



United City of Yorkville

800 Game Farm Road

Yorkville, Illinois 60560

Telephone: 630-553-4350

www.yorkville.il.us

AGENDA
CITY COUNCIL MEETING
Tuesday, May 14, 2019
7:00 p.m.

City Hall Council Chambers
800 Game Farm Road, Yorkville, IL

Call to Order:

Pledge of Allegiance:

Roll Call by Clerk: WARD I

Carlo Colosimo
Ken Koch

WARD II

Jackie Milschewski
Arden Joe Plocher

WARD III

Chris Funkhouser
Joel Frieders

WARD IV

Seaver Tarulis
Jason Peterson

Establishment of Quorum:

Comments by Mayor or Aldermen:

Adjournment of sine die (session):

Swearing-in: Swear-in newly elected officials: Mayor, John Purcell; Ward I Alderman, Daniel Transier; Ward II Alderman, Jacquelyn Milschewski; Ward III Alderman, Chris Funkhouser; Ward IV Alderman, Seaver Tarulis; Ward IV Alderman, Jason Peterson

Call to Order:

Roll Call by Clerk: WARD I

Ken Koch
Dan Transier

WARD II

Jackie Milschewski
Arden Joe Plocher

WARD III

Chris Funkhouser
Joel Frieders

WARD IV

Seaver Tarulis
Jason Peterson

Amendments to Agenda:

Recess

Presentations:

1. Effects of Construction on the Fox River Presentation – Raelin Mamaril

Public Hearings:

Citizen Comments on Agenda Items:

Consent Agenda:

Minutes for Approval:

1. Minutes of the Regular City Council – April 23, 2019

Bill Payments for Approval from the Current Bill List:

Checks total these amounts:

- \$ 305,917.20 (vendors – FY 19)
- \$ 252,567.77 (vendors – FY 20)
- \$ 286,057.87 (payroll period ending 5/3/19)
- \$ 844,542.84 (total)

Mayor's Report:

1. CC 2019-23 Appointments to Boards and Commissions
2. CC 2019-24 Unified Development Ordinance (UDO) Advisory Committee Appointments
3. CC 2019-25 Selection of Mayor Pro Tem for Fiscal Year 2020
4. CC 2019-26 Appointments to City Council Committees – Administration, Economic Development, Public Safety and Public Works
5. CC 2019-27 Appointment of Department Heads
6. CC 2019-28 Oath of Office for Department Heads
7. CC 2019-29 City Administrator Employment Agreement
8. CC 2019-30 Proclamation for Law Enforcement Appreciation Week
9. CC 2019-31 Resolution Approving a Railway-Highway Grade Crossing Improvement Agreement for Hoover Drive

Public Works Committee Report:

Economic Development Committee Report:

Public Safety Committee Report:

Administration Committee Report:

Park Board:

Planning and Zoning Commission:

1. PZC 2018-18 and EDC 2018-77 Ordinance Authorizing the Third Amendment to the Planned Unit Development Plan for the Heartland Subdivision (Lot 187)
2. PZC 2019-05 and EDC 2019-26 Ordinance Amending the Yorkville Zoning Ordinances by Allowing Short-Term Rentals in Residential Zoning Districts
3. PZC 2019-09 and EDC 2019-23 Downtown Form-Based Code and Streetscape Master Plan – First Reading
 - a. Ordinance Amending the Yorkville Zoning Ordinance by Adding a Downtown Overlay District
 - b. Ordinance Approving a Streetscape Master Plan for the Downtown Overlay District

City Council Report:

1. ADM 2018-88 Sale of 111 W. Madison Street (Old Jail)

City Clerk's Report:

Community and Liaison Report:

Staff Report:

Additional Business:

Executive Session:

1. For litigation, when an action against, affecting, or on behalf of the particular public body has been filed and is pending before a court or administrative tribunal, or when the public body finds that an action is probable or imminent.
2. For the appointment, employment, compensation, discipline, performance, or dismissal of specific employees of the public body or legal counsel for the public body, including hearing testimony on a complaint lodged against an employee of the public body or against legal counsel for the public body to determine its validity.
3. For the discussion of minutes of meetings lawfully closed under the Open Meetings Act, whether for purposes of approval by the body of the minutes or semi-annual review of the minutes.

Citizen Comments:

Adjournment:

COMMITTEES, MEMBERS AND RESPONSIBILITIES

ADMINISTRATION: May 15, 2019 – 6:00 p.m. – City Hall Conference Room

<u>Committee</u>	<u>Departments</u>	<u>Liaisons</u>
Chairman: Alderman	Finance	Library
Vice-Chairman: Alderman	Administration	
Committee: Alderman		
Committee: Alderman		

ECONOMIC DEVELOPMENT: June 4, 2019 – 6:00 p.m. – City Hall Conference Room

<u>Committee</u>	<u>Departments</u>	<u>Liaisons</u>
Chairman: Alderman	Community Development	Planning & Zoning Commission
Vice-Chairman: Alderman	Building Safety & Zoning	Kendall Co. Plan Commission
Committee: Alderman		
Committee: Alderman		

COMMITTEES, MEMBERS AND RESPONSIBILITIES cont'd:

PUBLIC SAFETY: July 3, 2019 – 6:30 p.m. – City Hall Conference Room

<u>Committee</u>	<u>Departments</u>	<u>Liaisons</u>
Chairman: Alderman	Police	School District
Vice-Chairman: Alderman		
Committee: Alderman		
Committee: Alderman		

PUBLIC WORKS: May 21, 2019 – 6:00 p.m. – City Hall Conference Room

<u>Committee</u>	<u>Departments</u>	<u>Liaisons</u>
Chairman: Alderman	Public Works	Park Board
Vice-Chairman: Alderman	Engineering	YBSD
Committee: Alderman	Parks and Recreation	
Committee: Alderman		

UNITED CITY OF YORKVILLE
WORKSHEET
CITY COUNCIL
Tuesday, May 14, 2019
7:00 PM
CITY COUNCIL CHAMBERS

COMMENTS BY MAYOR OR ALDERMAN:

SWEARING-IN OF NEWLY ELECTED OFFICIALS:

AMENDMENTS TO AGENDA:

PRESENTATIONS:

1. Effects of Construction on the Fox River Presentation – Raelin Mamaril

CITIZEN COMMENTS ON AGENDA ITEMS:

MINUTES FOR APPROVAL:

1. Minutes of the Regular City Council – April 23, 2019

☐ Approved: **Y** _____ **N** _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

BILLS FOR PAYMENT:

☐ Approved _____

☐ As presented

☐ As amended

☐ Notes _____

MAYOR'S REPORT:

1. CC 2019-23 Appointments to Boards and Commissions

☐ Approved: Y _____ N _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

2. CC 2019-24 Unified Development Ordinance (UDO) Advisory Committee Appointments

☐ Approved: Y _____ N _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

3. CC 2019-25 Selection of Mayor Pro Tem for Fiscal Year 2020

☐ Approved: Y _____ N _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

4. CC 2019-26 Appointments to City Council Committees – Administration, Economic Development,
Public Safety and Public Works

☐ Approved: **Y** _____ **N** _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

5. CC 2019-27 Appointment of Department Heads

☐ Approved: **Y** _____ **N** _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

6. CC 2019-28 Oath of Office for Department Heads

☐ Approved: **Y** _____ **N** _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

7. CC 2019-29 City Administrator Employment Agreement

☐ Approved: **Y** _____ **N** _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

8. CC 2019-30 Proclamation for Law Enforcement Appreciation Week

☐ Approved: **Y** _____ **N** _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

9. CC 2019-31 Resolution Approving a Railway-Highway Grade Crossing Improvement Agreement for Hoover Drive

☐ Approved: **Y** _____ **N** _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

PLANNING AND ZONING COMMISSION:

1. PZC 2018-18 and EDC 2018-77 Ordinance Authorizing the Third Amendment to the Planned Unit Development Plan for the Heartland Subdivision (Lot 187)

☐ Approved: **Y** _____ **N** _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

-
2. PZC 2019-05 and EDC 2019-26 Ordinance Amending the Yorkville Zoning Ordinances by Allowing Short-Term Rentals in Residential Zoning Districts

☐ Approved: **Y** _____ **N** _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

3. PZC 2019-09 and EDC 2019-23 Downtown Form-Based Code and Streetscape Master Plan – First Reading

a. Ordinance Amending the Yorkville Zoning Ordinance by Adding a Downtown Overlay District

☐ Approved: Y _____ N _____ ☐ Subject to _____

☐ Removed _____

b. Ordinance Approving a Streetscape Master Plan for the Downtown Overlay District

☐ Approved: Y _____ N _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

CITY COUNCIL REPORT:

1. ADM 2018-88 Sale of 111 W. Madison Street (Old Jail)

☐ Approved: Y _____ N _____ ☐ Subject to _____

☐ Removed _____

☐ Notes _____

ADDITIONAL BUSINESS:

CITIZEN COMMENTS:



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Minutes #1

Tracking Number

Agenda Item Summary Memo

Title: Minutes of the Regular City Council – April 23, 2019

Meeting and Date: City Council – May 14, 2019

Synopsis: Approval of Minutes

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Approval

Submitted by: Beth Warren City Clerk
Name Department

Agenda Item Notes:

**MINUTES OF THE REGULAR MEETING OF THE CITY COUNCIL
OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS,
HELD IN THE CITY COUNCIL CHAMBERS,
800 GAME FARM ROAD ON
APRIL 23, 2019**

Mayor Golinski called the meeting to order at 7:00 p.m. and led the Council in the Pledge of Allegiance.

City Clerk Warren called the roll.

Ward I	Koch	Present
	Colosimo	Present
Ward II	Milschewski	Present
	Plocher	Present
Ward III	Frieders	Present
	Funkhouser	Present
Ward IV	Tarulis	Present
	Peterson	Present

Also present: City Clerk Warren, City Attorney Orr, City Administrator Olson, Police Chief Hart, Public Works Director Dhuse, Finance Director Fredrickson, EEI Engineer Sanderson, Community Development Director Barksdale-Noble, Building Code Official Ratos, Director of Parks and Recreation Evans, Assistant City Administrator Willrett

QUORUM

A quorum was established.

AMENDMENTS TO THE AGENDA

None.

PRESENTATIONS

Eagle Scout Presentations

Mayor Golinski explained the significance of the Eagle Scout, and called the two Eagle Scouts forward. Mayor Golinski presented both young men with a Eagle Scout plaque and both young men told about their Eagle Scout projects.

Certificate of Recognition – Carol LaChance

Mayor Golinski read an email about Carol LaChance and presented her with a certificate of appreciation from the City Council. Carol LaChance thanked her board members and the retired director and her family. She also thanked Mayor Golinski.

PUBLIC HEARINGS

None.

CITIZEN COMMENTS ON AGENDA ITEMS

Amy Cesich, County Board member and resident, spoke in favor of adopting the partnership with CalAtlantic Group, Inc. in regards to the Raintree Village Subdivision.

CONSENT AGENDA

1. Water Department Reports for January, February, and March 2019 (PW 2019-23)
2. East Orange Street Water Main Improvements – Professional Services Agreement – Construction Engineering – *authorize the Mayor and City Clerk to execute* (PW 2019-26)
3. **Ordinance 2019-25** Amending the Code of Ordinances Regulating On-Street Parking – *authorize the Mayor and City Clerk to execute* (PW 2019-30)

Mayor Golinski entertained a motion to approve the consent agenda as presented. So moved by Alderman Frieders; seconded by Alderman Koch.

Motion approved by a roll call vote. Ayes-8 Nays-0
Colosimo-aye, Milschewski-aye, Tarulis-aye, Frieders-aye,
Funkhouser-aye, Koch-aye, Peterson-aye, Plocher -aye

MINUTES FOR APPROVAL

1. Minutes of the Regular City Council – March 26, 2019
2. Minutes of the Regular City Council – April 9, 2019

Mayor Golinski entertained a motion to approve the minutes of the regular City Council meeting of March 26, 2019 and April 9, 2019 as presented. So moved by Alderman Milschewski; seconded by Alderman Frieders.

Minutes approved unanimously by a viva voce vote

BILLS FOR PAYMENT

Mayor Golinski stated that the bills were \$1,044,697.71.

REPORTS

MAYOR’S REPORT

**Resolution 2019-14 Approving a Reciprocal Agreement for the Exchange of Information
Obtained Pursuant to the Simplified Municipal Telecommunications
Tax Act with the Illinois Department of Revenue
(CC 2019-22)**

Mayor Golinski entertained a motion to approve a resolution approving a reciprocal agreement for the exchange of information obtained pursuant to the simplified municipal telecommunications tax act with the Illinois Department of Revenue and authorize the Mayor and City Clerk to execute.
So moved by Alderman Frieders; seconded by Alderman Funkhouser.

Motion approved by a roll call vote. Ayes-8 Nays-0
Funkhouser-aye, Milschewski-aye, Peterson-aye, Koch-aye,
Plocher -aye, Frieders-aye, Tarulis-aye, Colosimo-aye

PUBLIC WORKS COMMITTEE REPORT

No report.

ECONOMIC DEVELOPMENT COMMITTEE REPORT

No report.

PUBLIC SAFETY COMMITTEE REPORT

No report.

ADMINISTRATION COMMITTEE REPORT

No report.

PARK BOARD

No report.

PLANNING AND ZONING COMMISSION

**8225 Galena Road – 1.5 Mile Review
(PZC 2019-12 and EDC 2019-37)**

Mayor Golinski entertained a motion to authorize staff to notify Kendall County that the City Council does not have any objections to the rezoning petition of 8225 Galena Road. So moved by Alderman Colosimo; seconded by Alderman Peterson.

Motion approved by a roll call vote. Ayes-8 Nays-0
Milschewski-aye, Peterson-aye, Koch-aye, Plocher -aye,
Frieders-aye, Tarulis-aye, Colosimo-aye, Funkhouser-aye

**Ordinance 2019-26 Approving the Final Plat of Resubdivision of Lots 202, 232, 239, 251,
287, 290, 3033, and 3034 of Grande Reserve – Unit 23
(PZC 2019-13 and EDC 2019-34)**

Mayor Golinski entertained a motion to approve an ordinance approving the final plat of resubdivision of lots 202, 232, 239, 251, 287, 290, 3033, and 3034 of Grande Reserve - unit 23 and authorize the Mayor and City Clerk to execute. So moved by Alderman Funkhouser; seconded by Alderman Milschewski.

Motion approved by a roll call vote. Ayes-8 Nays-0
Peterson-aye, Koch-aye, Plocher-aye, Frieders-aye,
Tarulis-aye, Colosimo-aye, Funkhouser-aye, Milschewski-aye

CITY COUNCIL REPORT

**Sale of 111 W. Madison Street (Old Jail)
(ADM 2018-88)**

Mayor Golinski said this is informational. City Administrator Olson provided information concerning both interested parties for the Old Jail purchase and the construction budgets for each party. Alderman Frieders is in favor of the private proposal because the property would stay on the City's tax roll and its construction estimates were closer to the estimates done by the City's engineering department. City Administrator Olson stated that the nonprofit party has some experience in this process and intends on renting space out to profit oriented ventures, which would add to the City's tax basis. Alderman Frieders questioned a nonprofit's ability to undertake the financial pitfalls involved with refurbishing an older

property. City Administrator Olson commented that the nonprofit proposal seemed vague at first but after conversation with the nonprofit representative City Administrator Olson felt comfortable with the nonprofit group handling the scope of this project. Alderman Funkhouser inquired about the timeline for the project options. City Administrator Olson answered. Alderman Milschewski would like to see the two entities work together. Audience member representing the for profit option spoke. Alderman Funkhouser recognized the value of the two entities working together. City Administrator Olson stated that the staff could facilitate a conversations for the two groups to work together. The audience member from the nonprofit entity spoke. Alderman Frieders and Alderman Milschewski asked the audience member about details for the renovations and she responded. Audience members from both the profit and nonprofit groups answered questions from the alderman. Mayor Golinski inquired what type of property taxes would the properties generate. City Administrator Olson answered Mayor Golinski. Alderman Funkhouser and City Administrator Olson discussed the impact of area TIF funds on the Old Jail project. City Administrator Olson stated the direction was to do a deeper financial study of the Old Jail projects.

Ordinance 2019-27 Approving an Economic Incentive Agreement Between the United City of Yorkville and CalAtlantic Group, Inc. (Raintree Village Subdivision)
(PZC 2019-06 and EDC 2019-15)

Mayor Golinski entertained a motion to approve an ordinance approving an economic incentive agreement between the United City of Yorkville and CalAtlantic Group, Inc. (Raintree Village Subdivision) and authorize the Mayor and City Clerk to execute. So moved by Alderman Tarulis; seconded by Alderman Funkhouser.

Mayor Golinski addressed the Council. He does not believe that this deal is in the best interest of the City. Lennar Corporation is a multi-billion dollar company and should not need a two million dollar subside from Yorkville residents. A representative from Lennar Corporation addressed Mayor Golinski's statement. He said it takes a builder with significant resources to undertake a project with a delinquent SSA, as is the case for this property. He addressed numerous issues and stressed that this is the best option for the City of Yorkville. Alderman Funkhouser agreed that there is quite a bit of new home construction happening on the south end of town, but the Raintree Subdivision has seen zero activity. He believes it will take someone with vast resources to make the Raintree Subdivision viable. Alderman Funkhouser noted that the City invested in the build program and believes that this agreement would be somewhat larger in scope than that program; however it will add many new homes to the tax rolls. He recognized the impact on the school district but noted this subdivision was planned long ago and the City was aware of the impact on the schools. Alderman Frieders is concerned that if the City walks away from this deal it will bear the responsibility of maintaining the roads, and maintaining the SSA bonds. He noted that the two million dollars the City would be sacrificing to build 400 homes is around the same amount of money it took to repair the roads in the Whispering Meadow's subdivision, due to lack of completion of the subdivision. The City should move forward and let someone who has the expertise deal with the SSA bonds. Alderman Colosimo believes the City should move forward and agrees with Alderman Frieders that though there is a 2 million dollar loss connected to the SSA bonds the alternative would be to let the property sit vacant and potentially spend two million dollars in City dollars to repair roads for a vacant subdivision. Rick Murphy from CalAtlantic gave the history of CalAtlantic's interest in the property, and called into question the amount of money that the City is actually losing. Mr. Murphy wanted to share these details so that the deal was properly characterized.

Alderman Colosimo Called the question

Motion approved by a roll call vote. Ayes-7 Nays-1
Plocher-aye, Frieders-aye, Tarulis-aye, Colosimo-aye,
Funkhouser-aye, Milschewski-aye, Peterson-nay, Koch-aye

CITY CLERK'S REPORT

City Clerk Warren thanked the residents of Yorkville for allowing her to serve this great City for the last eight years. It has been a great honor being on the City Council and a privilege working with the Council members and City staff. It has also been a privilege and exciting to be the last elected City Clerk of Yorkville. City Clerk Warren looks forward to the future and spending more time with her family. She wished all the members of the City Council and City staff the best of luck.

COMMUNITY & LIAISON REPORT

Lenny's Gas N Wash

Alderman Funkhouser said the petitioner for Lenny's Gas N Wash is having an open house tomorrow from five to seven at the Library to talk about the development proposal for the gas station.

National Suicide Prevention And Action Month Proclamation

Alderman Frieders had a quick non update on the National Suicide Prevention And Action Month Proclamation project. He stated that on Thursday he will be joining Hope For The Day at the Village of Westmont City Council meeting to discuss suicide prevention, the proclamation, and other prevention activities that he has been involved in lately. Alderman Frieders wanted to say publically thank you to

Mayor Golinski for empowering him to get over his hurt. Alderman Frieders greatly appreciates the help that Mayor Golinski gave him. Mayor Golinski stated that he appreciates Alderman Frieder's efforts when it comes to suicide prevention.

STAFF REPORT

No report.

ADDITIONAL BUSINESS

Mayor Golinski

Mayor Golinski stated this will be his last meeting. He will be traveling May 14, 2019, so he won't get to hand over the gavel to John Purcell. He stated it has been an incredible honor to serve the City for fourteen consecutive years, the last eight years as Mayor. He stated that this Council has accomplished quite a bit. He stated the City is in good shape right now. He wished everyone the best of luck.

City Map

Alderman Milschewski asked about the City map. City Administrator Olson stated the staff is creating maps to place in the kiosk of the visitor center.

EXECUTIVE SESSION

None.

CITIZEN COMMENTS

None.

ADJOURNMENT

Mayor Golinski stated meeting adjourned.

Meeting adjourned at 8:00 p.m.

Minutes submitted by:

Beth Warren,
City Clerk, City of Yorkville, Illinois



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input checked="" type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Bills for Payment

Tracking Number

Agenda Item Summary Memo

Title: Bills for Payment

Meeting and Date: City Council – May 14, 2019

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Approval

Submitted by: Amy Simmons Finance
Name Department

Agenda Item Notes:

DATE: 04/18/19
TIME: 07:58:44
ID: AP211001.WOW

UNITED CITY OF YORKVILLE
CHECK REGISTER

FY 19

INVOICES DUE ON/BEFORE 04/23/2019

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT

D001220	ORRK	KATHLEEN FIELD ORR & ASSOC.					
	15898	04/08/19	01	WESTBURY MATTER	01-640-54-00-5456		43.00
			02	MISC CITY LEGAL MATTERS	01-640-54-00-5456		13,294.17
			03	MORTON BUILDING MATTER	90-140-00-00-0011		57.33
			04	DOWNTOWN TIF 1 MATTER	88-880-54-00-5466		860.00
			05	GRANDE RESERVE MATTER	90-127-00-00-0011		161.25
			06	HOOVER MATTER	01-640-54-00-5456		139.75
			07	MEETINGS	01-640-54-00-5456		1,000.00
			08	PARKS LEGAL MATTER	79-790-54-00-5466		376.25
			09	RAINTREE MATTER	90-138-00-00-0011		53.75
			10	LENNY'S GAS MATTER	90-141-00-00-0011		118.25
			11	RIVER OAKS MATTER	01-640-54-00-5456		354.75
			12	WINDETT RIDGE MATTER	01-640-54-00-5456		645.00
				INVOICE TOTAL:			17,103.50 *
				DIRECT DEPOSIT TOTAL:			17,103.50
529672	TRAFLOG	TRAFFIC LOGIX CORPORATION					
	SIN03237	01/31/19	01	SOLAR POWERED SPEED SIGNS ON	01-210-56-00-5620		14,934.00
			02	CANNONBALL	** COMMENT **		
				INVOICE TOTAL:			14,934.00 *
				CHECK TOTAL:			14,934.00
				TOTAL CHECKS PAID:			14,934.00
				TOTAL DIRECT DEPOSITS PAID:			17,103.50
				TOTAL AMOUNT PAID:			32,037.50

01-110 ADMINISTRATION
01-120 FINANCE
01-210 POLICE
01-220 COMMUNITY DEVELOPMENT
01-410 STREET OPERATIONS
01-540 HEALTH & SANITATION
01-640 ADMINISTRATIVE SERVICES

11-111 FOX HILL SSA
12-112 SUNFLOWER ESTATES
15-155 MOTOR FUEL TAX(MFT)
23-216 MUNICIPAL BUILDING
23-230 CITY-WIDE CAPITAL
25-205 POLICE CAPITAL
25-215 PUBLIC WORKS CAPITAL

25-225 PARKS & REC CAPITAL
42-420 DEBT SERVICE
51-510 WATER OPERATIONS
52-520 SEWER OPERATIONS
72-720 LAND CASH
79-790 PARKS DEPARTMENT
79-795 RECREATION DEPARTMENT

82-820 LIBRARY OPERATIONS
84-840 LIBRARY CAPITAL
87-870 COUNTRYSIDE TIF
88-880 DOWNTOWN TIF
89-890 DOWNTOWN TIF II
90-XXX DEVELOPER ESCROW
95-XXX ESCROW DEPOSIT

DATE: 04/24/19
TIME: 10:02:35
PRG ID: AP215000.WOW

UNITED CITY OF YORKVILLE
CHECK REGISTER

FY 19

CHECK DATE: 04/24/19

CHECK #	VENDOR #	INVOICE NUMBER	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	ITEM AMT
529678	IMPACT	IMPACT NETWORKING, LLC					
	1397561		04/02/19	01	MANAGED PRINT SERVICES APR	01-110-54-00-5485	112.33
				02	2019	** COMMENT **	
				03	MANAGED PRINT SERVICES APR	01-120-54-00-5485	37.44
				04	2019	** COMMENT **	
				05	MANAGED PRINT SERVICES APR	01-210-54-00-5485	112.33
				06	2019	** COMMENT **	
				07	MANAGED PRINT SERVICES APR	51-510-54-00-5485	50.18
				08	2019	** COMMENT **	
				09	MANAGED PRINT SERVICES APR	52-520-54-00-5485	12.36
				10	2019	** COMMENT **	
				11	MANAGED PRINT SERVICES APR	01-410-54-00-5485	12.36
				12	2019	** COMMENT **	
					INVOICE TOTAL:		337.00 *
					CHECK TOTAL:		337.00
529679	PERFCONS	PERFORMANCE CONSTRUCTION &					
	PAY#2		04/11/19	01	ENGINEER'S PAYMENT ESTIMATE	51-510-60-00-6022	22,476.33
				02	#2 RE-PIPING OF EXISTING WATER	** COMMENT **	
				03	MAIN & DEMOLITION OF WELL #3	** COMMENT **	
				04	BUILDING	** COMMENT **	
					INVOICE TOTAL:		22,476.33 *
					CHECK TOTAL:		22,476.33
					TOTAL AMOUNT PAID:		22,813.33

01-110 ADMINISTRATION
01-120 FINANCE
01-210 POLICE
01-220 COMMUNITY DEVELOPMENT
01-410 STREET OPERATIONS
01-540 HEALTH & SANITATION
01-640 ADMINISTRATIVE SERVICES

11-111 FOX HILL SSA
12-112 SUNFLOWER ESTATES
15-155 MOTOR FUEL TAX(MFT)
23-216 MUNICIPAL BUILDING
23-230 CITY-WIDE CAPITAL
25-205 POLICE CAPITAL
25-215 PUBLIC WORKS CAPITAL

25-225 PARKS & REC CAPITAL
42-420 DEBT SERVICE
51-510 WATER OPERATIONS
52-520 SEWER OPERATIONS
72-720 LAND CASH
79-790 PARKS DEPARTMENT
79-795 RECREATION DEPARTMENT

82-820 LIBRARY OPERATIONS
84-840 LIBRARY CAPITAL
87-870 COUNTRYSIDE TIF
88-880 DOWNTOWN TIF
89-890 DOWNTOWN TIF II
90-XXX DEVELOPER ESCROW
95-XXX ESCROW DEPOSIT

DATE: 04/30/19
TIME: 09:18:50
PRG ID: AP215000.WOW

UNITED CITY OF YORKVILLE
CHECK REGISTER

FY 19

CHECK DATE: 04/30/19

CHECK #	VENDOR #	INVOICE NUMBER	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	ITEM AMT
529681	LIPSCOJA	JACOB LIPSCOMB					
	2019 B@B		04/30/19	01	UMPIRE	79-795-54-00-5462	100.00
					INVOICE TOTAL:		100.00 *
					CHECK TOTAL:		100.00
529682	MODAFFJ	JACK MODAFF					
	2019 B@B		04/30/19	01	UMPIRE	79-795-54-00-5462	100.00
					INVOICE TOTAL:		100.00 *
					CHECK TOTAL:		100.00
529683	OLEARYC	CYNTHIA O'LEARY					
	2019 B@B		04/30/19	01	ASSIGNING FEE FOR OFFICIALS	79-795-54-00-5462	200.00
					INVOICE TOTAL:		200.00 *
					CHECK TOTAL:		200.00
529684	RIETZR	ROBERT L. RIETZ JR.					
	2019 B@B		04/30/19	01	UMPIRE	79-795-54-00-5462	100.00
					INVOICE TOTAL:		100.00 *
					CHECK TOTAL:		100.00
529685	TAGGARTN	NATHANIEL TAGGART					
	2019 B@B		04/30/19	01	UMPIRE	79-795-54-00-5462	100.00
					INVOICE TOTAL:		100.00 *
					CHECK TOTAL:		100.00
					TOTAL AMOUNT PAID:		600.00

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529686	AACVB	AURORA AREA CONVENTION					
	3/19-ALL	04/30/19	01	ALL SEASON MAR 2019 HOTEL TAX	01-640-54-00-5481		39.47
					INVOICE TOTAL:		39.47 *
	3/19-SUNSET	04/30/19	01	SUNSET MAR 2019 HOTEL TAX	01-640-54-00-5481		30.60
					INVOICE TOTAL:		30.60 *
					CHECK TOTAL:		70.07
529687	ADVDR00F	ADVANCED ROOFING INC.					
	20182754	04/22/19	01	ROOF REPAIR AT 201 W HYDRAULIC	88-880-60-00-6000		1,460.00
					INVOICE TOTAL:		1,460.00 *
					CHECK TOTAL:		1,460.00
529688	ALLSTAR	ALL STAR SPORTS INSTRUCTION					
	192057	03/26/19	01	WINTER II 2019 CLASS	79-795-54-00-5462		1,140.00
			02	INSTRUCTION	** COMMENT **		
					INVOICE TOTAL:		1,140.00 *
					CHECK TOTAL:		1,140.00
529689	AMPERAGE	AMPERAGE ELECTRICAL SUPPLY INC					
	0889768-IN	04/02/19	01	LED	79-790-56-00-5640		66.44
					INVOICE TOTAL:		66.44 *
	0890247-IN	04/03/19	01	INSULATING BOOT, WIRE NUTS	01-410-56-00-5642		36.40
					INVOICE TOTAL:		36.40 *
	0890251-IN	04/03/19	01	ANCHOR BOLTS, HEX NUTS,	01-410-56-00-5642		140.52
			02	WASHERS	** COMMENT **		
					INVOICE TOTAL:		140.52 *

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529689	AMPERAGE	AMPERAGE ELECTRICAL SUPPLY INC					
	0890439-IN	04/03/19	01	PHOTO CONTROL, LAMPS	01-410-56-00-5642		377.94
					INVOICE TOTAL:		377.94 *
	0890524-IN	04/03/19	01	LAMPS	01-410-56-00-5642		44.55
					INVOICE TOTAL:		44.55 *
	0896554-IN	04/18/19	01	SPLICE KIT	01-410-56-00-5642		26.90
					INVOICE TOTAL:		26.90 *
	0897149-IN	04/19/19	01	SPLICE KIT	01-410-56-00-5642		80.70
					INVOICE TOTAL:		80.70 *
					CHECK TOTAL:		773.45
529690	ANDERSEN	ANDERSEN PLUMBING & HEATING					
	9708	04/23/19	01	REBUILT MENS LOCKER ROOM AND	23-216-54-00-5446		400.00
			02	URINAL IN PD	** COMMENT **		
					INVOICE TOTAL:		400.00 *
					CHECK TOTAL:		400.00
529691	AQUAFIX	AQUAFIX, INC.					
	27506	04/23/19	01	VITASTIM SUMMER SLAM PACKETS	52-520-56-00-5613		1,142.70
					INVOICE TOTAL:		1,142.70 *
					CHECK TOTAL:		1,142.70
529692	ARNESON	ARNESON OIL COMPANY					
	250354	04/12/19	01	APR 2019 GASOLINE	79-790-56-00-5695		1,227.99
					INVOICE TOTAL:		1,227.99 *
	250358	04/12/19	01	APR 2019 DIESEL FUEL	01-410-56-00-5695		398.29

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529692	ARNESON	ARNESON OIL COMPANY					
	250358	04/12/19	02	APR 2019 DIESEL FUEL	51-510-56-00-5695		398.28
			03	APR 2019 DIESEL FUEL	52-520-56-00-5695		398.28
				INVOICE TOTAL:			1,194.85 *
	251050	04/19/19	01	APR 2019 DIESEL FUEL	01-410-56-00-5695		217.61
			02	APR 2019 DIESEL FUEL	51-510-56-00-5695		217.60
			03	APR 2019 DIESEL FUEL	52-520-56-00-5695		217.60
				INVOICE TOTAL:			652.81 *
				CHECK TOTAL:			3,075.65
529693	ATT	AT&T					
	6305536805-0419	04/25/19	01	04/25-05/24 SERVICE	51-510-54-00-5440		305.83
				INVOICE TOTAL:			305.83 *
				CHECK TOTAL:			305.83
529694	ATTINTER	AT&T					
	6152247409	04/10/19	01	04/10-05/09 ROUTER	01-110-54-00-5440		471.16
				INVOICE TOTAL:			471.16 *
				CHECK TOTAL:			471.16
529695	B&WCONTR	BAXTER & WOODMAN					
	0205657	04/19/19	01	3/18-4/11 WATER SYSTEMS	51-510-54-00-5462		5,269.30
			02	INTERIM OPERATIONS ASSISTANCE	** COMMENT **		
				INVOICE TOTAL:			5,269.30 *
				CHECK TOTAL:			5,269.30
529696	BADUSF	FRANK E. BADUS					

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529696	BADUSF	FRANK E. BADUS					
	PLF42419	04/24/19	01	YOUTH PERSONAL TRAINING	79-795-54-00-5462		256.00
			02	SESSIONS	** COMMENT **		
					INVOICE TOTAL:		256.00 *
					CHECK TOTAL:		256.00
529697	BARKSDAK	KRISTI J. BARKSDALE-NOBLE					
	041719	04/17/19	01	2019 NATIONAL APA CONFERENCE	01-220-54-00-5415		105.31
			02	TRAVEL EXPENSE REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		105.31 *
					CHECK TOTAL:		105.31
529698	BENJAMIM	MATT BENJAMIN					
	042519	04/25/19	01	UMPIRE	79-795-54-00-5462		80.00
					INVOICE TOTAL:		80.00 *
					CHECK TOTAL:		80.00
529699	BEYERD	DWAYNE F BEYER					
	042519	04/25/19	01	UMPIRE	79-795-54-00-5462		80.00
					INVOICE TOTAL:		80.00 *
					CHECK TOTAL:		80.00
529700	BFCONSTR	B&F CONSTRUCTION CODE SERVICES					
	11275	04/17/19	01	MAR 2019 INSPECTIONS	01-220-54-00-5459		3,800.00
					INVOICE TOTAL:		3,800.00 *
	51090	04/08/19	01	CODE AMENDMENT REVIEW	01-220-54-00-5462		3,300.00
					INVOICE TOTAL:		3,300.00 *
					CHECK TOTAL:		7,100.00

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D001221	BROWND	DAVID BROWN					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	52-520-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
529701	BSNSPORT	BSN/PASSON'S/GSC/CONLIN SPORTS					
	904959286	04/08/19	01	BASEBALL & SOFTBALL EQUIPMENT	79-795-56-00-5606		4,299.00
					INVOICE TOTAL:		4,299.00 *
	905075044	04/18/19	01	INHOUSE GIRLS SOFTBALL	79-795-56-00-5606		438.75
			02	UNIFORMS	** COMMENT **		
					INVOICE TOTAL:		438.75 *
	905075053	04/18/19	01	INHOUSE TBALL UNIFORMS	79-795-56-00-5606		936.00
					INVOICE TOTAL:		936.00 *
	905075062	04/18/19	01	BOYS BASEBALL TSHIRTS	79-795-56-00-5606		1,111.50
					INVOICE TOTAL:		1,111.50 *
	905075073	04/18/19	01	BOYS BASEBALL UNIFORMS	79-795-56-00-5606		819.00
					INVOICE TOTAL:		819.00 *
	905075081	04/18/19	01	BOYS BASEBALL UNIFORMS	79-795-56-00-5606		604.50
					INVOICE TOTAL:		604.50 *
	905075088	04/18/19	01	IN HOUSE GIRLS SOFTBALL	79-795-56-00-5606		331.50
			02	TSHIRTS	** COMMENT **		
					INVOICE TOTAL:		331.50 *
	905075096	04/18/19	01	BOYS BASEBALL UNIFORMS	79-795-56-00-5606		302.25
					INVOICE TOTAL:		302.25 *
	905075104	04/18/19	01	IN HOUSE GIRLS SOFTBALL	79-795-56-00-5606		468.00

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529701	BSNSPORT	BSN/PASSON'S/GSC/CONLIN SPORTS					
	905075104	04/18/19	02	TSHIRTS	** COMMENT **		
					INVOICE TOTAL:		468.00 *
	905084951	04/19/19	01	IN HOUSE BASEBALL UNIFORMS	79-795-56-00-5606		9,271.40
					INVOICE TOTAL:		9,271.40 *
	905084957	04/19/19	01	UMPIRE SHIRTS	79-795-56-00-5606		158.00
					INVOICE TOTAL:		158.00 *
					CHECK TOTAL:		18,739.90
529702	CAMBRIA	CAMBRIA SALES COMPANY INC.					
	40615	04/16/19	01	PAPER TOWEL	52-520-56-00-5620		93.51
					INVOICE TOTAL:		93.51 *
	40638	04/24/19	01	URINAL SCREEN, TOILET TISSUE	01-110-56-00-5610		57.35
					INVOICE TOTAL:		57.35 *
					CHECK TOTAL:		150.86
529703	CENTRALL	CENTRAL LIMESTONE COMPANY, INC					
	16409	04/08/19	01	GRAVEL	51-510-56-00-5620		144.18
					INVOICE TOTAL:		144.18 *
	16509	04/15/19	01	GRAVEL	51-510-56-00-5620		150.55
					INVOICE TOTAL:		150.55 *
					CHECK TOTAL:		294.73
529704	CINTASFP	CINTAS CORPORATION FIRE 636525					
	0F94035683-A	04/22/19	01	MONITORING CINTASNET @ 3299	51-510-54-00-5445		74.34

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529704	CINTASFP	CINTAS CORPORATION FIRE	636525				
	0F94035683-A	04/22/19	02	LEHMAN CROSSING - APR 2019	** COMMENT **		
					INVOICE TOTAL:		74.34 *
					CHECK TOTAL:		74.34
529705	CIRUS	CERTIFIED CIRUS CONTROL SYSTEM					
	INV36415	04/08/19	01	ANTI-ICE TIER BOOM TAIL	01-410-56-00-5628		351.03
			02	CABLE WITH INTEGRATED SENSOR	** COMMENT **		
			03	HARNESS	** COMMENT **		
					INVOICE TOTAL:		351.03 *
					CHECK TOTAL:		351.03
529706	COMED	COMMONWEALTH EDISON					
	0185079109-0419	04/29/19	01	03/29-04/29 420 FAIRHAVEN	52-520-54-00-5480		153.69
					INVOICE TOTAL:		153.69 *
	0435113116-0419	05/02/19	01	04/02-05/01 RT34 & BEECHER	15-155-54-00-5482		65.35
					INVOICE TOTAL:		65.35 *
	0903040077-0419	04/29/19	01	03/26-04/29 MISC STREET LIGHTS	15-155-54-00-5482		3,266.33
					INVOICE TOTAL:		3,266.33 *
	090814004-0419	04/30/19	01	04/01-04/30 6780 RT47	51-510-54-00-5480		115.26
					INVOICE TOTAL:		115.26 *
	0966038077-0419	04/26/19	01	03/28-04/26 KENNEDY RD	01-410-54-00-5482		10.81
			02	03/28-04/26 KENNEDY RD	15-155-54-00-5482		217.56
					INVOICE TOTAL:		228.37 *
	1183088101-0419	04/25/19	01	03/27-04/25 1107 PRAIRIE LIFT	52-520-54-00-5480		122.82
					INVOICE TOTAL:		122.82 *

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529706	COMED	COMMONWEALTH EDISON					
	1251108256-0419	04/26/19	01	03/28-04/26 301 E HYDRAULIC	79-795-54-00-5480		60.12
					INVOICE TOTAL:		60.12 *
	1407125045-0419	05/01/19	01	04/02-05/01 FOX HILL 7 LIFT	52-520-54-00-5480		126.72
					INVOICE TOTAL:		126.72 *
	1613010022-0419	04/15/19	01	03/14-04/12 BALLFIELDS	79-795-54-00-5480		745.09
					INVOICE TOTAL:		745.09 *
	1647065335-0419	04/30/19	01	04/01-04/30 SARAVANOS PUMP	52-520-54-00-5480		125.51
					INVOICE TOTAL:		125.51 *
	1718099052-0419	04/25/19	01	03/27-04/25 872 PRAIRIE CR	52-520-54-00-5480		36.57
					INVOICE TOTAL:		36.57 *
	1977008102-0319	04/12/19	01	03/14-04/12 GALENA PARK LIGHTS	79-795-54-00-5480		59.52
					INVOICE TOTAL:		59.52 *
	2668047007-0419	04/25/19	01	03/27-04/25 1908 RAINTREE	51-510-54-00-5480		315.03
					INVOICE TOTAL:		315.03 *
	2947052031-0419	04/29/19	01	03/29-04/29 RIVER	15-155-54-00-5482		264.00
					INVOICE TOTAL:		264.00 *
	2961017043-0419	04/26/19	01	03/28-04/26 PRESTWICK LIFT	52-520-54-00-5480		122.16
					INVOICE TOTAL:		122.16 *
	3119142025-0419	04/26/19	01	03/28-04/26 VAN EMMON LOT	01-410-54-00-5482		20.63
					INVOICE TOTAL:		20.63 *
	4085080033-0419	04/26/19	01	03/28-04/26 1991 CANNONBALL TR	51-510-54-00-5480		277.42
					INVOICE TOTAL:		277.42 *
	4475093053-0419	04/29/19	01	03/29-04/29 610 TOWER	51-510-54-00-5480		254.89
					INVOICE TOTAL:		254.89 *

01-110 ADMINISTRATION
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01-220 COMMUNITY DEVELOPMENT
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42-420 DEBT SERVICE
51-510 WATER OPERATIONS
52-520 SEWER OPERATIONS
72-720 LAND CASH
79-790 PARKS DEPARTMENT
79-795 RECREATION DEPARTMENT

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529706	COMED	COMMONWEALTH EDISON					
	6963019021-0419	04/15/19	01	03/14-04/12 RT47 & ROSENWINKLE	15-155-54-00-5482		21.81
					INVOICE TOTAL:		21.81 *
	7090039005-0319	04/10/19	01	03/12-04/10 CANNONBALL TR	01-410-54-00-5482		0.90
			02	03/12-04/10 CANNONBALL TR	15-155-54-00-5482		20.73
					INVOICE TOTAL:		21.63 *
	7110074020-0419	04/26/19	01	03/28-04/26 104 E VAN EMMON	01-110-54-00-5480		303.60
					INVOICE TOTAL:		303.60 *
	7982120022-0419	04/29/19	01	03/29-04/29 609 N BRIDGE	01-110-54-00-5480		24.28
					INVOICE TOTAL:		24.28 *
	8344010026-0319	04/22/19	01	02/28-04/22 MISC STREET LIGHTS	15-155-54-00-5482		209.06
					INVOICE TOTAL:		209.06 *
					CHECK TOTAL:		6,939.86
529707	CONSTELL	CONSTELLATION NEW ENERGY					
	14590076201	04/08/19	01	02/28-03/29 1 COUNTRYSIDE PKWY	01-410-54-00-5482		13.66
			02	02/28-03/29 1 COUNTRYSIDE PKWY	15-155-54-00-5482		126.67
					INVOICE TOTAL:		140.33 *
	14737048301	04/23/19	01	03/22-04/22 421 POPLAR LITE	15-155-54-00-5482		3,849.53
					INVOICE TOTAL:		3,849.53 *
	14782730701	04/30/18	01	03/29-04/29 COUNTRYSIDE	01-410-54-00-5482		13.10
			02	03/29-04/29 COUNTRYSIDE	15-155-54-00-5482		64.91
					INVOICE TOTAL:		78.01 *
					CHECK TOTAL:		4,067.87
529708	DAVISC	CHUCK DAVIS					

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529708	DAVISC	CHUCK DAVIS					
	041119	04/11/19	01	MASTER FIREARMS INSTRUCTOR	01-210-54-00-5415		73.25
			02	CERTIFICATION LODGING	** COMMENT **		
			03	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			73.25 *
				CHECK TOTAL:			73.25
D001222	DHUSEE	DHUSE, ERIC					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	51-510-54-00-5440		15.00
			02	REIMBURSEMENT	** COMMENT **		
			03	APR 2019 MOBILE EMAIL	52-520-54-00-5440		15.00
			04	REIMBURSEMENT	** COMMENT **		
			05	APR 2019 MOBILE EMAIL	01-410-54-00-5440		15.00
			06	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			45.00 *
				DIRECT DEPOSIT TOTAL:			45.00
D001223	DLK	DLK, LLC					
	187	04/30/19	01	APR 2019 ECONOMIC DEVELOPMENT	01-640-54-00-5486		9,425.00
			02	HOURS	** COMMENT **		
				INVOICE TOTAL:			9,425.00 *
				DIRECT DEPOSIT TOTAL:			9,425.00
529709	DUTEK	THOMAS & JULIE FLETCHER					
	1007518	04/18/19	01	COUPLER	79-790-54-00-5495		109.00
				INVOICE TOTAL:			109.00 *
				CHECK TOTAL:			109.00
529710	DYNEGY	DYNEGY ENERGY SERVICES					

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529710	DYNEGY	DYNEGY ENERGY SERVICES					
	266978919041	05/01/19	01	03/28-04/28 2921 BRISTOL RDG	51-510-54-00-5480		2,523.12
					INVOICE TOTAL:		2,523.12 *
	266979119041	04/29/19	01	03/29-04/25 2224 TREMONT	51-510-54-00-5480		3,665.36
					INVOICE TOTAL:		3,665.36 *
	266979219051	05/01/19	01	03/29-04/28 610 TOWER WELLS	51-510-54-00-5480		7,132.43
					INVOICE TOTAL:		7,132.43 *
	266979319041	04/19/19	01	03/19-04/16 2702 MILL RD	51-510-54-00-5480		5,557.24
					INVOICE TOTAL:		5,557.24 *
					CHECK TOTAL:		18,878.15
529711	ECO	ECO CLEAN MAINTENANCE INC					
	7836	04/30/19	01	APR 2019 OFFICE CLEANING	01-110-54-00-5488		1,005.00
			02	APR 2019 OFFICE CLEANING	01-210-54-00-5488		1,005.00
			03	APR 2019 OFFICE CLEANING	79-795-54-00-5488		525.00
			04	APR 2019 OFFICE CLEANING	79-795-54-00-5488		254.00
			05	APR 2019 OFFICE CLEANING	01-410-54-00-5488		65.00
			06	APR 2019 OFFICE CLEANING	51-510-54-00-5488		65.00
			07	APR 2019 OFFICE CLEANING	52-520-54-00-5488		65.00
					INVOICE TOTAL:		2,984.00 *
					CHECK TOTAL:		2,984.00
529712	EEI	ENGINEERING ENTERPRISES, INC.					
	66452	04/30/19	01	GRANDE RESERVE - AVANTI	01-640-54-00-5465		303.00
					INVOICE TOTAL:		303.00 *
	66453	04/30/19	01	US RT34 IMPROVEMENTS	01-640-54-00-5465		101.00
					INVOICE TOTAL:		101.00 *

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529712	EEI	ENGINEERING ENTERPRISES, INC.					
	66454	04/30/19	01	GRANDE RESERVE, UNIT 2	01-640-54-00-5465		500.50
					INVOICE TOTAL:		500.50 *
	66455	04/30/19	01	GRANDE RESERVE UNIT 5	01-640-54-00-5465		329.00
					INVOICE TOTAL:		329.00 *
	66456	04/30/19	01	BLACKBERRY WOODS PAHSE B	01-640-54-00-5465		288.00
					INVOICE TOTAL:		288.00 *
	66459	04/30/19	01	GRANDE RESERVE UNIT 8	01-640-54-00-5465		260.75
					INVOICE TOTAL:		260.75 *
	66460	04/30/19	01	TIMBER GLENN SUBDIVISION	01-640-54-00-5465		920.50
					INVOICE TOTAL:		920.50 *
	66461	04/30/19	01	FOUNTAIN VILLAGE COMPLETION	23-230-60-00-6023		165.00
			02	OF IMPROVEMENTS	** COMMENT **		
					INVOICE TOTAL:		165.00 *
	66462	04/30/19	01	GRANDE RESERVE UNIT 23 ENG	01-640-54-00-5465		500.00
			02	INSPECTIONS	** COMMENT **		
					INVOICE TOTAL:		500.00 *
	66463	04/30/19	01	GRANDE RESERVE UNIT 5 ENG	01-640-54-00-5465		300.00
			02	INSPECTIONS	** COMMENT **		
					INVOICE TOTAL:		300.00 *
	66464	04/30/19	01	CALEDONIA PHASE 1 ENG	01-640-54-00-5465		100.00
			02	INSPECTIONS	** COMMENT **		
					INVOICE TOTAL:		100.00 *
	66465	04/30/19	01	GRANDE RESERVE UNIT 1 ENG	01-640-54-00-5465		100.00
			02	INSPECTIONS	** COMMENT **		
					INVOICE TOTAL:		100.00 *

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529712	EEI	ENGINEERING ENTERPRISES, INC.					
	66466	04/30/19	01	GRANDE RESERVE UNIT 3 ENG	01-640-54-00-5465		100.00
			02	INSPECTIONS	** COMMENT **		
					INVOICE TOTAL:		100.00 *
	66476	04/30/19	01	CAPITAL IMPROVEMENT PROGRAM	01-640-54-00-5465		401.75
					INVOICE TOTAL:		401.75 *
	66477	04/30/19	01	IL RT71 SANITARY SEWER &	51-510-60-00-6066		720.17
			02	WATER MAIN REPLACEMENT	** COMMENT **		
			03	IL RT71 SANITARY SEWER &	52-520-60-00-6066		127.08
			04	WATER MAIN REPLACEMENT	** COMMENT **		
					INVOICE TOTAL:		847.25 *
	66479	04/30/19	01	DOWNTOWN REVITALIZATION	01-640-54-00-5465		1,680.00
					INVOICE TOTAL:		1,680.00 *
					CHECK TOTAL:		6,896.75
529713	EEI	ENGINEERING ENTERPRISES, INC.					
	66480	04/30/19	01	MILL ROAD RECONSTRUCTION	23-230-60-00-6012		6,265.15
					INVOICE TOTAL:		6,265.15 *
					CHECK TOTAL:		6,265.15
529714	EEI	ENGINEERING ENTERPRISES, INC.					
	66481	04/30/19	01	MUNICIPAL ENGINEERING SERVICES	01-640-54-00-5465		1,900.00
					INVOICE TOTAL:		1,900.00 *
	66482	04/30/19	01	FOX HIGHL;ANDS WATER MAIN	51-510-60-00-6066		2,309.33
			02	IMPROVEMENTS	** COMMENT **		
					INVOICE TOTAL:		2,309.33 *
	66484	04/30/18	01	2018 NPDES ANNUAL REPORT	01-640-54-00-5465		137.00
					INVOICE TOTAL:		137.00 *

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529714	EEI	ENGINEERING ENTERPRISES, INC.					
	66487	04/30/19	01	2019 ROAD PROGRAM	23-230-60-00-6025		1,629.30
					INVOICE TOTAL:		1,629.30 *
	66488	04/30/19	01	GRANDE RESERVE UNIT 3	01-640-54-00-5465		212.75
					INVOICE TOTAL:		212.75 *
	66489	04/30/19	01 02	CHURCH STREET SANITARY SEWER IMPROVEMENTS	52-520-60-00-6025 ** COMMENT **		622.50
					INVOICE TOTAL:		622.50 *
	66490	04/30/19	01	2019 MISC GIS	01-640-54-00-5465		1,573.50
					INVOICE TOTAL:		1,573.50 *
	66491	04/30/19	01	WATER WORKS SYSTEM OPERATIONS	51-510-54-00-5462		3,407.50
					INVOICE TOTAL:		3,407.50 *
	66492	04/30/19	01	UTILITY PERMIT REVIEWS	01-640-54-00-5465		1,129.75
					INVOICE TOTAL:		1,129.75 *
	66495	04/30/19	01 02	KENDALL MARKETPLACE RESIDENTIAL	01-640-54-00-5465 ** COMMENT **		368.50
					INVOICE TOTAL:		368.50 *
	66496	04/30/19	01	GRANDE RESERVE UNIT 23	01-640-54-00-5465		5,531.00
					INVOICE TOTAL:		5,531.00 *
					CHECK TOTAL:		18,821.13
529715	EJEQUIP	EJ EQUIPMENT					
	P17155	04/15/19	01	NOZZLES, LINER, CAULK, SCREWS	01-410-56-00-5628		329.80
					INVOICE TOTAL:		329.80 *
	P17342	04/26/19	01	TRANSDUCER PRESS	52-520-56-00-5613		240.35
					INVOICE TOTAL:		240.35 *
					CHECK TOTAL:		570.15

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529716	ELENBAJA	JAMIE ELENBAAS					
	042019	04/20/19	01	UMPIRE	79-795-54-00-5462		105.00
					INVOICE TOTAL:		105.00 *
					CHECK TOTAL:		105.00
D001224	EVANST	TIM EVANS					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	79-790-54-00-5440		22.50
			02	REIMBURSEMENT	** COMMENT **		
			03	APR 2019 MOBILE EMAIL	79-795-54-00-5440		22.50
			04	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
529717	FARMFLEE	BLAIN'S FARM & FLEET					
	1320-BROWN	04/19/19	01	SOCKS, PANTS	52-520-56-00-5600		53.97
					INVOICE TOTAL:		53.97 *
	134-HERNANDEZ	04/08/19	01	PANTS, SHIRTS, SOCKS, GLOVES	79-790-56-00-5600		155.06
					INVOICE TOTAL:		155.06 *
	1748-HENNE	04/23/19	01	GLOVES, SWEATSHIRTS	01-410-56-00-5600		133.16
					INVOICE TOTAL:		133.16 *
					CHECK TOTAL:		342.19
529718	FEDERAUA	ALEX FEDERAU					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					CHECK TOTAL:		45.00

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529719	FIRST	FIRST PLACE RENTAL					
	302057-1	04/17/19	01	STAKES	51-510-56-00-5665		401.00
					INVOICE TOTAL:		401.00 *
					CHECK TOTAL:		401.00
529720	FLATSOS	RAQUEL HERRERA					
	11095	04/10/19	01	4 NEW TIRES	79-790-54-00-5495		684.40
					INVOICE TOTAL:		684.40 *
	11116	04/11/19	01	4 NEW TIRES	79-790-54-00-5495		445.72
					INVOICE TOTAL:		445.72 *
					CHECK TOTAL:		1,130.12
529721	FOXVALLE	FOX VALLEY TROPHY & AWARDS					
	35985	04/22/19	01	4 NAME PLATES, 2 EAGLE SCOUT	01-110-56-00-5610		43.00
			02	PLATES	** COMMENT **		
					INVOICE TOTAL:		43.00 *
	35987	04/22/19	01	SPRING SOCCER MEDALS	79-795-56-00-5606		912.50
					INVOICE TOTAL:		912.50 *
	35988	04/22/19	01	BATTLE @ BRIDGE TROPHIES	79-795-56-00-5606		117.00
					INVOICE TOTAL:		117.00 *
	35996	04/25/19	01	2019 TBALL MEDALS	79-795-56-00-5606		2,000.00
					INVOICE TOTAL:		2,000.00 *
					CHECK TOTAL:		3,072.50
D001225	FREDRICR	ROB FREDRICKSON					
	050119	05/01/19	01	ARP 2019 MOBILE EMAIL	01-120-54-00-5440		45.00

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90-XXX DEVELOPER ESCROW
95-XXX ESCROW DEPOSIT

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D001225	FREDRICR	ROB FREDRICKSON					
	050119	05/01/19	02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
529722	FVFS	FOX VALLEY FIRE & SAFETY					
	IN00220981	11/20/18	01	SENIOR SERVICES FIRE	23-216-54-00-5446		70.00
			02	EXTINGUISHER SERVICE	** COMMENT **		
					INVOICE TOTAL:		70.00 *
	IN00221421	11/21/18	01	ANNUAL SPRINKLER INSPECTION	23-216-54-00-5446		345.00
			02	FOR BEECHER BUILDING	** COMMENT **		
					INVOICE TOTAL:		345.00 *
	IN00260402	04/19/19	01	11/09/18 FIRE ALARM INSPECTION	23-216-54-00-5446		325.00
					INVOICE TOTAL:		325.00 *
					CHECK TOTAL:		740.00
D001226	GALAUNEJ	JAKE GALAUNER					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	79-795-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
529723	GIANTER	RICARDO GANTE					
	040619	04/06/19	01	UMPIRE	79-795-54-00-5462		70.00
					INVOICE TOTAL:		70.00 *
	041319	04/13/19	01	UMPIRE	79-795-54-00-5462		105.00
					INVOICE TOTAL:		105.00 *
					CHECK TOTAL:		175.00

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D001227	GOLINSKI	GARY GOLINSKI					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	01-110-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
529724	GOVIT	GOVERNMENT IT CONSORTIUM					
	2018-029	12/17/18	01	MASTER CONTRACT-DRAFT DOCUMENT	01-640-54-00-5450		552.67
					INVOICE TOTAL:		552.67 *
	2019-014	04/08/19	01	MASTER DOCUMENT-FINAL DOCUMENT	01-640-54-00-5450		552.67
					INVOICE TOTAL:		552.67 *
					CHECK TOTAL:		1,105.34
529725	GSLSPORT	BIG DAWG ATHLETICS LLC					
	8	04/15/19	01	2019 MENS SOFTBALL SPRING	79-795-54-00-5462		180.00
			02	LEAGUE SANCTION FEE	** COMMENT **		
					INVOICE TOTAL:		180.00 *
					CHECK TOTAL:		180.00
D001228	HARMANR	RHIANNON HARMON					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	79-795-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D001229	HARTRICH	HART, RICHARD					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	01-210-54-00-5440		45.00

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D001229	HARTRICH	HART, RICHARD					
	050119	05/01/19	02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
529726	HAWKINS	HAWKINS INC					
	4472526	04/03/19	01	CHLORINE	51-510-56-00-5638		1,025.16
					INVOICE TOTAL:		1,025.16 *
					CHECK TOTAL:		1,025.16
D001230	HENNED	DURK HENNE					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	01-410-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D001231	HERNANDA	ADAM HERNANDEZ					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
529727	HERNANDN	NOAH HERNANDEZ					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					CHECK TOTAL:		45.00

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D001232	HORNERR	RYAN HORNER					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D001233	HOULEA	ANTHONY HOULE					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
529728	IAPD	ILLINOIS ASSOCIATION OF PARK					
	DUES	12/12/18	01	2019 IAPD DUE RENEWAL	79-795-54-00-5460		663.56
					INVOICE TOTAL:		663.56 *
					CHECK TOTAL:		663.56
529729	ILPD4811	ILLINOIS STATE POLICE					
	033119	03/31/19	01	BACKGROUND CHECKS	01-210-54-00-5462		113.00
			02	SOLICITOR BACKGROUND CHECKS	01-110-54-00-5462		28.25
			03	COACHES BACKGROUND CHECKS	79-795-54-00-5462		2,683.75
					INVOICE TOTAL:		2,825.00 *
					CHECK TOTAL:		2,825.00
529730	IMPACT	IMPACT NETWORKING, LLC					
	1416879	04/25/19	01	COPY PAPER	01-110-56-00-5610		145.00
					INVOICE TOTAL:		145.00 *

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529730	IMPACT	IMPACT NETWORKING, LLC					
	1417224	04/26/19	01	3/29/19-4/28/19 COPY CHARGES	01-110-54-00-5430		149.22
			02	3/29/19-4/28/19 COPY CHARGES	01-120-54-00-5430		49.74
			03	3/29/19-4/28/19 COPY CHARGES	01-220-54-00-5430		101.73
			04	3/29/19-4/28/19 COPY CHARGES	01-210-54-00-5430		46.34
			05	3/29/19-4/28/19 COPY CHARGES	01-410-54-00-5462		1.04
			06	3/29/19-4/28/19 COPY CHARGES	52-520-54-00-5430		1.03
			07	3/29/19-4/28/19 COPY CHARGES	01-410-54-00-5462		1.04
			08	3/29/19-4/28/19 COPY CHARGES	79-790-54-00-5462		51.51
			09	3/29/19-4/28/19 COPY CHARGES	79-795-54-00-5462		51.51
				INVOICE TOTAL:			453.16 *
				CHECK TOTAL:			598.16
529731	INTERDEV	INTERDEV, LLC					
	MSP1019773	03/31/19	01	MAR 2019 MONTHLY BILLING	01-640-54-00-5450		9,711.00
				INVOICE TOTAL:			9,711.00 *
				CHECK TOTAL:			9,711.00
529732	JULIE	JULIE, INC.					
	2019-1927-2	03/31/19	01	01/01/19-03/31/19 ANNUAL	01-410-54-00-5483		1,094.80
			02	ASSESSMENT ACTIVITY	** COMMENT **		
			03	01/01/19-03/31/19 ANNUAL	51-510-54-00-5483		1,094.81
			04	ASSESSMENT ACTIVITY	** COMMENT **		
			05	01/01/19-03/31/19 ANNUAL	52-520-54-00-5483		1,094.81
			06	ASSESSMENT ACTIVITY	** COMMENT **		
				INVOICE TOTAL:			3,284.42 *
				CHECK TOTAL:			3,284.42
529733	JUSTSAFE	JUST SAFETY, LTD					
	32481	04/16/19	01	FIRST AID SUPPLIES	52-520-56-00-5620		40.05
				INVOICE TOTAL:			40.05 *
				CHECK TOTAL:			40.05

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529734	KCACP	KENDALL COUNTY ASSOCIATION OF					
	583	04/30/19	01	APR 2019 MEETING FEE FOR 2	01-210-54-00-5415		32.00
					INVOICE TOTAL:		32.00 *
					CHECK TOTAL:		32.00
529735	KENDCROS	KENDALL CROSSING, LLC					
	AMU REBATE 03/19	04/15/19	01	MAR 2019 NCG AMUSEMENT TAX	01-640-54-00-5439		3,913.00
			02	REBATE	** COMMENT **		
					INVOICE TOTAL:		3,913.00 *
					CHECK TOTAL:		3,913.00
529736	KENDTREA	KENDALL COUNTY					
	19-9	04/02/19	01	1ST BIENNIAL CONTRIBUTION FOR	01-640-54-00-5473		11,775.00
			02	KENDALL AREA TRANSIT	** COMMENT **		
					INVOICE TOTAL:		11,775.00 *
					CHECK TOTAL:		11,775.00
529737	KINDJAM	CYNTHIA ROCHELLE HUERTER					
	KJ1095	04/28/19	01	MUSIC CLASS INSTRUCTION	79-795-54-00-5462		134.40
					INVOICE TOTAL:		134.40 *
					CHECK TOTAL:		134.40
D001234	KLEEFISG	GLENN KLEEFISCH					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00

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529738	LANEMUCH	LANER, MUCHIN, DOMBROW, BECKER					
	558960	04/01/19	01	GENERAL PERSONELL LEGAL	01-640-54-00-5463		13,846.71
			02	MATTERS LEGAL COUNSELING	** COMMENT **		
			03	THROUGH 03/20/19	** COMMENT **		
				INVOICE TOTAL:			13,846.71 *
				CHECK TOTAL:			13,846.71
529739	LAWLESSM	MATTHEW J. LAWLESS					
	042019	04/20/19	01	UMPIRE	79-795-54-00-5462		35.00
				INVOICE TOTAL:			35.00 *
				CHECK TOTAL:			35.00
529740	LAWSON	LAWSON PRODUCTS					
	9306654406	04/18/19	01	WASHERS, SCREWS, RECIP	01-410-56-00-5620		155.65
			02	BLADES, NUTS, CONNECTORS	** COMMENT **		
			03	WASHERS, SCREWS, RECIP	51-510-56-00-5620		155.65
			04	BLADES, NUTS, CONNECTORS	** COMMENT **		
			05	WASHERS, SCREWS, RECIP	52-520-56-00-5620		155.64
			06	BLADES, NUTS, CONNECTORS	** COMMENT **		
				INVOICE TOTAL:			466.94 *
				CHECK TOTAL:			466.94
529741	LEJAN	NICOLE DECKER					
	041119	04/11/19	01	04/10/19 TYLER CONFERENCE MEAL	01-210-54-00-5415		10.00
			02	REIMBURSEMENT	** COMMENT **		
				INVOICE TOTAL:			10.00 *
				CHECK TOTAL:			10.00
529742	MBENDEM	MANNY MBENDE					

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529742	MBENDEM	MANNY MBENDE					
	041319	04/13/19	01	UMPIRE	79-795-54-00-5462		70.00
					INVOICE TOTAL:		70.00 *
					CHECK TOTAL:		70.00
529743	MENLAND	MENARDS - YORKVILLE					
	33334	04/25/19	01	PROPANE CYLINDER	79-790-56-00-5640		6.94
					INVOICE TOTAL:		6.94 *
	45351	03/25/19	01	POWERSTRIP	01-210-56-00-5620		9.99
					INVOICE TOTAL:		9.99 *
	46239	04/05/19	01	DRILL BIT SET	01-410-56-00-5630		19.99
					INVOICE TOTAL:		19.99 *
	46242	04/05/19	01	CREDIT FOR RETURNED DRILL BIT	01-410-56-00-5630		-19.99
					INVOICE TOTAL:		-19.99 *
	46243	04/05/19	01	DRILL BIT	01-410-56-00-5630		44.99
					INVOICE TOTAL:		44.99 *
	46516-19	04/08/19	01	REBAR RODS	79-790-56-00-5640		59.10
					INVOICE TOTAL:		59.10 *
	46703	04/11/19	01	GARBAGE BAGS	79-790-56-00-5620		13.94
					INVOICE TOTAL:		13.94 *
	46711	04/11/19	01	BATTERIES	51-510-56-00-5665		10.94
					INVOICE TOTAL:		10.94 *
	46780	04/12/19	01	FIBERGLASS, STEP LADDER	79-790-56-00-5630		358.98
					INVOICE TOTAL:		358.98 *
	46781	04/12/19	01	DUAL WHEEL PARTS BOX,	79-790-56-00-5620		876.00

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529743	MENLAND	MENARDS - YORKVILLE					
	46781	04/12/19	02	HANDLES, POLY TRAY, RAKES,	** COMMENT **		
			03	CONDUIT, PAINTERS BRUSHES,	** COMMENT **		
			04	LEVELS, PAINT, BATTERIES,	** COMMENT **		
			05	PAINT CUP, TRAY LINERS, PAINT	** COMMENT **		
			06	TOWELS, MANURE FORK	** COMMENT **		
				INVOICE TOTAL:			876.00 *
	46786	04/12/19	01	DUCK TAPE, PVC CAP, MARKING	51-510-56-00-5665		27.80
			02	WAND, PVC PIPE	** COMMENT **		
				INVOICE TOTAL:			27.80 *
	47039	04/15/19	01	CLEVIS LINKS, HOOK TOOL	79-790-56-00-5630		14.32
				INVOICE TOTAL:			14.32 *
	47110-19	04/16/19	01	ROLL TOWELS, PAINT BRUSHES,	79-790-56-00-5640		55.65
			02	U-BOLTS	** COMMENT **		
				INVOICE TOTAL:			55.65 *
	47114	04/16/19	01	STRIPING PAINT	79-790-56-00-5640		19.98
				INVOICE TOTAL:			19.98 *
	47184	04/17/19	01	GARBAGE BAGS	79-790-56-00-5640		11.90
				INVOICE TOTAL:			11.90 *
	47590	04/22/19	01	BATTERIES	51-510-56-00-5665		6.94
				INVOICE TOTAL:			6.94 *
	48252	04/29/19	01	BUNGEE CORDS, DUCT TAPE,	79-795-56-00-5606		32.53
			02	LIGHTS, TOTES	** COMMENT **		
				INVOICE TOTAL:			32.53 *
				CHECK TOTAL:			1,550.00
529744	MERLIN	DEYCO, INC.					

