zone allows some control over building placement, while the range provides some flexibility. This method also provides an element of predictability that is absent when the only requirement is to locate a building beyond a certain line.

Figure 10.21.1H (1). Build-to Zone vs. Setback Line.

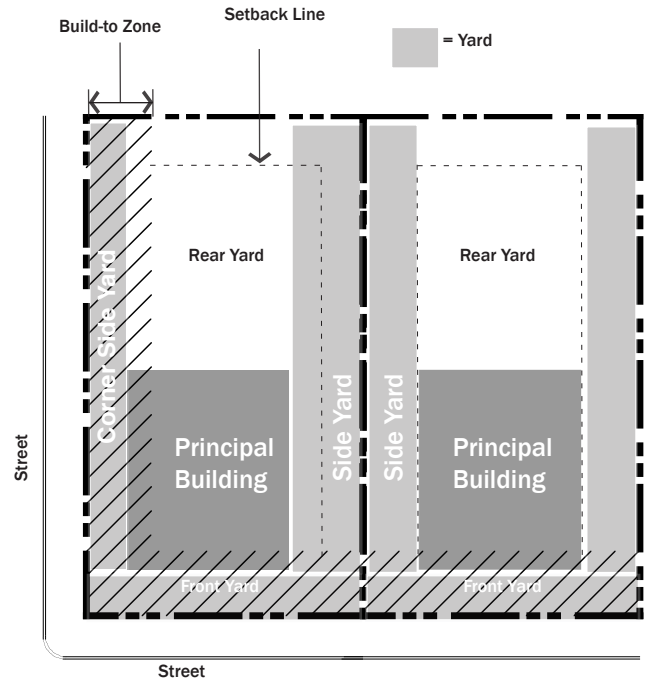


Figure 10-21-1H (3). Illustration of Yards.

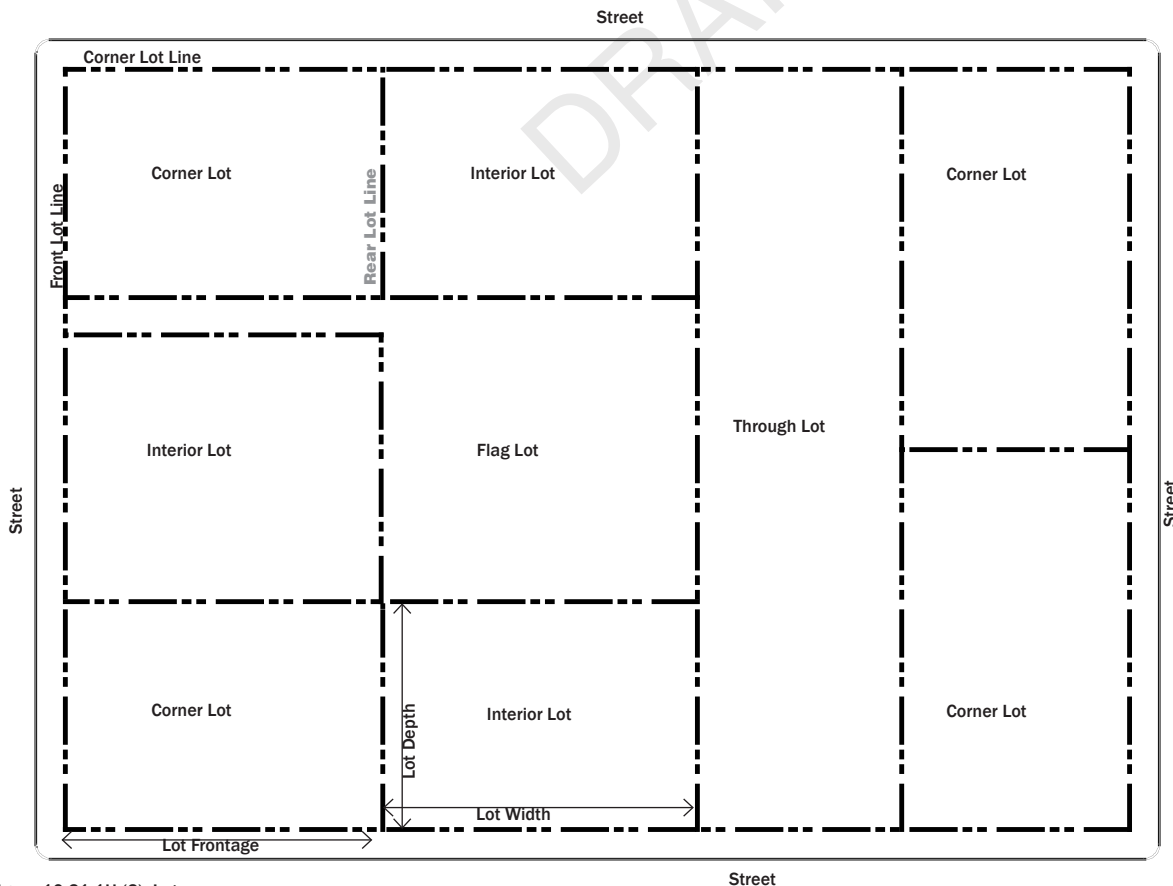


Figure 10-21-1H (2). Lots.

10-21-2 Districts

The following Districts are established for mixed use, commercial, and residential development within downtown and adjacent redevelopment areas. Figure 10-21-1B (1) illustrates the locations for the districts.

- S 1: Bridge Street District
- S 2: Hydraulic Street District
- S 3: Van Emmon Street District
- S 4: 'B' Street District
- S 5: 'B' Street - Residential District

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A. S1: Bridge Street District

The Bridge Street District may be considered the gateway into downtown Yorkville and retains potential to become the iconic stretch that helps draw people into local businesses and displays an attractive image that represents the people of Yorkville. The form of this retail and service-centered area establishes a street wall of storefront style-building facades with shallow build-to-zones along the sidewalk and parking in the rear or off-site. It focuses pedestrian-friendly retail and service uses on the ground story with office uses in upper stories.

Bridge Street	
Building Placement	
Build-to Zone	0' to 10'
Space Between Buildings	
Attached	0'
Detached	5' to 10'
Building Volume	
Maximum Building Height	80'
Maximum Stories	6
Minimum Ground Floor Height	14'
Typical Street Attributes	
Typical ROW Width	72'
Number of Travel Lanes	4
Lane Width	10' to 13'
Dedicated Turn Lanes	1
Parking Lanes	none
Pavement Width	60'
Dedicated Bicycle Facilities	none
Pedestrian Realm	
Pedestrian Facilities	6' wide sidewalk
Street Buffer	concrete barrier

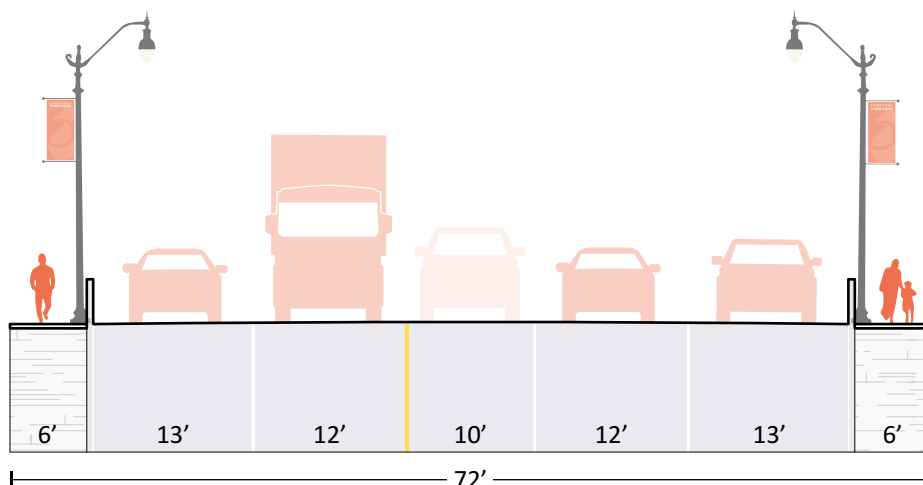


Figure 10-21-2A (1). Bridge Street (Long-term).

10-21-2 Districts

B. S2: Hydraulic Street District

The Hydraulic Street District includes complex conditions, including a tapering right-of-way that narrows from west to east and an active freight rail line that runs parallel to the street surface within the right-of-way. Hydraulic Street features short, utilitarian buildings, as well as an inoperable grain elevator, that create an eclectic mix of land uses and character. The form of this area remains pedestrian-centered but storefront-style buildings focus a broader spectrum of retail and service uses on the ground story with residential and/or office uses in upper stories.

Hydraulic Street	
Building Placement	
Build-to Zone	0' to 15'
Space Between Buildings	
Attached	0'
Detached	10'
Building Volume	
Maximum Building Height	80'
Maximum Stories	5
Minimum Ground Floor Height	14'
Typical Street Attributes ¹	
Typical ROW Width	48' to 66'
Number of Travel Lanes	2
Lane Width	10' to 12'
Dedicated Turn Lanes	none
Parking Lanes	1 lane of parallel parking on south side of street
Pavement Width	22'
Dedicated Bicycle Facilities	Multi-purpose lane on north side of street
Pedestrian Realm	
Pedestrian Facilities	6' to 8' wide sidewalk
Street Buffer	1 lane of parallel parking on south side of street; 4' planter on north side of multi-purpose street

Notes:

¹ The Streetscape Master Plan includes a proposed slip lane on the south side of Hydraulic Street between Bridge Street and Heustis Street. This table includes dimensions for the public right-of-way section of the street.

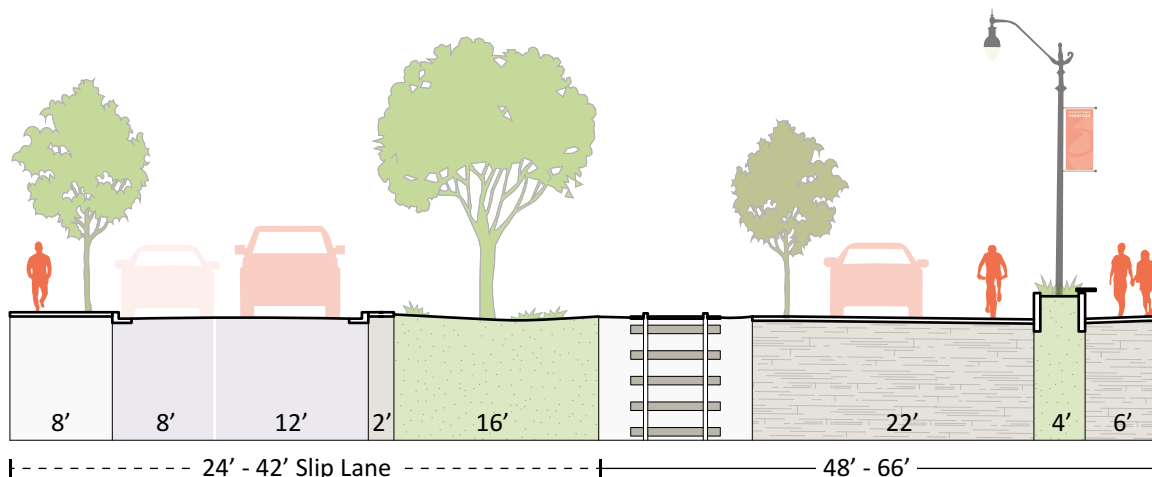


Figure 10-21-2B (1). Hydraulic Street (Long-term).

C. S3: Van Emmon Street District

The Van Emmon Street District is a lower scale district. Commercial, residential, and mixed use buildings make up this district in variety of building types. A broader spectrum of retail, service, and office uses support the Bridge Street and Hydraulic Street Districts and ground floor residential is permitted. The form of this area is pedestrian-centered, but allows for more vehicular access and off-street parking options.

Van Emmon Street	
Building Placement	
Build-to Zone	0' to 20'
Space Between Buildings	
Attached	0'
Detached	10'
Building Volume	
Maximum Building Height	80'
Maximum Stories	5
Minimum Ground Floor Height	12'
Typical Street Attributes	
Typical ROW Width	60'
Number of Travel Lanes	2
Lane Width	12'
Dedicated Turn Lanes	none
Parking Lanes	1 lane of parallel parking on each side of street; permeable paving 1 lane of parallel parking each side of street (intermittent planting on south side to accommodate parking)
Pavement Width	24' to 40'
Dedicated Bicycle Facilities	none
Pedestrian Realm	
Pedestrian Facilities	8' to 12' wide sidewalk
Street Buffer	1 lane of parallel parking on north side of street; street trees or 1 lane of parallel parking on south side of street

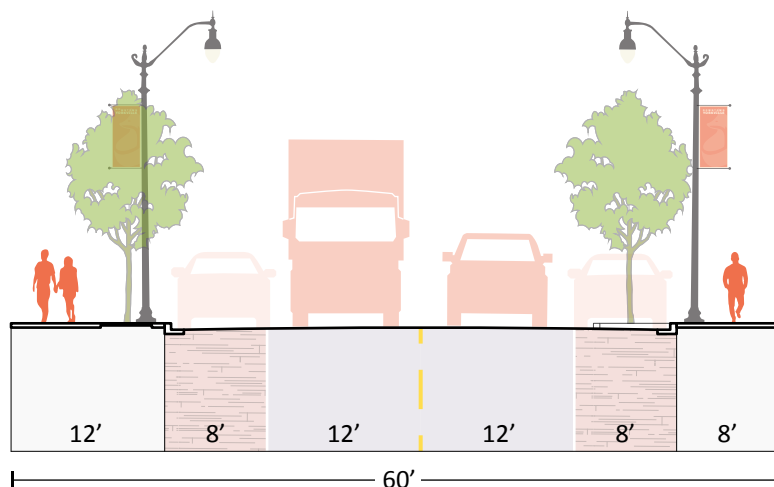


Figure 10-21-2C (1). Van Emmon Street (Long-term).

2.0 Districts

D. S4: 'B' Street District

The 'B' Street District is a lower scale commercial district designed to serve adjacent neighborhoods and the greater community. Flanked by the Hydraulic and Van Emmon Districts, a wider range of residential uses is permitted. As one of the main street types between primary thoroughfares, pedestrian access and safety remains a priority.

'B' Street	
Building Placement	
Build-to-line Location	0' to 20'
Space Between Buildings	
Attached	0'
Detached	10'
Building Volume	
Maximum Building Height	80'
Maximum Stories	5
Minimum Ground Floor Height	9'
Typical Street Attributes	
Typical ROW Width	50'-60'
Number of Travel Lanes	2
Lane Width	11'
Dedicated Turn Lanes	none
Parking Lanes	1 lane of parallel parking each side of street (reduce planting where appropriate to accommodate parking)
Pavement Width	26'
Dedicated Bicycle Facilities	none
Pedestrian Realm	
Pedestrian Facilities	5' wide sidewalk
Street Buffer	13' swale and/or stormwater buffer; optional parking

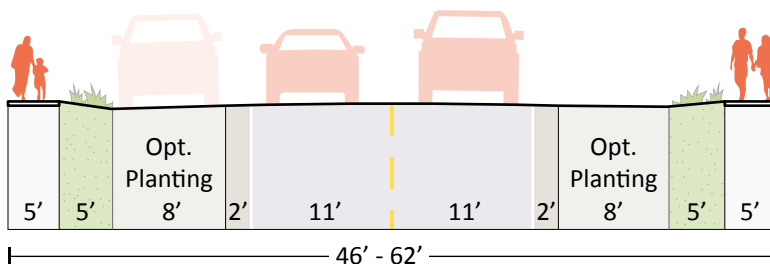


Figure 10-21-2D (1). 'B' Street (Long-term).

E. S5: 'B' Street - Residential District

The 'B' Street Residential District is a lower-scale residential district with a mix of townhouses and yard buildings. With a maximum height of six (6) stories under the general provision of the zoning code, this area provides for a mix of housing types adjacent to downtown for people of all ages and lifestyles.

'B' Street - Residential	
Building Placement	
Build-to-line Location	0' to 15'
Space Between Buildings	
Attached	0'
Detached	10'
Building Volume	
Maximum Building Height	80'
Maximum Stories	3.5
Minimum Ground Floor Height	9'
Typical Street Attributes	
Typical ROW Width	50' to 60'
Number of Travel Lanes	2
Lane Width	11'
Dedicated Turn Lanes	none
Parking Lanes	1 lane of parallel parking each side of street (reduce planting where appropriate to accommodate parking)
Pavement Width	26'
Dedicated Bicycle Facilities	none
Pedestrian Realm	
Pedestrian Facilities	4' wide sidewalk
Street Buffer	13' swale and/or stormwater buffer; optional parking

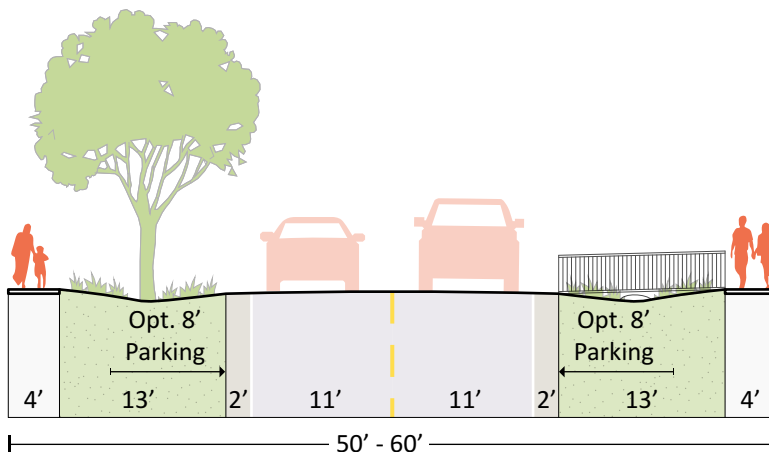


Figure 10-21-2E (1). 'B' Street - Residential (Long-term).

10-21-2 Districts

F. Hierarchy of Districts

Development under this code is regulated by street type. The various street types are related to each other in a hierarchical manner. When these streets intersect, the primary street frontage is determined by its higher order in the hierarchy. The front of a building and its main entrance must face the primary street. Figure 10.21.2G (1) illustrates the hierarchy of street types.

G. Primary Streets

The Primary Streets Map designates Primary, Secondary, and Tertiary Streets within the Downtown Overlay District. These designations prioritize the street frontages for locating the Front Lot Line for required amounts building frontage and allowable amounts of parking frontage. Refer to Figure 10.21.2G (4).

1. **Vehicular Access.** Vehicular access is also managed through this street prioritization within the Building Type requirements (refer to Section 10-21-4). See Figure 10.21.2G (2) and Figure 10.21.2G (3) for illustration of permitted vehicular access locations.
 - (a) The order of access is typically as follows, unless otherwise permitted by Building Type:
 - i. Lane (Tertiary Street) or Alley (un-mapped) permits unlimited access.
 - ii. If no Lane or Alley exists, one (1) driveway per secondary street frontage is permitted.
 - iii. If no tertiary or secondary street abuts the parcel, one driveway is permitted off the Primary Street and shared access with adjacent properties is encouraged.
 - (b) Refer to the Subdivision Control Ordinance for additional requirements of vehicular access off adjacent streets. Interparcel Access requirements shall be met.
2. **Primary, Secondary, and Tertiary Street Designations.**
 - (a) **Primary Streets.** Primary streets require the most intact and continuous streetwall with few, if any, driveway access. The Front Lot Line shall always be located on the Primary Street. When a parcel is fronted by more than two (2) primary streets, the Director shall determine which is the appropriate street for the Front Lot Line. The determination should be based on locations of existing and other proposed development Front Lot Lines.
 - i. Vehicular access should not be located off a primary street, unless no other options exists. Refer to Section 10-21-4 Building Type requirements for allowances of vehicular access, if applicable.
 - (b) **Secondary Streets.** Secondary streets are intended to have a fairly continuous streetwall, but will likely have a driveway for each parcel. If no tertiary street exists, access will likely be off the secondary street.
 - (c) **Tertiary Streets.** Tertiary streets typically have no streetwall requirements and could be fronted by parking structures and parking lots with multiple drives and/or vehicular access points.

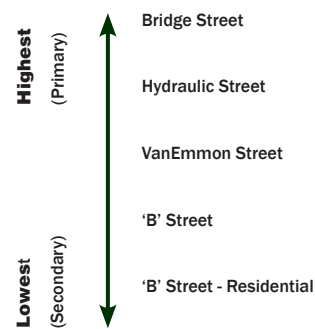


Figure 10-21-2G (1). Hierarchy of Street Types.

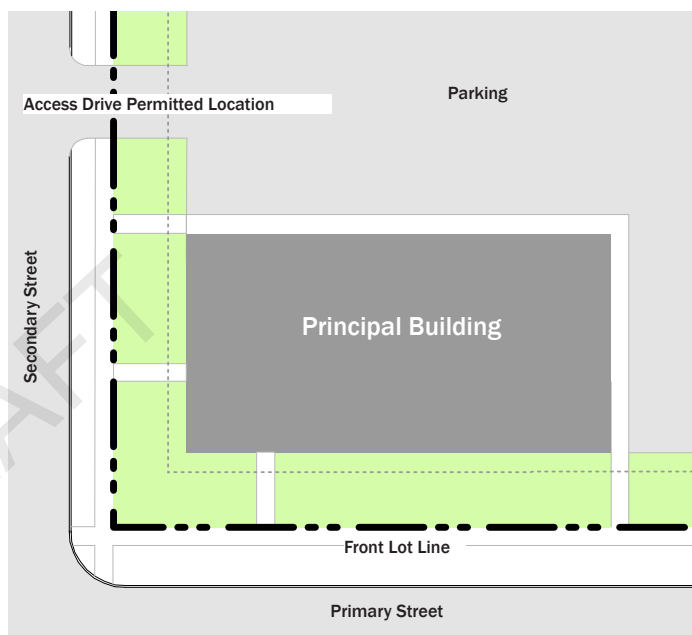


Figure 10-21-2G (2). Secondary Street Frontage: Access Drive Permitted Location

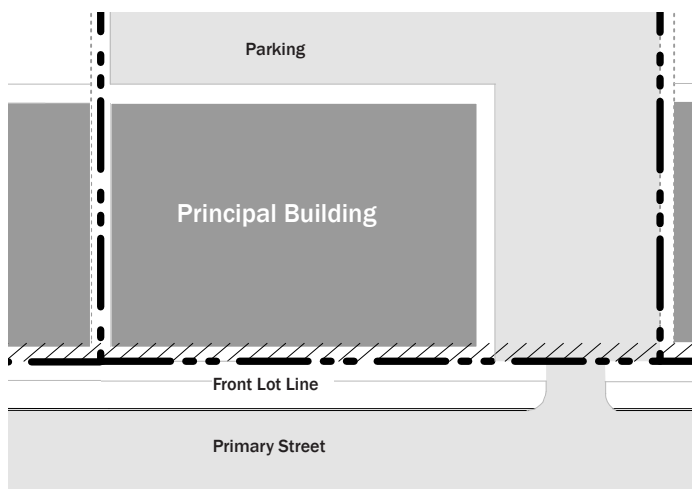


Figure 10-21-2G (3). Primary Street Frontage Only: Access Drive Permitted Location



Figure 10-21-2G (4). Primary Streets Map.

10-21-3 Uses

A. General Provisions

The following establishes a simplified set of uses permitted within the Building Forms of each downtown form-based zoning district.

- Uses by District.** Permitted and special uses available in each form-based district are shown in Table 10-21-3B (1).
- Use Definitions.** Uses listed in Tables 10-21-3C (1) - 10-21-3C (4) are defined in Section 10-2-3 of the Zoning Ordinance. Further definitions applicable only to the Yorkville Form-Based Districts are located in Section 10-21-3C.
- Permitted Use ("●").** These uses are permitted by-right in the form districts in which they are listed.
- Permitted in Upper Stories Only ("◐").** These uses are permitted by-right in the districts in which they are listed, provided that the uses are located in the upper stories of a structure. These uses may also be located in the ground story provided that they are located beyond a depth of at least twenty feet from the front primary facade.
- Requires a Special Use Permit ("○").** These uses require a Special Use Permit (refer to Section 10-6 Special Use Regulations) in order to occur in the districts in which they are listed and must follow any applicable development standards associated with the use as well as meet the requirements of the special use.
- Permitted with Development Standards ("◑").** These uses are permitted in the districts in which they are listed, provided that they are developed utilizing the listed development standards. These standards, combined with the Building Type requirements, are intended to alleviate any negative impacts associated with the use, making it appropriate in a district where it otherwise might not have been appropriate.
- Prohibited Use.** A blank cell or an unlisted use in the use table indicates that the land use is prohibited in that district.
- City Determination.** When a proposed land use is not explicitly listed in Table 10-21-3B (1), the Director shall determine whether or not it is included in the definition of a listed use or is so consistent with the size, scale, operating characteristics and external impacts of a listed use that it should be treated as the same use. Any such determination may be appealed to the Planning and Zoning Commission.
- Temporary Accessory Uses.** Temporary accessory uses are permitted in all Downtown Overlay Districts, including outdoor displays, seasonal displays and sales, festivals, and vendors. The following requirements apply:
 - Outdoor displays are permitted up to eight (8) hours per day, no more than three (3) consecutive days in any one (1) month.
 - Build-to Zone. Temporary outdoor displays of merchandise are permitted in the Build-to Zone without a permit, subject to all other requirements of Section 10-21-3.
 - Right-of-way. Any temporary outdoor display or occupation in the right-of-way requires a review approval by the Community Development Director.

How To Use The Code

Permitted Use Table

The Permitted Use Table contains all the uses permitted in the Downtown Overlay District. It is organized by district, so only the information in a parcel's district is applicable to that parcel. The other columns do not apply.

For example, a parcel in CC1 only applies the standards from that column, illustrated below.

Key	Districts				
	CC1: Core	CC2: Shopping	CC3: Core Support	CC4: Residential / Office	CC5: Gateway
Residential & Lodging Uses					
Residential	◐	◐	●	●	◐
Bed & Breakfast				○	
Hotel/Motel	◐	●	●	●	●
Care Facilities	◐	◐	●	○	●
Senior Housing	◐	◐	◐	◐	◐
Civic / Institutional Uses					
Assembly Uses			●	●	●
Civic Offices & Services	●	●	●	●	
Library/Museum	●	●	●	●	●
School: Elementary, Secondary			●	●	●
School: High School				●	●
School, Private or Special				○	○
Retail Uses					
Neighborhood Retail	●	●	●	◐	●
General Retail		●			●
Adult Establishments		◐	◐		◐
Service Uses					
Neighborhood Service	●	●	●	◐	●
General Service		●			●
Automotive Specialty Shop					◐
Service Station					◐
Commercial Amusement, Outdoor					○
Daycare Facility			●	●	●
Hospital			●		●
Veterinary Clinic/Hospital or Kennel (Enclosed)		◐	◐		◐

Figure 10-21-3A (1). Yorkville Code Permitted Uses How-To.

10-21-3 Uses

Districts					
S 1: Bridge Street	S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street	S 5: 'B' Street - Residential	
Residential & Lodging Uses Category					
Residential Dwelling	●	●	●	●	●
Hotel/Motel	●	●	●	○	
Bed & Breakfast Inn	●	●	○	○	○
Residential Care Facility				○	○
Senior Housing		●	●	●	○
Civic & Institutional Uses Category					
Civic Offices & Services	●	●	●	●	●
Library/Museum	●	●	●	○	○
Police & Fire	●	●	●		
Post Office (no distribution)	●	●	●		
Religious & Organization Assembly	●	●	●	●	●
School: Public or Private	○	○	○	○	○
School: College	○	○	○	○	○
Retail & Service Uses Category					
Neighborhood Retail (<8,000 sf)	●	●	●	●	○
General Retail	●	●	●		
Neighborhood Service	●	●	●	○	○
General Service	●	●	●		
Recreation/Entertainment	●	●	●	○	
Automotive Services		○	○	○	
Food Services & Drinking Places	●	●	●	●	○
Office & Industrial Uses Category					
Office	●	●	●	●	
Small-Scale Industry	●	●	●	●	
Infrastructure Uses Category					
Communication Antennae & Towers	○	○	○	○	○
Parking Lot	●	●	●	●	●
Parking Structure	●	●	●	●	●
Public Utility & Infrastructure	●	●	●	●	●
Open Space Uses Category					
Open Space	●	●	●	●	●
Accessory Uses					
Alternative Energy Generation	●	●	●	●	●
Amphitheater		○		○	
Car Washes, Detail Shops, and/or Service Stations		○	○	○	
Drive Through Facility		○	○	○	
Home Occupation	●	●	●	●	●
Outdoor Storage of Goods		●	●	●	
Outdoor Restaurant Dining	●	●	●	●	
Parking Lot (Accessory)	●	●	●	○	
Parking Structure (Accessory)	●	●	●		
Roadside Produce Stand/Vending		●		●	
Sidewalk Sales	●	●	●	○	○
Temporary Storage Containers		●	●	●	●
Mobile Food Vendors	●	●	●	●	●
Temporary Structures	●	●	●	●	●

Key

- Permitted
- Permitted in Upper Stories Only
- Permitted with Development Standards
- Requires Special Use Permit

Table 10-21-3B (1). Permitted Uses Table.

10-21-3 Uses

B. Permitted Use Table

See Table 10-21-3B (1) for a list of permitted and special uses.

C. Use Requirements

1. Residential and Lodging Uses.

A category of uses that include several residence types.

- (a) Refer to 10-2-3 for the following definitions.
 - i. Residential.
 - ii. Bed & Breakfast Inn.
- (b) Hotel/Motel. Refer to 10-2-3 for definition. In the districts where a hotel/motel requires development standards (“●”), rooms shall be located in the upper stories. Lobbies and eating facilities shall be located on the ground floor.
- (c) Residential Care Facility. A facility offering temporary or permanent lodging to the public consisting of an unlimited number of sleeping rooms with or without in-room kitchen facilities. Includes such uses as independent and assisted living facilities, nursing homes, residential care homes, and transitional treatment facilities. Assistance with daily activities may be provided for residents. Secondary service uses may also be provided, such as dining and meeting rooms. Rooms shall be accessed from the interior of the building. In the districts where this use requires a special use permit (“○”), refer to Section 10-21-1F for procedure and development standards.
- (d) Senior Housing. In the districts where Senior Housing requires development standards (“●”), the following shall apply:
 - i. Housing shall be designed, constructed and operated in accordance with the Fair Housing Amendments Act.
 - ii. The Property shall comply with all applicable local, state, and federal regulations and copies of any applicable permits shall be provided to the Department prior to the issuance of a Certificate of Occupancy.
- (e) Use Permits. When a use is listed as permitted with a Use Permit “○,” refer to Section 10-21-1F for procedure and development standards.

2. Civic & Institutional Uses.

A category of uses related to fulfilling the needs of day-to-day community life including assembly, public services, educational facilities, and hospitals.

- (a) Civic Offices & Services. Any use that involves transactions between the City government and residents, property owners, or others doing business with the City or other activities related to the function of the municipality.
- (b) Library/Museum. A structure open to the general public housing educational, cultural, artistic, or historic information, resources, and exhibits. May also include food service and a gift shop.
- (c) Police & Fire. A facility providing public safety and emergency services; training facilities, locker rooms, and limited overnight accommodations may also be included. The facilities shall be housed in a permitted building, but shall have the following additional allowances:
 - i. Garage doors are permitted on the front facade.
 - ii. Exempt from maximum driveway widths.

- (d) Post Office. A publicly accessed facility for the selling of supplies and mail related products and the small scale collection and distribution of mail and packages. Large-scale postal sorting and distribution is not permitted.
- (e) Religious & Organization Assembly. Assembly Uses include Assembly Hall; Church, Temple, or Other Place of Worship; and Clubs.
- (f) Use Permits. When a use is listed as permitted with a Special Use Permit “○,” refer to Section 10-21-1F for procedure and development standards.

3. Retail & Service Uses.

A category of uses that include several retail and service types. Refer to Section 10-2-3 for definitions.

- (a) Neighborhood Retail. A use in this category occupies a space of less than 8,000 square feet. Neighborhood retail includes such uses as those listed in Table 10-21-3C (1).
 - i. When Neighborhood Retail is permitted with development standards “●”, it is limited to 8,000 square feet.
- (b) General Retail. A use in this category includes all Neighborhood Retail uses occupying a space of greater than 8,000 square feet and such uses as those listed in Table 10-21-3C (1).
- (c) Service Uses. A category of uses that provide patrons services and limited retail products related to those services. Visibility and accessibility are important to these uses, as most patrons do not utilize scheduled appointments.
- (d) Neighborhood Service. A use in this category occupies a space of less than 8,000 square feet. Neighborhood service includes such uses as those listed in Table 10-21-3C (2).
 - i. When Neighborhood Service is permitted with development standards “●”, it is limited to 6,000 square feet.
- (e) General Service. A use in this category includes all Neighborhood Service uses occupying a space of greater than 8,000 square feet and such uses as those listed in Table 10-21-3C (2).
- (f) Recreation/Entertainment. Refer to Table 10-21-3C (3).
- (g) Automotive Services. Refer to Section 10-2-3 for definition. In the districts where this use requires a special use permit (“○”), the following applies:
 - i. The use shall meet all of the requirements of the Building Type, refer to Section 10-21-4.
 - ii. Service doors shall all be located on the rear or interior side facade of the building.
 - iii. The showroom or retail space shall be located in the front storefront of the building and shall occupy a minimum of twenty percent (20%) of the gross floor area.
- (h) Food Services & Drinking Places. Food Services & Drinking Places include only the following:
 - i. Full Service Restaurants
 - ii. Carry-out Food Service Stores
 - iii. Quick Service Restaurants
 - iv. Banquet Centers & Caterers
 - v. Drinking Places (Alcoholic Beverages)

- vi. Brewpubs. A microbrewery that brews beer for both on and off-premise consumption, and may include a bar and/or restaurant.
- vii. Wine Establishments. A properly licensed business which sells wine only (not liquor or beer) for both on and off-premise consumption, as well as wine accessories and/or merchandise.

4. **Office & Industrial Uses.** A category of uses for businesses that involve the transaction of affairs of a profession, service, industry, or government. Patrons of these businesses usually have set appointments or meeting times; the businesses do not typically rely on walk-in customers. Office uses include those listed in Table 10-21-3C (4), List of Typical Uses in Office Category.

- (a) Office. Office uses include those listed in Table 10-21-3C (4), List of Typical Uses in Office Category.
- (b) Small-Scale Industry. A use involving small scale manufacturing, production, assembly, and/or repair with little to no noxious by-products that includes a showroom or small retail outlet. Small-Scale Industry includes such uses as those found in Table 10-21-3C (5). List of Typical Uses in Cottage Industry Category. The following development standards apply:
 - i. This use may also include associated facilities such as offices and small scale warehousing, but distribution is limited to vans and small trucks. Distribution access shall be from the rear.
 - ii. The maximum overall gross floor area is limited to 10,000 square feet, unless otherwise noted.
 - iii. The showroom or retail outlet shall be located in the front storefront of the building and shall occupy a minimum of twenty five percent (25%) of the gross floor area.

5. **Infrastructure & Open Space Uses.**

- (a) Communication Antennae & Towers. Refer to Section 10-18. Communication Antennae & Towers located within the right-of-way or on utility poles are permitted.
- (b) Parking Lot. A lot that does not contain a permitted building and is solely used for the parking of vehicles. In the districts where a parking lot requires a special use permit ("○"), the following applies:
 - i. Corner Lots. A corner lot shall not be used as a parking lot.
 - ii. Adjacent Parking Lots. Two (2) parking lots cannot be located directly adjacent to one another.
 - iii. Single Family. Parking lot cannot be associated with a single family use.
 - iv. Distance. Parking lot must be within 1,300 feet of the principal entrance to the associated use unless:
 - (i) At least seventy five percent (75%) of the spaces are dedicated for public use.
 - (ii) An approved joint parking agreement is in place.
 - v. Pedestrian Access. Must be connected to associated use by a dedicated, public pedestrian pathway.
 - vi. Commercial Vehicles. Parking lots for commercial

vehicles are not permitted in Downtown Overlay Districts.

- (c) Parking Structure. A parking structure on a lot that does not contain a permitted Building Type and is solely used for the parking of vehicles. In the districts where a parking lot requires a special use permit ("○"), the following applies:
 - i. Corner Lots. A corner lot shall not be used for a parking structure.
 - ii. Adjacent Parking Lots. Two (2) parking facilities (lots or structures) cannot be located directly adjacent to one another.
 - iii. Primary Street. No facade of the Parking Structure shall be located on a Primary Street. Refer to Figure 10-21-2G (4). For Parking Structures located on a Primary Street, the Main Street Building Type shall be utilized, requiring occupation of the building in the front thirty (30) feet of the facade on any Primary Street.
 - iv. Distance. Parking lot must be within 1,300 feet of the principal entrance to the associated use unless:
 - (i) At least seventy five percent (75%) of the spaces are dedicated for public use.
 - (ii) An approved parking agreement is in place (refer to Section 10-16).
 - v. Pedestrian Access. Must be connected to associated use by a dedicated, public pedestrianway.
 - vi. Commercial Vehicles. Parking structures for commercial vehicles are not permitted in these districts.
- (d) Utility and Infrastructure. A lot that is primarily utilized for the City's infrastructure needs. Utility and infrastructure includes such uses as electric or gas services, sewage treatment, water treatment and storage, and energy conversion systems.

6. **Open Space Uses.** A use of land for active or passive, public or private, outdoor space, including such uses as parks, plazas, greens, playgrounds, or community gardens. Open space uses may also be utilized to host temporary private or community events, such as a farmer's market or art fair. In the districts where open space is permitted with development standards ("●"), the following apply:

- i. Stormwater Accommodations. Open space that incorporates stormwater management on a site or district scale is encouraged.
 - (i) Stormwater facilities shall be designed to accommodate additional uses, such as an amphitheater or a sports field.
 - (ii) Stormwater facilities shall be designed not to be fenced and shall not impede public use of the land they occupy.
- ii. This use may involve small scale food and beverage service, no more than two hundred (200) square feet in space, located in a kiosk, with no service access.
- iii. Buildings located directly adjacent to an open space use shall treat facades facing this use with street facade requirements.

7. **Accessory Uses.** A category of uses that are not permitted to serve as the principal use on a zoning lot. These uses are incidental to

10-21-3 Uses

and customary in connection with the principal building or use and located on the same lot with such principal building or use.

(a) **Alternative Energy Generation.** Refer to Section 10-19.

Alternative energy generation includes structures for solar, wind, and geothermal. The following development standards apply:

- i. **Roof or Building Mounted Solar panels** are permitted with the following requirements:
 - (i) Panels mounted at the same angle of the roof or flush on the building facade are permitted on any roof or building face.
 - (ii) Panels projecting off the roof or building at a different angle are limited to the rear and side facing roofs, unless solar access is limited in these locations.
 - (iii) Panels shall not extend more than ten (10) feet at maximum pitch/tilt above the surface of the roof to which they are attached. On pitched roofs, panels shall not extend more than three (3) feet.
- ii. **Roof Mounted Small Wind Energy Systems** are permitted with the following requirements:
 - (i) Maximum rated capacity of five kW is permitted per turbine.
 - (ii) One turbine is permitted for each seven hundred and fifty (750) square feet of roof area.
 - (iii) Maximum height is fifteen (15) feet above the surface of the roof.
- iii. **Geothermal Energy** is permitted in any yard with the following requirements:
 - (i) Any related above ground structure shall be located in a side or rear yard with a maximum height of ten (10) feet, subject to all requirements of the Building Type.

(b) **Amphitheater.** Refer to Section 10-2-3 for definition. In the districts where an amphitheater is permitted with a special use permit "O," the following apply:

- i. **Location.** The amphitheater shall be located within an Open Space District (refer to Section 10-10).
- ii. The hours of operation shall be posted and limited to the hours of 8:00 a.m. to 11:00 p.m.

(c) **Car Washes, Detail Shops and/or Service Stations.** Refer to Section 10-2-3 for definitions. In the districts where car washes, detail shops and/or service stations are permitted with a special use permit "O," the following apply:

- i. **Location.** Use must be located inside a parking garage and not visible from the exterior of the parking garage.

(d) **Drive-through Facility.** In the districts where drive-through structures are permitted with development standards ("O"), the following applies. Refer to Figure 10-21-3C (1) for one illustration of the following requirements.

- i. **Structure/Canopy.** Drive-through structures or canopies shall be located on the rear facade of the building or in the rear of the lot behind the building, where permitted by use. The structure shall not be visible from any Primary Street.

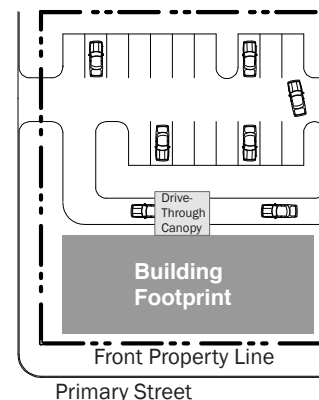


Figure 10-21-3C (1). Recommended drive-through Facility layout.

- ii. **Stacking Lanes.** Stacking lanes shall be located perpendicular to the Primary Street or behind the building.
 - iii. The canopy and structure shall be constructed of the same materials utilized on the building.
- (e) **Home Occupation.** An occupational use that is clearly subordinate to the principal use as a residence and does not require any alteration to the exterior of a building.
- (f) **Outdoor Storage of Goods.**
- i. **Commercial Uses.** This use includes outdoor storage of goods not typically housed or sold indoors, such as large scale materials and building and landscape supplies. In the districts where Outdoor Storage of Goods is permitted with development standards ("O"), the following apply:
 - (i) Loose materials shall not be stacked higher than six (6) feet.
 - (ii) Loose materials shall at a minimum be stored in a three sided shelter and shall be covered.
 - (iii) Materials shall be set back a minimum of ten (10) feet from any property line.
 - (iv) Materials shall not be located on required parking spaces or associated drive aisles.
 - (v) All outdoor storage areas shall be screened from view of adjacent parcels and vehicular rights-of-way using the Side or Rear Buffer.
 - ii. **Residential Uses.** This use includes temporary storage of personal or household goods in personal on demand storage (PODS) containers. In the districts where outdoor storage of goods is permitted with development standards ("O"), the following development standards apply:
 - (i) One (1) storage container can be located on a lot at a time.
 - (ii) On site storage of a container is permitted for up to two (2) months per year.
 - (iii) Containers shall not be located in the Front Yard, but permitted on a driveway.
- (g) **Outdoor Restaurant Dining.** Commercial outdoor dining, serviced by an adjacent service use, and permitted in any

yard. When in a side yard along the front Lot Line, the Patio Frontage buffer is required.

- (h) **Parking Lot.** An uncovered paved surface used solely for the parking of vehicles, intended for use by the occupants in an adjacent building on the lot. Parking lot locations are regulated by Building Type. Refer to Section 10-21-4.
- (i) **Parking Structure.** A structure used solely for the parking of vehicles, intended for use by the occupants in an adjacent building on the lot. Parking Structures within the buildings are regulated per Building Type. Refer to Section 10-21-4.
- (j) **Roadside Produce Stand or Vending.** Refer to Section 10-21-1 for definition.
- (k) **Sidewalk Sales.** A temporary outdoor sale of merchandise by retail businesses, typically occurring on the sidewalk within the public right-of-way for a limited period of time. In the districts where a Sidewalk Sale is permitted with development standards “C,” the following apply:
 - i. A minimum of four (4) feet of the sidewalk must remain available for passing pedestrians.
 - ii. Sidewalk Sales are permitted for up to three (3) days no more than six (6) times per calendar year.
 - iii. Merchandise must be stored inside the building during non-business hours.
 - iv. Merchandise sold shall either be regularly carried within the store, or have been regularly carried within the store in the past year.
- (l) **Temporary Storage Containers.** Outdoor storage of personal or retail stock materials on a temporary basis within a portable storage container. When a Temporary Outdoor Storage use is permitted with development standards “C,” the following apply.
 - i. One (1) storage container may be located on a lot at a time.
 - ii. On site storage of a container is permitted for up to two (2) weeks; up to four (4) weeks is permitted with approval of the Director.
 - iii. The container shall be located in the rear yard, screened by the building from any primary or secondary street.
- (m) **Mobile Food Vendors.** A motorized or towed wheeled vehicle that is designed and equipped to sell food. Shall include both “hot trucks” upon which food is cooked and prepared for vending, and “cold trucks” from which only ready to eat or packaged foods are handled. Refer to Section 10-3-14.