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529744	MERLIN	DEYCO, INC.					
	55338	02/06/19	01	TIRE PLUG	01-210-54-00-5495		22.46
					INVOICE TOTAL:		22.46 *
					CHECK TOTAL:		22.46
529745	MICHSIGN	MICHAEL'S SIGNS, INC					
	16153	04/19/19	01	INSTALLATION OF 3 REFLECTIVE	88-880-60-00-6000		1,338.75
			02	PANELS	** COMMENT **		
					INVOICE TOTAL:		1,338.75 *
					CHECK TOTAL:		1,338.75
529746	MIDWSALT	MIDWEST SALT					
	P445968	04/23/19	01	BULK ROCK SALT	51-510-56-00-5638		2,474.01
					INVOICE TOTAL:		2,474.01 *
					CHECK TOTAL:		2,474.01
529747	MIDWSCOR	MIDWEST SCOREBOARDS LLC					
	2304	04/15/19	01	USED BA-41B CONTROLLER WITH	79-795-56-00-5606		200.00
			02	CASE	** COMMENT **		
					INVOICE TOTAL:		200.00 *
					CHECK TOTAL:		200.00
529748	MIDWSOC	MIDWEST SOCCER COACHING					
	1138	04/25/19	01	RUSH SOCCER CLASS INSTRUCTION	79-795-54-00-5462		450.00
					INVOICE TOTAL:		450.00 *
					CHECK TOTAL:		450.00

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529749	MINER	MINER ELECTRONICS CORPORATION					
	32819-01	03/28/19	01	FIRST MONTHLY PAYMENT FOR	79-790-54-00-5462		4,365.19
			02	2-WAY RADIO SYSTEM INCLUDING	** COMMENT **		
			03	INSTALLATION FEES	** COMMENT **		
			04	FIRST MONTHLY PAYMENT FOR	52-520-54-00-5462		2,076.58
			05	2-WAY RADIO SYSTEM INCLUDING	** COMMENT **		
			06	INSTALLATION FEES	** COMMENT **		
			07	FIRST MONTHLY PAYMENT FOR	01-410-54-00-5462		3,330.02
			08	2-WAY RADIO SYSTEM INCLUDING	** COMMENT **		
			09	INSTALLATION FEES	** COMMENT **		
			10	FIRST MONTHLY PAYMENT FOR	51-510-54-00-5462		3,323.78
			11	2-WAY RADIO SYSTEM INCLUDING	** COMMENT **		
			12	INSTALLATION FEES	** COMMENT **		
				INVOICE TOTAL:			13,095.57 *
				CHECK TOTAL:			13,095.57
529750	MUNCOLLE	MUNICIPAL COLLECTION SERVICES					
	014186	03/31/19	01	COMMISSION ON COLLECTIONS	01-210-54-00-5467		6.72
				INVOICE TOTAL:			6.72 *
	014187	03/31/19	01	COMMISSION ON COLLECTIONS	01-210-54-00-5467		3.11
				INVOICE TOTAL:			3.11 *
				CHECK TOTAL:			9.83
529751	NARVICK	NARVICK BROS. LUMBER CO, INC					
	60988	04/02/19	01	3000 AE	79-790-56-00-5640		567.00
				INVOICE TOTAL:			567.00 *
	61003	04/03/19	01	3000 AE	79-790-56-00-5640		567.00
				INVOICE TOTAL:			567.00 *
	61037	04/05/19	01	3000 AE	79-790-56-00-5640		3,485.00
				INVOICE TOTAL:			3,485.00 *

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529751	NARVICK	NARVICK BROS. LUMBER CO, INC					
	61059	04/08/19	01	4000 PSI AE	51-510-56-00-5640		366.00
					INVOICE TOTAL:		366.00 *
					CHECK TOTAL:		4,985.00
D001235	NELCONT	TYLER NELSON					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	79-795-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
529752	NEMRT	NORTH EAST MULTI-REGIONAL					
	251974	03/26/19	01	3/21-3/22 VORTEX	01-210-54-00-5412		325.00
			02	TRAINING-HEYE	** COMMENT **		
					INVOICE TOTAL:		325.00 *
	252253	03/29/19	01	03/18/19 CRIMINAL RELATED	01-210-54-00-5412		200.00
			02	INTERVIEWING TRAINING FOR	** COMMENT **		
			03	KOLOWSKI & KETCHMARK	** COMMENT **		
					INVOICE TOTAL:		200.00 *
	252388	03/29/19	01	03/26-03/27 BREATH ANALYSIS	01-210-54-00-5412		125.00
			02	FOR ALCOHOL TRAINING FOR HEYE	** COMMENT **		
					INVOICE TOTAL:		125.00 *
	252413	04/02/19	01	03/20 BREACHPOINT TRAINING	01-210-54-00-5412		50.00
			02	FOR HEYE	** COMMENT **		
					INVOICE TOTAL:		50.00 *
					CHECK TOTAL:		700.00
529753	NICOR	NICOR GAS					

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529753	NICOR	NICOR GAS					
	00-41-22-8748 4-0319	04/08/19	01	03/04-04/01 1107 PRAIRIE LN	01-110-54-00-5480		128.99
					INVOICE TOTAL:		128.99 *
	00-41-22-8748 4-0419	05/02/19	01	04/01-05/02 1107 PRAIRIE	01-110-54-00-5480		40.24
					INVOICE TOTAL:		40.24 *
	15-64-61-3532 5-0419	05/02/19	01	04/01-05/02 1991 CANNONBALL	01-110-54-00-5480		33.15
					INVOICE TOTAL:		33.15 *
	16-00-27-3553 4-0319	04/11/19	01	03/13-04/11 1301 CAROLYN CT	01-110-54-00-5480		30.13
					INVOICE TOTAL:		30.13 *
	20-52-56-2042 1-0419	04/30/19	01	03/29-04/28 420 FAIRHAVEN	01-110-54-00-5480		105.18
					INVOICE TOTAL:		105.18 *
	31-61-67-2493 1-0319	04/10/19	01	03/12-04/09 276 WINDHAM CR	01-110-54-00-5480		30.09
					INVOICE TOTAL:		30.09 *
	40-52-64-8356 1-0319	04/04/19	01	03/06-04/04 102 E VAN EMMON	01-110-54-00-5480		328.87
					INVOICE TOTAL:		328.87 *
	45-12-25-4081 3-0319	04/11/19	01	03/12-04/09 201 W HYDRAULIC	01-110-54-00-5480		129.02
					INVOICE TOTAL:		129.02 *
	46-69-47-6727 1-0319	04/08/19	01	03/08-04/07 1975 N BRIDGE	01-110-54-00-5480		98.56
					INVOICE TOTAL:		98.56 *
	61-60-41-1000 9-0319	04/04/19	01	03/05-04/02 610 TOWER LN	01-110-54-00-5480		565.73
					INVOICE TOTAL:		565.73 *
	62-37-86-4779 6-0319	04/08/19	01	03/08-04/07 185 WOLF ST	01-110-54-00-5480		210.63
					INVOICE TOTAL:		210.63 *
	66-70-44-6942 9-0319	04/08/19	01	03/08-04/07 1908 RAINTREE RD	01-110-54-00-5480		129.44
					INVOICE TOTAL:		129.44 *

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529753	NICOR	NICOR GAS					
	80-56-05-1157 0-0319	04/08/19	01	03/08-04/07 2512 ROSEMONT RD	01-110-54-00-5480		35.88
					INVOICE TOTAL:		35.88 *
	8380-00-1000 7-0319	04/04/19	01	03/05-04/*02 610 TOWER LN	01-110-54-00-5480		173.29
					INVOICE TOTAL:		173.29 *
					CHECK TOTAL:		2,039.20
529754	OLEARYC	CYNTHIA O'LEARY					
	REC SPRING NON PATCH	04/17/19	01	ASSIGNING FEE PER OFFICIAL FOR	79-795-54-00-5462		210.00
			02	REC BASEBALL/SOFTBALL SPRING	** COMMENT **		
					INVOICE TOTAL:		210.00 *
	REC SPRING SOCCER 20	04/25/19	01	04/06-05/18 ASSIGNING FEE PER	79-795-54-00-5462		180.00
			02	OFFICIAL FOR SPRING SOCCER	** COMMENT **		
			03	LEAGUE	** COMMENT **		
					INVOICE TOTAL:		180.00 *
					CHECK TOTAL:		390.00
529755	PARADISE	PARADISE CAR WASH					
	223868	04/01/19	01	MAR 2019 CAR WASHES	79-795-54-00-5495		21.00
			02	MAR 2019 CAR WASHES	79-790-54-00-5495		20.00
					INVOICE TOTAL:		41.00 *
	223882	04/01/19	01	MAR 2019 CAR WASHES	01-210-54-00-5495		40.00
					INVOICE TOTAL:		40.00 *
					CHECK TOTAL:		81.00
529756	PEPSI	PEPSI-COLA GENERAL BOTTLE					
	26616362	04/22/19	01	BEECHER CONCESSION DRINKS	79-795-56-00-5607		546.00
					INVOICE TOTAL:		546.00 *

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529756	PEPSI	PEPSI-COLA GENERAL BOTTLE					
	31959612	04/26/19	01	BRIDGE CONCESSION DRINKS	79-795-56-00-5607		342.44
					INVOICE TOTAL:		342.44 *
					CHECK TOTAL:		888.44
529757	PESOLA	PESOLA MEDIA GROUP					
	1266092	04/25/19	01	SOCCER SIGNAGE	79-795-56-00-5606		50.00
					INVOICE TOTAL:		50.00 *
					CHECK TOTAL:		50.00
529758	PFPETT	P.F. PETTIBONE & CO.					
	176216	04/10/19	01	1,000 SHOULDER PATCHES	01-210-56-00-5600		1,521.60
					INVOICE TOTAL:		1,521.60 *
	176244	04/15/19	01	CITY ID - PARKER	01-110-54-00-5430		12.90
					INVOICE TOTAL:		12.90 *
	176251	04/15/19	01	200 SHOULDER PATCHES	01-210-56-00-5600		432.85
					INVOICE TOTAL:		432.85 *
					CHECK TOTAL:		1,967.35
529759	PICKERIL	LISA PICKERING					
	050619	05/06/19	01	AURORA UNIVERSITY TUITION	01-110-54-00-5410		1,608.00
			02	REIMBURSEMENT FOR 4 CREDIT	** COMMENT **		
			03	HOURS	** COMMENT **		
					INVOICE TOTAL:		1,608.00 *
					CHECK TOTAL:		1,608.00
529760	PLANFILL	PLANO CLEAN FILL					

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529760	PLANFILL	PLANO CLEAN FILL					
	664	04/27/19	01	APR 2019 DUMPING OF CCDD	51-510-54-00-5462		1,395.00
					INVOICE TOTAL:		1,395.00 *
					CHECK TOTAL:		1,395.00
529761	PRINTSRC	LAMBERT PRINT SOURCE, LLC					
	1210	04/12/19	01	BRIDGE FIELD SIGNS	79-795-56-00-5606		180.00
					INVOICE TOTAL:		180.00 *
	1231	04/22/19	01	STICKER FOR BRIDGE PARK BANNER	79-795-56-00-5606		40.00
					INVOICE TOTAL:		40.00 *
					CHECK TOTAL:		220.00
529762	R0000061	KIM XOAKOS					
	042319	04/23/19	01	REIMBURSEMENT FOR DAMAGED	23-230-60-00-6041		800.00
			02	LANDSCAPING MATERIALS	** COMMENT **		
					INVOICE TOTAL:		800.00 *
					CHECK TOTAL:		800.00
529763	R0002064	DAVE PANICO					
	171170	04/29/19	01	4/26-4/28 TOURNAMENT REFUND	79-000-44-00-4402		200.00
					INVOICE TOTAL:		200.00 *
					CHECK TOTAL:		200.00
529764	R0002221	GRACE COFFEE TLC					
	041619-LIQ	04/16/19	01	REFUND OVERPAYEMENT OF INITIAL	01-000-42-00-4200		7.04
			02	LIQUOR LICENSE FEE	** COMMENT **		
					INVOICE TOTAL:		7.04 *
					CHECK TOTAL:		7.04

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529765	R0002230	LISA JOHNSON					
	040519-RENTAL	04/05/19	01	4/5 RENTAL CANCELLATION REFUND	01-000-48-00-4820		85.00
					INVOICE TOTAL:		85.00 *
					CHECK TOTAL:		85.00
529766	R0002236	JIM WARD					
	171159	04/29/19	01	4/26-4/28 TOURNAMENT REFUND	79-000-44-00-4402		50.00
					INVOICE TOTAL:		50.00 *
					CHECK TOTAL:		50.00
529767	R0002237	LEE BARKER					
	171160	04/29/19	01	4/26-4/28 TOURNAMENT REFUND	79-000-44-00-4402		350.00
					INVOICE TOTAL:		350.00 *
					CHECK TOTAL:		350.00
529768	R0002238	JENNIFER CARTER					
	171161	04/29/19	01	4/26-4/28 TOURNAMENT REFUND	79-000-44-00-4402		100.00
					INVOICE TOTAL:		100.00 *
					CHECK TOTAL:		100.00
529769	R0002239	SEAN MACKIN					
	171162	04/29/19	01	4/26-4/28 TOURNAMENT REFUND	79-000-44-00-4402		175.00
					INVOICE TOTAL:		175.00 *
					CHECK TOTAL:		175.00
529770	R0002240	KATHLEEN SANTORIA					

01-110 ADMINISTRATION
01-120 FINANCE
01-210 POLICE
01-220 COMMUNITY DEVELOPMENT
01-410 STREET OPERATIONS
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11-111 FOX HILL SSA
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15-155 MOTOR FUEL TAX(MFT)
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25-215 PUBLIC WORKS CAPITAL

25-225 PARKS & REC CAPITAL
42-420 DEBT SERVICE
51-510 WATER OPERATIONS
52-520 SEWER OPERATIONS
72-720 LAND CASH
79-790 PARKS DEPARTMENT
79-795 RECREATION DEPARTMENT

82-820 LIBRARY OPERATIONS
84-840 LIBRARY CAPITAL
87-870 COUNTRYSIDE TIF
88-880 DOWNTOWN TIF
89-890 DOWNTOWN TIF II
90-XXX DEVELOPER ESCROW
95-XXX ESCROW DEPOSIT

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529770	R0002240	KATHLEEN SANTORIA					
	171163	04/29/19	01	4/26-4/28 TOURNAMENT REFUND	79-000-44-00-4402		175.00
					INVOICE TOTAL:		175.00 *
					CHECK TOTAL:		175.00
529771	R0002241	TROY SCHAUMLEFFEL					
	171167	04/29/19	01	4/26-4/28 TOURNAMENT REFUND	79-000-44-00-4402		175.00
					INVOICE TOTAL:		175.00 *
					CHECK TOTAL:		175.00
529772	R0002242	JIM CACCIA					
	171164	04/29/19	01	4/26-4/28 TOURNAMENT REFUND	79-000-44-00-4402		350.00
					INVOICE TOTAL:		350.00 *
					CHECK TOTAL:		350.00
529773	R0002243	CHRIS BORDEN					
	171168	04/29/19	01	4/26-4/28 TOURNAMENT REFUND	79-000-44-00-4402		350.00
					INVOICE TOTAL:		350.00 *
					CHECK TOTAL:		350.00
529774	R0002244	CHRISTOPHER PAIGE					
	171169	04/29/19	01	4/26-4/28 TOURNAMENT REFUND	79-000-44-00-4402		350.00
					INVOICE TOTAL:		350.00 *
					CHECK TOTAL:		350.00
529775	R0002245	JORGE ACOSTA					

01-110 ADMINISTRATION
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529775	R0002245	JORGE ACOSTA					
	171172	04/29/19	01	4/26-4/28 TOURNAMENT REFUND	79-000-44-00-4402		200.00
					INVOICE TOTAL:		200.00 *
					CHECK TOTAL:		200.00
529776	R0002246	FRANK KAUTZKY					
	171173	04/29/19	01	4/26-4/28 TOURNAMENT REFUND	79-000-44-00-4402		200.00
					INVOICE TOTAL:		200.00 *
					CHECK TOTAL:		200.00
529777	R0002247	VINCE D'ANGUANNO					
	171174	04/29/19	01	4/26-4/28 TOURNAMENT REFUND	79-000-44-00-4402		400.00
					INVOICE TOTAL:		400.00 *
					CHECK TOTAL:		400.00
529778	R0002248	BRAD BUZA					
	171175	04/29/19	01	4/26-4/28 TOURNAMENT REFUND	79-000-44-00-4402		400.00
					INVOICE TOTAL:		400.00 *
					CHECK TOTAL:		400.00
529779	RAGERD	DALE W. RAGER					
	042519	04/25/19	01	UMPIRE	79-795-54-00-5462		80.00
					INVOICE TOTAL:		80.00 *
					CHECK TOTAL:		80.00
D001236	RATOSP	PETE RATOS					

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D001236	RATOSP	PETE RATOS					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	01-220-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D001237	REDMONST	STEVE REDMON					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	79-795-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
529780	RESPONSE	RESPONSIVE NETWORKS SERVICES					
	20741	04/01/19	01	JAN-MAR 2019 SYMANTEC.CLOUD	01-210-56-00-5635		105.00
			02	ENPOINT PROTECTION LICENSE	** COMMENT **		
			03	RENEWALS	** COMMENT **		
					INVOICE TOTAL:		105.00 *
					CHECK TOTAL:		105.00
529781	RIETZR	ROBERT L. RIETZ JR.					
	042519	04/25/19	01	UMPIRE	79-795-54-00-5462		80.00
					INVOICE TOTAL:		80.00 *
					CHECK TOTAL:		80.00
D001238	ROSBOROS	SHAY REMUS					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	79-795-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00

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D001239	SCODROP	PETER SCODRO					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	51-510-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
529782	SEBIS	SEBIS DIRECT					
	27527	04/10/19	01	FEB 2019 UTILITY BILLING	51-510-54-00-5430		388.83
			02	FEB 2019 UTILITY BILLING	52-520-54-00-5430		181.37
			03	FEB 2019 UTILITY BILLING	79-795-54-00-5426		254.20
			04	FEB 2019 UTILITY BILLING	01-120-54-00-5430		290.18
					INVOICE TOTAL:		1,114.58 *
					CHECK TOTAL:		1,114.58
529783	SECOND	SECOND CHANCE CARDIAC SOLUTION					
	19-004-168	04/15/19	01	BABYSITTING SAFETY CLASS FOR	79-795-54-00-5462		630.00
			02	20 PARTICIPANTS	** COMMENT **		
					INVOICE TOTAL:		630.00 *
					CHECK TOTAL:		630.00
D001240	SENGM	SENG, MATT					
	032919	04/03/19	01	03/25-03/29 OSHA 30 TRAINING	52-520-54-00-5415		239.54
			02	MILEAGE REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		239.54 *
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	01-410-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		284.54

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529784	SHI	SHI INTERNATIONAL CORP					
	B09797618	04/09/19	01	MICROSOFT WINDOWS SOFTWARE	01-640-54-00-5450		186.00
					INVOICE TOTAL:		186.00 *
	B09798393	04/09/19	01	TRIPP LITE SINGLE PHASE	01-640-54-00-5450		978.00
			02	SWITCHED PDU WITH LX PLATFORM	** COMMENT **		
					INVOICE TOTAL:		978.00 *
	B09818533	04/15/19	01	UPS NETWORK MGMT CARD 2 WITH	01-640-54-00-5450		1,029.98
			02	ENVIRON MONITOR OUT OF BAND	** COMMENT **		
					INVOICE TOTAL:		1,029.98 *
	B09821088	04/15/19	01	ADOBE VOLUME LICENSE	01-640-54-00-5450		162.00
					INVOICE TOTAL:		162.00 *
					CHECK TOTAL:		2,355.98
D001241	SLEEZERJ	JOHN SLEEZER					
	043019-REIMB	04/30/19	01	PANTS, SHORTS	01-410-56-00-5600		208.51
					INVOICE TOTAL:		208.51 *
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	01-410-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		253.51
D001242	SLEEZERS	SCOTT SLEEZER					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00

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D001243	SMITHD	DOUG SMITH					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	79-790-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D001244	SOELKET	TOM SOELKE					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	52-520-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
529785	SPRTFLD	SPORTSFIELDS, INC.					
	2019197	04/11/19	01	BULK DURAPLAY	79-790-56-00-5640		6,255.00
					INVOICE TOTAL:		6,255.00 *
	2019250	04/19/19	01	BASEBALL INFIELD MIX	79-790-56-00-5640		8,810.00
					INVOICE TOTAL:		8,810.00 *
					CHECK TOTAL:		15,065.00
D001245	STEFFANG	GEORGE A STEFFENS					
	043019-REIMB	04/30/19	01	SHIRT	52-520-56-00-5600		9.78
					INVOICE TOTAL:		9.78 *
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	52-520-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		54.78

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529786	STEVENS	STEVEN'S SILKSCREENING					
	15518	04/03/19	01	SHIRT EMBROIDERY	01-210-56-00-5600		40.00
					INVOICE TOTAL:		40.00 *
					CHECK TOTAL:		40.00
529787	STREICH	STREICHERS					
	I1359164	03/26/19	01	3 BADGES	01-210-56-00-5600		400.00
					INVOICE TOTAL:		400.00 *
					CHECK TOTAL:		400.00
529788	TAEUBERP	PAUL TAEUBER					
	040619	04/06/19	01	UMPIRE	79-795-54-00-5462		70.00
					INVOICE TOTAL:		70.00 *
					CHECK TOTAL:		70.00
529789	TRAFFIC	TRAFFIC CONTROL CORPORATION					
	110423	12/19/18	01	SQAURE BLACK BASE	01-410-54-00-5435		562.00
					INVOICE TOTAL:		562.00 *
	110424	12/19/18	01	LED BALLS	01-410-54-00-5435		97.00
					INVOICE TOTAL:		97.00 *
					CHECK TOTAL:		659.00
529790	TRICO	TRICO MECHANICAL , INC					
	4828	04/16/19	01	610 TOWER HEAT REPAIR	23-216-54-00-5446		250.00
					INVOICE TOTAL:		250.00 *
					CHECK TOTAL:		250.00

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529791	TROTSKY	TROTSKY INVESTIGATIVE					
	YORKVILLE PD 19-02	04/23/19	01	APPLICANT POLYGRAPH FOR ENK,	01-210-54-00-5411		420.00
			02	SWANSON & MERTES	** COMMENT **		
					INVOICE TOTAL:		420.00 *
					CHECK TOTAL:		420.00
529792	UPS5361	DDEDC #3, INC					
	041819	04/18/19	01	1 PKG TO KFO	01-110-54-00-5452		40.57
					INVOICE TOTAL:		40.57 *
					CHECK TOTAL:		40.57
529793	VITOSH	CHRISTINE M. VITOSH					
	041019	04/29/19	01	SHORT TERM RENTAL USE AND	01-220-54-00-5462		201.12
			02	DOWNTOWN OVERLAY PUBLIC	** COMMENT **		
			03	HEARINGS	** COMMENT **		
					INVOICE TOTAL:		201.12 *
	CMV 1944	04/17/19	05	PROPOSED FY20 BUDGET PUBLIC	01-110-54-00-5426		56.85
			06	HEARING	** COMMENT **		
					INVOICE TOTAL:		56.85 *
					CHECK TOTAL:		257.97
529794	WALDENS	WALDEN'S LOCK SERVICE					
	20255	03/21/19	01	LOCK CHANGE & NEW KEYS	01-210-54-00-5495		280.50
					INVOICE TOTAL:		280.50 *
					CHECK TOTAL:		280.50
529795	WATERSER	WATER SERVICES CO.					

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529795	WATERSER	WATER SERVICES CO.					
	29265	03/30/19	01	LEAK DETECTION AT 1202 SUNSET	51-510-54-00-5462		415.00
					INVOICE TOTAL:		415.00 *
					CHECK TOTAL:		415.00
D001246	WEBERR	ROBERT WEBER					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	01-410-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
529796	WELDSTAR	WELDSTAR					
	01747579	04/24/19	01	CYLINDER RENTAL	01-410-54-00-5485		16.74
					INVOICE TOTAL:		16.74 *
					CHECK TOTAL:		16.74
529797	WERDERW	WALLY WERDERICH					
	040819-MAR	04/08/19	01	MAR 2019 ADMIN HEARINGS	01-210-54-00-5467		300.00
					INVOICE TOTAL:		300.00 *
					CHECK TOTAL:		300.00
529798	WEX	WEX BANK					
	59041424	04/30/19	01	APR 2019 GASOLINE	01-220-56-00-5695		314.70
			02	APR 2019 GASOLINE	01-210-56-00-5695		4,616.64
			03	APR 2019 GASOLINE	51-510-56-00-5695		421.55
			04	APR 2019 GASOLINE	52-520-56-00-5695		421.54
			05	APR 2019 GASOLINE	01-410-56-00-5695		421.55
					INVOICE TOTAL:		6,195.98 *
					CHECK TOTAL:		6,195.98

01-110 ADMINISTRATION
01-120 FINANCE
01-210 POLICE
01-220 COMMUNITY DEVELOPMENT
01-410 STREET OPERATIONS
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25-225 PARKS & REC CAPITAL
42-420 DEBT SERVICE
51-510 WATER OPERATIONS
52-520 SEWER OPERATIONS
72-720 LAND CASH
79-790 PARKS DEPARTMENT
79-795 RECREATION DEPARTMENT

82-820 LIBRARY OPERATIONS
84-840 LIBRARY CAPITAL
87-870 COUNTRYSIDE TIF
88-880 DOWNTOWN TIF
89-890 DOWNTOWN TIF II
90-XXX DEVELOPER ESCROW
95-XXX ESCROW DEPOSIT

DATE: 05/07/19
TIME: 08:46:44
ID: AP211001.WOW

UNITED CITY OF YORKVILLE
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FY 19

INVOICES DUE ON/BEFORE 05/14/2019

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
D001247	WILLRETE	ERIN WILLRETT					
	050119	05/01/19	01	APR 2019 MOBILE EMAIL	01-110-54-00-5440		45.00
			02	REIMBURSEMENT	** COMMENT **		
					INVOICE TOTAL:		45.00 *
					DIRECT DEPOSIT TOTAL:		45.00
D001248	YBSD	YORKVILLE BRISTOL					
	2019.0009	04/15/19	01	APR 2019 LANDFILL EXPENSE	51-510-54-00-5445		9,906.20
					INVOICE TOTAL:		9,906.20 *
					DIRECT DEPOSIT TOTAL:		9,906.20
529799	YORKPDPC	YORKVILLE POLICE DEPT.					
	043019	04/30/19	01	LUNCH FOR DETAINEE	01-210-56-00-5620		4.21
					INVOICE TOTAL:		4.21 *
					CHECK TOTAL:		4.21
529800	YORKPRPC	YORKVILLE PARK & REC					
	043019	04/30/19	01	POPCORN	79-795-56-00-5606		13.57
					INVOICE TOTAL:		13.57 *
					CHECK TOTAL:		13.57
529801	YOUNGM	MARLYS J. YOUNG					
	040219	04/16/19	01	04/02/19 EDC MEETING MINUTES	01-110-54-00-5462		66.25
					INVOICE TOTAL:		66.25 *
	041019	04/18/19	01	04/10/19 P&Z MEETING MINUTES	01-110-54-00-5462		2.46
			04	8225 GALENA RD 1.5 MILE REVIEW	01-220-54-00-5462		2.46

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INVOICES DUE ON/BEFORE 05/14/2019

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
529801	YOUNGM	MARLYS J. YOUNG					
	041019	04/18/19	05	DOWNTOWN OVERLAY DISTRICT	01-220-54-00-5462		29.55
			06	TEXT AMENDMENT FOR SHORT TERM	01-220-54-00-5462		4.93
			07	RENTAL USES	** COMMENT **		
					INVOICE TOTAL:		39.40 *
	041619	04/16/19	01	PW MEETING MINUTES	01-110-54-00-5462		58.75
					INVOICE TOTAL:		58.75 *
					CHECK TOTAL:		164.40

TOTAL CHECKS PAID: 229,507.34
TOTAL DIRECT DEPOSITS PAID: 20,959.03
TOTAL AMOUNT PAID: 250,466.37

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PRG ID: AP215000.WOW

UNITED CITY OF YORKVILLE
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CHECK #	VENDOR #	INVOICE NUMBER	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	ITEM AMT
529803	AWWA	AMERICAN WATER WORKS ASSOC					
	7001639295		04/17/19	01	ANNUAL DUES RENEWAL	51-510-54-00-5460	340.00
					INVOICE TOTAL:		340.00 *
					CHECK TOTAL:		340.00
529804	BCBS	BLUE CROSS BLUE SHIELD					
	041819		04/18/19	01	MAY 2019 HEALTH INS	01-110-52-00-5216	9,168.77
				02	MAY 2019 HEALTH INS	01-120-52-00-5216	4,173.48
				03	MAY 2019 HEALTH INS	01-210-52-00-5216	54,441.75
				04	MAY 2019 HEALTH INS	01-220-52-00-5216	6,234.31
				05	MAY 2019 HEALTH INS	01-410-52-00-5216	7,165.25
				06	MAY 2019 HEALTH INS	01-640-52-00-5240	10,206.86
				07	MAY 2019 HEALTH INS	79-790-52-00-5216	13,156.79
				08	MAY 2019 HEALTH INS	79-795-52-00-5216	7,338.04
				09	MAY 2019 HEALTH INS	51-510-52-00-5216	7,634.51
				10	MAY 2019 HEALTH INS	52-520-52-00-5216	2,550.13
				11	MAY 2019 HEALTH INS	82-820-52-00-5216	5,537.74
				12	MAY 2019 DENTAL INS	01-110-52-00-5223	654.40
				13	MAY 2019 DENTAL INS	01-110-52-00-5223	144.23
				14	MAY 2019 DENTAL INS	01-120-52-00-5223	432.69
				15	MAY 2019 DENTAL INS	01-210-52-00-5223	3,798.12
				16	MAY 2019 DENTAL INS	01-220-52-00-5223	550.26
				17	MAY 2019 DENTAL INS	01-640-52-00-5241	948.67
				18	MAY 2019 DENTAL INS	79-790-52-00-5223	1,012.30
				19	MAY 2019 DENTAL INS	79-795-52-00-5223	544.89
				20	MAY 2019 DENTAL INS	51-510-52-00-5223	563.18
				21	MAY 2019 DENTAL INS	52-520-52-00-5223	319.74
				22	MAY 2019 DENTAL INS	82-820-52-00-5223	582.29
				23	MAY 2019 DENTAL INS	01-410-52-00-5223	463.97
					INVOICE TOTAL:		137,622.37 *
					CHECK TOTAL:		137,622.37
529805	CINTASFP	CINTAS CORPORATION FIRE 636525					

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529805	CINTASFP	CINTAS CORPORATION FIRE		636525			
	0F94035683-B		04/22/19	01	MONITORING CINTASNET @ 3299	51-510-54-00-5445	148.66
				02	LEHMAN CROSSING - MAY & JUN	** COMMENT **	
				03	2019	** COMMENT **	
					INVOICE TOTAL:		148.66 *
					CHECK TOTAL:		148.66
529806	DEARNATI	DEARBORN NATIONAL LIFE					
	040919		04/09/19	01	MAY 2019 VISION INS	01-110-52-00-5224	94.15
				02	MAY 2019 VISION INS	01-120-52-00-5224	58.95
				03	MAY 2019 VISION INS	01-210-52-00-5224	531.05
				04	MAY 2019 VISION INS	01-220-52-00-5224	84.05
				05	MAY 2019 VISION INS	01-410-52-00-5224	63.41
				06	MAY 2019 VISION INS	01-640-52-00-5242	153.91
				07	MAY 2019 VISION INS	79-790-52-00-5224	127.84
				08	MAY 2019 VISION INS	79-795-52-00-5224	78.99
				09	MAY 2019 VISION INS	51-510-52-00-5224	82.51
				10	MAY 2019 VISION INS	52-520-52-00-5224	43.75
				11	MAY 2019 VISION INS	82-820-52-00-5224	84.33
					INVOICE TOTAL:		1,402.94 *
					CHECK TOTAL:		1,402.94
529807	EEI	ENGINEERING ENTERPRISES, INC.					
	66457		04/30/19	01	CEDARHURST LIVING SITE	90-101-00-00-0111	410.50
				02	IMPROVEMENTS	** COMMENT **	
					INVOICE TOTAL:		410.50 *
	66458		04/30/19	01	HOLIDAY INN EXPRESS & SUITES	90-108-00-00-0111	2,346.00
					INVOICE TOTAL:		2,346.00 *
	66478		04/30/19	01	GC HOUSING DEVELOPMENT	90-089-89-00-0111	1,229.25
					INVOICE TOTAL:		1,229.25 *

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529807	EEI	ENGINEERING ENTERPRISES, INC.					
	66483		04/30/19	01	RESTORE CHURCH	90-121-00-00-0111	888.50
					INVOICE TOTAL:		888.50 *
	66485		04/30/19	01	PART OF LOT 4 KENDALL CROSSING	90-129-00-00-0111	425.50
					INVOICE TOTAL:		425.50 *
	66486		04/30/19	01	LOT 6B KENDALL CROOSING	90-128-00-00-0111	425.50
					INVOICE TOTAL:		425.50 *
	66493		04/30/19	01	HEARTLAND MEADOWS	90-064-64-00-0111	537.25
					INVOICE TOTAL:		537.25 *
	66494		04/30/19	01	METRONET	90-132-00-00-0111	1,316.75
					INVOICE TOTAL:		1,316.75 *
	66497		04/30/19	01	GAS N WASH	90-141-00-00-0111	2,383.50
					INVOICE TOTAL:		2,383.50 *
	66498		04/30/19	01	HIVELY LANDSCAPING	90-137-00-00-0111	1,845.75
					INVOICE TOTAL:		1,845.75 *
	66499		04/30/19	01	RAGING WAVES PARKING LOT	90-117-00-00-0111	2,477.75
				02	EXPANSION	** COMMENT **	
					INVOICE TOTAL:		2,477.75 *
					CHECK TOTAL:		14,286.25
529808	FIRSTNON	FIRST NONPROFIT UNEMPLOYEMENT					
	122719N-040119		04/01/19	01	2019 2ND QTR UNEMPLOY INS	01-640-52-00-5230	2,206.86
				02	2019 2ND QTR UNEMPLOY INS-PR	01-640-52-00-5230	559.25
				03	2019 2ND QTR UNEMPLOY INS	82-820-52-00-5230	172.08
				04	2019 2ND QTR UNEMPLOY INS	51-510-52-00-5230	272.31
				05	2019 2ND QTR UNEMPLOY INS	52-520-52-00-5230	143.25
					INVOICE TOTAL:		3,353.75 *
					CHECK TOTAL:		3,353.75

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529809	FVTC	FOX VALLEY TECHNICAL COLLEGE					
	700217566-091219	04/15/19	01	09/13/19 ADMIN PROFERSSIONAL	01-210-54-00-5412	249.00	
			02	TRAINING - DECKER	** COMMENT **		
					INVOICE TOTAL:	249.00 *	
					CHECK TOTAL:		249.00
529810	GLATFELT	GLATFELTER UNDERWRITING SRVS.					
	102864116-5	12/05/18	01	LIABILITY INS INSTALL #5	01-640-52-00-5231	9,902.29	
			02	LIABILITY INS INSTALL #5-PR	01-640-52-00-5231	1,941.01	
			03	LIABILITY INS INSTALL #5	51-510-52-00-5231	1,096.51	
			04	LIABILITY INS INSTALL #5	52-520-52-00-5231	531.44	
			05	LIABILITY INS INSTALL #5	82-820-52-00-5231	918.75	
					INVOICE TOTAL:	14,390.00 *	
					CHECK TOTAL:		14,390.00
529811	ILTREASU	STATE OF ILLINOIS TREASURER					
	80	05/01/19	01	IL RT47 EXPANSION PYMT #80	15-155-60-00-6079	6,148.89	
			02	IL RT47 EXPANSION PYMT #80	51-510-60-00-6079	3,780.98	
			03	IL RT47 EXPANSION PYMT #80	52-520-60-00-6079	1,873.48	
			04	IL RT47 EXPANSION PYMT #80	88-880-60-00-6079	624.01	
					INVOICE TOTAL:	12,427.36 *	
					CHECK TOTAL:		12,427.36
529812	IPRF	ILLINOIS PUBLIC RISK FUND					
	52831	04/15/19	01	JUN 2019 WORKER COMP INS	01-640-52-00-5231	9,816.96	
			02	JUN 2019 WORKER COMP INS-PR	01-640-52-00-5231	1,924.28	
			03	JUN 2019 WORKER COMP INS-PR	51-510-52-00-5231	1,087.06	
			04	JUN 2019 WORKER COMP INS-PR	52-520-52-00-5231	526.86	
			05	JUN 2019 WORKER COMP INS-PR	82-820-52-00-5231	910.84	
					INVOICE TOTAL:	14,266.00 *	
					CHECK TOTAL:		14,266.00

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529813	ITRON	ITRON					
	517001		04/11/19	01	MAY 2019 HOSTING SERVICES	51-510-54-00-5445	600.37
					INVOICE TOTAL:		600.37 *
					CHECK TOTAL:		600.37
529814	KENCOM	KENCOM PUBLIC SAFETY DISPATCH					
	234		04/01/19	01	07/01/19-06/30/20 TYLER/NEW	01-210-54-00-5469	11,153.34
				02	WORLD ANNUAL MAINTENANCE	** COMMENT **	
				03	RENEWAL	** COMMENT **	
					INVOICE TOTAL:		11,153.34 *
					CHECK TOTAL:		11,153.34
529815	LEXIPOL	LEXIPOL LLC					
	28427		04/04/19	01	LAW ENFORCEMENT MANUAL UPDATE	01-210-54-00-5462	11,967.00
				02	AND SUBSCRIPTION RENEWAL 5/1/19	** COMMENT **	
				03	TO 4/30/20	** COMMENT **	
					INVOICE TOTAL:		11,967.00 *
					CHECK TOTAL:		11,967.00
529816	LINCOLNF	LINCOLN FINANCIAL GROUP					
	3871367929		04/18/19	01	MAY 2019 LIFE INS	01-110-52-00-5222	116.98
				02	MAY 2019 LIFE INS-EO	01-110-52-00-5222	6.83
				03	MAY 2019 LIFE INS	01-120-52-00-5222	20.49
				04	MAY 2019 LIFE INS	01-210-52-00-5222	535.34
				05	MAY 2019 LIFE INS	01-220-52-00-5222	35.77
				06	MAY 2019 LIFE INS	01-410-52-00-5222	140.47
				07	MAY 2019 LIFE INS	79-790-52-00-5222	53.77
				08	MAY 2019 LIFE INS	79-795-52-00-5222	62.90
				09	MAY 2019 LIFE INS	51-510-52-00-5222	57.35

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529816	LINCOLNF	LINCOLN FINANCIAL GROUP						
	3871367929		04/18/19	10	MAY 2019 LIFE INS	52-520-52-00-5222	83.13	
				11	MAY 2019 LIFE INS	82-820-52-00-5222	30.83	
					INVOICE TOTAL:		1,143.86 *	
					CHECK TOTAL:			1,143.86
529817	NEMRT	NORTH EAST MULTI-REGIONAL						
	251925		03/22/19	01	7/1/19-6/30/20 MEMBERSHIP FEES	01-210-54-00-5460	3,040.00	
					INVOICE TOTAL:		3,040.00 *	
					CHECK TOTAL:			3,040.00
529818	R0000594	BRIAN BETZWISER						
	050119-125		05/01/19	01	185 WOLF ST PYMT #126	25-215-92-00-8000	3,604.49	
				02	185 WOLF ST PYMT #126	25-215-92-00-8050	2,689.13	
				03	185 WOLF ST PYMT #126	25-225-92-00-8000	112.93	
				04	185 WOLF ST PYMT #126	25-225-92-00-8050	84.25	
					INVOICE TOTAL:		6,490.80 *	
					CHECK TOTAL:			6,490.80
529819	R0001975	RYAN HOMES						
	2846 KETCHUM		04/25/19	01	SECURITY GUARANTEE REFUND	01-000-24-00-2415	5,000.00	
					INVOICE TOTAL:		5,000.00 *	
	3148 BOOMBAH		04/26/19	01	SECURITY GUARANTEE REFUND	01-000-24-00-2415	5,000.00	
					INVOICE TOTAL:		5,000.00 *	
	3238 BOOMBAH		04/26/19	01	SECURITY GUARANTEE REFUND	01-000-24-00-2415	5,000.00	
					INVOICE TOTAL:		5,000.00 *	
					CHECK TOTAL:			15,000.00

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01-210 POLICE
01-220 COMMUNITY DEVELOPMENT
01-410 STREET OPERATIONS
01-540 HEALTH & SANITATION
01-640 ADMINISTRATIVE SERVICES

11-111 FOX HILL SSA
12-112 SUNFLOWER ESTATES
15-155 MOTOR FUEL TAX(MFT)
23-216 MUNICIPAL BUILDING
23-230 CITY-WIDE CAPITAL
25-205 POLICE CAPITAL
25-215 PUBLIC WORKS CAPITAL

25-225 PARKS & REC CAPITAL
42-420 DEBT SERVICE
51-510 WATER OPERATIONS
52-520 SEWER OPERATIONS
72-720 LAND CASH
79-790 PARKS DEPARTMENT
79-795 RECREATION DEPARTMENT

82-820 LIBRARY OPERATIONS
84-840 LIBRARY CAPITAL
87-870 COUNTRYSIDE TIF
88-880 DOWNTOWN TIF
89-890 DOWNTOWN TIF II
90-XXX DEVELOPER ESCROW
95-XXX ESCROW DEPOSIT

CHECK DATE: 05/14/19

FY 20

CHECK #	VENDOR #	INVOICE NUMBER	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	ITEM AMT
529820	R0002233	LYNN DUBAJIC					
	050119-REIMB		05/01/19	01	2019 RECON CONFERENCE	01-110-54-00-5412	660.00
				02	REGISTRATIUN	** COMMENT **	
				03	REIMBURSEMENT-PURCELL	** COMMENT **	
				04	REIMBURSEMENT FOR PUBLIC	01-110-54-00-5460	50.00
				05	AFFLIATE DUES FOR PURCELL	** COMMENT **	
					INVOICE TOTAL:		710.00 *
	ICSC EXP-2019		05/01/19	01	2019 ICSC 05/19-05/22	01-110-54-00-5415	1,081.92
				02	CONFERENCE AIRFARE	** COMMENT **	
				03	REIMBURSEMENT FOR DUBAJIC &	** COMMENT **	
				04	PURCELL	** COMMENT **	
					INVOICE TOTAL:		1,081.92 *
					CHECK TOTAL:		1,791.92
529821	R0002235	JACI DELONG					
	042719		04/30/19	01	BEECHER DEPOSIT REFUND	01-000-24-00-2410	50.00
					INVOICE TOTAL:		50.00 *
					CHECK TOTAL:		50.00
529822	SIMPLEX	JOHNSON CONTROLS					
	20875737		04/02/19	01	05/01/19-04/30/20 FIRE ALARM	01-210-54-00-5495	1,931.34
				02	TESTING AND INSPECTION	** COMMENT **	
				03	CONTRACT RENEWAL FOR CITY HALL	** COMMENT **	
				04	& PD STATION	** COMMENT **	
					INVOICE TOTAL:		1,931.34 *
					CHECK TOTAL:		1,931.34
529823	VITOSH	CHRISTINE M. VITOSH					
	CMV 1944-20		04/17/19	01	THIRD AMENDMENT TO ANNEXATION	90-139-00-00-0011	56.86

01-110 ADMINISTRATION
01-120 FINANCE
01-210 POLICE
01-220 COMMUNITY DEVELOPMENT
01-410 STREET OPERATIONS
01-540 HEALTH & SANITATION
01-640 ADMINISTRATIVE SERVICES

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95-XXX ESCROW DEPOSIT

CHECK DATE: 05/14/19

CHECK #	VENDOR #	INVOICE NUMBER	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	ITEM AMT
529823	VITOSH	CHRISTINE M. VITOSH					
	CMV 1944-20		04/17/19	02	AGREEMENT FOR RAGING WAVES	** COMMENT **	56.85
				03	WINDMILL FARMS PUBLIC HEARING	90-137-00-00-0011	113.71 *
					INVOICE TOTAL:		
					CHECK TOTAL:		113.71
529824	WIEGELH	HERB WIEGEL					
	44		12/21/18	01	SUMMER & FALL 2019 USSSA	79-795-54-00-5462	789.25
				02	ASSIGNING FEE FOR OFFICIALS	** COMMENT **	
					INVOICE TOTAL:		789.25 *
					CHECK TOTAL:		789.25
529825	YOUNGM	MARLYS J. YOUNG					
	041019B		04/18/19	01	RESUBDIVISION OF LOTS WITHIN	90-135-00-00-0011	9.85
				02	UNIT 23 IN GRANDE RESERVE	** COMMENT **	
					INVOICE TOTAL:		9.85 *
					CHECK TOTAL:		9.85
					TOTAL AMOUNT PAID:		252,567.77

01-110 ADMINISTRATION
01-120 FINANCE
01-210 POLICE
01-220 COMMUNITY DEVELOPMENT
01-410 STREET OPERATIONS
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87-870 COUNTRYSIDE TIF
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90-XXX DEVELOPER ESCROW
95-XXX ESCROW DEPOSIT



UNITED CITY OF YORKVILLE PAYROLL SUMMARY May 3, 2019

	REGULAR	OVERTIME	TOTAL	IMRF	FICA	TOTALS
ADMINISTRATION	\$ 22,424.92	\$ -	22,424.92	\$ 2,038.51	\$ 1,658.79	\$ 26,122.22
FINANCE	10,232.27	-	10,232.27	940.63	767.98	\$ 11,940.88
POLICE	110,323.79	5,464.95	115,788.74	557.55	8,475.01	\$ 124,821.30
COMMUNITY DEV.	18,427.85	-	18,427.85	1,696.74	1,378.16	\$ 21,502.75
STREETS	12,086.02	-	12,086.02	1,095.00	871.11	\$ 14,052.13
WATER	12,687.06	470.54	13,157.60	1,205.68	955.33	\$ 15,318.61
SEWER	5,387.27	-	5,387.27	501.67	388.64	\$ 6,277.58
PARKS	23,405.65	72.79	23,478.44	2,057.18	1,733.70	\$ 27,269.32
RECREATION	17,661.97	-	17,661.97	1,296.82	1,317.92	\$ 20,276.71
LIBRARY	16,318.67	-	16,318.67	932.89	1,224.81	\$ 18,476.37
TOTALS	\$ 248,955.47	\$ 6,008.28	\$ 254,963.75	\$ 12,322.67	\$ 18,771.45	\$ 286,057.87
TOTAL PAYROLL						\$ 286,057.87



UNITED CITY OF YORKVILLE

BILL LIST SUMMARY

Tuesday, May 14, 2019

ACCOUNTS PAYABLE

DATE

Manual City Check Register - FY 19 <i>(Page 1)</i>	04/23/2019	\$	32,037.50
Manual City Check Register - FY 19 <i>(Page 2)</i>	04/24/2019		22,813.33
Manual City Check Register - FY 19 <i>(Page 3)</i>	04/30/2019		600.00
City Check Register - FY 19 <i>(Pages 4 - 47)</i>	05/14/2019		250,466.37
City Check Register - FY 20 <i>(Pages 48 - 55)</i>	05/14/2019		252,567.77

SUB-TOTAL:	\$	558,484.97
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PAYROLL

Bi - Weekly <i>(Page 45)</i>	05/03/2019	\$	286,057.87
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SUB-TOTAL:	\$286,057.87
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TOTAL DISBURSEMENTS:	\$	844,542.84
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Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #1

Tracking Number

CC 2019-23

Agenda Item Summary Memo

Title: Appointments to Boards and Commissions

Meeting and Date: City Council – May 14, 2019

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Approval

Submitted by: John Purcell

Name

Department

Agenda Item Notes:

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at <http://www.yorkville.il.us/320/City-Council>

2019 Board and Commission Appointments

BOARD/ COMMISSION	NAME	TERM	
Library Board	Russell Walter	3 years	May 2019 – May 2022
Library Board	Ryan Forristall	3 years	May 2019 – May 2022



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #2

Tracking Number

CC 2019-24

Agenda Item Summary Memo

Title: Unified Development Ordinance Advisory Committee Appointments

Meeting and Date: City Council - May 14, 2019

Synopsis: Lists the proposed members for the UDO advisory committee

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Vote

Submitted by: Jason Engberg Community Development
Name Department

Agenda Item Notes:

See attached memo.



Memorandum

To: City Council
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti J. Barksdale-Noble, Community Development Director
Date: May 9, 2019
Subject: **Unified Development Ordinance Advisory Committee Appointment**

SUMMARY:

In 2014, the City overhauled its Zoning Ordinance followed by an update to the Comprehensive Plan in 2016. Several goals and implementation strategies in the Comprehensive Plan recommended improving residential subdivision design and enhancing the physical appearance of the community through an update to certain codes and establishing quality design standards which encourages the protection and preservation of Yorkville's environmental assets.

To accomplish these goals, the City solicited Request for Proposals (RFPs) to consolidate the various existing City ordinances into a cohesive, single-reference, graphic-based document known as a Unified Development Ordinance (UDO). The current City ordinances that will under review as part of this proposal are:

Zoning Ordinance (originally adopted 1974, amended 2014)

Subdivision Control Ordinance and Standard Specifications for Improvements (adopted 2004)

Landscape Ordinance (adopted 2009)

Appearance Code (adopted 2005)

In February, after review of the submitted proposals and interviews with potential consultants, the City contracted Houseal Lavigne Associates along with enCode Plus to complete the UDO. The proposal by Houseal Lavigne outlines a detailed schedule of the scope of services which will be completed over the next 2 years. Within this schedule there are several meetings which will be held with an advisory committee to ensure the work being completed and the process is in line with the vision and goals of the community.

As with previous planning efforts, like the 2016 Comprehensive Plan, the advisory committee will be appointed by the Mayor. The proposed committee consists of a diverse group of community members with different backgrounds and experience in the development process. Additionally, staff is in discussion with the Yorkville High School to include a student as part of the committee. The inclusion of a student is to promote equitable engagement where all sectors of the community are represented, especially those of differing ages, gender and racial backgrounds.

PROPOSED COMMITTEE MEMBERS:

The following eleven (11) people are being proposed to be appointed to the Yorkville UDO Advisory Committee:

Chris Funkhouser	Alderman, Public Safety	Billy McCue	Residential Developer
TBD	Alderman	Matt Hively	Landscape Bus. Owner
Debra Horaz	PZC, White Oaks HOA	Mike Torrence	Fire Marshal
Jeff Olson	PZC, Construction	Cheryl Lee*	Architect/Contractor
David Schultz	Resident, Civil Engineer	High School Volunteer	TBD Student
Greg Marker	Resident, Local Developer		

* Pending Response

STAFF COMMENTS:

If approved, the principal of Yorkville High School, David Travis, will recommend a high school student, preferably a Sophomore and/or Junior to sit on the committee.

For the appointment of committee members, staff is suggesting following the same procedure when a steering committee was formed for the Comprehensive Plan update. At the December 9, 2014 City Council meeting, a motion to approve the Mayor's appointments to the steering committee was entertained and was approved by a rollcall vote. Staff believes this is the appropriate direction to take with the UDO advisory committee as well.

Overall, Staff is supportive of the proposed members for this committee and believes they will offer unique perspectives as the new UDO is developed.



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #3

Tracking Number

CC 2019-25

Agenda Item Summary Memo

Title: Selection of Mayor Pro Tem for Fiscal Year 2020

Meeting and Date: City Council – May 14, 2019

Synopsis:

Council Action Previously Taken:

Date of Action: Action Taken:

Item Number:

Type of Vote Required:

Council Action Requested:

Submitted by: John Purcell

Name

Department

Agenda Item Notes:

Have a question or comment about this agenda item?

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**UNITED CITY OF YORKVILLE
KENDALL COUNTY, ILLINOIS**

ORDINANCE NO. 2013-31

AN ORDINANCE REGARDING CITY COUNCIL PROCEDURES

Passed by the City Council of the
United City of Yorkville, Kendall County, Illinois
This 16th day of May, 2013

Published in pamphlet form by the
authority of the Mayor and City Council
of the United City of Yorkville, Kendall
County, Illinois on May 22, 2013.

AN ORDINANCE REGARDING CITY COUNCIL PROCEDURES

WHEREAS, the United City of Yorkville (the “City”) is a duly organized and validly existing non-home-rule municipality created in accordance with Article VII, Section 7 of the Constitution of the State of Illinois of 1970; and,

WHEREAS, the City Council of the United City of Yorkville first passed a Procedural Ordinance on November 8, 2011 as Ordinance 2011-65, and revised said ordinance on April 24, 2012 as Ordinance 2012-09 and again on October 9, 2012 as Ordinance 2012-33; and,

WHEREAS, the City Council of the United City of Yorkville, in accordance with the Illinois Compiled State Statutes, has the right to determine procedures for organizing and conducting all meetings of the City Council acknowledging that the City is bound by certain state and federal laws as well as legal precedents which cannot be supplanted by City ordinance; and,

WHEREAS, in keeping with this right, the City Council has adopted Roberts Rules of Order to outline the procedure to be followed during meetings and to regulate the actions of Council members and the public in attendance at such meetings; and,

WHEREAS, the City Council has discussed implementing additional procedures to supplement Roberts Rules of Order regarding City Council meetings and the four standing committees of the City Council – Administration, Economic Development, Public Safety and Public Works.

NOW THEREFORE, BE IT ORDAINED by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

Section 1. Procedures for City Council Meetings:

- a. City Council Meetings shall be regularly scheduled to convene on the 2nd and 4th Tuesday of each month at 7:00 p.m. in the City Hall Council Chambers.

- b. Citizens in attendance at any meeting of the City Council shall be entitled to address the City Council on any agenda item prior to the Council's consideration of the Consent Agenda in order to permit the work of the City Council to proceed. Citizens shall be entitled to address the City Council on any matter immediately prior to adjournment.
- c. No application presented during a public hearing shall be voted on during the same City Council meeting in which that public hearing is held. This provision may be waived by a supermajority of the City Council.
- d. City Council meeting agenda items may be added by the Mayor, consent of four (4) aldermen, or direction from a committee.
- e. The Mayor shall preside over City Council meeting as the Chairman, unless the Mayor is unavailable, at which time the Mayor Pro Tem shall preside.
- f. The City Council shall appoint the Mayor Pro Tem at the first City Council meeting each May. The appointment shall occur by calling for open nominations at the meeting, and then a roll call votes on the nominations.

Section 2. Procedures for Committee Meetings:

- a. Committee meetings shall be regularly held monthly, at the dates, times and locations as approved by the Committees.
- b. The Mayor shall be a non-voting member of all standing committees.
- c. The Mayor shall select committee rosters at the first City Council meeting in May following a municipal consolidated election (i.e. every two years).
- d. Committee rosters may be switched by mutual, unanimous consent of the aldermen trading seats and the Mayor.
- e. The Mayor shall select committee chairmen and vice-chairmen.
- f. Any alderman may add any agenda item to any committee agenda.
- g. Chairmen shall select liaisons to other organizations and boards by any means they deem necessary, provided that the other organizations by-laws may govern the selection of the liaison.
- h. The four committees shall be:
 - i. Administration
 - ii. Economic Development
 - iii. Public Safety
 - iv. Public Works
- i. Each committee shall be presided over by its chairman, or in the absence of the chairman, the vice-chairman.
- j. Committee meetings may be cancelled by the Chairman of the committee if there is not a quorum of the members present, or there are no agenda items which require action by a committee.

- k. When moving items from the committee agenda to a City Council agenda, the committee shall make a recommendation whether that item should be on consent agenda or the committee's report. If on the committee's report, the committee shall make a recommendation whether the item is up for first reading, or is on the City Council agenda for action.

Section 3. This Ordinance shall be in full force and effect upon its passage, approval, and publication as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois this
16 Day of MAY, A.D. 2013.


CITY CLERK

CARLO COLOSIMO Y
JACKIE MILSCHEWSKI Y
JOEL FRIEDERS Y
ROSE ANN SPEARS Y

KEN KOCH Y
LARRY KOT Y
CHRIS FUNKHOUSER Y
DIANE TEELING Y

Approved by me, as Mayor of the United City of Yorkville, Kendall County, Illinois, this
21 Day of MAY, A.D. 2013.


MAYOR



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #4

Tracking Number

CC 2019-26

Agenda Item Summary Memo

Title: Appointments to City Council Committees – Administration, Economic Development, Public Safety and Public Works

Meeting and Date: City Council – May 14, 2019

Synopsis: Committee assignments will be announced at the meeting.

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: _____

Submitted by: John Purcell

Name

Department

Agenda Item Notes:

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at <http://www.yorkville.il.us/320/City-Council>

**UNITED CITY OF YORKVILLE
KENDALL COUNTY, ILLINOIS**

ORDINANCE NO. 2013-31

AN ORDINANCE REGARDING CITY COUNCIL PROCEDURES

Passed by the City Council of the
United City of Yorkville, Kendall County, Illinois
This 16th day of May, 2013

Published in pamphlet form by the
authority of the Mayor and City Council
of the United City of Yorkville, Kendall
County, Illinois on May 22, 2013.

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WHEREAS, the City Council of the United City of Yorkville first passed a Procedural Ordinance on November 8, 2011 as Ordinance 2011-65, and revised said ordinance on April 24, 2012 as Ordinance 2012-09 and again on October 9, 2012 as Ordinance 2012-33; and,

WHEREAS, the City Council of the United City of Yorkville, in accordance with the Illinois Compiled State Statutes, has the right to determine procedures for organizing and conducting all meetings of the City Council acknowledging that the City is bound by certain state and federal laws as well as legal precedents which cannot be supplanted by City ordinance; and,

WHEREAS, in keeping with this right, the City Council has adopted Roberts Rules of Order to outline the procedure to be followed during meetings and to regulate the actions of Council members and the public in attendance at such meetings; and,

WHEREAS, the City Council has discussed implementing additional procedures to supplement Roberts Rules of Order regarding City Council meetings and the four standing committees of the City Council – Administration, Economic Development, Public Safety and Public Works.

NOW THEREFORE, BE IT ORDAINED by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

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- c. No application presented during a public hearing shall be voted on during the same City Council meeting in which that public hearing is held. This provision may be waived by a supermajority of the City Council.
- d. City Council meeting agenda items may be added by the Mayor, consent of four (4) aldermen, or direction from a committee.
- e. The Mayor shall preside over City Council meeting as the Chairman, unless the Mayor is unavailable, at which time the Mayor Pro Tem shall preside.
- f. The City Council shall appoint the Mayor Pro Tem at the first City Council meeting each May. The appointment shall occur by calling for open nominations at the meeting, and then a roll call votes on the nominations.

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- d. Committee rosters may be switched by mutual, unanimous consent of the aldermen trading seats and the Mayor.
- e. The Mayor shall select committee chairmen and vice-chairmen.
- f. Any alderman may add any agenda item to any committee agenda.
- g. Chairmen shall select liaisons to other organizations and boards by any means they deem necessary, provided that the other organizations by-laws may govern the selection of the liaison.
- h. The four committees shall be:
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 - ii. Economic Development
 - iii. Public Safety
 - iv. Public Works
- i. Each committee shall be presided over by its chairman, or in the absence of the chairman, the vice-chairman.
- j. Committee meetings may be cancelled by the Chairman of the committee if there is a not a quorum of the members present, or there are no agenda items which require action by a committee.

- k. When moving items from the committee agenda to a City Council agenda, the committee shall make a recommendation whether that item should be on consent agenda or the committee's report. If on the committee's report, the committee shall make a recommendation whether the item is up for first reading, or is on the City Council agenda for action.

Section 3. This Ordinance shall be in full force and effect upon its passage, approval, and publication as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois this
16 Day of MAY, A.D. 2013.


CITY CLERK

CARLO COLOSIMO	<u>Y</u>	KEN KOCH	<u>Y</u>
JACKIE MILSCHEWSKI	<u>Y</u>	LARRY KOT	<u>Y</u>
JOEL FRIEDERS	<u>Y</u>	CHRIS FUNKHOUSER	<u>Y</u>
ROSE ANN SPEARS	<u>Y</u>	DIANE TEELING	<u>Y</u>

Approved by me, as Mayor of the United City of Yorkville, Kendall County, Illinois, this
21 Day of MAY, A.D. 2013.


MAYOR



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #5

Tracking Number

CC 2019-27

Agenda Item Summary Memo

Title: Appointment of Department Heads

Meeting and Date: City Council – May 14, 2019

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: _____

Submitted by: John Purcell

Name

Department

Agenda Item Notes:

- 1) City Administrator and Budget Officer – Bart Olson, term of 6 months through 11-29-19, per contract
- 2) City Clerk – Lisa Pickering, term of 1 year through 05-15-20
- 3) City Treasurer and Director of Finance – Rob Fredrickson, term of 1 year through 05-15-20
- 4) Director of Public Works – Eric Dhuse, term of 1 year through 05-15-20
- 5) Director of Parks and Recreation – Tim Evans, term of 1 year through 05-15-20
- 6) Building Inspector/Zoning Officer – Pete Ratos, term of 1 year through 05-15-20
- 7) City Engineer – Engineering Enterprises, Inc., term of 1 year through 05-15-20
- 8) City Attorney – Kathleen Field Orr, term of 1 year through 05-15-20

Have a question or comment about this agenda item?

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Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #6

Tracking Number

CC 2019-28

Agenda Item Summary Memo

Title: Oath of Office for Department Heads

Meeting and Date: City Council – May 14, 2019

Synopsis: An oath of office will be given to all appointed department heads at the meeting.

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: _____

Submitted by: John Purcell

Name

Department

Agenda Item Notes:

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at <http://www.yorkville.il.us/320/City-Council>



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #7

Tracking Number

CC 2019-29

Agenda Item Summary Memo

Title: Employment Agreement Between the City and Bart Olson

Meeting and Date: City Council – May 14, 2019

Synopsis: Approval of a 6-month employment agreement with Bart Olson to serve as
City Administrator, subject to the terms and conditions of the agreement.

Council Action Previously Taken:

Date of Action: N / A Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Approval

Submitted by: John Purcell
Name Department

Agenda Item Notes:

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at <http://www.yorkville.il.us/320/City-Council>

EMPLOYMENT AGREEMENT

This agreement ("Agreement") is made and entered into this ____ day of _____, ~~2019~~ (the "Effective Date"), by and between the United City of Yorkville, Illinois, a non-home rule municipal corporation (the "City"), and Bart Olson of Downers Grove, Illinois (the "Employee").

Deleted: 2015

WITNESSETH:

WHEREAS, the Mayor of the City, with the advice and consent of the City Council, has determined to employ the services of Employee in the position of "City Administrator";

WHEREAS, it is the desire of the Mayor and City Council (the "Council") to provide certain benefits to establish certain conditions of employment, and to set the working conditions of Employee; and

WHEREAS, Employee desires to accept employment as City Administrator of the City under the terms presented herein;

NOW THEREFORE, in consideration of the mutual covenants herein contained, the parties agree as follows:

SECTION 1: EMPLOYMENT AND DUTIES

1.1 The City agrees to employ and Employee agrees to be employed, on a full-time basis, and devote such additional time and service as necessary to perform all professional services and undertake the responsibilities and duties of City Administrator to fully administer the operation of the City and undertake those other duties and responsibilities as are set forth in City Code, Section 1-6D and as the Mayor and/or Council may, from time to time, require. Employee's duties and responsibilities shall include, but not be limited to:

(a) Be responsible to respond to and advise the mayor and aldermen on issues affecting any and all aspects of the City to the best of his ability and competence;

(b) Advise and consult with City officers and officials;

(c) Advise and consult with the Mayor regarding hiring, assignment, and promotion of employees and; upon approval of the Mayor, terminate, furlough or lay-off employees in departments that report to the City Administrator.

(d) Attend all regular and special meetings of the Council, and any Council committee, and sub-committee and boards and commission meetings and hearings as assigned; and attend specific other meetings and hearings at the request of either the Mayor or Council;

(e) Keep the Mayor and Council apprised of the status of major projects and activities; subject to applicable State and City laws concerning appropriations, public notices and competitive bidding, Employee shall have the authority to execute on behalf of the City any contracts for goods, materials, services, constructions or improvements authorized by the Council;

(f) During Employee's employment with the City, the Employee will not directly or indirectly become affiliated, employed or in any way enter into a contractual relationship for compensated services of any type or character, other than teaching or consulting, without the approval of the Council.

SECTION 2: TERM

2.1 The term of this Agreement shall commence upon the execution of the Agreement by both parties and will terminate on November 29, 2019, (the "Term"). Employee agrees to remain in the exclusive employ of the City during the Term and, except as provided in Section 1.1(f) of this Agreement until said termination date.

Deleted: with the expiration of the current term of the Mayor

2.2. Nothing in this Agreement shall prevent, limit or otherwise interfere with the right of the Mayor to terminate the services of Employee at any time, subject only to the provisions set forth in Section 3.1 of this Agreement.

2.3 Nothing in this Agreement shall prevent, limit or otherwise interfere with the right of the Employee to resign at any time from his position with the City, subject only to the provision set forth in Section 3.2 of this Agreement.

SECTION 3: TERMINATION AND SEVERANCE PAY

3.1 Employee's employment with the City may be terminated by the Mayor at any time (including prior to the expiration of the Term), as provided in 65 ILCS 5/3.1-35-10, in which case this Agreement shall automatically terminate, subject to the following:

(a) In the event of a breach of any of the terms or conditions hereof by Employee, employee's employment and this Agreement may be terminated for cause. For purposes of this Agreement, "cause" is further defined as (i) a conviction by any court of competent jurisdiction of a felony, or a Class A or B misdemeanor, (ii) a violation of state statutes or City ordinances, relating to the duties of the City Administrator, or (iii) Employee's failure to follow the official lawful directions of the Mayor, or (iv) Employee's failure to follow policies as established by the Mayor or Council. If Employee is discharged for cause, Employee shall only receive as compensation the monetary equivalent to Employee's accrued vacation, sick, and personal time and accrued salary to date of termination. Employee shall not be entitled to any Severance Payment (as defined below) if terminated for cause; or

(b) The City may terminate Employee's employment and this Agreement without cause during the Term, in which case Employee shall receive, in lieu of any and all other forms or claims for compensation or remuneration, a total severance payment (the "Severance Payment") equal to the monetary equivalent of twenty (20) weeks base salary plus benefits, in addition to any unpaid accrued salary, vacation, personal and sick days.

Commented [B01]: New state law caps severance pay out at 20 weeks.

Deleted: five (5) months of Employee's

3.2 If Employee voluntarily resigns, Employee shall only receive compensation for the monetary equivalent of Employee's unpaid accrued base salary to the effective date of resignation, together with accrued but unused vacation, and sick days, as governed by the appropriate sections of the Employee Manual as are in effect at date of resignation. In the event Employee voluntarily resigns Employee's position with the City before expiration of the Term, then Employee shall give the City sixty (60) days notice in advance if Employee has taken a position as a City Administrator in another

Deleted: if the employee is terminated prior to May 31, 2017, and thereafter six (6) months of Employee's base salary plus benefits, in addition to any unpaid accrued salary, vacation, personal and sick days.

community, otherwise Employee shall give the City thirty (30) days notice in advance, unless the parties otherwise agree. Notwithstanding the foregoing notices, the City may, at its election, continue to employ Employee during the applicable notice period or request that Employee leave the City's employment immediately or at any time during the applicable notice period. In the event the City elects to terminate Employee's employment immediately, Employee's salary, vacation, personal and sick days will continue to accrue until the end of the applicable notice period. Unless otherwise agreed upon by the parties, Employee shall not be entitled to any Severance Payment if Employee resigns.

3.3 If this Agreement is not renewed by the City upon expiration of the Term, provided (i) Employee was not terminated with or without cause during the Term, (ii) Employee did not resign during the Term, or (iii) Employee is not employed by or offered employment by the City in a position having responsibilities and compensation substantially similar to those of the City Administrator position upon such expiration, Employee shall receive the Severance Payment, in addition to any unpaid accrued salary, vacation, personal and sick days.

3.4 Any Severance Payment payable to Employee shall be paid bi-weekly in equal payments (or as otherwise consistent with the City's payment practices for other City employees), less all deductions and/or deductions required by law.

SECTION 4: COMPENSATION

4.1 The City agrees to pay Employee an annual base salary of ~~\$174,836 from May 14, 2019 through November 29, 2019~~, payable biweekly in equal payments (or as otherwise consistent with the City's payment practices for other City employees), less all deductions and/or deductions required by law.

Commented [B02]: 0% increase from year prior.

Deleted: \$160,000 from May 12, 2015 through April 30, 2016, \$164,800 from May 1, 2016 through April 30, 2017, \$169,744 from May 1, 2017 through April 30, 2018, and \$174,836 from May 1, 2018 through May 14, 2019

4.2 Employee shall participate in the Illinois Municipal Retirement fund.

SECTION 5. VACATION, SICK LEAVE AND HOLIDAYS

5.1 Employee shall accrue, and have credited to his personal account, ~~six (6) weeks vacation leave annually between May 14, 2019 and November 29, 2019~~. Employee shall be entitled to roll over a maximum of forty (40) hours of vacation per year. Employee shall be allowed to cash out a maximum of forty (40) hours of vacation time per fiscal year, subject to funds available in the City budget, and approval from the Mayor. Employee shall be entitled to payment for all unpaid accrued vacation leave upon his leaving employment with the City.

Deleted: five (5) weeks vacation leave annually between May 12, 2015 and April 30, 2017, and six (6) weeks thereafter

5.2 Employee shall be entitled to holidays and any personal days off the same as exempt City employees, in general.

5.3 All of the provisions of the Vacation and Sick leave policy within the Employee Manual, with respect to the accrual and use of sick leave shall apply to the Employee.

SECTION 6. HEALTH AND LIFE INSURANCE

The City agrees to put into force and to make required premium payments to provide Employee with a life insurance policy in the amount of \$50,000.00, and the same standard sickness benefits, health and all other benefits as provided to other City Department heads.

SECTION 7: DUES AND SUBSCRIPTIONS

Employer agrees to budget for and to pay for professional dues and subscriptions of Employee necessary for his continuation and full participation in the International City/County Management Association (ICMA), the Illinois City/County Management Association (ILCMA) and Metro Managers, necessary and desirable for his continued professional participation growth, and advancement, and for the good of the Employer.

SECTION 8. PROFESSIONAL DEVELOPMENT

The City hereby agrees to pay for reasonable, budgeted travel and subsistence expenses of Employee for a reasonable number of professional and office travel, meetings, and occasions adequate to continue the professional development of Employee and necessary official functions for the City, including, but not limited to, the ICMA Annual conference, the ILCMA Conference, and such other national, regional, state and local governmental groups and committees thereof which Employee serves as a member. Attendance at any conferences, seminars and committees requiring overnight stay other than the ICMA Annual conference and the ILCMA Conference, shall be subject to prior Council approval.

SECTION 9. AUTOMOBILE

Employee shall receive the same mileage allowance for travel as prescribed in the City's employee handbook.

SECTION 10. TECHNOLOGY EQUIPMENT

The Employee shall be responsible for procuring his own cell phone and cellphone plan.

SECTION 11. GENERAL EXPENSES

The City recognizes that certain expense of a non-personal and generally job affiliated nature are incurred by Employee, and hereby agrees to reimburse such moneys upon receipt of duly executed expense or petty cash vouchers, receipts, statements or personal affidavits and approval by the Council, provided that such expenses have been budgeted.

SECTION 12. PERFORMANCE EVALUATION

13.1 Annually, the Mayor and Employee shall define such goals and performance objectives that they determine necessary for the proper operation of the City and in the attainment of the Council's policy objectives, said goals and objectives to be reduced to writing. The Mayor shall review and evaluate Employee's performance of his responsibilities and duties as City Administrator in April of each year of the Term, and shall seek Council advice on the Employee's performance. The Mayor shall provide the Employee with a summary written statement of the findings of the review and provide an adequate opportunity for the Employee to discuss his evaluation with the Mayor and Council. Following Employee's performance evaluation, Employee may receive a compensation merit increase at the sole discretion of the Mayor.

13.2 In affecting the provisions of this Section, the Mayor, Council and Employee mutually agree to abide by the provisions of applicable law.

SECTION 13. NO REDUCTION OF BENEFITS

The City shall not at any time during the Term of this Agreement reduce the salary, compensation or other financial benefits of Employee, except to degree of such a reduction across-the-board for all employees of the City.

SECTION 14. RESIDENCY

The City agrees not to require the Employee to have residence in the City of Yorkville, Illinois.

SECTION 15. INDEMNIFICATION

The Employee shall be indemnified to the maximum required under State and local law.

SECTION 16. BONDING

The City shall bear the full cost of any fidelity or other bonds, if any, required of the Employee under any law or ordinance.

SECTION 17. OTHER TERMS AND CONDITIONS OF EMPLOYMENT

18.1 The Mayor, in consultation with Employee, shall fix any such other terms and conditions of employment, as it may determine from time to time, relating to the performance of Employee, provided such terms and conditions are not inconsistent with or in conflict with the provisions of this Agreement, the United City of Yorkville, Illinois ordinances or any other law.

18.2 All provisions of the United City of Yorkville, Illinois ordinances and Code, and regulations and rules of the City relating to the vacation, sick leave, retirement and pension system contributions, holidays, and other benefits and working conditions as they now exist or hereafter may be amended, also shall apply to Employee as they would to other employees of the City, in addition to said benefits enumerated specifically for the benefit of Employee except as herein provided.

SECTION 18. NOTICES

Notices pursuant to this Agreement shall be given by deposit in the custody of the United States Postal Service, postage prepaid, addressed as follows:

TO THE CITY:

Mayor
United City of Yorkville
800 Game Farm Road
Yorkville, IL 60560

TO EMPLOYEE:

Bart Olson
3715 Sterling Road
Downers Grove, IL 60515

Alternatively, notices required pursuant to this Agreement may be personally served. Notice shall be deemed given as of the date of personal service or as of the date of deposit of such written notice in the course of transmission in the United States Postal Service.

SECTION 20. GENERAL PROVISIONS

20.1 The text herein shall constitute the entire Agreement between the parties.

20.2 This Agreement shall be binding upon and inure to the benefit of the heirs at law and executors of Employee.

20.3 If any provision, or any portion thereof, contained in this Agreement is held unconstitutional, invalid or unenforceable, the remainder of this Agreement, or portion thereof, shall be deemed severable, shall not be affected, and shall remain in full force and effect.

20.4 All amendments or modifications of this Agreement must be in writing and must be signed by each party hereto.

IN WITNESS WHEREOF, the City has caused this Agreement to be signed and executed in its behalf by its Mayor, and duly attested by its City Clerk, and the Employee has signed and executed this Agreement, both in duplicate, the day and year first above written.

UNITED CITY OF YORKVILLE

EMPLOYEE

By: _____
Mayor

Bart Olson

Attest:

City Clerk

C/53946.1

EMPLOYMENT AGREEMENT

This agreement ("Agreement") is made and entered into this ____ day of _____, 2019 (the "Effective Date"), by and between the United City of Yorkville, Illinois, a non-home rule municipal corporation (the "City"), and Bart Olson of Downers Grove, Illinois (the "Employee").

WITNESSETH:

WHEREAS, the Mayor of the City, with the advice and consent of the City Council, has determined to employ the services of Employee in the position of "City Administrator";

WHEREAS, it is the desire of the Mayor and City Council (the "Council") to provide certain benefits to establish certain conditions of employment, and to set the working conditions of Employee; and

WHEREAS, Employee desires to accept employment as City Administrator of the City under the terms presented herein;

NOW THEREFORE, in consideration of the mutual covenants herein contained, the parties agree as follows:

SECTION 1: EMPLOYMENT AND DUTIES

1.1 The City agrees to employ and Employee agrees to be employed, on a full-time basis, and devote such additional time and service as necessary to perform all professional services and undertake the responsibilities and duties of City Administrator to fully administer the operation of the City and undertake those other duties and responsibilities as are set forth in City Code, Section 1-6D and as the Mayor and/or Council may, from time to time, require. Employee's duties and responsibilities shall include, but not be limited to:

(a) Be responsible to respond to and advise the mayor and aldermen on issues affecting any and all aspects of the City to the best of his ability and competence;

(b) Advise and consult with City officers and officials;

(c) Advise and consult with the Mayor regarding hiring, assignment, and promotion of employees and; upon approval of the Mayor, terminate, furlough or lay-off employees in departments that report to the City Administrator.

(d) Attend all regular and special meetings of the Council, and any Council committee, and sub-committee and boards and commission meetings and hearings as assigned; and attend specific other meetings and hearings at the request of either the Mayor or Council;

(e) Keep the Mayor and Council apprised of the status of major projects and activities; subject to applicable State and City laws concerning appropriations, public notices and competitive bidding, Employee shall have the authority to execute on behalf of the City any contracts for goods, materials, services, constructions or improvements authorized by the Council;

(f) During Employee's employment with the City, the Employee will not directly or indirectly become affiliated, employed or in any way enter into a contractual relationship for compensated services of any type or character, other than teaching or consulting, without the approval of the Council.

SECTION 2: TERM

2.1 The term of this Agreement shall commence upon the execution of the Agreement by both parties and will terminate on November 29, 2019 (the "Term"). Employee agrees to remain in the exclusive employ of the City during the Term and, except as provided in Section 1.1(f) of this Agreement until said termination date.

2.2. Nothing in this Agreement shall prevent, limit or otherwise interfere with the right of the Mayor to terminate the services of Employee at any time, subject only to the provisions set forth in Section 3.1 of this Agreement.

2.3 Nothing in this Agreement shall prevent, limit or otherwise interfere with the right of the Employee to resign at any time from his position with the City, subject only to the provision set forth in Section 3.2 of this Agreement.

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3.1 Employee's employment with the City may be terminated by the Mayor at any time (including prior to the expiration of the Term), as provided in 65 ILCS 5/3.1-35-10, in which case this Agreement shall automatically terminate, subject to the following:

(a) In the event of a breach of any of the terms or conditions hereof by Employee, employee's employment and this Agreement may be terminated for cause. For purposes of this Agreement, "cause" is further defined as (i) a conviction by any court of competent jurisdiction of a felony, or a Class A or B misdemeanor, (ii) a violation of state statutes or City ordinances, relating to the duties of the City Administrator, or (iii) Employee's failure to follow the official lawful directions of the Mayor, or (iv) Employee's failure to follow policies as established by the Mayor or Council. If Employee is discharged for cause, Employee shall only receive as compensation the monetary equivalent to Employee's accrued vacation, sick, and personal time and accrued salary to date of termination. Employee shall not be entitled to any Severance Payment (as defined below) if terminated for cause; or

(b) The City may terminate Employee's employment and this Agreement without cause during the Term, in which case Employee shall receive, in lieu of any and all other forms or claims for compensation or remuneration, a total severance payment (the "Severance Payment") equal to the monetary equivalent of twenty (20) weeks base salary plus benefits, in addition to any unpaid accrued salary, vacation, personal and sick days.

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5.1 Employee shall accrue, and have credited to his personal account, six (6) weeks vacation leave annually between May 14, 2019 and November 29, 2019. Employee shall be entitled to roll over a maximum of forty (40) hours of vacation per year. Employee shall be allowed to cash out a maximum of forty (40) hours of vacation time per fiscal year, subject to funds available in the City budget, and approval from the Mayor. Employee shall be entitled to payment for all unpaid accrued vacation leave upon his leaving employment with the City.

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SECTION 9. AUTOMOBILE

Employee shall receive the same mileage allowance for travel as prescribed in the City's employee handbook.

SECTION 10. TECHNOLOGY EQUIPMENT

The Employee shall be responsible for procuring his own cell phone and cellphone plan.

SECTION 11. GENERAL EXPENSES

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SECTION 12. PERFORMANCE EVALUATION

13.1 Annually, the Mayor and Employee shall define such goals and performance objectives that they determine necessary for the proper operation of the City and in the attainment of the Council's policy objectives, said goals and objectives to be reduced to writing. The Mayor shall review and evaluate Employee's performance of his responsibilities and duties as City Administrator in April of each year of the Term, and shall seek Council advice on the Employee's performance. The Mayor shall provide the Employee with a summary written statement of the findings of the review and provide an adequate opportunity for the Employee to discuss his evaluation with the Mayor and Council. Following Employee's performance evaluation, Employee may receive a compensation merit increase at the sole discretion of the Mayor.

13.2 In affecting the provisions of this Section, the Mayor, Council and Employee mutually agree to abide by the provisions of applicable law.

SECTION 13. NO REDUCTION OF BENEFITS

The City shall not at any time during the Term of this Agreement reduce the salary, compensation or other financial benefits of Employee, except to degree of such a reduction across-the-board for all employees of the City.

SECTION 14. RESIDENCY

The City agrees not to require the Employee to have residence in the City of Yorkville, Illinois.

SECTION 15. INDEMNIFICATION

The Employee shall be indemnified to the maximum required under State and local law.

SECTION 16. BONDING

The City shall bear the full cost of any fidelity or other bonds, if any, required of the Employee under any law or ordinance.

SECTION 17. OTHER TERMS AND CONDITIONS OF EMPLOYMENT

18.1 The Mayor, in consultation with Employee, shall fix any such other terms and conditions of employment, as it may determine from time to time, relating to the performance of Employee, provided such terms and conditions are not inconsistent with or in conflict with the provisions of this Agreement, the United City of Yorkville, Illinois ordinances or any other law.

18.2 All provisions of the United City of Yorkville, Illinois ordinances and Code, and regulations and rules of the City relating to the vacation, sick leave, retirement and pension system contributions, holidays, and other benefits and working conditions as they now exist or hereafter may be amended, also shall apply to Employee as they would to other employees of the City, in addition to said benefits enumerated specifically for the benefit of Employee except as herein provided.

SECTION 18. NOTICES

Notices pursuant to this Agreement shall be given by deposit in the custody of the United States Postal Service, postage prepaid, addressed as follows:

TO THE CITY:

Mayor
United City of Yorkville
800 Game Farm Road
Yorkville, IL 60560

TO EMPLOYEE:

Bart Olson
3715 Sterling Road
Downers Grove, IL 60515

Alternatively, notices required pursuant to this Agreement may be personally served. Notice shall be deemed given as of the date of personal service or as of the date of deposit of such written notice in the course of transmission in the United States Postal Service.

SECTION 20. GENERAL PROVISIONS

20.1 The text herein shall constitute the entire Agreement between the parties.

20.2 This Agreement shall be binding upon and inure to the benefit of the heirs at law and executors of Employee.

20.3 If any provision, or any portion thereof, contained in this Agreement is held unconstitutional, invalid or unenforceable, the remainder of this Agreement, or portion thereof, shall be deemed severable, shall not be affected, and shall remain in full force and effect.

20.4 All amendments or modifications of this Agreement must be in writing and must be signed by each party hereto.

IN WITNESS WHEREOF, the City has caused this Agreement to be signed and executed in its behalf by its Mayor, and duly attested by its City Clerk, and the Employee has signed and executed this Agreement, both in duplicate, the day and year first above written.

UNITED CITY OF YORKVILLE

EMPLOYEE

By: _____
Mayor

Bart Olson

Attest:

City Clerk



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #8

Tracking Number

CC 2019-30

Agenda Item Summary Memo

Title: Proclamation for Law Enforcement Appreciation Week

Meeting and Date: City Council – May 14, 2019

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: None

Council Action Requested: _____

Submitted by: John Purcell
Name Department

Agenda Item Notes:

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at <http://www.yorkville.il.us/320/City-Council>

UNITED CITY OF YORKVILLE

Law Enforcement Appreciation Week Proclamation

To recognize National Police Week 2019 and to honor the service and sacrifice of those local, state, and federal law enforcement officers who have died, or have been disabled, in the line of duty.

WHEREAS, there are approximately 900,000 law enforcement officers serving in communities across the United States, including dedicated members of the Yorkville Police Department; and

WHEREAS, nearly 60,000 assaults against law enforcement officers are reported each year, resulting in approximately 16,000 injuries; and

WHEREAS, since the first recorded death in 1791, over 23,000 law enforcement officers in the United States have made the ultimate sacrifice and been killed in the line of duty; and

WHEREAS, the names of these dedicated public servants are engraved on the walls of the Law Enforcement Officers Memorial in Washington, D.C.; and

WHEREAS, at least 144 federal, state, and local names of fallen law enforcement heroes are being added to the National Law Enforcement Officers Memorial this spring, sadly reminding us that public safety comes at a very steep price; and

WHEREAS, each year, May 15th is designated as Police Officers Memorial Day, in honor of all fallen officers and their families, and U.S. flags should be flown at half-staff; and,

WHEREAS, the United City of Yorkville is grateful for the service and dedication of all of the law enforcement employees who serve and protect our citizens, and for the sacrifices made by their families.

NOW, THEREFORE, I, John Purcell, Mayor of the United City of Yorkville, do hereby proclaim May 12-18, 2019 as Law Enforcement Appreciation Week in the United City of Yorkville, and I salute the service of law enforcement in our city, our county, and in communities across the nation.

Dated this 14th day of May, 2019, A.D.

John Purcell, Mayor



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Mayor's Report #9

Tracking Number

CC 2019-31

Agenda Item Summary Memo

Title: Railway-Highway Grade Crossing Improvement Agreement for Hoover Drive

Meeting and Date: City Council – May 14, 2019

Synopsis: See attached.

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Approval

Submitted by: Bart Olson Administration
Name Department

Agenda Item Notes:

LAW OFFICE
KATHLEEN FIELD ORR & ASSOCIATES
53 West Jackson Blvd., Suite 964
Chicago, Illinois 60604
(312)382-2113
(312)382-2127 facsimile

KATHLEEN FIELD ORR
kfo@kfoassoc.com

M E M O R A N D U M

To: Mayor and City Council of the United City of Yorkville
cc: Bart Olson, City Administrator

From: Kathleen Field Orr, City Attorney

Date: May 8, 2019

Subject: Hoover Forest Preserve/Hoover Drive

As you will recall, in 2015, the City entered into an Intergovernmental Agreement with the Kendall County Forest Preserve District wherein the City agreed to dedicate Hoover Drive as a public road in order to be eligible for an IDOT grant to cover the cost of warning devices and railroad crossing safety gates (the "*Project*"). Pursuant to the Intergovernmental Agreement, the Forest Preserve District indemnified the City against any and costs it may incur as a result of this dedication of Hoover Drive as a public road and construction of the Project, including legal fees.

In order to proceed with the Project, the City was required to file a petition with the Illinois Commerce Commission ("*ICC*") for its permission to construct the Project which was granted on September 28, 2016. Since that order, the ICC has granted several extensions to complete the Project which is now September 28, 2019. In the interim, the necessary easements have been received from Commonwealth Edison and a "Public Road Crossing License" is being finalized.

The Forest Preserve District is requesting the approval by the City Council of an agreement by and among IDOT, Illinois Railway, LLC and the City as attached hereto. Pursuant to the terms of this Agreement, IDOT agrees to pay for all costs incurred by Illinois Railway, LLC (See Section 11) to construct the Project in accordance with the standards set forth therein. The City has no responsibilities or liability being responsible only to approve any request for a roadside barrier required during construction of the Project and notification thereof to IDOT.

We have reviewed all of the documentation and have participated in the negotiations and recommend approval of the Agreement by the City Council. The Public Crossing License Agreement (the final document) will be presented to you for your approval on May 28, 2019.

Resolution No. 2019-_____

**A RESOLUTION OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY,
ILLINOIS, APPROVING A RAILWAY-HIGHWAY GRADE CROSSING
IMPROVEMENT AGREEMENT FOR HOOVER DRIVE**

WHEREAS, the United City of Yorkville, Kendall County, Illinois (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of this State; and,

WHEREAS, the City and the Kendall County Forest Preserve District (the “District”) have determined that it is in the public interest that Hoover Drive should cross the railroad tracks of Illinois Railway, LLC (the Railroad”) for access to the District’s Forest Preserve; and,

WHEREAS, for the construction of the warning devices and crossing gates with federal funds the State of Illinois Department of Transportation has created a Railway-Highway Grade Crossing Improvements Local Public Agency Agreement for said funding with the City as the Local Public Agency and the Railroad.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

Section 1. That the *STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION AGREEMENT for Railway-Highway Grade Crossing Improvements Local Public Agency*, attached hereto and made a part hereof as Exhibit A, between the United City of Yorkville, the State of Illinois acting through its Department of Transportation, and Illinois Railway, LLC, is hereby approved and the Mayor is hereby authorized to execute such agreement.

Section 2. This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois,
this ____ day of _____, 2019.

CITY CLERK

KEN KOCH _____

DAN TRANSIER _____

JACKIE MILSCHEWSKI _____

ARDEN JOE PLOCHER _____

CHRIS FUNKHOUSER _____

JOEL FRIEDERS _____

SEAVAR TARULIS _____

JASON PETERSON _____

APPROVED by me, as Mayor of the United City of Yorkville, Kendall County, Illinois,
this ____ day of _____, 2019.

MAYOR

Attest:

CITY CLERK

Route: **HOOVER DRIVE (MUN 2730)**
Section: **13-F3001-00-SP**
County: **Kendall**
Project: **0093(015)**
Job No: **C-93-036-14**
Agreement No: **N/A**
AAR/DOT NO. **065039J**

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION
AGREEMENT
for
Railway-Highway Grade Crossing Improvements
Local Public Agency

This agreement, hereinafter referred to as the "Agreement", made and entered into by and between the STATE OF ILLINOIS, acting by and through its Department of Transportation, hereinafter referred to as the "STATE", and the Local Public Agency, **United City of Yorkville (Kendall County)**, State of Illinois, acting by and through its **City Council**, hereinafter referred to as the "LPA" , and the **Illinois Railway, LLC (IR)**, hereinafter referred to as the "COMPANY"; collectively referred to as the "PARTIES" and individually referred to as "PARTY".

WITNESSETH:

WHEREAS, in the interest of public safety the STATE proposes to improve crossing warning signal devices, hereinafter referred to as the "Project", at the location listed on the attached Exhibit A, and as shown on the Exhibit A's location map; and

WHEREAS, the parties mutually agree to accomplish the proposed improvements through the use of Federal funds which are provided under applicable Federal act, law or appropriation.

NOW, THEREFORE, in consideration of the premises and of the mutual covenants and agreements as hereinafter contained the parties hereto agree as follows:

SECTION 1. The Project covered under this Agreement shall be subject to all applicable Federal laws, rules, regulations, orders and approvals pertaining to all agreements, specifications, award of contracts, acceptance of work and procedure in general. The STATE and the COMPANY shall be governed by the applicable provisions of the Federal-Aid Policy Guide, Part 646, dated December 9, 1991, and any supplements or amendments thereto hereinafter referred to as the

"Policy Guide". The COMPANY shall meet the Buy America requirements specified in 23 CFR 635.410. Upon completion of the COMPANY's work, the COMPANY shall sign and return with its Final Invoice, the Certification of Compliance with Buy America, attached hereto as Exhibit B.

SECTION 2. The COMPANY shall prepare the detailed plans (including surveys and other engineering services), and detailed estimates of cost. The detailed plans shall be submitted to the Illinois Commerce Commission (ICC) in accordance with Section 5 of this Agreement and estimates shall be submitted to the STATE for their approval.

SECTION 3. The completed crossing warning devices shall conform to Part VIII of the most current edition of the National Manual on Uniform Traffic Control Devices (MUTCD), including any amendments which may be contained in the Illinois Supplement to the MUTCD. Barrier systems, such as guardrail and impact attenuators should not be used at railroad grade crossings except in extraordinary circumstances. Approval for the erection of any roadside barrier by the COMPANY must be obtained in writing in advance from the LPA. LPA shall notify STATE in writing of such request prior to LPA's approval.

SECTION 4. All required installation work at the grade crossing(s) shall be performed by the COMPANY with its own forces or in accordance with 23 CFR, part 646.216. In the event the COMPANY intends to use forces other than its own under a continuing contract or contracts, the COMPANY shall provide the Department with a list of the items of work to be accomplished under such contract or contracts and a list of the name of each contractor whose services will be used to perform the work. Such contracts shall be in compliance with the Civil Rights Act of 1964 and implementing regulations applicable to Federal-Aid Projects as well as the Illinois Fair Employment Practices Act and implementing rules and regulations.

SECTION 5. The COMPANY will not begin to work without written authorization from the STATE to proceed. The COMPANY shall file a form 1 or form 3 Petition of Illinois Administrative Code 1535 with the Illinois Commerce Commission (ICC) showing details of the automatic warning devices herein required, and shall receive approval thereof by X-Resolution before commencing with the installation. Upon receipt of authorization from the STATE and the ICC, the COMPANY

shall promptly schedule the work set forth in the Agreement and shall notify in writing the agencies listed on Exhibit A, a minimum of twenty-one (21) days before commencing work. Any work performed prior to this notification will be considered non-reimbursable.

SECTION 6. The COMPANY shall keep an accurate and detailed account of the actual cost and expense as incurred by it, or for its account, in the performance of the work it herein agrees to perform. The COMPANY, for performance of its work as herein specified, shall bill the STATE **immediately**, for its share of Preliminary Engineering costs incurred to date upon receiving authorization to proceed with construction, and, may bill the STATE monthly for the STATE's share of the cost of materials purchased, delivered and stored on the COMPANY's property but not yet installed. The materials will become the property of the STATE and must be designated for exclusive use on the Project.

In the event the COMPANY fails to install the stored material within one year of the fully executed agreement date, the State may provide a written notice to the COMPANY, requiring the COMPANY to promptly deliver the stored material to a location indicated in writing by the STATE. Upon delivery, the STATE shall then take possession of said material for the STATE's own use. The delivery of the material to the STATE shall in no way serve to terminate this Agreement or affect the other provisions of this Agreement and in addition shall not affect the COMPANY's right to claim payment for stockpiled material to replace that taken by the STATE. In the event of any loss of material after payment, the COMPANY will replace the material at no cost to the STATE. The storage area of such materials shall be available for STATE inspection upon 24-hour notice.

SECTION 7. The COMPANY, for performance of its work as herein specified, may bill the STATE monthly for the STATE's share of its expense as incurred. These progressive invoices may be rendered on the basis of the estimated percentage of the work completed, plus allowable FHWA approved additives. Reimbursement of labor additives will be limited to only the most current direct labor additives, small tools additives, equipment additive rate, if so developed, and public liability/property damage liability insurance rates as audited and approved by a cognizant State agency and FHWA. Indirect overhead or general and administrative expenses, or those

expenses which may be classified as such under generally accepted accounting principles are not eligible for reimbursement on this Project.

The STATE after verifying that the bills are reasonable and proper shall promptly reimburse the COMPANY in accordance with the State Prompt Payment Act (30 ILCS 540/1 et seq.), as currently enacted. Payment under this paragraph shall not be claimed for any progressive invoice totaling less than \$500. The progressive invoices may be rendered on the basis of an estimated percentage of work completed.

The COMPANY, upon the completion of the work, shall, within one hundred twenty (120) calendar days, render to the STATE a detailed final invoice of the actual cost and expense as incurred by it or for its account. After the STATE's representatives have checked the progressive invoices and the final invoice and they have agreed with the COMPANY's representatives that the costs are reasonable and proper, insofar as they are able to ascertain, the STATE shall promptly reimburse the COMPANY in accordance with the State Prompt Payment Act (30 ILCS 540/1 et seq.), as currently enacted, for the amount of the final invoice, except that for any portion of the final invoice in excess of the estimated cost of such excess costs as shown in Section 6, the STATE may withhold payment of such excess costs until the COMPANY has provided reasonable backup detail as requested by the STATE to justify the additional cost, and the STATE shall promptly review such backup detail as provided by the COMPANY and shall thereafter promptly pay the costs in excess of the estimated costs unless reasonable exception is taken thereto. If the parties cannot reach agreement on reimbursement of the COMPANY's costs above the estimated costs, each Party retains all legal and equitable remedies regarding the payment of same; such reimbursements, however, are subject to the provisions of Section 13 hereof.

All invoices shall be clearly marked as "progressive invoice" or "final invoice", as applicable, and should be sent to:

Illinois Department of Transportation
Attn: Fiscal Control Unit
Bureau of Local Roads and Streets
2300 S. Dirksen Parkway
Springfield, IL 62764

The COMPANY shall maintain, for a minimum of three (3) years after the date of the final bill, adequate books, records, and supporting documents to verify the amounts, recipients, and uses of all disbursements of funds passing in conjunction with the contract; the contract and all books, records, and supporting documents related to the contract, which may be stored on electronic files, shall be available for review and may be audited by the AUDITOR GENERAL. The COMPANY agrees to cooperate fully with any audit conducted by the AUDITOR GENERAL and to provide full access to all relevant materials. Failure to maintain the books, records, and supporting documents required by this section shall establish a presumption in favor of the STATE for the recovery of any funds paid by the STATE under the contract for which adequate books, records, and supporting documentation are not available to support their purported disbursement.

After the federal or STATE representatives have audited the expenses as incurred by the COMPANY, including such amounts as may have been suspended from any previous payment, the STATE shall promptly reimburse the COMPANY for the suspended amounts, less the deduction of any item(s) of expense as may be found by the federal or STATE representatives as not being eligible for reimbursement. If the total of the item(s) of expense as may be found by the federal or STATE representatives as not being eligible for reimbursement exceeds the retained percentage plus any amounts which may have been suspended, then the COMPANY shall promptly reimburse the STATE for the overpayment.

SECTION 8. The crossing warning signal system should be placed in service immediately after the installation is completed. The COMPANY shall notify the STATE in writing of the date of

the completed installation. The STATE will perform a final inspection upon receiving the written notification.

SECTION 9. When construction of this Project is completed, and so long as State law shall so require, the COMPANY shall maintain at its expense or, by agreement with others, provide for maintenance of the crossing warning signal devices.

SECTION 10. If at any time subsequent to the completion of this improvement, the tracks in the area of the crossing are eliminated for any reason whatsoever, then the said signal system may be removed, relocated and reinstalled at another grade crossing of the COMPANY mutually designated and agreed to by the Parties hereto and subject to the approval of the public authorities having any jurisdiction. The reinstalled signal system shall thereafter be subject to the terms of this Agreement.

SECTION 11. In compliance with the Federal-Aid Policy Guide, dated December 9, 1991, Section 646.210, the railroad work as herein contemplated requires no contribution from the COMPANY, however the COMPANY agrees to contribute zero percent (0%) of the cost of this Project. Per the alternative Federal-State procedure in 23 C.F.R. § 646.220, the STATE will have a representative present at the job site during construction to certify the work and to assure that all work and materials meet the requirements, is complete, acceptable and in accordance with the terms of this Agreement.

SECTION 12. In the event that delays or difficulties arise in securing necessary federal or state approvals, or in acquiring rights-of way, or in settling damage claims, or for any other cause which in the opinion of the STATE render it impracticable to proceed with the construction of the Project, then at any time before construction is started, the STATE may serve formal notice of cancellation upon the COMPANY and this Agreement shall thereupon terminate. In the event of cancellation, the STATE shall reimburse the COMPANY for all eligible cost and expense incurred by the COMPANY prior to receipt of notice of cancellation and payment by the STATE.

SECTION 13. It is the policy of the U.S. Department of Transportation that disadvantaged business enterprises, as defined in 49 CFR Part 26, shall have maximum opportunity to participate in the performance of agreements financed in whole or in part with federal funds. Consequently, the disadvantaged business enterprise requirements of 49 CFR Part 26 apply to this Agreement. The COMPANY agrees to take all necessary and reasonable steps to ensure that disadvantaged business enterprises, as defined in 49 CFR Part 26, have the maximum opportunity to participate in the performance of this Agreement. The COMPANY, sub-recipient or subcontractor shall not discriminate on the basis of race, color, national origin, or sex in the performance of this Agreement. The COMPANY shall carry out applicable requirements of 49 CFR part 26 in the award and administration of STATE-assisted contracts. Failure by the COMPANY to carry out these requirements is a material breach of this Agreement, which may result in the termination of this contract or such other remedy as deemed appropriate.

In the event any work is performed by other than COMPANY forces, the provisions of "an act regulating wages of laborers, mechanics and other workers employed in public works by the State, County, City or any public body or any political subdivision or by anyone under contract for public works" (Illinois Compiled Statutes, 820 ILCS 130/1 et seq.) shall apply. Pursuant to 820 ILCS 130/4, COMPANY is hereby notified "the prevailing rate of wages are revised by the Department of Labor and are available on the Department's official website".

SECTION 14. This Agreement shall be binding upon the Parties hereto, their successors or assigns.

SECTION 15. The COMPANY shall complete all work or shall be responsible that all work is completed by other forces within one year of the date of the fully executed agreement. In the event that all work cannot be completed within one year, the COMPANY shall notify the STATE in writing the cause for the delay before the one-year deadline has expired. Otherwise, the STATE will consider petitioning the Illinois Commerce Commission to order the work to be completed.

SECTION 16. At the time this Agreement was executed, there were funds available for the Project; however, obligations assumed by the STATE under this Agreement shall cease

immediately, without penalty or payment beyond that which the COMPANY has already accumulated, should the Illinois General Assembly or the Federal Highway Administration fail to appropriate or otherwise make available funds for the Project.

SECTION 17. The COMPANY was hereby requested and authorized to accrue costs by the STATE, to perform the necessary preliminary engineering to develop an estimate of cost for the proposed work described on Exhibit A, on **March 6, 2014**. The COMPANY hereby agrees to not invoice the STATE until such time this Agreement is fully executed.

SECTION 18. The COMPANY certifies its correct Federal Taxpayer Identification Number, as indicated on the attached Exhibit C.

SECTION 19. This Agreement shall be construed and interpreted according to the laws of the State of Illinois.

IN WITNESS WHEREOF, the Parties hereto have caused this Agreement to be executed in duplicate counterparts, each of which shall be considered as an original, by their duly authorized officers as of the dates below indicated.

COMPANY: Illinois Railway, LLC

Accepted By: _____

Typed name: Aubert Cassner

Typed title: Manager

Date: 3/26/2019

LPA: United City of Yorkville

Accepted By: _____

Typed name: _____

Typed title: _____

Date: _____

STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION

Matt Magalis
Acting Secretary

Date

Joanne Woodworth
Chief Fiscal Officer

Date

Paul A. Loete, P.E.
Director, Highways Project Implementation

Date

Philip C. Kaufmann
Chief Counsel

Date

EXHIBIT A

CROSSING IDENTIFICATION:

Railroad: Illinois Railway, LLC
AAR/DOT No: 065039J
RR M.P.: 51.45
Roadway: Hoover Drive (MUN 2730)
Location: At the Illinois Railway Tracks

EXISTING CONDITIONS:

Crossbucks

DESCRIPTION OF WORK TO BE DONE BY RAILROAD FORCE ACCOUNT:

1. Install Automatic flashing LED light signals with bells and gates controlled by constant warning time circuitry with event recorder and remote monitor system.
2. Incidental work necessary to complete the items hereinabove specified.
3. CFDA Number: 20.205 (Information is available at <http://www.cfda.gov/>)

DESCRIPTION OF WORK TO BE DONE BY THE LPA:

Local Public Agency (LPA) agrees to provide at its expense any necessary advance warning signs and pavement markings as required by the most current edition of the following documents: IDOT Standard Specifications for Road and Bridge Construction, Supplemental Specifications and Recurring Special Provisions, Highway Standards for Temporary Traffic Control, National Manual on Uniform Traffic Control Devices ("MUTCD") and the Illinois Supplement to the MUTCD. When a marked traffic detour is required, the LPA at its expense shall furnish, erect, maintain and remove the traffic control devices necessary to detour highway traffic.

- ☒ No additional work to be performed by the LPA.
Additional work will be performed by the LPA and funded by the Federal Railway-Highway Crossing Program (Section 130) will be under a separate agreement with the STATE.

ATTACHMENTS:

1. Location Map (consisting of one page)
2. COMPANY's Estimate (consisting of _____ pages)
3. General Plan Layout (consisting of _____ pages)

PROGRAM COST ESTIMATE:

\$ 250,000

COMPANY COST ESTIMATE:

Total (100.0%) \$ _____
(To be filled in by the RAILROAD)

Federal Participation (100.0%) \$ _____
(To be completed by the STATE)

COMPANY Participation (0.0%) \$ _____
(To be completed by the STATE)

LPA Participation (0.0%) \$ _____
(To be completed by the STATE)

AGENCIES TO BE NOTIFIED BEFORE COMMENCING WORK:

Illinois Department of Transportation

Bill Bearsall, Highway-Railway Safety Engineer
2300 South Dirksen Parkway, Room 005
Springfield, Illinois 62704
(217) 785-2986
william.pearsall@illinois.gov

Illinois Railway, LLC

Jason Scott, Vice President of Signals & Communications
252 Clayton Street, 4th Floor
Denver, CO 80206
(303) 398-4528
jpscott@omnitrax.com

Ken Rose, Director of Engineering & Environmental Services

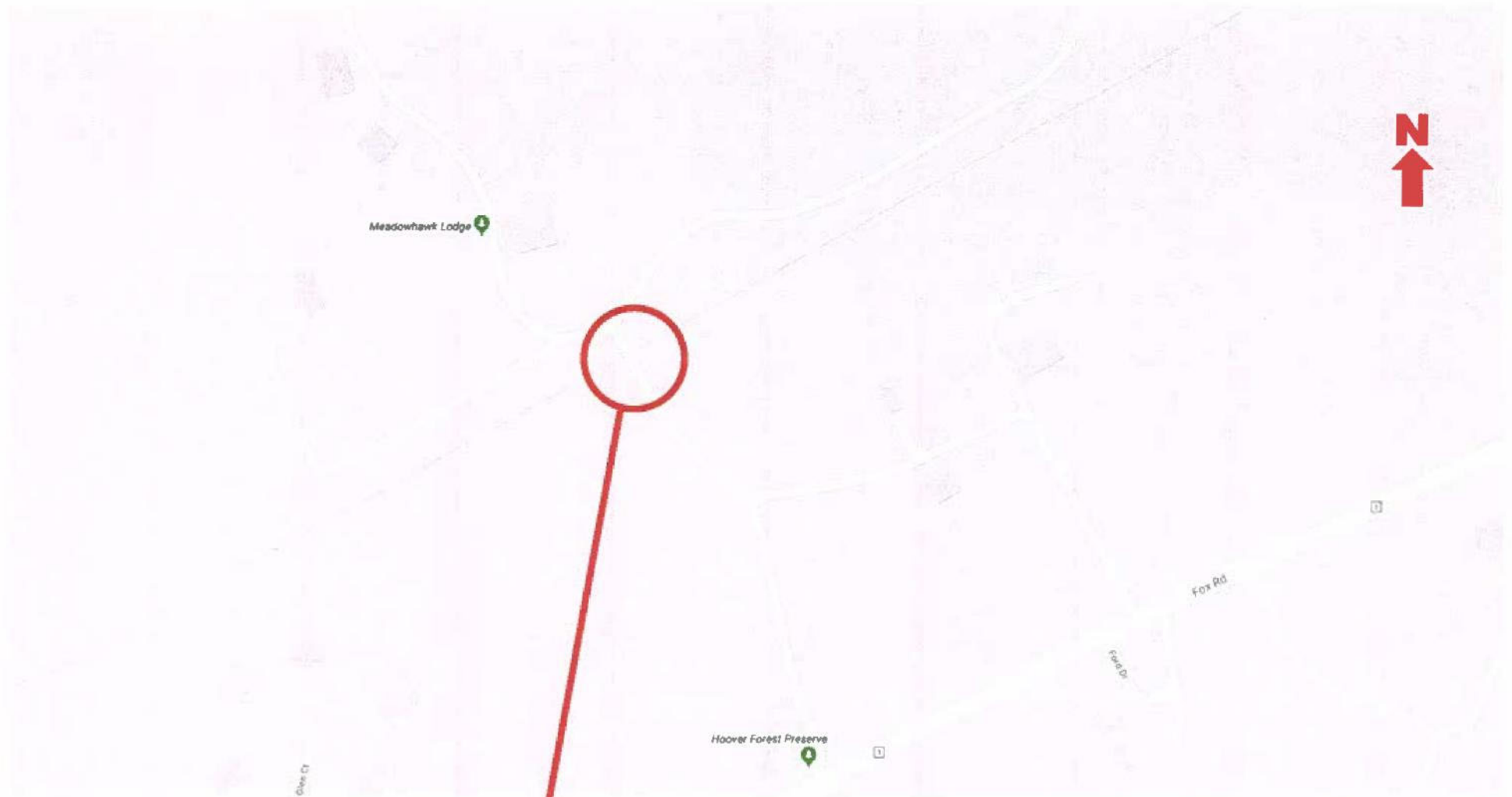
252 Clayton Street, 4th Floor
Denver, CO 80206
(303) 398-4549
krose@omnitrax.com

United City of Yorkville

Eric Dhuse, Director of Public Works
800 Game Farm Road
Yorkville, Illinois 60560
(630) 553-4349
edhuse@yorkville.il.us

SUBMIT ALL BILLS FOR THE STATE'S SHARE TO:

Illinois Department of Transportation
Attn: Fiscal Control Unit
Bureau of Local Roads and Streets
2300 S. Dirksen Parkway
Springfield, IL 62764



Location Map

Hoover Drive at Illinois Railway, LLC Tracks
LPA: United City of Yorkville
County: Kendall
Section No.: 13-F3001-00-SP
Job No.: C-93-036-14
Project No.: 0093(015)
AAR DOT: 065039J
RR Milepost: 51.45

EXHIBIT B

**ILLINOIS DEPARTMENT OF TRANSPORTATION
BUY AMERICA**

CERTIFICATE OF COMPLIANCE

Agreement No.

Job No.

C-93-036-14

WE, Illinois Railway, LLC
(UTILITY/RAILROAD OWNER)

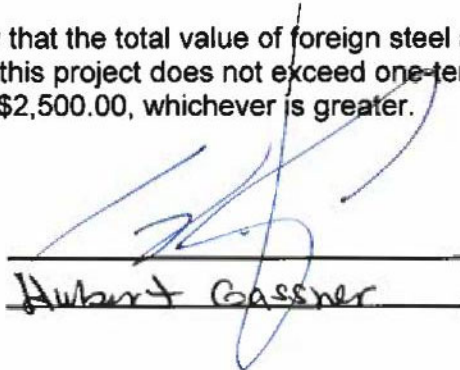
Address: 430 West Madison Street, Ottawa, Illinois 61350

Hereby certify that we are in compliance with the "Buy America" requirements of this project.

As required, we will maintain all records and documents pertinent to the Buy America requirement, at the address given above, for not less than 3 years from the date of project completion and acceptance. These file will be available for inspection and verification by the Department and/or FHWA.

We further certify that the total value of foreign steel as described in the Buy America requirements for this project does not exceed one-tenth of one percent (0.1%) of the total contract price or \$2,500.00, whichever is greater.

Signed by
Printed Name


Hubert Gassner

Title

Manager

26th day of March, 2019

EXHIBIT C
TIN CERTIFICATION

The COMPANY certifies that:

1. The number shown on this form is the COMPANY's correct taxpayer identification number (or the COMPANY is waiting for a number to be issued to them), and
2. The COMPANY is not subject to backup withholding because: (a) the COMPANY is exempt from backup withholding, or (b) the COMPANY has not been notified by the Internal Revenue Service (IRS) that the COMPANY is subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified the COMPANY, that the COMPANY is no longer subject to back-up withholding, and
3. The COMPANY's person with signatory authority for this Agreement is a U. S. person (including a U.S. resident alien).

Taxpayer Identification Number:

75-2731057

Legal Status

- | | |
|---|---|
| <input type="checkbox"/> Individual | <input type="checkbox"/> Government |
| <input type="checkbox"/> Sole Proprietor | <input type="checkbox"/> Nonresident Alien |
| <input type="checkbox"/> Partnership/Legal Corporation | <input type="checkbox"/> Estate or Trust |
| <input type="checkbox"/> Tax-exempt | <input type="checkbox"/> Pharmacy (Non Corp.) |
| <input type="checkbox"/> Corporation providing or billing medical and/or health care services | <input type="checkbox"/> Pharmacy/Funeral home /Cemetery |
| <input type="checkbox"/> Corporation NOT providing or billing medical and/or health care services | <input checked="" type="checkbox"/> Limited Liability Company (select applicable tax classification) |
| <input type="checkbox"/> Other _____ | <input checked="" type="checkbox"/> D= Disregarded entity |
| | <input type="checkbox"/> C= Corporation |
| | <input type="checkbox"/> P= Partnership |



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Planning and Zoning Commission #1

Tracking Number

PZC 2018-18 and EDC 2018-77

Agenda Item Summary Memo

Title: Heartland 3rd PUD Amendment

Meeting and Date: City Council – May 14, 2019

Synopsis: Text amendment to the Heartland Planned Unit Development reducing a side yard

Setback on Lot 187 from 20 feet to 10 feet.

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Vote

Submitted by: Jason Engberg, AICP Community Development
Name Department

Agenda Item Notes:

See attached memo.



Memorandum

To: City Council
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti J. Barksdale-Noble, Community Development Director
Date: April 3, 2019
Subject: **PZC 2018-18 Heartland 3rd PUD Amendment**

REQUEST:

The petitioner, Marker Inc., is requesting an amendment to the Heartland Subdivision Planned Unit Development to reduce the interior side yard setback from twenty (20) feet to ten (10) feet on Lot 187 of the subdivision. The purpose for this request is to allow more room to construct a new office complex on the site. The petitioner originally requested to increase the maximum allowable height of a permitted fence in a business district from six (6) feet to eight (8) feet but has since redacted that request. Lot 187 is generally located at the southwest corner of the intersection of US Route 34 and McHugh Road. This item has been continued since the December Planning and Zoning Commission meeting. Please see the attached documents for more details.

DEVELOPMENT PROCESS:

The petitioner first submitted their materials in August 2018 and the request was reviewed by the Economic Development Committee (EDC) at the November 6, 2018 meeting. The EDC raised safety concerns about the potential access point along McHugh Road and suggested a connection with the existing Casey's General Store for ingress and egress. The public hearing for the request was held at the January 9, 2019 Planning and Zoning Commission (PZC) meeting. The Commission also recommended that the petitioner request access off of the Casey's parcel to ensure safety for vehicles and pedestrians. The public hearing was closed but the PZC requested that the petitioner contact Casey's before they made their recommendation. Between January and March of 2019, the petitioner and staff reached out to all known contacts from the Casey's project. No response was given since November 2018, and therefore the conclusion was that Casey's was not interested in providing access to their property.

PLANNING AND ZONING COMMISSION:

The Planning and Zoning Commission held a public hearing for the proposed text amendment to the Heartland Planned Unit Development Ordinance on January 9, 2019. The commission made the following action on the motion below:

Based on information provided by staff in memorandums dated December 6, 2018, February 6, 2019, and March 6, 2019 and testimony presented during a Public Hearing on January 9, 2019 and the standards for PUD approval and amendment, the Planning and Zoning Commission recommends approval of an amendment to the Heartland Annexation and Planned Unit Development Agreement to reduce the side yard setback from twenty (20) feet to ten (10) feet and further subject to construction not to exceed 2 stories and a fence not to exceed 6 feet.

Action Item:

Marcum=yes, Olson=yes, Vinyard=yes, Williams=yes, Horaz=no, Harker=yes.

5 ayes; 1 no

Attachments

1. EDC Memorandum w/ attachments (10-18-18)
2. PZC Memorandum w/ attachments (12-6-18)
3. PZC Memorandum (3-6-19)
4. Public Hearing Notice
5. Draft Ordinance



Memorandum

To: Economic Development Committee
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti J. Barksdale-Noble, Community Development Director
Date: October 28, 2018
Subject: **PZC 2018-18 Heartland 3rd PUD Amendment**

BACKGROUND & REQUEST:

The petitioner, Marker Inc., is requesting an amendment to the Heartland Subdivision Planned Unit Development to reduce the interior side yard setback from twenty (20) feet to ten (10) feet on Lot 187 of the subdivision. Additionally, the petitioner is requesting to increase the maximum allowable height of a permitted fence in a business district from six (6) feet to eight (8) feet. This memorandum explains the existing conditions of the site, the request being made, and staff's recommendations regarding the request.

EXISTING CONDITIONS:

Location

Lot 187 of the Heartland Subdivision is located at the southwest corner of McHugh Road and US Route 34 (Veterans Parkway). While the property is closest to the Heartland Center Commercial Development, this parcel was included for commercial use as part of the Heartland subdivision. Therefore, the language and agreements in the Heartland Subdivision Annexation Agreement apply to this property.



Zoning & Land Uses

The subject property is currently zoned B-3 General Business District. The following are the current immediate surrounding zoning and land uses:

	Zoning	Land Use
North	B-3 General Business District	US 34/Undeveloped Land
South	R-3 Kendall County	McHugh Rd/Unincorporated Residential
East	B-3 General Business District	McHugh Rd/Heartland Center
West	B-3 General Business District	Casey's Gas Station and Convenience Store

Annexation & PUD Agreement:

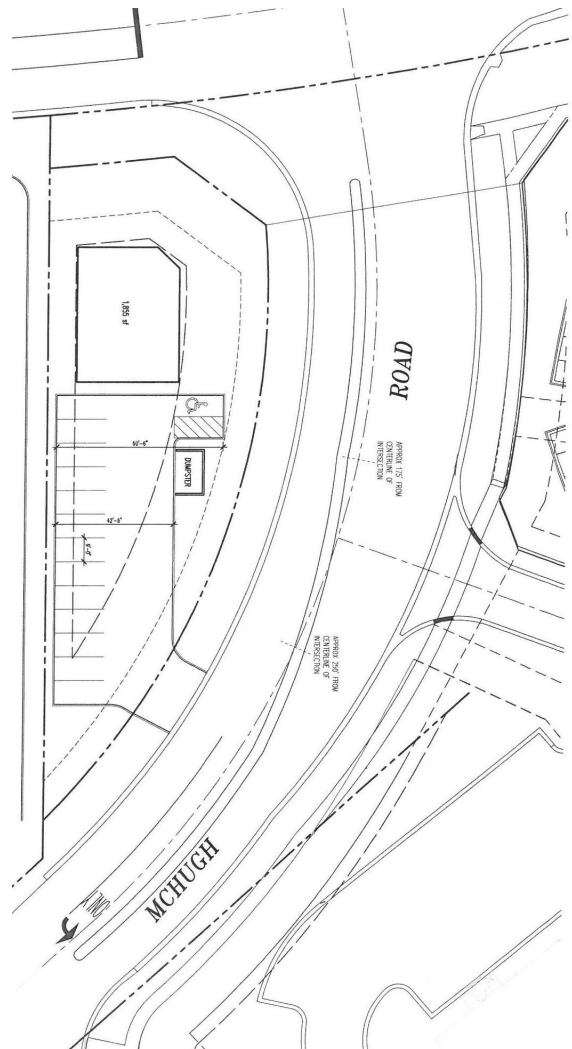
The petitioner is requesting to amend Ordinance 1999-30 (Approving Annexation and PUD). This will be the 3rd amendment to the annexation agreement as Ordinance 2001-44 and Ordinance 2005-05 were the first and second amendments, respectively. Since the Annexation Agreement and the PUD Agreement are a single document, the request will have to go through a public hearing process and be reviewed by the Planning and Zoning Commission as a PUD Agreement Amendment.

PETITIONER REQUEST:

The petitioner submitted their application for a Planned Unit Development (PUD) amendment on August 22, 2018. Their application states that they would like to reduce the interior side yard setback (located on the west side of the property) from twenty (20) feet to ten (10) feet. The submitted conceptual site plan for this property is illustrated in the exhibit to the right.

The petitioner also requested permission to either reduce the median within McHugh Road near the subject property to make it a mountable median or request the City remove the median from the property to the south terminus of the median. The petitioner states that the current median creates unnecessary and additional traffic going through adjacent properties for vehicles performing a north traffic movement to Route 34.

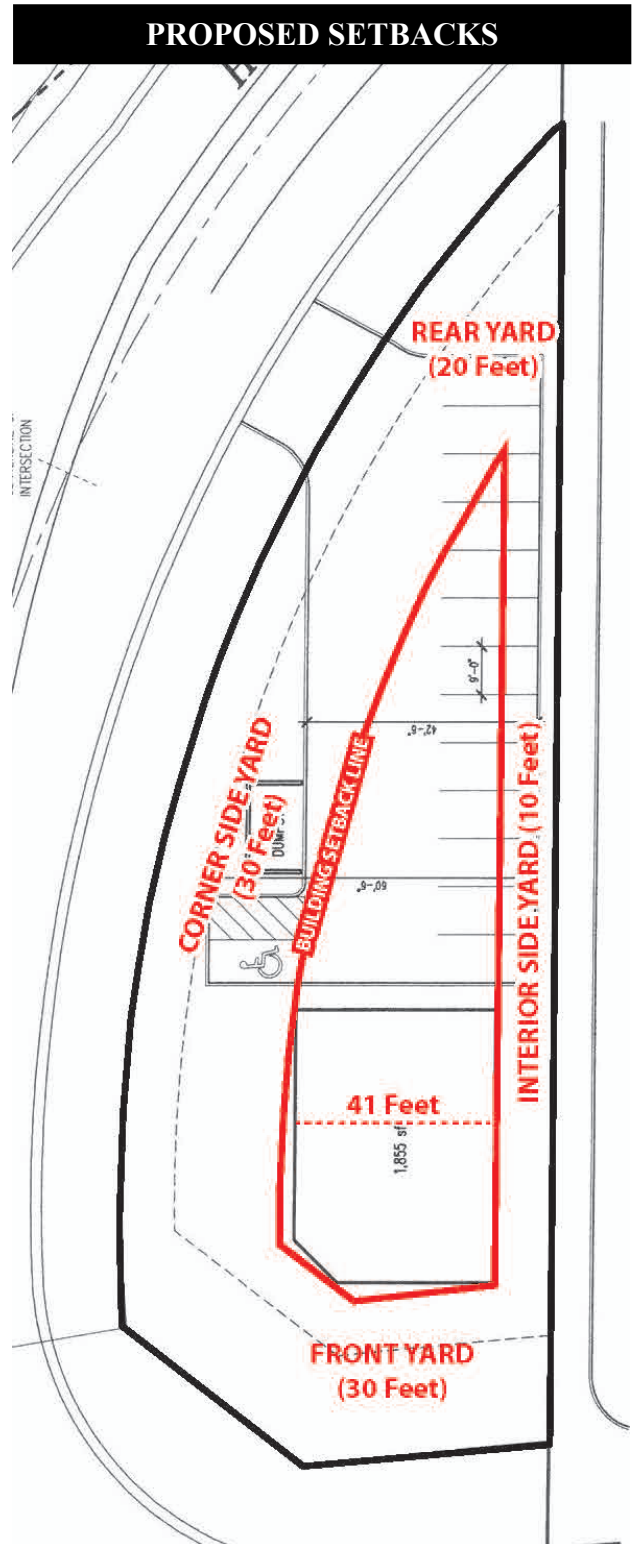
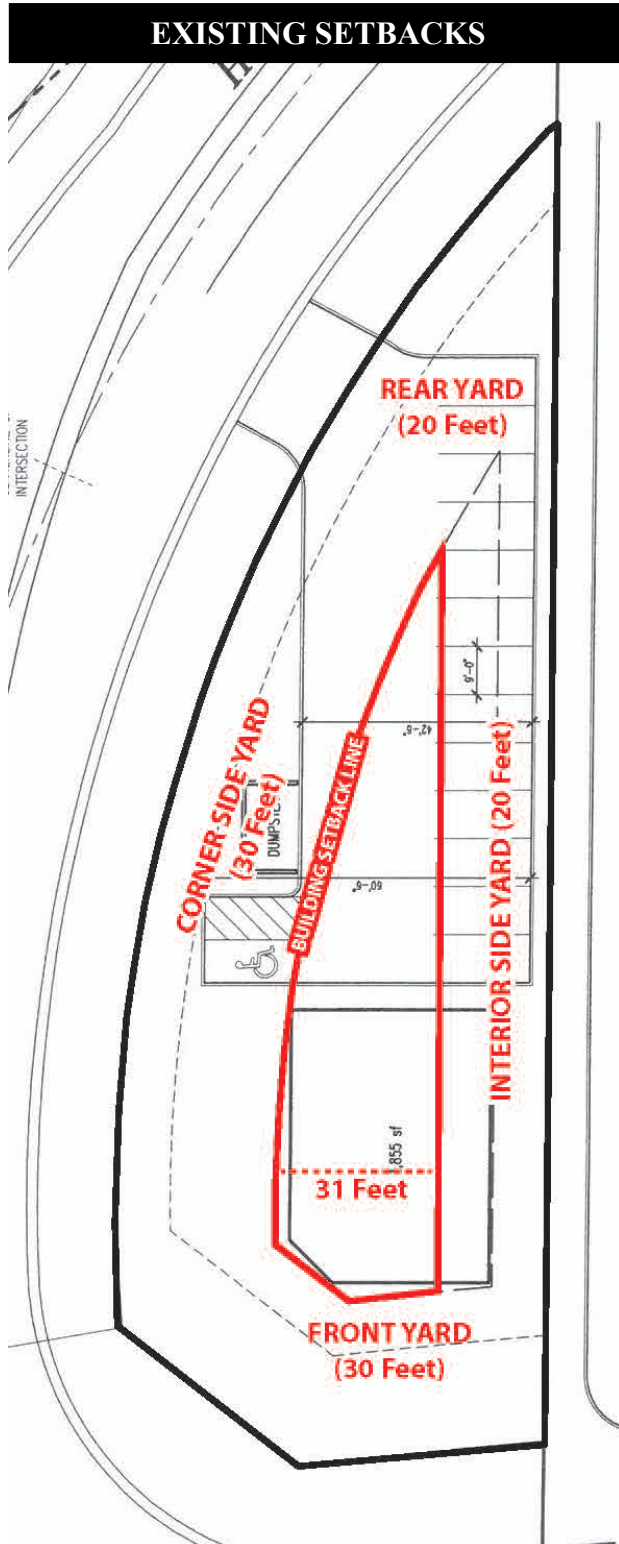
Staff reviewed the initial requests with the petitioner at a Plan Council Meeting on September 27, 2018. Staff provided our comments and concerns about the requests which will be covered in detail within this memorandum. Several weeks after the Plan Council meeting, the petitioner asked to also include a request to increase the maximum height of an interior side yard fence to eight (8) feet. Table 10.17.02 in Chapter 17 of the City's Zoning Ordinance states, a fence in a business district may be a maximum of six (6) feet. Staff has included this request in the public hearing notice for the petitioner's scheduled hearing on November 14, 2018. It should be noted that this request was not reviewed at the Plan Council meeting.



STAFF REVIEW:

Yard Comparison

The graphics below illustrate the difference between the buildable areas with the existing setbacks and the proposed setbacks.



Bulk Regulations

The following table describes the bulk regulations in the B-3 Zoning District in relation to the submitted conceptual site plan:

	B-3 Required	Proposed/Notes
Maximum Height	80' or 6 stories	Concept Plan does not show overall height
Maximum Lot Coverage	80%	Concept Plan does not show calculated lot coverage
Front Yard Setback	50'	Ord. 1999-30 established a Front Yard Setback of 30' The Concept plan does not show this distance
Side Yard Setback	20'	This is being proposed to be reduced to 10' The Concept plan does not show this distance
Corner Side Yard Setback	30'	The Concept plan does not show this distance
Rear Yard Setback	20'	The Concept plan does not show this distance

Staff is requesting the petitioner to submit a revised site plan which details all required bulk regulations to ensure compliance with the City's Zoning Ordinance. A visual or 3D graphic showing how the structure will look adjacent to other developments is also being requested.

Parking

The Concept Plan indicates that there are a total of 14 parking spaces including an ADA parking space. Section 10-16-3-F of the City's Zoning Ordinance states that general retail shall provide 3 parking spaces per 1,000 square feet of floor area and office uses shall provide 2 parking spaces per 1,000 square feet of floor area. The Concept Plan indicates that the building will have a floor area of 1,855 square feet. A total of 6 parking spots are required for a single story building of this size.

The petitioner must indicate the number of stories for the proposed structure. A two story building of this size would still meet parking standards, however a three story building will not meet parking requirements.

Lighting

A photometric plan indicating that the maximum illumination at the property line shall not exceed 0.1 foot-candle and no glare shall spill onto adjacent properties or rights of way must be provided by the petitioner.

Median Reduction or Removal

At the Plan Council meeting, City staff and the City's engineering consultant informed the petitioner that neither would support the removal or reduction of the median on McHugh Road. The amount of nearby ingress and egress points along McHugh Road and the turn lanes from McHugh Road onto US Route 34 make the median necessary for safety purposes. Once the petitioner was made aware of the safety concerns and the City's opposition to the request, the petitioner has decided not to move forward with the request being put into the PUD amendment request.

Fencing

The petitioner is requesting to increase the height of an interior side yard fence on the west side of the property to eight (8) feet. The petitioner has not provided any details as to why they need to increase the overall height and therefore staff is not supportive approval of this request. If the petitioner provides information regarding any hardships the property creates and the need for additional screening height, then staff will review the details and may possibly change their recommendation. Further, it is staff's recommendation to have the parking lot of this proposed development and the adjacent gas station development connect for cross access to allow ease of vehicular circulation on such an oddly shaped lot and provide the necessarily secondary ingress and egress points for emergency vehicles.

Comprehensive Plan

The 2016 Comprehensive Plan designates the future land use for this property as Mid-Density Residential. The purpose behind this designation was to acknowledge the existing residential apartment complex adjacent to this property. The apartment complex has been removed and replaced with the Casey's General Store. The Comprehensive Plan shows adjacent properties are designated for neighborhood retail and commercial development along Route 34 is of high priority within the plan. The proposed office use is not consistent with the designated future land use in the Comprehensive Plan and is not a neighborhood retail use.

Vehicle Access & Circulation

After reviewing the submitted conceptual site plan, staff is concerned about the potential access and circulation of vehicle traffic at this location. The only access point is located along McHugh Road and will be a "right-in, right-out" intersection. The petitioner stated that they may be able to widen the access drive and add a median to accommodate larger vehicles, such as fire trucks, to ensure there is no backup in case of emergency. While this may help alleviate some concerns, staff is recommending that the site provide a connection to the adjacent property to the west, Casey's General Store, to ensure that access can be obtained from US Route 34 and McHugh Road.

Additionally, the City's engineering consultant noted the access point may be too close to the existing US Route 34 intersection and will need to verify that it meets all City standards for location of an access driveway as part of the final engineering review.

STAFF COMMENTS:

Staff is seeking comments from the Economic Development Committee on this subject. This request is tentatively scheduled to for a public hearing before the Planning and Zoning Commission at the November 14, 2018 meeting for formal recommendation. This item is being brought to the Economic Development Committee for review but the public hearing may be postponed until all of the comments in this memorandum and feedback from the committee has been addressed by the petitioner.

ATTACHMENTS:

1. Petitioner Application
2. EEI September 25, 2018 Review Memo

Application For Amendment

STAFF USE ONLY

Date of Submission PC#

Development Name

Applicant Information

Name of Applicant(s)

Business Address

City State ZIP

Business Phone Business Fax

Business Cell Business E-mail

Property Information

Name of Holder of Legal Title

If Legal Title is held by a Land Trust, list the names of all holders of any beneficial interest therein:

Property Street Address

Description of Property's Physical Location

Zoning and Land Use of Surrounding Parcels

North	B-3 General Business District
East	B-3 General Business District
South	County R-3
West	B-3 General Business District

Current Zoning Classification

Kendall County Parcel Number(s) of Property

02-28-252-013	

List all governmental entities or agencies required to receive notice under Illinois law:

Application For Amendment

Property Information

Name of Agreement

Date of Recording

Summarize the items to be amended from the existing agreement:

Additional Contact Information

Attorney

Name

Address

City State ZIP

Phone Fax

E-mail

Engineer

Name

Address

City State ZIP

Phone Fax

E-mail

Land Planner/Surveyor

Name

Address

City State ZIP

Phone Fax

E-mail

Application For Amendment

Attachments

Applicant must attach a legal description of the property to this application and title it as "Exhibit A".

Applicant must list the names and addresses of any adjoining or contiguous landowners within 500 feet of the property that are entitled notice of application under any applicable City Ordinance or State Statute. Attach a separate list to this application and title it as "Exhibit B".

Applicant must attach a true and correct copy of the existing agreement and title it as "Exhibit C".

Applicant must attach amendments from the existing agreement and title it as "Exhibit D".

Agreement

I verify that all the information in this application is true to the best of my knowledge. I understand and accept all requirements and fees as outlined as well as any incurred administrative and planning consultant fees which must be current before this project can proceed to the next scheduled committee meeting.

I understand all of the information presented in this document and understand that if an application becomes dormant it is through my own fault and I must therefore follow the requirements outlined above.

Applicant Signature

x *Samuel Mackin*

Date

8/22/18

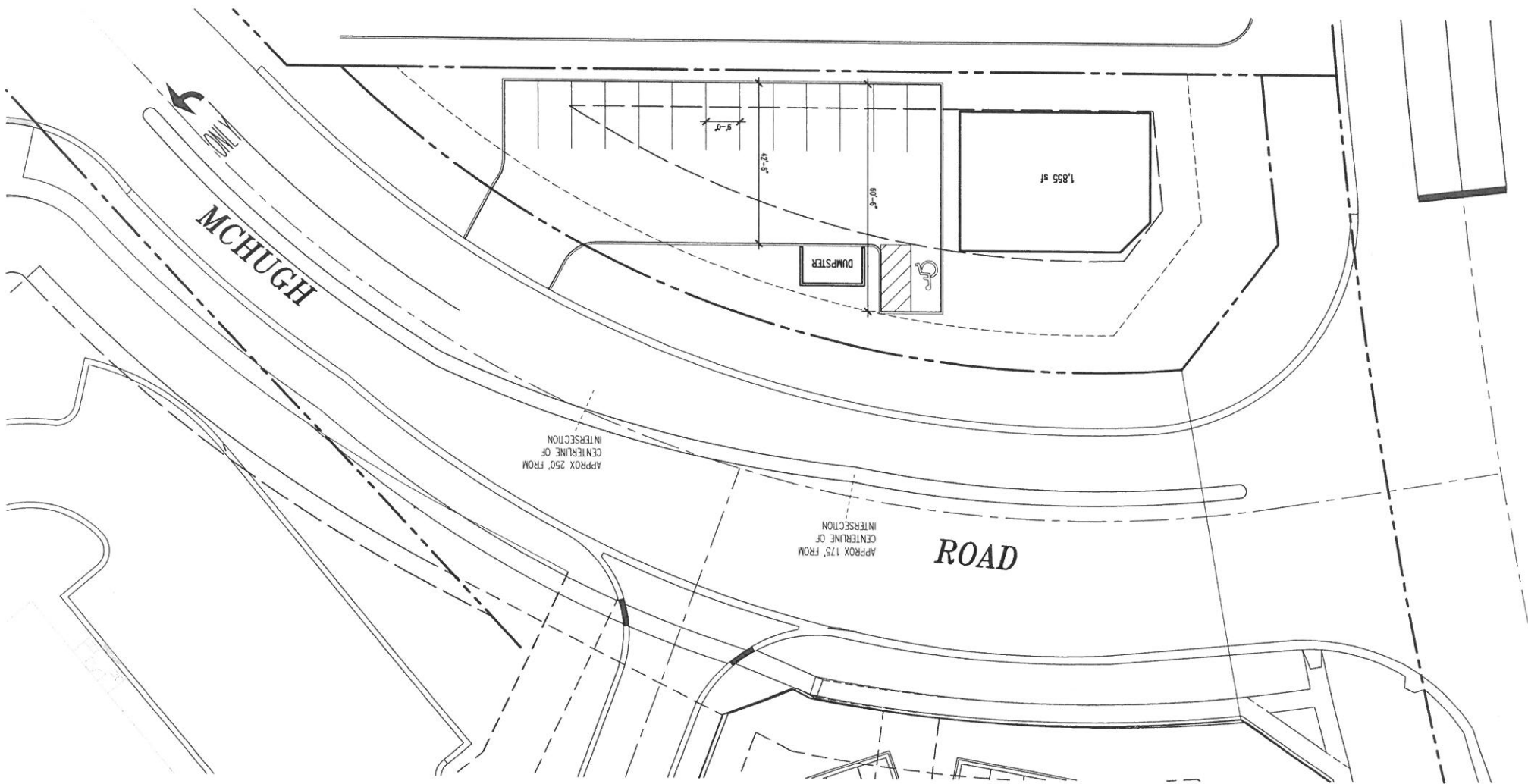
Marking Inc

By: *[Signature]*

THIS APPLICATION MUST BE NOTARIZED
PLEASE NOTARIZE IN THE SPACE BELOW:

Petitioner requests to amend the western building setback line from 20 feet to 10 feet in width adjacent to the existing Casey's Gas Station in order to permit a retail/office building that would meet all other setbacks pursuant to Section B.2 of the PUD Agreement which adopts The United City of Yorkville Subdivision Control Ordinance that provides for a 20 foot side/rear setback.

Petitioner also requests permission to either reduce the median at the driveway location of Petitioners site as shown in the attached diagram to make the same a drive-over median at that location or in the alternative the City consider removing the median from the property to the south terminus of the median. As it is currently located the median creates unnecessary and additional traffic going thru the daycare and Marker Office Building for vehicles performing a north traffic movement to Route 34. If a traffic study were observed by the Engineer for the City, it would show the stacking of the turn lanes to be more than sufficient; and elevation of the median from the Veterans Way Center South would lessen the traffic flow near the Daycare center and the nearby residential Subdivision.





United City of Yorkville
800 Game Farm Road
Yorkville, Illinois 60560
Telephone: 630-553-4350
Fax: 630-553-7575

**INVOICE & WORKSHEET
PETITION APPLICATION**

CONTACT:

Marker, Inc.
608 E. Veterans Pkwy. Ste D
Yorkville, IL 60560

DEVELOPMENT/ PROPERTY:

Heartland Center
Acreage: 15,559 sq. ft.
Date: 8/21/18

Concept Plan Review: ☐ Yes ☐ No
Engineering Plan Review Deposit of \$500 due

\$ _____

Amendment: ☒ Yes ☐ No
\$500.00 Fee due for each: (Annexation) (Plan) (Plat) (PUD)

\$500.00

Annexation: ☐ Yes ☐ No
\$250.00, plus \$10/acre for each acre over 5.
of acres: _____ - 5 = _____ x \$10 = _____ + \$250

\$ _____

Rezoning: ☐ Yes ☐ No
\$200.00, plus \$10/acre for each acre over 5.
of acres: _____ - 5 = _____ x \$10 = _____ + \$200
If annexing and rezoning, charge only 1 per acre fee.
If rezoning to a PUD, charge PUD Development Fee- not Rezoning Fee.

\$ _____

Special Use: ☐ Yes ☐ No
\$250.00, plus \$10/acre for each acre over 5.
of acres: _____ - 5 = _____ x \$10 = _____ + \$250

\$ _____

Zoning Variance: \$85.00 ☐ Yes ☐ No
Outside Consultants deposit of \$500.00 due

\$ _____

Preliminary Plan Fee: \$500.00 ☐ Yes ☐ No

\$ _____

P.U.D. Fee: \$500.00 ☒ Yes ☐ No

\$500.00

Final Plat Fee: \$500.00 ☐ Yes ☐ No

\$ _____

Engineering Plan Review Deposit: ☐ Yes ☐ No

\$1,000.00

☒ Less than 1 acre = \$1,000 due
☐ Over 1 acre and less than 10 acres = \$2,500 due
☐ Over 10 acres and less than 40 acres = \$5,000 due
☐ Over 40 acres and less than 100 acres = \$10,000 due
☐ Over 100 acres = \$20,000 due

Outside Consultants Deposit: ☐ Yes ☐ No
Legal, Land Planner, Zoning Coordinator, Environmental Services
Annexation, Subdivision, Rezoning, and Special Use:

\$1,000.00

☒ Less than 2 acres = \$1,000 due
☐ Over 2 acres and less than 10 acres = \$2,500 due
☐ Over 10 acres = \$5,000 due

TOTAL AMOUNT DUE:

\$3,000.00

Word/ O Drive/ Dev. Dep. ARO/ Fee Sheet Wkst



United City of Yorkville
County Seat of Kendall County
800 Game Farm Road
Yorkville, Illinois, 60560
Telephone: 630-553-4350
Fax: 630-553-7575
Website: www.yorkville.il.us

Petitioner Deposit Account / Acknowledgment of Financial Responsibility

Development/Property Address: Marker, Inc.	Project No.: FOR CITY USE ONLY	Fund Account No.: FOR CITY USE ONLY												
Petition/Approval Type: <i>check appropriate box(es) of approval requested</i> <table style="width:100%"><tr><td><input type="checkbox"/> Concept Plan Review</td><td><input type="checkbox"/> Amendment (Text) (Annexation) (Plat)</td><td><input type="checkbox"/> Annexation</td></tr><tr><td><input type="checkbox"/> Rezoning</td><td><input type="checkbox"/> Special Use</td><td><input type="checkbox"/> Mile and 1/2 Review</td></tr><tr><td><input type="checkbox"/> Zoning Variance</td><td><input type="checkbox"/> Preliminary Plan</td><td><input type="checkbox"/> Final Plans</td></tr><tr><td><input checked="" type="checkbox"/> P.U.D.</td><td><input type="checkbox"/> Final Plat</td><td></td></tr></table>			<input type="checkbox"/> Concept Plan Review	<input type="checkbox"/> Amendment (Text) (Annexation) (Plat)	<input type="checkbox"/> Annexation	<input type="checkbox"/> Rezoning	<input type="checkbox"/> Special Use	<input type="checkbox"/> Mile and 1/2 Review	<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Preliminary Plan	<input type="checkbox"/> Final Plans	<input checked="" type="checkbox"/> P.U.D.	<input type="checkbox"/> Final Plat	
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<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Preliminary Plan	<input type="checkbox"/> Final Plans												
<input checked="" type="checkbox"/> P.U.D.	<input type="checkbox"/> Final Plat													
Petitioner Deposit Account Fund: It is the policy of the United City of Yorkville to require any petitioner seeking approval on a project or entitlement request to establish a Petitioner Deposit Account Fund to cover all actual expenses occurred as a result of processing such applications and requests. Typical requests requiring the establishment of a Petitioner Deposit Account Fund include, but are not limited to, plan review of development approvals/engineering permits. Deposit account funds may also be used to cover costs for services related to legal fees, engineering and other plan reviews, processing of other governmental applications, recording fees and other outside coordination and consulting fees. Each fund account is established with an initial deposit based upon the estimated cost for services provided in the INVOICE & WORKSHEET PETITION APPLICATION . This initial deposit is drawn against to pay for these services related to the project or request. Periodically throughout the project review/approval process, the Financially Responsible Party will receive an invoice reflecting the charges made against the account. At any time the balance of the fund account fall below ten percent (10%) of the original deposit amount, the Financially Responsible Party will receive an invoice requesting additional funds equal to one-hundred percent (100%) of the initial deposit if subsequent reviews/fees related to the project are required. In the event that a deposit account is not immediately replenished, review by the administrative staff, consultants, boards and commissions may be suspended until the account is fully replenished. If additional funds remain in the deposit account at the completion of the project, the city will refund the balance to the Financially Responsible Party. A written request must be submitted by the Financially Responsible Party to the city by the 15 th of the month in order for the refund check to be processed and distributed by the 15 th of the following month. All refund checks will be made payable to the Financially Responsible Party and mailed to the address provided when the account was established.														
<u>ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY</u>														
Name/Company Name: Marker, Inc.	Address: 608 E. Veterans Pkwy., Ste. 1D	City: Yorkville State: Illinois Zip Code: 60560												
Telephone: 630-553-3322	Mobile:	Fax: 630-553-5736 E-mail: gjmarker@hotmail.com												
Financially Responsible Party: I acknowledge and understand that as the Financially Responsible Party, expenses may exceed the estimated initial deposit and, when requested by the United City of Yorkville, I will provide additional funds to maintain the required account balance. Further, the sale or other disposition of the property does not relieve the individual or Company/Corporation of their obligation to maintain a positive balance in the fund account, unless the United City of Yorkville approves a Change of Responsible Party and transfer of funds. Should the account go into deficit, all City work may stop until the requested replenishment deposit is received. Print Name: <u>Pamela Marker</u> Title: _____ Signature*: <u>[Signature]</u> Date: <u>8/22/18</u>														
<i>*The name of the individual and the person who signs this declaration must be the same. If a corporation is listed, a corporate officer must sign the declaration (President, Vice-President, Chairman, Secretary or Treasurer)</i>														
<u>FOR CITY USE ONLY</u>														
ACCOUNT CLOSURE AUTHORIZATION: Date Requested: _____ <input type="checkbox"/> Completed <input type="checkbox"/> Inactive Print Name: _____ <input type="checkbox"/> Withdrawn <input type="checkbox"/> Collections Signature: _____ <input type="checkbox"/> Other														
DEPARTMENT ROUNTING FOR AUTHORIZATION: <input type="checkbox"/> Comm Dev. <input type="checkbox"/> Building <input type="checkbox"/> Engineering <input type="checkbox"/> Finance <input type="checkbox"/> Admin.														



AFTER RECORDING RETURN TO:

MAIL TAX BILLS TO:

PAMELA S. MARKER, 1626
MISTWOOD DRIVE, NAPERVILLE,
ILLINOIS 60540

201000006839

DEBBIE
GILLETTE
KENDALL COUNTY, IL

RECORDED: 4/15/2010 10:17 AM
OCD: 49.00 RHSPS FEE: 10.00
PAGES: 2

THIS INSTRUMENT PREPARED BY:

RICHARD MARKER ASSOCIATES,
INC., 728 E. VETERANS PARKWAY,
YORKVILLE, ILLINOIS 60560

QUIT CLAIM DEED

THIS INDENTURE WITNESSETH, that THE GRANTOR, Richard Marker Associates, Inc., an Illinois Corporation, for and in consideration of the sum of TEN and NO/100 DOLLARS (\$10.00), and other good and valuable consideration, receipt of which is hereby duly acknowledged, Conveys and Quit-claims to Pamela S. Marker of the County of DuPage and the State of Illinois, all interest in the following described real estate in the United City of Yorkville, County of Kendall and State of Illinois, to-wit:

LOT 187 IN HEARTLAND IN YORKVILLE UNIT 1, BEING A SUBDIVISION OF PART OF THE WEST HALF OF SECTION 27 AND PART OF THE EAST HALF OF SECTION 28, TOWNSHIP 37 NORTH RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN BRISTOL TOWNSHIP, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 16, 2001 AS DOCUMENT NO. 200100002570 IN KENDALL COUNTY, ILLINOIS.

The above real estate is not a Homestead property.

Permanent Real Estate Index Number: 02-27-356-002

Common Address of real estate: SOUTHWEST CORNER OF VETERANS PARKWAY AND McHUGH ROAD IN YORKVILLE, IL.

Dated this 14th day of APRIL, 2010

Grantor: Richard Marker Associates, Inc.

By: Richard Marker

Richard Marker, President



September 25, 2018

Ms. Krysti Barksdale-Noble
Community Development Director
United City of Yorkville
800 Game Farm Road
Yorkville, IL 60560

**Re: Heartland Unit 1 – Lot 187
PUD Amendment Request
United City of Yorkville, Kendall County, Illinois**

Dear Krysti:

We have reviewed the following items for the above referenced project:

- Application for Amendment w/ attachments (10 pages) dated August 22, 2018 and prepared by Marker, Inc.

Our review of these plans is to generally determine their compliance with local ordinances and whether the improvements will conform to existing local systems and equipment. This review and our comments do not relieve the designer from his duties to conform to all required codes, regulations, and acceptable standards of engineering practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review, we cannot and do not assume responsibility for design errors or omissions in the plans. As such, we offer the following comments:

General


1. We do not object to the reduction in the rear yard setback from 20 feet to 10 feet, as it is adjacent to the Casey's parking/drive area. All other zoning, engineering, and landscaping requirements must be met.
2. We do not support changes to the median along McHugh Road as it would conflict with several turning movements.
3. For the project to proceed, the following shall be submitted to the United City of Yorkville for review during the final engineering process:
 - a) Final Engineering Plans
 - b) Lighting/Photometric Plan
 - c) Landscape Plan

- d) Engineer's Opinion of Probable Construction Cost for public improvements including earthwork, stormwater management, erosion control and work within the road ROW.
 - e) Engineer's Opinion of Probable Construction Cost for all improvements.
4. A single lot development checklist is attached.
 5. A Stormwater Permit and stormwater management report including all required runoff and detention calculations is required for development. Since the proposed site improvements is a non-residential parcel with less than 3 acres in area and resulting in disturbance of more than 5,000 square feet and resulting in 25% or more of the site area as impervious surface, detention will be required. (Section 203.1.c of the Kendall County Stormwater Ordinance).
 6. We have reviewed the available wetland inventory maps and the regulatory floodplain maps and found no issues. This should be confirmed at the project moves in to final engineering.
 7. The acceptability of the amount of parking stalls that are provided will need to be confirmed by the City.
 8. The proposed driveway entrance does not appear to comply with the City Ordinance. This shall be confirmed/revised during engineering.

The design engineer should make the necessary revisions and resubmit for further review.

Respectfully Submitted,

ENGINEERING ENTERPRISES, INC.


Bradley P. Sanderson, P.E.
Vice President

BPS/TAM

pc: Mr. Bart Olson, City Administrator (via email)
Ms. Erin Willrett, Assistant City Administrator (via email)
Mr. Jason Engberg, Senior Planner (via email)
Mr. Eric Dhuse, Director of Public Works (via email)
Mr. Pete Ratosh, Building Department (via email)
Ms. Dee Weinert, Admin Assistant (via email)
Ms. Lisa Pickering, Deputy Clerk (via email)
JAM, EEI (Via e-mail)

UNITED CITY OF YORKVILLE

GENERAL CHECKLIST FOR COMMERCIAL SITE PLANS/SINGLE LOT DEVELOPMENTS

- PROFESSIONAL ENGINEER SIGNATURE AND SEAL ON DRAWINGS AND CALCULATIONS
- LOCATION MAP AND ADDRESS, J.U.L.I.E. NOTE INCLUDED ON PLANS
- BENCHMARKS BASED ON NAVD 88 DATUM
- EXISTING UTILITIES AND TOPOGRAPHY TO BE PROVIDED
 - ✓ EXISTING ELEVATIONS AND CONTOURS SHOWN AT 1' INTERVALS
- COMPLIANCE WITH SUBDIVISION GRADING PLAN (IF APPLICABLE) AND/OR PROVIDE PROPOSED GRADING PLAN
 - ✓ PROPOSED ELEVATIONS AND CONTOURS AT 1' INTERVALS
 - ✓ INDICATE BUILDING TOP OF FOUNDATION (2 FT. ABOVE H.W.L.)
 - ✓ STORM WATER DRAINAGE - SAFE OUTLET AVAILABLE AND ADEQUATE CONVEYANCE PROVIDED
- FLOOD PLAIN OR FLOOD WAY REQUIREMENTS TO BE ADDRESSED, IF NECESSARY
- STORM WATER MANAGEMENT
 - ✓ PER KENDALL COUNTY/YORKVILLE STORM WATER MANAGEMENT ORDINANCE
 - ✓ APPLY FOR STORM WATER PERMIT, IF NECESSARY
- PROVIDE STORM WATER POLLUTION PREVENTION (SWPP) PLAN
 - ✓ APPLY FOR NOI PERMIT, IF NECESSARY
 - ✓ NOTE THAT RECEIPT OF NPDES PERMIT REQUIRED PRIOR TO CONSTRUCTION
- PROVIDE TYPICAL PAVEMENT SECTIONS (3" BIT. WITH 10"STONE, MINIMUM)
- PAVEMENT MARKINGS AND SIGNAGE
- ENTRANCE DETAIL
- HANDICAP RAMP DETAIL (USE IDOT STANDARD)
- WATER SERVICE (**USE CITY STANDARD DETAILS AND NOTES**)
 - ✓ PROVIDE SEPARATE FIRE PROTECTION SERVICE LINE
- SANITARY SERVICE WITH INSPECTION MANHOLE (**USE YBSD STANDARD NOTES**)
- APPLY FOR APPROPRIATE IEPA PERMITS – WATER AND SANITARY, IF NECESSARY
- PROVIDE EASEMENTS, IF NECESSARY
- LANDSCAPE PLAN
- SPECIFICATIONS, AS REQUIRED
- COMPLIANCE WITH ZONING CODE
- LIGHTING ANALYSIS (PHOTOMETRIC PLAN)
- PERFORMANCE GUARANTEE FOR PUBLIC IMPROVEMENTS

STATE OF ILLINOIS)
COUNTY OF KENDALL) ss.

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY, that
RICHARD MARKER, personally known to me to be the PRESIDENT of
RICHARD MARKER ASSOCIATES, INC., and personally known to me to be the same person whose
name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that as such
PRESIDENT, he/she signed and delivered said instrument, as his/her free and voluntary act, for the uses and
purposes therein set forth.

GIVEN under my hand and notarial seal this 14th day of April, 2010

Tami C. Crisci
Notary Public

My Commission Expires: 02/09/14



THIS TRANSACTION IS EXEMPT FROM THE TRANSFER TAX UNDER 35ILCS 200/31-45, PARAGRAPH E.

Janyk April 14, 2010

LEGAL DESCRIPTION

LOT 187 IN HEARTLAND IN YORKVILLE UNIT 1, BEING A SUBDIVISION OF PART OF THE WEST HALF OF SECTION 27 AND PART OF THE EAST HALF OF SECTION 28, TOWNSHIP 37 NORTH RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN BRISTOL TOWNSHIP, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 16, 2001 AS DOCUMENT NO. 200100002570 IN KENDALL COUNTY, ILLINOIS



Memorandum

To: Planning and Zoning Commission
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti J. Barksdale-Noble, Community Development Director
Date: December 6, 2018
Subject: **PZC 2018-18 Heartland 3rd PUD Amendment (Text Amendment)**

BACKGROUND & REQUEST:

The petitioner, Marker Inc., is requesting an amendment to the Heartland Subdivision Planned Unit Development to reduce the interior side yard setback from twenty (20) feet to ten (10) feet on Lot 187 of the subdivision. Additionally, the petitioner is requesting to increase the maximum allowable height of a permitted fence in a business district from six (6) feet to eight (8) feet. This memorandum explains the existing conditions of the site, the request being made, and staff's recommendations regarding the request.

During the review process, there were several requests and comments made by staff and committee members. The petitioner is pursuing these requests but is being delayed by external forces. Once the outside issue is resolved, the petitioner will submit the requested materials. The following information is to provide the Planning and Zoning Commission with an overview of where this project currently stands.

EXISTING CONDITIONS:

Location

Lot 187 of the Heartland Subdivision is located at the southwest corner of McHugh Road and US Route 34 (Veterans Parkway). While the property is closest to the Heartland Center Commercial Development, this parcel was included for commercial use as part of the Heartland subdivision. Therefore, the language and agreements in the Heartland Subdivision Annexation Agreement apply to this property.



Zoning & Land Uses

The subject property is currently zoned B-3 General Business District. The following are the current immediate surrounding zoning and land uses:

	Zoning	Land Use
North	B-3 General Business District	US 34/Undeveloped Land
South	R-3 Kendall County	McHugh Rd/Unincorporated Residential
East	B-3 General Business District	McHugh Rd/Heartland Center
West	B-3 General Business District	Casey's Gas Station and Convenience Store

Annexation & PUD Agreement:

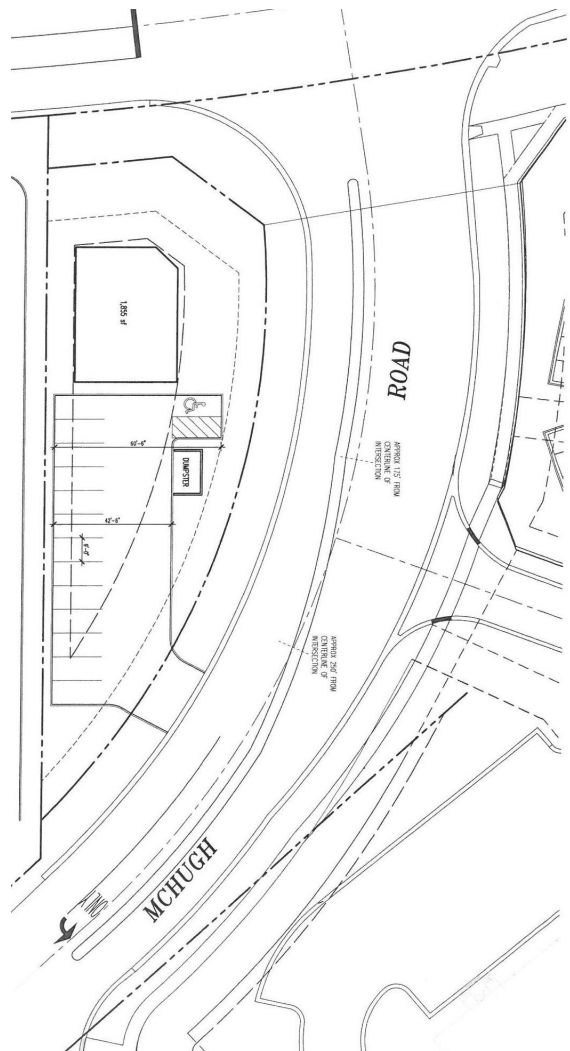
The petitioner is requesting to amend Ordinance 1999-30 (Approving Annexation and PUD). This will be the 3rd amendment to the annexation agreement as Ordinance 2001-44 and Ordinance 2005-05 were the first and second amendments, respectively. Since the Annexation Agreement and the PUD Agreement are a single document, the request must go through a public hearing process and be reviewed by the Planning and Zoning Commission as a PUD Agreement Amendment.

PETITIONER REQUEST:

The petitioner submitted their application for a Planned Unit Development (PUD) amendment on August 22, 2018. Their application states that they would like to reduce the interior side yard setback (located on the west side of the property) from twenty (20) feet to ten (10) feet. The submitted conceptual site plan for this property is illustrated in the exhibit to the right.

The petitioner also requested permission to either reduce the median within McHugh Road near the subject property to make it a mountable median or request the City remove the median from the property to the south terminus of the median. The petitioner states that the current median creates unnecessary and additional traffic going through adjacent properties for vehicles performing a north traffic movement to Route 34.

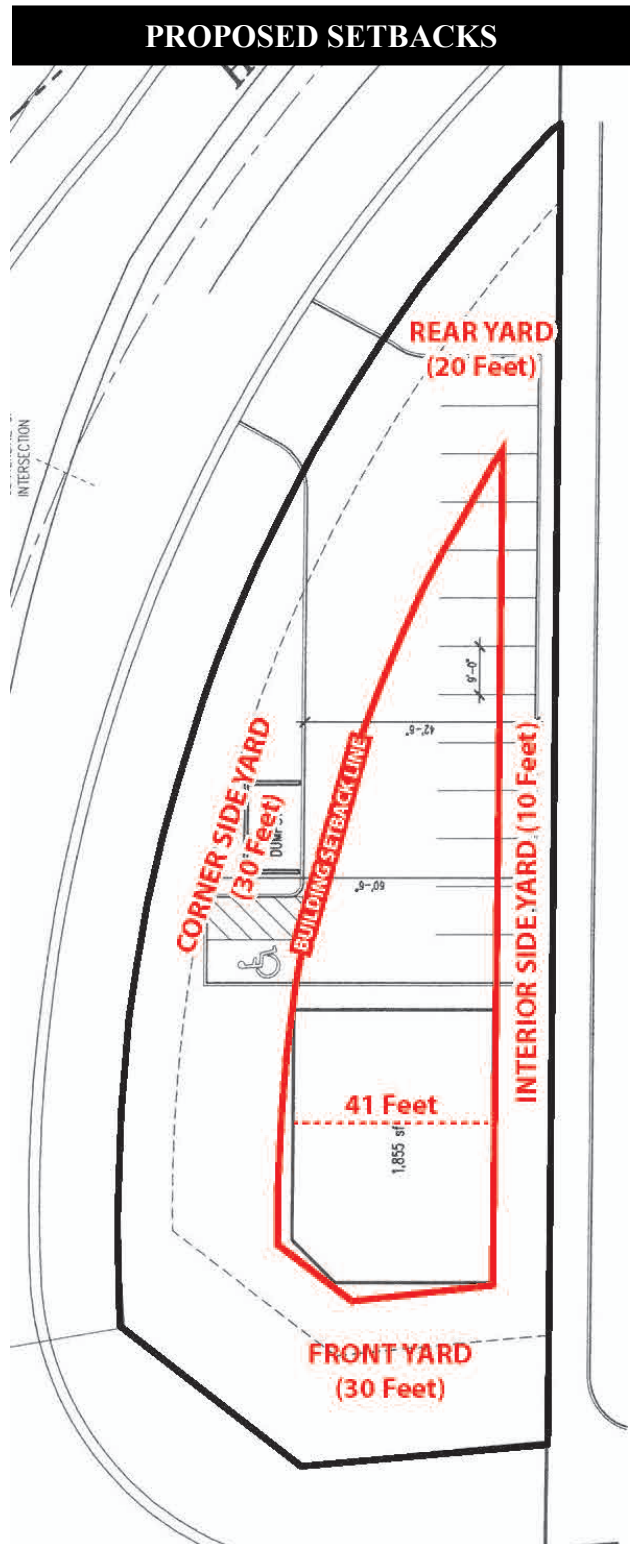
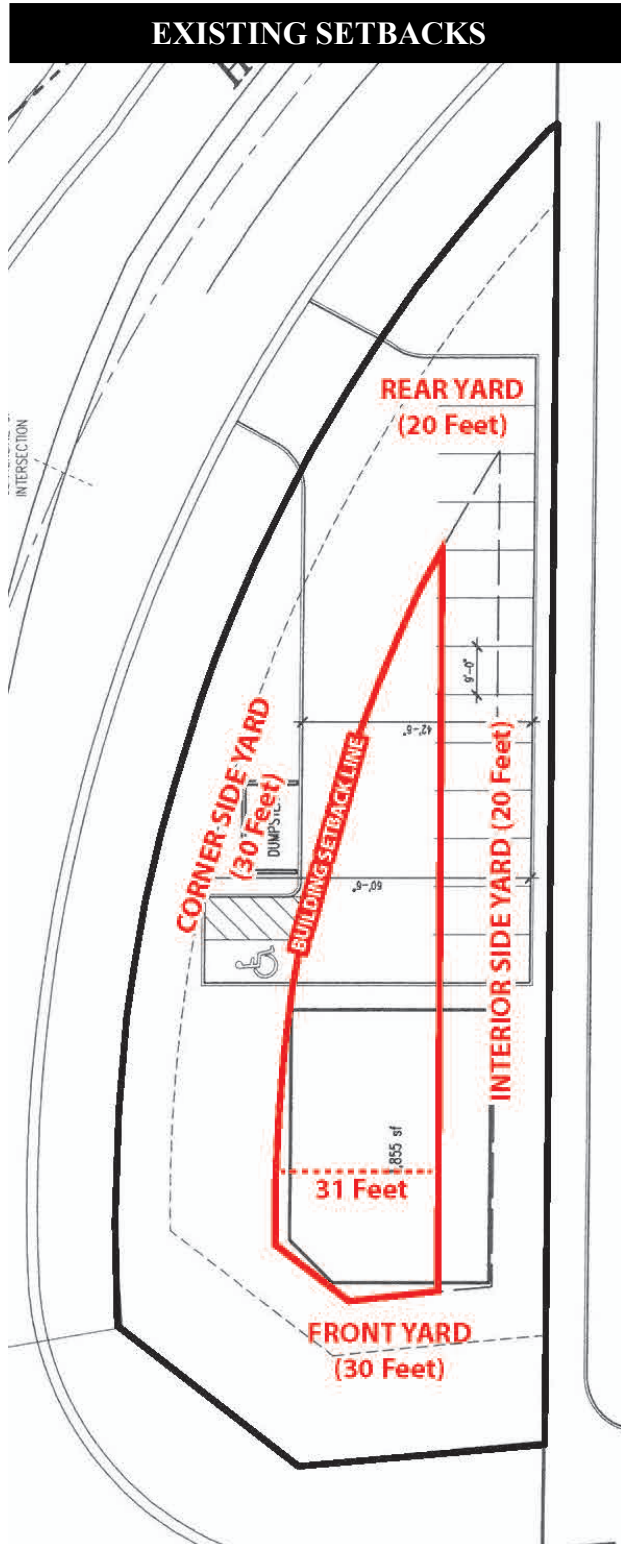
Staff reviewed the initial requests with the petitioner at a Plan Council Meeting on September 27, 2018. Staff provided our comments and concerns about the requests which will be covered in detail later within this memorandum. Several weeks after the Plan Council meeting, the petitioner asked to also include a request to increase the maximum height of an interior side yard fence to eight (8) feet. Table 10.17.02 in Chapter 17 of the City's Zoning Ordinance states, a fence in a business district may be a maximum of six (6) feet. Staff has included this request in the public hearing notice for the petitioner's scheduled hearing on November 14, 2018. **It should be noted that this request was not reviewed at the Plan Council meeting.**



STAFF REVIEW:

Yard Comparison

The graphics below illustrate the difference between the buildable areas with the existing setbacks and the proposed setbacks.