10-21-3 Uses

Neighborhood Retail

(less than 8,000 square feet)

Antique Shop
Art & Education Supplies
Art Gallery
Bakery, Retail
Bicycle Sales & Repair
Book, Magazine, & Newspaper Store
Camera & Photo Supply Store
Candy Store
China & Glassware Shop
Clothing & Clothing Accessories
Coffee Shop
Computer Software Sales
Delicatessen
Electronic Sales & Service
Fabric & Craft Store
Florist
Garden Center/Plant Nursery
Gift, Novelty, & Souvenir Shop
Hardware Store
Hobby Shop
Jewelry Sales & Repair
Luggage & Leather Goods
Microbreweries, Microwineries
Music Store & Instruction
Musical Instrument Repair & Sales
Office Supply
Optical Goods
Paint & Wallpaper
Party Supply Shop
Pet & Pet Supply
Specialty Food Market (Butcher, Fish Market, Produce, etc.), with no alcohol sales
Sporting Goods Sales & Rental
Stationary & Paper Store
Toy Shop
Video/Game Sales
Wine Establishment (no liquor/beer)

General Retail

All Neighborhood Retail (over 8,000 square feet)
Appliance Sales & Service
Department Store
Drug Store/Pharmacy
Furniture & Home Furnishings
General Merchandise Stores
Grocery Store
Medical Supply Store
Used Merchandise Stores (not including books, clothing & antiques)

Recreation/Entertainment

Billiard Parlor
Boat Sales & Rental
Boat Storage
Indoor Playground
Indoor Shooting Gallery/ Gun Range
Marina
Outdoor Music Venue
Railroad Passenger Station
Skating Rink
Stadium
Swimming Pool

Table 10-21-3C (3). List of Typical Uses in Recreation/Entertainment Category

Office

Architecture/Engineering/Design	PR & Advertising
Broadcasting & Telecommunications Studio	Professional Services
Building Contractor (office only)	Property Development
Business Consulting	Real Estate
Charitable Institutions	Research & Development
Clinic	Research Agency
Computer Programming & Support	Surveying
Detective Services	Tax Services
Educational Services (tutor & testing)	
Employment Agency	
Financial & Insurance	
Government Offices	
Legal Services	
Management Services	
Medical & Dental with Laboratory	
Motion Picture & Sound Recording Studio	

Table 10-21-3C (4). List of Typical Uses in Office Category.

Table 10-21-3C (1). List of Typical Uses in Retail Category.

Neighborhood Service

(less than 8,000 square feet)

Amusement Arcade
Barber Shop & Beauty Salon
Catering/Carry-Out & Delivery
Communication Service
Childcare Centers
Dance/Fitness Studio
Dry Cleaning & Laundry
Emergency Care Clinic
Framing
Health & Fitness Center
Home Furniture & Equipment Repair
Locksmith
Mailing Services
Massage Establishments
Nail Salon & Specialty Body
Pet Grooming
Photocopying & Printing
Photography Studio & Supplies
Physical Therapy/Physical Rehabilitation
Repair of Small Goods & Electronics
Restaurant/Bar
Services (Spa)
Shoe Repair
Tailor & Seamstress
Theater
Travel Agency, Ticketing & Tour Operator
Veterinarian (no outdoor training, boarding or kennels)

General Service

All Neighborhood Services (over 8,000 square feet)
Bowling Alley

Small-Scale Industry

Apparel & Finished Fabric Products	Products
Bakery & Confections	Research Laboratory
Beverages, including Beer, Wine, Coffee	Shoes & Boots
Botanical Products	Signs & Advertising
Brooms & Brushes	Smithing
Canning & Preserving Food	Taxidermy
Dairy Products	Toys & Athletic Goods
Electrical Fixtures	Upholstery
Engraving	Woodworking
Fabricated Metal Products	
Film Making	
Furniture & Fixtures	
Glass	
Jewelry, Watches, Clocks, & Silverware	
Leather Products	
Microbreweries, Microwineries	
Musical Instruments & Parts	
Pottery, Ceramics, & Related	

Table 10-21-3C (5). List of Typical Uses in Small-Scale Industry Category.

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10-21-4 Building Types

4.0 Building Types

A. Introduction to Building Type Standards

The buildings detailed in this section outline the Building Types permitted for new construction and renovated structures within the Districts defined in Section 10-21-2.

1. **General.** All Building Types shall meet the following requirements to achieve the intents defined for the districts.
 - (a) Zoning Districts. Each Building Type shall be constructed only within its designated districts. Refer to Table 10-21-4A (1) Permitted Building Types by Districts.
 - (b) Uses. Each Building Type can house a variety of uses depending on the district in which it is located. Refer to 15.3 for uses permitted per district. Some Building Types have additional limitations on permitted uses.
 - (c) No Other Building Types. All buildings constructed shall meet the standards of one of the Building Types within the zoning district of the lot.
 - (d) Permanent Structures. All buildings constructed shall be permanent construction without a chassis, hitch, or wheels, or other features that would make the structure mobile, unless otherwise noted.
 - (e) Accessory Structures.
 - i. Attached accessory structures are considered part of the

principal structure.

- ii. Detached accessory structures are allowed per each Building Type and shall comply with all setbacks except the following:
 - (i) Detached accessory structures are not permitted in the front yard.
 - (ii) Detached accessory structures shall be located behind the principal structure in the rear yard.
 - (iii) Detached accessory structures shall not exceed the height or size (area) of the principal structure.

2. **Page Layout.** Document pages are laid out to provide the maximum amount of information for each building type on one spread of two pages. Refer to Figure 10-21-4A (1) for a typical Building Type layout page.
 - (a) Tables. Refer to Section 10-21-4B for further information on each Table.
 - (b) Graphics typically represent one example of a building that could be developed utilizing the standards for that building type. Graphics are provided to illustrate general intent. In all cases, tables and text supercede graphic representations.

Building Types by Districts						
		Districts				
		S1: Bridge Street	S2: Hydraulic Street	S3: Van Emmon Street	S4: 'B' Street	S5: 'B' Street - Residential
Building Types	Downtown Commercial	●	●	●	●	
	Downtown Living		●	●	●	
	Cottage Commercial	●	●	●	●	
	Civic Building	●	●	●	●	●
	Attached Building			●	●	○
	Yard Building				○	●

●

 Permitted

○

 Requires Permit / Review

Table 10-21-4A (1). Permitted Building Types by District

How To Use The Code

Page Layout

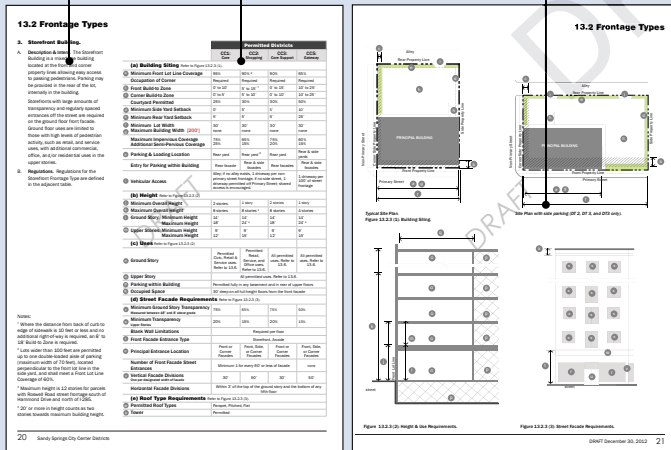
Building Type pages are laid out to provide the maximum amount of information for each Building Type on one spread of two pages.

Graphics typically represent one example of a building that could be developed utilizing the standards for that Building Type. Graphics are provided to illustrate general intent. In all cases, tables and text supercede graphic representations.

Tables define the regulations for each Building Type. Refer to 10-21-4B Explanation of Building Type Table Standards for narrative explanation of each line item.

Graphics related to the tables on the left. Graphics typically represent one example of Building Type standards

Intent of the Building Type.



One Building Type per Spread of Two Pages

Figure 10-21-4A (1). Representative Building Types Spread.

Building Type Tables

Refer to 10-21-4B for an explanation of each line item on the tables. Building Type tables contain all the standards for that Building Type. They are organized by district, so only the information in a parcel's district is applicable to that parcel. The other columns do not apply.

For example, a parcel in CC1 only applies the standards from that column, illustrated below.

		Permitted Districts		
		CC1: Core	CC2: Shopping	CC3: Core Support
(a) Building Siting Refer to Figure 13.2.2 (1).				
a	Minimum Front Lot Line Coverage	95%	90% ²	90%
	Occupation of Corner	Required	Required	Required
b	Front Build-to Zone	0' to 10'	5' to 15' ¹	0' to 15'
c	Corner Build-to Zone	0' to 5'	5' to 10'	0' to 10'
	Courtyard Permitted	25%	30%	30%
d	Minimum Side Yard Setback	0'	5'	5'
e	Minimum Rear Yard Setback	5'	5'	5'
f	Minimum Lot Width	30'	30'	30'
g	Maximum Building Width	none	none	none
	Maximum Impervious Coverage	75%	65%	75%
	Additional Semi-Pervious Coverage	25%	15%	20%
h	Parking & Loading Location	Rear yard	Rear yard ²	Rear yard
	Entry for Parking within Building	Rear facade	Rear & side facades	Rear facades
i	Vehicular Access	Alley; if no alley exists, 1 driveway per non-primary street frontage; if no side street, 1 driveway permitted off Primary Street; shared access is encouraged.		
(b) Height Refer to Figure 13.2.2 (2)				
j	Minimum Overall Height	2 stories	1 story	2 stories
k	Maximum Overall Height	8 stories	8 stories ³	8 stories
l	Ground Story: Minimum Height	14'	14'	14'
	Maximum Height	18'	24' ⁴	18'
m	Upper Stories: Minimum Height	9'	9'	9'
	Maximum Height	12'	15'	12'
(c) Uses Refer to Figure 13.2.2 (2)				
n	Ground Story	Permitted Civic, Retail & Service uses. Refer to 13.6.	Permitted Retail, Service, and Office uses. Refer to 13.6.	All permitted uses. Refer to 13.6.
o	Upper Story	All permitted uses. Refer to 13.6.		
p	Parking within Building	Permitted fully in any basement and in rear of upper floors		
q	Occupied Space	30' deep on all full height floors from the front facade		
(d) Street Facade Requirements Refer to Figure 13.2.2 (3).				
r	Minimum Ground Story Transparency Measured between 18" and 8' above grade	75%	65%	75%
s	Minimum Transparency Upper Stories	20%	15%	20%
	Blank Wall Limitations	Required per floor		
t	Front Facade Entrance Type	Storefront, Arcade		
u	Principal Entrance Location	Front or Corner Facades	Front, Side, or Corner Facades	Front or Corner Facades
	Number of Front Facade Entrances	Minimum 1 for every 60' or less of facade		
v	Vertical Facade Divisions One per designated width of facade	30'	50'	30'
	Horizontal Facade Divisions	Within 3' of the top of the ground story and the bottom of any fifth floor		
(e) Roof Type Requirements Refer to Figure 13.2.2 (3).				
w	Permitted Roof Types	Parapet, Pitched, Flat		
x	Tower	Permitted		

Figure 10-21-4A (2). Building Type Table Example.

10-21-4 Building Types

B. Explanation of Building Type Table Standards

The following explains and further defines the standards outlined on the tables for each Building Type, refer to Sections 10-21-4C through 10-21-4H.

1. **Building Siting.** The following explains the line item requirements for each Building Type Table within the first section entitled "Building Siting". Table 10-21-4B (1) illustrates an example of a Building Siting Table from a typical Building Type.
 - (a) Multiple Principal Structures. The allowance of more than one (1) principal structure on a lot.
 - (b) Minimum Front Lot Line Coverage. Refer to Figure 10-21-4B (1). Measurement defining the minimum percentage of street wall or building facade along the street. The width of the principal structure(s) (as measured within the front build-to zone) shall be divided by the maximum width of the front build-to zone (BTZ).
 - i. Certain buildings have this number set to also allow the development of a courtyard along the front lot line.
 - ii. Some frontage types allow side yard parking to be exempted from the front lot line coverage calculation. If such an exemption is permitted, the width of up to one (1) double loaded aisle of parking, located with the drive perpendicular to the street and including adjacent sidewalks and landscaping, may be exempted, to a set maximum in feet.
 - iii. When driveway is located at the front lot line (Figure 10-21-4B (1)) and a side yard parking is not utilized, a driveway width of twenty (20) feet may be deducted from the width of the BTZ and is not included in the calculation of the minimum front lot line.
 - (c) Occupation of Corner. Occupying the intersection of the front and corner build-to zones with a principal structure.
 - (d) Front Build-to Zone. The build-to zone or setback parallel to the front lot line. Building components, such as awnings or signage, are permitted to encroach beyond the build-to zone.
 - i. All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (e) Corner Build-to Zone. The build-to zone or setback parallel to the corner side property line.
 - i. All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (f) Minimum Side Yard Setback. The minimum required setback along a side property line.
 - i. All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (g) Minimum Rear Yard Setback. The minimum required setback along a rear property line.
 - i. All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (h) Minimum Lot Width. The minimum width of a lot, measured at the build-to zone.

Permitted Districts

District A

District B

(a) Building Siting

Multiple Principal Buildings	Not permitted	Not permitted
Minimum Front Lot Line Coverage	95%	65%
Occupation of Corner	Required	Required
Front Build-to Zone	0' to 20' ¹	5' to 20' ¹
Corner Build-to Zone	0' to 5'	0' to 10'
Minimum Side Yard Setback	0'	5'
Minimum Rear Yard Setback	5'; 25' if located adjacent to residential	
Minimum Lot Width	30'	30'
Maximum Building Width	none	none
Maximum Impervious Coverage	75% ³	65% ³
Additional Semi-Pervious Coverage	25%	15%
Parking & Loading Location	Rear yard	Rear yard
Entry for Parking within Building	Rear & Side Facades	
Vehicular Access	Alley; if no alley exists, 1 driveway per street frontage	

Table 10-21-4B (1). Example Building Siting Requirements Table from a Typical Building Type.

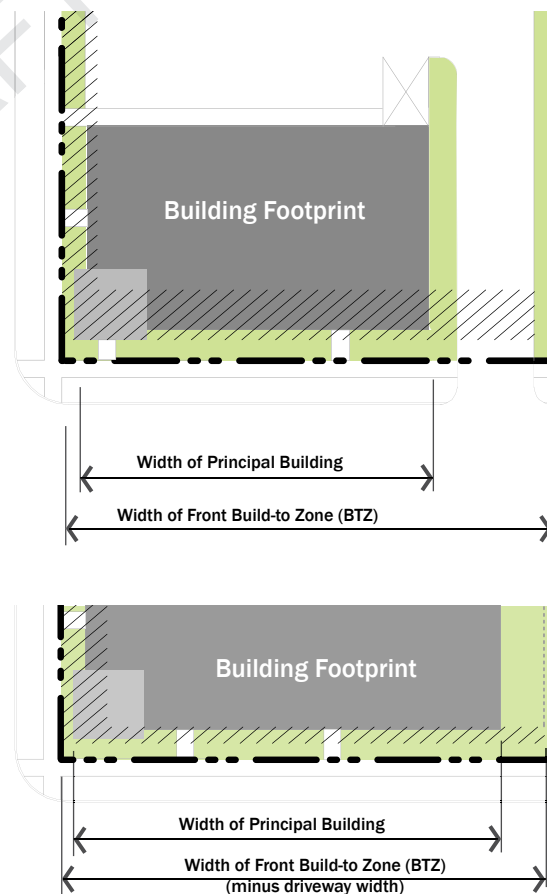


Figure 10-21-4B (1). Measuring Front Lot Line Coverage

10-21-4 Building Types

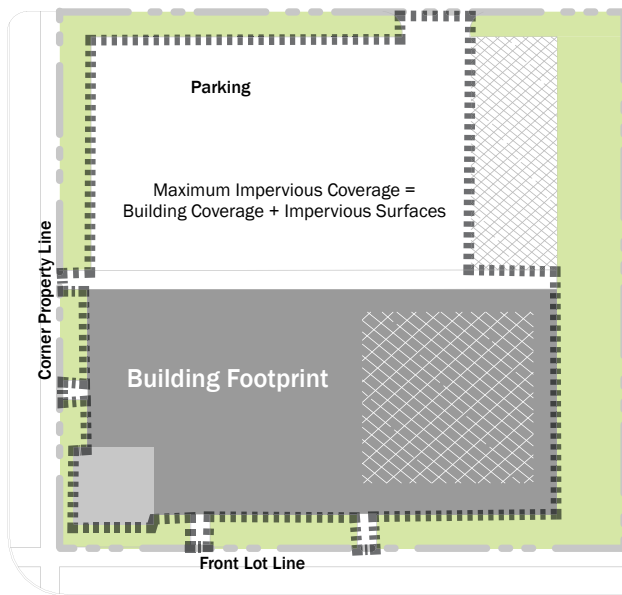


Figure 10-21-4B (2). Maximum Impervious & Additional Semi-Pervious Coverage.

- (i) Maximum Building Width. The maximum width of a building, measured across the front facade.
 - (j) Maximum Impervious Coverage. (Refer to Figure 10-21-4B (2)). The maximum percentage of a lot permitted to be covered by principal structures, accessory structures, pavement, and other impervious surfaces.
 - (k) Additional Semi-Pervious Coverage. The additional percentage of a lot beyond the Maximum Impervious Coverage, which may be surfaced in a semi-pervious material, including a green roof or pavers.
 - (l) Parking & Loading Location. The yard in which a surface parking lot, detached garage, attached garage door access, loading and unloading, and associated drive is permitted.
 - (m) Entry for Parking within Building. Permitted garage door location for parking entrance when parking is located within building.
 - (n) Vehicular Access. The permitted means of vehicular ingress and egress to the lot.
 - i. Alleys, when present, shall always be the primary means of access.
 - ii. When alleys are not present, a driveway may be permitted per Building Type and, if an alternative is available, shall not be located off a Primary Street.
2. **Height.** The following explains the line item requirements for each Building Type Table within the second section entitled "Height". Table 10-21-4B (2), illustrates an example of a Height Requirements Table from a typical Building Type.
- (a) Minimum Height (in Stories). The minimum overall height for

	Permitted Districts	
	District A	District B
(b) Height		
Minimum Overall Height	2 stories	2 story
Maximum Overall Height	5 stories	5 stories
Ground Story: Minimum Height	14'	14'
Maximum Height	18'	18'
Upper Stories: Minimum Height	9'	9'
Maximum Height	12'	12'

Table 10-21-4B (2). Example Height Requirements Table from a Typical Building Type.

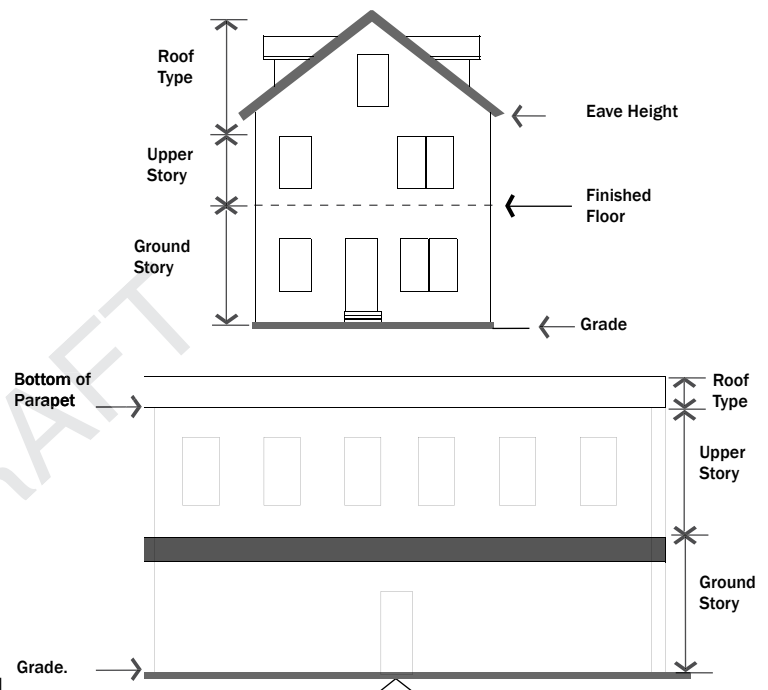


Figure 10-21-4B (3). Measuring Height

the building shall be located within the build-to zone; stories above the minimum height may be stepped back from the facade.

- (b) Maximum Height (in Stories). The sum of a building's total number of stories.
 - i. Half stories are located either completely within the roof structure with street-facing windows or in a visible basement exposed a maximum of one half story above grade.
 - ii. A building incorporating both a half story within the roof and a visible basement shall count the height of the two (2) half stories as one (1) full story.
 - iii. Some Building Types require a building facade to step back as its height increases. The upper stories of any building facade with street frontage shall be setback a designated amount beyond the building facade of the lower stories.