Bulk Regulations

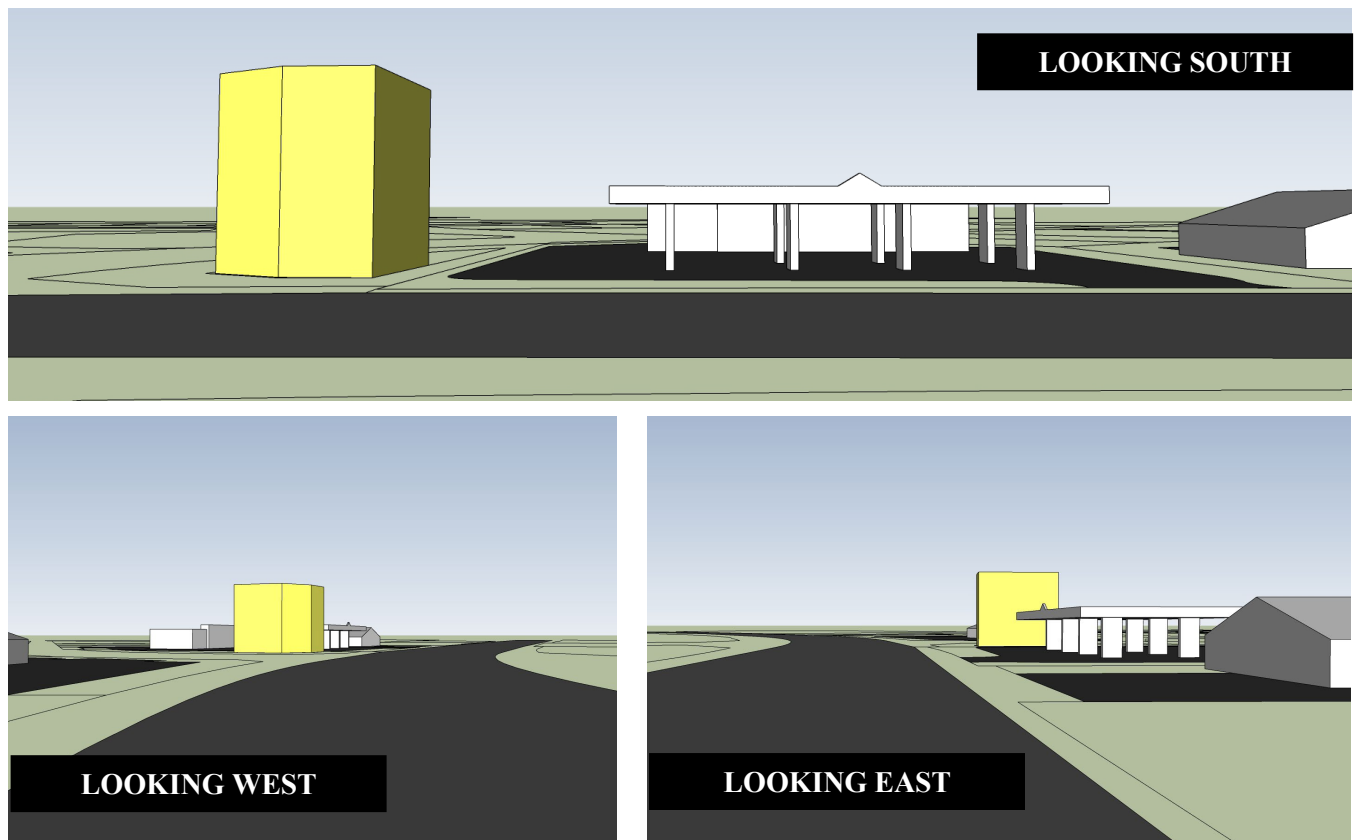
The following table describes the bulk regulations in the B-3 Zoning District in relation to the submitted conceptual site plan:

	B-3 Required	Proposed/Notes
Maximum Height	80' or 6 stories	Concept Plan indicates a 2 or 3 story building with a maximum of 45' in height
Maximum Lot Coverage	80%	Concept Plan shows 51% lot coverage
Front Yard Setback	50'	Ord. 1999-30 established a Front Yard Setback of 30' Concept plan shows a 30' setback
Side Yard Setback	20'	This is being proposed to be reduced to 10' Concept plan shows a 10' setback
Corner Side Yard Setback	30'	Concept plan shows a 30' setback
Rear Yard Setback	20'	Concept plan shows the structure over 100' from rear lot line

The proposed concept plan meets all of the criteria for bulk regulations (including the proposed side yard setback reduction).

Massing

The general location and size of the property only allows for construction of a small building structure within the envelope. To take advantage of the largest part of the building envelope, the structure would have to be placed at the very front of the parcel. To envision how the structure would relate to other properties, a rough example has been generated. It should be noted that the building represented below is the maximum size the petitioner has illustrated.



Parking

The Concept Plan indicates that there are a total of 14 parking spaces including an ADA parking space. Section 10-16-3-F of the City's Zoning Ordinance states that general retail shall provide 3 parking spaces per 1,000 square feet of floor area and office uses shall provide 2 parking spaces per 1,000 square feet of floor area. The Concept Plan indicates that the building will have a floor area of 1,855 square feet. A total of 6 parking spots are required for a single story building of this size.

Staff is requesting the petitioner to indicate a definite number of stories for the proposed structure. A two story building of this size would still meet parking standards; however a three story building will not meet parking requirements.

Lighting

A photometric plan indicating that the maximum illumination at the property line shall not exceed 0.1 foot-candle and no glare shall spill onto adjacent properties or rights of way must be provided by the petitioner as part of the building permit process.

Median Reduction or Removal

At the Plan Council meeting, City staff and the City's engineering consultant informed the petitioner that neither would support the removal or reduction of the median on McHugh Road. The amount of nearby ingress and egress points along McHugh Road and the turn lanes from McHugh Road onto US Route 34 make the median necessary for safety purposes. Once the petitioner was made aware of the safety concerns and the City's opposition to the request, the petitioner has decided not to move forward with the request being put into the PUD amendment request.

Fencing

The petitioner is requesting to increase the height of an interior side yard fence on the west side of the property to eight (8) feet. **The petitioner has not yet provided any details of the fence or the purpose for the increase in height. Once the petitioner provides information regarding any hardships the property creates and the need for additional screening height, staff will review before making a recommendation.**

Comprehensive Plan

The 2016 Comprehensive Plan designates the future land use for this property as Mid-Density Residential. The purpose behind this designation was to acknowledge the existing residential apartment complex adjacent to this property. The apartment complex has been removed and replaced with the Casey's General Store. The Comprehensive Plan shows adjacent properties are designated for neighborhood retail and commercial development along Route 34 is of high priority within the plan. **The proposed office use is not consistent with the designated future land use in the Comprehensive Plan and is not a neighborhood retail use. Therefore, if this request is approved, an amendment to the Yorkville Comprehensive Plan will be necessary to change the future land use to the most appropriate land use designation of Destination Commercial. The Comprehensive Plan characterizes Destination Commercial as a variety of low-scaled auto oriented commercial uses including offices and for properties generally located along Route 47 and Veterans Parkway.**

Vehicle Access & Circulation

After reviewing the submitted conceptual site plan, staff is concerned about the potential access and circulation of vehicle traffic at this location. The only access point is located along McHugh Road and will be a "right-in, right-out" intersection. The petitioner stated that they may be able to widen the access drive and add a median to accommodate larger vehicles, such as fire trucks, to ensure there is no backup in case of emergency. While this may help alleviate some concerns, staff has recommended that the site provide a connection to the adjacent property to the west, Casey's General Store, to ensure that access can be obtained from US Route 34 and McHugh Road.

Committee members from the Economic Development Committee voiced a similar concern for safety with access along McHugh Road. At the November 6, 2018 meeting, committee members suggested that access should be provided through the Casey's General Store to the west. This would allow access to the property through Casey's parking lot off of McHugh Road and Route 34 which would limit the amount of additional traffic and turning movements along McHugh Road. Committee members were skeptical about increasing the amount ingress and egress points on an already busy McHugh Road. Staff agrees with the committee's suggestion and has directed the petitioner to develop a plan that connects their property with the adjacent property.

The petitioner has made several efforts to contact Casey's General Store to see their interest in allowing access off their property. The petitioner has contacted the owner's and project engineer to receive their decision and the parties have not made a decision as of today. **This is the main reason that the petitioner is waiting to complete the rest of the requested materials. Once this issue is resolved and a decision is made, the petitioner will move forward accordingly.**

ECOMINC DEVELOPMENT COMMITTEE:

The Economic Development Committee reviewed the proposed amendment on November 6, 2018. As stated previously, the committee made several suggestions that access off of McHugh Road should be avoided. Additionally, the committee requested more detailed architectural plans be submitted to help the committee understand what the petitioner is trying to accomplish. Since this is part of a Planned Unit Development Agreement, the architectural features and site plans may be reviewed and required by reviewing bodies. **Staff agrees that additional architectural and potential massing exhibits should be created before moving forward with this request. As stated before, the petitioner is waiting for a response from Casey's General Store before moving forward with drafting more detailed plans as it could affect the final design.**

STAFF COMMENTS:

Since all of the necessary documentation has not yet been submitted due to external factors, **staff is recommending that the public hearing for this request be continue at the February 13, 2018 Planning and Zoning Commission meeting.** This should provide enough time for the petitioner to get their response from Casey's and create the requested materials for submission.

PROPOSED MOTION:

Based upon information provided by staff in a memorandum dated December 6, 2018, and testimony provided at the December 12, 2018 Planning and Zoning Commission meeting, the Planning and Zoning Commission moves to continue the public hearing for PZC 2018-18 to the regularly scheduled February 13, 2018 Planning and Zoning Commission meeting.

ATTACHMENTS:

1. Petitioner Application with attachments
2. EEI September 25, 2018 Review Memo

Application For Amendment

STAFF USE ONLY

Date of Submission PC#

Development Name

Applicant Information

Name of Applicant(s)

Business Address

City State ZIP

Business Phone Business Fax

Business Cell Business E-mail

Property Information

Name of Holder of Legal Title

If Legal Title is held by a Land Trust, list the names of all holders of any beneficial interest therein:

Property Street Address

Description of Property's Physical Location

Zoning and Land Use of Surrounding Parcels

North	B-3 General Business District
East	B-3 General Business District
South	County R-3
West	B-3 General Business District

Current Zoning Classification

Kendall County Parcel Number(s) of Property

02-28-252-013	

List all governmental entities or agencies required to receive notice under Illinois law:

Application For Amendment

Property Information

Name of Agreement

Date of Recording

Summarize the items to be amended from the existing agreement:

Additional Contact Information

Attorney

Name

Address

City State ZIP

Phone Fax

E-mail

Engineer

Name

Address

City State ZIP

Phone Fax

E-mail

Land Planner/Surveyor

Name

Address

City State ZIP

Phone Fax

E-mail

Application For Amendment

Attachments

Applicant must attach a legal description of the property to this application and title it as "Exhibit A".

Applicant must list the names and addresses of any adjoining or contiguous landowners within 500 feet of the property that are entitled notice of application under any applicable City Ordinance or State Statute. Attach a separate list to this application and title it as "Exhibit B".

Applicant must attach a true and correct copy of the existing agreement and title it as "Exhibit C".

Applicant must attach amendments from the existing agreement and title it as "Exhibit D".

Agreement

I verify that all the information in this application is true to the best of my knowledge. I understand and accept all requirements and fees as outlined as well as any incurred administrative and planning consultant fees which must be current before this project can proceed to the next scheduled committee meeting.

I understand all of the information presented in this document and understand that if an application becomes dormant it is through my own fault and I must therefore follow the requirements outlined above.

Applicant Signature

x *Samuel Mackin*

Date

8/22/18

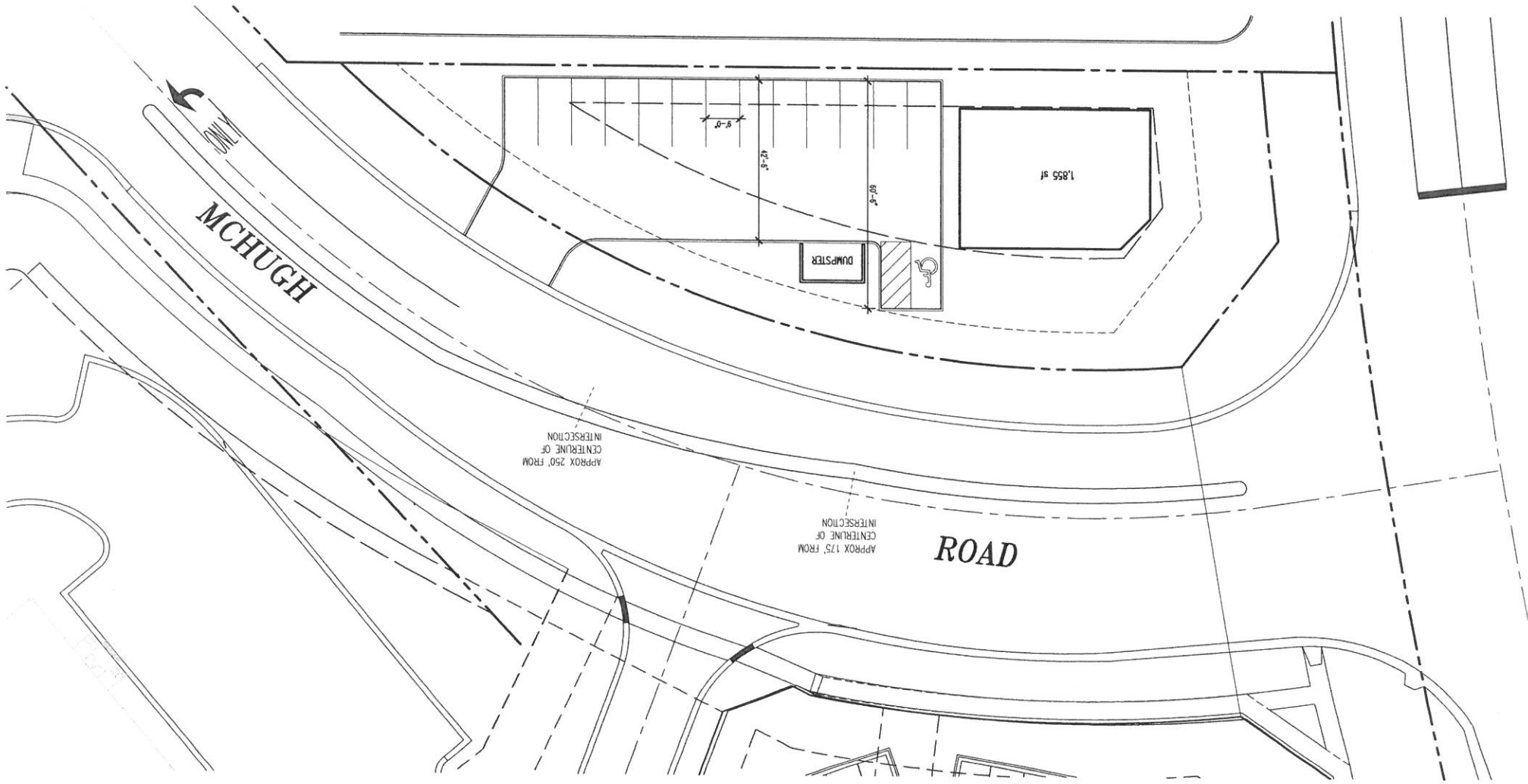
Marking Inc

By: *[Signature]*

THIS APPLICATION MUST BE NOTARIZED
PLEASE NOTARIZE IN THE SPACE BELOW:

Petitioner requests to amend the western building setback line from 20 feet to 10 feet in width adjacent to the existing Casey's Gas Station in order to permit a retail/office building that would meet all other setbacks pursuant to Section B.2 of the PUD Agreement which adopts The United City of Yorkville Subdivision Control Ordinance that provides for a 20 foot side/rear setback.

Petitioner also requests permission to either reduce the median at the driveway location of Petitioners site as shown in the attached diagram to make the same a drive-over median at that location or in the alternative the City consider removing the median from the property to the south terminus of the median. As it is currently located the median creates unnecessary and additional traffic going thru the daycare and Marker Office Building for vehicles performing a north traffic movement to Route 34. If a traffic study were observed by the Engineer for the City, it would show the stacking of the turn lanes to be more than sufficient; and elevation of the median from the Veterans Way Center South would lessen the traffic flow near the Daycare center and the nearby residential Subdivision.





United City of Yorkville
800 Game Farm Road
Yorkville, Illinois 60560
Telephone: 630-553-4350
Fax: 630-553-7575

**INVOICE & WORKSHEET
PETITION APPLICATION**

CONTACT:

Marker, Inc.
608 E. Veterans Pkwy. Ste D
Yorkville, IL 60560

DEVELOPMENT/ PROPERTY:

Heartland Center
Acreage: 15,559 sq. ft.
Date: 8/21/18

Concept Plan Review: ☐ Yes ☐ No
Engineering Plan Review Deposit of \$500 due

\$ _____

Amendment: ☒ Yes ☐ No
\$500.00 Fee due for each: (Annexation) (Plan) (Plat) (PUD)

\$500.00

Annexation: ☐ Yes ☐ No
\$250.00, plus \$10/acre for each acre over 5.
of acres: _____ - 5 = _____ x \$10 = _____ + \$250

\$ _____

Rezoning: ☐ Yes ☐ No
\$200.00, plus \$10/acre for each acre over 5.
of acres: _____ - 5 = _____ x \$10 = _____ + \$200
If annexing and rezoning, charge only 1 per acre fee.
If rezoning to a PUD, charge PUD Development Fee- not Rezoning Fee.

\$ _____

Special Use: ☐ Yes ☐ No
\$250.00, plus \$10/acre for each acre over 5.
of acres: _____ - 5 = _____ x \$10 = _____ + \$250

\$ _____

Zoning Variance: \$85.00 ☐ Yes ☐ No
Outside Consultants deposit of \$500.00 due

\$ _____

Preliminary Plan Fee: \$500.00 ☐ Yes ☐ No

\$ _____

P.U.D. Fee: \$500.00 ☒ Yes ☐ No

\$500.00

Final Plat Fee: \$500.00 ☐ Yes ☐ No

\$ _____

Engineering Plan Review Deposit: ☐ Yes ☐ No
☒ Less than 1 acre = \$1,000 due
☐ Over 1 acre and less than 10 acres = \$2,500 due
☐ Over 10 acres and less than 40 acres = \$5,000 due
☐ Over 40 acres and less than 100 acres = \$10,000 due
☐ Over 100 acres = \$20,000 due

\$1,000.00

Outside Consultants Deposit: ☐ Yes ☐ No
Legal, Land Planner, Zoning Coordinator, Environmental Services
Annexation, Subdivision, Rezoning, and Special Use:

\$1,000.00

☒ Less than 2 acres = \$1,000 due
☐ Over 2 acres and less than 10 acres = \$2,500 due
☐ Over 10 acres = \$5,000 due

TOTAL AMOUNT DUE:

\$3,000.00

Word/ O Drive/ Dev. Dep. ARO/ Fee Sheet Wkst



United City of Yorkville
County Seat of Kendall County
800 Game Farm Road
Yorkville, Illinois, 60560
Telephone: 630-553-4350
Fax: 630-553-7575
Website: www.yorkville.il.us

Petitioner Deposit Account / Acknowledgment of Financial Responsibility

Development/Property Address: Marker, Inc.	Project No.: FOR CITY USE ONLY	Fund Account No.: FOR CITY USE ONLY												
Petition/Approval Type: <i>check appropriate box(es) of approval requested</i> <table style="width: 100%;"><tr><td><input type="checkbox"/> Concept Plan Review</td><td><input type="checkbox"/> Amendment (Text) (Annexation) (Plat)</td><td><input type="checkbox"/> Annexation</td></tr><tr><td><input type="checkbox"/> Rezoning</td><td><input type="checkbox"/> Special Use</td><td><input type="checkbox"/> Mile and ½ Review</td></tr><tr><td><input type="checkbox"/> Zoning Variance</td><td><input type="checkbox"/> Preliminary Plan</td><td><input type="checkbox"/> Final Plans</td></tr><tr><td><input checked="" type="checkbox"/> P.U.D.</td><td><input type="checkbox"/> Final Plat</td><td></td></tr></table>			<input type="checkbox"/> Concept Plan Review	<input type="checkbox"/> Amendment (Text) (Annexation) (Plat)	<input type="checkbox"/> Annexation	<input type="checkbox"/> Rezoning	<input type="checkbox"/> Special Use	<input type="checkbox"/> Mile and ½ Review	<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Preliminary Plan	<input type="checkbox"/> Final Plans	<input checked="" type="checkbox"/> P.U.D.	<input type="checkbox"/> Final Plat	
<input type="checkbox"/> Concept Plan Review	<input type="checkbox"/> Amendment (Text) (Annexation) (Plat)	<input type="checkbox"/> Annexation												
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<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Preliminary Plan	<input type="checkbox"/> Final Plans												
<input checked="" type="checkbox"/> P.U.D.	<input type="checkbox"/> Final Plat													
Petitioner Deposit Account Fund: It is the policy of the United City of Yorkville to require any petitioner seeking approval on a project or entitlement request to establish a Petitioner Deposit Account Fund to cover all actual expenses occurred as a result of processing such applications and requests. Typical requests requiring the establishment of a Petitioner Deposit Account Fund include, but are not limited to, plan review of development approvals/engineering permits. Deposit account funds may also be used to cover costs for services related to legal fees, engineering and other plan reviews, processing of other governmental applications, recording fees and other outside coordination and consulting fees. Each fund account is established with an initial deposit based upon the estimated cost for services provided in the INVOICE & WORKSHEET PETITION APPLICATION . This initial deposit is drawn against to pay for these services related to the project or request. Periodically throughout the project review/approval process, the Financially Responsible Party will receive an invoice reflecting the charges made against the account. At any time the balance of the fund account fall below ten percent (10%) of the original deposit amount, the Financially Responsible Party will receive an invoice requesting additional funds equal to one-hundred percent (100%) of the initial deposit if subsequent reviews/fees related to the project are required. In the event that a deposit account is not immediately replenished, review by the administrative staff, consultants, boards and commissions may be suspended until the account is fully replenished. If additional funds remain in the deposit account at the completion of the project, the city will refund the balance to the Financially Responsible Party. A written request must be submitted by the Financially Responsible Party to the city by the 15 th of the month in order for the refund check to be processed and distributed by the 15 th of the following month. All refund checks will be made payable to the Financially Responsible Party and mailed to the address provided when the account was established.														
<u>ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY</u>														
Name/Company Name: Marker, Inc.	Address: 608 E. Veterans Pkwy., Ste. 1D	City: Yorkville												
		State: Illinois												
		Zip Code: 60560												
Telephone: 630-553-3322	Mobile:	Fax: 630-553-5736												
		E-mail: gjmarker@hotmail.com												
Financially Responsible Party: I acknowledge and understand that as the Financially Responsible Party, expenses may exceed the estimated initial deposit and, when requested by the United City of Yorkville, I will provide additional funds to maintain the required account balance. Further, the sale or other disposition of the property does not relieve the individual or Company/Corporation of their obligation to maintain a positive balance in the fund account, unless the United City of Yorkville approves a Change of Responsible Party and transfer of funds. Should the account go into deficit, all City work may stop until the requested replenishment deposit is received. Print Name: <u>Pamela Marker</u> Title: _____ Signature*: <u>[Signature]</u> Date: <u>8/22/18</u>														
*The name of the individual and the person who signs this declaration must be the same. If a corporation is listed, a corporate officer must sign the declaration (President, Vice-President, Chairman, Secretary or Treasurer)														
<u>FOR CITY USE ONLY</u>														
ACCOUNT CLOSURE AUTHORIZATION: Date Requested: _____ <input type="checkbox"/> Completed <input type="checkbox"/> Inactive Print Name: _____ <input type="checkbox"/> Withdrawn <input type="checkbox"/> Collections Signature: _____ <input type="checkbox"/> Other														
DEPARTMENT ROUTING FOR AUTHORIZATION: <input type="checkbox"/> Comm Dev. <input type="checkbox"/> Building <input type="checkbox"/> Engineering <input type="checkbox"/> Finance <input type="checkbox"/> Admin.														



AFTER RECORDING RETURN TO:

MAIL TAX BILLS TO:

PAMELA S. MARKER, 1626
MISTWOOD DRIVE, NAPERVILLE,
ILLINOIS 60540

201000006839

DEBBIE
GILLETTE
KENDALL COUNTY, IL

RECORDED: 4/15/2010 10:17 AM
OCD: 49.00 RHSPS FEE: 10.00
PAGES: 2

THIS INSTRUMENT PREPARED BY:

RICHARD MARKER ASSOCIATES,
INC., 728 E. VETERANS PARKWAY,
YORKVILLE, ILLINOIS 60560

QUIT CLAIM DEED

THIS INDENTURE WITNESSETH, that THE GRANTOR, Richard Marker Associates, Inc., an Illinois Corporation, for and in consideration of the sum of TEN and NO/100 DOLLARS (\$10.00), and other good and valuable consideration, receipt of which is hereby duly acknowledged, Conveys and Quit-claims to Pamela S. Marker of the County of DuPage and the State of Illinois, all interest in the following described real estate in the United City of Yorkville, County of Kendall and State of Illinois, to-wit:

LOT 187 IN HEARTLAND IN YORKVILLE UNIT 1, BEING A SUBDIVISION OF PART OF THE WEST HALF OF SECTION 27 AND PART OF THE EAST HALF OF SECTION 28, TOWNSHIP 37 NORTH RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN BRISTOL TOWNSHIP, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 16, 2001 AS DOCUMENT NO. 200100002570 IN KENDALL COUNTY, ILLINOIS.

The above real estate is not a Homestead property.

Permanent Real Estate Index Number: 02-27-356-002

Common Address of real estate: SOUTHWEST CORNER OF VETERANS PARKWAY AND McHUGH ROAD IN YORKVILLE, IL.

Dated this 14th day of APRIL, 2010

Grantor: Richard Marker Associates, Inc.

By: Richard Marker

Richard Marker, President

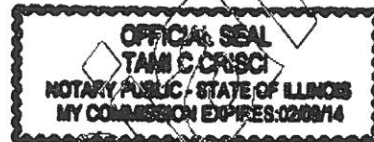
STATE OF ILLINOIS)
COUNTY OF KENDALL) ss.

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY, that
RICHARD MARKER, personally known to me to be the PRESIDENT of
RICHARD MARKER ASSOCIATES, INC., and personally known to me to be the same person whose
name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that as such
PRESIDENT, he/she signed and delivered said instrument, as his/her free and voluntary act, for the uses and
purposes therein set forth.

GIVEN under my hand and notarial seal this 14th day of April, 2010

Tami C. Crisci
Notary Public

My Commission Expires: 02/09/14



THIS TRANSACTION IS EXEMPT FROM THE TRANSFER TAX UNDER 35ILCS 200/31-45, PARAGRAPH E.

Janyk April 14, 2010

LEGAL DESCRIPTION

LOT 187 IN HEARTLAND IN YORKVILLE UNIT 1, BEING A SUBDIVISION OF PART OF THE WEST HALF OF SECTION 27 AND PART OF THE EAST HALF OF SECTION 28, TOWNSHIP 37 NORTH RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN BRISTOL TOWNSHIP, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 16, 2001 AS DOCUMENT NO. 200100002570 IN KENDALL COUNTY, ILLINOIS

PUBLIC NOTICE
NOTICE OF PUBLIC HEARING
BEFORE
THE UNITED CITY OF YORKVILLE
PLANNING & ZONING COMMISSION
PZC 2018-18

NOTICE IS HEREWITH GIVEN THAT Marker, INC, petitioner has filed an application with the United City of Yorkville, Kendall County, Illinois, requesting an amendment to the Heartland Subdivision Planned Unit Development to reduce the interior side yard setback from twenty (20) feet to ten (10) feet on Lot 187 of the subdivision. Additionally, the petitioner is requesting to increase the maximum allowable height of a permitted fence in a business district from six (6) feet to eight (8) feet. The real property is located at the southwest corner of the McHugh Road and Route 34 intersection in Yorkville.

The legal description is as follows:

LOT 187 IN HEARTLAND IN YORKVILLE UNIT 1, BEING A SUBDIVISION OF PART OF THE WEST HALF OF SECTION 27 AND PART OF THE EAST HALF OF SECTION 28, TOWNSHIP 37 NORTH RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN BRISTOL TOWNSHIP, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 16, 2001 AS DOCUMENT NO. 200100002570 IN KENDALL COUNTY, ILLINOIS

PINs: 02-28-252-013

NOTICE IS HEREWITH GIVEN THAT the Planning and Zoning Commission for the United City of Yorkville will conduct a public hearing on said application on Wednesday, November 14, 2018 at 7 p.m. at the United City of Yorkville, City Council Chambers, located at 800 Game Farm Road, Yorkville, Illinois 60560.

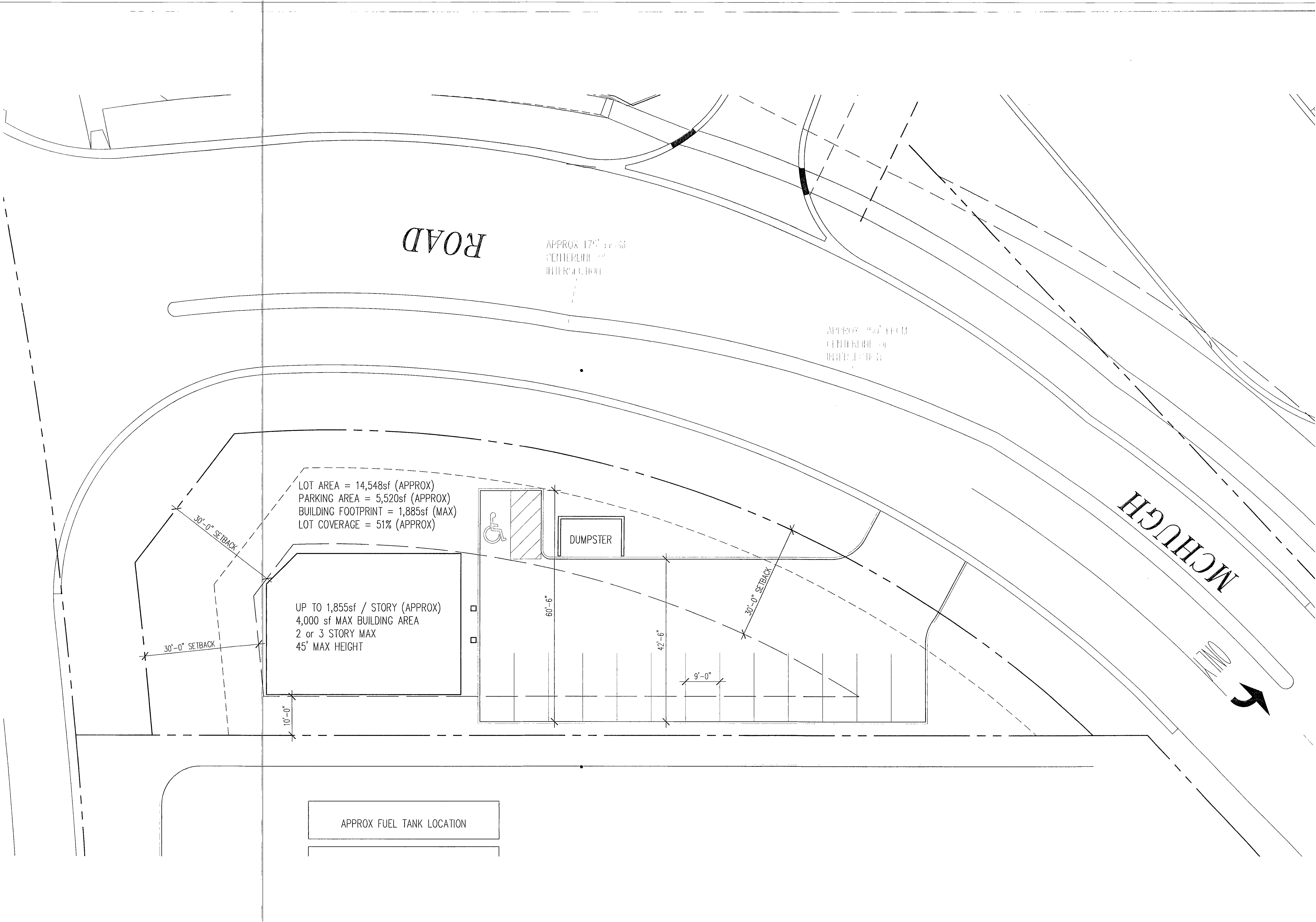
The public hearing may be continued from time to time to dates certain without further notice being published.

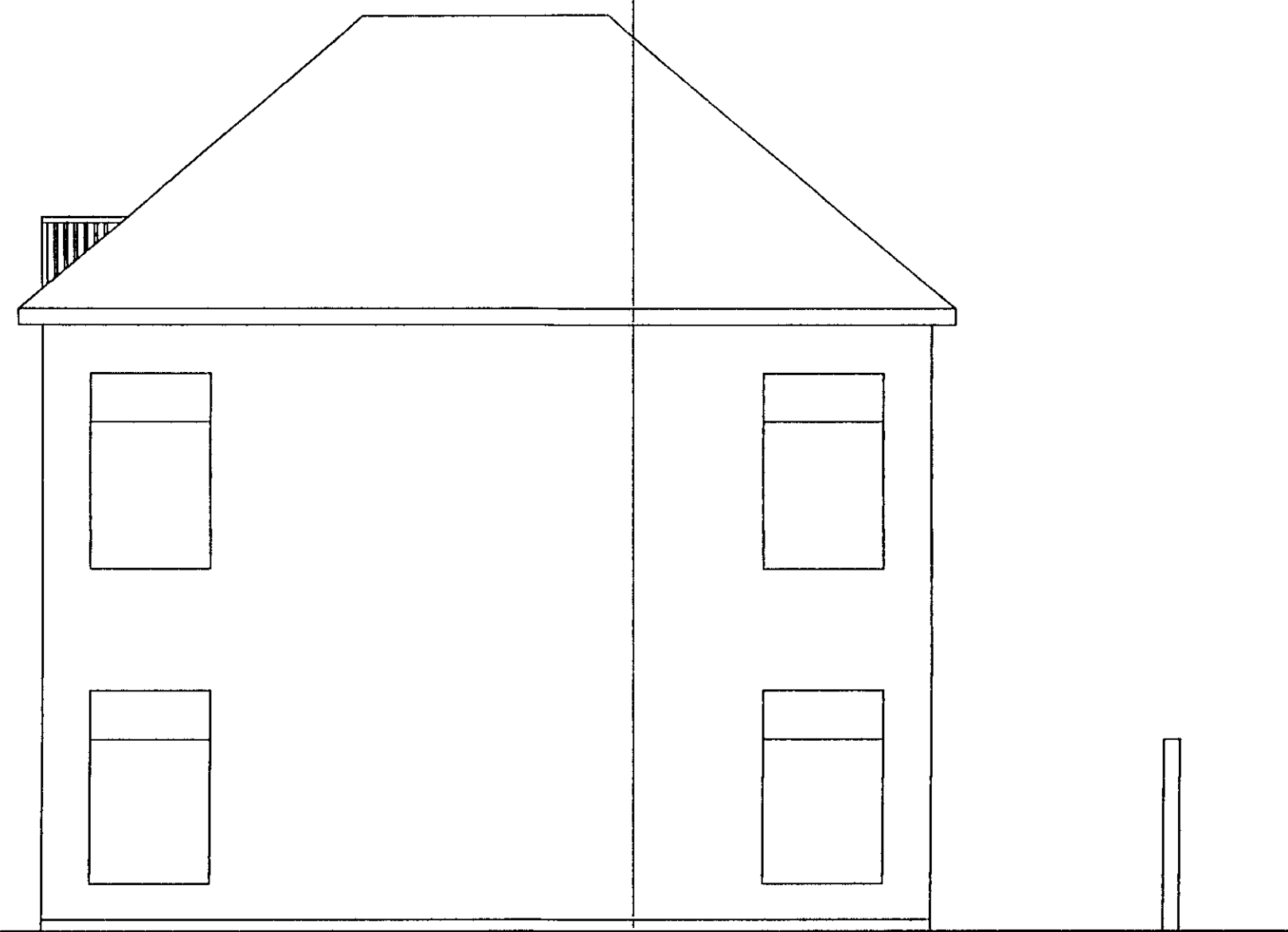
Application and information materials regarding this notice are available for public review and any questions or written comments should be addressed to the United City of Yorkville Community Development Department, City Hall, 800 Game Farm Road, Yorkville, Illinois. All interested parties are invited to attend the public hearing and will be given an opportunity to be heard.

By order of the Corporate Authorities of the United City of Yorkville, Kendall County, Illinois.

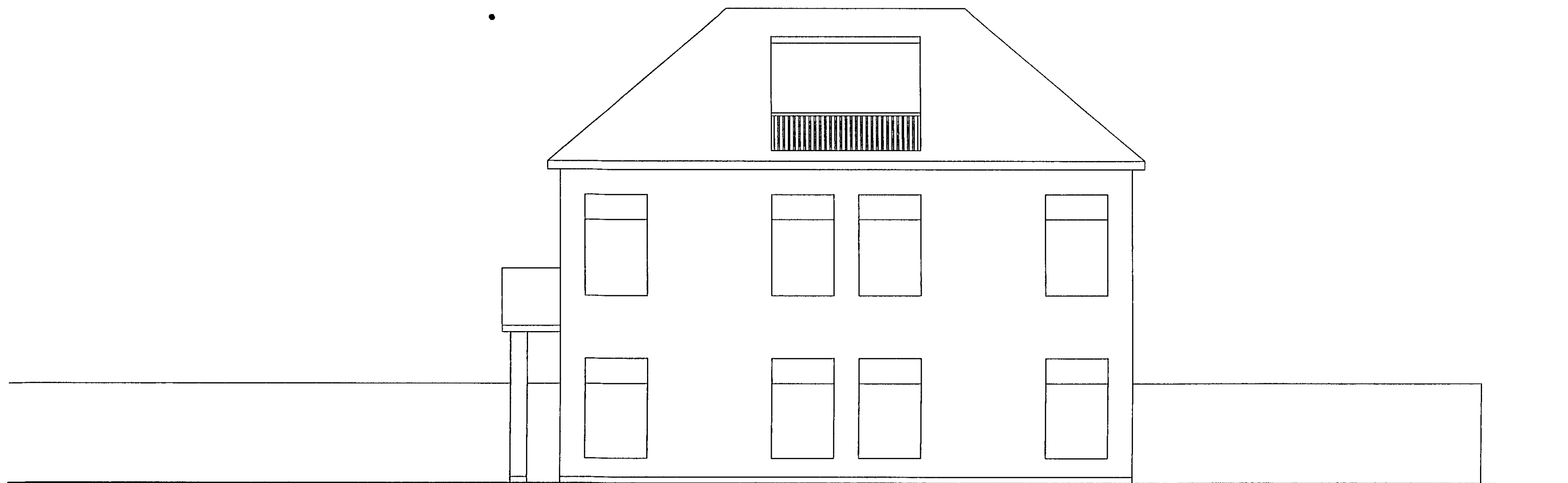
BETH WARREN
City Clerk

BY: Lisa Pickering
Deputy Clerk

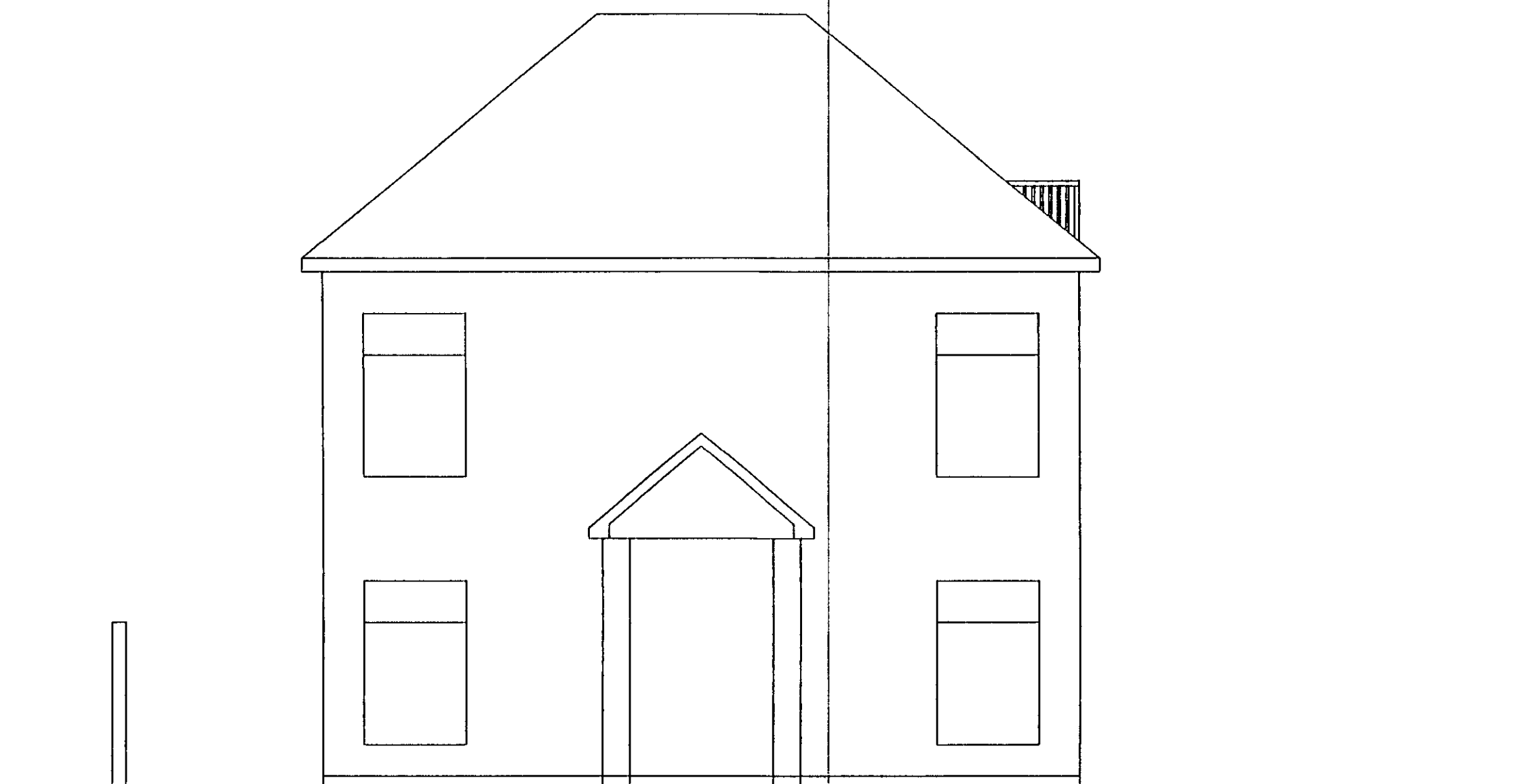




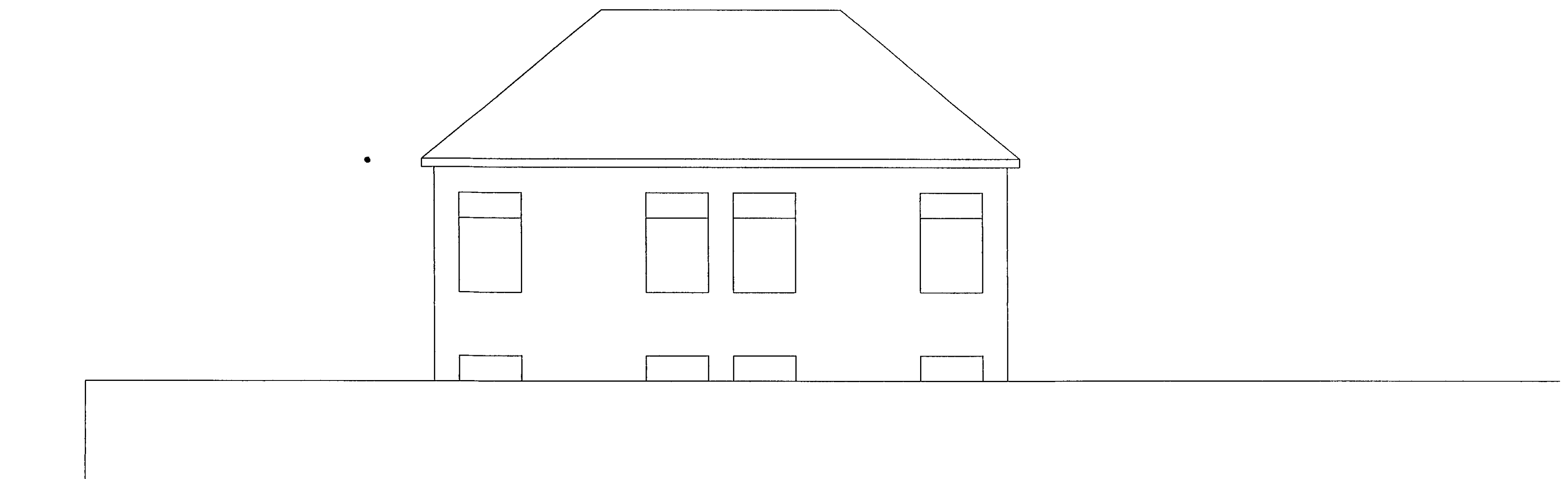
North Elevation



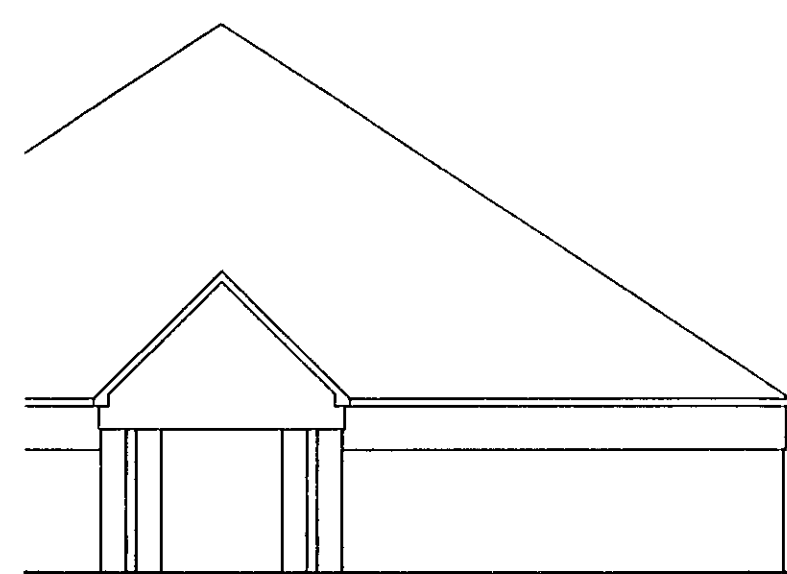
East Elevation



South Elevation

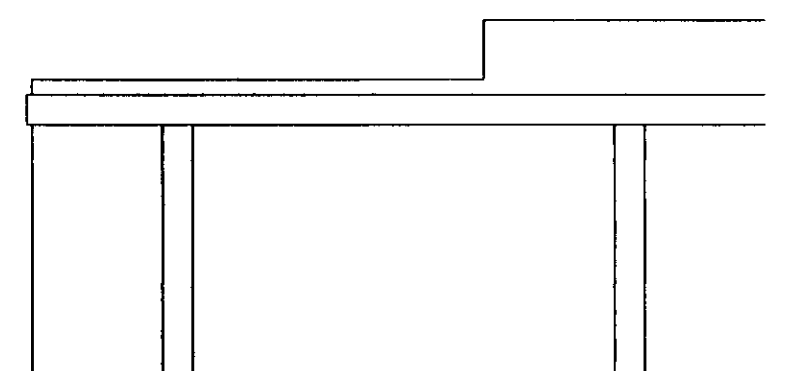
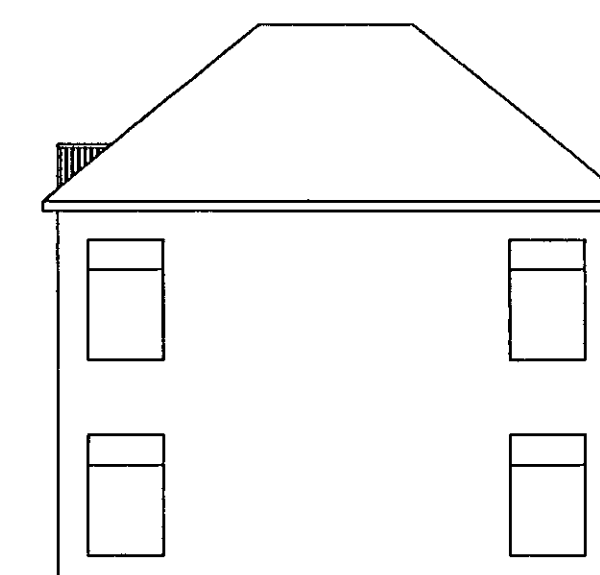


West Elevation



Blackstone

McHugh Road



Casey's



September 25, 2018

Ms. Krysti Barksdale-Noble
Community Development Director
United City of Yorkville
800 Game Farm Road
Yorkville, IL 60560

**Re: Heartland Unit 1 – Lot 187
PUD Amendment Request
United City of Yorkville, Kendall County, Illinois**

Dear Krysti:

We have reviewed the following items for the above referenced project:

- Application for Amendment w/ attachments (10 pages) dated August 22, 2018 and prepared by Marker, Inc.

Our review of these plans is to generally determine their compliance with local ordinances and whether the improvements will conform to existing local systems and equipment. This review and our comments do not relieve the designer from his duties to conform to all required codes, regulations, and acceptable standards of engineering practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review, we cannot and do not assume responsibility for design errors or omissions in the plans. As such, we offer the following comments:

General


1. We do not object to the reduction in the rear yard setback from 20 feet to 10 feet, as it is adjacent to the Casey's parking/drive area. All other zoning, engineering, and landscaping requirements must be met.
2. We do not support changes to the median along McHugh Road as it would conflict with several turning movements.
3. For the project to proceed, the following shall be submitted to the United City of Yorkville for review during the final engineering process:
 - a) Final Engineering Plans
 - b) Lighting/Photometric Plan
 - c) Landscape Plan

- d) Engineer's Opinion of Probable Construction Cost for public improvements including earthwork, stormwater management, erosion control and work within the road ROW.
 - e) Engineer's Opinion of Probable Construction Cost for all improvements.
4. A single lot development checklist is attached.
 5. A Stormwater Permit and stormwater management report including all required runoff and detention calculations is required for development. Since the proposed site improvements is a non-residential parcel with less than 3 acres in area and resulting in disturbance of more than 5,000 square feet and resulting in 25% or more of the site area as impervious surface, detention will be required. (Section 203.1.c of the Kendall County Stormwater Ordinance).
 6. We have reviewed the available wetland inventory maps and the regulatory floodplain maps and found no issues. This should be confirmed at the project moves in to final engineering.
 7. The acceptability of the amount of parking stalls that are provided will need to be confirmed by the City.
 8. The proposed driveway entrance does not appear to comply with the City Ordinance. This shall be confirmed/revised during engineering.

The design engineer should make the necessary revisions and resubmit for further review.

Respectfully Submitted,

ENGINEERING ENTERPRISES, INC.


Bradley P. Sanderson, P.E.
Vice President

BPS/TAM

pc: Mr. Bart Olson, City Administrator (via email)
Ms. Erin Willrett, Assistant City Administrator (via email)
Mr. Jason Engberg, Senior Planner (via email)
Mr. Eric Dhuse, Director of Public Works (via email)
Mr. Pete Ratos, Building Department (via email)
Ms. Dee Weinert, Admin Assistant (via email)
Ms. Lisa Pickering, Deputy Clerk (via email)
JAM, EEI (Via e-mail)

UNITED CITY OF YORKVILLE

GENERAL CHECKLIST FOR COMMERCIAL SITE PLANS/SINGLE LOT DEVELOPMENTS

- PROFESSIONAL ENGINEER SIGNATURE AND SEAL ON DRAWINGS AND CALCULATIONS
- LOCATION MAP AND ADDRESS, J.U.L.I.E. NOTE INCLUDED ON PLANS
- BENCHMARKS BASED ON NAVD 88 DATUM
- EXISTING UTILITIES AND TOPOGRAPHY TO BE PROVIDED
 - ✓ EXISTING ELEVATIONS AND CONTOURS SHOWN AT 1' INTERVALS
- COMPLIANCE WITH SUBDIVISION GRADING PLAN (IF APPLICABLE) AND/OR PROVIDE PROPOSED GRADING PLAN
 - ✓ PROPOSED ELEVATIONS AND CONTOURS AT 1' INTERVALS
 - ✓ INDICATE BUILDING TOP OF FOUNDATION (2 FT. ABOVE H.W.L.)
 - ✓ STORM WATER DRAINAGE - SAFE OUTLET AVAILABLE AND ADEQUATE CONVEYANCE PROVIDED
- FLOOD PLAIN OR FLOOD WAY REQUIREMENTS TO BE ADDRESSED, IF NECESSARY
- STORM WATER MANAGEMENT
 - ✓ PER KENDALL COUNTY/YORKVILLE STORM WATER MANAGEMENT ORDINANCE
 - ✓ APPLY FOR STORM WATER PERMIT, IF NECESSARY
- PROVIDE STORM WATER POLLUTION PREVENTION (SWPP) PLAN
 - ✓ APPLY FOR NOI PERMIT, IF NECESSARY
 - ✓ NOTE THAT RECEIPT OF NPDES PERMIT REQUIRED PRIOR TO CONSTRUCTION
- PROVIDE TYPICAL PAVEMENT SECTIONS (3" BIT. WITH 10"STONE, MINIMUM)
- PAVEMENT MARKINGS AND SIGNAGE
- ENTRANCE DETAIL
- HANDICAP RAMP DETAIL (USE IDOT STANDARD)
- WATER SERVICE (**USE CITY STANDARD DETAILS AND NOTES**)
 - ✓ PROVIDE SEPARATE FIRE PROTECTION SERVICE LINE
- SANITARY SERVICE WITH INSPECTION MANHOLE (**USE YBSD STANDARD NOTES**)
- APPLY FOR APPROPRIATE IEPA PERMITS – WATER AND SANITARY, IF NECESSARY
- PROVIDE EASEMENTS, IF NECESSARY
- LANDSCAPE PLAN
- SPECIFICATIONS, AS REQUIRED
- COMPLIANCE WITH ZONING CODE
- LIGHTING ANALYSIS (PHOTOMETRIC PLAN)
- PERFORMANCE GUARANTEE FOR PUBLIC IMPROVEMENTS

LAW OFFICES
OF

Daniel J. Kramer

DANIEL J. KRAMER

1107A SOUTH BRIDGE STREET
YORKVILLE, ILLINOIS 60560
(630) 553-9500
Fax: (630) 553-5764

KELLY A. HELLAND
D.J. KRAMER

September 11, 2018

Krysti Barksdale-Noble
VIA E-Mail: Knoble@oyrkville.il.us

Jason Engberg
jengberg@yorkville.il.us

Re: Heartland Setback PUD Amendment

Dear Krysti and Jason:

Enclosed please find 4 different building layouts for the Marker PUD Amendment. He in effect had to do 2 different layouts for each style of building given the possibility of a Casey combined entrance or leaving the entrance where it is if Caseys fails to contact Greg in fashion.

Greg has tried reaching the local Manager, the people who dealt with the City on the Zoning, the Engineer, and other than a promise to have the Station Manager return a call has had no contact despite multiple attempts over the last 6 weeks to get any kind of response from them. I thought this information would be useful for the Plan Commission Wednesday night. Should you have any questions or if you need any additional information, please do not hesitate to contact me.

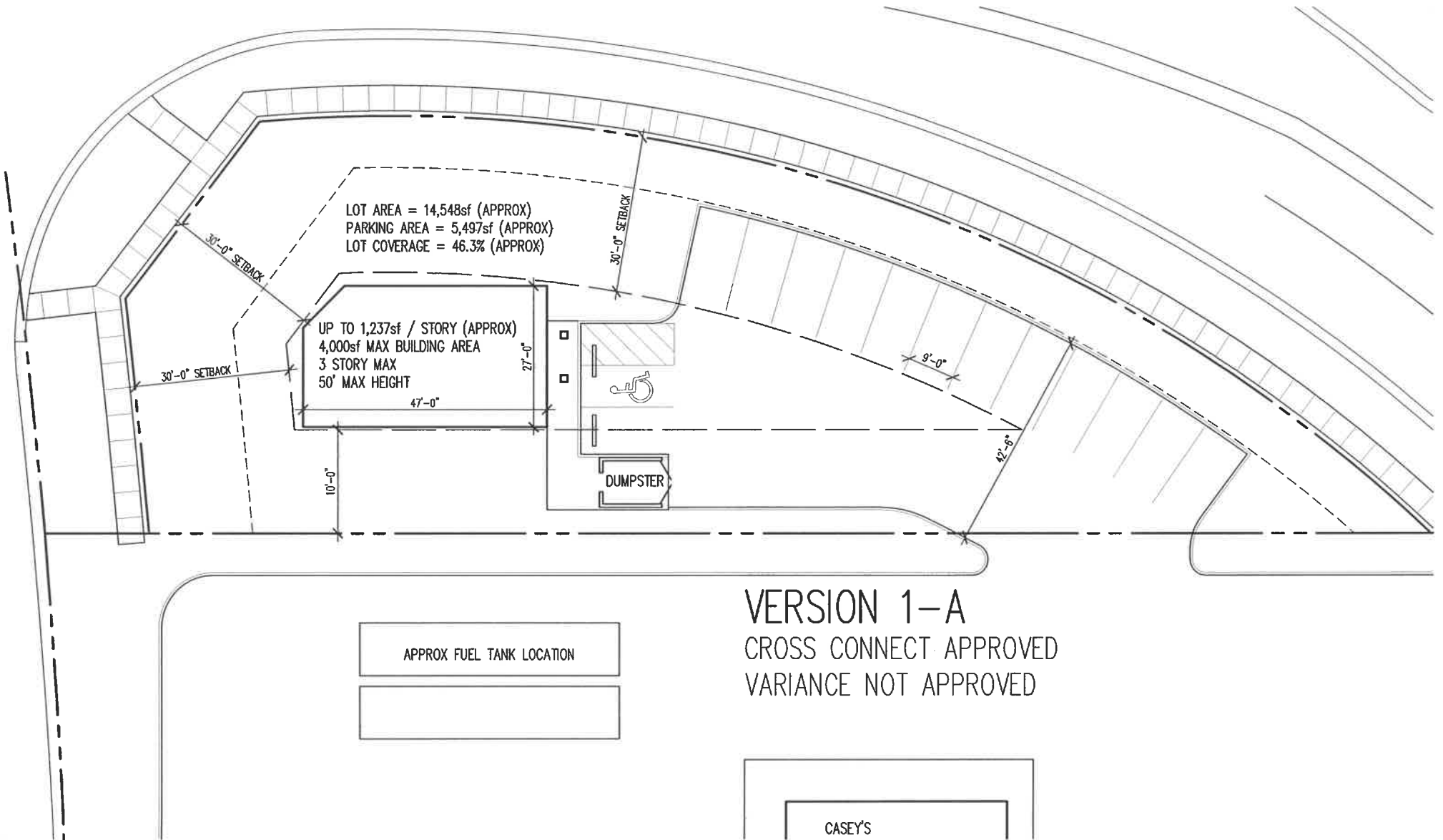
Very truly yours,

Daniel J. Kramer

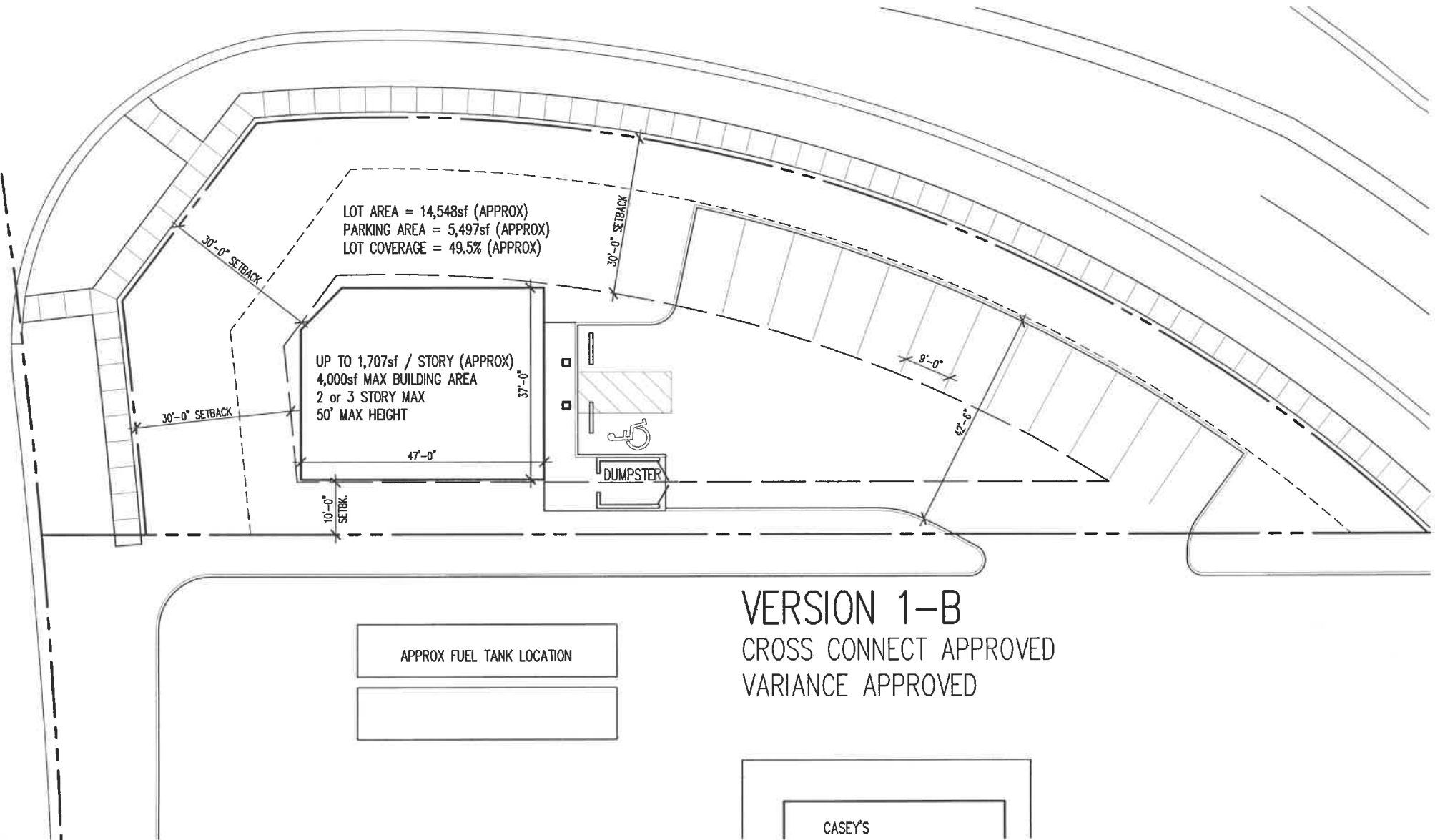
Daniel J. Kramer
Attorney at Law

DJK/cth

Enclosure
cc. Greg Marker



VERSION 1-A
CROSS CONNECT APPROVED
VARIANCE NOT APPROVED



LOT AREA = 14,548sf (APPROX)
PARKING AREA = 5,497sf (APPROX)
LOT COVERAGE = 49.5% (APPROX)

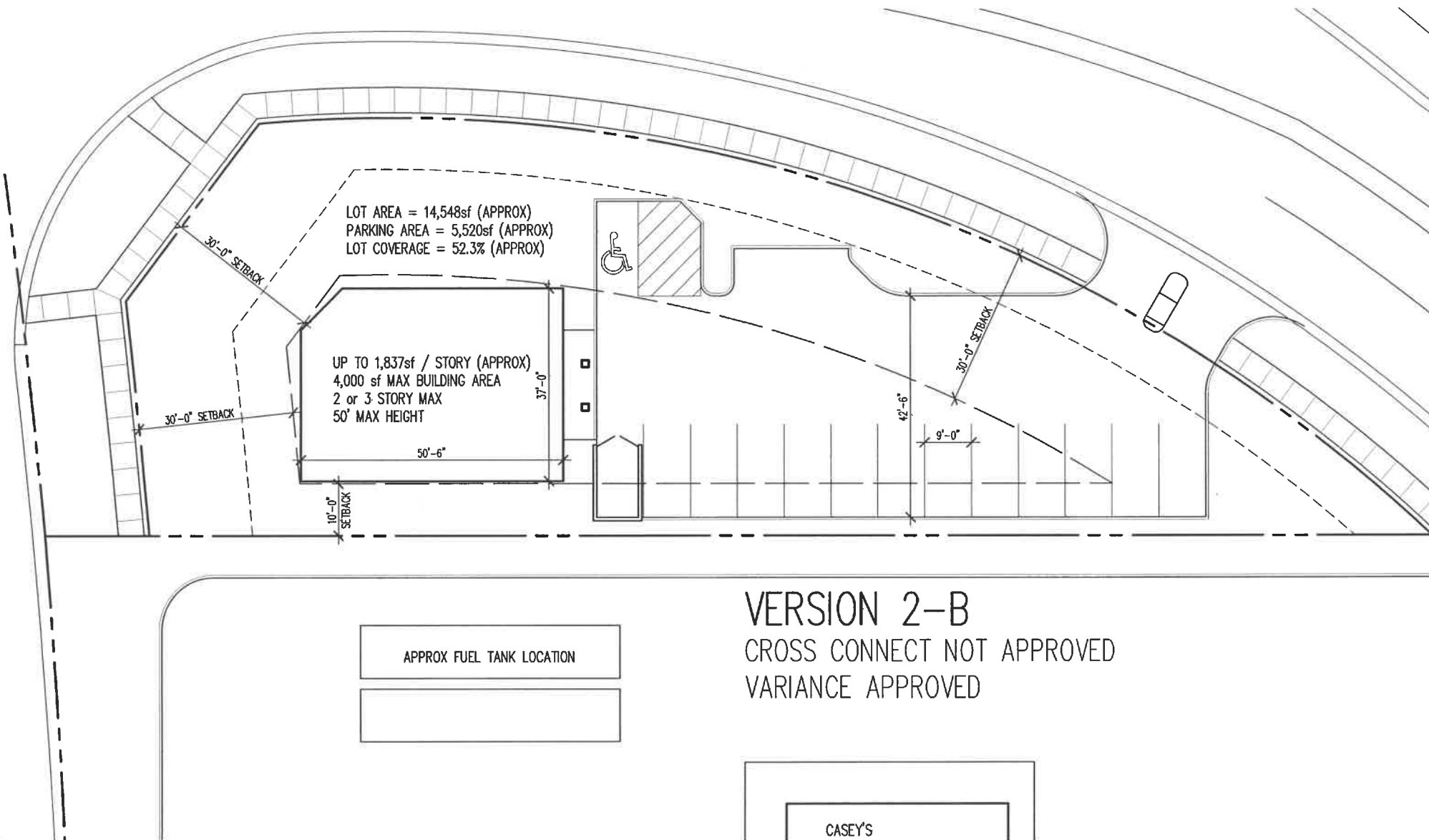
UP TO 1,707sf / STORY (APPROX)
4,000sf MAX BUILDING AREA
2 or 3 STORY MAX
50' MAX HEIGHT

DUMPSTER

APPROX FUEL TANK LOCATION

CASEY'S

VERSION 1-B
CROSS CONNECT APPROVED
VARIANCE APPROVED

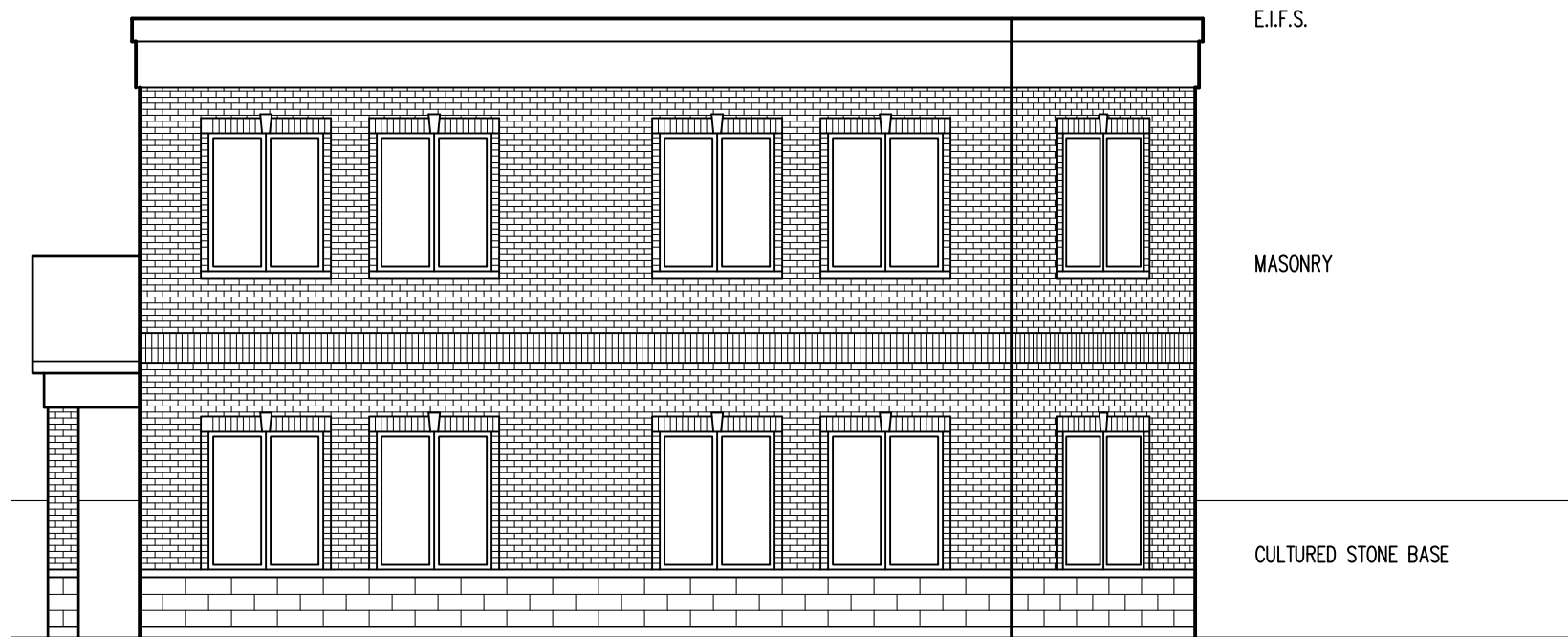


Existing		Proposed			
		1-A	1-B	2-A	2-B
B-3	Zoning	B-3			
10,000 sf	Min. Lot Size	14,548			
80%	Max. Lot Coverage	46.3%	49.5%	46.6%	52.3%
30'	Front Setback	30'	30'	30'	30'
20'	Side Setback	20'	10'	20'	10'
30'	Corner Side Yard Setback	30'	30'	30'	30'
20'	Rear Setback	20'	20'	20'	20'
80' / 6 stories	Max. Building Height	50' / 3 stores			
	F.A.R.	8.5%	11.7%	9.2%	12.9%
18' x 9'	Min. Stall Dimensions				
24'	Min. Driving Aisle Width				
3 / 1,000 sf	Min. Parking Stalls Req'd.	13 std. stalls	13 std. stalls	13 std. stalls	13 std. stalls
	Cross Connect Accepted	Y	Y	N	N
	Variance Approved	N	Y	N	Y



Conceptual South Elevation – Ver 1–A

Scale: $1/8" = 1'-0"$



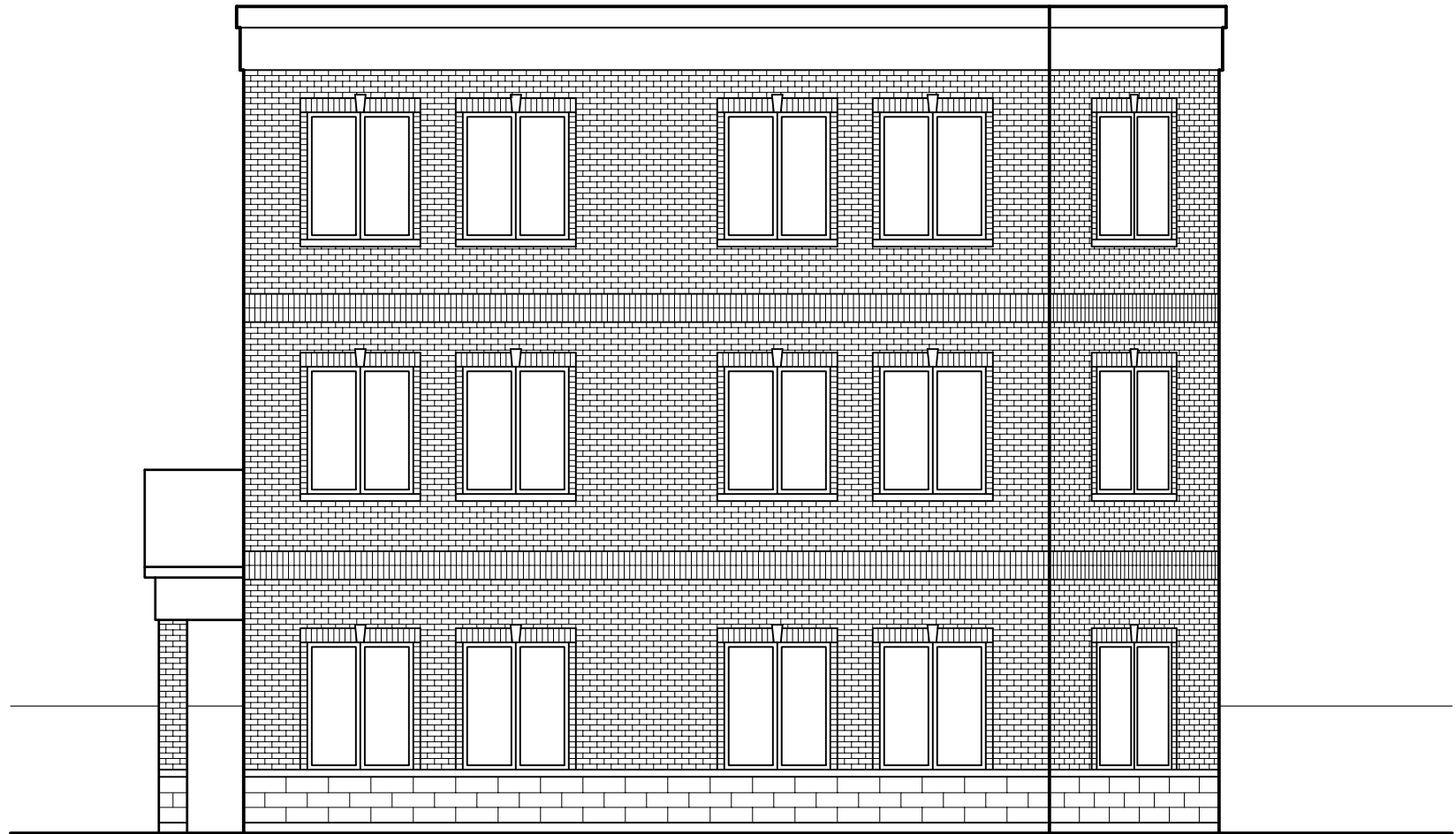
Conceptual West Elevation – Ver 1–A

Scale: $1/8" = 1'-0"$



Conceptual South Elevation – Ver 1-B

Scale: $1/8" = 1'-0"$



Conceptual West Elevation – Ver 1-B

Scale: $\frac{1}{8}" = 1'-0"$



Memorandum

To: Planning and Zoning Commission
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti Barksdale-Noble, Community Development Director
Date: February 6, 2019
Subject: **PZC 2018-18 Heartland 3rd PUD Amendment** (Text Amendment)

BACKGROUND AND PROJECT DESCRIPTION:

The petitioner, Marker Inc., is requesting an amendment to the Heartland Subdivision Planned Unit Development to reduce the interior side yard setback from twenty (20) feet to ten (10) feet on Lot 187 of the subdivision. Additionally, the petitioner is requesting to increase the maximum allowable height of a permitted fence in a business district from six (6) feet to eight (8) feet. Lot 187 is generally located at the southwest corner of the intersection of US Route 34 and McHugh Road.