10-21-4 Building Types

- iv. Floors within the building shall be visibly designated on the street facades by the use of expression lines or the layout of the windows.
- (c) Ground Story and Upper Story, Minimum and Maximum Height. (Refer to Figure 10-21-4B (3)). Each frontage type includes a permitted range of height in feet for each story. Additional information is as follows:
 - i. Floor height is measured in feet between the floor of a story to the floor of the story above it.
 - ii. For single story buildings and the uppermost story of a multiple story building, floor to floor height shall be measured from the floor of the story to the tallest point of the ceiling.
 - iii. Double height spaces may be located along any non-street facade or in the entrance way to the building. The entrance way shall not exceed fifty percent (50%) of the street facade.

3. **Uses.** The following explains the line item requirements for each Building Type Table within the third section entitled "Uses." Refer to Section 10-21-3 for uses permitted within each District. The requirements in this section of the Building Type Tables may limit those uses within a specific Building Type. Table 10-21-4B (3) illustrates an example of the Uses table from a typical Building Type.

- (a) Ground and Upper Story. The uses or category of uses which may occupy the ground and/or upper story of a building.
- (b) Parking Within Building. The area(s) of a building in which parking is permitted within the structure.
- (c) Occupied Space. The area(s) of a building that shall be designed as occupied space, defined as interior building space regularly occupied by the building users. It does not include storage areas, utility space, or parking.

4. **Street Facade Requirements.** The following explains the line item requirements for each Building Type Table within the fourth section entitled "Street Facade Requirements." These requirements apply only to facades facing a public or private street right-of-way. The rear or interior side yard facades are not required to meet these standards unless otherwise stated. Table 10-21-4B (4) illustrates an example of a Street Facade Requirements Table from a typical Building Type.

- (a) Minimum Ground Story and Upper Floor Transparency. (Refer to Figure 10-21-4B (5)). The minimum amount of transparency on street facades with street frontage.
 - i. Transparency is any glass in windows and/or doors, including any mullions, that is highly transparent with low reflectance.
 - (i) Ground Story Transparency, when defined separately from the overall minimum transparency, shall be measured between two (2) feet and eight (8) feet from the base of the front facade.
 - (ii) A general Minimum Transparency requirement shall be measured from floor to floor of each story.
- (b) Blank Wall Limitations. A restriction of the amount of windowless area permitted on a facade with street frontage. If required, the following shall both be met for each story:

- i. No rectangular area greater than thirty percent (30%) of a story's facade, as measured from floor to floor, may be windowless; and
- ii. No horizontal segment of a story's facade greater than fifteen (15) feet in width may be windowless.

5. Entrance Type.

- (a) Front Facade Entrance Type. The Entrance Type(s) permitted for the entrance(s) of a given Building Type. A mix of permitted Entrance Types may be utilized. Refer to Section 10-21-4I Entrance Types for definition of and additional requirements for each.
- (b) Principal Entrance Location. The facade on which the primary building entrance is to be located.

Permitted Districts	
District A	District B
(c) Uses	
Ground Story	Per Section 15.3 Uses
Upper Story	Per Section 15.3 Uses
Parking within Building	Permitted fully in any basement and in rear of upper floors
Occupied Space	20' deep on all full height floors from the front facade

Table 10-21-4B (3). Example Uses Table from a Typical Building Type.

		Permitted Districts	
		District A	District B
(d) Street Facade Requirements			
Minimum Ground Story Transparency Measured between 2' and 8' above grade	65%	65%	
Minimum Transparency Upper Stories	20%	20%	
Blank Wall Limitations	Required per floor		
Front Facade Entrance Type	Storefront, Arcade		
Principal Entrance Location	Front or Corner Facades		
Number of Street Entrances	Minimum 1 for every 50' or less of facade		
Ground Story Vertical Divisions	One per every 30' of facade width		
Horizontal Facade Divisions	Within 3' of the top of the ground story and the bottom of any fifth floor		
Facade Variety Required Refer to 15.4B.4(h) for requirements.	Every 80' of facade width		

Table 10-21-4B (4). Example Street Facade Requirements Table from a Typical Building Type.

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- (c) Number of Street Entrances. The minimum number of and maximum spacing between entrances on the ground floor building facade with street frontage.
- (d) Ground Story Vertical Divisions. The use of a vertically oriented expression line or form to divide the ground floor facade into increments no greater than the dimension shown in Figure 10-21-4I (1), as measured along the base of the facade, and extending a minimum of eighty percent (80%) from the average grade of the facade elevation to the interior ceiling. Elements may include a column, pilaster, or other continuous vertical ornamentation.
- (e) Horizontal Facade Divisions. The use of a horizontally oriented expression line or form to divide portions of the facade into horizontal divisions, extending a minimum of ninety percent (90%) of the full width of the facade. Elements may include a cornice, belt course, molding, string courses, or other continuous horizontal ornamentation a minimum of one and a half inch depth.
- (f) Facade Variety Requirements. Building design shall vary between designated vertical facade divisions, where required per the Building Type, and from adjacent buildings by the type of dominant material or color, scale, or orientation of that material and at least two of the following. Refer to Figure 10-21-4B (5) for one illustration of this requirement.
 - i. The proportion of recesses and projections.
 - ii. The location of the entrance and window placement, unless storefronts are utilized.
 - iii. Roof type, plane, or material, unless otherwise stated in the Building Type requirements.

6. **Roof Type.** The following explains the line item requirements for each Building Type Table in Sections 10-21-4C through 10-21-4H, within the fifth section entitled "Roof Types." Table 10-21-4B (5) illustrates an example of a Roof Type Requirements Table from a typical Building Type.

- (a) Permitted Roof Type. The roof type(s) permitted for a given Building Type. Refer to Section 10-21-4J for more specific requirements.
- (b) Tower. A vertical building extension that may be permitted in conjunction with another roof type on certain Building Types. Refer to Section 10-21-4J.



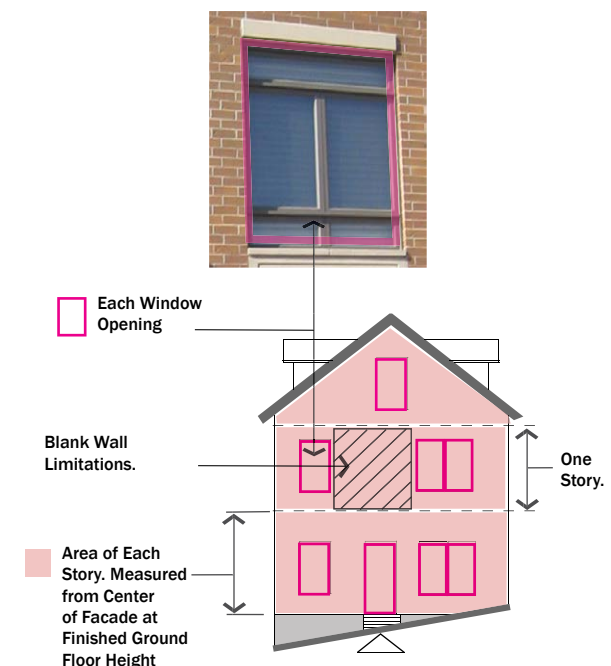
Figure 10-21-4B (4). Building Variety.

Permitted Districts	
District A	District B
(e) Roof Type Requirements	
Permitted Roof Types	Parapet, Pitched, Flat
Tower	Permitted

Table 10-21-4B (5). Example Roof Type Requirements Table from a Typical Building Type.



Measuring Ground Floor Transparency on a Storefront Base.



Measuring Transparency on Each Story with Slope.

Figure 10-21-4B (5). Measuring Transparency.

10-21-4 Building Types

C. Downtown Commercial Building

- Description & Intent.** The Downtown Commercial Building is a building located at the front and corner property lines allowing easy access to passing pedestrians. Parking may be provided in the rear of the lot, internally in the building, or, in some cases, no off-street parking is required.

Storefronts with large amounts of transparency and regularly spaced entrances off the street are utilized on the ground floor front facade. Ground floor uses are limited to those with high levels of pedestrian activity, such as retail, service, and office uses, with additional commercial, office, and/or residential uses in the upper stories.

- Regulations.** Regulations for the Downtown Commercial Building Type are defined in the adjacent table.

Notes:

¹ Each building shall meet all requirements of the Building Type.

² A max. six (6) foot gap is allowed if it serves as a walkable passage.

³ If located adjacent to flood hazard area, refer to requirements of the Yorkville Stormwater Ordinance No. 2012-56. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

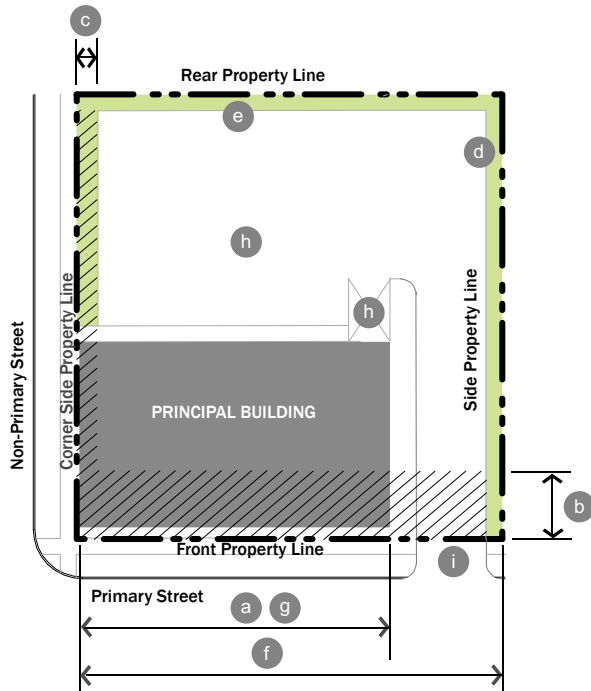
⁴ Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

⁵ Lots wider than one hundred (100) feet are permitted one double-loaded aisle of parking (maximum width of seventy (70) feet), located perpendicular to the front lot line and shall meet a Front Lot Line Coverage of sixty percent (60%).

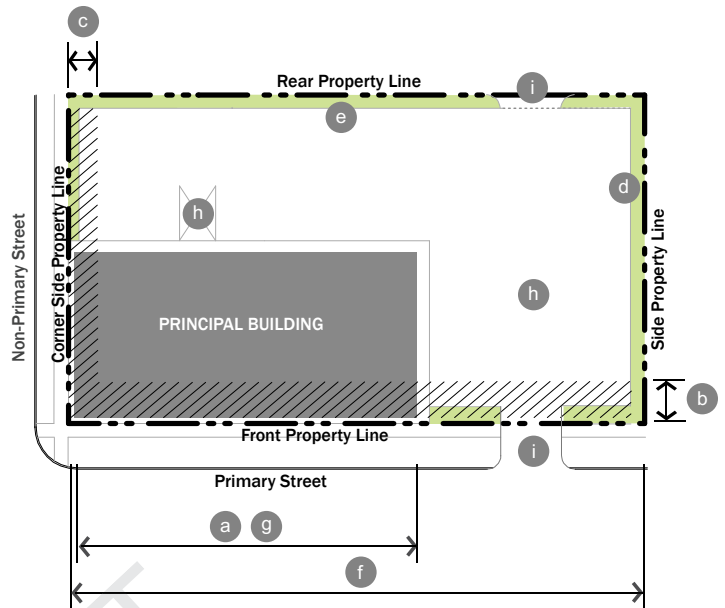
⁶ Eighteen (18) feet or more in height counts as two (2) stories towards maximum building height.

		Permitted Districts			
		S 1: Bridge Street	S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street
(a) Building Siting Refer to Figures 10-21-4C (1) and 10-21-4C(2)					
Multiple Principal Buildings		Permitted ¹			
a	Minimum Front Lot Line Coverage	100% ²	75%	90% ²	65%
Occupation of Corner		Required			
b	Front Build-to Zone	0' to 5'			
c	Corner Build-to Zone	0' to 5'	0' to 10'		
d	Minimum Side Yard Setback	0'; 5' if adjacent to other Building Type			5'
e	Minimum Rear Yard Setback	5'; 25' if located adjacent to residential ³			
f	Minimum Lot Width	none	16'		
g	Maximum Building Width	none	none		
Maximum Impervious Coverage		95% ⁴	80% ⁴		
Additional Semi-Pervious Coverage		5%	20%		
h	Parking & Loading Location	Rear yard; existing developed sites require no add'l parking and/or loading facilities	Rear Yard & Side Yard ⁵		
Entry for Parking within Building		Rear & Side Facades			All Sides
i	Vehicular Access	none	Alley; if no alley exists, 1 driveway per every 80' of frontage is permitted off non-Primary street; if no side street, 1 driveway permitted off Primary Street; shared access is encouraged.		
(b) Height Refer to Figure 10-21-4C (3)					
j	Minimum Overall Height	2 stories	1 story		
k	Maximum Overall Height	6 stories (with min. 3' setback at 3 stories)	4 stories		
l	Ground Story: Minimum Height	14'	12'	14'	12'
	Maximum Height	24' ⁶	24' ⁶	24' ⁶	24' ⁶
m	Upper Stories: Minimum Height	9'			
	Maximum Height	14'			
(c) Uses Refer to Figure 10-21-4C (3)					
n	Ground Story	Per Section 10-21-3 Uses; residential permitted provided that it is located at least 20' from the front primary facade			
o	Upper Story	Per Section 10-21-3 Uses			
p	Parking within Building	Permitted fully in any basement and in rear of all floors			
q	Occupied Space	20' deep on all full height floors from the front facade			
(d) Street Facade Requirements Refer to Figure 15.4C (4)					
r	Minimum Ground Story Transparency Measured between 2' and 8' above grade	50%	30%		
s	Minimum Upper Story Transparency Street-Facing Stories	20%	15%		
t	Front Facade Entrance Type	Storefront, Elevated Storefront (permitted only on parcels in flood hazard areas per Section 18 of the City's Code of Ordinances)			
u	Principal Entrance Location	Front or Corner Facades			
Number of Street Entrances		Minimum 1 for every 30' or less of facade	Minimum 1 for every 50' or less of facade	Minimum 1 for every 80' or less of facade	
Ground Story Vertical Divisions		One per every 20-40' of facade width			
Horizontal Facade Divisions		Within 3' of top of ground story and the bottom of any fifth floor		Within 3' of top of ground story	
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.		Every 40' of facade width		Every 50' of facade width	
(e) Roof Type Requirements Refer to Figure 10-21-4C (4)					
v	Permitted Roof Types	Parapet, Pitched, Flat			
Tower		Permitted			

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Typical Site Plan.
Figure 10-21-4C (1): Building Siting.



Site Plan with side parking (S 2 and S4 only).
Figure 10-21-4C (2): Building Siting.

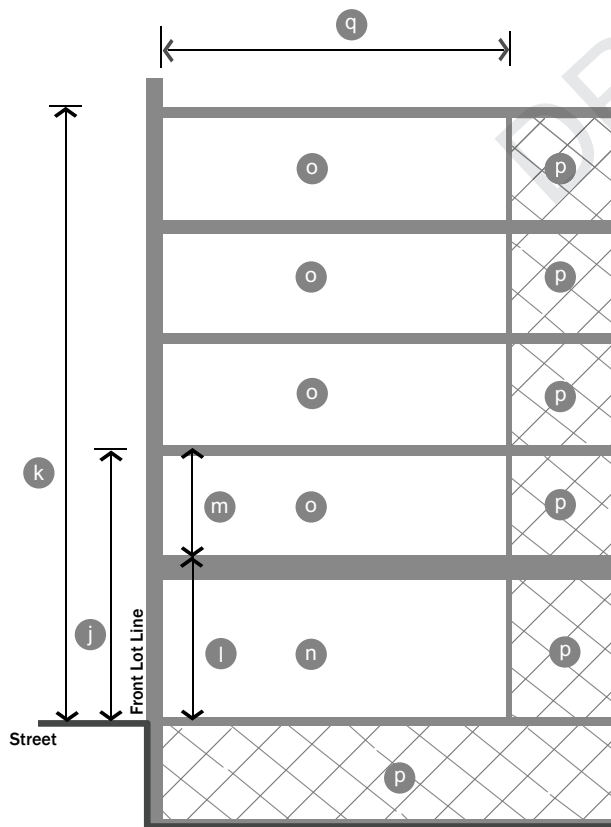


Figure 10-21-4C (3): Height & Use Requirements.

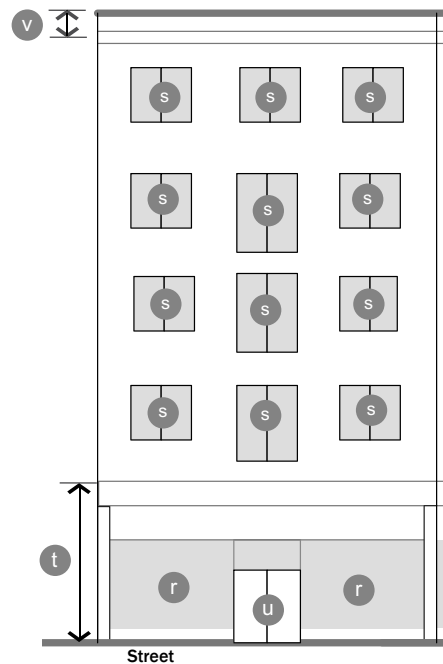


Figure 10-21-4C (4): Street Facade Requirements.

10-21-4 Building Types

D. Downtown Living Building

- Description & Intent.** The Downtown Living Building Type is limited in terms of uses by the district within which it is located, generally housing office and/or residential uses. Similar to the Downtown Commercial Building, the Downtown Living building is intended to be built close to the front and corner property lines, but generally allows for more landscape space between the building and the street. Parking may be provided in the rear of the lot, internally in the building, or, in some cases, one double loaded aisle of parking is permitted in the interior or the side yard at the front lot line.
- Regulations.** Regulations for the Downtown Living Building Type are defined in the adjacent table.

Notes:

¹ Each building shall meet all requirements of the Building Type.

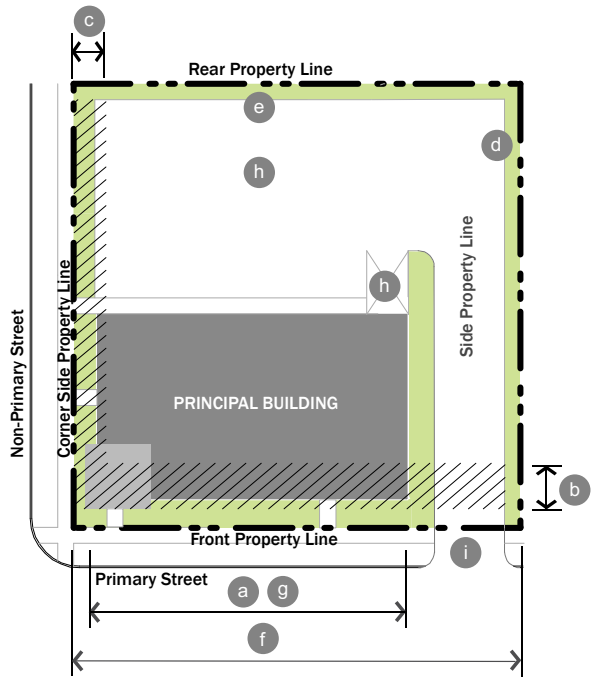
² If located adjacent to flood hazard area, refer to requirements of the Yorkville Stormwater Ordinance No. 2012-56. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

³ Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

⁴ Lots wider than one hundred (100) feet are permitted one double-loaded aisle of parking (maximum width of seventy (70) feet), located perpendicular to the front lot line and shall meet a Front Lot Line Coverage of sixty percent (60%).

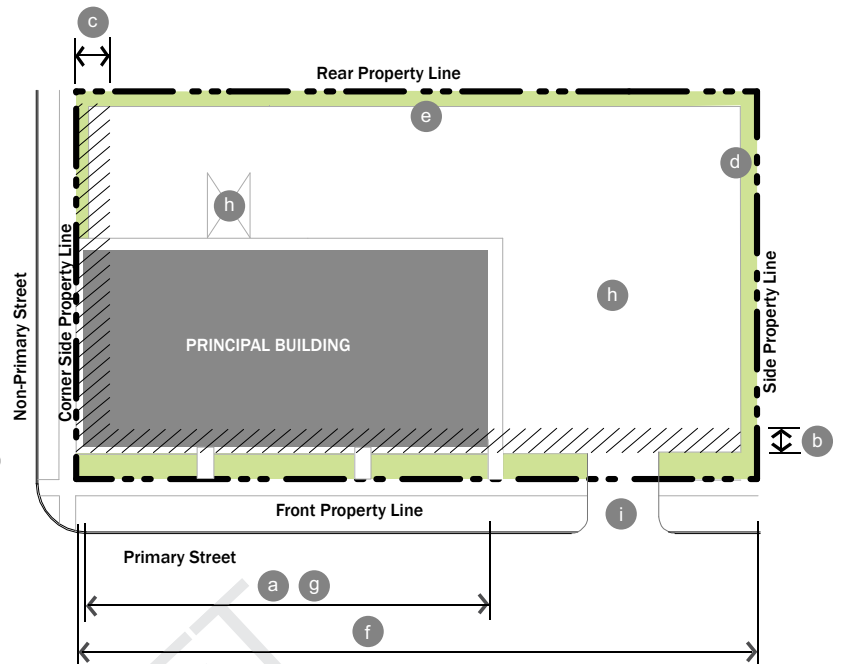
		Permitted Districts		
		S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street
(a) Building Siting Refer to Figures 10-21-4D (1) and 10-21-4D (2)				
Multiple Principal Buildings		Permitted ¹		
a	Minimum Front Lot Line Coverage	75%		50%
Occupation of Corner		Required		
b	Front Build-to Zone	5' to 15'		5' to 20'
c	Corner Build-to Zone	0' to 10'		5' to 20'
d	Minimum Side Yard Setback	5'		10'
e	Minimum Rear Yard Setback	5'; 25' if located adjacent to residential ²		
f	Minimum Lot Width	16'		
g	Maximum Building Width	none		
Maximum Impervious Coverage		65% ³	75% ³	65% ³
Additional Semi-Pervious Coverage		20%	20%	20%
h	Parking & Loading Location	Rear yard ⁴ , Side Yard		
Entry for Parking within Building		Rear & Side Facades		
i	Vehicular Access	Alley; if no alley exists, 1 driveway per every 80' of frontage is permitted off non-Primary street; if no side street, 1 driveway permitted off Primary Street; shared access is encouraged.		
(b) Height Refer to Figure 10-21-4D (3)				
j	Minimum Overall Height	1 story		
k	Maximum Overall Height	4 stories		
l	All Stories: Minimum Height	9'		
	Maximum Height	14'		
(c) Uses Refer to Figure 10-21-4D (3).				
m	All Stories	Per Section 10-21-3 Uses; residential dwelling allowed provided that it is located at least 20' from the front primary facade		
n	Parking within Building	Permitted fully in any basement and in rear of all floors		
o	Occupied Space	20' deep on all full height floors from the front facade		
(d) Street Facade Requirements Refer to Figure 10-21-4D (4).				
p	Minimum Transparency Per each Story	20%		
q	Front Facade Entrance Type	Stoop, Porch		
r	Principal Entrance Location	Front facade or corner facade		
Number of Street Entrances		Minimum 1 for every 100' or less of facade		
Ground Story Vertical Divisions		Every 60' of facade width		
Horizontal Facade Divisions		Within 3' of the top of the ground story and any visible basement		
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.		Every 50' of facade width		
(e) Roof Type Requirements Refer to Figure 10-21-4D (4)				
s	Permitted Roof Types	Parapet, pitched, flat		
t	Tower	Permitted		

10-21-4 Building Types



Typical Site Plan.