STAFF RECOMMENDATION:

The petitioner and staff are still attempting to contact the adjacent property owner, Casey's General Store, to discuss shared access to the site. Staff is recommending continuing this item to the March 13, 2019 Planning and Zoning Commission meeting to provide more time for a response. Staff will attempt to contact the owners by mail, e-mail, and phone but if no response is received, then it will be presumed that the owner has no interest in allowing access. If there is no response to either the petitioner or City staff then the Planning and Zoning Commission will make their recommendation at the March 13, 2019 Planning and Zoning Commission meeting.



Memorandum

To: Planning and Zoning Commission
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti Barksdale-Noble, Community Development Director
Date: March 6, 2019
Subject: **PZC 2018-18 Heartland 3rd PUD Amendment** (Text Amendment)

BACKGROUND AND PROJECT DESCRIPTION:

The petitioner, Marker Inc., is requesting an amendment to the Heartland Subdivision Planned Unit Development to reduce the interior side yard setback from twenty (20) feet to ten (10) feet on Lot 187 of the subdivision. Additionally, the petitioner is requesting to increase the maximum allowable height of a permitted fence in a business district from six (6) feet to eight (8) feet. Lot 187 is generally located at the southwest corner of the intersection of US Route 34 and McHugh Road. This item has been continued since the December Planning and Zoning Commission meeting. Please see the attached documents for more details.

STAFF COMMENTS:

Over the past three months, the petitioner and staff have tried to contact the adjacent property owner, Casey's General Store, to discuss shared access to the site. The Economic Development Committee recommended that the petitioner connect to the Casey's site as an access point along McHugh Road brought up safety concerns. Since the February 13th Planning and Zoning Commission meeting, staff has attempted to contact Casey's and have not received any response. Therefore, as stated in last month's memo, it is staff's assumption that due to the lack of communication that Casey's does not want to provide access to this site. It is staff's recommendation the Committee Members review all previous materials submitted (attached) and evaluate the request being made without a connection to the Casey's site.

PROPOSED MOTION:

Based on information provided by staff in memorandums dated December 6, 2018, February 6, 2019, and March 6, 2019 and testimony presented during a Public Hearing on January 9, 2019 and the standards for PUD approval and amendment, the Planning and Zoning Commission recommends approval of an amendment to the Heartland Annexation and Planned Unit Development Agreement to reduce the side yard setback from twenty (20) feet to ten (10) feet and further subject to {insert any additional conditions of the Planning and Zoning Commission}...

ATTACHMENTS:

1. November 7, 2018 Staff Memo
2. January 9, 2019 PZC Packet Materials
3. January 9, 2019 Additional Submitted Materials
4. February 6, 2019 Staff Memo

PUBLIC NOTICE
NOTICE OF PUBLIC HEARING
BEFORE
THE UNITED CITY OF YORKVILLE
PLANNING & ZONING COMMISSION
PZC 2018-18

NOTICE IS HEREWITH GIVEN THAT Marker, INC, petitioner has filed an application with the United City of Yorkville, Kendall County, Illinois, requesting an amendment to the Heartland Subdivision Planned Unit Development to reduce the interior side yard setback from twenty (20) feet to ten (10) feet on Lot 187 of the subdivision. Additionally, the petitioner is requesting to increase the maximum allowable height of a permitted fence in a business district from six (6) feet to eight (8) feet. The real property is located at the southwest corner of the McHugh Road and Route 34 intersection in Yorkville.

The legal description is as follows:

LOT 187 IN HEARTLAND IN YORKVILLE UNIT 1, BEING A SUBDIVISION OF PART OF THE WEST HALF OF SECTION 27 AND PART OF THE EAST HALF OF SECTION 28, TOWNSHIP 37 NORTH RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN BRISTOL TOWNSHIP, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 16, 2001 AS DOCUMENT NO. 200100002570 IN KENDALL COUNTY, ILLINOIS

PINs: 02-28-252-013

NOTICE IS HEREWITH GIVEN THAT the Planning and Zoning Commission for the United City of Yorkville will conduct a public hearing on said application on Wednesday, November 14, 2018 at 7 p.m. at the United City of Yorkville, City Council Chambers, located at 800 Game Farm Road, Yorkville, Illinois 60560.

The public hearing may be continued from time to time to dates certain without further notice being published.

Application and information materials regarding this notice are available for public review and any questions or written comments should be addressed to the United City of Yorkville Community Development Department, City Hall, 800 Game Farm Road, Yorkville, Illinois. All interested parties are invited to attend the public hearing and will be given an opportunity to be heard.

By order of the Corporate Authorities of the United City of Yorkville, Kendall County, Illinois.

BETH WARREN
City Clerk

BY: Lisa Pickering
Deputy Clerk

Ordinance No. 2019-_____

**AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY,
ILLINOIS, AUTHORIZING THE THIRD AMENDMENT TO THE PLANNED UNIT
DEVELOPMENT PLAN FOR THE HEARTLAND SUBDIVISION
(Lot 187)**

WHEREAS, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

WHEREAS, the City entered into an Annexation and Planned Unit Development Agreement approved by Ordinance 1999-30, and further amended by a First Amendment by Ordinance 2001-44 and a Second Amendment by Ordinance 2005-05 to the Heartland Subdivision Planned Unit Development Plan; and,

WHEREAS, the current owner/developer, Marker Inc. have requested a major change pursuant to Section 10-8-9B of the Yorkville Zoning Ordinance to the Amended Heartland Subdivision Planned Unit Development to permit a reduction to the side yard setback from twenty feet (20’) to ten feet (10’) for the benefit of Lot 187 in Heartland Subdivision Unit 1; and,

WHEREAS, notice of a public hearing on the proposed major change to the Planned Unit Development was published and pursuant to said notice the Planning and Zoning Commission conducted a public hearing on January 9, 2019 on said petition in accordance with the State statutes and the ordinances of the City; and,

WHEREAS, the Planning and Zoning Commission after the hearing recommended to the Mayor and City Council approval of the side yard reduction by amendment of the Planned Unit Development Plan.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the
United City of Yorkville, Kendall County, Illinois, as follows:

Section 1: The above recitals are incorporated and made a part of this Ordinance.

Section 2: That the Amended Heartland Subdivision Planned Unit Development Plan is
hereby further amended by amending the side yard regulations for the benefit of the following
legally described property:

**LOT 187 IN HEARTLAND IN YORKVILLE UNIT 1, BEING A SUBDIVISION OF PART OF
THE WEST HALF OF SECTION 27 AND PART OF THE EAST HALF OF SECTION 28,
TOWNSHIP 37 NORTH RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN
BRISTOL TOWNSHIP, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 16,
2001 AS DOCUMENT NO. 200100002570 IN THE UNITED CITY OF YORKVILLE, KENDALL
COUNTY, ILLINOIS.**

PIN: 02-27-356-002

to reduce the side yard setback to ten feet (10'),

subject to the following conditions:

- A. The maximum height of a building on the property shall be limited to 2 stories (28 feet)
as defined in section 10-2-3 of the Yorkville Zoning Ordinance.
- B. That any fence shall comply with the existing height requirement of six feet (6.0') or less.

Section 3: This Ordinance shall be in full force and effect upon its passage, approval,
and publication in pamphlet form as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois this
_____ day of _____, 2019.

CITY CLERK

KEN KOCH	_____	DAN TRANSIER	_____
JACKIE MILSCHEWSKI	_____	ARDEN JOE PLOCHER	_____
CHRIS FUNKHOUSER	_____	JOEL FRIEDERS	_____
SEAVAR TARULIS	_____	JASON PETERSON	_____

Approved by me, as Mayor of the United City of Yorkville, Kendall County, Illinois, this
_____ day of _____, 2019.

MAYOR



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Planning and Zoning Commission #2

Tracking Number

PZC 2019-05 and EDC 2019-26

Agenda Item Summary Memo

Title: Short Term Rental Regulations

Meeting and Date: City Council – May 14, 2019

Synopsis: Details amendments being proposed to the Zoning Ordinance regarding Short
Term Rental Regulations

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Vote

Submitted by: Jason Engberg Community Development
Name Department

Agenda Item Notes:

See attached memo.



Memorandum

To: City Council
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti J. Barksdale-Noble, Community Development Director
Date: May 6, 2019
Subject: **PZC 2019-05 Short Term Rental Regulations**

SUMMARY AND PROPOSED REGULATIONS:

Over the past decade, technological innovations have driven the availability of sharing services to the public through the use of smart phones and web applications. Some examples include vehicle sharing, ride sharing, payment sharing, and home sharing services. The home sharing service is one that cities and communities around the country are struggling to understand and properly regulate. In terms of zoning, the biggest issue with these “short-term rental” properties is determining if and when the land use changes from residential to commercial.

Staff conducted research on the topic and drafted proposed changes to the City’s Zoning Ordinance to address short-term rentals. These amendments were brought in front of the Economic Development Committee (EDC) at the March 6, 2019 meeting (attached). After discussing the initial text amendments to the Zoning and Business codes, it was determined to permit short-term rental uses in all residential districts without requiring a permit, license, or special use.

PROPOSED REVISIONS:

10-2-3: DEFINITIONS:

SHORT-TERM RENTAL:

A home occupation of a single-family dwelling unit that is used as a primary residence by owners or renters, or a portion of such unit, that is rented for less than 30 days at a time to transients and temporary guests.

10-6-0: USE TABLES:

TABLE 10.06.01 – RESIDENTIAL USES

Use Category	Zoning Districts															
	A-1	OS-1	OS-2	E-1	R-1	R-2	R-2D	R-3	R-4	O	B-1	B-2	B-3	B-4	M-1	M-2
Short-Term Rental	-	-	-	P	P	P	P	P	P	-	-	-	-	-	-	-

PLANNING AND ZONING COMMISSION:

The Planning and Zoning Commission held a public hearing for the proposed text amendment to the Yorkville Zoning Ordinance. The Commission approved the changes without any additional comments or stipulations. The commission made the following action on the motion below:

In consideration of testimony presented during a Public Hearing on April 10, 2019, the Planning and Zoning Commission recommends approval to the City Council of a request to amend Section 10-2-3 and Section 10-6-0 of the United City of Yorkville Zoning Ordinance as presented by staff in a memorandum dated April 3, 2019.

Action Item:

Olson-aye; Williams-aye; Marcum-aye; Vinyard-aye

4 ayes; 0 no

ATTACHMENTS:

1. Economic Development Committee Materials (3-5-19)
2. Economic Development Committee Materials (4-2-19)
3. Planning and Zoning Commission Memorandum (4-10-19)
4. Draft Ordinance



Memorandum

To: Economic Development Committee
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti J. Barksdale-Noble, Community Development Director
Date: February 14, 2019
Subject: **PZC 2019-05 Short Term Rental Regulations**

BACKGROUND:

Over the past decade, technological innovations have driven the availability of sharing services to the public through the use of smart phones and web applications. Some examples include vehicle sharing, ride sharing, payment sharing, and home sharing services. The home sharing service is one that cities and communities around the country are struggling to understand and properly regulate. In terms of zoning, the biggest issue with these “short-term rental” properties is determining if and when the land use changes from residential to commercial.

A majority of municipalities do not allow hotels and motels, typically considered a commercial use, in their single family residential districts, as these uses tend to increase traffic, noise, and activity. The debate over short-term rentals of residential properties is whether these uses are considered residential, commercial or something new entirely. This memorandum details the City’s current regulations and how staff recommends addressing short-term rentals to maintain the health and safety in our residentially zoned areas.

EXISTING REGULATIONS:

Currently, the City of Yorkville has no official regulations regarding short-term rental properties. The Zoning Ordinance does define “bed and breakfast inn” as well as “hotels/motel,” and permits each in the following districts:

Land Use	A-1	OS-1	OS-2	E-1	R-1	R-2	R-2D	R-3	R-4	O	B-1	B-2	B-3	B-4	M-1	M-2
Bed and Breakfast Inn	S	-	-	S	S	-	-	-	-	-	S	S	S	-	-	-
Hotel/Motel	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-

* “S” Denotes permitted as a special use

While these uses have definitions and areas where they are allowed, short-term rental properties are not the same as either of these uses. Both of these uses would be considered businesses which provide services to guests and visitors. A bed and breakfast is a type of hotel that typically keeps its residential qualities but provides meals and other activities for its users. Hotels/motels are specific businesses which are expressly used only for transient and temporary living situations. Those who use their primary home as a short term rental property do not personally provide food, services, or entertainment to those staying at their residence as these

businesses would. Therefore, short-term rental properties should be defined as its own use and be regulated separately from these land uses.

At the time of the drafting of this memorandum, there is only one property being advertised for rent in Yorkville on the two largest home-sharing providers: AirBNB and VRBO¹. There are several additional availabilities in Sandwich, Plano, Oswego, and Aurora (search criteria was for the January 19-20, 2019 weekend). While it does not seem like short-term rentals are currently a large issue within Yorkville at the moment, the City is trying to be proactive in its effort with this popular trend. The City needs guidelines and set expectations if this trend grows in the area as to not only react to complaints once it arrives.

LEGAL ISSUES:

The controversy over how to regulate this new industry has caused legal challenges across the country and in the state. Chicago passed an ordinance in 2016 which has been met with many legal challenges. The City of Chicago adopted a large and thorough ordinance which creates a registration program for those who wish to rent out their home, and they must also obtain a license. The complexity and enforcement of this ordinance has created problems for Chicago and its residents. Uneven enforcement and delays in licensing cause home owners renting their property to either not be able to register or result in escalating fines which they cannot afford.

In terms of legal issues nationally, the most contested cases include cities which outright prohibit short term rentals or those that regulate it to the point of nonexistence. This can include regulations which require the owner to live at the property while it is being rented, while also registering for a business license and paying taxes to the local municipality. An 80% drop in short-term rentals was the result of Santa Monica, California enacting these strict rules which were adopted in 2015. Yorkville will have to find a balance between preserving the safety and quality of life for its residents, while allowing the rental market to run smoothly.

Additionally, before suggesting or enacting any city ordinances, potential and current state legislation must be reviewed, as Yorkville is a non-home rule community. There is an Illinois State bill which was filed in February 2017 titled SB1735 which is a statewide short-term rental regulation bill. The bill has not been adopted and currently has no further date for review or adoption. While this bill has not been passed, it is important to plan for its potential passing, as it would affect any language Yorkville adopts.

In SB1735, it provides that **units of local government may not enact or enforce an ordinance, regulation, or plan that has the express or practical effect of prohibiting short-term rentals.** The bill does, however, allow for a municipality to regulate short-term rentals to protect the public health and safety. This would allow local governments to impose zoning regulations if the government can demonstrate that the regulation is necessary to protect the public health and safety, such as fire and building codes, traffic control, and waste control. The bill would also allow local governments to apply sales taxes and hotel/motel taxes on short-term rentals. Also,

¹ www.airbnb.com; www.vrbo.com

the bill includes a home rule preemption, so if this legislation passes, it would apply throughout the state.

Finally, staff has confirmed with our legal counsel that the City is permitted to regulate short-term rentals as a non-home rule community. With the understanding of the current legal issues facing short-term rentals, the City of Yorkville is able to draft regulations which protect the health and safety of the community while allowing short-term rentals to operate properly.

HOW OTHER MUNICIPALITIES REGULATE SHORT-TERM RENTALS

There are four basic ways that local governments have addressed short-term rentals and each contain their inherent positive and negative consequences:

Permit them without any regulations

Permitting short-term rentals without any regulation may cause problems in the future if the amount of short-term rentals grows and potentially impacts single-family communities.

Allow them but make them obtain a license or permit

Making individuals obtain a license or permit gives the municipality some oversight into regulations of rental properties and where they are located. It also allows for those renting their dwellings to be subject to any municipal hotel/motel tax.

Allow them as part of a special use or conditional use

Similar to obtaining a license, by making short-term rentals a special or conditional use, the municipality would make those who would like to rent their dwellings to go through a public hearing process. This allows staff, committees, and board members to add conditions to any short-term rental throughout the process and makes each approval of a short-term rental a case by case basis.

Prohibit them outright

Prohibiting them outright removes all the potential negative impacts short-term rentals may have but opens the municipality to legal challenges and can cause the city to lose potential hotel/motel tax income. Currently, if a use is not identified in the Yorkville City Code, then the use is considered prohibited.

In terms of how Yorkville's neighbors have handled short-term rentals, please view the table below:

Municipality	How is it Addressed?
Montgomery	Short-term rentals are not currently addressed in the zoning ordinance. The Village is currently updating their code and may create some regulations.
Oswego	Short-term rentals are not currently addressed in the zoning ordinance.

Plano	Short-term rentals are not currently addressed in the zoning ordinance.
Sugar Grove	Short-term rentals are not currently addressed in the zoning ordinance.
Plainfield	Short-term rentals are not currently addressed in the zoning ordinance. The Zoning Ordinance has extensive regulations regarding Bed and Breakfast establishments which the City may use if a short-term rental is becoming a frequent nuisance.
Joliet	Short-term rentals are not currently addressed in the zoning ordinance.
Naperville	Short-term rentals are not currently addressed in the zoning ordinance.

As one can see, the adjacent communities have not yet addressed the short-term rental land use and only Plainfield uses its current regulations to somewhat address the issue. The City will have to provide a balanced set of regulations to ensure the process is not too cumbersome, while also giving City staff enforceability and oversight on the short-term rental market.

In terms of communities in Illinois, not many have addressed the short-term rental situation. Although, the Village of Riverside, Illinois in Cook County has recently adopted an ordinance which regulates “vacation rentals” which is defined similarly to short-term rentals. Riverside is a small non-home rule community with a population of about 9,000 people. Their ordinance (attached) includes common definitions for vacation rentals as well as details on their licensing process and procedures. It also covers prohibited acts and potential penalties for violating the ordinance.

DETERMINE GOALS AND OUTCOMES:

Before regulations may be drafted, it is best to determine the goals of the ordinance to ensure language is drafted to produce the desired outcome. Since short-term rentals are not a current issue within the City but could be a concern for single-family home owners, the main purpose of the regulations should be to preserve and maintain the quality of life and safety for those within the residential districts. Additionally, the regulations should support the city’s long term planning goals and support its hotel/motel industry.

It will be important that the City does not prohibit or have the practical effect of prohibiting short-term rentals. Other than the legal challenges the regulations would face, it would be beneficial for the ordinance to regulate and promote short-term rentals, as visitors will likely patronize local businesses.

PROPOSED REGULATIONS:

The two Titles within the Yorkville Municipal Code which will need to be amended are “Title 10 Zoning” and “Title 3 Business and License Regulations.” The amended regulations in the zoning section will outline the requirements to conduct a short-term rental while the amendments in Title 3 will add definition and licensing procedures.

The following regulations are being proposed to be added as Section 10-3-15 (Zoning):

10-3-15 SHORT-TERM RENTALS

- A. *Purpose.* To recognize the desire of some property owners to rent their dwelling on a short-term basis and establish appropriate regulations to mitigate the disruption that short-term and vacation rental dwellings may have on a neighborhood and to maintain the overall quality of life, health, and safety of the City.
- B. *Definition.*
SHORT-TERM RENTAL UNIT: A home occupation of a single-family dwelling unit that is used as a primary residence by owners or renters, or a portion of such unit, that is rented for less than 30 days at a time to transients and temporary guests. This does not include group homes or bed and breakfasts which are defined in Chapter 2 of this title.
- C. *Applicability.* This section shall apply to all rentals of a residential dwelling as a short-term rental. This includes all properties located in the Agricultural, Estate and Residential Districts as well as conforming and non-conforming residential uses in all other districts.
- D. *General Provisions*
1. Performance Standards: All short-term rental units will be subject to the regulations of the Property Maintenance code adopted in Section 8-2-9 and Noise Regulations adopted in Section 4-4 of the Yorkville City Code.
 2. Occupancy: Maximum occupancy of the rental shall be based on the Property Maintenance Code standards. The property owner shall be responsible for ensuring that the dwelling unit is in conformance with its maximum occupancy which shall be stated on the license application.
 3. Parking: The short-term rental unit shall not generate traffic beyond what is normally expected in the zoning district in which it is located.
 4. Dispersal: A permitted short-term rental unit in a detached single-family house shall not be within two-hundred and fifty feet (250') of the property line from another permitted detached single-family short-term rental unit. Multi-family attached dwelling units are exempt from this regulation.
 5. Signage: No outdoor advertising signs related to the rental dwelling shall be allowed on site.

6. Insurance: The property owner shall maintain on file at the city an up-to-date certificate of insurance documenting that the dwelling is insured as a short-term rental unit.
 7. Food: Meal service prepared onsite provided by the license holder or their agents is prohibited.
- E. *Hotel Operators' Occupation Tax.* The owner and/or operator of a short-term rental unit must conform to all regulations in Section 3-2-7.
- F. *License Procedure.* No dwelling unit may be utilized as a short-term rental unit unless the owner of the property obtains a license from the City Clerk. Application requirements and procedures for a license are located in Section 3-14.
- G. *Local Property Representative.* The property owner must designate himself or herself or a local property representative who is located within a thirty (30) mile radius of the short-term rental and shall be available at all times during the rental for the purpose of:
1. Responding within a reasonable time to complaints regarding the condition, operation, or conduct of occupants of the short-term rental; and
 2. Taking action to resolve any such complaints.
- H. *Penalties.* The failure to comply with all of the regulations outlined in this Section or the failure to keep the Local Property Representatives information up to date may result in the suspension or revocation of a license pursuant to the procedures in Section 3-1-12.

The following regulations are being proposed to be amended into Section 3-2-7 (Municipal Taxes):

3-2-7: HOTEL OPERATORS' OCCUPATION TAX

- A. Definitions: For the purposes of this Section the following definitions shall apply:

HOTEL: For purposes of this Section, every building, buildings or structure, kept, used, maintained, advertised and held out to the public to be a place in which the public may, for consideration, obtain living quarters, sleeping, housekeeping accommodations, lodging, lodging and food or apartments or suites or other accommodations offered to the public for rental on a daily basis. The term includes inns, hotels, tourist homes or courts, lodging houses, **short-term rental units**, rooming houses and apartment houses.

The following regulations are being proposed to be added as Section 3-14 (Short-Term Rental License):

**CHAPTER 14
SHORT-TERM RENTAL UNITS**

3-14-1 DEFINITIONS:

For the purpose of this Chapter, the following words and phrases shall have these meanings:

SHORT-TERM RENTAL UNIT: A home occupation of a single-family dwelling unit that is used as a primary residence by owners or renters, or a portion of such unit, that is rented for less than 30 days at a time to transients and temporary guests.

3-14-2 SHORT-TERM RENTAL UNIT LICENSE REQUIRED:

A license is required to operate a short-term rental unit, as defined in this chapter, within the City. Licenses shall be issued by the City Clerk. No license shall be transferable to another person or location or to other short-term rental units.

3-14-3 APPLICATION FOR SHORT-TERM RENTAL UNIT LICENSE:

An application shall be filed for every short-term rental unit in the City that is required to obtain a license on a form provided by the City made under oath with the payment of nonrefundable annual license fees in the amount set forth in section 3-14-4 of this chapter. The applicant must be eighteen (18) years old or older and the owner for which the application is sought or an agent of the owner with authority to bind the owner. The application for a short-term rental unit license shall be accompanied by the following information:

- A. The name, address and phone number of the property owner(s) and proof that it is their primary residence.
- B. The address at which the short-term rental unit is being conducted.
- C. The designation of the local property representative who will be subject to the regulations in Section 10-3-15-G.
- D. If the property is subject to regulations or restrictions by a homeowner's association or condominium association, applicant must provide documentary evidence that the applicable association or board has approved the use of the property as a short-term rental.
- E. Certificate of insurance documenting that the dwelling unit is insured as a short-term rental unit with liability insurance with limits of not less than one million dollars (\$1,000,000) per occurrence, for bodily injury and property damage arising in any way from the issuance of the permit with thirty (30) days' advance notice to the City prior to cancellation or lapse of the policy.

- F. The application shall include consent to perform investigations of the veracity of all of the information and documentation provided, criminal background checks and fingerprinting of the persons required to be identified in the application. The cost of the criminal record check and fingerprint submissions shall be borne by the applicant.

3-14-4 TERMS OF LICENSE; LICENSE FEES; LICENSE RENEWAL:

- A. The term for licenses issued under this chapter is for one year beginning January 1, and ending on December 31.
- B. All license fees required to be paid shall be paid at the time that the initial or renewal application is made. All applicable license fees and any other required fees, including costs of fingerprinting, shall be paid prior to the issuance of any license.
- C. The initial license fee and the annual license renewal fee for a short-term rental unit license shall be one hundred dollars (\$100.00) per calendar year. If at the time of the initial filing, less than six (6) months of the current license year shall have expired, the full license fee shall be charged. If more than six (6) months of such current year shall have expired, a license fee of one-half (1/2) the full fee shall be charged.
- D. In addition to the annual license fee, the applicant is also responsible to pay for the cost of fingerprinting, which is regulated by the State of Illinois. The applicant is also responsible to pay for the cost of a background check which shall be fifty dollars (\$50.00).
- E. A license may be suspended or revoked for failure to pay the fees pursuant to the procedures in Section 3-1-12.

3-14-5 LICENSE REVOCATION; 3 YEAR WAIT FOR NEW LICENSE:

If a vacation rental license is revoked for any cause, no license shall be granted to any person for the operation of a short-term rental at the property described in the revoked license, or to the revoked licensee, and his or her co-owners, or the partners, members, managers, or officers of any owning partnership, limited liability company or corporation, for a period of three (3) years from the date of revocation.

COMMENTS ON PROPOSED REGULATIONS:

Staff has drafted this language in an attempt to provide regulations which meet the previously mentioned goals without deterring potential short-term rental users. The following is an explanation behind the reasoning for why some regulations were included and some were omitted:

Regulation	Included?	Purpose
Dispersal of Units	Yes	Ensures that certain areas of town or a neighborhood are not overrun by short-term rentals. Enforcing this regulation will be on a first come, first serve basis. Those who have a license first will be considered established and all future applicants will need to be dispersed from that dwelling. In the case of two rentals operating illegally and being cited, the first applicant to receive a license legally will be considered established.
Annual License Renewal	Yes	Allows the City to be aware of any change in the license holders information. Also, keeps an up to date list of permitted license holders.
Owner Occupies While Renting	No	While this regulation is used in some places but seems very cumbersome and would be hard to enforce.
Special Use Permit	No	A public hearing process may be too restrictive and deter those from short-term rental opportunities. Additionally, if the trend grows in the area then a significant amount of staff time will be dedicated to determining where these short-term rentals are allowed.

In terms of license fees, reviews were conducted externally as well as internally. The table below illustrates the fee structures for other communities with short-term rental regulations:

Municipality	Fees
Chicago, IL	\$250 annual fee
Riverside, IL	\$500 initial fee, \$250 annual renewal fee
Evanston, IL	\$50 annual fee

Internally, staff reviewed the licensing process being proposed and compared it to other licensing procedures within the City. In terms of amount of staff time and similar requirements for licensees, our recommendation models the same regulations for solicitors, tattoo and body piercing

establishments, and adult business establishments within Yorkville. These each require a \$100 annual fee and require a \$50 background check as the proposed short-term rental regulations.

Staff chose to recommend the fee amount similar to other City license procedures as our staff size and existing practices are known quantities. Additionally, the fees and regulations of other communities may deter potential short-term rental applicants and may not be in proportion to the amount of staff time it will take to process a license application.

NEXT STEPS:

Staff is seeking comments and guidance from the Economic Development Committee regarding the proposed regulations for Short-Term Rental Units. The proposed regulations will be reviewed by the Administration Committee and a public hearing will be held at a regular Planning and Zoning Commission Meeting. Once all parties have seen and reviewed the proposed amendments, a final draft will be reviewed by City Council. The dates have not yet been set for these meetings as staff is seeking direction from the Economic Development Committee on the initial draft before proceeding to the next review stages.

ATTACHMENTS:

1. Zoning Practice – October 2015 Issue 10



American Planning Association

Creating Great Communities for All

January/February 2019

PAS MEMO

Short-Term Rentals: Regulation and Enforcement Strategies

By Jared E. Munster, PHD, AICP

Short-term rentals, home sharing, vacation rentals, Airbnb: regardless of what you call the concept, it is clear that the new sharing economy has worked its way into virtually every residential area in the country.

Short-term rentals (STRs) can be defined as the rental of all or part of a residential dwelling unit for a duration of occupancy of less than 30 days. They have raised the passions of free-market advocates who believe that the government should not regulate property rentals, as well as neighborhood activists who fear that STRs will degrade neighborhood cohesion and price out the very culture and experience visitors are venturing into neighborhoods to embrace. This conflict, as well as the challenge of attempting to regulate what is at its very core a residential occupancy, make the role of the planner critical in developing clear regulations that balance neighborhood concerns with practical limitations on how far local government can intervene in rental agreements for private property.

The City of New Orleans Department of Safety and Permits (DSP) has developed and implemented a regulatory regime that has been internationally cited as a model for balancing the inescapability of this use with the protection of neighborhoods and residents. Over the course of several years, through formal planning studies, zoning ordinance text amendments, and prolonged negotiations with listing platforms, residents, interest groups, and neighborhoods, the city developed a robust package of practical and enforceable regulations that provided the market flexibility required by private industry.

This *PAS Memo* provides a case study of New Orleans's experience with this phenomenon and offers strategies and lessons learned for planners as they navigate this highly contentious issue.

Background and History of Short-Term Rental Regulations in New Orleans

New Orleans's history with transient rentals begins far before the age of digital bookings and informs the conversations of the last several years. In the 1960s, the Vieux Carré, or French



Figure 1. New Orleans's Vieux Carré (French Quarter).
Flickr photo by Pedro Szekeley (CC BY-SA 2.0).

Quarter, the oldest residential neighborhood in the city (Figure 1), was losing its inhabitants at an unsustainable pace. Hotel and tourism-supportive development were destroying the historic buildings that made the area attractive to tourists and pricing out the residents, businesses, and artists that created the unique nature of the neighborhood.

In 1969, a New Orleans City Council moratorium on hotel or transient lodging development in the Vieux Carré stemmed the tidal wave of hotel development and stabilized an otherwise at-risk community. This moratorium was converted to a permanent prohibition on hotel development through subsequent zoning changes. Even today the basis for opposition to tourist lodging in the Vieux Carré is still the nearly 50-year-old moratorium.

Early Attempts to Regulate Short-Term Rentals

As the nature of tourism changed through the years, residents began renting out homes or apartments during major festivals, such as Mardi Gras or the Jazz and Heritage Festival. New Orle-

ans, as a major tourism destination hosting large-scale events on an annual basis, became a laboratory of creative ways to rent property.

The practice benefitted both parties to the transaction. New Orleans residents could vacation out of town during periods of high tourist volume when many businesses temporarily close or become overwhelmed. Visitors had access to a new pool of accommodations that could host families or groups too large to share a single hotel room or afford a traditional hotel.

This very capitalistic pairing of supply and demand naturally coalesced into a local cottage industry with unintended—but certainly not unforeseen—consequences. Over time, local property owners and outside investors noticed the demand for non-hotel accommodations and began acquiring property for the sole purpose of renting to tourists. This began displacing local residents, turning once-thriving neighborhoods into seasonal entertainment venues.

To address this burgeoning concern, the New Orleans City Council adopted Ordinance 21606 M.C.S. in 2004. This strong attempt by the city council to rein in vacation rentals ordained that:

[i]t shall be unlawful for any person to knowingly offer to rent for monetary compensation for a period of less than 30 days or, in the case of premises located in the Vieux Carré District, 60 days, any living accommodations in the city if the premises offered for rent are not lawfully licensed or permitted for such use. (§54-491.1(b))

Should a property owner or lessor be prosecuted for the offense, the publication of such an offer to rent in print or electronic media would “create a rebuttable presumption that the person had knowledge of the offer to rent” (§54-491.1(d)).

At the time, the city’s comprehensive zoning ordinance contained a defined use category of “Transient Vacation Rental” that provided three primary criteria in the classification of the use:

- the property was successfully rented for periods of less than 30 days (not just advertised as such)
- the property was rented to “non-residents”
- these rentals occurred over the course of a year or longer

Transient Vacation Rentals were allowed only within the Central Business District zoning districts, not any residential or business districts.

Unfortunately, however, the construction of these laws made enforcement virtually impossible, which led to growing frustration among neighbors who believed that the city was unwilling to enforce its own regulations regarding these uses.

The language of the 2004 ordinance outlawed only the “offer to rent” a living accommodation—it did not prohibit the action of executing such a rental. Additionally, the restriction was housed within the city’s criminal code, which meant that any citation for the misdemeanor would have to be issued by the police department and the violation adjudicated by a

judge in the city’s municipal court. A second concern was the potential for a constitutional claim that the city was violating the free speech rights of property owners, because the restricted speech was not advertising a service prohibited by law.

DSP had administrative jurisdiction over the Transient Vacation Rental zoning provisions, but as noted above, the city was required to prove that rental actions of less than 30 days had physically occurred over a period of one year or longer.

Even with these limitations, in 2015 DSP chose to bring nine properties known to be in violation through its administrative adjudication process. Success would establish that DSP could build a prosecutable case under existing law where suitable documentation for violations existed and take actions against the hundreds of properties that had received complaints. However, if after years of compiling evidence, building cases, and partnering with neighbors to collect evidence the city was judged unable to meet its burden of proof in the administrative hearings, the cases would be dismissed.

A primary element of DSP’s cases was the user reviews publicly available on websites such as airbnb.com. By matching neighbor complaints and documentation against the dates provided in the published reviews, DSP was confident in its ability to adequately meet the three-pronged burden of proof for operation of a Transient Vacation Rental. Recognizing the limitations of this body of evidence, DSP concentrated its efforts on the most egregious violators for which there was significant documentation.

But the adjudication hearings were never held. Days before the scheduled hearing, one of the property owners filed for a temporary restraining order against further proceedings due to vagueness of the charges and a constitutional challenge to the city’s administrative hearings process. After several weeks of correspondence with the plaintiff’s attorney, the city agreed to suspend prosecution of the nine cases. This agreement marked the end of active enforcement efforts against alleged STRs pending a new body of law.

Developing the New Regulatory Regime

The need for an updated regulatory package was now clear. Beginning in late 2014, a rough framework of reform began to take shape. If transient vacation rentals were legalized, the regulation process would have to be understandable and transparent to inspire confidence in the community. From these guiding principles, DSP, in coordination with the City Planning Commission and community stakeholders, began to formulate a new approach to regulation.

Whatever framework emerged had to be easily enforceable with a readily demonstrable burden of proof. But before the city could create a solution, it had to understand the problem.

The Short-Term Rental Study

In response to the now-demonstrated inability of the city to administratively enforce its transient vacation rental regulatory structure, in August 2015 the New Orleans City Council directed the City Planning Commission to study the regulation of these uses.

Over the course of nearly six months, the commission solicited information from neighborhoods, industry groups, hosting platforms, peer cities, and other agencies within the city to gain a full understanding of the nature of STRs as a land use—from the regulatory issues faced by DSP, to perception and documentable issues from neighborhoods, to the projected benefits of legitimizing the use fostered by the hosting platforms. Staff held more than a dozen meetings and multiple public hearings, and over 400 written comments were submitted to the commission (Rivers 2017).

In addition to these outreach efforts, the commission embarked on a study of documentable evidence and national best practices. In evaluating the practices of cities throughout the United States to determine previous regulatory successes and failures, the study found several key points (New Orleans City Planning Commission 2016):

- these uses fall into different categories and should be regulated differently based on location and rental type
- there must be performance standards to which operators can be held responsible to ensure the stability of neighborhoods
- fees and fines must be set at the appropriate level to encourage compliance while being impactful enough to penalize illegal behavior

Based on this study, staff presented four use types to the commission for consideration before a recommendation was made to the City Council: accessory, temporary, principal residential, and commercial (Figure 2). The commission voted to remove the “principal residential” type on the concern that this would cause exactly the scenario community groups feared most—turning residences into hotels and displacing residents.

In consultation with DSP, commission staff also recommended a series of requirements and performance standards creating an easily enforceable, comprehensive list of guidelines to ensure neighborhood compatibility, guest safety, and meaningful regulatory enforcement. These standards also provided many requirements with a low burden of proof for administrative enforcement, considered key to a high rate of compliance with the new regime.

Negotiation and Policy Priorities

The city knew that not gaining buy-in from the listing platforms would be a recipe for failure. Throughout policy negotiations, only Airbnb actively engaged with the process, which created the unintended result that compliance was easier for its platform than others. However, the city would work with other platforms following launch to bring compliance as close as possible in consideration of demonstrated technical and data considerations.

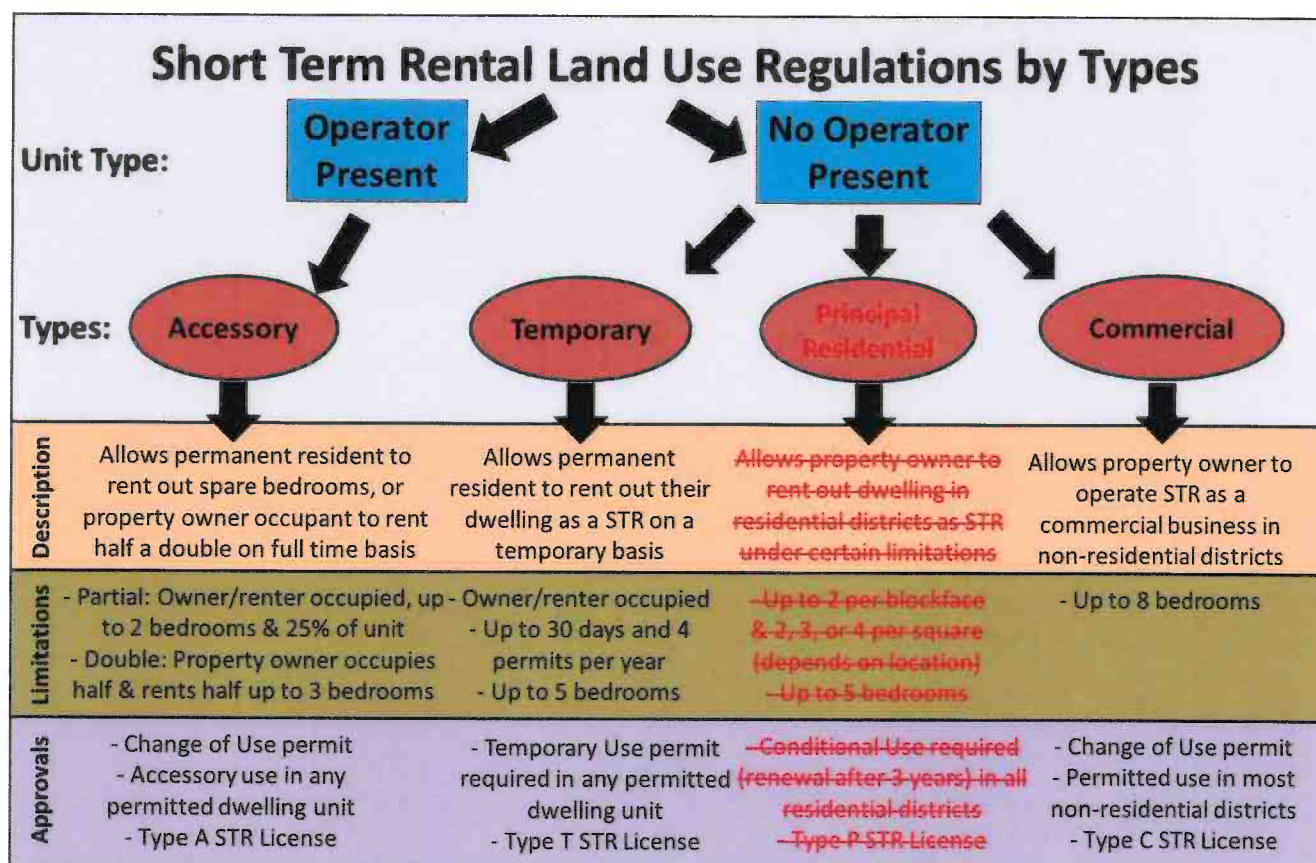


Figure 2. Short-Term Rental Types. Courtesy New Orleans City Planning Commission.

The New Regulations

The four ordinances adopted by the New Orleans City Council in 2016 established the provisions in the city code and zoning ordinance required to successfully implement the recommendations of the City Planning Commission's study and regulate STRs in New Orleans. Ordinances 27209 and 27204 provided the framework of the enforcement regime, including easily enforceable standards to allow swift citations of property owners who did not comply with the regulations. The other two ordinances addressed taxation and investment into the city's Housing Improvement Fund as mechanisms to turn STRs into a benefit to the communities they would be occupying.

Ordinance 27204 M.C.S. This [ordinance](#) (codified as [§26-613 et seq.](#)) established a licensing and enforcement regime, provided for a public registry of licensed STRs as well as provisions for datasharing with the listing platforms, and set fees and penalties for the program. The licensing provisions formally created three license types (accessory, temporary, and commercial) corresponding to concurrently created zoning land-use types, and provided safety and compliance standards by which DSP would evaluate applications for these licenses. To maintain a low barrier to entry into the permitting process, applicants were permitted to comply with these provisions by attestation, with DSP following up to verify compliance. Falsification or misrepresentation of any material information in the application process would result in the immediate revocation of the license.

Ordinance 27209 M.C.S. This [zoning text amendment ordinance](#) implemented the changes outlined in the city planning commission's 2016 study. It defined the STR land use generally, as well as the specific STR subcategories (accessory, temporary, and commercial), and imposed standards and requirements for the three use types. Additionally, this ordinance amended the permitted use tables to designate where STRs would be permitted as by-right or conditional uses. Accessory STRs were permitted within any legal dwelling unit located within an owner-occupied single- or two-family dwelling (except for within the Vieux Carré). Temporary STRs would be permitted in any legal dwelling unit (except within the Vieux Carré) without consideration of owner occupancy but with a 90-night occupancy limitation. Commercial STRs would be permitted in virtually every commercial zoning district, including the Vieux Carré Entertainment District (Bourbon Street) but excluding the remainder of that neighborhood.

The standards can be broken into two primary categories (see table below). Regulatory compliance standards are black-and-white requirements for which the city can easily demonstrate noncompliance, while performance compliance standards are more subjective in nature and require a higher level of documentation to determine noncompliance.

Regulatory Compliance	Performance Compliance
<ul style="list-style-type: none"> • All short-term rentals require a license. • License placard to be prominently displayed in a manner visible from the public right-of-way. • License number to be posted on any rental listing. • Any rental listing must match the occupancy limitations of the approved license. • Any short-term rental has to have the outward appearance of a residential building. • Short-term rentals may not occupy any accessory structure, outdoor space, or recreational vehicle. 	<ul style="list-style-type: none"> • Only one party of guests is allowed in a short-term rental unit. • The number of guests may not exceed occupancy limitations stated on the license. • An in-town contact must be available to address any unruly guests or dangerous situations. • The rental shall not adversely affect the residential character of the neighborhood. • The rental shall not generate noise, vibration, odors, or other effects that unreasonably interfere with any person's enjoyment of their residence.

Ordinance 27210 M.C.S. This [ordinance](#) imposed a \$1.00-per-night fee on STRs above the city's standard tax structure directed to the Neighborhood Housing Improvement Fund, a limited-access fund that can be used only for community development under specific guidelines.

Ordinance 27218 M.C.S. This [ordinance](#) authorized the mayor to enter into a cooperative endeavor agreement with Airbnb, which agreed to collect and remit taxes on behalf of its users by including the required taxes and fees at the time of booking. This saved the city from creating tax accounts for every licensed property and requiring property owners to calculate and remit taxes individually. This was part of the negotiation process with the listing platform that would ease the regulatory burden on both the city and licensees—creating a “win” on both sides of the taxation transaction.

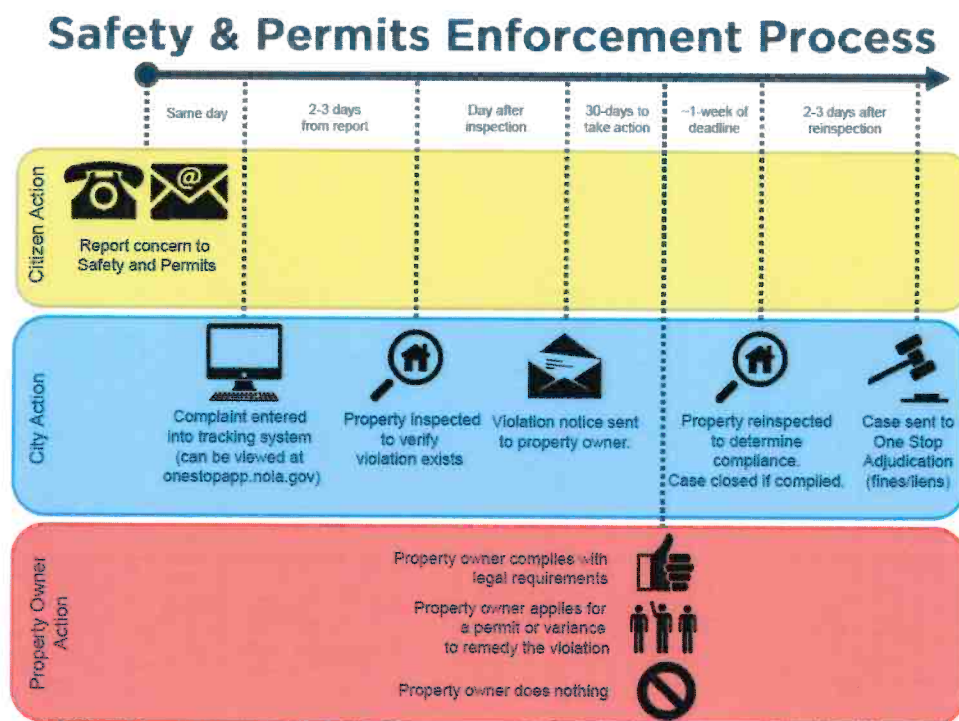


Figure 3. DSP's short-term rental enforcement process. Courtesy City of New Orleans Department of Safety and Permits.

Negotiations at this phase also took place with community leaders, city council members, and interest groups to create a structure that would be acceptable to the majority of stakeholders. Key points were appropriate annual limitations on temporary rentals, the mechanics and scope of data sharing, and the level of control platforms would have over encouraging compliance among their users.

Annual limitations on rental nights was one of the most public points of debate as the legislative process drew to a close. Type A (accessory) and Type C (commercial) licenses would have no limitations on annual rentals, but Type T (temporary) licenses would be subject to an annual cap on the number of nights the property could be rented out. STR advocates pushed for periods as long as 180 nights, while opponents, short of a ban, believed that the spirit of a "temporary" license could be satisfied with a cap of 30 nights per year (which was also the position of the commission). The city council ultimately decided to allow Type T rentals across the city with a maximum annual rental of 90 nights.

The remaining two points of negotiation, data sharing and platform assistance in overall compliance, were resolved as two sides of the same coin. The city would require data on rentals to enforce the 90-night cap on Type T licenses, and the listing platforms agreed that assistance from their side would boost user compliance with the new regulations and provide better data to track rentals, while the new standards would help ensure the safety of guests.

As part of the overall agreement, the platforms would voluntarily remove any unlicensed listings from their platform after a reasonable compliance period. The city would coordinate a pass-through registration program that would

allow applications to be filed through Airbnb's website, then uploaded into the city's permitting and licensing database. Additionally, Airbnb agreed to share certain anonymized data each month: a unique identifier for each listing, the number of nights rented in the last 30 days, and the total nights rented year-to-date. If additional information was required, the platform agreed to an administrative subpoena process, all of which was codified as Section 26-620 of the New Orleans City Code.

Implementation and Enforcement of STR Regulations

On December 1, 2016, the New Orleans City Council adopted four ordinances to implement the new STR program. The ordinances provided for regulation and taxation of STRs, as well as other administrative functions that aided the process (see sidebar).

As a result of the legislative action, DSP created the Short Term Rental Administration to serve as the single point of contact for the public in the licensing and enforcement process. Without this administrative office, the authority of implementation and enforcement would have been spread across several administrative units within DSP.

Building Public Confidence

As the agency responsible for licensing and enforcement, DSP knew that public confidence from day one would be critical for success. To demonstrate the city's intention of complete transparency and full compliance, the website nola.gov/str was launched on December 2, 2016, with all available information on the program: the data available from the 2016 study, the subsequent ordinance adoption process, and approximate timelines for program benchmarks.

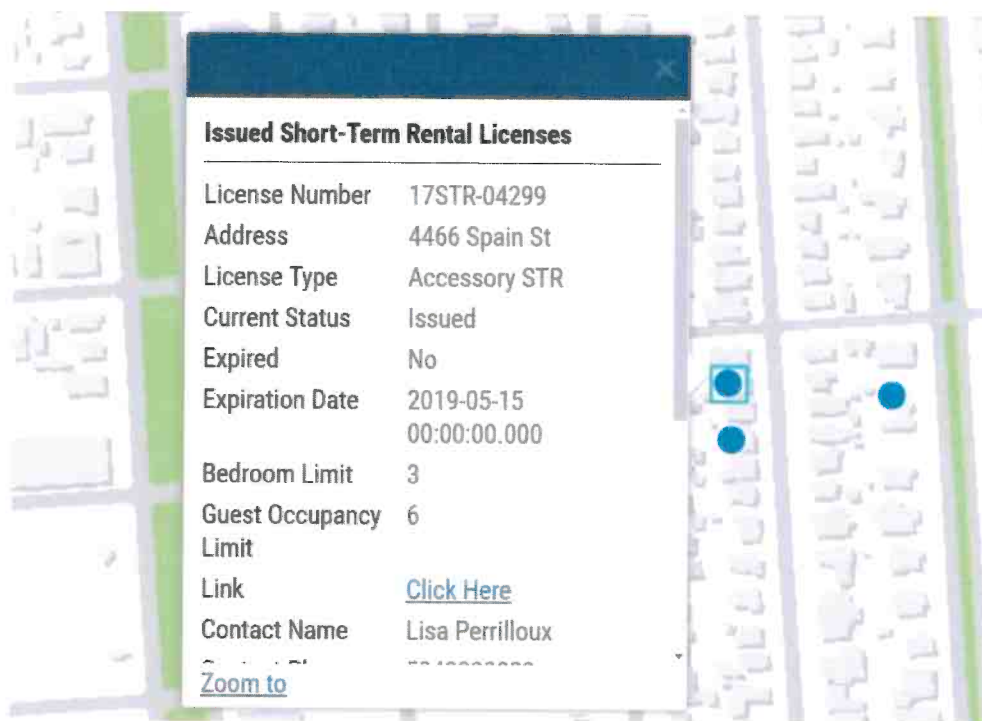


Figure 4. The city's interactive short-term rental registry and map. Courtesy City of New Orleans Department of Safety and Permits.

Within days, staff updated this website with information distilled from the adopted ordinances, simplifying the requirements and creating tables to help users understand the zoning restrictions. There were four months from adoption to the April 1, 2017, effective date to create internal and external processes for something that had never been tried before. DSP would focus its attention on three areas during this period: development of a robust internal process, transparency in process and enforcement, and development of a strong enforcement presence.

Development of Internal Processes

Internal processes were the first focus. Database configuration started early in the legislative process, which then allowed DSP to focus on other areas of internal process standardization: the pass-through connection from the city's database to Airbnb, a comprehensive analysis of license application workflow, and development of the enforcement regime that would be implemented.

Ultimately, the pass-through process was not a panacea of compliance as many hoped. Staff required information for license processing beyond that needed by the listing platform, so separate correspondence with every applicant was still required, and every applicant had to return to the city's permitting and licensing portal (onestopapp.nola.gov) to pay for the license prior to issuance.

A license application workflow needed to be developed and standardized. The expectation of a same-day turnaround, paired with the need to streamline the process to the furthest extent possible for pass-through integration, led DSP to reimagine a number of internal processes and ways staff could be cross-trained to address peak workloads. Printed and digital forms had to balance information that the average applicant

would have available against whether the city was capturing all necessary data in the license review process.

This same level of creativity became necessary in developing enforcement protocols. The new regulations required a methodology for how staff would collect data, record violations, and build cases (Figure 3, p. 5). DSP could then use that standardization to set community expectations for enforcement action.

Transparency in Process and Enforcement

The commitment to providing all available information to the public in an easily digestible format remained the policy of DSP. A public-facing portal for its permitting and licensing database (onestopapp.nola.gov) that allows users to search for activity on a given property in real time was made easily searchable for STR license approvals or enforcement cases.

The ordinances took transparency one step farther in requiring publication of a list of all STR licenses, along with the property address, license holder name, and the contact information for the responsible party. This allows a neighbor to contact someone about a problem with a rental. To fulfill this requirement, DSP coordinated with the city's Office of Information Technology to develop an interactive [STR registry and map](#). This tool allows users not only to search by name or property address, but also to see all license applications on a map of the city (Figure 4).

During this time, DSP leadership participated in numerous neighborhood meetings to outline the process, regulations, guidelines, and enforcement strategies. The focus was on implementing a program that would succeed and deliver on the promise that was made to the council and, more importantly, the community.

City of New Orleans Department of Safety & Permits Short Term Rental Administration	
Field Warning	
Location: _____	
Date: _____	Time: _____
This notification is intended to inform the owner/operator of this premises of failure to comply with the City's Short Term Rental requirements. Legislation and information on Short Term Rentals in New Orleans is available at www.nola.gov/str	
<input type="checkbox"/> This property has been reported as an operating short term rental, but our records indicate no application on file.	
<input type="checkbox"/> This property is registered as a licensed short term rental, but no license is posted.	
<input type="checkbox"/> This property is licensed as a Short Term Rental, but we have received a complaint of excessive:	
<input type="checkbox"/> Noise <input type="checkbox"/> Vibration <input type="checkbox"/> Glare <input type="checkbox"/> Odors <input type="checkbox"/> Other effects	
Which unreasonably interferes with neighbors enjoyment of their residence.	
<input type="checkbox"/> This property is registered as a licensed short term rental, and there have been reports of unpermitted commercial or social events that may result in license revocation.	
<input type="checkbox"/> This property has a license posted, but our records indicate that the license was issued for a different location/address.	
<input type="checkbox"/> This property has been reported as an operating short term rental, but is located in a portion of the French Quarter where Short Term Rentals are prohibited.	
Please contact the Short Term Rental Administration at 504-658-7144 or tr@nola.gov for additional information. A formal violation letter will also be mailed to the owner of record within the week to initiate adjudication procedures.	
City of New Orleans Department of Safety & Permits Short Term Rental Administration	

Figure 5. Field warning tags to flag short-term rental noncompliance. Courtesy City of New Orleans Department of Safety and Permits.

Importance of a Strong Enforcement Presence

DSP needed to assure doubtful residents that enforcement would be both proactive and responsive. To that end, the agency took two new simple, cost-effective actions.

First, DSP developed “field warning” tags to post on STR properties where a violation was believed to have occurred (Figure 5). These were simple half-sheet forms with checkboxes for common violation types, allowing an inspector to post a notice to the property owner on the spot and document the posting via photograph. But most importantly, these documents are hot pink and unmistakable as a “scarlet letter” of STR noncompliance to show neighbors that inspectors were on the job.

The second action was to brand DSP’s vehicles as such. Prior to 2017, all DSP vehicles were tagged as city vehicles, but these markings did not indicate to which department the vehicle belonged. Residents wanted DSP to work into the evenings and late at night during major events to maintain compliance

with the STR performance standards provided in the city code. Based on these community concerns, vehicles were branded as “Department of Safety & Permits” to provide a level of visibility critical to maintaining the confidence of neighbors in the overall regulatory regime.

One last key element of the city’s STR regulations is based on a long-standing provision of the building code that authorizes termination of utility services if a property is found to be in violation of the zoning ordinance. To eliminate any potential challenge to the use of these provisions, the enabling legislation for the licensing regime explicitly states that discontinuance of electrical service is an appropriate penalty for violation of the licensing provisions (§26-618).

Within four months of program launch, the Short Term Rental Administration sought its first utility disconnect order against a property owner in the Vieux Carré who would not remove online listings or stop using the property as a STR. The city’s utility provider terminated electrical service to the dwelling, and from that point compliance was swift and the property was soon sold.

Status of STR Administration After Year One

The STR program in New Orleans celebrated its first anniversary on April 1, 2018, and DSP is proud of the success achieved in the implementation of the program.

In the first 12 months, the Short Term Rental Administration reviewed more than 8,000 applications and issued 4,477 licenses (Figure 6). This generated \$979,274 in permit fees, exceeding expectations and completely covering the administrative costs of the program. Based on the 2016 study’s estimate of 4,000–5,000 STRs operating in New Orleans and the number of licens-

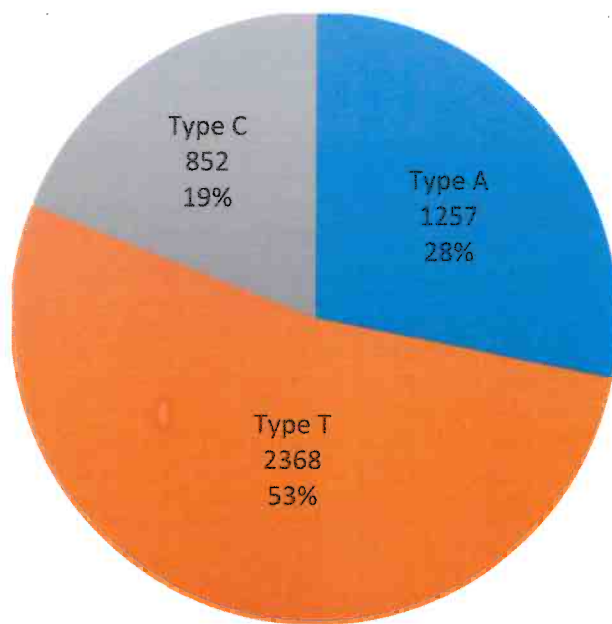


Figure 6. Breakdown of STR licenses by rental type. Courtesy City of New Orleans Department of Safety and Permits.

es issued during the first year of program implementation, DSP believes the compliance rate is in the high 90 percent range.

In terms of enforcement activities, DSP opened 1,719 violation cases between January 1, 2017, and April 1, 2018, from which 280 administrative hearings were held and \$268,538 in total fines assessed.

The mechanisms for identifying and enforcing rentals in prohibited zones and licensing requirements were successful, but challenges remained. Type T rentals made up the largest share of licenses issued, but also proved to be the most problematic from both a regulatory and neighborhood perspective. This became the single largest liability to the program.

Key to administering the Type T license was the ability of the city to monitor and enforce compliance on the 90-night annual rental cap provided in the adopted regulations. While the listing platforms initially represented that they would be supportive of the licensing program and provide the necessary information to DSP, both Airbnb and HomeAway subsequently declined to provide complete rental documentation based on their interpretation of the Stored Communications Act (see sidebar). As a result, while monthly reports could tell the enforcement team how many nights all STRs were rented, those

numbers were not tied to specific properties or listings to allow meaningful, consistent enforcement action.

Because of the problems caused by the Type T STRs, the public was not completely satisfied with the initial iteration of the STR program. While the city was proud of the overall success rate in terms of registration and enforcement effectiveness, the inability to effectively police the annual rental cap led to a public pushback against elected officials who were viewed as being nonresponsive to this inability.

Implemented and Proposed Changes to the Program

The city's municipal elections were held in the fall of 2017, and STRs featured prominently in city council campaigns. Of the three district councilmembers running for reelection, the only one reelected was the sole councilmember to vote against the STR regulations. The new city council came into office with a clear intention of revisiting the regulatory regime.

During the transition period, then-Councilmember LaToya Cantrell (now mayor) initiated two separate actions that would lay the foundation for updating the city's STR regulations. The first was the proposal and ultimate adoption of a zoning text amendment to require conditional use approval for some STRs

The Stored Communications Act and Its Effect on STR Enforcement

As planners negotiate the regulatory and enforcement balance of STR program development, the city or county legal team should be consulted in the early stages of the process about the Stored Communications Act (SCA), an element of the Electronic Communications Privacy Act of 1986 intended to ensure the privacy of electronic records created by a company about its customers. If communities are developing local regulations reliant on data sharing by hosting platforms, they must be aware of the SCA and ensure the proper provisions are in place to minimize its impact on STR enforcement efforts.

New Orleans's data-sharing provision within the new licensing regime required routine reporting of basic rental information to help the city monitor compliance with the 90-night rental limitation for Type T rentals. Key to the effectiveness of this agreement was the provision for issuance of administrative subpoenas to get specific user data based on potential violations identified based on the anonymized data being provided on a monthly basis. While the hosting platforms suggested the administrative subpoena provisions during regulatory negotiation, once these subpoena were issued they became less-than-willing partners in providing the necessary data to match anonymized data to specific properties or licenses.

Under the SCA, platforms have to provide any requested data subject to either a subpoena issued by a court or an administrative subpoena authorized by federal or state statute. In the case of New Orleans, the subpoena authority under which DSP requested this information was the city's home rule charter, which is enabled by the Louisiana Constitution. However, the hosting platforms deemed this insufficient to turn over

anything more than "basic subscriber information" as provided by the SCA and subsequent jurisprudence. (There is currently no legal consensus on how the SCA should be applied to listing platforms.)

The "basic subscriber information" provided illustrates how difficult Internet regulation can be, particularly for a local government. To fill in the gap between specific property and anonymized identification number, HomeAway and Airbnb provided the first and last name of the account holder and their user identification number, email address, and telephone number—but not the license number issued by the city associated with the listing or the property address. As a result, city staff needed to match names, email addresses, and telephone numbers with over 4,000 issued licenses. This highlighted one problem that DSP had not planned for: licenses issued to property owners but listings posted or managed by a third party.

In revisiting the 2016 regulatory structure, deficiency in data production was one of the primary concerns. Had the city been aware of the industry's use of the SCA as a shield against providing the information required to properly implement and enforce the proposed program, the regulations as initially adopted would have likely looked quite a bit different. This would have likely ranged from creating a licensee-reporting requirement to elimination of the Type T license entirely. What is certain is that the changes being evaluated by the city planning commission and the city council in 2018 are keeping the SCA in the forefront as they evaluate how best to modify the STR licensing regime to ensure compliance and enforceability.

in the city's historic urban core business districts. This change was made in response to the concerns of neighbors that structures containing apartments were being converted into "hotels" in otherwise neighborhood-scale commercial corridors. The second action directed the City Planning Commission to conduct a full study of the new STR regulatory regime.

When the new city council took office in May 2018, it wasted no time in delivering on the promises made to its constituents. At the second meeting of the new term, the council adopted Motion M-18-195: a partial moratorium on new STR licenses with a full prohibition on Type T STR licenses in the historic areas of the city, the central business district, and mixed use districts, and a prohibition of new Type C STR licenses on the first floor of mixed use buildings, though they would remain permitted on upper floors. This moratorium was scheduled to last nine months while the commission completed its study and the city's regulations were updated.

The commission completed its updated study in early October 2018 (New Orleans City Planning Commission 2018). While the study makes several recommendations, the most substantial is the elimination of the problematic Type T STRs. Type C STRs would carry on, but the Type A STRs would be redefined to cover nearly any owner-occupied property. A new third type of license, valid for special events only, would allow owners or rental tenants to rent out a permanently occupied dwelling unit for not more than 14 days per year. At the time of writing, the city council has not yet taken action on the report, but it is likely that that will do so within the next several months.

Lessons Learned

STRs are a planning challenge: they are residential units by design but can act like hotels in their impact on a community. A proliferation of these uses—particularly in tourism-heavy cities—can lead to significantly increased housing costs and begin to price out actual residents in favor of residents-for-a-day. New Orleans's experience in studying and regulating STRs highlights several key considerations in dealing with this issue.

Ensure that regulations are clear and enforceable. In developing the STR regulations, planning staff worked closely with DSP to ensure that enforcement was based on the information likely to be available. Compliance is easily provable for regulations such as requiring a license and requiring that license to be posted. Some STR regulations lie in more of a gray area, such as nuisance prohibitions, but with rigid enforcement standards and vigilant neighbors these have also proved enforceable.

Partner with listing platforms when possible. Partnerships can either be formal or informal, but platform buy-in helps ensure consistent communication on regulatory requirements and may aid in enforcement. The city's data-sharing agreement with Airbnb allowed DSP to coordinate actions to de-list unlicensed properties posting on that platform. While this was not a complete solution to illegal rentals, it greatly improved compliance rates throughout the city and helped stop rental listings in the Vieux Carré.

Recognize your limitations. Initially, residents and councilmembers pushed to regulate STR listing platforms in the same way that DSP regulates transportation network companies (TNCs). Where the city has the authority to regulate TNCs due to the long-standing regulation of vehicles-for-hire, that level of regulatory authority was not possible for dwellings, where state law prohibits local governments from regulating contractual transactions relative to real property. To address this lack of direct regulatory authority, the city negotiated data sharing to the extent possible and crafted regulations that could withstand legal scrutiny.

Coordinate STR policy making with policies surrounding affordable housing. While New Orleans began to take this approach by requiring contributions to the City's Neighborhood Housing Improvement Fund, there was no consistent strategy for the investment of those fees. A combination of this and the proliferation of Type T STRs had the effect of pricing out long-time residents and artificially inflating property values due to the expectation of return on investment.

Conclusion

During 2017, the City of New Orleans became a model for STR regulatory compliance across the nation. Thanks to data sharing and some regulatory assistance from Airbnb, DSP was able to successfully license nearly 5,000 short-term rentals. This represents a compliance rate above 90 percent in less than one year, while many peer cities struggle to reach a 20 percent compliance rate after one year.

While the city was proud of this achievement, it understood that the regulatory regime would need to be revisited after the first year to evaluate neighborhood impacts and overall compliance—and indeed, regulatory enforcement proved more difficult, especially for the Type T temporary STR licenses. The city hopes to resume enforcement of licensing standards in cooperation with listing platforms as this regulatory revision comes to a close.

Just as New Orleans is now revisiting the initial regulatory structure to respond to changing dynamics of the industry and public sentiments, planners will need to be prepared to continually address issues like STRs for years to come. There is no formula which can be applied across every jurisdiction to address the impacts of the use and the concerns of residents. Rather, it is our job to understand the implications of decision making, continually observe the effects of those decisions, and recommend change when necessary—recognizing that maybe we were wrong the first time.

Regulation of emerging technologies is not new to planners, and STRs will not be the last challenge of this sort we face as practitioners. Combining best practices and lessons learned in New Orleans can help communities across the country develop and implement regulatory structures that will adapt to emerging technologies and industries while also protecting residents and the stability of communities.

About the Author

Jared E. Munster, PhD, AICP, was the director of the Department of Safety and Permits for the City of New Orleans from No-

vember 2012 through June 2018 and worked closely with the City Planning Commission, City Council, and the Landrieu and Cantrell administrations in shaping the regulatory and enforcement processes of the New Orleans Short Term Rental Program. Munster holds an undergraduate degree in urban studies and planning, a master's degree in urban and regional planning, and a PhD in urban studies from the University of New Orleans. He is also a certified floodplain manager and is presently serving as the interim executive director of the Regional Transit Authority of New Orleans.

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Memorandum

To: Economic Development Committee
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti J. Barksdale-Noble, Community Development Director
Date: March 14, 2019
Subject: **PZC 2019-05 Short Term Rental Regulations**

SUMMARY:

The topic of short-term rental regulations was brought to the Economic Development Committee last month at the March 5, 2019 meeting. After review and discussion, the Committee recommended that short-term rental uses be outright permitted in the residential districts without any license or permit to acquire. The initial regulations (see attached) were deemed as too onerous and committee members wanted to view this use similarly to a home occupation. This memorandum outlines the proposed changes to the Yorkville Zoning Ordinance as a result from that discussion.

PROPOSED REGULATIONS:

After discussing the initial text amendments to the Zoning and Business codes, it was determined to permit short-term rental uses in all residential districts without requiring a permit, license, or special use. Therefore, a definition of a short-term rental will need to be added to the Zoning Ordinance and the Permitted Use Table will have to include the newly defined use. Please see the proposed changes below:

10-2-3: DEFINITIONS:

SHORT-TERM RENTAL:

A home occupation of a single-family dwelling unit that is used as a primary residence by owners or renters, or a portion of such unit, that is rented for less than 30 days at a time to transients and temporary guests.

10-6-0: USE TABLES:

TABLE 10.06.01 – RESIDENTIAL USES

Use Category	Zoning Districts													
	A-1	OS-1	OS-2	E-1	R-1	R-2	R-2D	R-3	R-4	O	B-1	B-2	B-3	B-4
Short-Term Rental	-	-	-	P	P	P	P	P	P	-	-	-	-	-

NEXT STEPS:

Staff is seeking comments from the Economic Development Committee regarding the proposed amendments to the Zoning Ordinance. A public hearing for these changes will be held in front of the Planning and Zoning Commission on April 10, 2019.

ATTACHMENTS:

1. February 14, 2019 Economic Development Committee Memorandum



Memorandum

To: Planning and Zoning Commission
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti J. Barksdale-Noble, Community Development Director
Date: April 3, 2019
Subject: **PZC 2019-05 Short Term Rental Regulations**

SUMMARY AND PROPOSED REGULATIONS:

Over the past decade, technological innovations have driven the availability of sharing services to the public through the use of smart phones and web applications. Some examples include vehicle sharing, ride sharing, payment sharing, and home sharing services. The home sharing service is one that cities and communities around the country are struggling to understand and properly regulate. In terms of zoning, the biggest issue with these “short-term rental” properties is determining if and when the land use changes from residential to commercial.

Staff conducted research on the topic and drafted proposed changes to the City’s Zoning Ordinance to address short-term rentals. These amendments were brought in front of the Economic Development Committee (EDC) at the March 6, 2019 meeting (attached). After discussing the initial text amendments to the Zoning and Business codes, it was determined to permit short-term rental uses in all residential districts without requiring a permit, license, or special use.

Therefore, a definition of a short-term rental will need to be added to the Zoning Ordinance and the Permitted Use Table will have to include the newly defined use. Please see the proposed changes below:

10-2-3: DEFINITIONS:

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Short-Term Rental	-	-	-	P	P	P	P	P	P	-	-	-	-	-	-	-

ECONOMIC DEVELOPMENT COMMITTEE

The proposed regulations as outlined in this memorandum, were reviewed by the EDC on April 2, 2019. There were no comments on these amendments and the changes were received positively.

STAFF RECOMMENDATIONS:

Staff believes these changes to the Zoning Ordinance will provide clarity on what a short-term rental is and where it may be located. Staff is requesting recommendation for approval by the Planning and Zoning Commission on the proposed text amendments to the Zoning Ordinance

PROPOSED MOTION:

In consideration of testimony presented during a Public Hearing on April 10, 2019, the Planning and Zoning Commission recommends approval to the City Council of a request to amend Section 10-2-3 and Section 10-6-0 of the United City of Yorkville Zoning Ordinance as presented by staff in a memorandum dated April 3, 2019 and further subject to {insert any additional conditions of the Planning and Zoning Commission}...

ATTACHMENTS:

1. Economic Development Committee Materials (3-5-19)
2. Economic Development Committee Materials (4-2-19)

Ordinance No. 2019-_____

AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS, AMENDING THE YORKVILLE ZONING ORDINANCE BY ALLOWING SHORT-TERM RENTALS IN RESIDENTIAL ZONING DISTRICTS

WHEREAS, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

WHEREAS, pursuant to Section 10-4-10 of the Yorkville Zoning Ordinance the City may initiate amendments to the United City of Yorkville Zoning Ordinance; and,

WHEREAS, the City filed seeking an amendment to the United City of Yorkville Zoning Ordinance to clarify that short-term rentals are allowed in Residential Zoning Districts; and,

WHEREAS, the Planning and Zoning Commission convened and held a public hearing on April 10, 2019, to consider the request and made Findings of Fact and Recommendations to the City Council to approve the requested text amendment.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

Section 1: The above recitals are incorporated and made a part of this Ordinance.

Section 2: That Section 10-2-3, Definitions, of the United City of Yorkville Zoning Ordinance, as amended, be and is hereby amended by adding the following definition:

“SHORT-TERM RENTAL: A home occupation of a single-family dwelling unit that is used as a primary residence by owners or renters, or a portion of such a dwelling unit that is rented for less than 30 days at a time to transients and temporary guests.”

Section 3: That Use Table 10.06.01 of the United City of Yorkville Zoning Ordinance of the Yorkville City Code, as amended, be and is hereby amended by adding “Short-term Rental” as a permitted use in the following zoning districts:

E-1, Estate District
R-1, Single-family Suburban Residence District
R-2, Single-family Traditional Residence District
R-2D Duplex, Two-family Attached Residence District
R-3, Multi-family Attached Residence District
R-4, General Multi-family Residence District

Section 4: This Ordinance shall be in full force and effect after its passage, publication, and approval as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois, this
____ day of _____, 2019.

City Clerk

KEN KOCH _____

JACKIE MILSCHEWSKI _____

CHRIS FUNKHOUSER _____

SEAVAR TARULIS _____

DAN TRANSIER _____

ARDEN JOE PLOCHER _____

JOEL FRIEDERS _____

JASON PETERSON _____

Approved by me, as Mayor of the United City of Yorkville, Kendall County, Illinois, this
____ day of _____, 2019.

Mayor



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Planning and Zoning Commission #3

Tracking Number

PZC 2019-09 and EDC 2019-23

Agenda Item Summary Memo

Title: Downtown Form Based Code and Master Streetscape Plan

Meeting and Date: City Council – May 14, 2019

Synopsis: Details proposed planning documents for the downtown overlay district

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: First Reading

Council Action Requested: _____

Submitted by: Jason Engberg Community Development
Name Department

Agenda Item Notes:

See attached memo.



Memorandum

To: City Council
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti J. Barksdale-Noble, Community Development Director
Date: May 6, 2019
Subject: **Downtown Form Based Code and Streetscape Master Plan**

SUMMARY:

Since its adoption in 2016, the City has been working towards completing the goals and objectives set forth in the Comprehensive Plan. As part of the strategies toward implementing the identified planning goals in the Comprehensive Plan, there was a recommendation that the City enhance the visual appearance, pedestrian environment and functionality of downtown Yorkville.

The following strategies/initiatives were listed as actionable items that should be ongoing or accomplished within 2 years of the adoption of the plan:

- Enhance Streetscape appearance and improve walkability of Hydraulic, Main and Van Emmon Streets.
- Create Public Parking Areas.
- Facilitate building rehabilitation and façade improvements.
- Implement gateway finding, wayfinding, landscaping, and other placemaking treatments.
- Promote high quality development design.
- Consider zoning overlays, new design standards or other tools to promote desired corridor character.

In September 2017 staff solicited Request for Proposals (RFP) for a Downtown Overlay District and Streetscape Master Plan with Form-Based Code criteria. Farr Associates was retained to complete a Master Streetscape Plan and Downtown Form-Based Code. Below is an overview of the planning process as well as a summary of the final draft documents for City Council review.

PLANNING PROCESS:

Farr Associates were retained at the end of 2017 and began working on the project in January of 2018. Below is a brief timeline of the planning process and a summary of events for each stage of development:

STAGE	DATE	SUMMARY
Site & Background Analysis	Jan. 2018	Gathering information and creating a project boundary; setting up a project website
Public Workshop #1	Feb. 15, 2018	Gather public input to begin development
Streetscape and Form-Based Code Development	Mar.-Jun. 2018	Creation of initial draft
Public Workshop #2	Jun. 22, 2018	Showcase of initial draft and continue to take public input
Streetscape and Form-Based Code Revisions	Jul.-Aug. 2018	Revise from comments made at meeting

Staff Review #1	Sept. 2018	Staff review draft document and makes edits/suggestions
Streetscape and Form-Based Code Revisions	Oct.-Dec. 2018	Revise from comments made at meeting
Staff Review #2	Jan. 2019	Staff review draft document and makes edits/suggestions
Streetscape and Form-Based Code Revisions	Jan.-Feb. 2019	Revise from comments made at meeting
EDC Review	Mar. 5, 2019	EDC reviews documents prior to public release
Streetscape and Form-Based Code Revisions	Mar. 2019	Revise from comments made at meeting
Public Open House	Apr. 10, 2019	Provide the public a chance to review exhibits and plans
PZC Review	Apr. 10, 2019	PZC reviews documents and makes recommendation to City Council
Streetscape and Form-Based Code Revisions	Apr. 2019	Revise from comments made at meeting
City Council	May 14, 2019	City Council review
City Council	TBD	Adoption

DOCUMENT SUMMARY:

Attached is a draft for the Yorkville Downtown Overlay District Plan. The drafts focus on both the Streetscape Master Plan of the overlay district and the Form-Based Code. As presented, the plans are intended to establish the broader guidance for street character and development opportunities within the downtown which can be facilitated through public capital improvement projects and private redevelopment.

Streetscape Master Plan

The Streetscape Master Plan identifies the street type and classification for the four major roadways in the downtown: Bridge Street, Hydraulic Street, Van Emmon Street and Main Street (“B” Street). The plan walks through existing, near term and long-term planning solutions for each street and identifies tactical intervention opportunities (meaningful, planning/design related measures at a small cost which adds vitality and interest in the area) for each such as community art, public space lighting, painted crosswalks, outdoor restaurant seating, wall murals, etc.