Figure 10-21-4D (1): Building Siting.



Site Plan with side parking (S 3 and S 4 only).

Figure 10-21-4D (2): Building Siting.

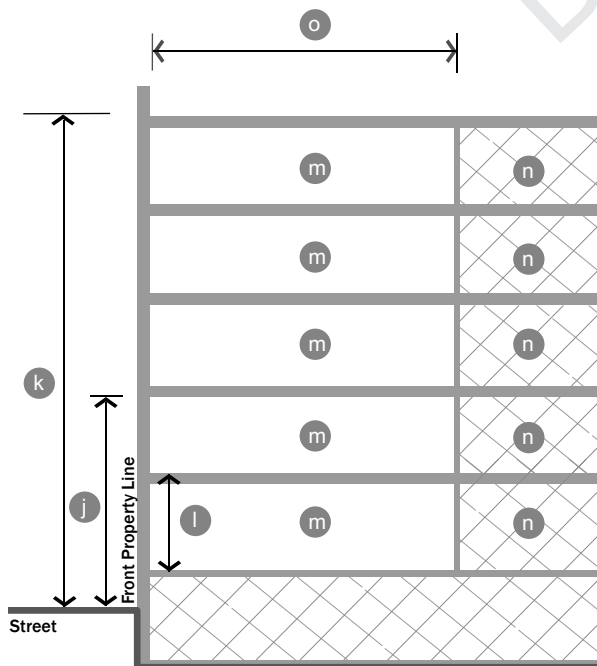


Figure 10-21-4D (3): Height & Use Requirements.

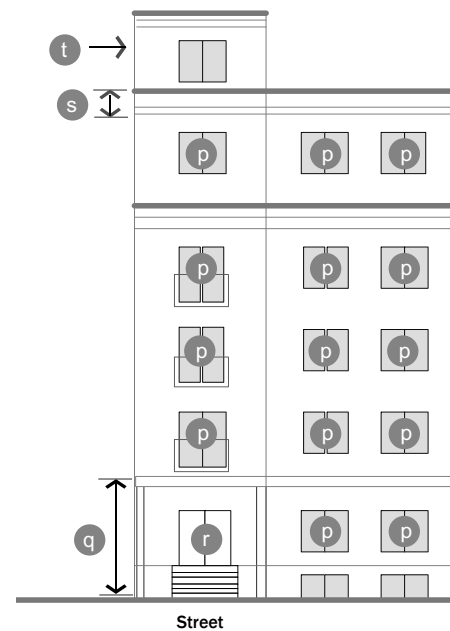


Figure 10-21-4D (4): Street Facade Requirements.

10-21-4 Building Types

E. Cottage Commercial Building

- Description & Intent.** The Cottage Commercial Building combines characteristics of the Downtown Commercial Building Type with physical characteristics of a residential cottage, such as a pitched roof and a front stoop or porch.

This lower-scale building has a pedestrian-friendly storefront, stoop, or porch entrance type with moderate transparency and a primary entrance that faces the street. Constructed with Setbacks similar to a residential cottage, this building typically has more landscape area than the Downtown Commercial Building Types. Parking is permitted in the rear of the lot or a side aisle (with conditions).

The Cottage Commercial Building may contain a mix of uses, including retail, service, and office uses on the ground floor, with residential uses on upper floors.

- Regulations.** Regulations for the Cottage Commercial building type are defined in the adjacent table.

Notes:

¹ Each building shall meet all requirements of the Building Type.

² If located adjacent to flood hazard area, refer to requirements of the Yorkville Stormwater Ordinance No. 2012-56. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

³ Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

⁴ Lots wider than eighty (80) feet are permitted one single-loaded aisle of parking (maximum width of forty (40) feet), located perpendicular to the front lot line, and shall meet a Front Lot Line Coverage of fifty percent (50%).

⁵ Attached garages are considered part of the principal building and shall meet all setbacks. Detached garages shall meet all setbacks unless an alley is present. When an alley is present, detached garages shall have a minimum rear setback of five (5) feet.

		Permitted Districts			
		S 1: Bridge Street	S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street
(a) Building Siting Refer to Figure 10-21-4E (1)					
Multiple Principal Buildings		Refer to District Street Details			
a	Minimum Front Lot Line Coverage	60%	50%	40%	
Occupation of Corner		Required			
b	Front Build-to Zone	5' to 10'	5' to 20'		
c	Corner Build-to Zone	5' to 10'	5' to 25'		5' to 15'
d	Minimum Side Yard Setback	10'	15'		
e	Minimum Rear Yard Setback	25' ²			
f	Minimum Lot Width	25'			
g	Maximum Building Width	50'			
Maximum Impervious Coverage		70% ³		60% ³	
Additional Semi-Pervious Coverage		15%		15%	
h	Parking & Loading Location	Rear yard; attached garages access off rear facade only. ^{4,5}			
Entry for Parking within Building		Not Permitted on Primary Street			
i	Vehicular Access	Alley; if no alley exists, 1 driveway permitted off non-Primary street; if no side street, 1 driveway permitted off Primary Street; shared access is encouraged.			
(b) Height Refer to Figure 10-21-4E (2)					
j	Minimum Overall Height	none			
k	Maximum Overall Height	3.5 stories			
l	Minimum Ground Story Height	10'			
(c) Uses Refer to Figure 10-21-4E (2)					
m	Ground Story	Per Section 10-21-3 Uses			
n	Upper Stories	Per Section 10-21-3 Uses			
o	Parking within Building	Not Permitted on Primary Street			
p	Occupied Space	20' deep on all full height floors from the front facade			
(d) Street Facade Requirements Refer to Figure 10-21-4E (3)					
q	Minimum Ground Story Transparency Measured between 2' and 8' above grade	40%	30%		
r	Minimum Transparency Upper Stories	15%			
Blank Wall Limitations		Required per floor			
s	Front Facade Entrance Type	Porch (Storefront, Elevated Storefront permitted only on parcels in flood hazard areas per Section 18 of the City's Code of Ordinances; Stoop permitted with design review			
t	Principal Entrance Location	Front or corner side facade			
Number of Street Entrances		Minimum 1 per Building			
Ground Story Vertical Divisions		Not required			
Horizontal Facade Divisions		Within 3' of the top of any visible basement			
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.		Between adjacent buildings			
(e) Roof Type Requirements Refer to Figure 10-21-4E (3)					
u	Permitted Roof Types	Pitched			
Tower		Permitted			

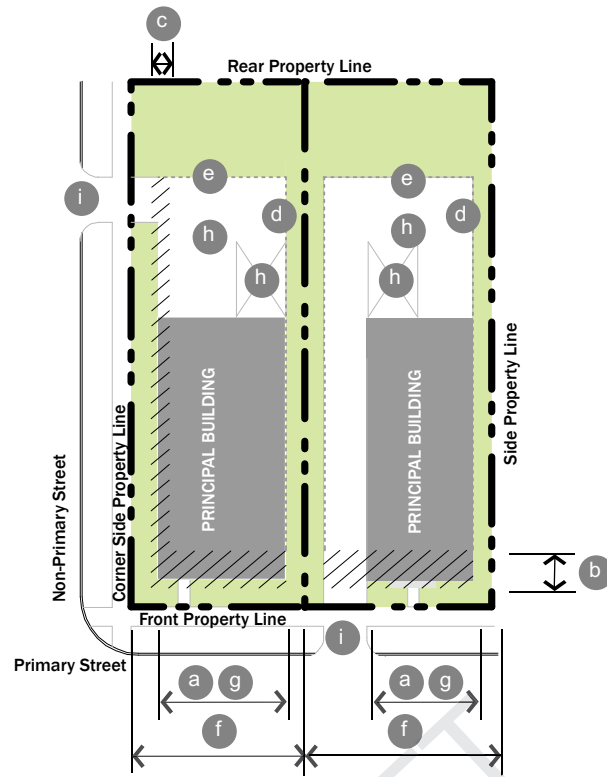


Figure 10-21-4E (1). Building Siting.

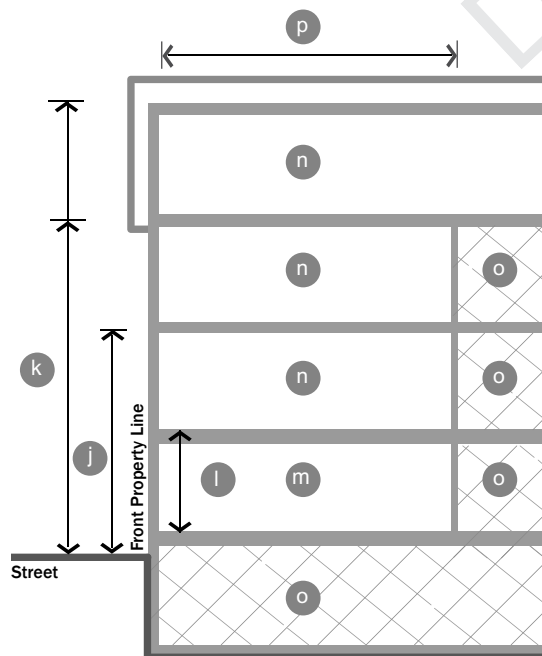


Figure 10-21-4E (2). Height & Use Requirements.

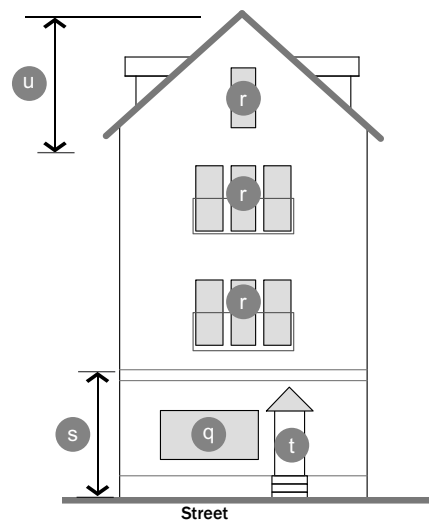


Figure 10-21-4E (3). Street Facade Requirements.

10-21-4 Building Types

F. Civic Building

1. Description & Intent. The Civic Building Type is a more flexible Building Type intended only for civic and institutional types of uses. These buildings are distinctive within the community fabric created by the other Building Types. Parking is limited to the rear in most cases. The maximum heights of this Building Type depend on the district within which it is located.
2. Regulations. Regulations for the Civic Building Type are defined in the adjacent table.

Permitted Districts				
S 1: Bridge Street	S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street	S 5: 'B' Street Residential

(a) Building Siting Refer to Figure 10-21-4F (1)					
Multiple Principal Buildings		Refer to District Street Details			
Minimum Front Lot Line Coverage		Refer to District Street Details			
Occupation of Corner		Required			
a	Front Build-to Zone	0' to 10'	0' to 15'		
b	Corner Build-to Zone				
c	Minimum Side Yard Setback	5'	10'		
d	Minimum Rear Yard Setback	5'; 25' if located adjacent to residential ¹			
e	Minimum Lot Width	16'	30' none		
	Maximum Building Width	none			
Maximum Impervious Coverage		70% ²	70% ²	50% ²	
Additional Semi-Pervious Coverage		20%	10%	20%	
f	Parking & Loading Location	Rear yard ³			
Entry for Parking within Building		Rear & Side Facades			
g	Vehicular Access	Alley	Alley; if no alley exists, 1 driveway is permitted per street frontage		
(b) Height Refer to Figure 10-21-4F (2)					
h	Minimum Overall Height	1 story			
i	Maximum Overall Height	6 stories (with min. 3' setback at 3 stories)	4 stories		3 stories
j	Ground Story: Minimum Height	14'	12'	14'	12'
	Maximum Height	24' ⁴	24' ⁴	24' ⁴	18' ⁴
k	Upper Stories: Minimum Height	9'	9' 12'		
	Maximum Height	14'			
(c) Uses Refer to Figure 10-21-4F(2)					
l	All Stories	Limited to uses in the Civic category and Entertainment Uses by Special Use. Refer to 15.3 Uses.			
m	Parking within Building	Permitted fully in any basement and in rear of all floors			
n	Occupied Space	30' deep on all full height floors from the front facade			
(d) Street Facade Requirements Refer to Figure 10-21-4F (3)					
o	Minimum Transparency Per each Story	12%			
Blank Wall Limitations		None			
p	Front Facade Entrance Type	None required			
q	Principal Entrance Location	Front or corner Facade			
Number of Street Entrances		1 per each 150' of front facade			
Ground Story Vertical Divisions		none required			
Horizontal Facade Divisions		none required			
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.		none required			
(e) Roof Type Requirements Refer to Figure 10-21-4F (3)					
r	Permitted Roof Types	Parapet, Pitched, Flat, Other Roofs with approval per 10-21-4J			Pitched
s	Tower	Permitted			

Notes:

¹ If located adjacent to flood hazard area, refer to requirements of the Yorkville Stormwater Ordinance No. 2012-56. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

² Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

³ Lots wider than one hundred (100) feet are permitted one double-loaded aisle of parking (maximum width of seventy (70) feet), located perpendicular to the front lot line.

⁴ Eighteen (18) feet or more in height counts as two (2) stories towards maximum building height.

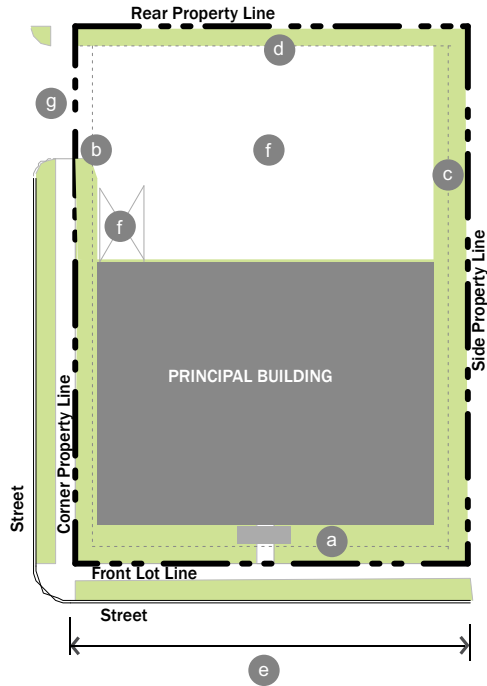


Figure 10-21-4F (1). Building Siting.

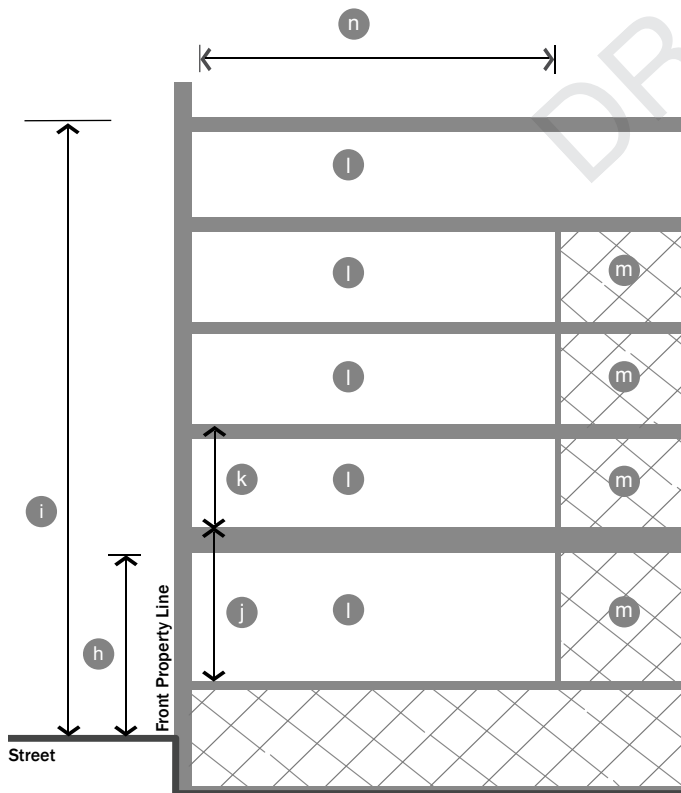


Figure 10-21-4F (2). Height & Use Requirements.

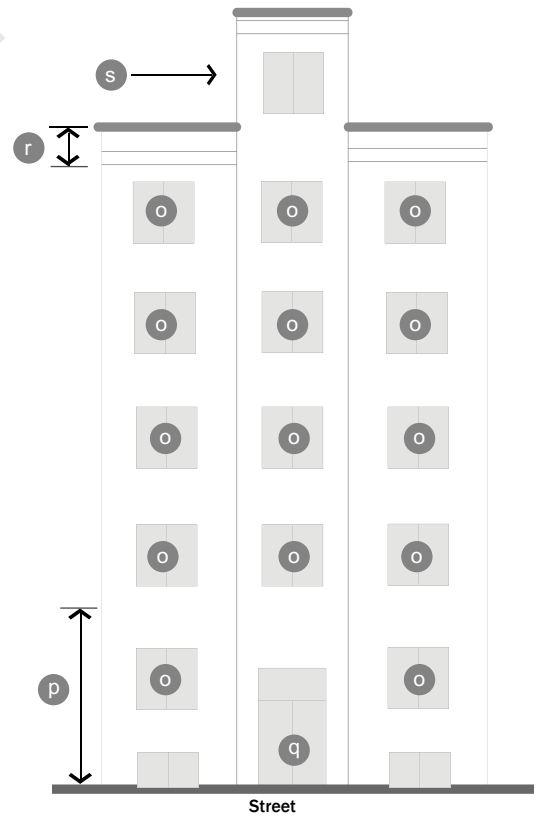


Figure 10-21-4F (3). Street Facade Requirements.

10-21-4 Building Types

G. Attached Building

- Description & Intent.** The Attached Building is a building comprised of multiple vertical units, each with its own entrance to the street. This Building Type may be organized as townhouses or rowhouses.

Parking is required to be located in the rear yard and may be incorporated either into a detached garage or in an attached garaged accessed from the rear of the building. However, when the garage is located within the building, a minimum level of occupied space is required on the front facade to ensure that the street facade is active.

- Regulations.** Regulations for the Attached Building Type are defined in the adjacent table.

Notes:

¹ For the purposes of the Attached Building, a building consists of a series of units. When permitted, multiple buildings may be located on a lot within the minimum space between them. However, each building shall meet all requirements of the Building Type.

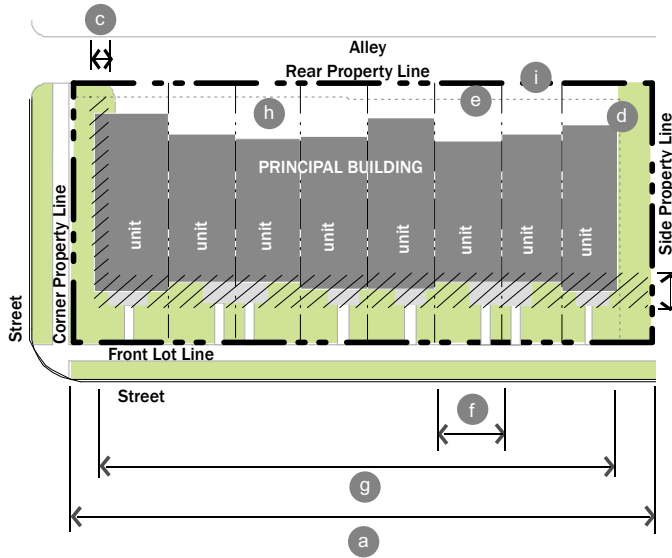
² Each building shall meet the front lot line coverage requirement, except one of every five (5) units may front a courtyard with a minimum width of thirty (30) feet. The courtyard shall be defined on three (3) sides by units.

³ Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

⁴ Attached garages are considered part of the principal building and shall meet all setbacks. Detached garages shall meet all setbacks unless an alley is present. When an alley is present, detached garages shall have a minimum rear setback of five (5) feet.

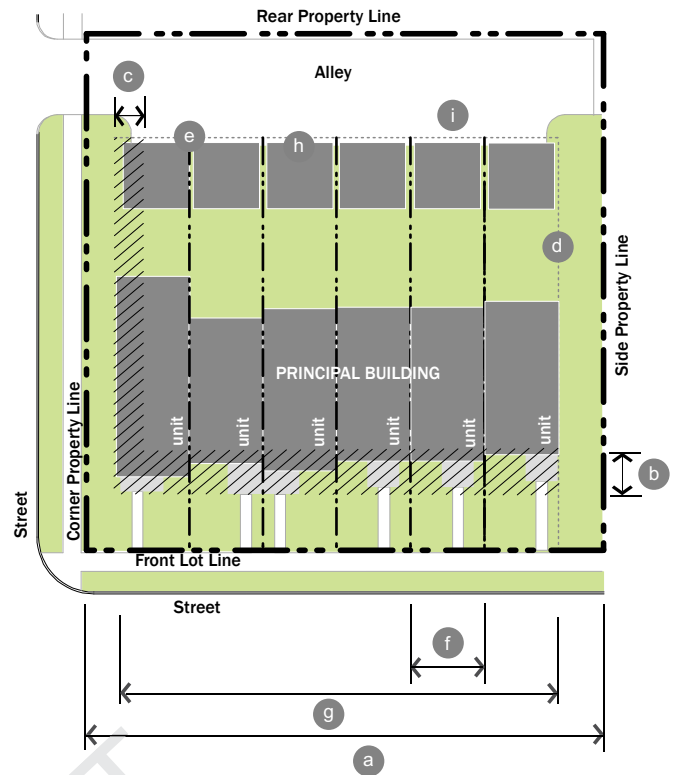
		Permitted Districts		
		S 3: Van Emmon Street	S 4: 'B' Street	S 5: 'B' Street Residential
(a) Building Siting Refer to Figures 10-21-4G (1) and 10-21-4G (2)				
Multiple Principal Buildings		Permitted ¹		
a	Minimum Front Lot Line Coverage	75% ²	70% ²	65% ²
Occupation of Corner		Required		
b	Front Build-to Zone	5' to 20'	10' to 20'	10' to 25'
c	Corner Build-to Zone	5' to 10'	10' to 15'	
d	Minimum Side Yard Setback	0' per unit; 10' between buildings'		0' per unit; 15' between buildings'
e	Minimum Rear Yard Setback	15', if alley present 5'		20', if alley present 5'
f	Minimum Unit Width	16' per unit	16' per unit	18' per unit
g	Maximum Building Width	Maximum 8 units per building	Maximum 6 units per building; maximum 120' width	Maximum 6 units per building; maximum 120' width
Maximum Impervious Coverage		65% ³	60% ³	50% ³
Additional Semi-Pervious Coverage		20%	20%	20%
h	Parking & Garage Location	Rear yard; attached garages access off rear facade only. ⁴		
i	Vehicular Access	Alley; if no alley exists, one driveway is permitted per building		
(b) Height Refer to Figure 10-21-4G (3)				
j	Minimum Overall Height	1 story		
k	Maximum Overall Height	4 stories	3.5 stories	
l	Minimum Ground Floor Height:	12'		
(c) Uses Refer to Figure 10-21-4G (3)				
m	All Stories	Residential only		
n	Parking within Building	Permitted fully in any basement and in rear of all floors		
o	Occupied Space	30' deep on all full height floors from the front facade		
(d) Street Facade Requirements Refer to Figure 10-21-4G (4)				
p	Minimum Transparency per each Story	15%	12%	
q	Front Facade Entrance Type	Stoop, Porch		
Principal Entrance Location		Front or Corner Side Facade		
r	Number of Street Entrances	1 per unit		
Ground Story Vertical Divisions		none required		
Horizontal Facade Divisions		none required		
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.		Between adjacent buildings		
(e) Roof Type Requirements Refer to Figure 10-21-4G (4)				
s	Permitted Roof Types	Parapet, Pitched, Flat		
Tower		Permitted		

10-21-4 Building Types



Site Plan without Rear Yard

Figure 10-21-4G (1): Building Siting.



Site Plan with Rear Yard

Figure 10-21-4G (2): Building Siting.

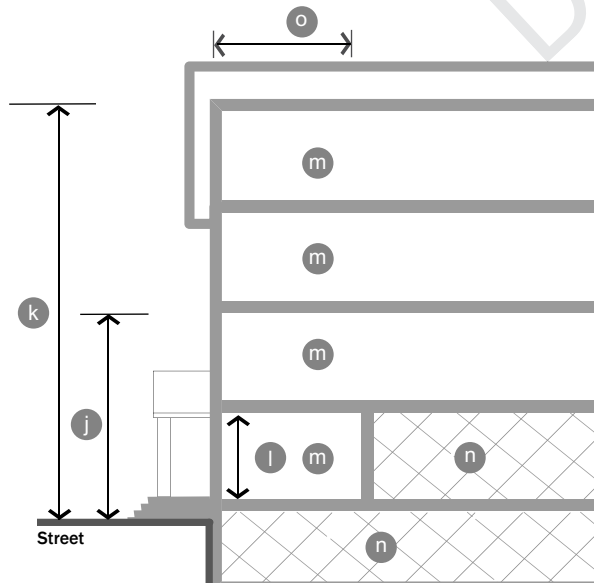


Figure 10-21-4G (3): Height & Use Requirements.

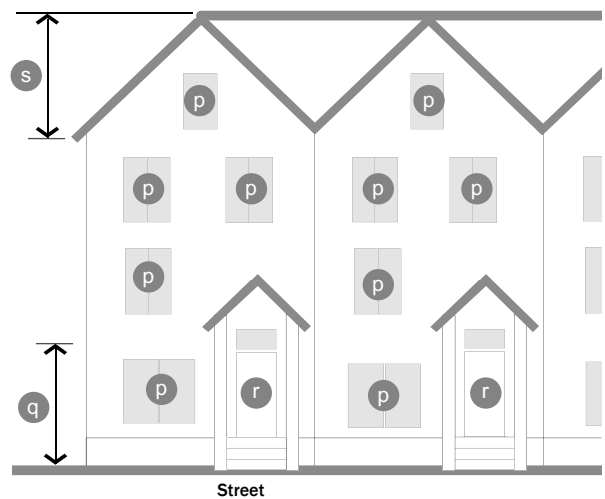


Figure 10-21-4G (4): Street Facade Requirements.

10-21-4 Building Types

H. Yard Building

- Description & Intent.** The Yard Building is a residential building, incorporating a landscaped yard surrounding all sides of the building. Parking and garages are limited to the rear only with preferred access from an alley.
- Regulations.** Regulations for the Yard Building Type are defined in the adjacent table.

Notes

¹ Each building shall meet all requirements of the Building Type.

² When multiple buildings are located on a single lot, the buildings shall collectively meet the front lot line coverage requirement. Buildings located internal to the lot may be arranged with a courtyard or bungalow court that is a minimum of twenty (20) feet in width. The width of the courtyard shall be exempt from minimum front lot line coverage requirements. The courtyard or bungalow court shall be defined on three (3) sides by units. This layout shall not be allowed on corner lots, only lots internal to a block segment.

³ Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMet maps for all flood hazard areas.

⁴ Attached garages are considered part of the principal building and shall meet all setbacks. Detached garages shall meet all setbacks unless an alley is present. When an alley is present, detached garages shall have a minimum rear setback of five (5) feet.

Permitted Districts

S 4:
'B'
Street

S 5:
'B' Street
Residential

(a) Building Siting Refer to Figure 10-21-4H (1)

Multiple Principal Buildings	Permitted ¹	
a Minimum Front Lot Line Coverage	50% ²	40%
b Occupation of Corner	Required	
c Front Build-to Zone	10' to 20'	10' to 25'
Corner Build-to Zone	10' to 20'	10' to 25'
d Minimum Side Yard Setback	5'	7.5'
e Minimum Rear Yard Setback	35', if alley present 5'	
f Minimum Lot Width	30'	30'
Maximum Lot Width	50'	70'
g Maximum Impervious Coverage	60% ³	50% ³
Additional Semi-Pervious Coverage	20%	20%
h Parking & Garage Location	Rear yard; attached garages access off rear or side facade only. ⁴	
Vehicular Access	Alley; if no alley exists, one driveway is permitted per building	

(b) Height Refer to Figure 10-21-4H (2)

i Minimum Overall Height	1 story
j Maximum Overall Height	3.5 stories
k All Stories: Minimum Height	9'
Maximum Height	14'

(c) Uses Refer to Figure 10-21-4H (2)

l All Stories	Residential only
m Parking within Building	Permitted
n Occupied Space	30'

(d) Street Facade Requirements Refer to Figure 10-21-4H (3)

o Minimum Transparency per each Story	12%
p Front Facade Entrance Type	Stoop, porch
q Principal Entrance Location	Front or side facade
Number of Street Entrances	Any
Ground Story Vertical Divisions	None required
Horizontal Facade Divisions	None required
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.	Between adjacent buildings

(e) Roof Type Requirements Refer to Figure 10-21-4H (3)

r Permitted Roof Types	Parapet, Pitched, Flat	Pitched
Tower	Not permitted	

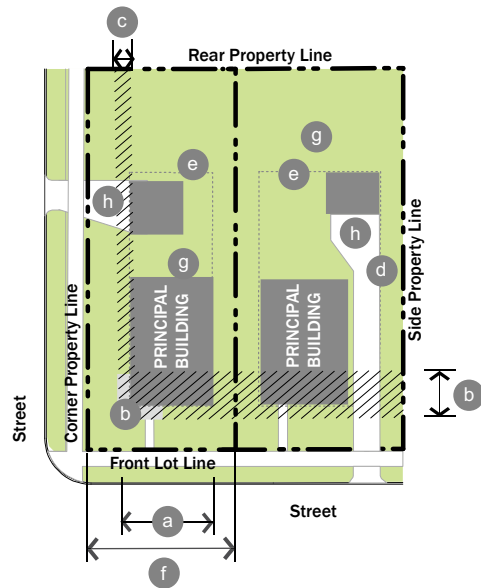


Figure 10-21-4H (1). Building Siting.

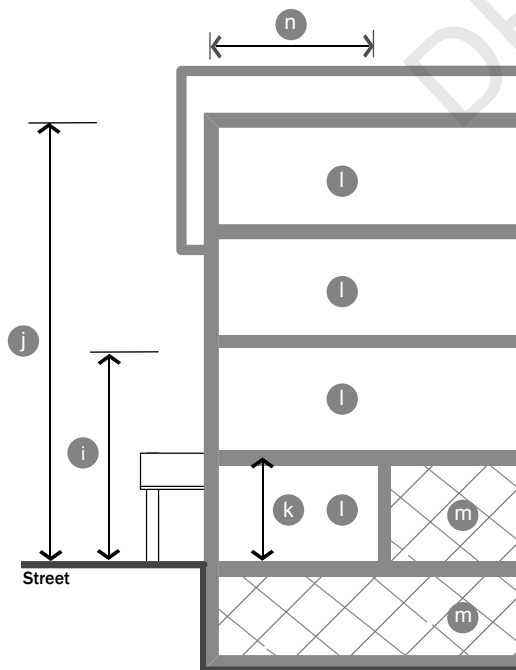


Figure 10-21-4H (2). Height and Use Requirements.

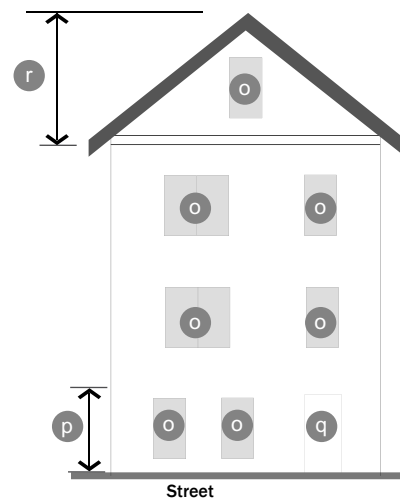


Figure 10-21-4H (3). Street Facade Requirements.

10-21-4 Building Types

I. Entrance Types

Entrance type standards apply to the ground story and visible basement of front facades of all Building Types as defined in this Section. Refer to the Building Type Table Requirements, Sections 10-21-4C through 10-21-4H.

1. **General.** The following provisions apply to all entrance types.

- Intent.** To guide the design of the ground story of all buildings to relate appropriately to pedestrians on the street. Treatment of other portions of the building facades is detailed in each Building Type standard (refer to Building Types 10-21-4C through 10-21-4H).
- Applicability.** The entire ground story street-facing facade(s) of all buildings shall meet the requirements of at least one (1) of the permitted entrance types, unless otherwise stated.
- Measuring Transparency.** Refer to Section 10-21-4B Explanation of Building Type Table Standards, for information on measuring building transparency.
- Visible Basements.** Visible basements, permitted by entrance type, are optional. The visible basement shall be a maximum of one-half the height of the tallest story.

2. **Storefront Entrance Type.** Refer to Figure 10-21-4I (1). The Storefront entrance type is a highly transparent ground story treatment designed to serve primarily as the display area and primary entrance for retail or service uses.

- Transparency.** Minimum transparency is required per Building Type.
- Elevation.** Storefront elevation shall be between zero (0) and one (1) foot above street sidewalk.

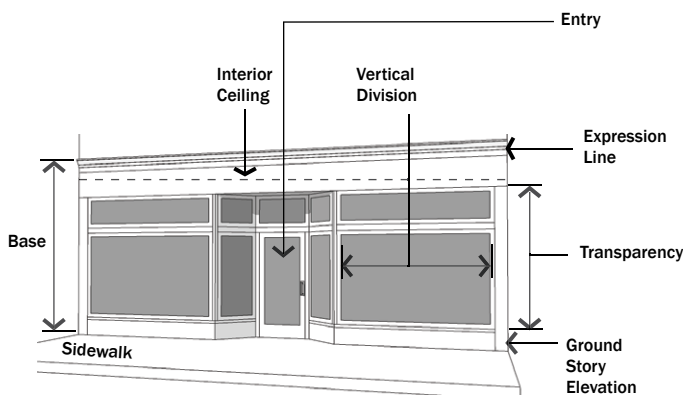


Figure 10-21-4I (1). Storefront Entrance Type.

- Visible Basement.** A visible basement is not permitted.
- Horizontal Facade Division.** Horizontally define the ground story facade from the upper stories.
- Entrance.** All entries shall be recessed from the front facade closest to the street.
 - Recess shall be a minimum of three (3) feet and a maximum of eight (8) feet deep, measured from the portion of the front facade closest to the street.
 - When the recess falls behind the front build-to zone, the recess shall be no wider than eight (8) feet.

3. **Elevated Storefront Entrance Type.** Refer to Figure 10-21-4I (2). The Elevated Storefront entrance type is a highly transparent ground story treatment similar to the Storefront, but permitted to be elevated above the sidewalk for buildings located on parcels with flood hazard areas.

- Transparency.** Minimum transparency is required per Building Type.
- Elevation.** Storefront elevation may be a half story above the street sidewalk elevation.
- Visible Basement.** A visible basement is permitted and does not require Occupied Space.
- Horizontal Facade Division.** Horizontally define the ground story facade from the upper stories and any Visible Basement from the ground story.
- Entrance.** All entries shall be located off a secondary walk along the building face within the build-to zone.
 - The secondary sidewalk shall be elevated above and essentially parallel to the street sidewalk to provide

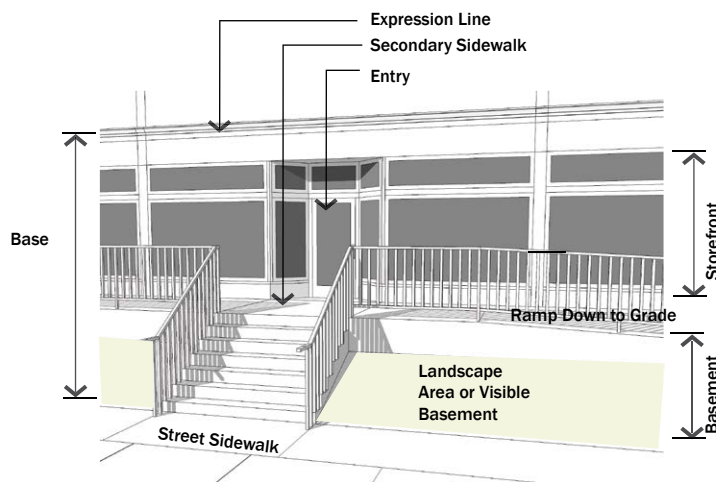
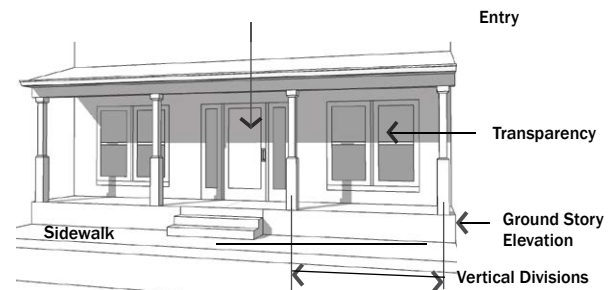
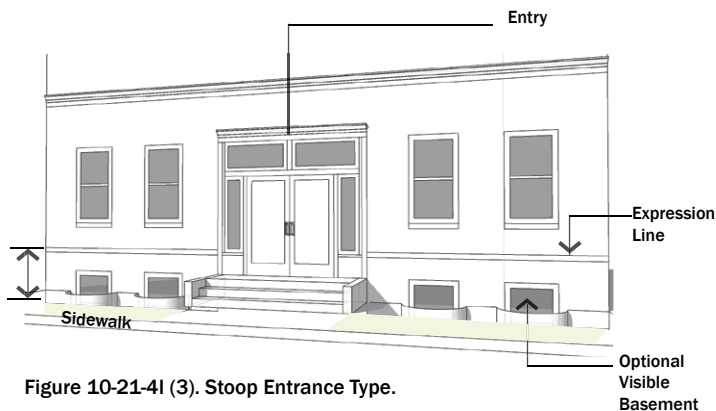


Figure 10-21-4I (2). Elevated Storefront Entrance Type.

10-21-4 Building Types

- continuous walking along the facade of the building.
- ii. The secondary sidewalk shall be continuous along the facade of the building and shall connect to the street sidewalk by steps and ramps every fifty (50) feet.
 - iii. The secondary sidewalk shall connect to any other adjacent developments secondary sidewalks, when feasible. Drive crossings shall be of the same material as the secondary walk.
 - iv. The transition between the secondary sidewalk and street sidewalk shall include landscape, patios, and connecting walks.
 - v. The visible basement shall be located a minimum of five (5) feet from the street sidewalk to allow softening of the transition.
 - vi. The street and the secondary sidewalks shall be a minimum of eight (8) feet in width.
4. **Stoop Entrance Type.** Refer to Figure 10-21-4I (3). A stoop is an unroofed, open platform.
- (a) Transparency. Minimum transparency is required per Building Type.
 - (b) Stoop Size. Stoops shall be a minimum of five (5) feet deep by six (6) feet wide.
 - (c) Elevation. Stoop elevation shall be located a maximum of two (2) feet six (6) inches (2' 6") above the sidewalk without a visible basement and a maximum of four (4) feet six (6) inches (4' 6") above the sidewalk with a visible basement.
 - (d) Visible Basement. A visible basement is permitted and shall be separated from the ground story by an expression line.
- (e) Entrance. All entries shall be located off a stoop. The stoop may be continuous along the facade of the building.
- (f) Landscape Area. A minimum five (5) foot wide landscape area is required within the build-to zone along the length of this entrance type with the exception of walks accessing the building.
5. **Porch Entrance Type.** Refer to Figure 10-21-4I (4). A porch is a raised, roofed platform that may or may not be enclosed on all sides. If enclosed, the space shall not be climate controlled.
- (a) Transparency.
 - i. Minimum transparency per Building Type is required.
 - ii. If enclosed, a minimum of forty percent (40%) of the enclosed porch shall be comprised of highly transparent, low reflectance windows.
 - (b) Porch Size. The porch shall be a minimum of five (5) feet deep and eight (8) feet wide.
 - (c) Elevation. Porch elevation shall be located a maximum of two (2) feet six (6) inches (2' 6") above the sidewalk without a visible basement and a maximum of four (4) feet six (6) inches (4' 6") above the sidewalk with a visible basement.
 - (d) Visible Basement. A visible basement is permitted.
 - (e) Height. Porch may be two (2) stories to provide a balcony on the second floor.
 - (f) Entrance. All entries shall be located off a porch.



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J. Roof Types

Roof type standards apply to the roof and cap of all Building Types as defined in this Section. Refer to the Building Type Table Requirements, Sections 10-21-4C through 10-21-4H.

1. **General Provisions.** The following provisions apply to all roof types.

- (a) Intent. To guide the design of the cap of all buildings.
- (b) Applicability. All buildings shall meet the requirements of one of the roof types permitted for the Building Type.
- (c) Measuring Height. Refer to Section 10-21-4B for information on measuring building height.
- (d) Other roof types. Other building caps not listed as a specific type may be requested with the following requirements:
 - i. The roof type shall not create additional occupiable space beyond that permitted by the Building Type.
 - ii. The shape of the Roof Type shall be significantly different from those defined in this section 10-21-4J, i.e. a dome, spire, vault.
 - iii. The building shall warrant a separate status within the community from the fabric of surrounding buildings, with a correspondence between the form of the roof type and the meaning of the building use.

2. **Parapet Roof Type.** Refer to Figure 10-21-4J (1). A parapet is a low wall projecting above a building's roof along the perimeter of the building. It can be utilized with a flat or low pitched roof and also serves to limit the view of roof-top mechanical systems from the street.

- (a) Parapet Height. Height is measured from the top of the upper story to the top of the parapet.
 - i. Minimum height is two (2) feet with a maximum height of six (6) feet.

- ii. The parapet shall be high enough to screen the roof and any roof appurtenances from view of the street(s).

- (b) Horizontal Expression Lines. An expression line shall define the parapet from the upper stories of the building and shall also define the top of the cap.

- (c) Occupied Space. Occupied space shall not be incorporated behind this roof type.

3. **Pitched Roof Type.** Refer to Figure 10-21-4J (2). This roof type has a sloped or pitched roof. Slope is measured with the vertical rise divided by the horizontal span or run.