Form-Based Code

The Form-Based Code portion of the overlay district is intended to establish codified development standards for downtown and neighboring redevelopment areas. As presented in the draft of the form-based code, the proposed standards will:

1. **GUIDE** the development of a mix of uses and a pedestrian-oriented environment as established in the Yorkville Streetscape Master Plan.
2. **PROVIDE** for a mix of housing types within the overlay district and adjacent areas for people of all ages and lifestyles.
3. **ACHIEVE** development that is appropriate in scale and intensity for the Downtown Overlay District and adjacent neighborhoods.

The major components of the form-based code are the identified districts, uses, building types and site development standards. The attached draft version provides information on all of these components.

PLANNING AND ZONING COMMISSION:

The Planning and Zoning Commission held a public hearing for the proposed Streetscape Master Plan and Form Based Code (the latter will be a text amendment to the Yorkville Zoning Ordinance). The Commission recommended approval of the documents without any additional comments or stipulations. The commission made the following action on the motion below:

In consideration of testimony presented during a Public Hearing on April 10, 2016 and discussions conducted at that meeting, the Planning and Zoning Commission recommends approval to the City Council a request to adopt the proposed Downtown Overlay District which includes the Streetscape Master Plan and Form-Based Code as prepared and presented by Farr Associates dated March 2019 and summarized in a staff memorandum dated April 3, 2019.

Action Item:

Olson-aye; Williams-aye; Marcum-aye; Vinyard-aye
4 ayes; 0 no

ATTACHMENTS:

1. Yorkville Master Streetscape Plan
2. Yorkville Downtown Form-Based Code
3. Draft Ordinances

YORKVILLE

Downtown Overlay District

Form-Based Code



United City of
Yorkville ILLINOIS

FARR ASSOCIATES

Acknowledgments

United City of Yorkville

Farr Associates

Mayor Gary J. Golinski

Bart Olson, *City Administrator*

Erin Willrett, *Assistant City Administrator*

Krysti Barksdale-Noble, *Community Development Director*

Jason Engberg, *Senior Planner*

Eric Dhuse, *Public Works Director*

Lisa Pickering, *Deputy City Clerk*

Richard T. Hart, *Chief of Police*

Tim Evans, *Director of Parks and Recreation*

Brad Sanderson, EEI, *Engineering Consultant*



United City of
Yorkville ILLINOIS



FARR ASSOCIATES

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10-21-1 Introduction

A. Title

This Article 10-21 shall be known, cited, and referred to as the Downtown Overlay District code. Any reference to this Article following its effective date shall mean this entire Article as it may hereafter be amended.

B. Intent

It is the intent of this Article to provide development standards to the United City of Yorkville for downtown and adjacent redevelopment areas that promote public health, safety, and general welfare of the community, including, but not limited to the specific purposes set forth below.

1. To guide the development of a mix of uses and a pedestrian-oriented environment as established in the United City of Yorkville 2016 Comprehensive Plan, adopted September 2016, and the 2019 Yorkville Downtown Overlay District Streetscape Master Plan.
2. To provide for a mix of housing types within the Downtown Overlay District and adjacent areas for people of all ages and lifestyles.
3. To achieve development that is appropriate in scale and intensity for the Downtown Overlay District and adjacent neighborhoods.

C. Overview of the Code

1. **Section 10-21-2: Districts.** These regulations are organized within street types for adoption into the City's existing code. These zoning districts shall be mapped on the City's Zoning Map; however, the Primary Streets designation shall be referenced from Figure 10-21-2G (4). The following Districts are established for mixed use, commercial, and residential development within downtown and adjacent redevelopment areas. Figure 10-21-1B (1) illustrates the locations for the districts.

S1: Bridge Street District
S2: Hydraulic Street District
S3: Van Emmon Street District
S4: 'B' Street District
S5: 'B' Street - Residential District

3. **Section 10-21-3: Uses.** Use requirements are defined in Section 10-21-3 for each of the Street Districts. Uses may also be further limited by the Building Types. Refer to Section 10-21-2 Building Types and the "Uses" section in the tables per building type.
4. **Section 10-21-4: Building Types.** Six (6) Building Types are defined for use in the Street Districts. A mix of building types are typically permitted per district. These Building Types outline the desired building forms for the new construction and renovation of structures and contain regulations that determine physical building elements such as build-to-zones, transparency levels, entrance location, and parking location. Refer to Figure 10-21-4A (1) for a typical Building Type page layout.
5. **Section 10-21-5: Site Development Standards.** The site development standards provide references to other City ordinances or parts of the zoning ordinance and may include additional information or revision to those ordinances applicable only to the Street Districts. These include signage, parking, and landscape.

D. Applicability

These regulations apply to the downtown and adjacent redevelopment areas within the City as mapped on the City's zoning map. Refer to Figure 10-21-1B (1) for affected parcels.

E. How to Use the Code.

Refer to Figure 10-21-1D (1) for a step by step illustration about applying the code to a parcel. Throughout this section, call out boxes titled "How to Use the Code" appear with code application instructions.

F. Development Approval Process

1. **Site Plan Review.** An approved site plan is required for the development or redevelopment of all parcels in any District (refer to 10-4 of the Zoning Ordinance) with the following revisions:
 - (a) The Community Development Director may approve a major site plan if the site plan complies with all requirements of the city's zoning ordinance. If the Community Development Director denies approval of a major site plan, including the provision of written comments as to the reason for such denial, the denial may be appealed by the applicant to the Planning and Zoning Commission for review. The Planning and Zoning Commission shall then recommend approval to City Council the major site plan, recommend approval to City Council of the major site plan with conditions, or recommend denial of the site plan to City Council.
2. **Deviations.** The Applicant shall submit requested deviations to the Community Development Director with the Site Plan application. The Director may approve deviations to a site plan for the following:
 - (a) **Minor Deviations.** The Community Development Director may approve minor deviations to any dimension or percentage as follows:
 - i. The location of the building within up to one (1) foot from any minimum yard requirement or build-to zone width/ location.
 - ii. Up to five percent (5%) increase in total impervious coverage, not to exceed the total amount of permitted impervious plus semi-pervious coverage.
 - iii. Up to five percent (5%) decrease in Front Property Line coverage.
 - iv. Additional height of any story up to two (2) feet, as long as the overall building height does not exceed the allowable height of all floors at their maximum permitted height.
 - (b) **Design Deviations.** The Community Development Director shall review and make a recommendation for the following deviations:
 - i. **Alternative Building Materials.** The Director may approve alternative building materials from the requirements of Section 10-21-5, with the exception of the prohibited materials. For approval, the Applicant shall submit samples and local examples of the material a minimum of four weeks prior to the review, to allow site visits to the location.
 - ii. **Facade Variety Alternative.** The Director may approve a

reprieve from the facade variety requirements in Section 10-21-4. The Applicant shall submit fully rendered elevations and three (3) dimensional drawings of all street facades with materials samples for all surfaces to prove a higher quality building design with variation and relief from monotony.

- (c) Existing Building Deviations. The Planning and Zoning Commission shall review and make a recommendation to City Council for the following deviations, when applied to the renovation of an existing building(s):
 - i. For renovation of existing buildings, the maximum front property line coverage may be waived with an existing coverage of sixty percent (60%); however, any expansion on the ground story shall contribute to the extension of the front property line coverage.
 - ii. For renovation of existing buildings, the location of the building within up to five (5) feet from any minimum yard requirement or build-to zone width/location.
 - iii. For renovation of existing buildings, the minimum height of the ground story and upper story may be increased or decreased by up to two (2) feet for existing stories.
 - iv. For renovation of existing buildings, other required dimensions may be modified up to five (5) feet or ten percent (10%), whichever is less, unless otherwise modified by this section.

G. Nonconforming Structures

1. **Nonconforming Uses.** Refer to Section 10-15 of this Article for Non-Conforming Uses requirements with the following exception and addition.
2. **Nonconforming Structures.** The following regulations allow for the continuation of occupation of a structure that was legally constructed prior to the adoption or amendment to this code, but that could not occur under the provisions of this code.
 - (a) All Building Type standards apply to all new construction and renovation of existing structures, where the renovation includes an addition of more than sixty percent (60%) in gross building square footage.
 - (b) When the existing front or corner facade is located within the build-to zone and a renovation of the front facade occurs with or without any added building square footage, the Street Facade Requirements and Entrance Type Requirements of any permitted Building Type shall be met when the renovation includes any of the following:
 - i. Installation of additional doors or a change in location of a door;
 - ii. Expansion or change in location of thirty percent (30%) of windows on any street façade; or
 - iii. Replacement of thirty percent (30%) or more of facade materials on any street facade with a different facade material.
 - (c) When the existing building front or corner facade is located within the build-to zone and a renovation of the shape or style of the roof occurs with or without added building square footage, the Roof Type Requirements of any permitted

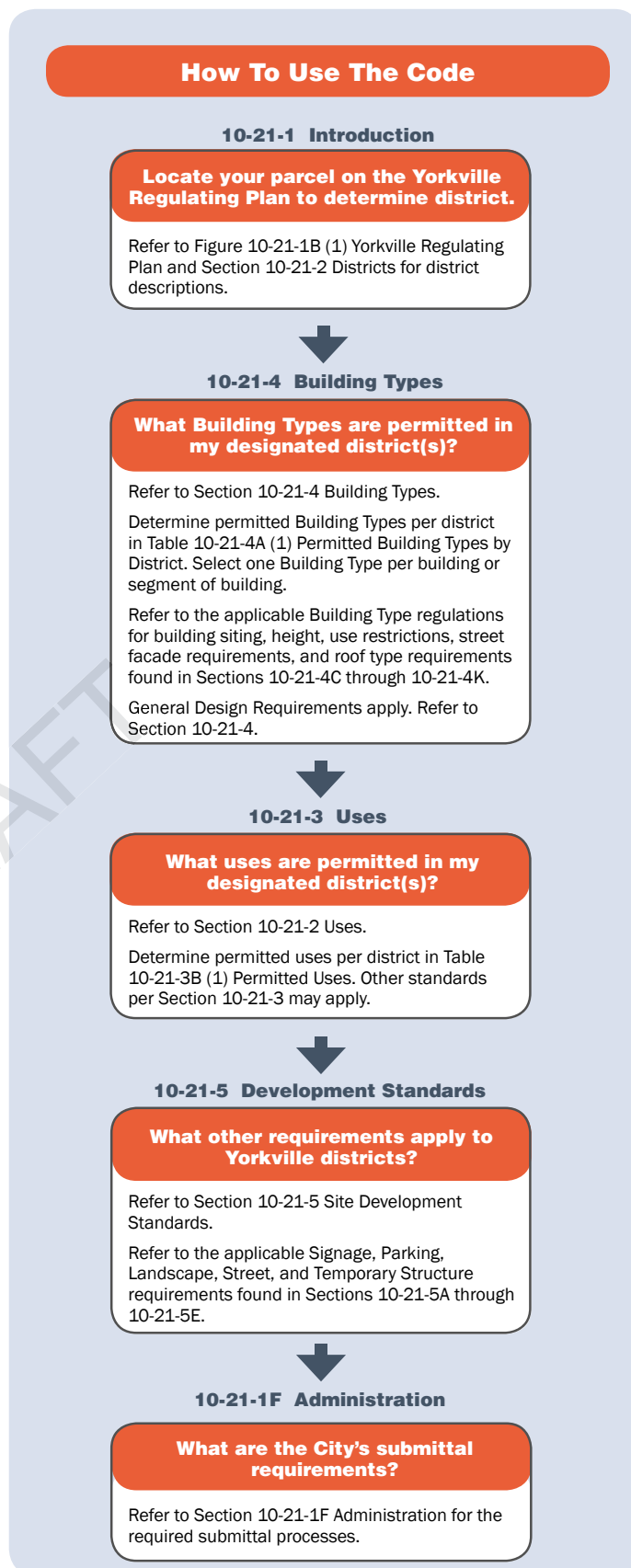


Figure 10-21-1D (1). Yorkville Code Flow Chart.

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Figure 10-21-1B (1). Yorkville Form-Based Districts Regulating Plan.

Building Type shall be met.

- (d) Under all circumstances, no portion of the Building Type standards must be met in the case of normal repairs required for safety and continued use of the structure, such as replacement of window or door glass.

H. Definitions

For the purposes of this document, the following terms shall have the following meanings:

Applicant. The Owner of a subject property or the authorized representative of the Owner on which a land development application is being made.

Block. Refer to Section 10-2-3 for definition.

Block Depth. A Block measurement that is the horizontal distance between the Front Lot Line on a Block Face and the Front Lot Line of the parallel or approximately parallel Block Face.

Block Ends. The Lots located on the end of a Block; these Lots are often larger than the Lots in the interior of the Block or those at the opposite end of the Block and can be located on a more intense Street Type. They are typically more suitable for more intensive development, such as multiple family or mixed Use development.

Block Face. The aggregate of all the building Facades on one side of a Block.

Block Length. A Block measurement that is the horizontal distance along the Front Lot Lines of the Lots comprising the Block.

Building Type. The Facade of a structure defined by the combination of configuration, form, and function as it relates to the adjacent street. Refer to 10-21-4B Building Type Standards for more information and the list of permitted Building Types.

Build-to Zone. An area in which the front or corner side facade of a building shall be placed; it may or may not be located directly adjacent to a lot line. The zone dictates the minimum and maximum distance a structure may be placed from a lot line. Refer to Figure 10-21-1H (3).

Courtyard. An outdoor area enclosed by a building on at least three (3) sides and is open to the sky.

Coverage, Building. The percentage of a Lot developed with a Principal or Accessory Structure.

Coverage, Impervious Site. The percentage of a Lot developed with Principal or Accessory Structures and Impervious Surfaces, such as driveways, sidewalks, and patios. Refer to "Lot Coverage" in Section 10-2-3.

Eave. The edge of a pitched roof, typically overhangs beyond the side of a building.

Entrance Type. The permitted treatment types of the Ground Floor Facade of a Building Type. Refer to Section 10-21-4I for more information and a list of permitted Entrance Types.

Expression Line. An architectural feature consisting of a decorative, three (3) dimensional, linear element, horizontal or vertical, protruding or indented at least two (2) inches from the exterior

facade of a building typically utilized to delineate the top or bottom of floors or stories of a building.

Facade. The exterior face of a building, including but not limited to the wall, windows, windowsills, doorways, and design elements such as Expression Lines. The front facade is any building face adjacent to the Front Lot Line.

Frontage District. A type of zoning district specific to this Article, where the location, height and bulk of structures is defined by Building Types. Refer to Section 10-21-4.

Landscape Area. Area on a Lot not dedicated to a structure, parking or loading facility, frontage buffer, side and rear buffer, or interior parking lot landscaping. Landscape Areas may include landscape, sidewalks, patios, or other pedestrian amenities.

Lot, Flag. Refer to Section 10-2-3 for definition. Refer to Figure 10-21-1H (2).

Lot, Interior. For the purposes of this Chapter, a parcel of land abutting a vehicular Right-of-Way, excluding an Alley, along one Lot Line; surrounded by Lots along the remaining Lot Lines.

Lot, Through. Refer to Section 10-2-3 for definition. Refer to Figure 10-21-1H (2).

Lot Area. Refer to Section 10-2-3 for definition; it is typically denoted in square feet or acres.

Lot Depth. For the purposes of this Chapter, the smallest horizontal distance between the Front and Rear Lot Lines measured approximately parallel to the Corner and/or Side Lot Line. Refer to Figure 10-21-1H (2).

Lot Frontage. Refer to Section 10-2-3 for definition.

Lot Line, Corner. For the purposes of this Chapter, a boundary of a Lot that is approximately perpendicular to the Front Lot Line and is directly adjacent to a public Right-of-Way, other than an Alley or railroad. Refer to Figure 10-21-1H (2).

Lot Line, Front. For the purposes of this Chapter, the boundary abutting a Right-of-Way, other than an Alley, from which the required Setback or Build-to Zone is measured, with the following exceptions.

- (a) Corner and through Lots that abut a Primary Street (refer to Figure 10-21-2G (4)) shall have the Front Lot Line on that Primary Street.
- (b) Corner and Through Lots that abut two (2) Primary Streets or do not abut a Primary Street shall utilize the orientation of the two (2) directly adjacent lots, or shall have the Front Lot Line determined by the Director.
- (c) Lot Line, Rear. Refer to Section 10-2-3 for definition. Refer to Figure 10-21-1H (2).

Occupied Space. Interior building space regularly occupied by the building users. It does not include storage areas, utility space, or parking.

Open Space. Refer to Section 10-2-3 (Public Open Space and Usable Open Space) for definitions. Open space may also be utilized to host temporary private or community events, such as a farmer's market or art fair.

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Pedestrianway. A pathway designed for use by pedestrians; it can be located mid-block allowing pedestrian movement from one street to another without traveling along the block's perimeter.

Pervious Surface. Also referred to as pervious material. A material or surface that allows for the absorption of water into the ground or plant material, such as permeable pavers or a vegetated roof.

Primary Street. A street that receives priority over other streets in terms of setting front lot lines and locating building entrances. Refer to Figure 10-21-2G (4) for mapped Primary Streets.

Roof Type. The detail at the top of a building that finishes a Facade, including a pitch roof with various permitted slopes and a parapet. Refer to 10-21-4I for more information and a list of the permitted Roof Types.

Scale. The relative size of a building, street, sign, or other element of the built environment.

Semi-Pervious Surface. Also referred to as semi-pervious material. A material that allows for at least forty percent (40%) absorption of water into the ground or plant material, such as pervious pavers, permeable asphalt and concrete, or gravel.

Setback. For the purposes of this Chapter, the horizontal distance from a Lot Line inward, beyond which a structure may be placed. For the purposes of this Chapter, structures and parking lots are not permitted within a Setback, unless specifically stated otherwise in this Chapter. Refer to Figure 10.21.1H (1).

Solar Reflectance Index (SRI). A measure of a constructed surface's ability to reflect solar heat, as shown by a small temperature rise. The measure utilizes a scale from zero (0) to one hundred (100) and is defined so that a standard black surface is zero (0) and a standard white surface is one hundred (100). To calculate for a given material, obtain the reflectance value and emittance value for the material; calculate the SRI according to ASTM E 1980-01 or the latest version.

Story. For the purposes of this Chapter, a habitable level within a building measured from finished floor to finished floor. Refer to Section 10-21-4 for dimensions.

Story, Ground. Also referred to as ground floor. The first floor of a building that is level to or elevated above the finished Grade on the Front and Corner Facades, excluding basements or cellars.

Story, Half. For the purposes of this Chapter, a story either in the base of the building, partially below grade and partially above grade, or a story fully within the roof structure with transparency facing the street.

Story, Upper. Also referred to as upper floor. The floors located above the Ground Story of a building.

Street Face. The Facade of a building that faces a public Right-of-Way.

Street Frontage. Also refer to Lot Frontage. The portion of a building or Lot directly adjacent to a vehicular Right-of-Way.

Street Termini. At a three (3)-way or "T" intersection, it is the location where one street terminates at the other street.

Streetwall. The vertical plane created by building Facades along a street. A continuous Streetwall occurs when buildings are located in a row next to the sidewalk without vacant Lots or significant

Setbacks.

Transparency. The measurement of the percentage of a facade that has highly transparent, low reflectance windows. Mirrored glass is not permitted.

Yard. Refer to Section 10-2-3 for definition. Refer to Figure 10-21-1H (3) Illustration of Yards. Note that the Rear Yard is fully screened from the street by the Structure.

(a) **Yard, Corner Side.** A Yard extending from the corner side building Facade along a Corner Side Property Line between the Front Yard and Rear Property Line.

(b) **Yard, Front.** Refer to Section 10-2-3 for definition.

(c) **Yard, Rear.** Refer to Section 10-2-3 for definition.

(d) **Yard, Side.** Refer to Section 10-2-3 for definition.

Visible Basement. A half story partially below grade and partially exposed above with required transparency on the street facade.

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Build-to Zone vs Setback Line

A setback line indicates the closest a building may be placed to a property line, but is silent on where behind that line a building may be placed. A build-to zone indicates a zone or area in which the Facade of a building must be located. The use of a build-to zone allows some control over building placement, while the range provides some flexibility. This method also provides an element of predictability that is absent when the only requirement is to locate a building beyond a certain line.

Figure 10.21.1H (1). Build-to Zone vs. Setback Line.

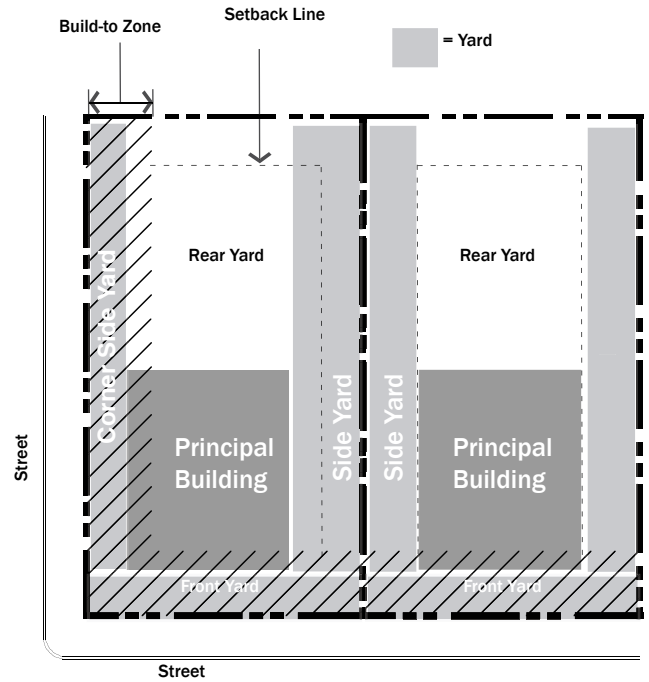


Figure 10-21-1H (3). Illustration of Yards.

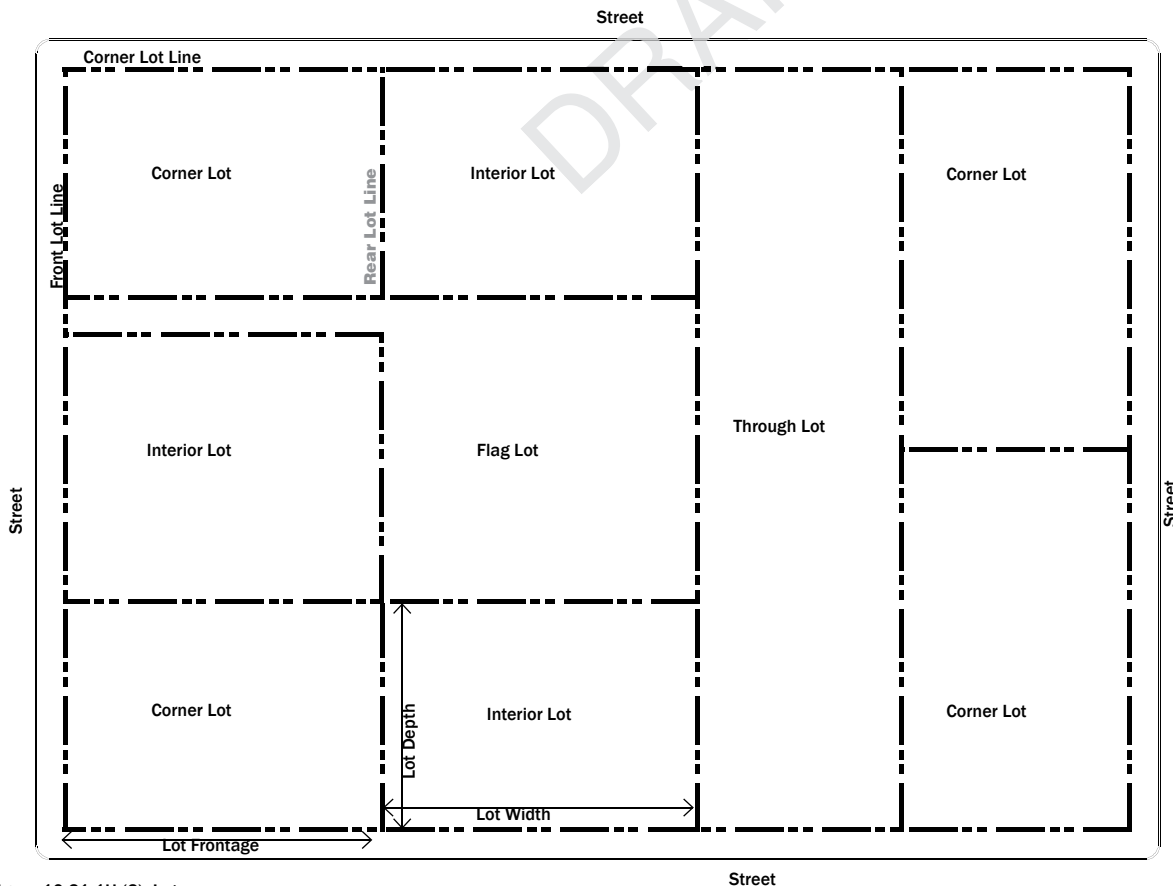


Figure 10-21-1H (2). Lots.

10-21-2 Districts

The following Districts are established for mixed use, commercial, and residential development within downtown and adjacent redevelopment areas. Figure 10-21-1B (1) illustrates the locations for the districts.

- S 1: Bridge Street District
- S 2: Hydraulic Street District
- S 3: Van Emmon Street District
- S 4: 'B' Street District
- S 5: 'B' Street - Residential District

DRAFT

A. S1: Bridge Street District

The Bridge Street District may be considered the gateway into downtown Yorkville and retains potential to become the iconic stretch that helps draw people into local businesses and displays an attractive image that represents the people of Yorkville. The form of this retail and service-centered area establishes a street wall of storefront style-building facades with shallow build-to-zones along the sidewalk and parking in the rear or off-site. It focuses pedestrian-friendly retail and service uses on the ground story with office uses in upper stories.

Bridge Street	
Building Placement	
Build-to Zone	0' to 10'
Space Between Buildings	
Attached	0'
Detached	5' to 10'
Building Volume	
Maximum Building Height	80'
Maximum Stories	6
Minimum Ground Floor Height	14'
Typical Street Attributes	
Typical ROW Width	72'
Number of Travel Lanes	4
Lane Width	10' to 13'
Dedicated Turn Lanes	1
Parking Lanes	none
Pavement Width	60'
Dedicated Bicycle Facilities	none
Pedestrian Realm	
Pedestrian Facilities	6' wide sidewalk
Street Buffer	concrete barrier

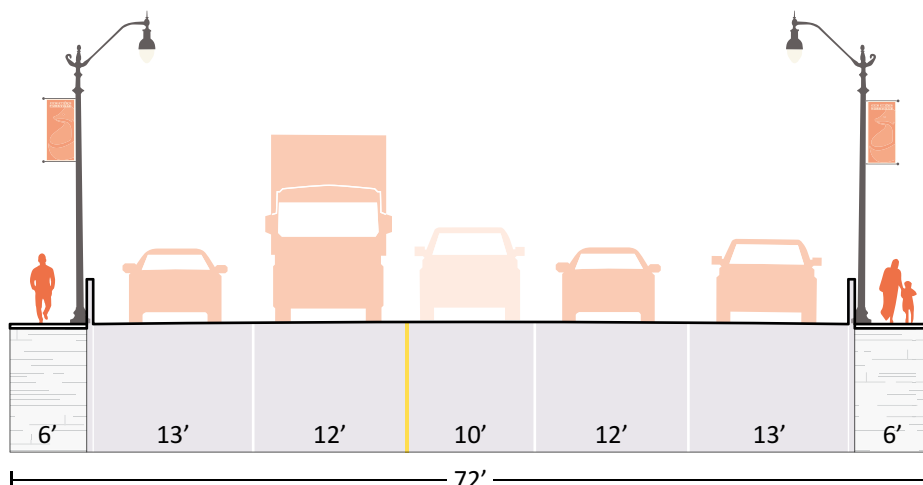


Figure 10-21-2A (1). Bridge Street (Long-term).

10-21-2 Districts

B. S2: Hydraulic Street District

The Hydraulic Street District includes complex conditions, including a tapering right-of-way that narrows from west to east and an active freight rail line that runs parallel to the street surface within the right-of-way. Hydraulic Street features short, utilitarian buildings, as well as agricultural relics, such as the grain elevator, that create an eclectic mix of land uses and character. The form of this area remains pedestrian-centered but storefront-style buildings focus a broader spectrum of retail and service uses on the ground story with residential and/or office uses in upper stories.

Hydraulic Street	
Building Placement	
Build-to Zone	0' to 15'
Space Between Buildings	
Attached	0'
Detached	10'
Building Volume	
Maximum Building Height	80'
Maximum Stories	5
Minimum Ground Floor Height	14'
Typical Street Attributes ¹	
Typical ROW Width	48' to 66'
Number of Travel Lanes	2
Lane Width	10' to 12'
Dedicated Turn Lanes	none
Parking Lanes	1 lane of parallel parking on south side of street
Pavement Width	22'
Dedicated Bicycle Facilities	Multi-purpose lane on north side of street
Pedestrian Realm	
Pedestrian Facilities	6' to 8' wide sidewalk
Street Buffer	1 lane of parallel parking on south side of street; 4' planter on north side of multi-purpose street

Notes:

¹ The Streetscape Master Plan includes a proposed slip lane on the south side of Hydraulic Street between Bridge Street and Heustis Street. This table includes dimensions for the public right-of-way section of the street.

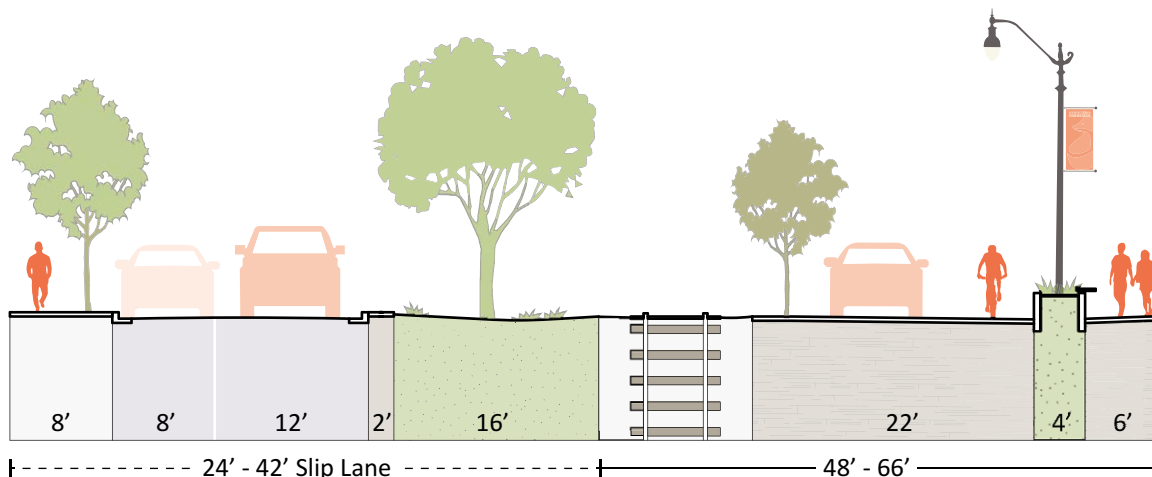


Figure 10-21-2B (1). Hydraulic Street (Long-term).

C. S3: Van Emmon Street District

The Van Emmon Street District is a lower scale district. Commercial, residential, and mixed use buildings make up this district in variety of building types. A broader spectrum of retail, service, and office uses support the Bridge Street and Hydraulic Street Districts and ground floor residential is permitted. The form of this area is pedestrian-centered, but allows for more vehicular access and off-street parking options.

Van Emmon Street	
Building Placement	
Build-to Zone	0' to 20'
Space Between Buildings	
Attached	0'
Detached	10'
Building Volume	
Maximum Building Height	80'
Maximum Stories	5
Minimum Ground Floor Height	12'
Typical Street Attributes	
Typical ROW Width	60'
Number of Travel Lanes	2
Lane Width	12'
Dedicated Turn Lanes	none
Parking Lanes	1 lane of parallel parking on each side of street; permeable paving 1 lane of parallel parking each side of street (intermittent planting on south side to accommodate parking)
Pavement Width	24' to 40'
Dedicated Bicycle Facilities	none
Pedestrian Realm	
Pedestrian Facilities	8' to 12' wide sidewalk
Street Buffer	1 lane of parallel parking on north side of street; street trees or 1 lane of parallel parking on south side of street

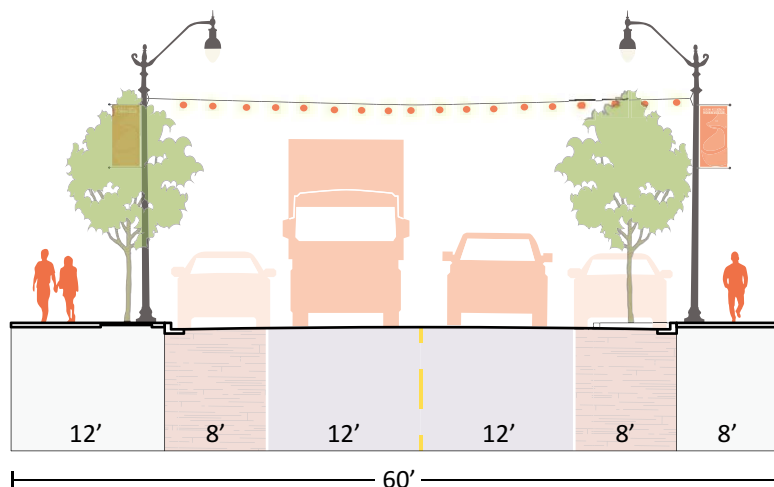


Figure 10-21-2C (1). Van Emmon Street (Long-term).

2.0 Districts

D. S4: 'B' Street District

The 'B' Street District is a lower scale commercial district designed to serve adjacent neighborhoods and the greater community. Flanked by the Hydraulic and Van Emmon Districts, a wider range of residential uses is permitted. As one of the main street types between primary thoroughfares, pedestrian access and safety remains a priority.

'B' Street	
Building Placement	
Build-to-line Location	0' to 20'
Space Between Buildings	
Attached	0'
Detached	10'
Building Volume	
Maximum Building Height	80'
Maximum Stories	5
Minimum Ground Floor Height	9'
Typical Street Attributes	
Typical ROW Width	50'-60'
Number of Travel Lanes	2
Lane Width	11'
Dedicated Turn Lanes	none
Parking Lanes	1 lane of parallel parking each side of street (reduce planting where appropriate to accommodate parking)
Pavement Width	26'
Dedicated Bicycle Facilities	none
Pedestrian Realm	
Pedestrian Facilities	4' wide sidewalk
Street Buffer	13' swale and/or stormwater buffer; optional parking

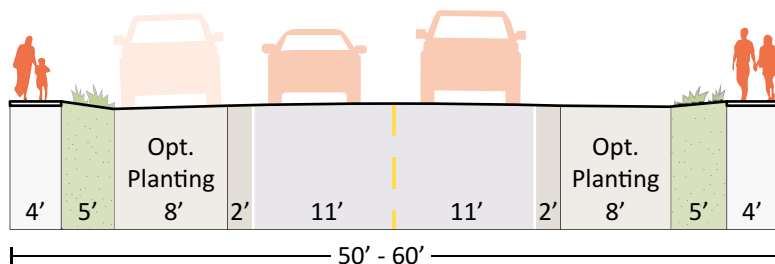


Figure 10-21-2D (1). 'B' Street (Long-term).

E. S5: 'B' Street - Residential District

The 'B' Street Residential District is a lower-scale residential district with a mix of townhouses and yard buildings. With a maximum height of six (6) stories under the general provision of the zoning code, this area provides for a mix of housing types adjacent to downtown for people of all ages and lifestyles.

'B' Street - Residential	
Building Placement	
Build-to-line Location	0' to 15'
Space Between Buildings	
Attached	0'
Detached	10'
Building Volume	
Maximum Building Height	80'
Maximum Stories	3.5
Minimum Ground Floor Height	9'
Typical Street Attributes	
Typical ROW Width	50' to 60'
Number of Travel Lanes	2
Lane Width	11'
Dedicated Turn Lanes	none
Parking Lanes	1 lane of parallel parking each side of street (reduce planting where appropriate to accommodate parking)
Pavement Width	26'
Dedicated Bicycle Facilities	none
Pedestrian Realm	
Pedestrian Facilities	4' wide sidewalk
Street Buffer	13' swale and/or stormwater buffer; optional parking

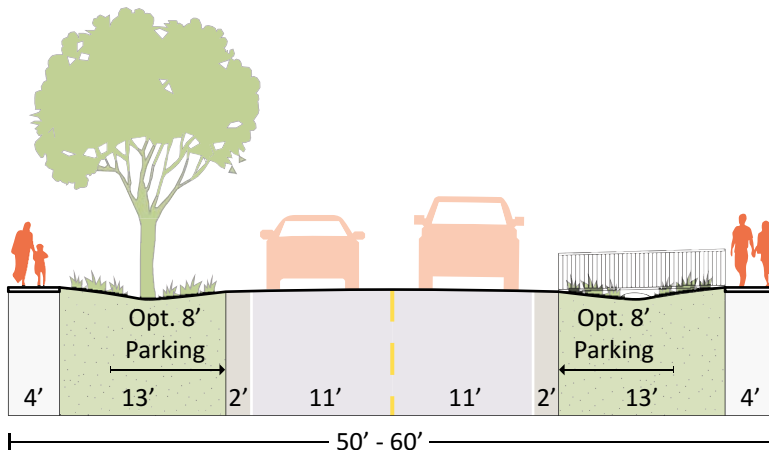


Figure 10-21-2E (1). 'B' Street - Residential (Long-term).

10-21-2 Districts

F. Hierarchy of Districts

Development under this code is regulated by street type. The various street types are related to each other in a hierarchical manner. When these streets intersect, the primary street frontage is determined by its higher order in the hierarchy. The front of a building and its main entrance must face the primary street. Figure 10.21.2G (1) illustrates the hierarchy of street types.

G. Primary Streets

The Primary Streets Map designates Primary, Secondary, and Tertiary Streets within the Downtown Overlay District. These designations prioritize the street frontages for locating the Front Lot Line for required amounts building frontage and allowable amounts of parking frontage. Refer to Figure 10.21.2G (4).

1. **Vehicular Access.** Vehicular access is also managed through this street prioritization within the Building Type requirements (refer to Section 10-21-4). See Figure 10.21.2G (2) and Figure 10.21.2G (3) for illustration of permitted vehicular access locations.
 - (a) The order of access is typically as follows, unless otherwise permitted by Building Type:
 - i. Lane (Tertiary Street) or Alley (un-mapped) permits unlimited access.
 - ii. If no Lane or Alley exists, one (1) driveway per secondary street frontage is permitted.
 - iii. If no tertiary or secondary street abuts the parcel, one driveway is permitted off the Primary Street and shared access with adjacent properties is encouraged.
 - (b) Refer to the Subdivision Control Ordinance for additional requirements of vehicular access off adjacent streets. Interparcel Access requirements shall be met.
2. **Primary, Secondary, and Tertiary Street Designations.**
 - (a) **Primary Streets.** Primary streets require the most intact and continuous streetwall with few, if any, driveway access. The Front Lot Line shall always be located on the Primary Street. When a parcel is fronted by more than two (2) primary streets, the Director shall determine which is the appropriate street for the Front Lot Line. The determination should be based on locations of existing and other proposed development Front Lot Lines.
 - i. Vehicular access should not be located off a primary street, unless no other options exists. Refer to Section 10-21-4 Building Type requirements for allowances of vehicular access, if applicable.
 - (b) **Secondary Streets.** Secondary streets are intended to have a fairly continuous streetwall, but will likely have a driveway for each parcel. If no tertiary street exists, access will likely be off the secondary street.
 - (c) **Tertiary Streets.** Tertiary streets typically have no streetwall requirements and could be fronted by parking structures and parking lots with multiple drives and/or vehicular access points.

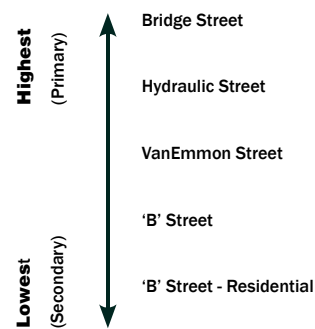


Figure 10-21-2G (1). Hierarchy of Street Types.

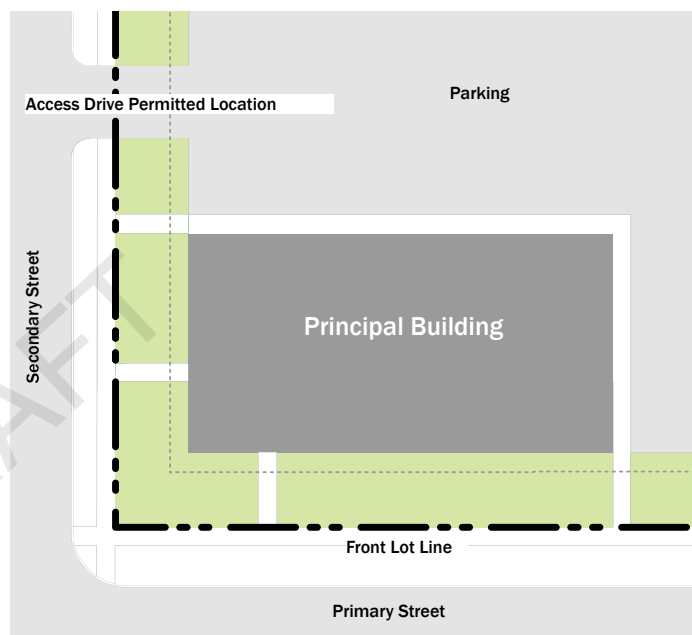


Figure 10-21-2G (2). Secondary Street Frontage: Access Drive Permitted Location

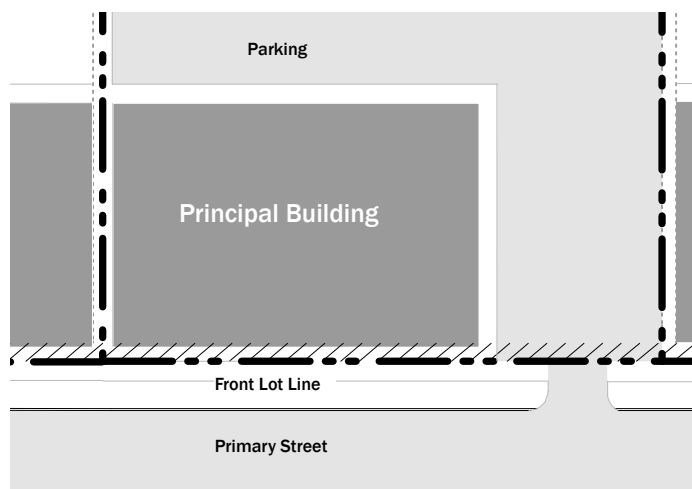


Figure 10-21-2G (3). Primary Street Frontage Only: Access Drive Permitted Location



Figure 10-21-2G (4). Primary Streets Map.

10-21-3 Uses

A. General Provisions

The following establishes a simplified set of uses permitted within the Building Forms of each downtown form-based zoning district.

- Uses by District.** Permitted and special uses available in each form-based district are shown in Table 10-21-3B (1).
- Use Definitions.** Uses listed in Tables 10-21-3C (1) - 10-21-3C (4) are defined in Section 10-2-3 of the Zoning Ordinance. Further definitions applicable only to the Yorkville Form-Based Districts are located in Section 10-21-3C.
- Permitted Use ("●").** These uses are permitted by-right in the form districts in which they are listed.
- Permitted in Upper Stories Only ("◐").** These uses are permitted by-right in the districts in which they are listed, provided that the uses are located in the upper stories of a structure. These uses may also be located in the ground story provided that they are located beyond a depth of at least twenty feet from the front primary facade.
- Requires a Special Use Permit ("○").** These uses require a Special Use Permit (refer to Section 10-6 Special Use Regulations) in order to occur in the districts in which they are listed and must follow any applicable development standards associated with the use as well as meet the requirements of the special use.
- Permitted with Development Standards ("◑").** These uses are permitted in the districts in which they are listed, provided that they are developed utilizing the listed development standards. These standards, combined with the Building Type requirements, are intended to alleviate any negative impacts associated with the use, making it appropriate in a district where it otherwise might not have been appropriate.
- Prohibited Use.** A blank cell or an unlisted use in the use table indicates that the land use is prohibited in that district.
- City Determination.** When a proposed land use is not explicitly listed in Table 10-21-3B (1), the Director shall determine whether or not it is included in the definition of a listed use or is so consistent with the size, scale, operating characteristics and external impacts of a listed use that it should be treated as the same use. Any such determination may be appealed to the Planning and Zoning Commission.
- Temporary Accessory Uses.** Temporary accessory uses are permitted in all Downtown Overlay Districts, including outdoor displays, seasonal displays and sales, festivals, and vendors. The following requirements apply:
 - Outdoor displays are permitted up to eight (8) hours per day, no more than three (3) consecutive days in any one (1) month.
 - Build-to-Zone. Temporary outdoor displays of merchandise are permitted in the Build-to-Zone without a permit, subject to all other requirements of Section 10-21-3.
 - Right-of-way. Any temporary outdoor display or occupation in the right-of-way requires a review approval by the Community Development Director.

How To Use The Code

Permitted Use Table

The Permitted Use Table contains all the uses permitted in the Downtown Overlay District. It is organized by district, so only the information in a parcel's district is applicable to that parcel. The other columns do not apply.

For example, a parcel in CC1 only applies the standards from that column, illustrated below.

Key	Districts				
	CC1: Core	CC2: Shopping	CC3: Core Support	CC4: Residential / Office	CC5: Gateway
Residential & Lodging Uses					
Residential	◐	◐	●	●	◐
Bed & Breakfast				○	
Hotel/Motel	◐	●	●	●	●
Care Facilities	◐	◐	●	◐	●
Senior Housing	◐	◐	◐	◐	◐
Civic / Institutional Uses					
Assembly Uses			●	●	●
Civic Offices & Services	●	●	●	●	
Library/Museum	●	●	●	●	●
School: Elementary, Secondary			●	●	●
School: High School				●	●
School, Private or Special				○	○
Retail Uses					
Neighborhood Retail	●	●	●	◐	●
General Retail		●			●
Adult Establishments		◐	◐		◐
Service Uses					
Neighborhood Service	●	●	●	◐	●
General Service		●			●
Automotive Specialty Shop					◐
Service Station					◐
Commercial Amusement, Outdoor					○
Daycare Facility			●	●	●
Hospital			●		●
Veterinary Clinic/Hospital or Kennel (Enclosed)		◐	◐		◐

Figure 10-21-3A (1). Yorkville Code Permitted Uses How-To.

10-21-3 Uses

Districts					
S 1: Bridge Street	S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street	S 5: 'B' Street - Residential	
Residential & Lodging Uses Category					
Residential Dwelling	●	●	●	●	●
Hotel/Motel	●	●	●	○	
Bed & Breakfast Inn	●	●	○	○	○
Residential Care Facility				○	○
Senior Housing		●	●	●	○
Civic & Institutional Uses Category					
Civic Offices & Services	●	●	●	●	●
Library/Museum	●	●	●	○	○
Police & Fire	●	●	●		
Post Office (no distribution)	●	●	●		
Religious & Organization Assembly	●	●	●	●	●
School: Public or Private	○	○	○	○	○
School: College	○	○	○	○	○
Retail & Service Uses Category					
Neighborhood Retail (<8,000 sf)	●	●	●	●	○
General Retail	●	●	●		
Neighborhood Service	●	●	●	○	○
General Service	●	●	●		
Recreation/Entertainment	●	●	●	○	
Automotive Services		○	○	○	
Food Services & Drinking Places	●	●	●	●	○
Office & Industrial Uses Category					
Office	●	●	●	●	
Small-Scale Industry	●	●	●	●	
Infrastructure Uses Category					
Communication Antennae & Towers	○	○	○	○	○
Parking Lot	●	●	●	●	●
Parking Structure	●	●	●	●	●
Public Utility & Infrastructure	●	●	●	●	●
Open Space Uses Category					
Open Space	●	●	●	●	●
Accessory Uses					
Alternative Energy Generation	●	●	●	●	●
Amphitheater		●		○	
Car Washes, Detail Shops, and/or Service Stations		○	○	○	
Drive Through Facility		○	○	○	
Home Occupation	●	●	●	●	●
Outdoor Storage of Goods		●	●	●	
Outdoor Restaurant Dining	●	●	●	●	
Parking Lot (Accessory)	●	●	●	○	
Parking Structure (Accessory)	●	●	●		
Roadside Produce Stand/Vending		●		●	
Sidewalk Sales	●	●	●	○	○
Temporary Storage Containers		●	●	●	●
Mobile Food Vendors	●	●	●	●	●
Temporary Structures	●	●	●	●	●

Key

- Permitted
- Permitted in Upper Stories Only
- Permitted with Development Standards
- Requires Special Use Permit

Table 10-21-3B (1). Permitted Uses Table.

10-21-3 Uses

B. Permitted Use Table

See Table 10-21-3B (1) for a list of permitted and special uses.

C. Use Requirements

1. Residential and Lodging Uses.

A category of uses that include several residence types.

- (a) Refer to 10-2-3 for the following definitions.
 - i. Residential.
 - ii. Bed & Breakfast Inn.
- (b) Hotel/Motel. Refer to 10-2-3 for definition. In the districts where a hotel/motel requires development standards (“●”), rooms shall be located in the upper stories. Lobbies and eating facilities shall be located on the ground floor.
- (c) Residential Care Facility. A facility offering temporary or permanent lodging to the public consisting of an unlimited number of sleeping rooms with or without in-room kitchen facilities. Includes such uses as independent and assisted living facilities, nursing homes, residential care homes, and transitional treatment facilities. Assistance with daily activities may be provided for residents. Secondary service uses may also be provided, such as dining and meeting rooms. Rooms shall be accessed from the interior of the building. In the districts where this use requires a special use permit (“○”), refer to Section 10-21-1F for procedure and development standards.
- (d) Senior Housing. In the districts where Senior Housing requires development standards (“●”), the following shall apply:
 - i. Housing shall be designed, constructed and operated in accordance with the Fair Housing Amendments Act.
 - ii. The Property shall comply with all applicable local, state, and federal regulations and copies of any applicable permits shall be provided to the Department prior to the issuance of a Certificate of Occupancy.
- (e) Use Permits. When a use is listed as permitted with a Use Permit “○,” refer to Section 10-21-1F for procedure and development standards.

2. Civic & Institutional Uses.

A category of uses related to fulfilling the needs of day-to-day community life including assembly, public services, educational facilities, and hospitals.

- (a) Civic Offices & Services. Any use that involves transactions between the City government and residents, property owners, or others doing business with the City or other activities related to the function of the municipality.
- (b) Library/Museum. A structure open to the general public housing educational, cultural, artistic, or historic information, resources, and exhibits. May also include food service and a gift shop.
- (c) Police & Fire. A facility providing public safety and emergency services; training facilities, locker rooms, and limited overnight accommodations may also be included. The facilities shall be housed in a permitted building, but shall have the following additional allowances:
 - i. Garage doors are permitted on the front facade.
 - ii. Exempt from maximum driveway widths.

- (d) Post Office. A publicly accessed facility for the selling of supplies and mail related products and the small scale collection and distribution of mail and packages. Large-scale postal sorting and distribution is not permitted.
- (e) Religious & Organization Assembly. Assembly Uses include Assembly Hall; Church, Temple, or Other Place of Worship; and Clubs.
- (f) Use Permits. When a use is listed as permitted with a Use Permit “○,” refer to Section 10-21-1F for procedure and development standards.

3. Retail & Service Uses.

A category of uses that include several retail and service types. Refer to Section 10-2-3 for definitions.

- (a) Neighborhood Retail. A use in this category occupies a space of less than 8,000 square feet. Neighborhood retail includes such uses as those listed in Table 10-21-3C (1).
 - i. When Neighborhood Retail is permitted with development standards “●”, it is limited to 8,000 square feet.
- (b) General Retail. A use in this category includes all Neighborhood Retail uses occupying a space of greater than 8,000 square feet and such uses as those listed in Table 10-21-3C (1).
- (c) Service Uses. A category of uses that provide patrons services and limited retail products related to those services. Visibility and accessibility are important to these uses, as most patrons do not utilize scheduled appointments.
- (d) Neighborhood Service. A use in this category occupies a space of less than 8,000 square feet. Neighborhood service includes such uses as those listed in Table 10-21-3C (2).
 - i. When Neighborhood Service is permitted with development standards “●”, it is limited to 6,000 square feet.
- (e) General Service. A use in this category includes all Neighborhood Service uses occupying a space of greater than 8,000 square feet and such uses as those listed in Table 10-21-3C (2).
- (f) Recreation/Entertainment. Refer to Table 10-21-3C (3).
- (g) Automotive Services. Refer to Section 10-2-3 for definition. In the districts where this use requires a special use permit (“○”), the following applies:
 - i. The use shall meet all of the requirements of the Building Type, refer to Section 10-21-4.
 - ii. Service doors shall all be located on the rear or interior side facade of the building.
 - iii. The showroom or retail space shall be located in the front storefront of the building and shall occupy a minimum of twenty percent (20%) of the gross floor area.
- (h) Food Services & Drinking Places. Food Services & Drinking Places include only the following:
 - i. Full Service Restaurants
 - ii. Carry-out Food Service Stores
 - iii. Quick Service Restaurants
 - iv. Banquet Centers & Caterers
 - v. Drinking Places (Alcoholic Beverages)

- vi. Brewpubs. A microbrewery that brews beer for both on and off-premise consumption, and may include a bar and/or restaurant.
- vii. Wine Establishments. A properly licensed business which sells wine only (not liquor or beer) for both on and off-premise consumption, as well as wine accessories and/or merchandise.

4. **Office & Industrial Uses.** A category of uses for businesses that involve the transaction of affairs of a profession, service, industry, or government. Patrons of these businesses usually have set appointments or meeting times; the businesses do not typically rely on walk-in customers. Office uses include those listed in Table 10-21-3C (4), List of Typical Uses in Office Category.

- (a) Office. Office uses include those listed in Table 10-21-3C (4), List of Typical Uses in Office Category.
- (b) Small-Scale Industry. A use involving small scale manufacturing, production, assembly, and/or repair with little to no noxious by-products that includes a showroom or small retail outlet. Small-Scale Industry includes such uses as those found in Table 10-21-3C (5). List of Typical Uses in Cottage Industry Category. The following development standards apply:
 - i. This use may also include associated facilities such as offices and small scale warehousing, but distribution is limited to vans and small trucks. Distribution access shall be from the rear.
 - ii. The maximum overall gross floor area is limited to 10,000 square feet, unless otherwise noted.
 - iii. The showroom or retail outlet shall be located in the front storefront of the building and shall occupy a minimum of twenty five percent (25%) of the gross floor area.

5. **Infrastructure & Open Space Uses.**

- (a) Communication Antennae & Towers. Refer to Section 10-18. Communication Antennae & Towers located within the right-of-way or on utility poles are permitted.
- (b) Parking Lot. A lot that does not contain a permitted building and is solely used for the parking of vehicles. In the districts where a parking lot requires a special use permit ("○"), the following applies:
 - i. Corner Lots. A corner lot shall not be used as a parking lot.
 - ii. Adjacent Parking Lots. Two (2) parking lots cannot be located directly adjacent to one another.
 - iii. Single Family. Parking lot cannot be associated with a single family use.
 - iv. Distance. Parking lot must be within 1,300 feet of the principal entrance to the associated use unless:
 - (i) At least seventy five percent (75%) of the spaces are dedicated for public use.
 - (ii) An approved joint parking agreement is in place.
 - v. Pedestrian Access. Must be connected to associated use by a dedicated, public pedestrian pathway.
 - vi. Commercial Vehicles. Parking lots for commercial

vehicles are not permitted in Downtown Overlay Districts.

- (c) Parking Structure. A parking structure on a lot that does not contain a permitted Building Type and is solely used for the parking of vehicles. In the districts where a parking lot requires a special use permit ("○"), the following applies:
 - i. Corner Lots. A corner lot shall not be used for a parking structure.
 - ii. Adjacent Parking Lots. Two (2) parking facilities (lots or structures) cannot be located directly adjacent to one another.
 - iii. Primary Street. No facade of the Parking Structure shall be located on a Primary Street. Refer to Figure 10-21-2G (4). For Parking Structures located on a Primary Street, the Main Street Building Type shall be utilized, requiring occupation of the building in the front thirty (30) feet of the facade on any Primary Street.
 - iv. Distance. Parking lot must be within 1,300 feet of the principal entrance to the associated use unless:
 - (i) At least seventy five percent (75%) of the spaces are dedicated for public use.
 - (ii) An approved parking agreement is in place (refer to Section 10-16).
 - v. Pedestrian Access. Must be connected to associated use by a dedicated, public pedestrianway.
 - vi. Commercial Vehicles. Parking structures for commercial vehicles are not permitted in these districts.
- (d) Utility and Infrastructure. A lot that is primarily utilized for the City's infrastructure needs. Utility and infrastructure includes such uses as electric or gas services, sewage treatment, water treatment and storage, and energy conversion systems.

6. **Open Space Uses.** A use of land for active or passive, public or private, outdoor space, including such uses as parks, plazas, greens, playgrounds, or community gardens. Open space uses may also be utilized to host temporary private or community events, such as a farmer's market or art fair. In the districts where open space is permitted with development standards ("●"), the following apply:

- i. Stormwater Accommodations. Open space that incorporates stormwater management on a site or district scale is encouraged.
 - (i) Stormwater facilities shall be designed to accommodate additional uses, such as an amphitheater or a sports field.
 - (ii) Stormwater facilities shall be designed not to be fenced and shall not impede public use of the land they occupy.
- ii. This use may involve small scale food and beverage service, no more than two hundred (200) square feet in space, located in a kiosk, with no service access.
- iii. Buildings located directly adjacent to an open space use shall treat facades facing this use with street facade requirements.

7. **Accessory Uses.** A category of uses that are not permitted to serve as the principal use on a zoning lot. These uses are incidental to

10-21-3 Uses

and customary in connection with the principal building or use and located on the same lot with such principal building or use.

(a) **Alternative Energy Generation.** Refer to Section 10-19.

Alternative energy generation includes structures for solar, wind, and geothermal. The following development standards apply:

- i. **Roof or Building Mounted Solar panels** are permitted with the following requirements:
 - (i) Panels mounted at the same angle of the roof or flush on the building facade are permitted on any roof or building face.
 - (ii) Panels projecting off the roof or building at a different angle are limited to the rear and side facing roofs, unless solar access is limited in these locations.
 - (iii) Panels shall not extend more than ten (10) feet at maximum pitch/tilt above the surface of the roof to which they are attached. On pitched roofs, panels shall not extend more than three (3) feet.
- ii. **Roof Mounted Small Wind Energy Systems** are permitted with the following requirements:
 - (i) Maximum rated capacity of five kW is permitted per turbine.
 - (ii) One turbine is permitted for each seven hundred and fifty (750) square feet of roof area.
 - (iii) Maximum height is fifteen (15) feet above the surface of the roof.
- iii. **Geothermal Energy** is permitted in any yard with the following requirements:
 - (i) Any related above ground structure shall be located in a side or rear yard with a maximum height of ten (10) feet, subject to all requirements of the Building Type.

(b) **Amphitheater.** Refer to Section 10-2-3 for definition. In the districts where an amphitheater is permitted with development standards ("●"), the following apply:

- i. **Location.** The amphitheater shall be located within an Open Space District (refer to Section 10-10).
- ii. The hours of operation shall be posted and limited to the hours of 8:00 a.m. to 11:00 p.m.

(c) **Car Washes, Detail Shops and/or Service Stations.** Refer to Section 10-2-3 for definitions. In the districts where car washes, detail shops and/or service stations are permitted with a special use permit ("○"), the following apply:

- i. **Location.** Use must be located inside a parking garage and not visible from the exterior of the parking garage.

(d) **Drive-through Facility.** In the districts where drive-through structures are permitted with development standards ("●"), the following applies. Refer to Figure 10-21-3C (1) for one illustration of the following requirements.

- i. **Structure/Canopy.** Drive-through structures or canopies shall be located on the rear facade of the building or in the rear of the lot behind the building, where permitted by use. The structure shall not be visible from any Primary Street.

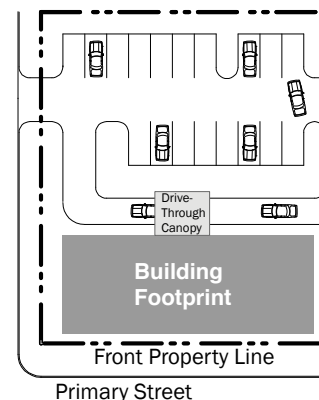


Figure 10-21-3C (1). Recommended drive-through Facility layout.

- ii. **Stacking Lanes.** Stacking lanes shall be located perpendicular to the Primary Street or behind the building.
 - iii. The canopy and structure shall be constructed of the same materials utilized on the building.
- (e) **Home Occupation.** An occupational use that is clearly subordinate to the principal use as a residence and does not require any alteration to the exterior of a building.
- (f) **Outdoor Storage of Goods.**
- i. **Commercial Uses.** This use includes outdoor storage of goods not typically housed or sold indoors, such as large scale materials and building and landscape supplies. In the districts where Outdoor Storage of Goods is permitted with development standards ("●"), the following apply:
 - (i) Loose materials shall not be stacked higher than six (6) feet.
 - (ii) Loose materials shall at a minimum be stored in a three sided shelter and shall be covered.
 - (iii) Materials shall be set back a minimum of ten (10) feet from any property line.
 - (iv) Materials shall not be located on required parking spaces or associated drive aisles.
 - (v) All outdoor storage areas shall be screened from view of adjacent parcels and vehicular rights-of-way using the Side or Rear Buffer.
 - ii. **Residential Uses.** This use includes temporary storage of personal or household goods in personal on demand storage (PODS) containers. In the districts where outdoor storage of goods is permitted with development standards ("●"), the following development standards apply:
 - (i) One (1) storage container can be located on a lot at a time.
 - (ii) On site storage of a container is permitted for up to two (2) months per year.
 - (iii) Containers shall not be located in the Front Yard, but permitted on a driveway.
- (g) **Outdoor Restaurant Dining.** Commercial outdoor dining, serviced by an adjacent service use, and permitted in any

- yard. When in a side yard along the front Lot Line, the Patio Frontage buffer is required.
- (h) **Parking Lot.** An uncovered paved surface used solely for the parking of vehicles, intended for use by the occupants in an adjacent building on the lot. Parking lot locations are regulated by Building Type. Refer to Section 10-21-4.
 - (i) **Parking Structure.** A structure used solely for the parking of vehicles, intended for use by the occupants in an adjacent building on the lot. Parking Structures within the buildings are regulated per Building Type. Refer to Section 10-21-4.
 - (j) **Roadside Produce Stand or Vending.** Refer to Section 10-21-1 for definition.
 - (k) **Sidewalk Sales.** A temporary outdoor sale of merchandise by retail businesses, typically occurring on the sidewalk within the public right-of-way for a limited period of time. In the districts where a Sidewalk Sale is permitted with development standards “C,” the following apply:
 - i. A minimum of four (4) feet of the sidewalk must remain available for passing pedestrians.
 - ii. Sidewalk Sales are permitted for up to three (3) days no more than six (6) times per calendar year.
 - iii. Merchandise must be stored inside the building during non-business hours.
 - iv. Merchandise sold shall either be regularly carried within the store, or have been regularly carried within the store in the past year.
 - (l) **Temporary Storage Containers.** Outdoor storage of personal or retail stock materials on a temporary basis within a portable storage container. When a Temporary Outdoor Storage use is permitted with development standards “C,” the following apply.
 - i. One (1) storage container may be located on a lot at a time.
 - ii. On site storage of a container is permitted for up to two (2) weeks; up to four (4) weeks is permitted with approval of the Director.
 - iii. The container shall be located in the rear yard, screened by the building from any primary or secondary street.
 - (m) **Mobile Food Vendors.** A motorized or towed wheeled vehicle that is designed and equipped to sell food. Shall include both “hot trucks” upon which food is cooked and prepared for vending, and “cold trucks” from which only ready to eat or packaged foods are handled. Refer to Section 10-3-14.

10-21-3 Uses

Neighborhood Retail

(less than 8,000 square feet)

Antique Shop
Art & Education Supplies
Art Gallery
Bakery, Retail
Bicycle Sales & Repair
Book, Magazine, & Newspaper Store
Camera & Photo Supply Store
Candy Store
China & Glassware Shop
Clothing & Clothing Accessories
Coffee Shop
Computer Software Sales
Delicatessen
Electronic Sales & Service
Fabric & Craft Store
Florist
Garden Center/Plant Nursery
Gift, Novelty, & Souvenir Shop
Hardware Store
Hobby Shop
Jewelry Sales & Repair
Luggage & Leather Goods
Microbreweries, Microwineries
Music Store & Instruction
Musical Instrument Repair & Sales
Office Supply
Optical Goods
Paint & Wallpaper
Party Supply Shop
Pet & Pet Supply
Specialty Food Market (Butcher, Fish Market, Produce, etc.), with no alcohol sales
Sporting Goods Sales & Rental
Stationary & Paper Store
Toy Shop
Video/Game Sales
Wine Establishment (no liquor/beer)

General Retail

All Neighborhood Retail (over 8,000 square feet)
Appliance Sales & Service
Department Store
Drug Store/Pharmacy
Furniture & Home Furnishings
General Merchandise Stores
Grocery Store
Medical Supply Store
Used Merchandise Stores (not including books, clothing & antiques)

Recreation/Entertainment

Billiard Parlor
Boat Sales & Rental
Boat Storage
Indoor Playground
Indoor Shooting Gallery/ Gun Range
Marina
Outdoor Music Venue
Railroad Passenger Station
Skating Rink
Stadium
Swimming Pool

Table 10-21-3C (3). List of Typical Uses in Recreation/Entertainment Category

Office

Architecture/Engineering/Design	PR & Advertising
Broadcasting & Telecommunications Studio	Professional Services
Building Contractor (office only)	Property Development
Business Consulting	Real Estate
Charitable Institutions	Research & Development
Clinic	Research Agency
Computer Programming & Support	Surveying
Detective Services	Tax Services
Educational Services (tutor & testing)	
Employment Agency	
Financial & Insurance	
Government Offices	
Legal Services	
Management Services	
Medical & Dental with Laboratory	
Motion Picture & Sound Recording Studio	

Table 10-21-3C (4). List of Typical Uses in Office Category.

Table 10-21-3C (1). List of Typical Uses in Retail Category.

Neighborhood Service

(less than 8,000 square feet)

Amusement Arcade
Barber Shop & Beauty Salon
Catering/Carry-Out & Delivery
Communication Service
Childcare Centers
Dance/Fitness Studio
Dry Cleaning & Laundry
Emergency Care Clinic
Framing
Health & Fitness Center
Home Furniture & Equipment Repair
Locksmith
Mailing Services
Massage Establishments
Nail Salon & Specialty Body
Pet Grooming
Photocopying & Printing
Photography Studio & Supplies
Physical Therapy/Physical Rehabilitation
Repair of Small Goods & Electronics
Restaurant/Bar
Services (Spa)
Shoe Repair
Tailor & Seamstress
Theater
Travel Agency, Ticketing & Tour Operator
Veterinarian (no outdoor training, boarding or kennels)

General Service

All Neighborhood Services (over 8,000 square feet)
Bowling Alley

Small-Scale Industry

Apparel & Finished Fabric Products	Products
Bakery & Confections	Research Laboratory
Beverages, including Beer, Wine, Coffee	Shoes & Boots
Botanical Products	Signs & Advertising
Brooms & Brushes	Smithing
Canning & Preserving Food	Taxidermy
Dairy Products	Toys & Athletic Goods
Electrical Fixtures	Upholstery
Engraving	Woodworking
Fabricated Metal Products	
Film Making	
Furniture & Fixtures	
Glass	
Jewelry, Watches, Clocks, & Silverware	
Leather Products	
Microbreweries, Microwineries	
Musical Instruments & Parts	
Pottery, Ceramics, & Related	

Table 10-21-3C (5). List of Typical Uses in Small-Scale Industry Category.

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10-21-4 Building Types

4.0 Building Types

A. Introduction to Building Type Standards

The buildings detailed in this section outline the Building Types permitted for new construction and renovated structures within the Districts defined in Section 10-21-2.

1. **General.** All Building Types shall meet the following requirements to achieve the intents defined for the districts.
 - (a) Zoning Districts. Each Building Type shall be constructed only within its designated districts. Refer to Table 10-21-4A (1) Permitted Building Types by Districts.
 - (b) Uses. Each Building Type can house a variety of uses depending on the district in which it is located. Refer to 15.3 for uses permitted per district. Some Building Types have additional limitations on permitted uses.
 - (c) No Other Building Types. All buildings constructed shall meet the standards of one of the Building Types within the zoning district of the lot.
 - (d) Permanent Structures. All buildings constructed shall be permanent construction without a chassis, hitch, or wheels, or other features that would make the structure mobile, unless otherwise noted.
 - (e) Accessory Structures.
 - i. Attached accessory structures are considered part of the

principal structure.

- ii. Detached accessory structures are allowed per each Building Type and shall comply with all setbacks except the following:
 - (i) Detached accessory structures are not permitted in the front yard.
 - (ii) Detached accessory structures shall be located behind the principal structure in the rear yard.
 - (iii) Detached accessory structures shall not exceed the height or size (area) of the principal structure.

2. **Page Layout.** Document pages are laid out to provide the maximum amount of information for each building type on one spread of two pages. Refer to Figure 10-21-4A (1) for a typical Building Type layout page.
 - (a) Tables. Refer to Section 10-21-4B for further information on each Table.
 - (b) Graphics typically represent one example of a building that could be developed utilizing the standards for that building type. Graphics are provided to illustrate general intent. In all cases, tables and text supercede graphic representations.

Building Types by Districts						
		Districts				
		S1: Bridge Street	S2: Hydraulic Street	S3: Van Emmon Street	S4: 'B' Street	S5: 'B' Street - Residential
Building Types	Downtown Commercial	●	●	●	●	
	Downtown Living		●	●	●	
	Cottage Commercial	●	●	●	●	
	Civic Building	●	●	●	●	●
	Attached Building			●	●	○
	Yard Building				○	●

●

 Permitted

○

 Requires Permit / Review

Table 10-21-4A (1). Permitted Building Types by District

How To Use The Code

Page Layout

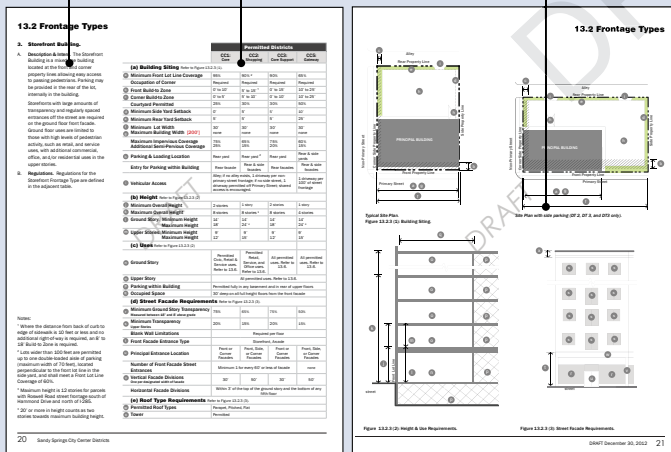
Building Type pages are laid out to provide the maximum amount of information for each Building Type on one spread of two pages.

Graphics typically represent one example of a building that could be developed utilizing the standards for that Building Type. Graphics are provided to illustrate general intent. In all cases, tables and text supercede graphic representations.

Tables define the regulations for each Building Type. Refer to 10-21-4B Explanation of Building Type Table Standards for narrative explanation of each line item.

Graphics related to the tables on the left. Graphics typically represent one example of Building Type standards

Intent of the Building Type.



One Building Type per Spread of Two Pages

Figure 10-21-4A (1). Representative Building Types Spread.

Building Type Tables

Refer to 10-21-4B for an explanation of each line item on the tables. Building Type tables contain all the standards for that Building Type. They are organized by district, so only the information in a parcel's district is applicable to that parcel. The other columns do not apply.

For example, a parcel in CC1 only applies the standards from that column, illustrated below.

		Permitted Districts		
		CC1: Core	CC2: Shopping	CC3: Core Support
(a) Building Siting Refer to Figure 13.2.2 (1).				
a	Minimum Front Lot Line Coverage	95%	90% ²	90%
	Occupation of Corner	Required	Required	Required
b	Front Build-to Zone	0' to 10'	5' to 15' ¹	0' to 15'
c	Corner Build-to Zone	0' to 5'	5' to 10'	0' to 10'
	Courtyard Permitted	25%	30%	30%
d	Minimum Side Yard Setback	0'	5'	5'
e	Minimum Rear Yard Setback	5'	5'	5'
f	Minimum Lot Width	30'	30'	30'
g	Maximum Building Width	none	none	none
	Maximum Impervious Coverage	75%	65%	75%
	Additional Semi-Pervious Coverage	25%	15%	20%
h	Parking & Loading Location	Rear yard	Rear yard ²	Rear yard
	Entry for Parking within Building	Rear facade	Rear & side facades	Rear facades
i	Vehicular Access	Alley; if no alley exists, 1 driveway per non-primary street frontage; if no side street, 1 driveway permitted off Primary Street; shared access is encouraged.		
(b) Height Refer to Figure 13.2.2 (2)				
j	Minimum Overall Height	2 stories	1 story	2 stories
k	Maximum Overall Height	8 stories	8 stories ³	8 stories
l	Ground Story: Minimum Height	14'	14'	14'
	Maximum Height	18'	24' ⁴	18'
m	Upper Stories: Minimum Height	9'	9'	9'
	Maximum Height	12'	15'	12'
(c) Uses Refer to Figure 13.2.2 (2)				
n	Ground Story	Permitted Civic, Retail & Service uses. Refer to 13.6.	Permitted Retail, Service, and Office uses. Refer to 13.6.	All permitted uses. Refer to 13.6.
o	Upper Story	All permitted uses. Refer to 13.6.		
p	Parking within Building	Permitted fully in any basement and in rear of upper floors		
q	Occupied Space	30' deep on all full height floors from the front facade		
(d) Street Facade Requirements Refer to Figure 13.2.2 (3).				
r	Minimum Ground Story Transparency Measured between 18" and 8' above grade	75%	65%	75%
s	Minimum Transparency Upper Stories	20%	15%	20%
	Blank Wall Limitations	Required per floor		
t	Front Facade Entrance Type	Storefront, Arcade		
u	Principal Entrance Location	Front or Corner Facades	Front, Side, or Corner Facades	Front or Corner Facades
	Number of Front Facade Entrances	Minimum 1 for every 60' or less of facade		
v	Vertical Facade Divisions One per designated width of facade	30'	50'	30'
	Horizontal Facade Divisions	Within 3' of the top of the ground story and the bottom of any fifth floor		
(e) Roof Type Requirements Refer to Figure 13.2.2 (3).				
w	Permitted Roof Types	Parapet, Pitched, Flat		
x	Tower	Permitted		

Figure 10-21-4A (2). Building Type Table Example.

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B. Explanation of Building Type Table Standards

The following explains and further defines the standards outlined on the tables for each Building Type, refer to Sections 10-21-4C through 10-21-4H.

1. **Building Siting.** The following explains the line item requirements for each Building Type Table within the first section entitled "Building Siting". Table 10-21-4B (1) illustrates an example of a Building Siting Table from a typical Building Type.
 - (a) Multiple Principal Structures. The allowance of more than one (1) principal structure on a lot.
 - (b) Minimum Front Lot Line Coverage. Refer to Figure 10-21-4B (1). Measurement defining the minimum percentage of street wall or building facade along the street. The width of the principal structure(s) (as measured within the front build-to zone) shall be divided by the maximum width of the front build-to zone (BTZ).
 - i. Certain buildings have this number set to also allow the development of a courtyard along the front lot line.
 - ii. Some frontage types allow side yard parking to be exempted from the front lot line coverage calculation. If such an exemption is permitted, the width of up to one (1) double loaded aisle of parking, located with the drive perpendicular to the street and including adjacent sidewalks and landscaping, may be exempted, to a set maximum in feet.
 - iii. When driveway is located at the front lot line (Figure 10-21-4B (1)) and a side yard parking is not utilized, a driveway width of twenty (20) feet may be deducted from the width of the BTZ and is not included in the calculation of the minimum front lot line.
 - (c) Occupation of Corner. Occupying the intersection of the front and corner build-to zones with a principal structure.
 - (d) Front Build-to Zone. The build-to zone or setback parallel to the front lot line. Building components, such as awnings or signage, are permitted to encroach beyond the build-to zone.
 - i. All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (e) Corner Build-to Zone. The build-to zone or setback parallel to the corner side property line.
 - i. All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (f) Minimum Side Yard Setback. The minimum required setback along a side property line.
 - i. All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (g) Minimum Rear Yard Setback. The minimum required setback along a rear property line.
 - i. All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (h) Minimum Lot Width. The minimum width of a lot, measured at the build-to zone.