- (a) Pitch Measure. The roof may not be sloped less than a 4:12 (rise:run) or more than 16:12.

- i. Slopes less than 4:12 are permitted to occur on second story or higher roofs. Refer to Figure 10-21-4J (2).

- (b) Configurations.

- i. Hipped, gabled, and combination of hips and gables with or without dormers are permitted.

- ii. Butterfly roofs (inverted gable roof) are permitted with a maximum height of eight (8) feet, inclusive of overhang.

- iii. Gambrel and mansard roofs are not permitted.

- (c) Parallel Ridge Line. A gabled end or perpendicular ridge line shall occur at least every one hundred (100) feet of roof when the ridge line runs parallel to the front lot line. Refer to Figure 10-21-4J (3).

- (d) Roof Height. Roofs without occupied space and/or dormers shall have a maximum height on street-facing facades equal to the maximum floor height permitted for the Building Type.

- (e) Occupied Space. Occupied space may be incorporated behind this roof type.

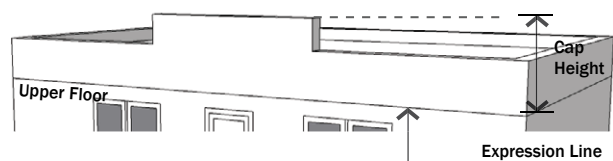


Figure 10-21-4J (1). Parapet Roof Type

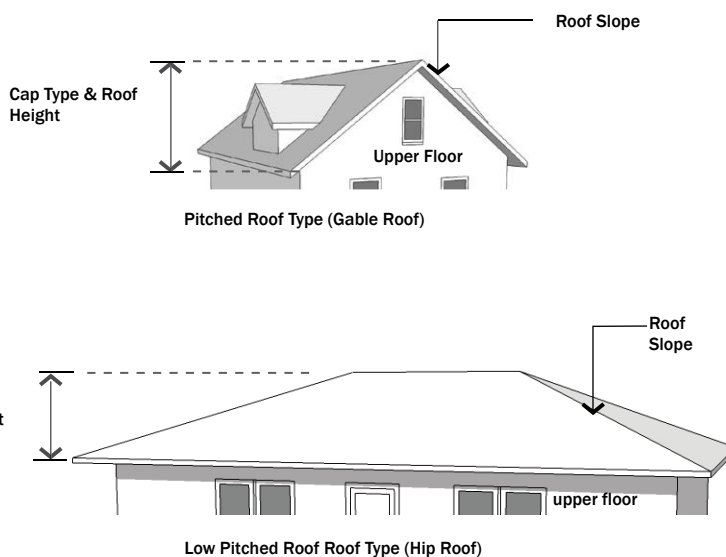


Figure 10-21-4J (2). Pitched Roof Type

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4. **Flat Roof Type.** Refer to Figure 10-21-4J (5), Flat Roof Type. This roof type has a flat roof with overhanging eaves.
 - (a) Configuration. Roofs with no visible slope are acceptable. Eaves are recommended on all street facing facades.
 - (b) Eave Depth. Eave depth is measured from the building facade to the outside edge of the eave. Eaves shall have a depth of at least fourteen (14) inches.
 - (c) Eave Thickness. Eave thickness is measured at the outside edge of the eave, from the bottom of the eave to the top of the eave. Eaves shall be a minimum of eight (8) inches thick.
 - (d) Interrupting Vertical Walls. Vertical walls may interrupt the eave and extend above the top of the eave with no discernible cap.
 - i. No more than one-half of the front facade can consist of an interrupting vertical wall.
 - ii. Vertical walls shall extend no more than four (4) feet above the top of the eave.
 - (e) Occupied Space. Occupied space shall not be incorporated behind this roof type.
 - (f) No mechanical equipment on roof shall be visible from the adjacent sidewalk.
5. **Towers.** Refer to Figure 10-21-4J (4). A tower is a rectilinear or cylindrical, vertical element, that shall be used with other roof types.
 - (a) Quantity. All Building Types, with the exception of the Civic Building, are limited to one (1) tower per building.
 - (b) Tower Height. Maximum height, measured from the top of the parapet or eave to the top of the tower, is the equivalent of the height of one (1) upper floor of the building to which the tower is applied.

- (c) Tower Width. Maximum width along all facades is one-third the width of the front facade or thirty (30) feet, whichever is less.
- (d) Occupied Space. Towers may be occupied by the same uses allowed in upper stories of the Building Type to which it is applied.
- (e) Application. May be combined with all other roof types.
- (f) Tower Cap. The tower may be capped by the parapet, pitched, low pitched, or flat roof roof types, or the spire may cap the tower.

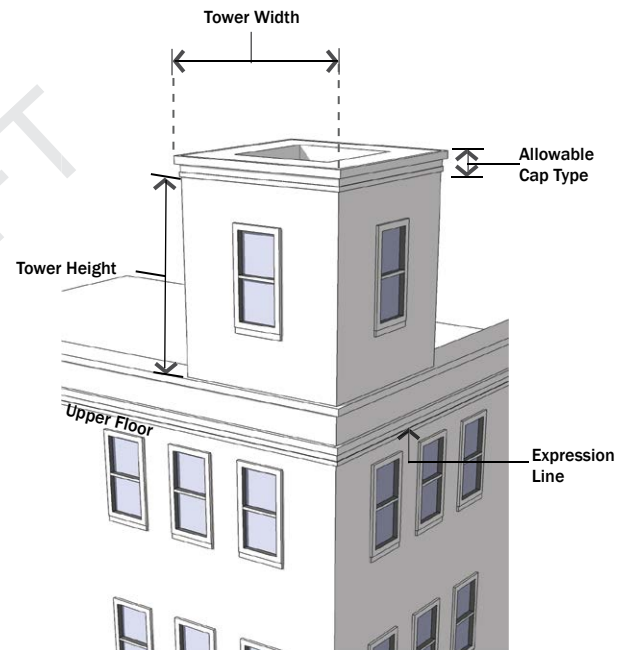


Figure 10-21-4J (4). Tower

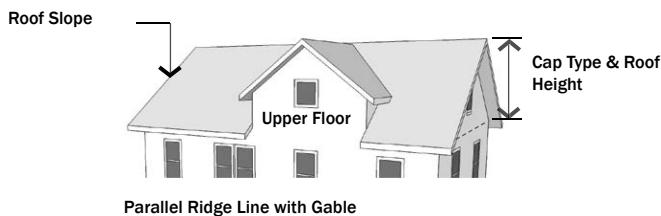


Figure 10-21-4J (3). Parallel Ridge Line

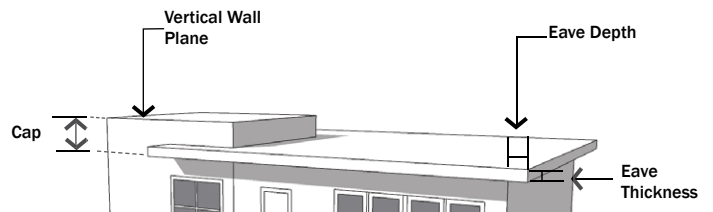


Figure 10-21-4J (5). Flat Roof Type

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K. Additional Design Requirements

The following outlines the district design requirements that affect a building's appearance and district cohesiveness. They improve the physical quality of buildings, enhance the pedestrian experience, and protect the character of the neighborhood.

1. Materials and Color.

- (a) **Primary Facade Materials.** Eighty percent (80%) of each street facade shall be constructed of primary materials. Street facade materials shall continue around the corner a minimum depth of twenty (20) feet onto the side facade.
 - i. Permitted primary building materials include high quality, durable, natural materials, such as stone, brick; wood lap siding; fiber cement board lapped, shingled, or panel siding; glass. Other high quality synthetic materials may be approved during the site plan process with an approved sample and examples of successful, high quality local installations. Refer to Figure 10-21-4K (1).
- (b) **Secondary Facade Materials.** Secondary materials are limited to details and accents and include gypsum reinforced fiber concrete for trim and cornice elements; metal for beams, lintels, trim, and ornamentation, and exterior architectural metal panels and cladding.
 - i. Exterior Insulation and Finishing Systems (EIFS) is permitted on upper floor facades only.



Primary Materials: Brick



Primary Materials: Stone



Primary Materials: Painted Wood

- (c) **Roof Materials.** Acceptable roof materials include three hundred (300) pound or better, dimensional asphalt composite shingles, wood shingles and shakes, metal tiles or standing seam, slate, and ceramic tile. "Engineered" wood or slate may be approved during the site plan process with an approved sample and examples of successful, high quality local installations. Refer to Figure 10-21-4K (2).
- (d) **Color.** Main building colors shall utilize any historic palettes from any major paint manufacturer. Other colors may be utilized for details and accents, not to exceed a total area larger than ten percent (10%) of the facade surface area.
- (e) **Appropriate Grade of Materials.** Commercial quality doors, windows, and hardware shall be used on all ground floor Building Types with the exception of the Attached Building and the Yard Building. Refer to Figure 10-21-4K (3).

2. Windows, Awnings, and Shutters.

- (a) **Windows.** All upper story windows on all historic, residential, and mixed use buildings shall be recessed, and either casement or double hung. Percent of transparency is required per Building Type. Horizontal or vertical strip windows, tinted or reflective glass, and glass block (Figure 10-21-4K (4)) are prohibited on street facades.
- (b) **Security Grills.** Grills shall be fully retractable and completely within the interior of the building and inconspicuous to the



Roof Materials: Asphalt Composite Shingles



Roof Materials: Metal



Roof Materials: Ceramic Tile

Figure 10-21-4K (1). Primary Materials.

Figure 10-21-4K (2). Roof Materials.

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extent possible. Exterior bars are prohibited on any window. Refer to Figure 10-21-4K (5).

- (c) Awnings. All awnings shall be canvas or metal. Plastic awnings and canopy awnings that extend from the front facade into the right-of-way are prohibited. Awning types and colors for each building face shall be coordinated. Refer to Figure 10-21-4K (6).
- (d) Shutters. If installed, shutters, whether functional or not, shall be sized for the windows. If closed, the shutters shall not be too small for complete coverage of the window. Shutters shall be wood. "Engineered" wood may be approved during the site plan process with an approved sample and examples of successful, high quality local installations.

3. **Rear Parking Facade Design.** The following applies in all locations where a public building entrance occurs on the rear facade adjacent to a parking lot. Refer to Figure 15.4K (7).

- (a) Entrance Type. An Entrance Type shall be utilized for a minimum of twenty (20) feet of rear facade. Refer to 10-21-4(2)-(5).



Prohibited: Glass block windows on front facade.

Figure 10-21-4K (4).Windows.

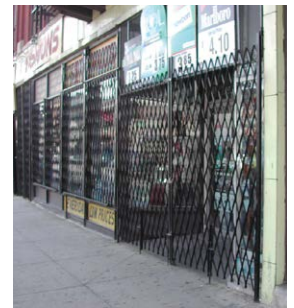


Prohibited: Residential Grade Doors on Commercial Buildings.



Permitted: Fully retractable, interior security grills.

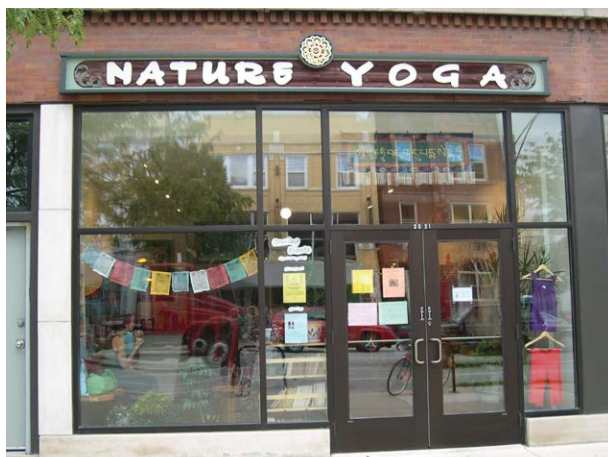
Figure 10-21-4K (5).Security Grills.



Prohibited: Exterior grills and bars.



Permitted Awnings: Metal (left) and Canvas (right)



Permitted: Commercial Grade Doors & Windows on Commercial Buildings.

Figure 10-21-4K (3).Commercial Grade Doors & Windows.



Prohibited Awnings: Canopy awnings that extend from the front facade into the right-of-way

Figure 10-21-4K (6). Awnings.

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Front Facade Example.



Rear Facade Example.

Figure 10-21-4K (7). Rear Parking Facade Design.

- (b) Transparency Requirement. Public building entrance facade area, minimum twenty (20) feet wide, shall utilize one of the following:
 - i. When the Storefront Entrance Type is utilized, a minimum forty five percent (45%) transparency is required for the ground floor facade entrance, and the door shall be a minimum of forty five percent (45%) transparent.
 - ii. When any other Entrance Type is utilized, the minimum transparency required for upper floors of the street facade shall apply to the rear ground floor entrance area, and the door shall be a minimum of forty five percent (45%) transparent.
 - (c) Awnings and signage are encouraged.
4. **Balconies.** The following applies in all locations where balconies are incorporated into the facade design facing any street or parking lot. Refer to Figure 10-21-4K (8).
- (a) Size. Balconies shall be a minimum of six (6) feet deep and five (5) feet wide.
 - (b) Connection to Building. Balconies shall be integral to the facade at the street line. Balconies on stepbacked stories shall be independently secured and unconnected to other balconies.
 - (c) Facade Coverage. A maximum of forty percent (40%) of the front and corner side facades, as calculated separately, may be covered with balconies, including street-facing railing and balcony structure.

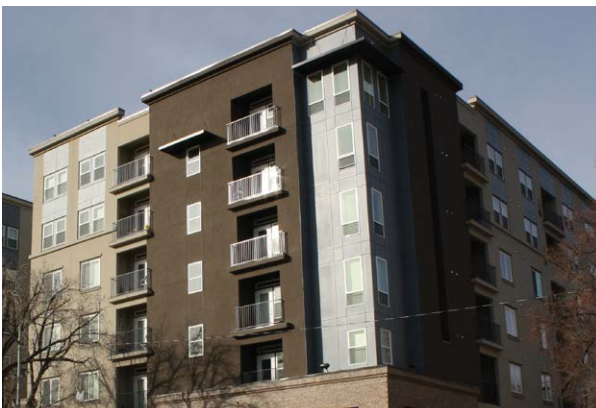


Figure 10-21-4K (8). Balconies Integral to Facade.

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10-21-5 Site Development Standards

A. Signage

1. **General Requirements.** Refer to Section 10-20 of the Yorkville City Code for all signage regulations applicable to the Downtown Overlay Districts.
2. **Revisions to the Signage Regulations.** The following revises Section 10-20 of the Yorkville City Code specific to the S Districts.
 - (a) Freestanding Low Monument Signs. (Refer to Section 10-20-4) Low Monument Signs are permitted only in the S 4 District.

B. Parking Requirements

1. **Applicability.** This section shall apply to all new development and changes in use or intensity of use for existing development in any S Districts.
2. **General Requirements.** Off-street parking spaces shall be provided in conformance with Section 10-16 Off-Street Parking and Loading Regulations, unless revised in this Section 10-21-5B.
 - (a) Required Vehicle Parking. The Required Vehicle Parking Table 10-21-5B (1) indicates the maximum vehicle parking ratio for a given use.
3. **Parking Credits.** Vehicular parking standards within Section 10-16 may be reduced by achieving one or all of the following credits.
 - (a) On-Street Parking Credit. For all non-residential uses, on-street parking spaces that meet the following shall be credited against the parking requirement.
 - i. Spaces shall be designated on-street parking available twenty four (24) hours of every day.
 - ii. On-street space located a minimum of fifty percent (50%) adjacent to the property line of the lot.
 - (b) Public Parking Credit. For all non-residential uses, public parking spaces located within six hundred and sixty (660) feet of any property line may be credited against the parking requirement at a rate of one credit for every three public parking spaces.
 - (c) Car-Share Parking Credit. The vehicular parking requirements can be reduced with the inclusion of car-share parking spaces as follows.
 - i. Per each car-share parking space provided, required parking spaces shall be reduced by four (4) spaces.
 - ii. Required parking spaces may be reduced up to forty percent (40%).
 - iii. Approval. Applicant must provide documentation of an agreement with a car-share company. If this agreement should terminate at any point, applicant shall be required to provide parking as otherwise required herein.
 - (d) Shared Parking. Required Parking may be reduced to the lower amount if at least eighty percent (80%) of non-residential parking is available as publicly shared parking. Otherwise, the higher standard parking requirement shall apply.
 - (e) Other Parking Reductions. Additional reductions may be approved by the Planning and Zoning Commission with the submittal of a parking study illustrating the reduction.

4. Bicycle Parking.

- (a) Required Bicycle Parking. The Required Bicycle Parking Table 10-21-5B (2) indicates the minimum bicycle parking ratio for a given use.
 - i. Bicycle parking is not required for uses not listed.
 - ii. Bicycle parking is not required for uses less than 2,500 square feet in size.
 - iii. No Use, other than Civic is required to accommodate more than twenty (20) bicycles.
- (b) Bicycle Parking Dimensions.
 - i. Required bicycle parking spaces shall have minimum dimensions of two (2) feet in width and six (6) feet in length.
 - ii. An aisle a minimum of five (5) feet wide shall be provided behind bicycle parking facilities to allow for maneuvering.
 - iii. A minimum of two (2) feet shall be provided beside each parked bicycle to allow access. This access may be shared by adjacent bicycles.
 - iv. Racks shall be installed a minimum of two (2) feet from any wall or other obstruction.

Land Use	Vehicle Spaces
Residential (Studio and 1 bedroom)	1 per unit
Residential (2 or more bedrooms)	1.5 per unit
Civic/Institutional	max. 2 per 1,000 square feet
Retail/Services (less than 8,000 square feet, excluding Restaurants)	no min. or max. parking requirements
Retail/Services (8,000 square feet or more, excluding Restaurants)	max. 2 per 1,000 square feet
Restaurants	max. 4 per 1,000 square feet
Office	max. 2 per 1,000 square feet

Table 10-21-5B (1). Required Vehicle Parking.

Land Use	Bicycle Spaces
Multifamily	1 per 2 Vehicular Spaces for buildings with 8+ units
Civic/Institutional	1 per 10 Vehicular Spaces, min. of 4
Retail	1 per 10 Vehicular Spaces
Services	1 per 10 Vehicular Spaces
Office	1 per 10 Vehicular Spaces

Table 10-21-5B (1). Required Bicycle Parking.

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- (c) Location. Bicycle parking should be located within fifty (50) feet of the entrance of the Use.
 - i. Indoor or outdoor spaces are permitted, provided they are located on the lot with which they are associated.
 - ii. Bicycle parking facilities shall be separated from vehicular parking areas to protect parked bicycles from damage. The separation may be accomplished through grade separation, distance or physical barrier, such as curbs, wheel stops, poles or other similar features.
- (d) Racks and Structures. Racks and structures shall be provided for each unprotected parking space, and shall be designed to accommodate both chain and U-shaped locking devices supporting the bicycle frame at two (2) points.

C. Landscape

1. **General Requirements.** Refer to Section 10-17 Fencing and Screening for all landscaping and screening requirements.
2. **Build-to Zones and Setbacks.** All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (a) Driveways are permitted to cross the front and corner build-to zone and rear setbacks perpendicularly at a maximum of twenty five (25) feet in width.
 - (b) Driveways may encroach upon the side setbacks longitudinally on parcels fifty (50) feet or less in width.
 - (c) Parking lots shall not encroach upon any setbacks. Side and rear yard parking lots shall not be located closer to the front or corner lot line than the building.

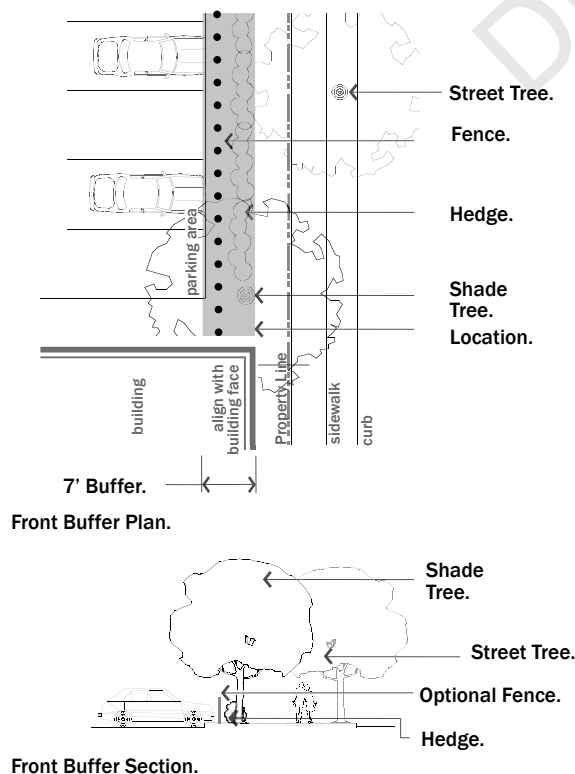


Figure 10-21-5C (1). Frontage Buffer Plan and Section.

Frontage Buffer Requirements	
Buffer Depth & Location ¹	
Depth	7'
Location on Site	Between street facing property line and vehicular areas ²
Buffer Landscape Requirements	
Uses & Materials	Uses and materials other than those indicated are prohibited in the buffer
Shade Trees	Medium or large shade tree with full, spreading canopies required at least every 40'; Locate on the street side of the fence; Spacing should alternate with street trees
Hedge	Required continuous hedge on street side of fence, between shade trees & in front of parking areas
Hedge Composition	Individual shrubs with a minimum width of 24", spaced no more than 36" on center
Existing Vegetation	May be credited toward buffer area
Fence	
Location	2' from back of curb of vehicular area
Materials	Non-galvanized steel or painted PVC; Masonry Columns (maximum width 2'6") and Low Wall (maximum 18" height) permitted
Minimum Height	3' for Steel or Painted PVC
Maximum Height	4' for Steel or Painted PVC, 18" for Low Wall
Colors	Black, gray, or dark green for Steel or Painted PVC
Opacity	Minimum 30%; Maximum 60% for Steel or Painted PVC
Gate/Opening	One gate permitted per street frontage; Opening width maximum 6'

Notes:

¹ This screening requirement does not prohibit the installation of or provision for openings necessary for allowable access drives and walkways connecting to the public sidewalk.