Permitted Districts

District A

District B

(a) Building Siting

Multiple Principal Buildings	Not permitted	Not permitted
Minimum Front Lot Line Coverage	95%	65%
Occupation of Corner	Required	Required
Front Build-to Zone	0' to 20' ¹	5' to 20' ¹
Corner Build-to Zone	0' to 5'	0' to 10'
Minimum Side Yard Setback	0'	5'
Minimum Rear Yard Setback	5'; 25' if located adjacent to residential	
Minimum Lot Width	30'	30'
Maximum Building Width	none	none
Maximum Impervious Coverage	75% ³	65% ³
Additional Semi-Pervious Coverage	25%	15%
Parking & Loading Location	Rear yard	Rear yard
Entry for Parking within Building	Rear & Side Facades	
Vehicular Access	Alley; if no alley exists, 1 driveway per street frontage	

Table 10-21-4B (1). Example Building Siting Requirements Table from a Typical Building Type.

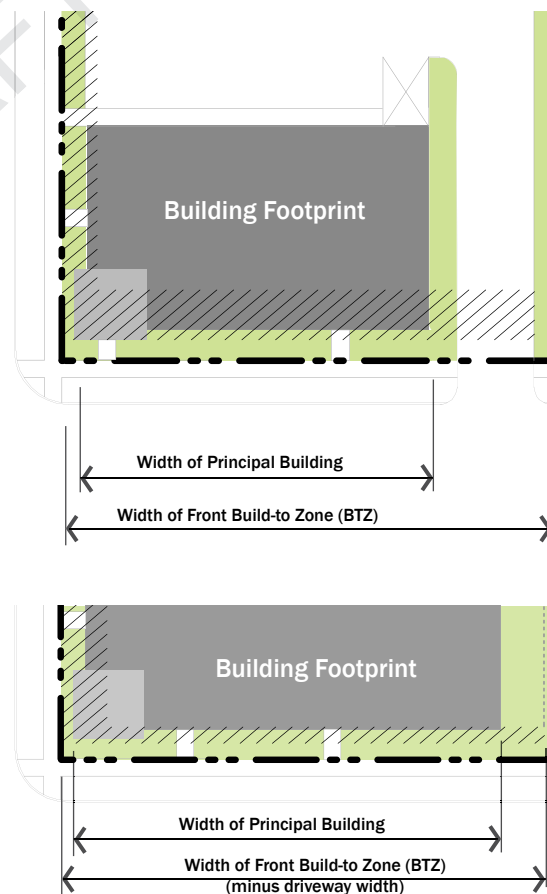


Figure 10-21-4B (1). Measuring Front Lot Line Coverage

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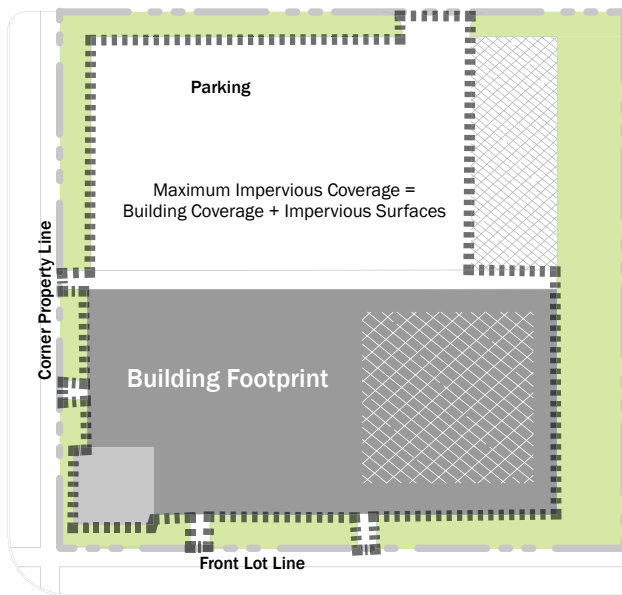


Figure 10-21-4B (2). Maximum Impervious & Additional Semi-Pervious Coverage.

- (i) Maximum Building Width. The maximum width of a building, measured across the front facade.
 - (j) Maximum Impervious Coverage. (Refer to Figure 10-21-4B (2)). The maximum percentage of a lot permitted to be covered by principal structures, accessory structures, pavement, and other impervious surfaces.
 - (k) Additional Semi-Pervious Coverage. The additional percentage of a lot beyond the Maximum Impervious Coverage, which may be surfaced in a semi-pervious material, including a green roof or pavers.
 - (l) Parking & Loading Location. The yard in which a surface parking lot, detached garage, attached garage door access, loading and unloading, and associated drive is permitted.
 - (m) Entry for Parking within Building. Permitted garage door location for parking entrance when parking is located within building.
 - (n) Vehicular Access. The permitted means of vehicular ingress and egress to the lot.
 - i. Alleys, when present, shall always be the primary means of access.
 - ii. When alleys are not present, a driveway may be permitted per Building Type and, if an alternative is available, shall not be located off a Primary Street.
2. **Height.** The following explains the line item requirements for each Building Type Table within the second section entitled "Height". Table 10-21-4B (2), illustrates an example of a Height Requirements Table from a typical Building Type.
- (a) Minimum Height (in Stories). The minimum overall height for

	Permitted Districts	
	District A	District B
(b) Height		
Minimum Overall Height	2 stories	2 story
Maximum Overall Height	5 stories	5 stories
Ground Story: Minimum Height	14'	14'
Maximum Height	18'	18'
Upper Stories: Minimum Height	9'	9'
Maximum Height	12'	12'

Table 10-21-4B (2). Example Height Requirements Table from a Typical Building Type.

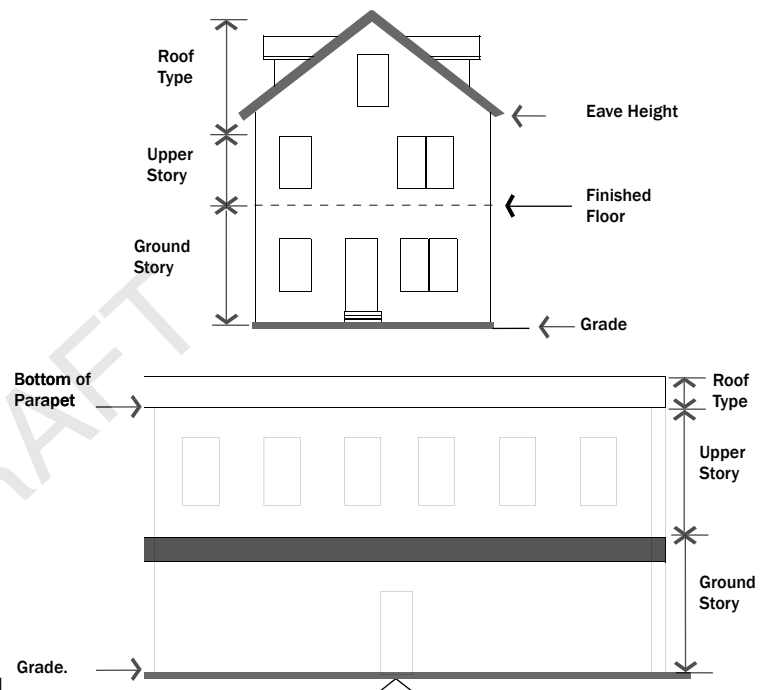


Figure 10-21-4B (3). Measuring Height

the building shall be located within the build-to zone; stories above the minimum height may be stepped back from the facade.

- (b) Maximum Height (in Stories). The sum of a building's total number of stories.
 - i. Half stories are located either completely within the roof structure with street-facing windows or in a visible basement exposed a maximum of one half story above grade.
 - ii. A building incorporating both a half story within the roof and a visible basement shall count the height of the two (2) half stories as one (1) full story.
 - iii. Some Building Types require a building facade to step back as its height increases. The upper stories of any building facade with street frontage shall be setback a designated amount beyond the building facade of the lower stories.

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- iv. Floors within the building shall be visibly designated on the street facades by the use of expression lines or the layout of the windows.
- (c) Ground Story and Upper Story, Minimum and Maximum Height. (Refer to Figure 10-21-4B (3)). Each frontage type includes a permitted range of height in feet for each story. Additional information is as follows:
 - i. Floor height is measured in feet between the floor of a story to the floor of the story above it.
 - ii. For single story buildings and the uppermost story of a multiple story building, floor to floor height shall be measured from the floor of the story to the tallest point of the ceiling.
 - iii. Double height spaces may be located along any non-street facade or in the entrance way to the building. The entrance way shall not exceed fifty percent (50%) of the street facade.

3. **Uses.** The following explains the line item requirements for each Building Type Table within the third section entitled "Uses." Refer to Section 10-21-3 for uses permitted within each District. The requirements in this section of the Building Type Tables may limit those uses within a specific Building Type. Table 10-21-4B (3) illustrates an example of the Uses table from a typical Building Type.

- (a) Ground and Upper Story. The uses or category of uses which may occupy the ground and/or upper story of a building.
- (b) Parking Within Building. The area(s) of a building in which parking is permitted within the structure.
- (c) Occupied Space. The area(s) of a building that shall be designed as occupied space, defined as interior building space regularly occupied by the building users. It does not include storage areas, utility space, or parking.

4. **Street Facade Requirements.** The following explains the line item requirements for each Building Type Table within the fourth section entitled "Street Facade Requirements." These requirements apply only to facades facing a public or private street right-of-way. The rear or interior side yard facades are not required to meet these standards unless otherwise stated. Table 10-21-4B (4) illustrates an example of a Street Facade Requirements Table from a typical Building Type.

- (a) Minimum Ground Story and Upper Floor Transparency. (Refer to Figure 10-21-4B (5)). The minimum amount of transparency on street facades with street frontage.
 - i. Transparency is any glass in windows and/or doors, including any mullions, that is highly transparent with low reflectance.
 - (i) Ground Story Transparency, when defined separately from the overall minimum transparency, shall be measured between two (2) feet and eight (8) feet from the base of the front facade.
 - (ii) A general Minimum Transparency requirement shall be measured from floor to floor of each story.
- (b) Blank Wall Limitations. A restriction of the amount of windowless area permitted on a facade with street frontage. If required, the following shall both be met for each story:

- i. No rectangular area greater than thirty percent (30%) of a story's facade, as measured from floor to floor, may be windowless; and
- ii. No horizontal segment of a story's facade greater than fifteen (15) feet in width may be windowless.

5. Entrance Type.

- (a) Front Facade Entrance Type. The Entrance Type(s) permitted for the entrance(s) of a given Building Type. A mix of permitted Entrance Types may be utilized. Refer to Section 10-21-4I Entrance Types for definition of and additional requirements for each.
- (b) Principal Entrance Location. The facade on which the primary building entrance is to be located.

Permitted Districts	
District A	District B
(c) Uses	
Ground Story	Per Section 15.3 Uses
Upper Story	Per Section 15.3 Uses
Parking within Building	Permitted fully in any basement and in rear of upper floors
Occupied Space	20' deep on all full height floors from the front facade

Table 10-21-4B (3). Example Uses Table from a Typical Building Type.

		Permitted Districts	
		District A	District B
(d) Street Facade Requirements			
Minimum Ground Story Transparency Measured between 2' and 8' above grade	65%	65%	
Minimum Transparency Upper Stories	20%	20%	
Blank Wall Limitations	Required per floor		
Front Facade Entrance Type	Storefront, Arcade		
Principal Entrance Location	Front or Corner Facades		
Number of Street Entrances	Minimum 1 for every 50' or less of facade		
Ground Story Vertical Divisions	One per every 30' of facade width		
Horizontal Facade Divisions	Within 3' of the top of the ground story and the bottom of any fifth floor		
Facade Variety Required Refer to 15.4B.4(h) for requirements.	Every 80' of facade width		

Table 10-21-4B (4). Example Street Facade Requirements Table from a Typical Building Type.

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- (c) Number of Street Entrances. The minimum number of and maximum spacing between entrances on the ground floor building facade with street frontage.
- (d) Ground Story Vertical Divisions. The use of a vertically oriented expression line or form to divide the ground floor facade into increments no greater than the dimension shown in Figure 10-21-4I (1), as measured along the base of the facade, and extending a minimum of eighty percent (80%) from the average grade of the facade elevation to the interior ceiling. Elements may include a column, pilaster, or other continuous vertical ornamentation.
- (e) Horizontal Facade Divisions. The use of a horizontally oriented expression line or form to divide portions of the facade into horizontal divisions, extending a minimum of ninety percent (90%) of the full width of the facade. Elements may include a cornice, belt course, molding, string courses, or other continuous horizontal ornamentation a minimum of one and a half inch depth.
- (f) Facade Variety Requirements. Building design shall vary between designated vertical facade divisions, where required per the Building Type, and from adjacent buildings by the type of dominant material or color, scale, or orientation of that material and at least two of the following. Refer to Figure 10-21-4B (5) for one illustration of this requirement.
 - i. The proportion of recesses and projections.
 - ii. The location of the entrance and window placement, unless storefronts are utilized.
 - iii. Roof type, plane, or material, unless otherwise stated in the Building Type requirements.

6. **Roof Type.** The following explains the line item requirements for each Building Type Table in Sections 10-21-4C through 10-21-4H, within the fifth section entitled "Roof Types." Table 10-21-4B (5) illustrates an example of a Roof Type Requirements Table from a typical Building Type.

- (a) Permitted Roof Type. The roof type(s) permitted for a given Building Type. Refer to Section 10-21-4J for more specific requirements.
- (b) Tower. A vertical building extension that may be permitted in conjunction with another roof type on certain Building Types. Refer to Section 10-21-4J.



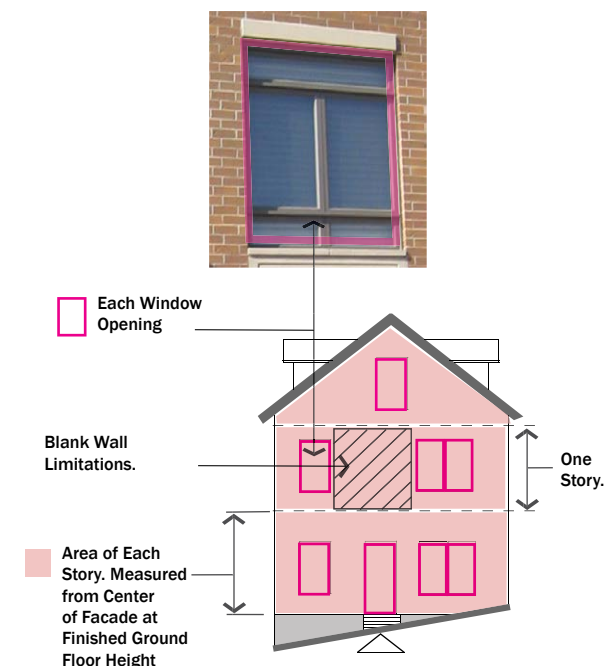
Figure 10-21-4B (4). Building Variety.

Permitted Districts	
District A	District B
(e) Roof Type Requirements	
Permitted Roof Types	Parapet, Pitched, Flat
Tower	Permitted

Table 10-21-4B (5). Example Roof Type Requirements Table from a Typical Building Type.



Measuring Ground Floor Transparency on a Storefront Base.



Measuring Transparency on Each Story with Slope.

Figure 10-21-4B (5). Measuring Transparency.

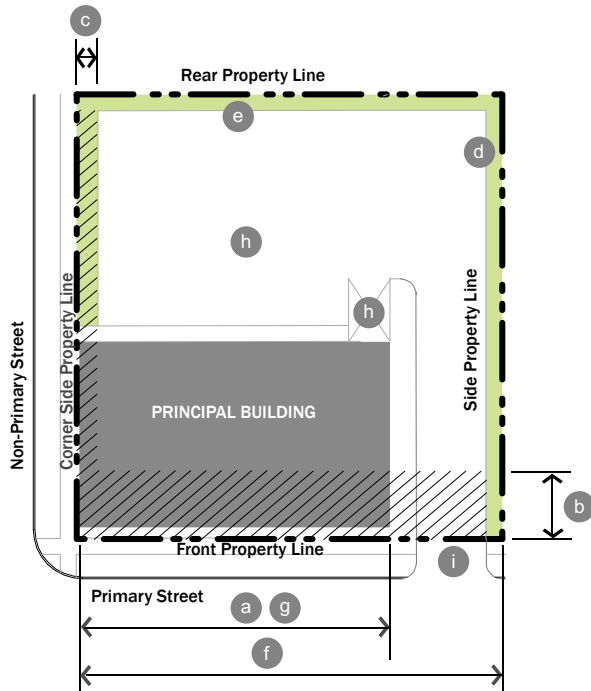
C. Downtown Commercial Building

- Notes:

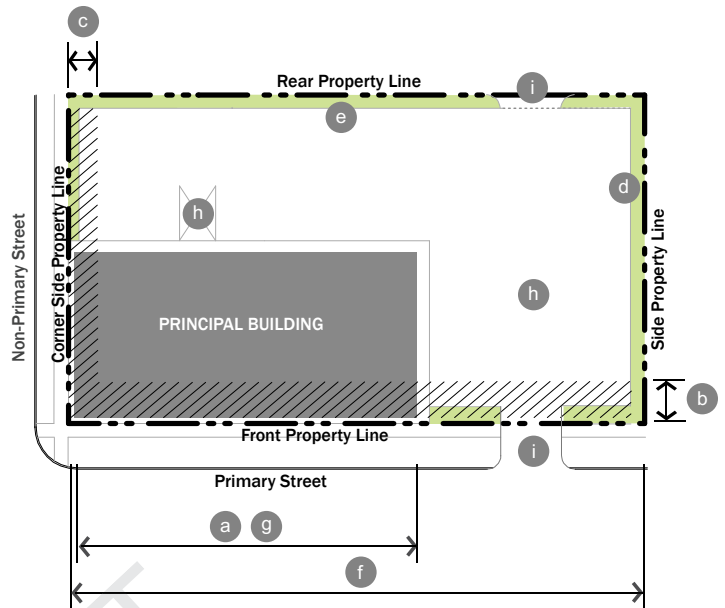
⁶ Eighteen (18) feet or more in height counts as two (2) stories towards maximum building height.

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Typical Site Plan.
Figure 10-21-4C (1): Building Siting.



Site Plan with side parking (S 2 and S4 only).
Figure 10-21-4C (2): Building Siting.

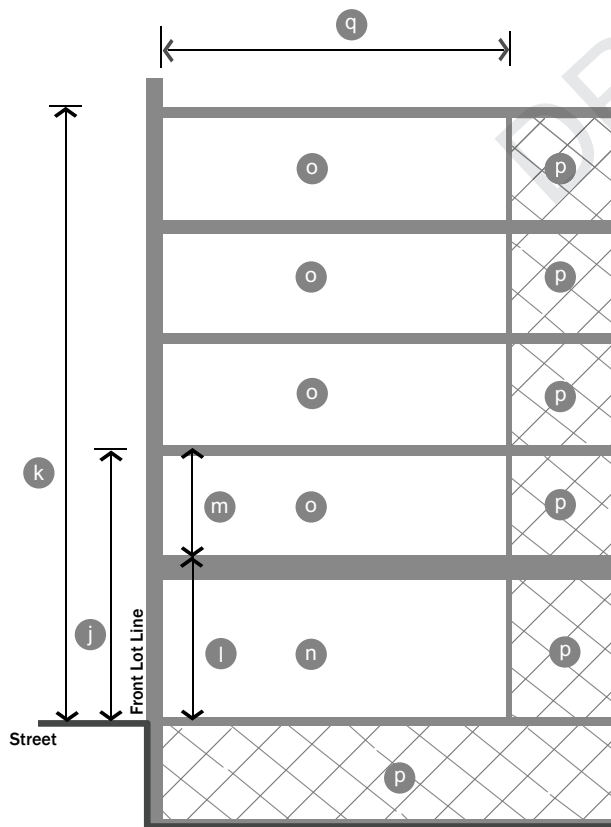


Figure 10-21-4C (3): Height & Use Requirements.

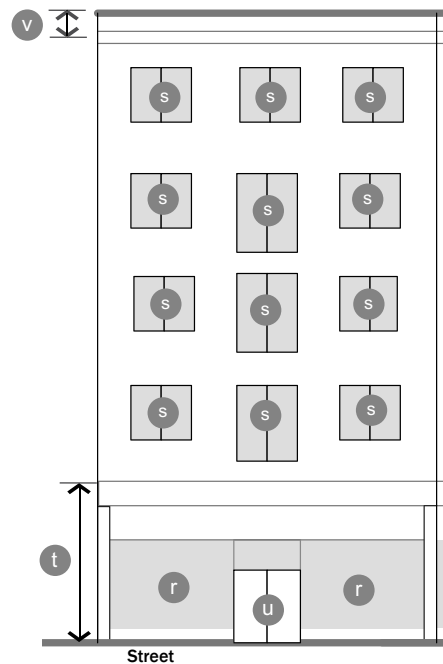


Figure 10-21-4C (4): Street Facade Requirements.

10-21-4 Building Types

D. Downtown Living Building

- Description & Intent.** The Downtown Living Building Type is limited in terms of uses by the district within which it is located, generally housing office and/or residential uses. Similar to the Downtown Commercial Building, the Downtown Living building is intended to be built close to the front and corner property lines, but generally allows for more landscape space between the building and the street. Parking may be provided in the rear of the lot, internally in the building, or, in some cases, one double loaded aisle of parking is permitted in the interior or the side yard at the front lot line.
- Regulations.** Regulations for the Downtown Living Building Type are defined in the adjacent table.

Notes:

¹ Each building shall meet all requirements of the Building Type.

² If located adjacent to flood hazard area, refer to requirements of the Yorkville Stormwater Ordinance No. 2012-56. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

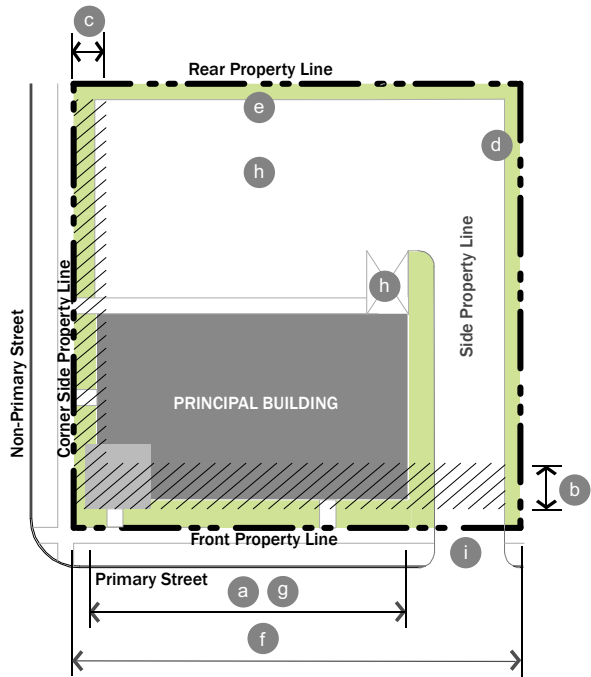
³ Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

⁴ Lots wider than one hundred (100) feet are permitted one double-loaded aisle of parking (maximum width of seventy (70) feet), located perpendicular to the front lot line and shall meet a Front Lot Line Coverage of sixty percent (60%).

Permitted Districts		
S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street

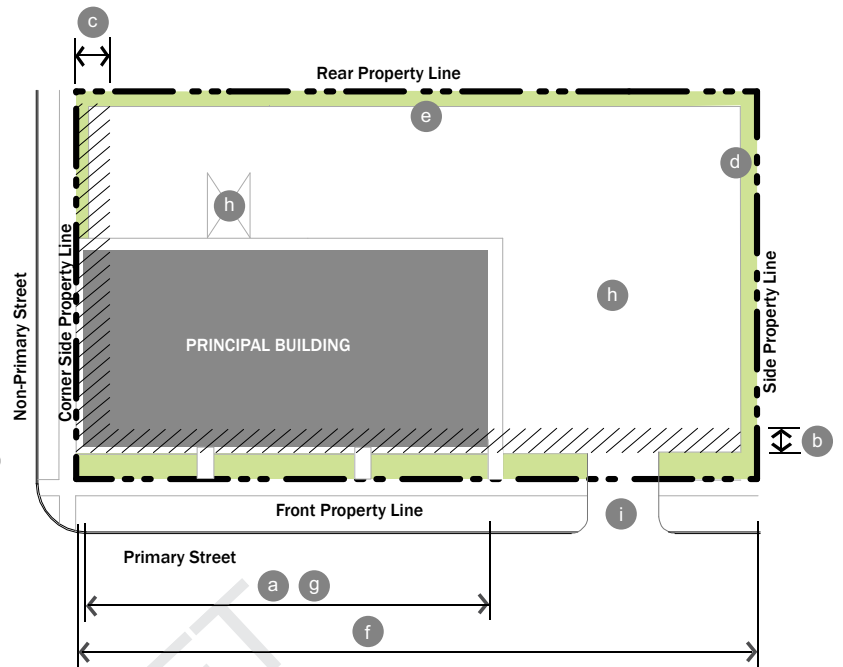
(a) Building Siting			
Refer to Figures 10-21-4D (1) and 10-21-4D (2)			
Multiple Principal Buildings		Permitted ¹	
a	Minimum Front Lot Line Coverage	75%	50%
Occupation of Corner		Required	
b	Front Build-to Zone	5' to 15'	5' to 20'
c	Corner Build-to Zone	0' to 10'	5' to 20'
d	Minimum Side Yard Setback	5'	10'
e	Minimum Rear Yard Setback	5'; 25' if located adjacent to residential ²	
f	Minimum Lot Width	16'	
g	Maximum Building Width	none	
Maximum Impervious Coverage		65% ³	75% ³
Additional Semi-Pervious Coverage		20%	20%
h	Parking & Loading Location	Rear yard ⁴ , Side Yard	
Entry for Parking within Building		Rear & Side Facades	
i	Vehicular Access	Alley; if no alley exists, 1 driveway per every 80' of frontage is permitted off non-Primary street; if no side street, 1 driveway permitted off Primary Street; shared access is encouraged.	
(b) Height			
Refer to Figure 10-21-4D (3)			
j	Minimum Overall Height	1 story	
k	Maximum Overall Height	4 stories	
l	All Stories: Minimum Height	9'	
	Maximum Height	14'	
(c) Uses			
Refer to Figure 10-21-4D (3).			
m	All Stories	Per Section 10-21-3 Uses; residential dwelling allowed provided that it is located at least 20' from the front primary facade	
n	Parking within Building	Permitted fully in any basement and in rear of all floors	
o	Occupied Space	20' deep on all full height floors from the front facade	
(d) Street Facade Requirements			
Refer to Figure 10-21-4D (4).			
p	Minimum Transparency	20%	
Per each Story			
q	Front Facade Entrance Type	Stoop, Porch	
r	Principal Entrance Location	Front facade or corner facade	
Number of Street Entrances		Minimum 1 for every 100' or less of facade	
Ground Story Vertical Divisions		Every 60' of facade width	
Horizontal Facade Divisions		Within 3' of the top of the ground story and any visible basement	
Facade Variety Required		Every 50' of facade width	
Refer to 10-21-4B(4)(h) for requirements.			
(e) Roof Type Requirements			
Refer to Figure 10-21-4D (4)			
s	Permitted Roof Types	Parapet, pitched, flat	
t	Tower	Permitted	

10-21-4 Building Types



Typical Site Plan.

Figure 10-21-4D (1): Building Siting.



Site Plan with side parking (S 3 and S 4 only).

Figure 10-21-4D (2): Building Siting.

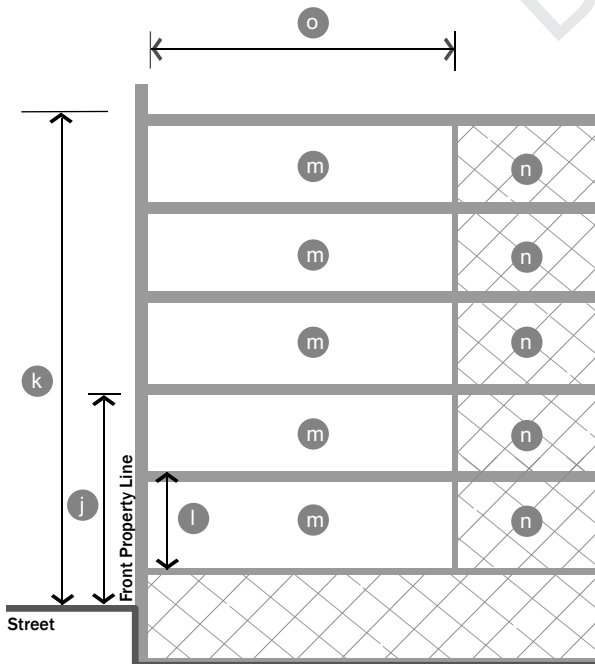


Figure 10-21-4D (3): Height & Use Requirements.

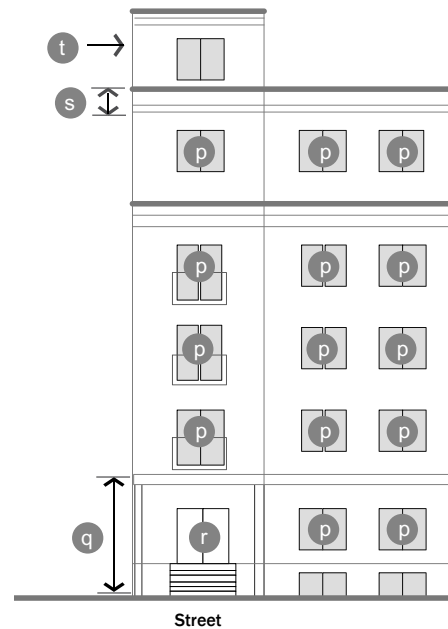


Figure 10-21-4D (4): Street Facade Requirements.

10-21-4 Building Types

E. Cottage Commercial Building

- Description & Intent.** The Cottage Commercial Building combines characteristics of the Downtown Commercial Building Type with physical characteristics of a residential cottage, such as a pitched roof and a front stoop or porch.

This lower-scale building has a pedestrian-friendly storefront, stoop, or porch entrance type with moderate transparency and a primary entrance that faces the street. Constructed with Setbacks similar to a residential cottage, this building typically has more landscape area than the Downtown Commercial Building Types. Parking is permitted in the rear of the lot or a side aisle (with conditions).

The Cottage Commercial Building may contain a mix of uses, including retail, service, and office uses on the ground floor, with residential uses on upper floors.

- Regulations.** Regulations for the Cottage Commercial building type are defined in the adjacent table.

Notes:

¹ Each building shall meet all requirements of the Building Type.

² If located adjacent to flood hazard area, refer to requirements of the Yorkville Stormwater Ordinance No. 2012-56. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

³ Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

⁴ Lots wider than eighty (80) feet are permitted one single-loaded aisle of parking (maximum width of forty (40) feet), located perpendicular to the front lot line, and shall meet a Front Lot Line Coverage of fifty percent (50%).

⁵ Attached garages are considered part of the principal building and shall meet all setbacks. Detached garages shall meet all setbacks unless an alley is present. When an alley is present, detached garages shall have a minimum rear setback of five (5) feet.

		Permitted Districts			
		S 1: Bridge Street	S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street
(a) Building Siting Refer to Figure 10-21-4E (1)					
Multiple Principal Buildings		Refer to District Street Details			
a	Minimum Front Lot Line Coverage	60%	50%	40%	
Occupation of Corner		Required			
b	Front Build-to Zone	5' to 10'	5' to 20'		
c	Corner Build-to Zone	5' to 10'	5' to 25'	5' to 15'	
d	Minimum Side Yard Setback	10'	15'		
e	Minimum Rear Yard Setback	25' ²			
f	Minimum Lot Width	25'			
g	Maximum Building Width	50'			
Maximum Impervious Coverage		70% ³		60% ³	
Additional Semi-Pervious Coverage		15%		15%	
h	Parking & Loading Location	Rear yard; attached garages access off rear facade only. ^{4,5}			
Entry for Parking within Building		Not Permitted on Primary Street			
i	Vehicular Access	Alley; if no alley exists, 1 driveway permitted off non-Primary street; if no side street, 1 driveway permitted off Primary Street; shared access is encouraged.			
(b) Height Refer to Figure 10-21-4E (2)					
j	Minimum Overall Height	none			
k	Maximum Overall Height	3.5 stories			
l	Minimum Ground Story Height	10'			
(c) Uses Refer to Figure 10-21-4E (2)					
m	Ground Story	Per Section 10-21-3 Uses			
n	Upper Stories	Per Section 10-21-3 Uses			
o	Parking within Building	Not Permitted on Primary Street			
p	Occupied Space	20' deep on all full height floors from the front facade			
(d) Street Facade Requirements Refer to Figure 10-21-4E (3)					
q	Minimum Ground Story Transparency Measured between 2' and 8' above grade	40%	30%		
r	Minimum Transparency Upper Stories	15%			
Blank Wall Limitations		Required per floor			
s	Front Facade Entrance Type	Porch (Storefront, Elevated Storefront permitted only on parcels in flood hazard areas per Section 18 of the City's Code of Ordinances; Stoop permitted with design review			
t	Principal Entrance Location	Front or corner side facade			
Number of Street Entrances		Minimum 1 per Building			
Ground Story Vertical Divisions		Not required			
Horizontal Facade Divisions		Within 3' of the top of any visible basement			
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.		Between adjacent buildings			
(e) Roof Type Requirements Refer to Figure 10-21-4E (3)					
u	Permitted Roof Types	Pitched			
Tower		Permitted			

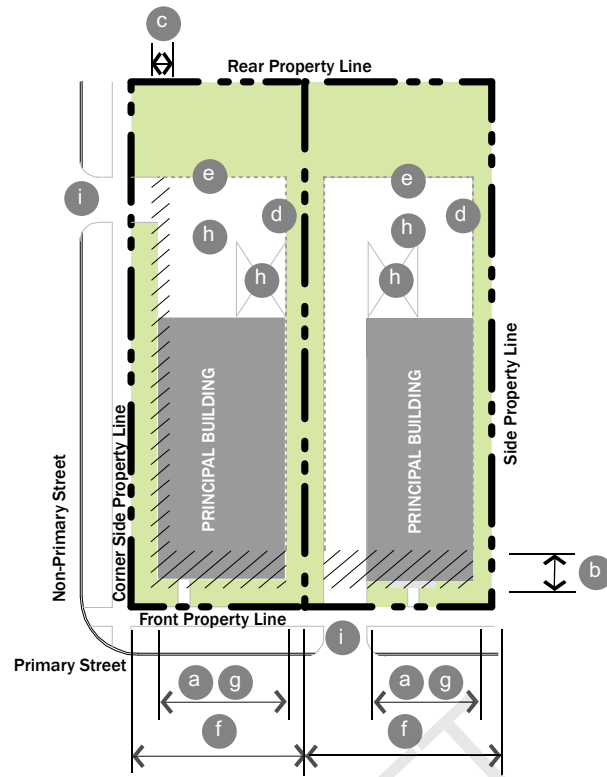


Figure 10-21-4E (1). Building Siting.

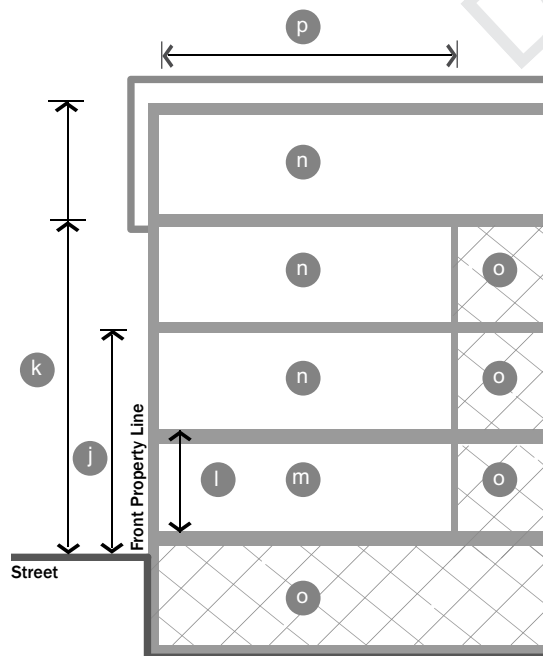


Figure 10-21-4E (2). Height & Use Requirements.

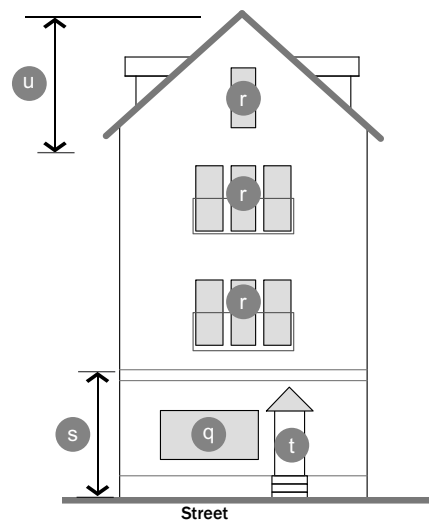


Figure 10-21-4E (3). Street Facade Requirements.

10-21-4 Building Types

F. Civic Building

1. Description & Intent. The Civic Building Type is a more flexible Building Type intended only for civic and institutional types of uses. These buildings are distinctive within the community fabric created by the other Building Types. Parking is limited to the rear in most cases. The maximum heights of this Building Type depend on the district within which it is located.
2. Regulations. Regulations for the Civic Building Type are defined in the adjacent table.

Permitted Districts				
S 1: Bridge Street	S 2: Hydraulic Street	S 3: Van Emmon Street	S 4: 'B' Street	S 5: 'B' Street Residential

(a) Building Siting Refer to Figure 10-21-4F (1)					
Multiple Principal Buildings		Refer to District Street Details			
Minimum Front Lot Line Coverage		Refer to District Street Details			
Occupation of Corner		Required			
a	Front Build-to Zone	0' to 10'	0' to 15'		
b	Corner Build-to Zone				
c	Minimum Side Yard Setback	5'	10'		
d	Minimum Rear Yard Setback	5'; 25' if located adjacent to residential ¹			
e	Minimum Lot Width	16'	30' none		
	Maximum Building Width	none			
Maximum Impervious Coverage		70% ²	70% ²	50% ²	
Additional Semi-Pervious Coverage		20%	10%	20%	
f	Parking & Loading Location	Rear yard ³			
Entry for Parking within Building		Rear & Side Facades			
g	Vehicular Access	Alley	Alley; if no alley exists, 1 driveway is permitted per street frontage		
(b) Height Refer to Figure 10-21-4F (2)					
h	Minimum Overall Height	1 story			
i	Maximum Overall Height	6 stories (with min. 3' setback at 3 stories)	4 stories		3 stories
j	Ground Story: Minimum Height	14'	12'	14'	12'
	Maximum Height	24' ⁴	24' ⁴	24' ⁴	18' ⁴
k	Upper Stories: Minimum Height	9'	9' 12'		
	Maximum Height	14'			
(c) Uses Refer to Figure 10-21-4F(2)					
l	All Stories	Limited to uses in the Civic category and Entertainment Uses by Special Use. Refer to 15.3 Uses.			
m	Parking within Building	Permitted fully in any basement and in rear of all floors			
n	Occupied Space	30' deep on all full height floors from the front facade			
(d) Street Facade Requirements Refer to Figure 10-21-4F (3)					
o	Minimum Transparency Per each Story	12%			
Blank Wall Limitations		None			
p	Front Facade Entrance Type	None required			
q	Principal Entrance Location	Front or corner Facade			
Number of Street Entrances		1 per each 150' of front facade			
Ground Story Vertical Divisions		none required			
Horizontal Facade Divisions		none required			
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.		none required			
(e) Roof Type Requirements Refer to Figure 10-21-4F (3)					
r	Permitted Roof Types	Parapet, Pitched, Flat, Other Roofs with approval per 10-21-4J			Pitched
s	Tower	Permitted			

Notes:

¹ If located adjacent to flood hazard area, refer to requirements of the Yorkville Stormwater Ordinance No. 2012-56. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

² Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

³ Lots wider than one hundred (100) feet are permitted one double-loaded aisle of parking (maximum width of seventy (70) feet), located perpendicular to the front lot line.

⁴ Eighteen (18) feet or more in height counts as two (2) stories towards maximum building height.

10-21-4 Building Types

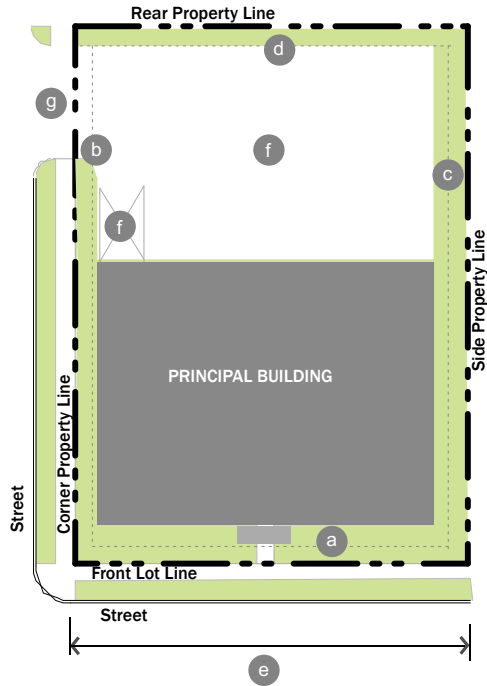


Figure 10-21-4F (1). Building Siting.

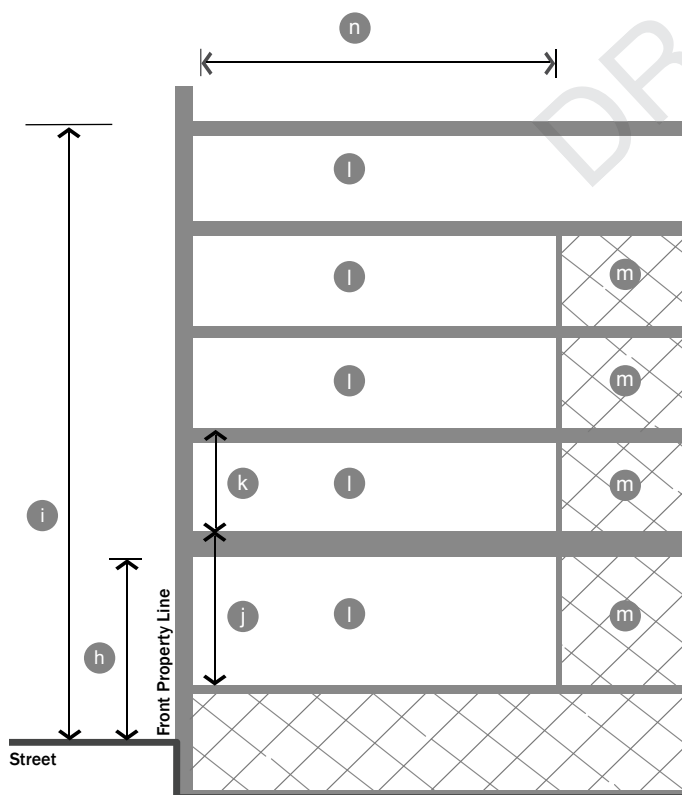


Figure 10-21-4F (2). Height & Use Requirements.

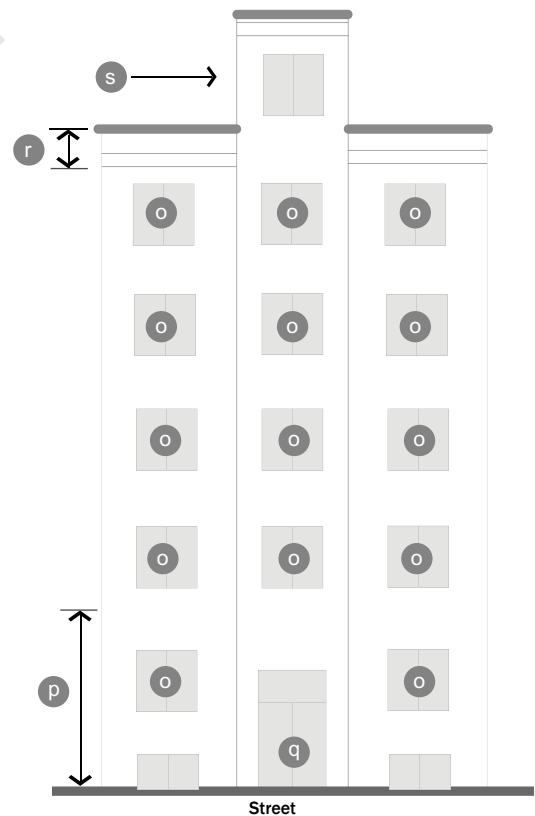


Figure 10-21-4F (3). Street Facade Requirements.

10-21-4 Building Types

G. Attached Building

- Description & Intent.** The Attached Building is a building comprised of multiple vertical units, each with its own entrance to the street. This Building Type may be organized as townhouses or rowhouses.

Parking is required to be located in the rear yard and may be incorporated either into a detached garage or in an attached garaged accessed from the rear of the building. However, when the garage is located within the building, a minimum level of occupied space is required on the front facade to ensure that the street facade is active.

- Regulations.** Regulations for the Attached Building Type are defined in the adjacent table.

Notes:

¹ For the purposes of the Attached Building, a building consists of a series of units. When permitted, multiple buildings may be located on a lot within the minimum space between them. However, each building shall meet all requirements of the Building Type.

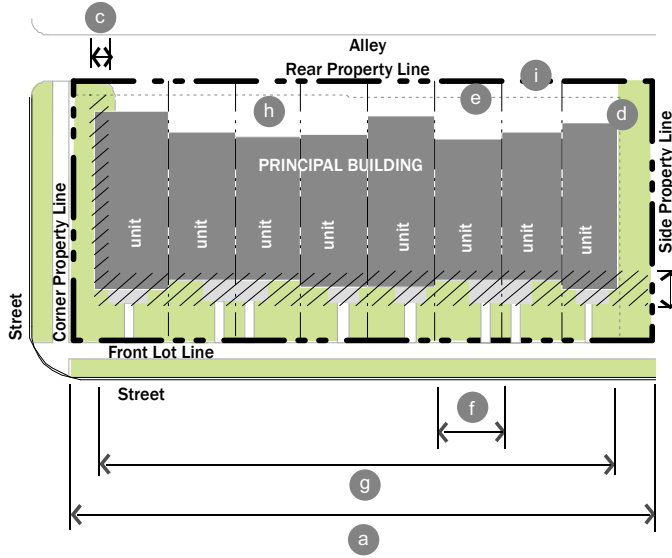
² Each building shall meet the front lot line coverage requirement, except one of every five (5) units may front a courtyard with a minimum width of thirty (30) feet. The courtyard shall be defined on three (3) sides by units.

³ Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMette maps for all flood hazard areas.

⁴ Attached garages are considered part of the principal building and shall meet all setbacks. Detached garages shall meet all setbacks unless an alley is present. When an alley is present, detached garages shall have a minimum rear setback of five (5) feet.

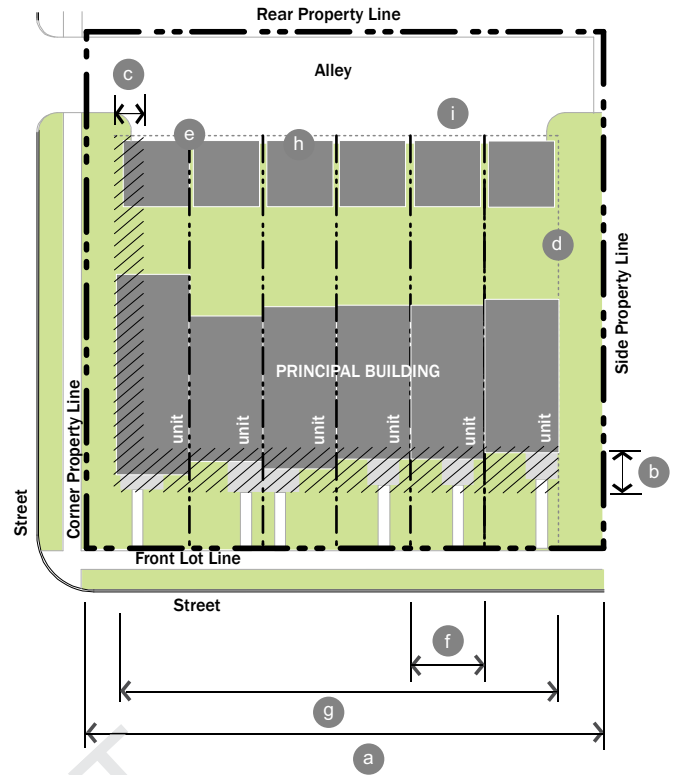
		Permitted Districts		
		S 3: Van Emmon Street	S 4: 'B' Street	S 5: 'B' Street Residential
(a) Building Siting Refer to Figures 10-21-4G (1) and 10-21-4G (2)				
Multiple Principal Buildings		Permitted ¹		
a	Minimum Front Lot Line Coverage	75% ²	70% ²	65% ²
Occupation of Corner		Required		
b	Front Build-to Zone	5' to 20'	10' to 20'	10' to 25'
c	Corner Build-to Zone	5' to 10'	10' to 15'	
d	Minimum Side Yard Setback	0' per unit; 10' between buildings'		0' per unit; 15' between buildings'
e	Minimum Rear Yard Setback	15', if alley present 5'		20', if alley present 5'
f	Minimum Unit Width	16' per unit	16' per unit	18' per unit
g	Maximum Building Width	Maximum 8 units per building	Maximum 6 units per building; maximum 120' width	Maximum 6 units per building; maximum 120' width
Maximum Impervious Coverage		65% ³	60% ³	50% ³
Additional Semi-Pervious Coverage		20%	20%	20%
h	Parking & Garage Location	Rear yard; attached garages access off rear facade only. ⁴		
i	Vehicular Access	Alley; if no alley exists, one driveway is permitted per building		
(b) Height Refer to Figure 10-21-4G (3)				
j	Minimum Overall Height	1 story		
k	Maximum Overall Height	4 stories	3.5 stories	
l	Minimum Ground Floor Height:	12'		
(c) Uses Refer to Figure 10-21-4G (3)				
m	All Stories	Residential only		
n	Parking within Building	Permitted fully in any basement and in rear of all floors		
o	Occupied Space	30' deep on all full height floors from the front facade		
(d) Street Facade Requirements Refer to Figure 10-21-4G (4)				
p	Minimum Transparency per each Story	15%	12%	
q	Front Facade Entrance Type	Stoop, Porch		
Principal Entrance Location		Front or Corner Side Facade		
r	Number of Street Entrances	1 per unit		
Ground Story Vertical Divisions		none required		
Horizontal Facade Divisions		none required		
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.		Between adjacent buildings		
(e) Roof Type Requirements Refer to Figure 10-21-4G (4)				
s	Permitted Roof Types	Parapet, Pitched, Flat		
Tower		Permitted		

10-21-4 Building Types



Site Plan without Rear Yard

Figure 10-21-4G (1): Building Siting.



Site Plan with Rear Yard

Figure 10-21-4G (2): Building Siting.

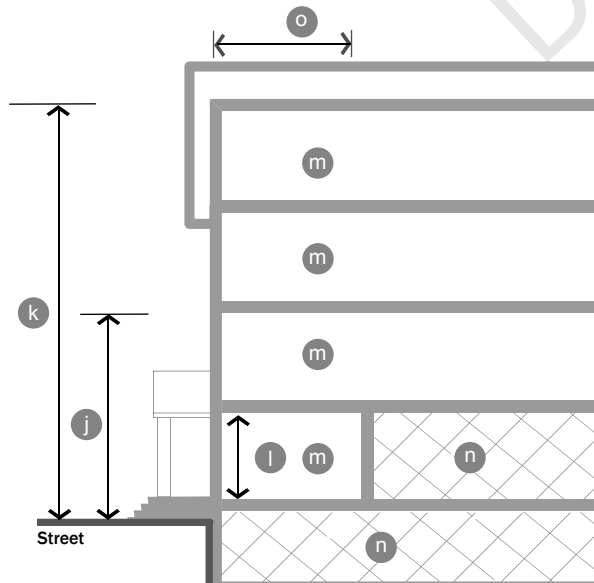


Figure 10-21-4G (3): Height & Use Requirements.

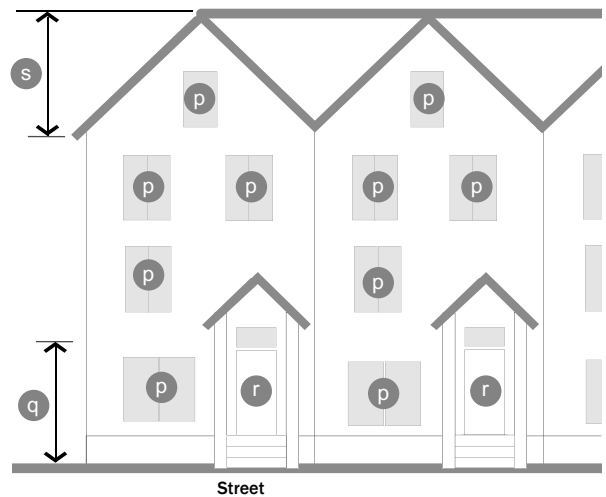


Figure 10-21-4G (4): Street Facade Requirements.

10-21-4 Building Types

H. Yard Building

- Description & Intent.** The Yard Building is a residential building, incorporating a landscaped yard surrounding all sides of the building. Parking and garages are limited to the rear only with preferred access from an alley.
- Regulations.** Regulations for the Yard Building Type are defined in the adjacent table.

Notes

¹ Each building shall meet all requirements of the Building Type.

² When multiple buildings are located on a single lot, the buildings shall collectively meet the front lot line coverage requirement. Buildings located internal to the lot may be arranged with a courtyard or bungalow court that is a minimum of twenty (20) feet in width. The width of the courtyard shall be exempt from minimum front lot line coverage requirements. The courtyard or bungalow court shall be defined on three (3) sides by units. This layout shall not be allowed on corner lots, only lots internal to a block segment.

³ Maximum Impervious Coverage shall be applied only to all non-flood hazard areas. Refer to FEMA National Flood Hazard Layer FIRMet maps for all flood hazard areas.

⁴ Attached garages are considered part of the principal building and shall meet all setbacks. Detached garages shall meet all setbacks unless an alley is present. When an alley is present, detached garages shall have a minimum rear setback of five (5) feet.

Permitted Districts

S 4:
'B'
Street

S 5:
'B' Street
Residential

(a) Building Siting Refer to Figure 10-21-4H (1)

Multiple Principal Buildings	Permitted ¹	
a Minimum Front Lot Line Coverage	50% ²	40%
b Occupation of Corner	Required	
c Front Build-to Zone	10' to 20'	10' to 25'
Corner Build-to Zone	10' to 20'	10' to 25'
d Minimum Side Yard Setback	5'	7.5'
e Minimum Rear Yard Setback	35', if alley present 5'	
f Minimum Lot Width	30'	30'
Maximum Lot Width	50'	70'
g Maximum Impervious Coverage	60% ³	50% ³
Additional Semi-Pervious Coverage	20%	20%
h Parking & Garage Location	Rear yard; attached garages access off rear or side facade only. ⁴	
Vehicular Access	Alley; if no alley exists, one driveway is permitted per building	

(b) Height Refer to Figure 10-21-4H (2)

i Minimum Overall Height	1 story
j Maximum Overall Height	3.5 stories
k All Stories: Minimum Height	9'
Maximum Height	14'

(c) Uses Refer to Figure 10-21-4H (2)

l All Stories	Residential only
m Parking within Building	Permitted
n Occupied Space	30'

(d) Street Facade Requirements Refer to Figure 10-21-4H (3)

o Minimum Transparency per each Story	12%
p Front Facade Entrance Type	Stoop, porch
q Principal Entrance Location	Front or side facade
Number of Street Entrances	Any
Ground Story Vertical Divisions	None required
Horizontal Facade Divisions	None required
Facade Variety Required Refer to 10-21-4B(4)(h) for requirements.	Between adjacent buildings

(e) Roof Type Requirements Refer to Figure 10-21-4H (3)

r Permitted Roof Types	Parapet, Pitched, Flat	Pitched
Tower	Not permitted	

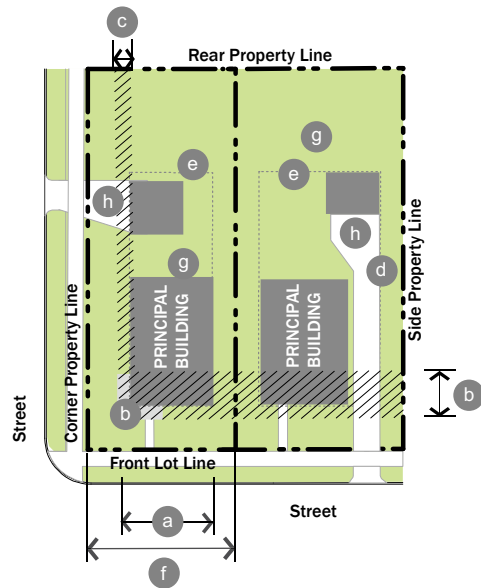


Figure 10-21-4H (1). Building Siting.

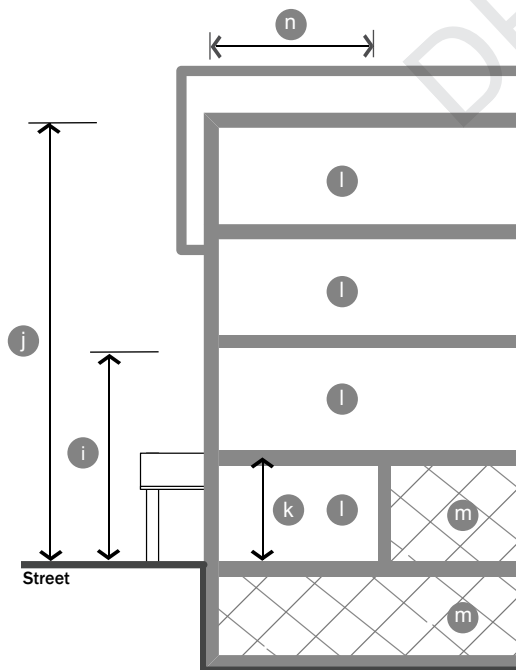


Figure 10-21-4H (2). Height and Use Requirements.

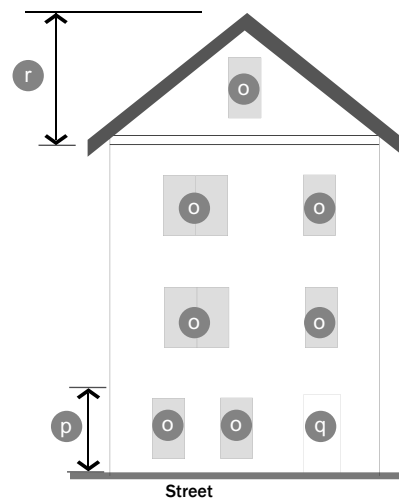


Figure 10-21-4H (3). Street Facade Requirements.

10-21-4 Building Types

I. Entrance Types

Entrance type standards apply to the ground story and visible basement of front facades of all Building Types as defined in this Section. Refer to the Building Type Table Requirements, Sections 10-21-4C through 10-21-4H.

1. **General.** The following provisions apply to all entrance types.
 - (a) Intent. To guide the design of the ground story of all buildings to relate appropriately to pedestrians on the street. Treatment of other portions of the building facades is detailed in each Building Type standard (refer to Building Types 10-21-4C through 10-21-4H).
 - (b) Applicability. The entire ground story street-facing facade(s) of all buildings shall meet the requirements of at least one (1) of the permitted entrance types, unless otherwise stated.
 - (c) Measuring Transparency. Refer to Section 10-21-4B Explanation of Building Type Table Standards, for information on measuring building transparency.
 - (d) Visible Basements. Visible basements, permitted by entrance type, are optional. The visible basement shall be a maximum of one-half the height of the tallest story.
2. **Storefront Entrance Type.** Refer to Figure 10-21-4I (1). The Storefront entrance type is a highly transparent ground story treatment designed to serve primarily as the display area and primary entrance for retail or service uses.
 - (a) Transparency. Minimum transparency is required per Building Type.
 - (b) Elevation. Storefront elevation shall be between zero (0) and one (1) foot above street sidewalk.

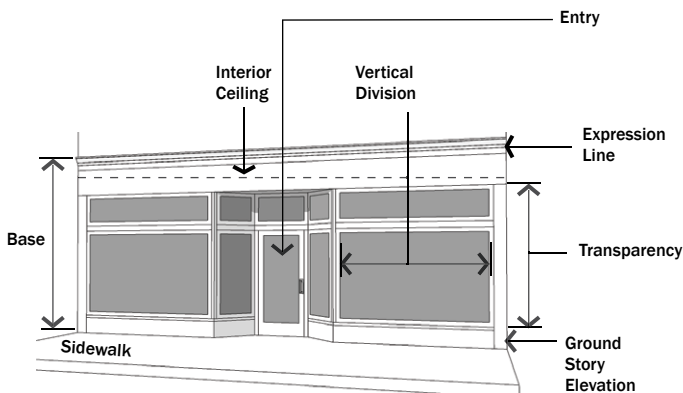


Figure 10-21-4I (1). Storefront Entrance Type.

- (c) Visible Basement. A visible basement is not permitted.
- (d) Horizontal Facade Division. Horizontally define the ground story facade from the upper stories.
- (e) Entrance. All entries shall be recessed from the front facade closest to the street.
 - i. Recess shall be a minimum of three (3) feet and a maximum of eight (8) feet deep, measured from the portion of the front facade closest to the street.
 - ii. When the recess falls behind the front build-to zone, the recess shall be no wider than eight (8) feet.
3. **Elevated Storefront Entrance Type.** Refer to Figure 10-21-4I (2). The Elevated Storefront entrance type is a highly transparent ground story treatment similar to the Storefront, but permitted to be elevated above the sidewalk for buildings located on parcels with flood hazard areas.
 - (a) Transparency. Minimum transparency is required per Building Type.
 - (b) Elevation. Storefront elevation may be a half story above the street sidewalk elevation.
 - (c) Visible Basement. A visible basement is permitted and does not require Occupied Space.
 - (d) Horizontal Facade Division. Horizontally define the ground story facade from the upper stories and any Visible Basement from the ground story.
 - (e) Entrance. All entries shall be located off a secondary walk along the building face within the build-to zone.
 - i. The secondary sidewalk shall be elevated above and essentially parallel to the street sidewalk to provide

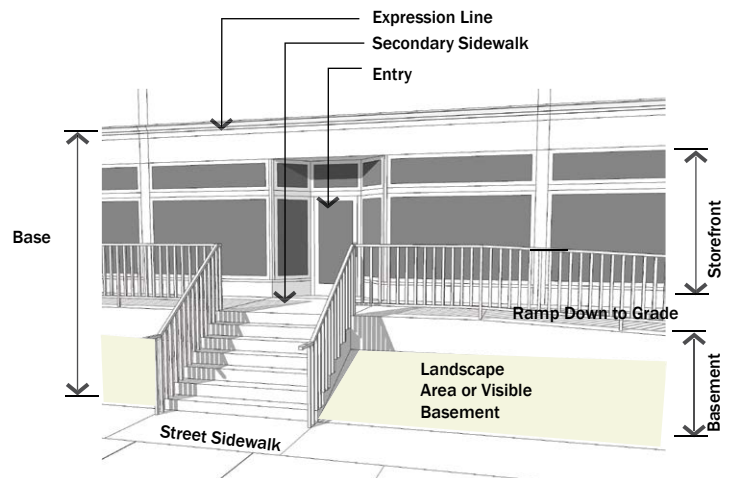
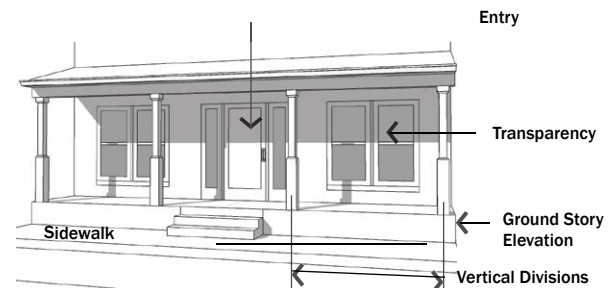
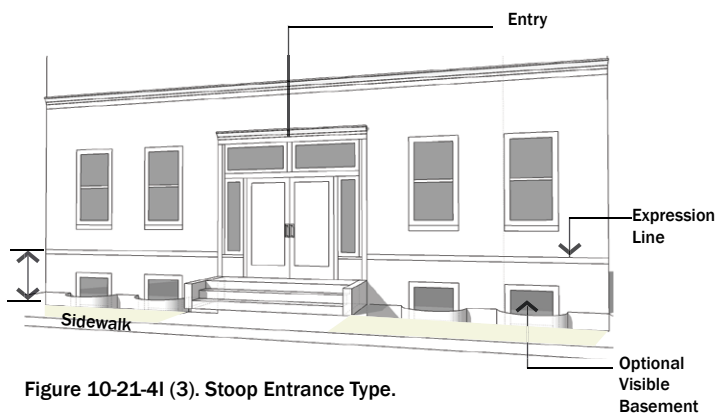


Figure 10-21-4I (2). Elevated Storefront Entrance Type.

10-21-4 Building Types

- continuous walking along the facade of the building.
- ii. The secondary sidewalk shall be continuous along the facade of the building and shall connect to the street sidewalk by steps and ramps every fifty (50) feet.
 - iii. The secondary sidewalk shall connect to any other adjacent developments secondary sidewalks, when feasible. Drive crossings shall be of the same material as the secondary walk.
 - iv. The transition between the secondary sidewalk and street sidewalk shall include landscape, patios, and connecting walks.
 - v. The visible basement shall be located a minimum of five (5) feet from the street sidewalk to allow softening of the transition.
 - vi. The street and the secondary sidewalks shall be a minimum of eight (8) feet in width.
4. **Stoop Entrance Type.** Refer to Figure 10-21-4I (3). A stoop is an unroofed, open platform.
- (a) Transparency. Minimum transparency is required per Building Type.
 - (b) Stoop Size. Stoops shall be a minimum of five (5) feet deep by six (6) feet wide.
 - (c) Elevation. Stoop elevation shall be located a maximum of two (2) feet six (6) inches (2' 6") above the sidewalk without a visible basement and a maximum of four (4) feet six (6) inches (4' 6") above the sidewalk with a visible basement.
 - (d) Visible Basement. A visible basement is permitted and shall be separated from the ground story by an expression line.
- (e) Entrance. All entries shall be located off a stoop. The stoop may be continuous along the facade of the building.
- (f) Landscape Area. A minimum five (5) foot wide landscape area is required within the build-to zone along the length of this entrance type with the exception of walks accessing the building.
5. **Porch Entrance Type.** Refer to Figure 10-21-4I (4). A porch is a raised, roofed platform that may or may not be enclosed on all sides. If enclosed, the space shall not be climate controlled.
- (a) Transparency.
 - i. Minimum transparency per Building Type is required.
 - ii. If enclosed, a minimum of forty percent (40%) of the enclosed porch shall be comprised of highly transparent, low reflectance windows.
 - (b) Porch Size. The porch shall be a minimum of five (5) feet deep and eight (8) feet wide.
 - (c) Elevation. Porch elevation shall be located a maximum of two (2) feet six (6) inches (2' 6") above the sidewalk without a visible basement and a maximum of four (4) feet six (6) inches (4' 6") above the sidewalk with a visible basement.
 - (d) Visible Basement. A visible basement is permitted.
 - (e) Height. Porch may be two (2) stories to provide a balcony on the second floor.
 - (f) Entrance. All entries shall be located off a porch.



10-21-4 Building Types

J. Roof Types

Roof type standards apply to the roof and cap of all Building Types as defined in this Section. Refer to the Building Type Table Requirements, Sections 10-21-4C through 10-21-4H.

1. **General Provisions.** The following provisions apply to all roof types.

- Intent. To guide the design of the cap of all buildings.
- Applicability. All buildings shall meet the requirements of one of the roof types permitted for the Building Type.
- Measuring Height. Refer to Section 10-21-4B for information on measuring building height.
- Other roof types. Other building caps not listed as a specific type may be requested with the following requirements:
 - The roof type shall not create additional occupiable space beyond that permitted by the Building Type.
 - The shape of the Roof Type shall be significantly different from those defined in this section 10-21-4J, i.e. a dome, spire, vault.
 - The building shall warrant a separate status within the community from the fabric of surrounding buildings, with a correspondence between the form of the roof type and the meaning of the building use.

2. **Parapet Roof Type.** Refer to Figure 10-21-4J (1). A parapet is a low wall projecting above a building's roof along the perimeter of the building. It can be utilized with a flat or low pitched roof and also serves to limit the view of roof-top mechanical systems from the street.

- Parapet Height. Height is measured from the top of the upper story to the top of the parapet.
 - Minimum height is two (2) feet with a maximum height of six (6) feet.

- The parapet shall be high enough to screen the roof and any roof appurtenances from view of the street(s).

(b) **Horizontal Expression Lines.** An expression line shall define the parapet from the upper stories of the building and shall also define the top of the cap.

- (c) **Occupied Space.** Occupied space shall not be incorporated behind this roof type.

3. **Pitched Roof Type.** Refer to Figure 10-21-4J (2). This roof type has a sloped or pitched roof. Slope is measured with the vertical rise divided by the horizontal span or run.

- (a) **Pitch Measure.** The roof may not be sloped less than a 4:12 (rise:run) or more than 16:12.

- Slopes less than 4:12 are permitted to occur on second story or higher roofs. Refer to Figure 10-21-4J (2).

(b) **Configurations.**

- Hipped, gabled, and combination of hips and gables with or without dormers are permitted.
- Butterfly roofs (inverted gable roof) are permitted with a maximum height of eight (8) feet, inclusive of overhang.
- Gambrel and mansard roofs are not permitted.

- (c) **Parallel Ridge Line.** A gabled end or perpendicular ridge line shall occur at least every one hundred (100) feet of roof when the ridge line runs parallel to the front lot line. Refer to Figure 10-21-4J (3).

- (d) **Roof Height.** Roofs without occupied space and/or dormers shall have a maximum height on street-facing facades equal to the maximum floor height permitted for the Building Type.

- (e) **Occupied Space.** Occupied space may be incorporated behind this roof type.

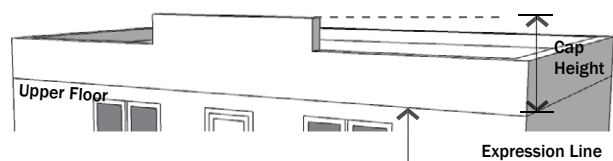


Figure 10-21-4J (1). Parapet Roof Type

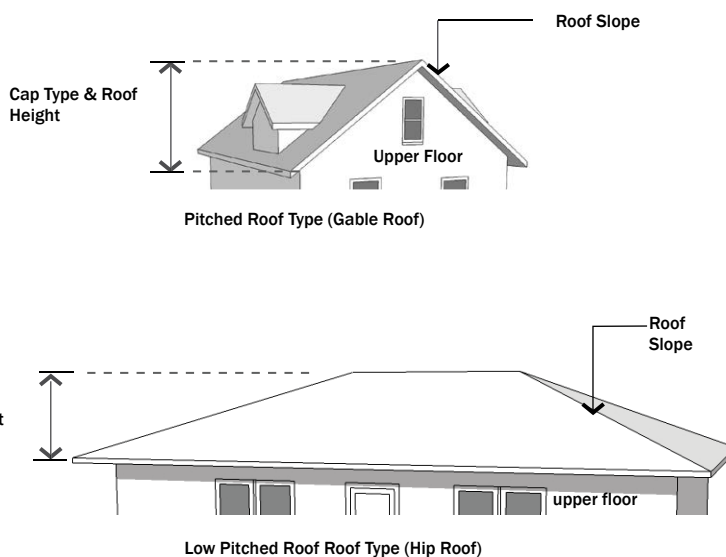


Figure 10-21-4J (2). Pitched Roof Type

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4. **Flat Roof Type.** Refer to Figure 10-21-4J (5), Flat Roof Type. This roof type has a flat roof with overhanging eaves.
 - (a) Configuration. Roofs with no visible slope are acceptable. Eaves are recommended on all street facing facades.
 - (b) Eave Depth. Eave depth is measured from the building facade to the outside edge of the eave. Eaves shall have a depth of at least fourteen (14) inches.
 - (c) Eave Thickness. Eave thickness is measured at the outside edge of the eave, from the bottom of the eave to the top of the eave. Eaves shall be a minimum of eight (8) inches thick.
 - (d) Interrupting Vertical Walls. Vertical walls may interrupt the eave and extend above the top of the eave with no discernible cap.
 - i. No more than one-half of the front facade can consist of an interrupting vertical wall.
 - ii. Vertical walls shall extend no more than four (4) feet above the top of the eave.
 - (e) Occupied Space. Occupied space shall not be incorporated behind this roof type.
 - (f) No mechanical equipment on roof shall be visible from the adjacent sidewalk.
5. **Towers.** Refer to Figure 10-21-4J (4). A tower is a rectilinear or cylindrical, vertical element, that shall be used with other roof types.
 - (a) Quantity. All Building Types, with the exception of the Civic Building, are limited to one (1) tower per building.
 - (b) Tower Height. Maximum height, measured from the top of the parapet or eave to the top of the tower, is the equivalent of the height of one (1) upper floor of the building to which the tower is applied.

- (c) Tower Width. Maximum width along all facades is one-third the width of the front facade or thirty (30) feet, whichever is less.
- (d) Occupied Space. Towers may be occupied by the same uses allowed in upper stories of the Building Type to which it is applied.
- (e) Application. May be combined with all other roof types.
- (f) Tower Cap. The tower may be capped by the parapet, pitched, low pitched, or flat roof roof types, or the spire may cap the tower.

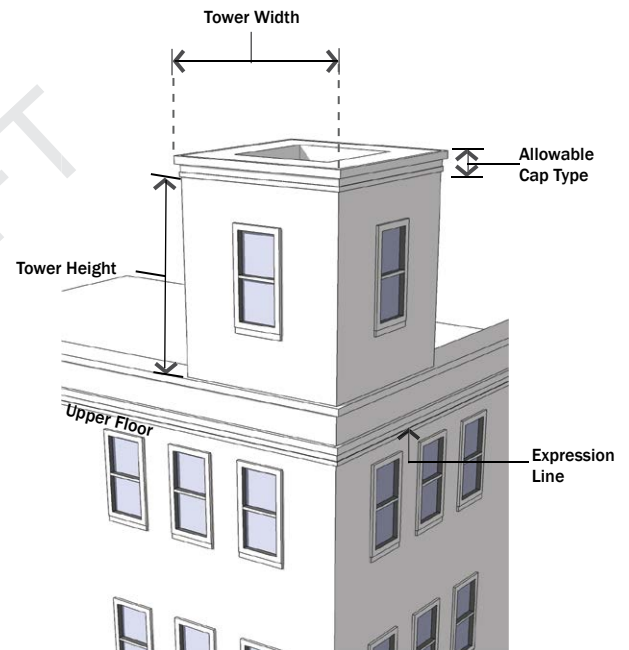


Figure 10-21-4J (4). Tower

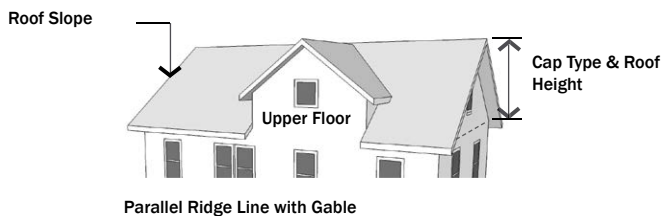


Figure 10-21-4J (3). Parallel Ridge Line

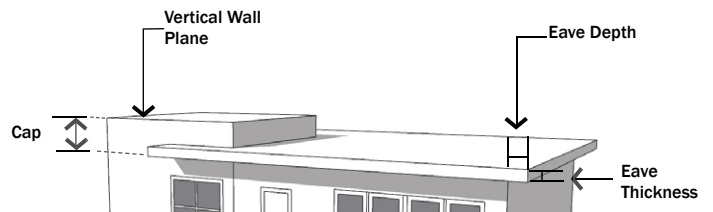


Figure 10-21-4J (5). Flat Roof Type

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K. Additional Design Requirements

The following outlines the district design requirements that affect a building's appearance and district cohesiveness. They improve the physical quality of buildings, enhance the pedestrian experience, and protect the character of the neighborhood.

1. Materials and Color.

- (a) **Primary Facade Materials.** Eighty percent (80%) of each street facade shall be constructed of primary materials. Street facade materials shall continue around the corner a minimum depth of twenty (20) feet onto the side facade.
 - i. Permitted primary building materials include high quality, durable, natural materials, such as stone, brick; wood lap siding; fiber cement board lapped, shingled, or panel siding; glass. Other high quality synthetic materials may be approved during the site plan process with an approved sample and examples of successful, high quality local installations. Refer to Figure 10-21-4K (1).
- (b) **Secondary Facade Materials.** Secondary materials are limited to details and accents and include gypsum reinforced fiber concrete for trim and cornice elements; metal for beams, lintels, trim, and ornamentation, and exterior architectural metal panels and cladding.
 - i. Exterior Insulation and Finishing Systems (EIFS) is permitted on upper floor facades only.



Primary Materials: Brick



Primary Materials: Stone



Primary Materials: Painted Wood

- (c) **Roof Materials.** Acceptable roof materials include three hundred (300) pound or better, dimensional asphalt composite shingles, wood shingles and shakes, metal tiles or standing seam, slate, and ceramic tile. "Engineered" wood or slate may be approved during the site plan process with an approved sample and examples of successful, high quality local installations. Refer to Figure 10-21-4K (2).
- (d) **Color.** Main building colors shall utilize any historic palettes from any major paint manufacturer. Other colors may be utilized for details and accents, not to exceed a total area larger than ten percent (10%) of the facade surface area.
- (e) **Appropriate Grade of Materials.** Commercial quality doors, windows, and hardware shall be used on all ground floor Building Types with the exception of the Attached Building and the Yard Building. Refer to Figure 10-21-4K (3).