² In Front and Corner Yards, when the parking area is located adjacent to any building on the lot, the buffer must be located so that it aligns with or is behind the face of the adjacent building back to the vehicular area. The area between the buffer and the property line must be landscaped.

Table 10-21-5C (1). Frontage Buffer Requirements.

3. **Frontage Buffer Requirements.** Refer to Figure 10-21-5C (1). The following additional requirements are specific to the S Districts and is in addition to information within Section 10-17 Fencing and Screening guidelines.
 - (a) Intent. To lessen the visual impact of parking areas visible from the street.
 - (b) General Applicability. Applies to properties in all S Districts where a parking area is located adjacent to a right-of-way.
 - (c) Exceptions. Parking areas along alleys, except when a residential district is located across the alley. Single and two family residences are also excepted.

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D. Street Guidelines

1. **General Street Guidelines.** The following guidelines should apply to all new streets within S Districts with the intent of creating pedestrian oriented, multimodal streets.
 - (a) **Typical Street Elements.** All street rights-of-way should include the following vehicular and pedestrian realm considerations. Refer to Figure 10-21-5D (1).
 - (1) **Vehicular Realm.** The vehicular realm is comprised of the travel lanes, bicycle lanes, and parking lanes.
 - (2) **Pedestrian Realm.** The pedestrian realm is comprised of pedestrian facilities, such as sidewalk. A buffer area that serves to buffer pedestrians or bicyclists from the movements of higher speed vehicles in the vehicular realm shall consist of one (1) of the following:
 - (i) **Landscape Zone.** A landscape area between the back of curb to the sidewalk in which street trees, stormwater swales, lighting, and signage may be located. Typically used adjacent to residential ground floor uses.
 - (ii) **Furnishings Zone.** A hardscape area that extends from the sidewalk to the back of curb, in which street trees, street furniture, lighting, and signage may be located. Typically used adjacent to commercial or office ground floor uses.
 - (b) **Bicycle Facilities.** Bicycle facilities, such as dedicated lanes and dedicated shared lanes should be included on any streets based on the City's bicycle plan. New streets within S districts shall utilize shared lanes. A shared lane refers to a street that does not have bicycle lanes or a designated shared lane, but the speed and configuration of the street is such that bicycles could comfortably share lanes with traffic.
 - (c) **Vehicular On-Street Parking.** On-street parking, whether parallel or diagonal, shall be included according to the District Street Details for that street.

2. **Street Trees.** Street trees are required along all existing and new street frontages.
 - (a) All planting material requirements within Landscaping and Screening Guidelines shall be utilized.
 - (b) Street trees shall be located in either a Landscape Zone (within a planting bed or lawn) or a Furnishings Zone (in trees wells with grate as required).
 - (c) **Permeable Surface.** For each tree preserved or planted, a minimum amount of permeable surface area is recommended.
 - i. Preserved trees should have a permeable surface area equal to the critical root zone. The critical root zone is equal to half of the radius of the tree's mature canopy, measured from the trunk out to the dripline.
 - ii. Planted trees have a suggested minimum permeable area and soil volume based upon tree size; refer to Table 10-21-5D (1) for details.
 - iii. Permeable area for one (1) tree cannot count toward that of another tree.
 - (d) **Structural Soil.** When the critical root zone of an existing tree or the suggested permeable surface area requirement of a newly planted tree extends below any pavement, structural soil is required underneath the pavement.
3. **Pedestrian Lighting.** Pedestrian light fixtures shall be installed per the street requirements of the City's Department of Public Works and any streetscape master plan adopted by the City.

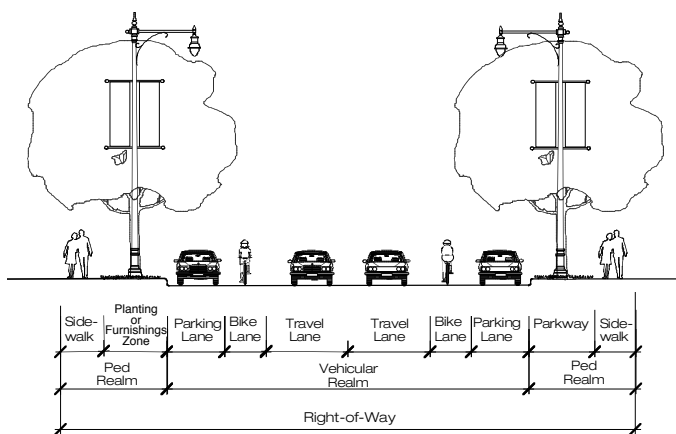


Figure 10-21-5D (1). Typical Right-of-Way Elements.

Tree Size Type	Soil Volume (cubic ft)	Soil Surface Area (sq ft) with 2.5' Soil Depth	Permeable Surface Area Requirement (sq ft)
Medium	2,852	1141 (approx. 34' x 34')	225 (15' x 15')
Large	6,532	2681 (approx. 50' x 50')	400 (20' x 20')

Table 10-21-5D (1). Minimum Recommended Soil Volumes and Permeable Area per Planted Tree.

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4. **New Streets and Subdivision.** For all developments with total parcel acreage larger than five (5) acres, subdivision and construction of a new street will yield the most buildings. (Building Types require buildings to front streets). Refer to Figure 10-21-5D (2) for an example of a typical new block and street configuration. The following recommendations apply:

- (a) **Interconnected Street Pattern.** Streets shall connect and continue existing streets from adjoining areas and cul-de-sac and dead end streets should be avoided.
- (b) **Blocks.**
 - i. The shape of a block shall be generally rectangular, but may vary due to natural features or site constraints.
 - ii. Blocks shall typically be two (2) lots deep with the exception of blocks containing open space. Blocks may also include an alley. Blocks may include existing lots within an existing zoning district.
 - iii. Blocks shall typically be fronted with lots on at least two (2) faces, preferably on the longest street faces.
 - iv. Consider lot and block orientation for maximum energy efficiency. For example, block orientation along an east-west longitudinal axis will encourage development of buildings oriented along an east-west axis, with smaller east and west facing facades, able to take advantage of passive solar technology.
 - v. Block size should be less than four hundred (400) feet.
- (c) **Access Points.** A minimum of two (2) access points should be provided for each development, with a minimum of one (1) per every 1,500 feet of boundary recommended.
- (d) **Primary Streets.** Designate primary streets so that all buildings front at least one primary street. Vehicular access should not be located off a Primary Street, unless the parcel is fronted by more than two primary streets.
- (e) Blocks may include interior alleys or lanes.
- (f) **Typical Lot Configuration.** All lots shall have frontage along a public street unless otherwise specified in Building Type requirements. Flag lots are prohibited.

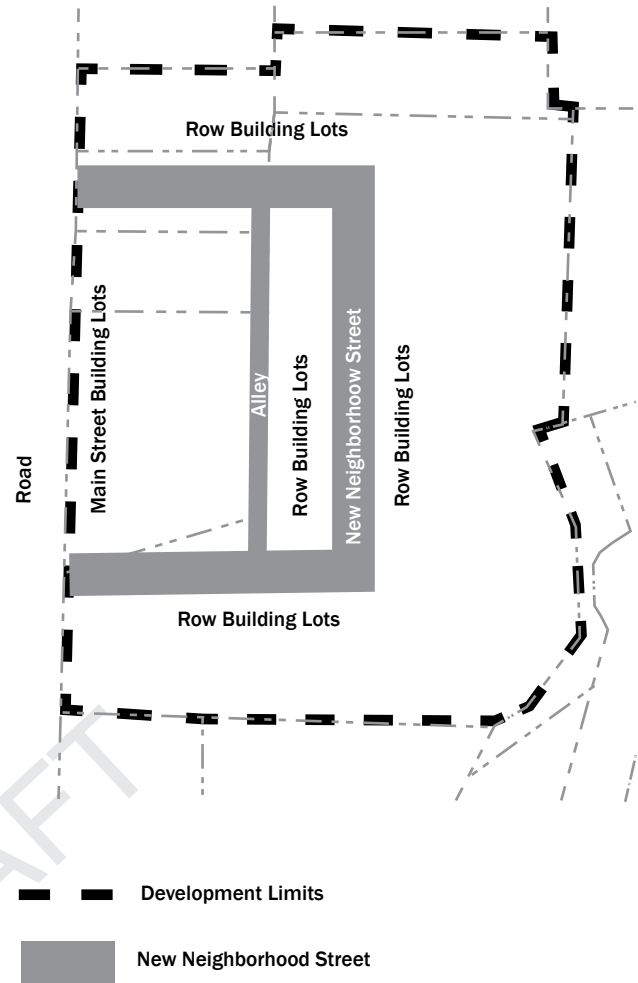


Figure 10-21-5D (2). Example of New Street and Block Configuration for Large Parcels or When Multiple Parcels are Combined.

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E. Temporary Structures

- General Requirements.** Refer to 10-17 Fencing and Screening for all landscaping and screening requirements.
- Description and intent.** Temporary Structures are allowed in all Districts according to the following guidelines.

The small scale activity or display area can be a patio for outdoor eating or display of goods and should constitute the majority of the site. The frontage required continues the streetwall of the adjacent buildings, allowing a continuous pedestrian experience from the street with views into the outdoor space.

Two accessory structures are permitted. A temporary building may be erected in the rear of the Lot and allows patrons to enter the building. A permanent kiosk may be located anywhere on the Lot, but allows employees only in the interior.
- Regulations.** Regulations for Temporary Structures are defined in the adjacent table.
- Mobile Food Vendors.** Refer to Section 10-3-14 Mobile Food Vendor Vehicles & Retail Vendor Vehicles for all mobile food vendor requirements.

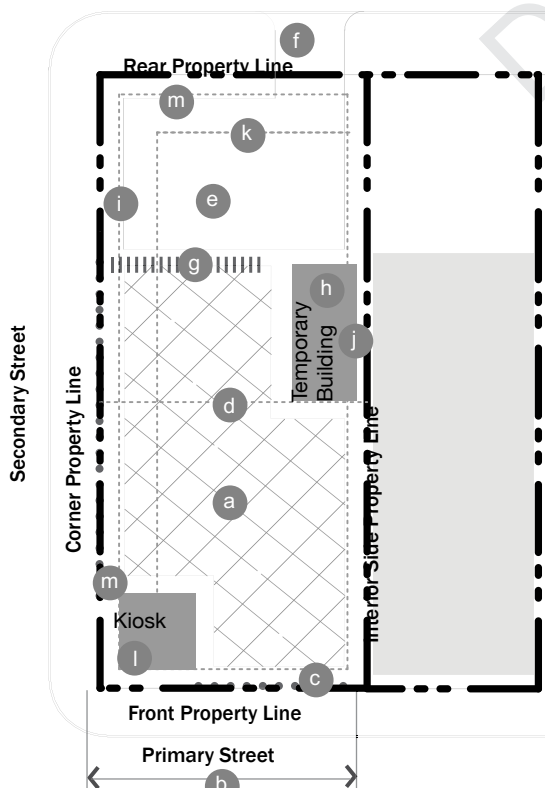


Figure 10-21-5E (1). Temporary Structure Siting

Temporary Structures Requirements		
1. Siting		
Minimum area of Unenclosed, Fully or Partially Paved Outdoor Activity/Display Area	45% of parcel	a
Min Lot Width	none	b
Max Lot Width	50'	
Max Impervious Coverage	80%	
Additional Semi-pervious Coverage	15%	
Required Front & Corner Side Frontage Type	0' to 5'	c
Parking Setbacks		d
Front	75'	
Corner, Side, Rear	5'	
Parking & Loading Facility Location		e
Access	From Alley or Side Street	f
Required Buffer between Parking & Activity/Display Area	none	g
2. Accessory Buildings		
Number of Permitted Accessory Buildings	2	
Max Building Coverage	20%	h
Temporary Building		
Front Yard Setback	75'	i
Corner Side Setback	15'	j
Side Yard Setback	0'	
Rear Yard Setback	5'	k
Kiosk Building		l
Front, Corner, Side, Rear Setback	5'	m
Max Size	500 sf	
Max Height	one story or 15'	
Min Front Facade Transparency	20%	
Roof Type	Pitched, Flat, Parapet	
Existing Vegetation	May be credited toward buffer area	
3. Uses		
Permitted Uses	Assembly General Retail General Service	

Notes:

¹ This screening requirement does not prohibit the installation of or provision for openings necessary for allowable access drives and walkways connecting to the public sidewalk.

² In Front and Corner Yards, when the parking area is located adjacent to any building on the lot, the buffer must be located so that it aligns with or is behind the face of the adjacent building back to the vehicular area. The area between the buffer and the property line must be landscaped.

Table 10-21-5E (1). Temporary Structures Requirements.

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Administrator Checklist: Pre-Application Meeting

☐ **1. Determine the Project's District**

Refer to:
Figure 10-21-1B (1) Yorkville Form-Based Districts Regulating Plan.

Provide to Applicant:

☐ Portion of the Regulating Plan that shows Applicant's parcel.

Discuss with Applicant:

☐ Intent of Districts

☐ **2. Determine the Project's Building Type**

Refer to:
Table 10-21-4A (1) Permitted Building Types per District

Provide to Applicant:

☐ Portion of Section 10-21-4 that applies to the building types proposed in the project.

Discuss with Applicant:

☐ Intent of Building Types

☐ **3. Determine the Project's Intended Use**

Refer to:
Table 10-21-3B (1) Permitted Uses Table.

Provide to Applicant:

☐ Portion of Section 10-21-3 that applies to the uses proposed in the project.

Discuss with Applicant:

☐ Permitted uses within the project.

☐ Development Standards and Special Uses applicable to the project.

☐ **4. Assemble Applicable Supplemental Guidelines**

Refer to:
Section 10-21-5 Site Development Standards, as well as any other relevant code guidelines (Stormwater Ordinance 2012-56, Health Department Requirements, etc.).

Provide to Applicant:

☐ Portion of Section 10-21-4 that applies to the building types proposed in the project.

Discuss with Applicant:

☐ Concepts and Intent of Site Development Standards

☐ Parking

☐ **5. Retain Copies of All Documents Provided to Applicant**
(for use in the review of the Applicant's submission)

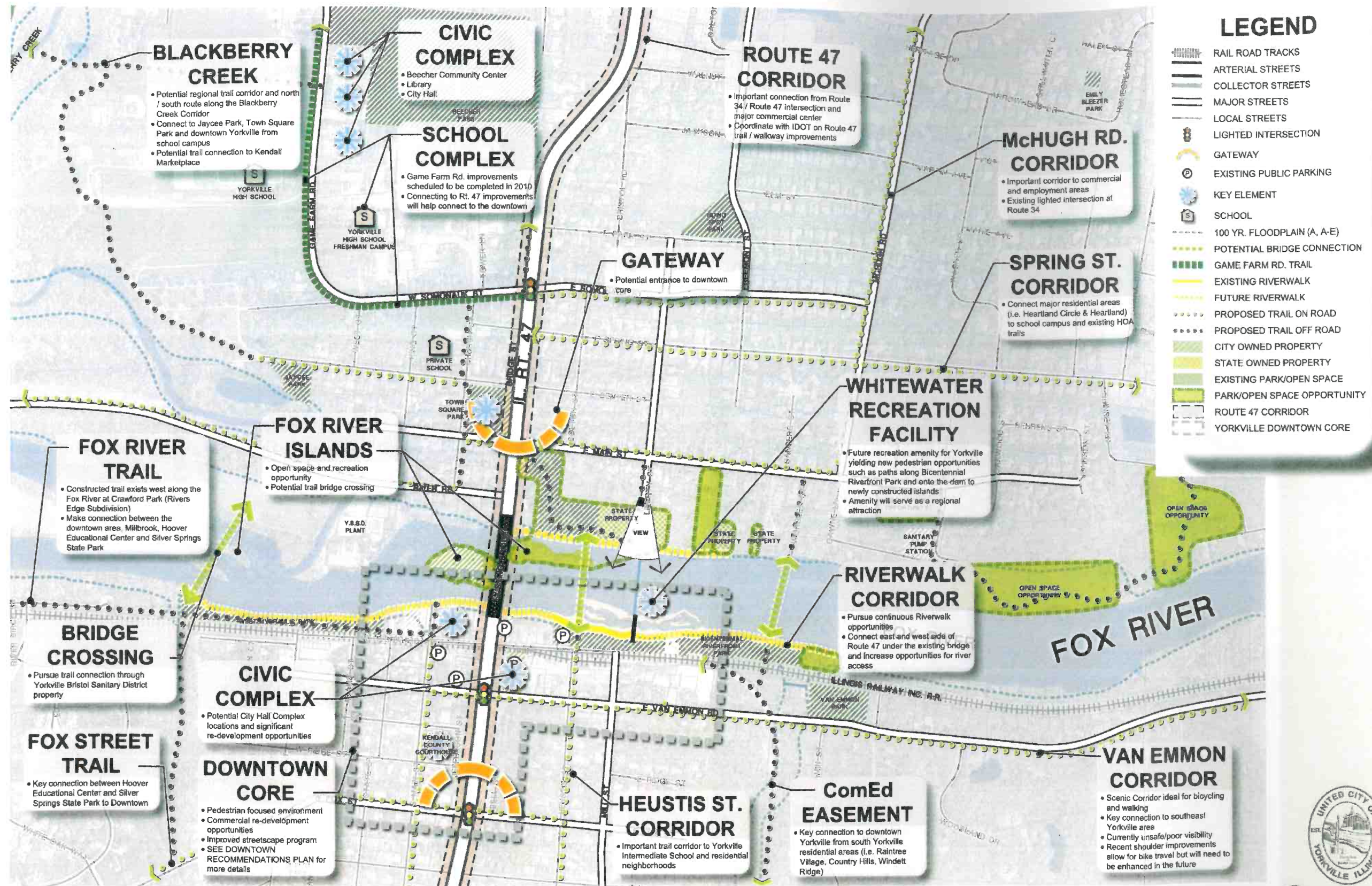


EXHIBIT F - DOWNTOWN STUDY AREA ANALYSIS



**AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, ILLINOIS
APPROVING A STREETSCAPE MASTER PLAN FOR THE
DOWNTOWN OVERLAY DISTRICT**

WHEREAS, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the constitution of the State of Illinois of 1970 and the laws of the State of Illinois; and,

WHEREAS, the City’s downtown was identified as a primary concern in the 2016 Yorkville Comprehensive Plan because of the lack of an inspiring plan that presents a plan for future streetscape capital improvements that will encourage developers and property owners to also invest in the redevelopment of the downtown area; and,

WHEREAS, a streetscape master plan provides guidance for the direction and character of capital improvements for future street and public spaces; and,

WHEREAS, the streets of the City’s downtown should be the center of the community where events, festivals and family gatherings regularly take place and should be the framework that supports those functions and helps contribute to building community and the quality of life in the City.

NOW THEREFORE, BE IT ORDAINED, by the Mayor and City Council of the United City of Yorkville, Kendall County, State of Illinois, as follows:

Section 1: That the *YORKVILLE DOWNTOWN OVERLAY DISTRICT STREETSCAPE MASTER PLAN* prepared by Farr Associates, a copy of which is attached hereto and made a part hereof by reference as Exhibit A, be and the same is hereby approved as the Streetscape Master Plan of the United City of Yorkville.

Section 2: That a certified copy of this Ordinance and attached Streetscape Master Plan shall be on file for public review in the office of the City Clerk.

Section 3: This Ordinance shall be in full force and effect upon its passage, approval and publication according to law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois this _____ day of _____, 2019.

CITY CLERK

KEN KOCH _____

JACKIE MILSCHEWSKI _____

CHRIS FUNKHOUSER _____

SEAVAR TARULIS _____

DAN TRANSIER _____

ARDEN JOE PLOCHER _____

JOEL FRIEDERS _____

JASON PETERSON _____

Approved by me, as Mayor of the United City of Yorkville, Kendall County, Illinois, this
_____ day of _____ 2019.

MAYOR

Ordinance No. 2019-_____

AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS, AMENDING THE YORKVILLE ZONING ORDINANCE BY ADDING A DOWNTOWN OVERLAY DISTRICT

WHEREAS, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

WHEREAS, pursuant to Section 10-4-10 of the Yorkville Zoning Ordinance the City may initiate amendments to the United City of Yorkville Zoning Ordinance; and,

WHEREAS, the City filed seeking an amendment to the United City of Yorkville Zoning Ordinance to add an overlay district over certain downtown areas; and,

WHEREAS, the Planning and Zoning Commission convened and held a public hearing on April 10, 2019, to consider the request and made Findings of Fact and Recommendations to the City Council to approve the requested text amendment.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

Section 1: The above recitals are incorporated and made a part of this Ordinance.

Section 2: That the United City of Yorkville Zoning Ordinance, as amended, be and is hereby amended by adding a new Chapter 21 entitled “Downtown Overlay District” to read as shown by the text attached hereto and made a part hereof as Exhibit A, that includes Section 10-21-1, Introduction, Section 10-21-2 Districts, Section 10-21-3 Uses, Section 10-21-4 Building Types and Section 10-21-5 Site Development Standards.

Section 3: This Ordinance shall be in full force and effect after its passage, publication, and approval as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois, this _____ day of _____, 2019.

City Clerk

KEN KOCH _____
JACKIE MILSCHEWSKI _____
CHRIS FUNKHOUSER _____
SEAVER TARULIS _____

DAN TRANSIER _____
ARDEN JOE PLOCHER _____
JOEL FRIEDERS _____
JASON PETERSON _____

Approved by me, as Mayor of the United City of Yorkville, Kendall County, Illinois, this
_____ day of _____, 2019.

Mayor