2. Windows, Awnings, and Shutters.

- (a) **Windows.** All upper story windows on all historic, residential, and mixed use buildings shall be recessed, and either casement or double hung. Percent of transparency is required per Building Type. Horizontal or vertical strip windows, tinted or reflective glass, and glass block (Figure 10-21-4K (4)) are prohibited on street facades.
- (b) **Security Grills.** Grills shall be fully retractable and completely within the interior of the building and inconspicuous to the



Roof Materials: Asphalt Composite Shingles



Roof Materials: Metal



Roof Materials: Ceramic Tile

Figure 10-21-4K (1). Primary Materials.

Figure 10-21-4K (2). Roof Materials.

10-21-4 Building Types

extent possible. Exterior bars are prohibited on any window. Refer to Figure 10-21-4K (5).

- (c) Awnings. All awnings shall be canvas or metal. Plastic awnings and canopy awnings that extend from the front facade into the right-of-way are prohibited. Awning types and colors for each building face shall be coordinated. Refer to Figure 10-21-4K (6).
- (d) Shutters. If installed, shutters, whether functional or not, shall be sized for the windows. If closed, the shutters shall not be too small for complete coverage of the window. Shutters shall be wood. "Engineered" wood may be approved during the site plan process with an approved sample and examples of successful, high quality local installations.

3. **Rear Parking Facade Design.** The following applies in all locations where a public building entrance occurs on the rear facade adjacent to a parking lot. Refer to Figure 15.4K (7).

- (a) Entrance Type. An Entrance Type shall be utilized for a minimum of twenty (20) feet of rear facade. Refer to 10-21-4(2)-(5).



Prohibited: Glass block windows on front facade.

Figure 10-21-4K (4). Windows.

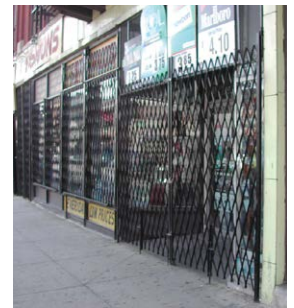


Prohibited: Residential Grade Doors on Commercial Buildings.



Permitted: Fully retractable, interior security grills.

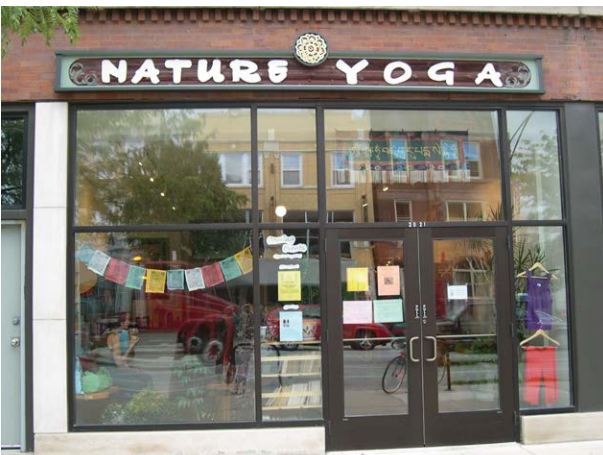
Figure 10-21-4K (5). Security Grills.



Prohibited: Exterior grills and bars.



Permitted Awnings: Metal (left) and Canvas (right)



Permitted: Commercial Grade Doors & Windows on Commercial Buildings.

Figure 10-21-4K (3). Commercial Grade Doors & Windows.



Prohibited Awnings: Canopy awnings that extend from the front facade into the right-of-way

Figure 10-21-4K (6). Awnings.

15.4 Building Types



Front Facade Example.



Rear Facade Example.

Figure 10-21-4K (7). Rear Parking Facade Design.

- (b) Transparency Requirement. Public building entrance facade area, minimum twenty (20) feet wide, shall utilize one of the following:
 - i. When the Storefront Entrance Type is utilized, a minimum forty five percent (45%) transparency is required for the ground floor facade entrance, and the door shall be a minimum of forty five percent (45%) transparent.
 - ii. When any other Entrance Type is utilized, the minimum transparency required for upper floors of the street facade shall apply to the rear ground floor entrance area, and the door shall be a minimum of forty five percent (45%) transparent.

- (c) Awnings and signage are encouraged.

- 4. **Balconies.** The following applies in all locations where balconies are incorporated into the facade design facing any street or parking lot. Refer to Figure 10-21-4K (8).

- (a) Size. Balconies shall be a minimum of six (6) feet deep and five (5) feet wide.
- (b) Connection to Building. Balconies shall be integral to the facade at the street line. Balconies on stepbacked stories shall be independently secured and unconnected to other balconies.
- (c) Facade Coverage. A maximum of forty percent (40%) of the front and corner side facades, as calculated separately, may be covered with balconies, including street-facing railing and balcony structure.

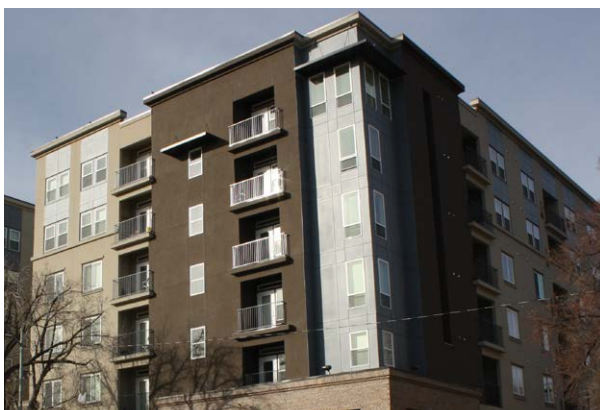


Figure 10-21-4K (8). Balconies Integral to Facade.

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10-21-5 Site Development Standards

A. Signage

1. **General Requirements.** Refer to Section 10-20 of the Yorkville City Code for all signage regulations applicable to the Downtown Overlay Districts.
2. **Revisions to the Signage Regulations.** The following revises Section 10-20 of the Yorkville City Code specific to the S Districts.
 - (a) Freestanding Low Monument Signs. (Refer to Section 10-20-4) Low Monument Signs are permitted only in the S 4 District.

B. Parking Requirements

1. **Applicability.** This section shall apply to all new development and changes in use or intensity of use for existing development in any S Districts.
2. **General Requirements.** Off-street parking spaces shall be provided in conformance with Section 10-16 Off-Street Parking and Loading Regulations, unless revised in this Section 10-21-5B.
 - (a) Required Vehicle Parking. The Required Vehicle Parking Table 10-21-5B (1) indicates the maximum vehicle parking ratio for a given use.
3. **Parking Credits.** Vehicular parking standards within Section 10-16 may be reduced by achieving one or all of the following credits.
 - (a) On-Street Parking Credit. For all non-residential uses, on-street parking spaces that meet the following shall be credited against the parking requirement.
 - i. Spaces shall be designated on-street parking available twenty four (24) hours of every day.
 - ii. On-street space located a minimum of fifty percent (50%) adjacent to the property line of the lot.
 - (b) Public Parking Credit. For all non-residential uses, public parking spaces located within six hundred and sixty (660) feet of any property line may be credited against the parking requirement at a rate of one credit for every three public parking spaces.
 - (c) Car-Share Parking Credit. The vehicular parking requirements can be reduced with the inclusion of car-share parking spaces as follows.
 - i. Per each car-share parking space provided, required parking spaces shall be reduced by four (4) spaces.
 - ii. Required parking spaces may be reduced up to forty percent (40%).
 - iii. Approval. Applicant must provide documentation of an agreement with a car-share company. If this agreement should terminate at any point, applicant shall be required to provide parking as otherwise required herein.
 - (d) Shared Parking. Required Parking may be reduced to the lower amount if at least eighty percent (80%) of non-residential parking is available as publicly shared parking. Otherwise, the higher standard parking requirement shall apply.
 - (e) Other Parking Reductions. Additional reductions may be approved by the Planning and Zoning Commission with the submittal of a parking study illustrating the reduction.

4. Bicycle Parking.

- (a) Required Bicycle Parking. The Required Bicycle Parking Table 10-21-5B (2) indicates the minimum bicycle parking ratio for a given use.
 - i. Bicycle parking is not required for uses not listed.
 - ii. Bicycle parking is not required for uses less than 2,500 square feet in size.
 - iii. No Use, other than Civic is required to accommodate more than twenty (20) bicycles.
- (b) Bicycle Parking Dimensions.
 - i. Required bicycle parking spaces shall have minimum dimensions of two (2) feet in width and six (6) feet in length.
 - ii. An aisle a minimum of five (5) feet wide shall be provided behind bicycle parking facilities to allow for maneuvering.
 - iii. A minimum of two (2) feet shall be provided beside each parked bicycle to allow access. This access may be shared by adjacent bicycles.
 - iv. Racks shall be installed a minimum of two (2) feet from any wall or other obstruction.

Land Use	Vehicle Spaces
Residential (Studio and 1 bedroom)	1 per unit
Residential (2 or more bedrooms)	1.5 per unit
Civic/Institutional	max. 2 per 1,000 square feet
Retail/Services (less than 8,000 square feet, excluding Restaurants)	no min. or max. parking requirements
Retail/Services (8,000 square feet or more, excluding Restaurants)	max. 2 per 1,000 square feet
Restaurants	max. 4 per 1,000 square feet
Office	max. 2 per 1,000 square feet

Table 10-21-5B (1). Required Vehicle Parking.

Land Use	Bicycle Spaces
Multifamily	1 per 2 Vehicular Spaces for buildings with 8+ units
Civic/Institutional	1 per 10 Vehicular Spaces, min. of 4
Retail	1 per 10 Vehicular Spaces
Services	1 per 10 Vehicular Spaces
Office	1 per 10 Vehicular Spaces

Table 10-21-5B (1). Required Bicycle Parking.

10-21-5 Site Development Standards

- (c) Location. Bicycle parking should be located within fifty (50) feet of the entrance of the Use.
 - i. Indoor or outdoor spaces are permitted, provided they are located on the lot with which they are associated.
 - ii. Bicycle parking facilities shall be separated from vehicular parking areas to protect parked bicycles from damage. The separation may be accomplished through grade separation, distance or physical barrier, such as curbs, wheel stops, poles or other similar features.
- (d) Racks and Structures. Racks and structures shall be provided for each unprotected parking space, and shall be designed to accommodate both chain and U-shaped locking devices supporting the bicycle frame at two (2) points.

C. Landscape

1. **General Requirements.** Refer to Section 10-17 Fencing and Screening for all landscaping and screening requirements.
2. **Build-to Zones and Setbacks.** All build-to zone and setback areas not covered by building shall contain either landscape, patio space, or sidewalk space.
 - (a) Driveways are permitted to cross the front and corner build-to zone and rear setbacks perpendicularly at a maximum of twenty five (25) feet in width.
 - (b) Driveways may encroach upon the side setbacks longitudinally on parcels fifty (50) feet or less in width.
 - (c) Parking lots shall not encroach upon any setbacks. Side and rear yard parking lots shall not be located closer to the front or corner lot line than the building.

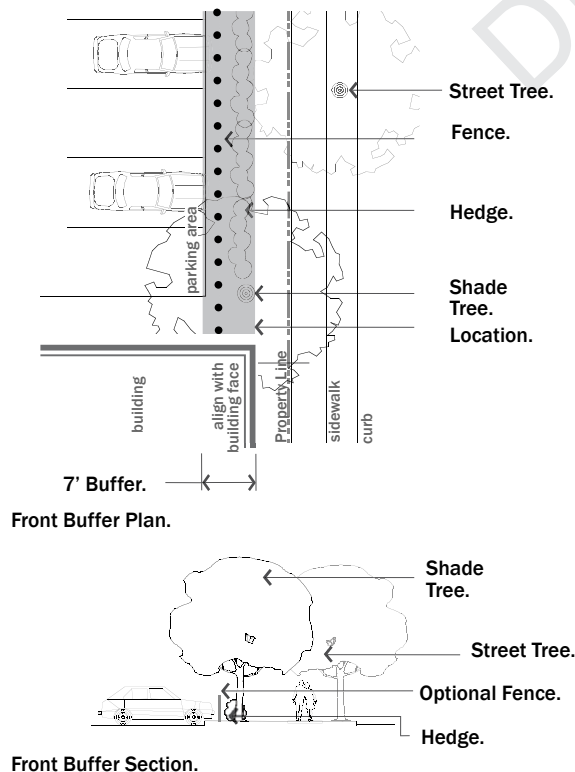


Figure 10-21-5C (1). Frontage Buffer Plan and Section.

Frontage Buffer Requirements	
Buffer Depth & Location ¹	
Depth	7'
Location on Site	Between street facing property line and vehicular areas ²
Buffer Landscape Requirements	
Uses & Materials	Uses and materials other than those indicated are prohibited in the buffer
Shade Trees	Medium or large shade tree with full, spreading canopies required at least every 40'; Locate on the street side of the fence; Spacing should alternate with street trees
Hedge	Required continuous hedge on street side of fence, between shade trees & in front of parking areas
Hedge Composition	Individual shrubs with a minimum width of 24", spaced no more than 36" on center
Existing Vegetation	May be credited toward buffer area
Fence	
Location	2' from back of curb of vehicular area
Materials	Non-galvanized steel or painted PVC; Masonry Columns (maximum width 2'6") and Low Wall (maximum 18" height) permitted
Minimum Height	3' for Steel or Painted PVC
Maximum Height	4' for Steel or Painted PVC, 18" for Low Wall
Colors	Black, gray, or dark green for Steel or Painted PVC
Opacity	Minimum 30%; Maximum 60% for Steel or Painted PVC
Gate/Opening	One gate permitted per street frontage; Opening width maximum 6'

Notes:

¹ This screening requirement does not prohibit the installation of or provision for openings necessary for allowable access drives and walkways connecting to the public sidewalk.

² In Front and Corner Yards, when the parking area is located adjacent to any building on the lot, the buffer must be located so that it aligns with or is behind the face of the adjacent building back to the vehicular area. The area between the buffer and the property line must be landscaped.

Table 10-21-5C (1). Frontage Buffer Requirements.

3. **Frontage Buffer Requirements.** Refer to Figure 10-21-5C (1). The following additional requirements are specific to the S Districts and is in addition to information within Section 10-17 Fencing and Screening guidelines.
 - (a) Intent. To lessen the visual impact of parking areas visible from the street.
 - (b) General Applicability. Applies to properties in all S Districts where a parking area is located adjacent to a right-of-way.
 - (c) Exceptions. Parking areas along alleys, except when a residential district is located across the alley. Single and two family residences are also excepted.

10-21-5 Site Development Standards

D. Street Guidelines

1. **General Street Guidelines.** The following guidelines should apply to all new streets within S Districts with the intent of creating pedestrian oriented, multimodal streets.
 - (a) **Typical Street Elements.** All street rights-of-way should include the following vehicular and pedestrian realm considerations. Refer to Figure 10-21-5D (1).
 - (1) **Vehicular Realm.** The vehicular realm is comprised of the travel lanes, bicycle lanes, and parking lanes.
 - (2) **Pedestrian Realm.** The pedestrian realm is comprised of pedestrian facilities, such as sidewalk. A buffer area that serves to buffer pedestrians or bicyclists from the movements of higher speed vehicles in the vehicular realm shall consist of one (1) of the following:
 - (i) **Landscape Zone.** A landscape area between the back of curb to the sidewalk in which street trees, stormwater swales, lighting, and signage may be located. Typically used adjacent to residential ground floor uses.
 - (ii) **Furnishings Zone.** A hardscape area that extends from the sidewalk to the back of curb, in which street trees, street furniture, lighting, and signage may be located. Typically used adjacent to commercial or office ground floor uses.
 - (b) **Bicycle Facilities.** Bicycle facilities, such as dedicated lanes and dedicated shared lanes should be included on any streets based on the City's bicycle plan. New streets within S districts shall utilize shared lanes. A shared lane refers to a street that does not have bicycle lanes or a designated shared lane, but the speed and configuration of the street is such that bicycles could comfortably share lanes with traffic.
 - (c) **Vehicular On-Street Parking.** On-street parking, whether parallel or diagonal, shall be included according to the District Street Details for that street.

2. **Street Trees.** Street trees are required along all existing and new street frontages.
 - (a) All planting material requirements within Landscaping and Screening Guidelines shall be utilized.
 - (b) Street trees shall be located in either a Landscape Zone (within a planting bed or lawn) or a Furnishings Zone (in trees wells with grate as required).
 - (c) **Permeable Surface.** For each tree preserved or planted, a minimum amount of permeable surface area is recommended.
 - i. Preserved trees should have a permeable surface area equal to the critical root zone. The critical root zone is equal to half of the radius of the tree's mature canopy, measured from the trunk out to the dripline.
 - ii. Planted trees have a suggested minimum permeable area and soil volume based upon tree size; refer to Table 10-21-5D (1) for details.
 - iii. Permeable area for one (1) tree cannot count toward that of another tree.
 - (d) **Structural Soil.** When the critical root zone of an existing tree or the suggested permeable surface area requirement of a newly planted tree extends below any pavement, structural soil is required underneath the pavement.
3. **Pedestrian Lighting.** Pedestrian light fixtures shall be installed per the street requirements of the City's Department of Public Works and any streetscape master plan adopted by the City.

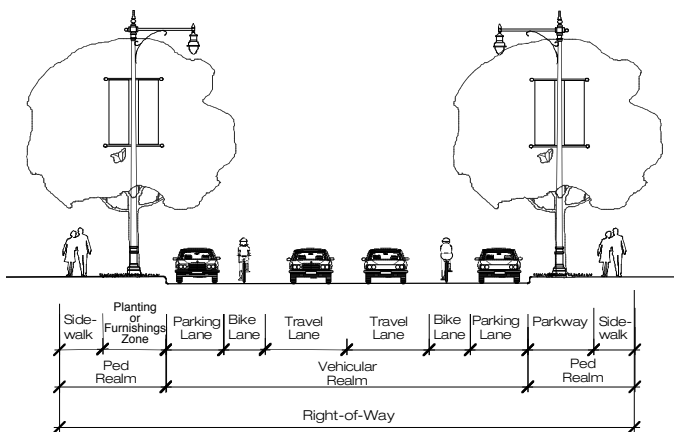


Figure 10-21-5D (1). Typical Right-of-Way Elements.

Tree Size Type	Soil Volume (cubic ft)	Soil Surface Area (sq ft) with 2.5' Soil Depth	Permeable Surface Area Requirement (sq ft)
Medium	2,852	1141 (approx. 34' x 34')	225 (15' x 15')
Large	6,532	2681 (approx. 50' x 50')	400 (20' x 20')

Table 10-21-5D (1). Minimum Recommended Soil Volumes and Permeable Area per Planted Tree.

10-21-5 Site Development Standards

4. **New Streets and Subdivision.** For all developments with total parcel acreage larger than five (5) acres, subdivision and construction of a new street will yield the most buildings. (Building Types require buildings to front streets). Refer to Figure 10-21-5D (2) for an example of a typical new block and street configuration. The following recommendations apply:

- (a) **Interconnected Street Pattern.** Streets shall connect and continue existing streets from adjoining areas and cul-de-sac and dead end streets should be avoided.
- (b) **Blocks.**
 - i. The shape of a block shall be generally rectangular, but may vary due to natural features or site constraints.
 - ii. Blocks shall typically be two (2) lots deep with the exception of blocks containing open space. Blocks may also include an alley. Blocks may include existing lots within an existing zoning district.
 - iii. Blocks shall typically be fronted with lots on at least two (2) faces, preferably on the longest street faces.
 - iv. Consider lot and block orientation for maximum energy efficiency. For example, block orientation along an east-west longitudinal axis will encourage development of buildings oriented along an east-west axis, with smaller east and west facing facades, able to take advantage of passive solar technology.
 - v. Block size should be less than four hundred (400) feet.
- (c) **Access Points.** A minimum of two (2) access points should be provided for each development, with a minimum of one (1) per every 1,500 feet of boundary recommended.
- (d) **Primary Streets.** Designate primary streets so that all buildings front at least one primary street. Vehicular access should not be located off a Primary Street, unless the parcel is fronted by more than two primary streets.
- (e) Blocks may include interior alleys or lanes.
- (f) **Typical Lot Configuration.** All lots shall have frontage along a public street unless otherwise specified in Building Type requirements. Flag lots are prohibited.

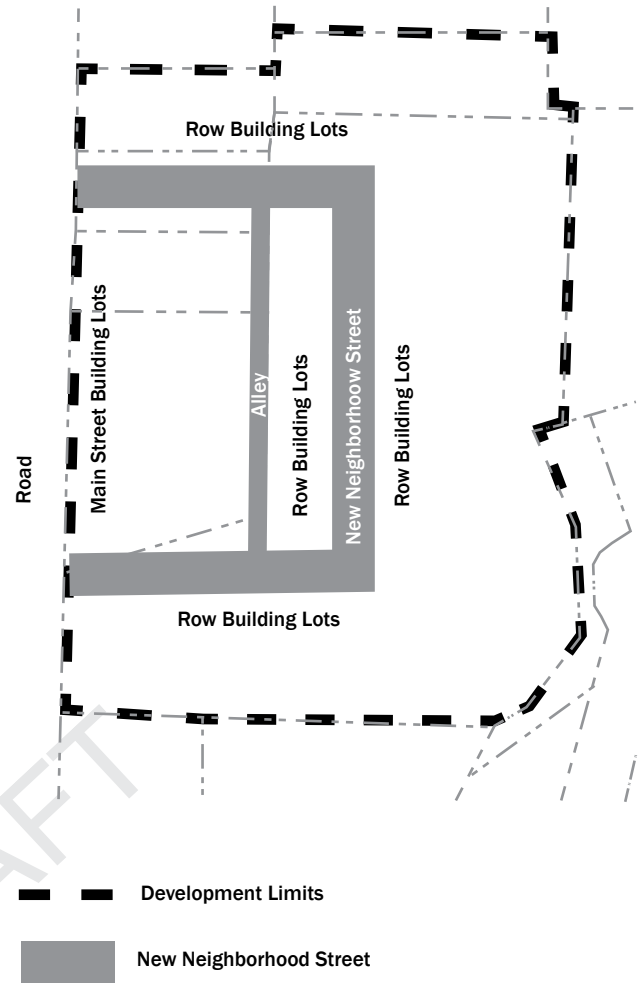


Figure 10-21-5D (2). Example of New Street and Block Configuration for Large Parcels or When Multiple Parcels are Combined.

10-21-5 Site Development Standards

E. Temporary Structures

1. **General Requirements.** Refer to 10-17 Fencing and Screening for all landscaping and screening requirements.

2. **Description and intent.** Temporary Structures are allowed in all Districts according to the following guidelines.

The small scale activity or display area can be a patio for outdoor eating or display of goods and should constitute the majority of the site. The frontage required continues the streetwall of the adjacent buildings, allowing a continuous pedestrian experience from the street with views into the outdoor space.

Two accessory structures are permitted. A temporary building may be erected in the rear of the Lot and allows patrons to enter the building. A permanent kiosk may be located anywhere on the Lot, but allows employees only in the interior.

3. **Regulations.** Regulations for Temporary Structures are defined in the adjacent table.

4. **Mobile Food Vendors.** Refer to Section 10-3-14 Mobile Food Vendor Vehicles & Retail Vendor Vehicles for all mobile food vendor requirements.

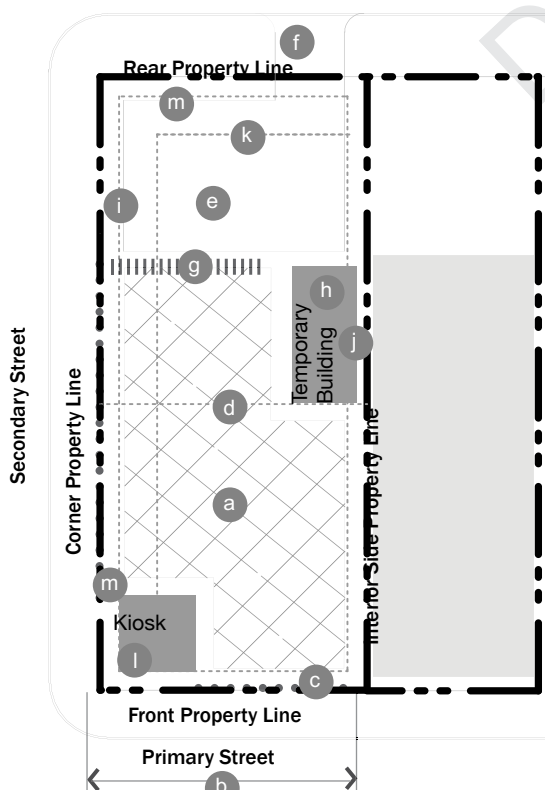


Figure 10-21-5E (1). Temporary Structure Siting

Temporary Structures Requirements		
1. Siting		
Minimum area of Unenclosed, Fully or Partially Paved Outdoor Activity/Display Area	45% of parcel	a
Min Lot Width	none	b
Max Lot Width	50'	
Max Impervious Coverage	80%	
Additional Semi-pervious Coverage	15%	
Required Front & Corner Side Frontage Type	0' to 5'	c
Parking Setbacks		d
Front	75'	
Corner, Side, Rear	5'	
Parking & Loading Facility Location		e
Access	From Alley or Side Street	f
Required Buffer between Parking & Activity/Display Area	none	g
2. Accessory Buildings		
Number of Permitted Accessory Buildings	2	
Max Building Coverage	20%	h
Temporary Building		
Front Yard Setback	75'	i
Corner Side Setback	15'	j
Side Yard Setback	0'	
Rear Yard Setback	5'	k
Kiosk Building		l
Front, Corner, Side, Rear Setback	5'	m
Max Size	500 sf	
Max Height	one story or 15'	
Min Front Facade Transparency	20%	
Roof Type	Pitched, Flat, Parapet	
Existing Vegetation	May be credited toward buffer area	
3. Uses		
Permitted Uses	Assembly General Retail General Service	

Notes:

¹ This screening requirement does not prohibit the installation of or provision for openings necessary for allowable access drives and walkways connecting to the public sidewalk.

² In Front and Corner Yards, when the parking area is located adjacent to any building on the lot, the buffer must be located so that it aligns with or is behind the face of the adjacent building back to the vehicular area. The area between the buffer and the property line must be landscaped.

Table 10-21-5E (1). Temporary Structures Requirements.

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YORKVILLE

Downtown Overlay District

Streetscape Master Plan



United City of
Yorkville ILLINOIS

FARR ASSOCIATES



Yorkville, Illinois

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Van Emmon Street	p. 26
'B' Street	p. 34
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Acknowledgements

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Tim Evans, *Director of Parks and Recreation*
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Introduction

A streetscape master plan provides guidance for the direction and character of future street related capital improvement projects. As downtown Yorkville continues to evolve, so too should its streets and public spaces to support the changing land uses over time. Downtown has experienced multiple moments of transition over the years, but recently, downtown has experienced a renaissance of sorts with desirable new restaurants and small local businesses occupying existing structures. An improved Fox River-oriented park and other recreational amenities add another layer to downtown's assets.

At its heart, Yorkville is a small-town on a sleepy river with residents committed to improving the quality of the city for all. What better place to start than improving a downtown that should be the center of the community, where events, festivals, and family gatherings take place regularly. The streets of downtown Yorkville should be the armature that supports these functions and helps contribute to building community and quality of life.

Downtown Overlay District

Streetscape Master Plan

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Streetscape Master Plan

Why a Streetscape Master Plan?



Figure 1 - Bridge Street (Farr Associates)

Because downtown Yorkville needs one. Investors and property owners interested in improving their downtown assets may think twice if they do not sense a commitment from the City. The downtown TIF I was certainly an effort to encourage redevelopment within downtown and TIF II is an added incentive for owners to invest; however, the lack of an inspiring plan that presents future capital improvement priorities for the City leaves much to be desired. This streetscape master plan is intended to get people excited about the potential of downtown. Knowing that improvements are in the pipeline, investors can get out in front and establish a presence prior to downtown realizing its full potential.

A streetscape master plan's focus is on the public realm - most notably the streets, furnishing zones, and sidewalks. It helps to establish what role each street will play moving forward. For example, it establishes which streets are 'A' Streets; meaning a street that should be accompanied by building frontages, glazing, signage, and activity. They are the

streets that residents come to downtown to stroll along and enjoy a sunny Saturday afternoon. Alternatively, a 'B' Street supports the 'A' Street. Parking access, sides of buildings, and service oriented functions should be accessed off 'B' Streets. Like 'A' Streets, they are critical to the functioning successes of places we love. Accommodating both within downtown, while defining which is which, can help property owners prioritize where their future front entry is located or where that new café tenant should face.

Downtown was identified as a primary concern in the 2016 Yorkville Comprehensive Plan for good reason. Despite its current downfalls, downtown contains exciting assets to build upon. Restaurants, old buildings packed with potential, plenty of infill and redevelopment opportunities, and a fantastic recreational amenity in the Fox River, all bode well for the future of downtown. This plan demonstrates some of the strategies the City can implement to pave the way for the future of downtown.

Providing Framework for the FBC

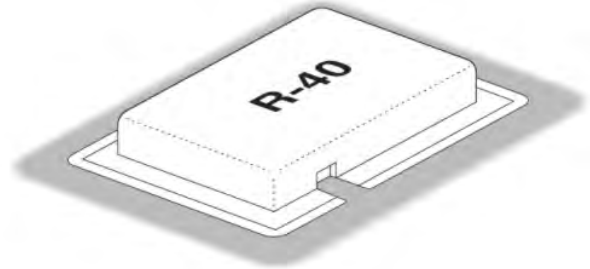
The streetscape master plan is structured to complement the **Downtown Yorkville Form-Based Code**. Form-based codes (FBC) are land development regulations that seek to produce predictable built results that prioritize building form over building use as a distinguishing factor. Often times, a regulatory zone or framework is applied at the block level, much like zoning, where parcels fall into a specific FBC classification.

The **Downtown Yorkville Form-Based Code** uses the street types as a regulatory framework. The parcels that front a specific street type identified in this plan use that street type as the underlying FBC classification. If a parcel fronts more than one street, the FBC articulates the process of discerning which FBC zone takes precedent. The FBC includes further instruction on how to identify a parcel, determine the underlying regulatory zone, and easily interpret the zone's requirements for redevelopment.

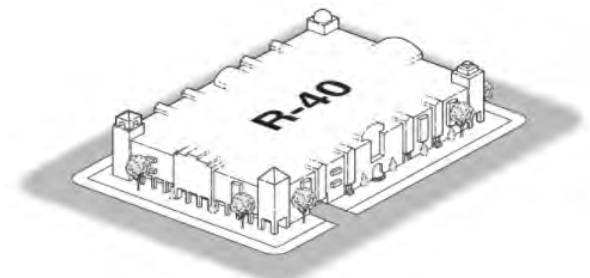
The streetscape master plan brings a visual interpretation of what form and character future capital improvements will exhibit. Though the streetscape master plan and the FBC are intended to be stand-alone documents, they are coordinated efforts that provide layers of detail to collectively envision the future of downtown Yorkville.

The series of diagrams on the right is from the Form-Based Codes Institute (FBCI) and meant to visualize the physical consequences that stem from conventional zoning (top), conventional zoning with supporting design guidelines (middle), and form-based codes (right). Standards that prioritize form over use have the capabilities of encouraging a more fine-grained outcome.

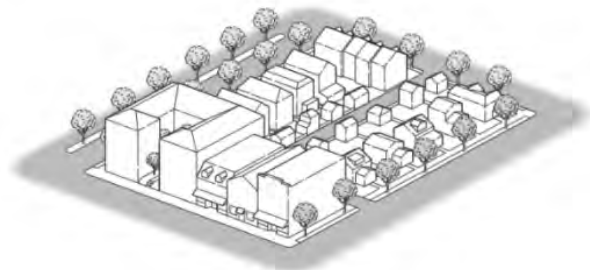
Conventional Zoning (FBCI)



Zoning Design Guidelines (FBCI)



Form-Based Codes (FBCI)



Street Type Classification

Street Type Classification

The following street types represent what will be the guiding framework for the form-based code (FBC) parcel classifications. Parcels fronting their respective street type should follow the form-based guidelines outlined in the Downtown Yorkville Form-Based Code. The different street types are

- 'A' Streets
 - Bridge Street
 - Hydraulic Street
 - Van Emmon
- 'B' Streets

These street types are represented on the following pages with the existing condition, proposed near-term improvements, and proposed long-term vision. The street types are represented at typical segments along key stretches; therefore, minor variations will occur where applicable.

This Streetscape Master Plan is intended to envision the character and role each street contributes to the future of downtown Yorkville and does not represent finalized landscape and construction details.



Figure 2 - Bridge Street (Google Maps)



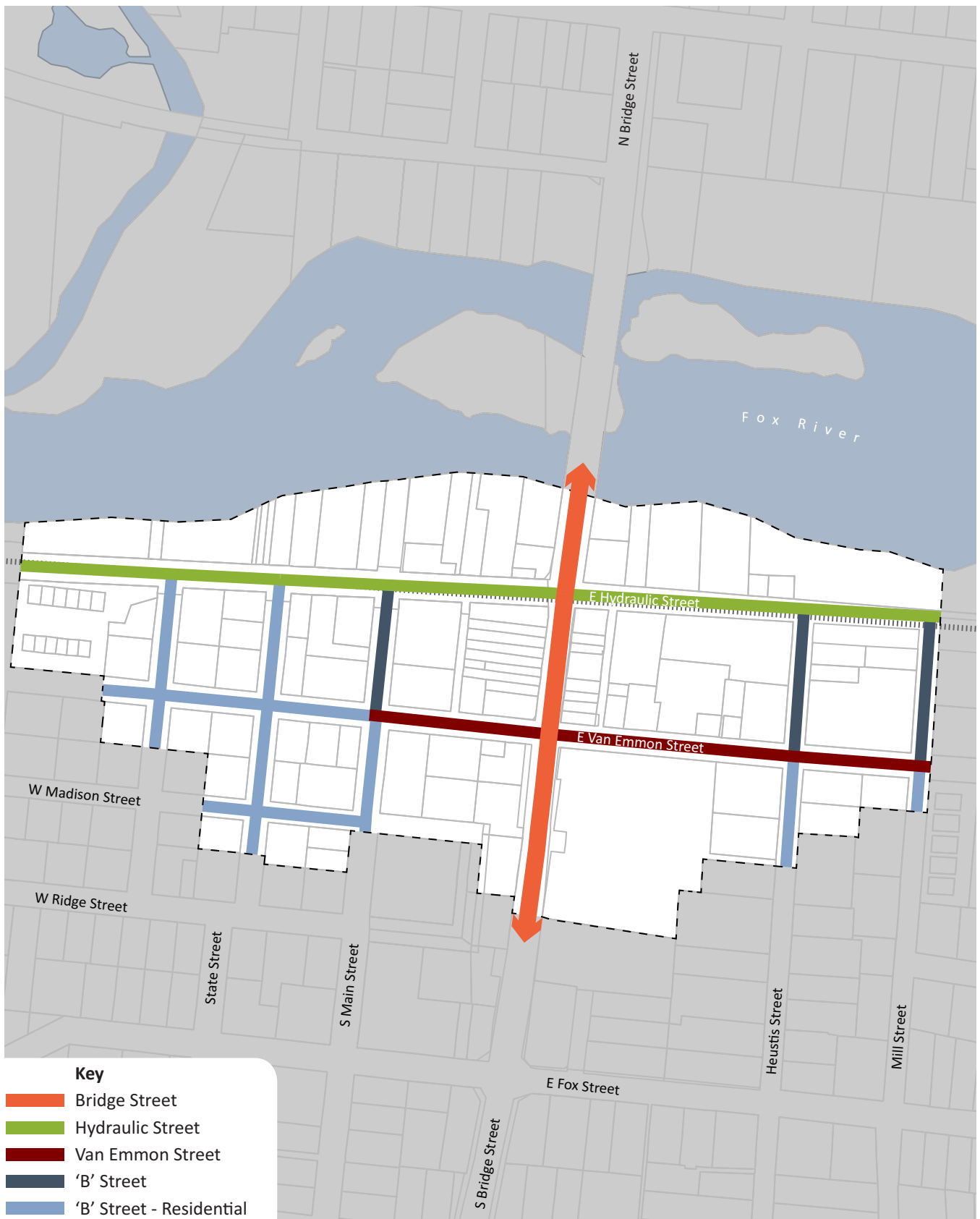
Figure 3 - Hydraulic Street (Google Maps)



Figure 4 - Van Emmon Street (Google Maps)



Figure 5 - Main Street (Google Maps)



Street Type Classification

Bridge Street (Existing)

IDOT's Improvements

Bridge Street, between Hydraulic Street to the north and Van Emmon Street to the south, was clearly the historic downtown core of Yorkville. Though this stretch is only one block long, it retains much of the scale and character of the past. Bridge Street was historically a two travel-lane street with parallel parking on either side to serve the businesses. Traffic became congested, since Bridge Street (IL 47) is the main truck route through Yorkville. The Illinois Department of Transportation (IDOT) studied widening the street along with other improvements to alleviate the congestion. Many years after the initial plan of a five-lane Bridge Street, the proposal was finally taken to construction. Yorkville residents were anxious to speed up flow through a downtown long removed from representing the heart of the community.

Since the IDOT improvements, the commercial viability of the businesses were challenged. Travel lanes replaced parallel parking and concrete barriers were placed between street and sidewalk. The combination of road widening, increased speed, lack of parallel parking, and other factors drove many of the primary building entries around to the backs of the Bridge Street buildings. The increased speeds and lack of pedestrian traffic along Bridge Street have effectively drained downtown of any potential for vitality. Residents have mixed opinions about the impacts of IDOT's improvements; however, it is clear that the term "improvements" may not be the correct expression for Bridge Street's new character.

This stretch of Bridge Street may be considered the gateway into downtown Yorkville and retains potential to become the iconic stretch that helps draw people into local businesses and displays an attractive image that represents the people of Yorkville.



Figure 6 - Bridge Street Facades (Farr Associates)

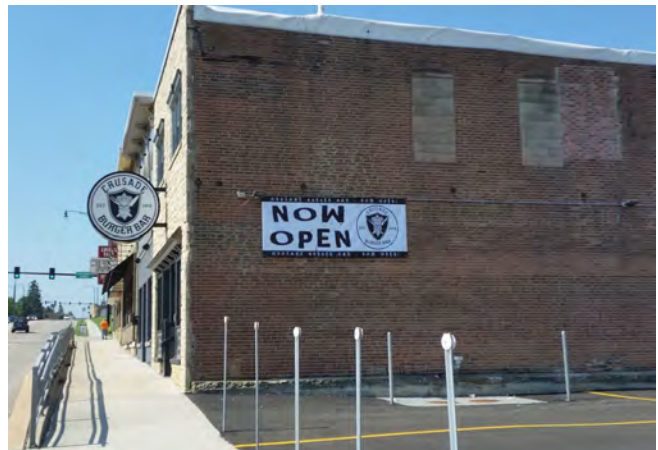
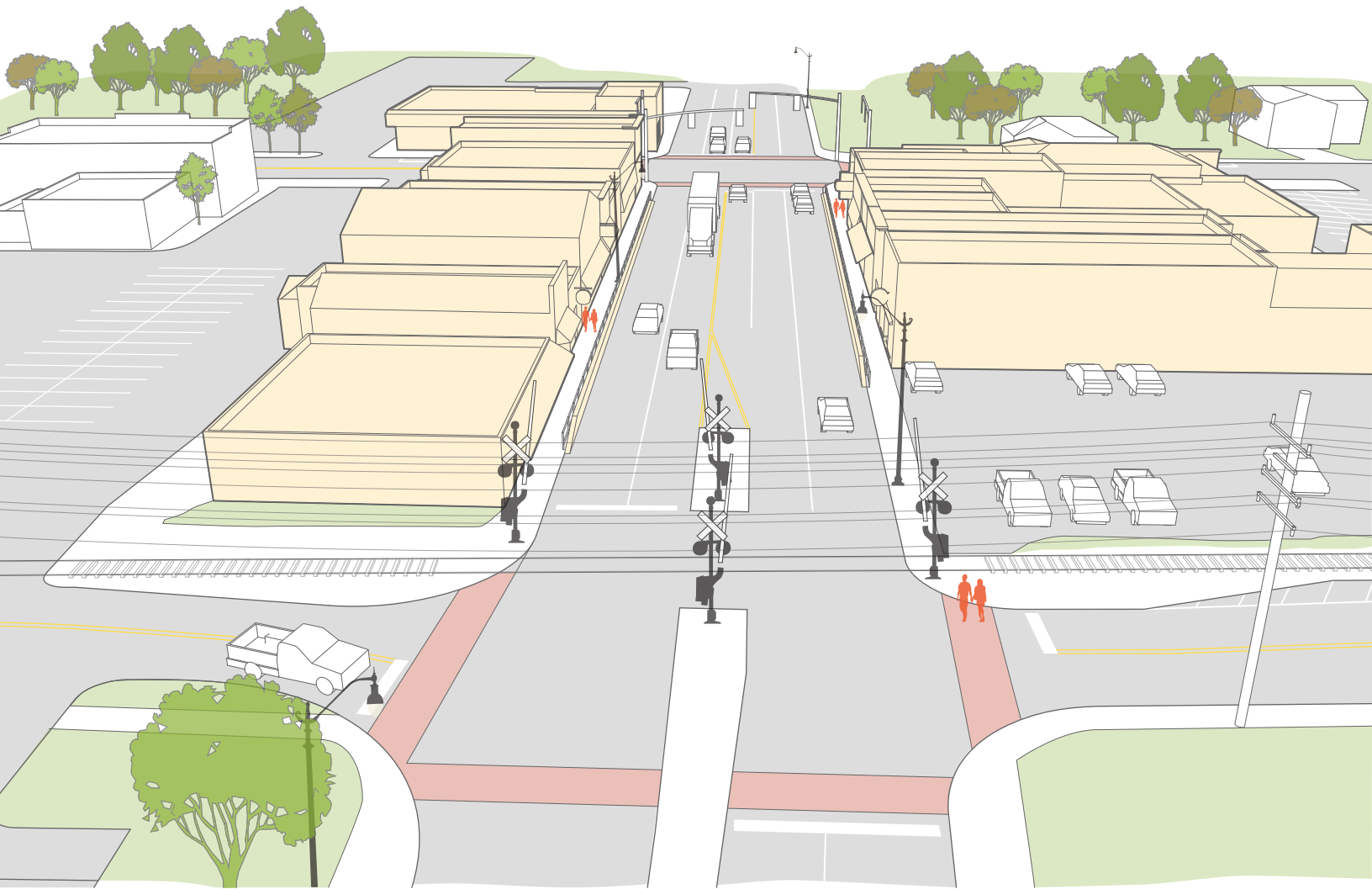


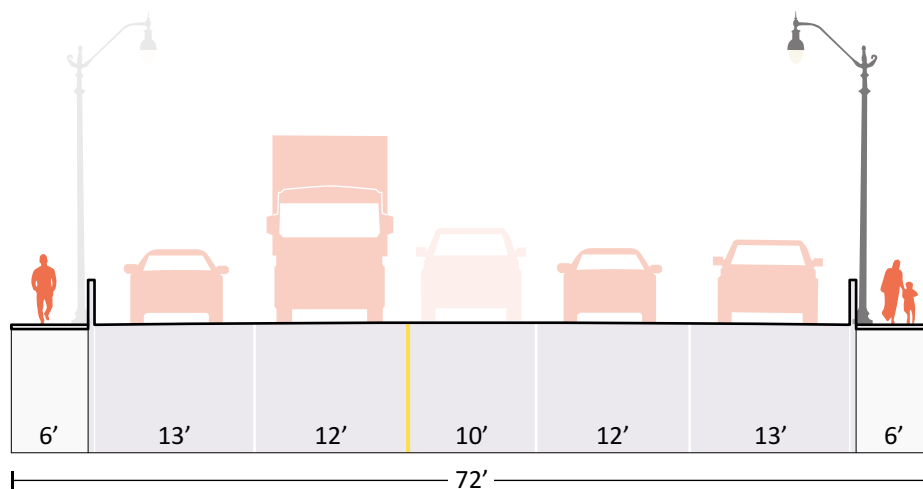
Figure 7 - Bridge Street Blank Wall (Farr Associates)



Figure 8 - Bridge Street Sidewalk/Barrier (Farr Associates)



Bridge Street (Existing)



Bridge Street (Near-Term)

Tactical Interventions

Meaningful measures to display an image of vitality and interest can be taken with a cost sensitive approach. For example, instead of temporarily narrowing traffic lanes or tearing down the now important concrete barriers flanking Bridge Street; beautification strategies might include painting the concrete barriers and hand rails with a custom design or painting large iconic murals on the blank downtown building walls. Each of these interventions could contribute to the overall character of downtown and play a dual role of encouraging vehicular and pedestrian traffic to be cautious and slow down.

Because this segment of Bridge Street is such an important gateway for the City, concentrating multiple interventions on this location within the greater downtown should take priority over other streets and locations. Drivers would recognize that downtown could be worth visiting. The larger scale of these proposed interventions caters to the car, because it is in this brief moment that downtown has to attract the attention of passersby.

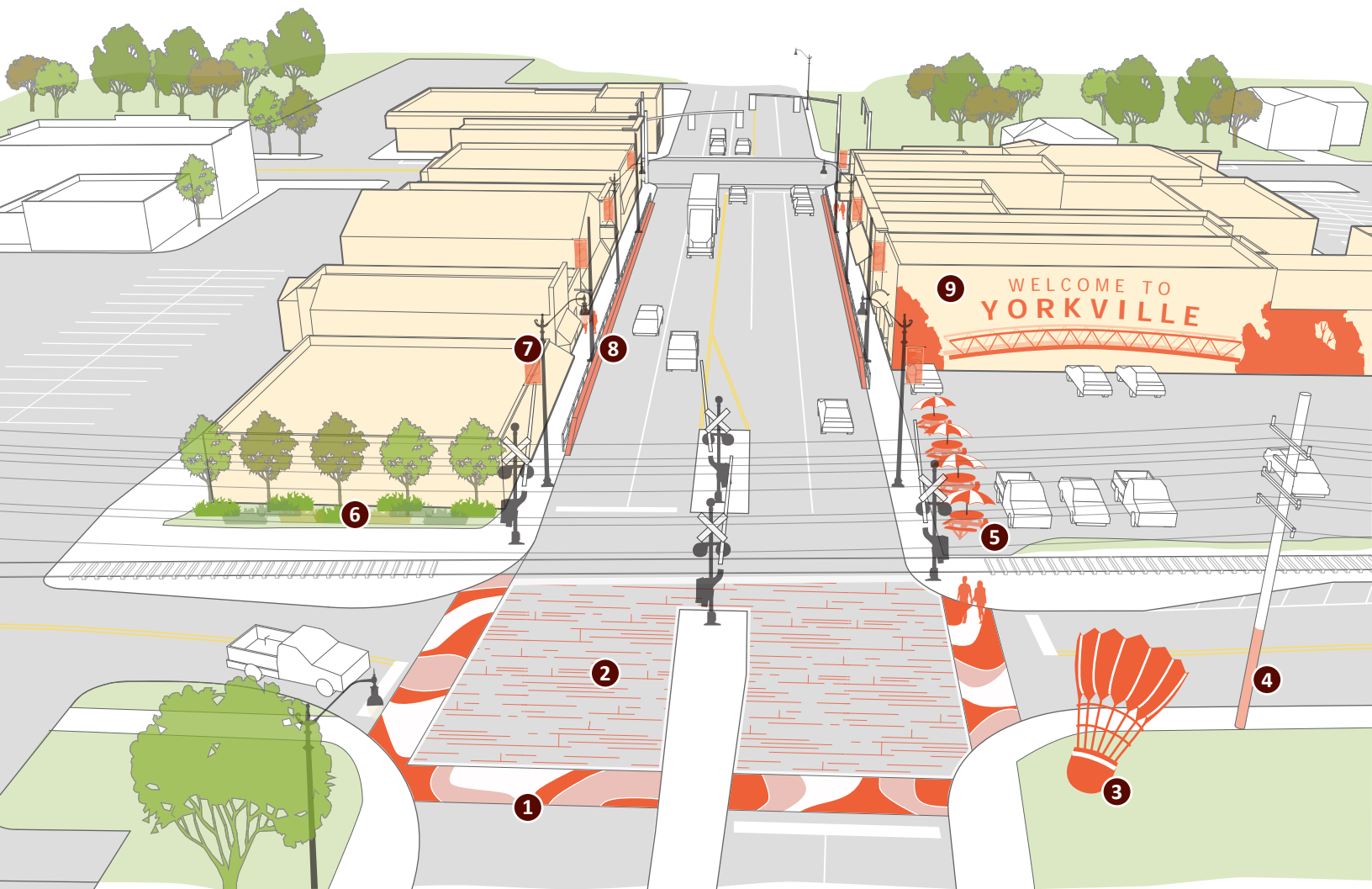
- ① Painted Crosswalks
- ② Paving Texture or Material Change
- ③ Public Art/Sculpture
- ④ Painted Light Poles
- ⑤ Outdoor Restaurant Seating
- ⑥ Entry Landscape Improvements
- ⑦ Seasonal Banners
- ⑧ Painted Bridge Street Barrier/Railing
- ⑨ Yorkville Entry Wall Mural



Figure 9 - Wall Mural (Philly Magazine)



Figure 5 - Outdoor Restaurant Seating (Pictures Boss)



Bridge Street (Near-Term)



Figure 11 - Painted Concrete Barrier (NYC Parks)



Figure 12 - Public Art / Sculpture (Designboom)

Bridge Street (Long-Term)

Minor Upgrades Go a Long Way

The existing Bridge Street right-of-way affords very little flexibility for major improvements; however, that does not preclude meaningful upgrades from happening. Squeezing in improvements where possible, such as: the addition of seasonal banners to the light poles; repaving the sidewalks with high-quality and interesting materials for pedestrians; or replacing the damaged handrail with a feature handrail that may be an art installation; can make a surprisingly dramatic impact for both drivers and pedestrians. Additionally, if the buildings better engage the sidewalks through accessible entrances, signage, and outdoor seating options, this would improve this highly visible stretch of downtown Yorkville.

A reduction in lane width on Bridge street, which would require a reclassification from IDOT to remove its truck route status, is not currently an option. Therefore, a five-lane street will likely be the long-term reality.

It will be critical for the City to address the perception issues with Bridge Street through near-term solutions that may last many years. Near-term strategies can add value to downtown Yorkville through amplified crosswalks, branding and wayfinding elements, visible outdoor seating, and much more.



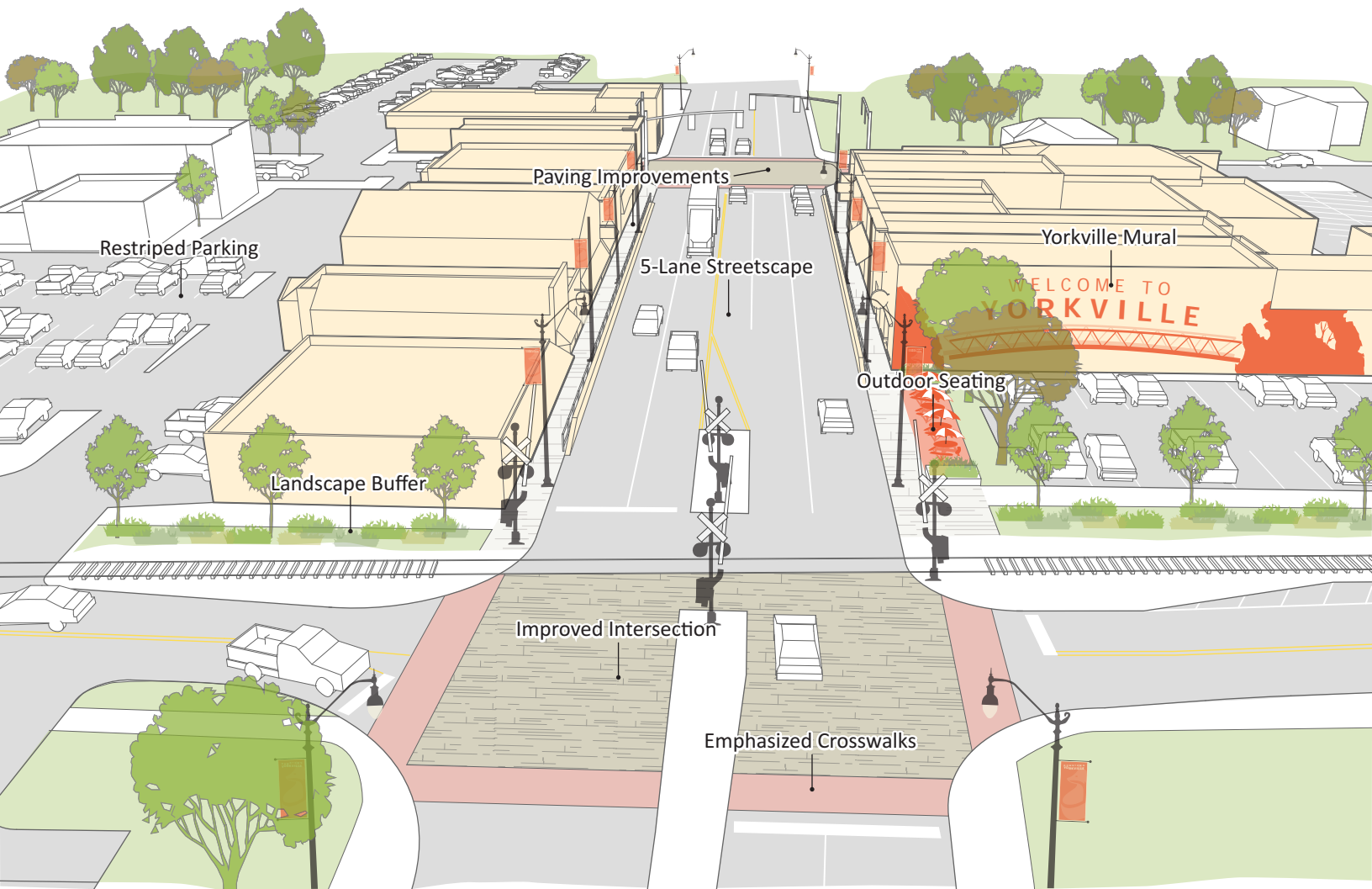
Figure 13 - Improved, Feature Handrail (Hype Science)



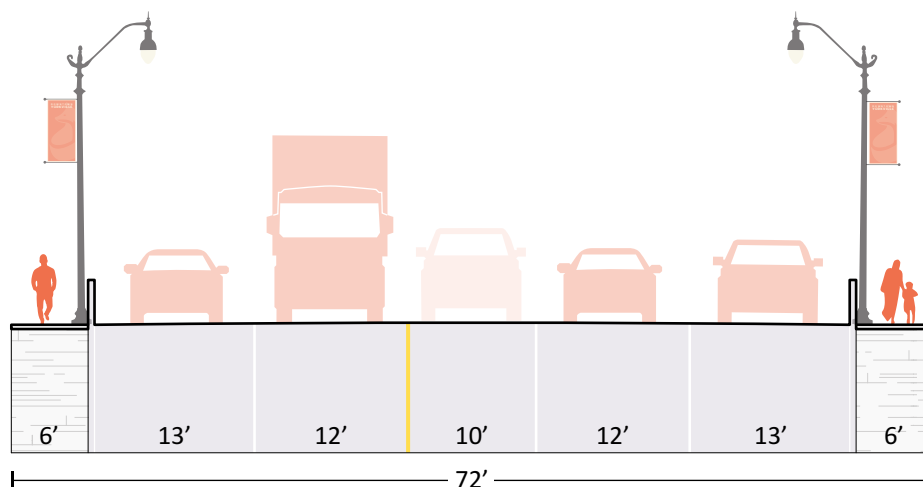
Figure 14 - Seasonal Banners (Farr Associates)



Figure 15 - Improved Sidewalk Pavement (California DOT)



Bridge Street (Long-Term)



Hydraulic Street (Existing)

Unique Industrial Character

Hydraulic Street includes complex conditions, such as utility poles landing in the street; a tapering right-of-way that narrows from west to east; and an active freight rail line that runs parallel to the street surface within the right-of-way. Because it runs parallel to the Fox River, there are multiple access and view corridors that connect pedestrians on Hydraulic Street to one of Yorkville's most important assets.

The freight rail line tracks are immediately adjacent to the southern edge of the street. This proximity could be a safety issue; however, during the citizen engagement events, residents did not voice much concern over the rail, except the noise complaints and potential for trains to back up traffic along Bridge Street. Though only one rail company utilizes the line, it is important to the natural gas industry because it accesses select sand used for the fracking process. Any expectations of the rail line closure are unrealistic, at least in the near-term. The active rail line will remain something that any redesign plans, current or future, must address.

Hydraulic Street features a unique industrial character as a result of the rail and adjacent buildings and uses. The short, utilitarian buildings, as well as agricultural relics, such as the grain elevator, create an eclectic mix of land uses and character. Multiple popular businesses and parks exist along Hydraulic Street, and the existing character seems to support these types of businesses. As improvements occur to make Hydraulic Street a more attractive, safe, and usable street, a respect for its industrial past and present should be retained.



Figure 16 - Hydraulic Street (Farr Associates)



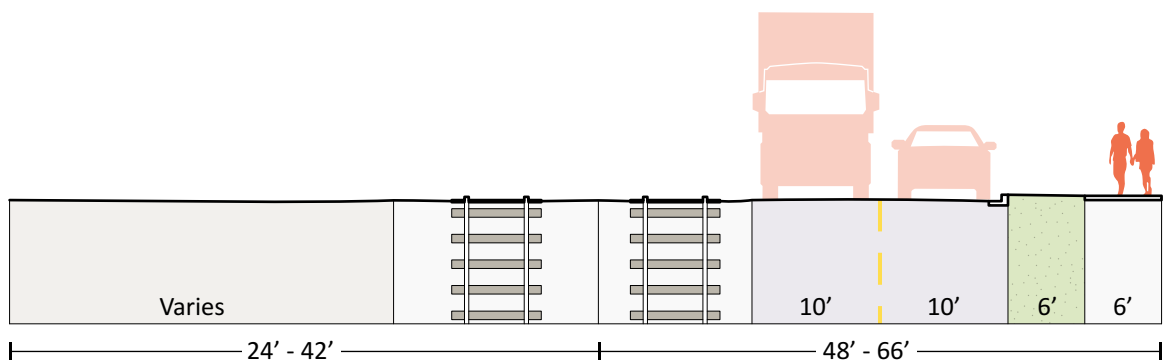
Figure 17 - Hydraulic Street (Farr Associates)



Figure 18 - Inactive Grain Elevator (Farr Associates)



Hydraulic Street (Existing)



Hydraulic Street (Near-Term)

Tactical Interventions

Hydraulic Street character will remain unique and interesting with or without planning interventions. The low traffic counts and limited number of businesses that currently front onto Hydraulic Street suggest that a lower level of resources should be placed in its near-term improvements.

However, a few key improvements that help support the current businesses should be prioritized. This could include allowing outdoor seating areas either in the parking lots or at the edge of the street and sidewalks; painting the existing light poles with unique artwork; adding seasonal banners to the existing light poles; and improving the rear facade of Bridge Street, as this has effectively become the primary entry to many of those businesses. The rear facade of the Bridge Street buildings is highly visible since no structures currently exist to obscure mid-block views.

Additionally, moveable planters with trees and other vegetation could bring life, shade, and color to an otherwise utilitarian Hydraulic Street.

Painted Light Poles

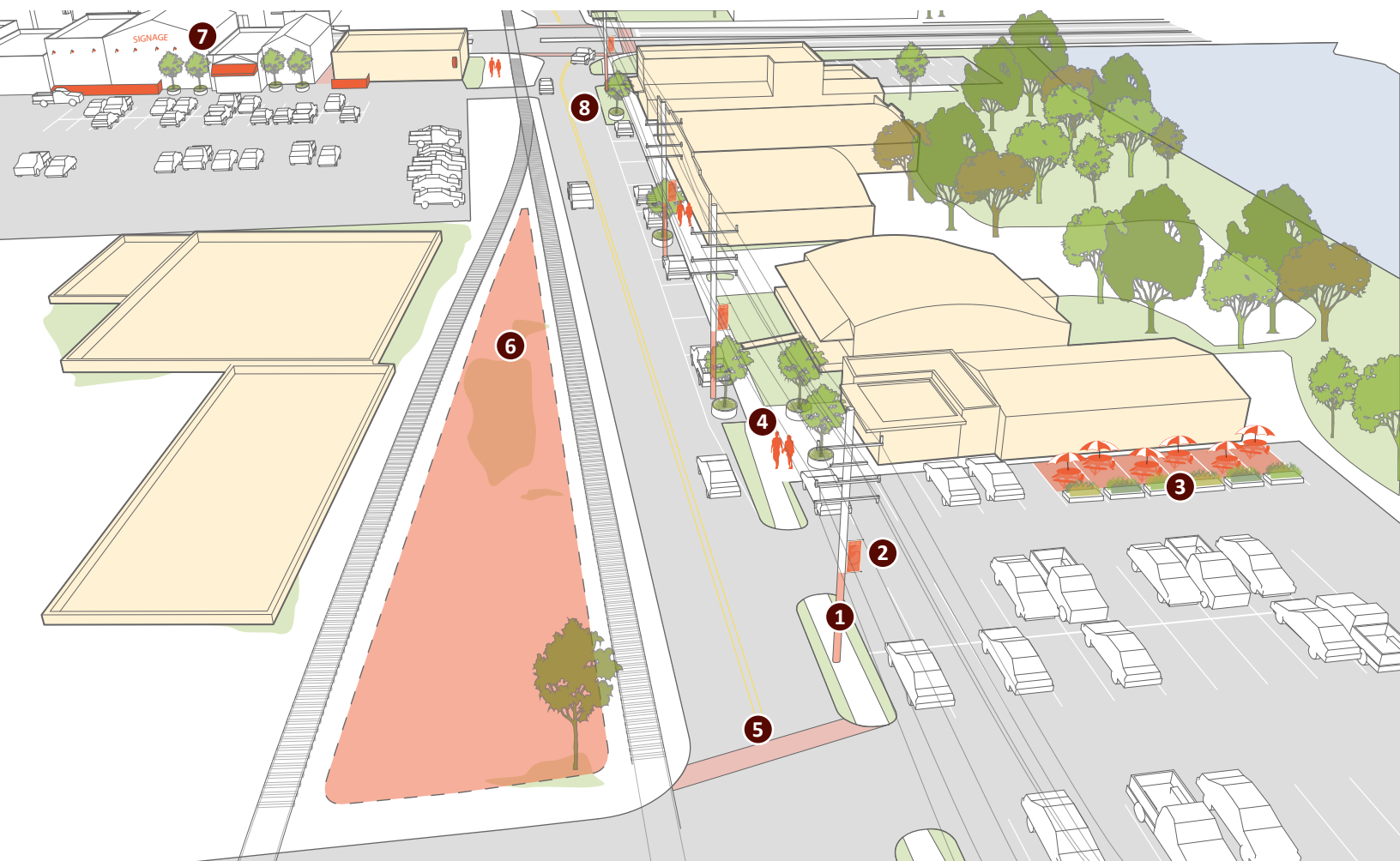
- ① Seasonal Banners
- ② Outdoor Restaurant Seating
- ③ Temporary Tree Planters
- ④ Painted Crosswalks
- ⑤ Maintain Gravel Between Tracks
- ⑥ Bridge Street Rear Facade Improvements
- ⑦ Street Surface Lane Striping
- ⑧



Figure 19 - Painted Light Pole (Tops Images)



Figure 20 - Well Maintained Gravel Surface (Dare Inc.)



Hydraulic Street (Near-Term)



Figure21 - Rear Facade Lighting and Signage (House St. Clair)



Figure22 - Outdoor Restaurant Seating (South Milwaukee)

Hydraulic Street (Long-Term)

Conversion to a Shared Street

The unique qualities of Hydraulic Street with its irregular street section, limited traffic count, paralleling of the Fox River, and already funky, casual character lends itself well to becoming a woonerf, or “shared street”. This long-term vision would allow Hydraulic Street to be closed down for festivals or events between the current driveway aligning with the rear entrances of the Bridge Street buildings and Heustis or Mill Street. Circulation around the block would still be possible through the use of a “slip lane” or access lane that would run along the south edge of the railroad tracks in order to access future redevelopment on those parcels.

Hydraulic Street could take on a unique design such as permeable pavers to add character and stormwater management benefits. Being adjacent to the Fox River, an effort to minimize stormwater runoff and encourage percolation would be an environmentally conscious solution. Continuous pavers spanning between vehicular travel areas and traditional pedestrian areas would effectively blur the line between pedestrian and car right-of-way. This would encourage slow moving traffic on non-event days when Hydraulic Street is open, and add an attractive frontage for the businesses along Hydraulic Street.

A shared street deserves a custom design. When City budget is allocated towards Hydraulic Street capital improvements, an emphasis should be placed on hiring highly-qualified landscape architects experienced in right-of-way redesign.



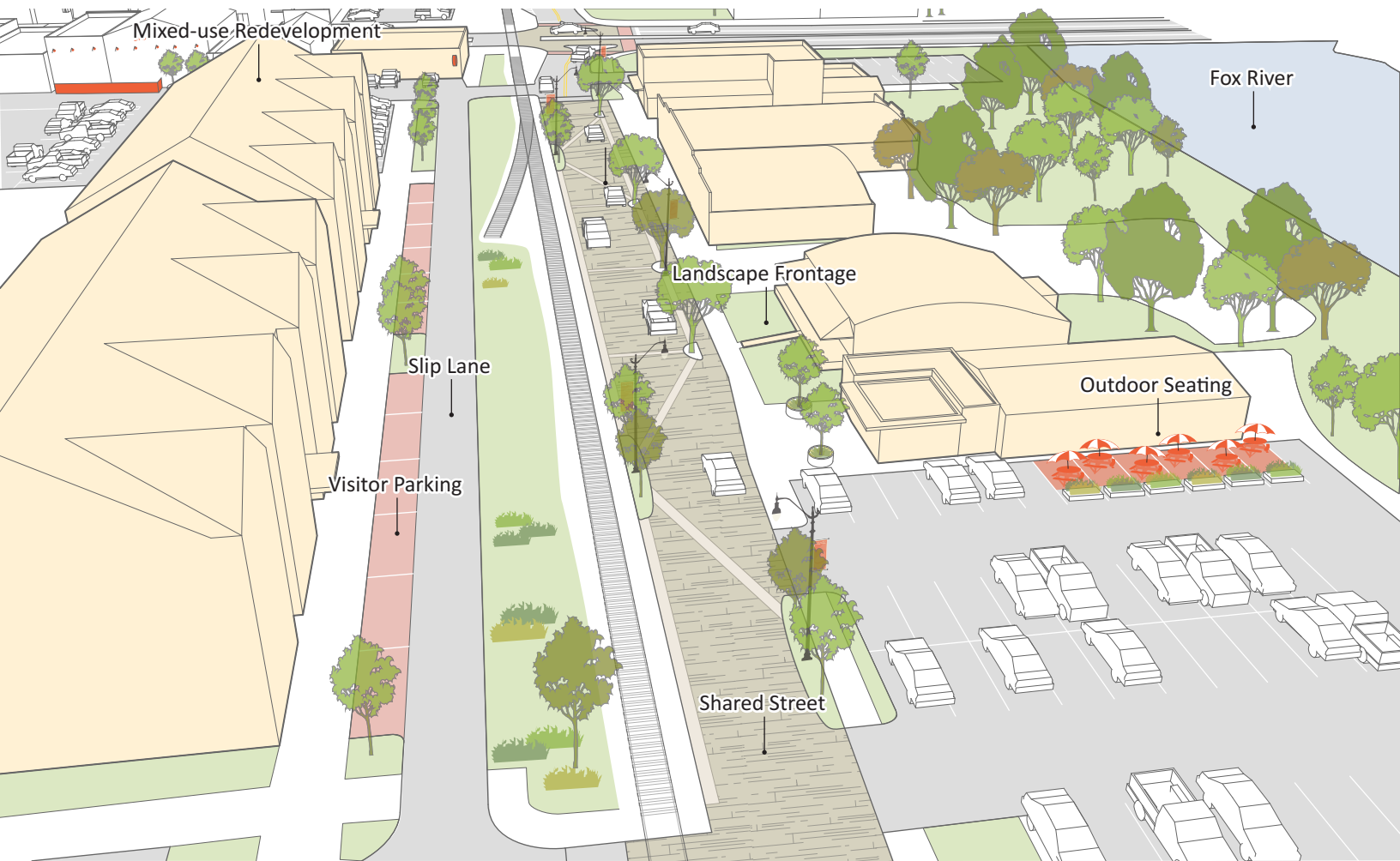
Figure 23 - Catenary Lighting (Rope and Cable Canada)



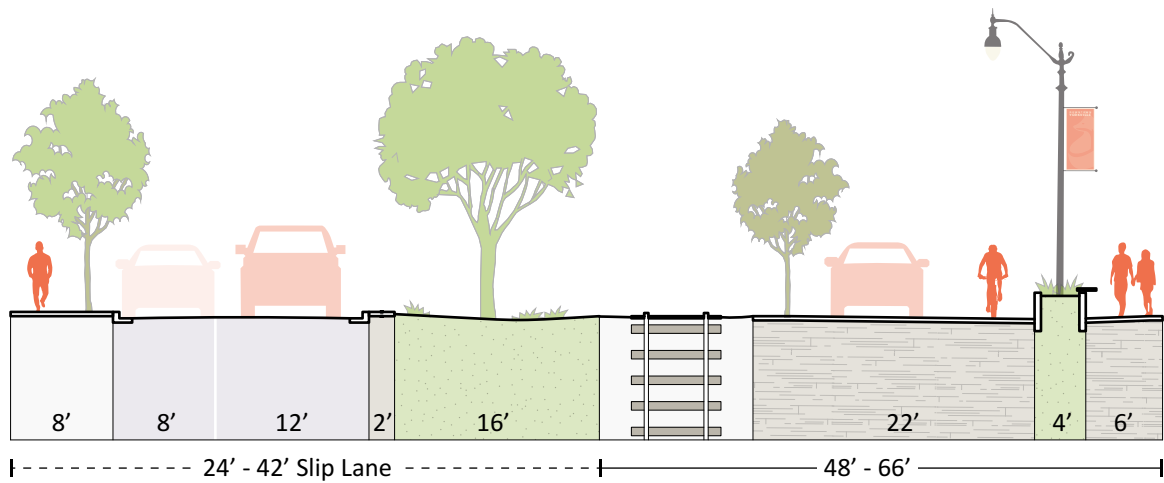
Figure 24 - Funky Outdoor Seating (Asik Site)



Figure 25 - Shared Street (Ithaca College)



Hydraulic Street (Long-Term)



Hydraulic Street Shared Street

As previously mentioned, a shared street should blur the lines between vehicle and pedestrian zones. Subtle changes to paving materials and the use of planters, street furnishings, and markings can define where cars should or should not drive. Since Hydraulic Street runs parallel with the Fox River, a street section that sheet flows stormwater into a continuous drainage channel within paving change is an example of integrated street design. These site design details are important, as this will become a major downtown event location.

- ❶ Paving Texture or Material Change
- ❷ Chicane Planting Beds
- ❸ Maintain Existing Distance from Tracks
- ❹ Raised Planting Beds
- ❺ Planter Seating Ledge
- ❻ Continuous Drainage Channel on One Side

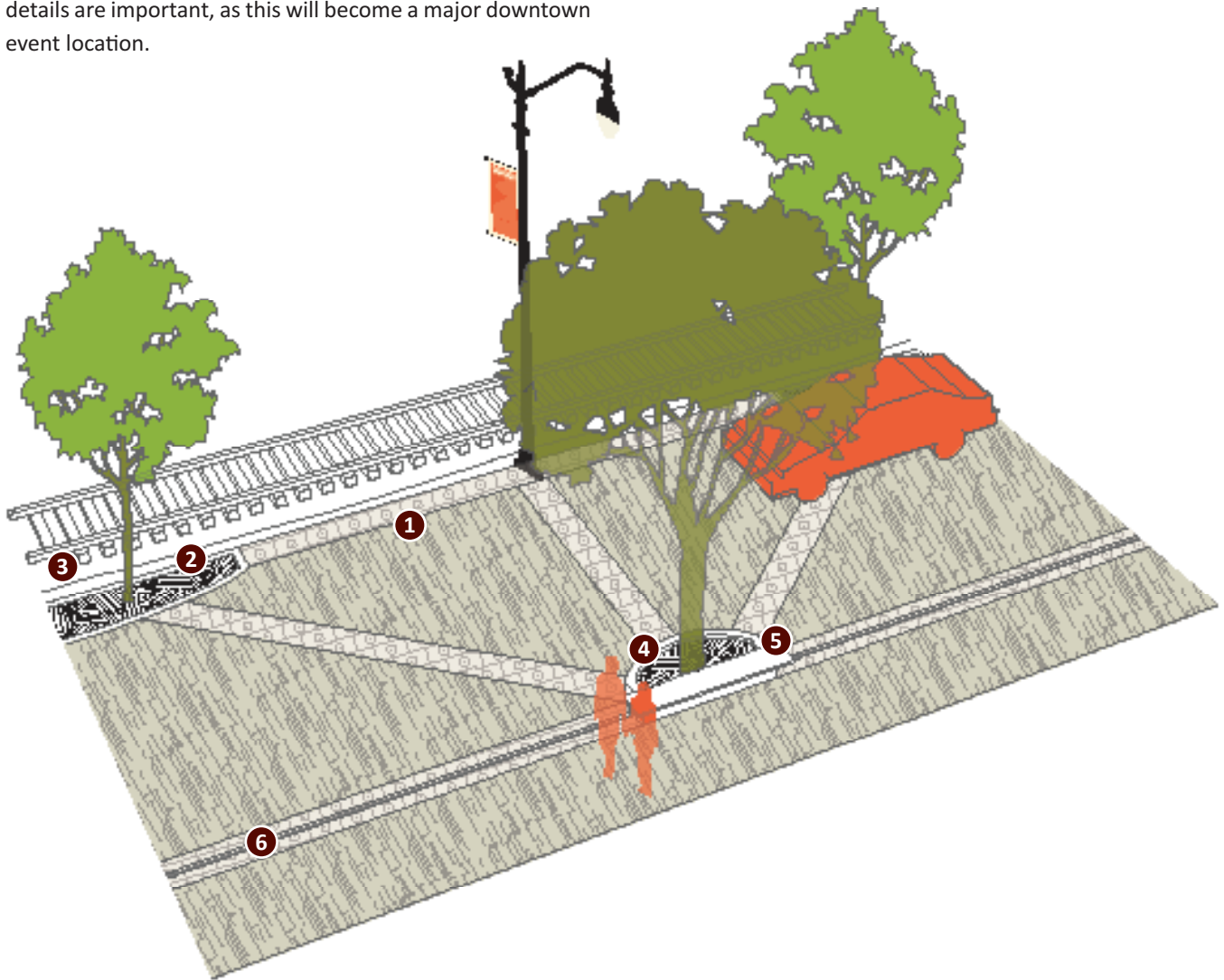


Figure 26 - Hydraulic Street Diagram (Farr Associates)

Material Contrast

Subtle paving details, such as a change in material, texture, or orientation, contribute interest to the pedestrian environment. Minor variations can help make a design unique to a specific location and help brand the place. Paving details may be used to delineate where vehicles are allowed to drive or park. These variations may help inform the location of custom street furniture, emphasize locations for tree plantings and signage locations, or simply add aesthetic appeal.



Figure 27 - Paving Texture Change (Site Design Group)

Street to Woonerf Transition

Shared streets typically have vehicular travel routes and parking at the same elevation as a sidewalk. This means that the street section will not have its typical curb and gutter condition and will also need to reconcile where a regular street meets the woonerf. Raised intersections and crosswalks commonly feature short ramp transition zones to raise travel lanes to the desired shared height. The transition zones can also help alert drivers that they are entering a special area and a heightened awareness for pedestrians is necessary.



Figure 28 - Raised Intersection (NACTO)

Planter Seating Ledge

A custom street design can include custom street planters and seating. In the instance of a shared street, raised planters made of a durable material could house low plantings and street trees; accommodate one or multiple built in seating ledges; and play a role in vehicular circulation by delineating the travel lanes, narrowing travel lanes to encourage slower travel speeds, or creating chicanes that slow-traffic to a greater degree.



Figure 29 - Planter Seating Ledge (Transform KC)

Van Emmon Street (Existing)

Downtown's Second Gateway

Traveling east from downtown Yorkville, Van Emmon Street eventually becomes Van Emmon Road and meets Route 71, which connects Yorkville with Oswego. Van Emmon Street acts as the second gateway into downtown, particularly at its intersection with Bridge Street. Recently, buildings have been torn down along Van Emmon Street and the expectation of future redevelopment is not unreasonable.

The approach traveling west into downtown along Van Emmon does not best represent Yorkville. Vegetation overgrowth between Mill Street and Heustis Street; an imbalanced street section of residential buildings with parking in front; a concrete retaining wall; and multiple “missing teeth” in the urban fabric leave much to be desired. Additionally, the intersection of Van Emmon Street and Bridge Street is not particularly inspiring, as each corner does not activate the intersection. Businesses are making an effort at providing visible programming at the intersection, but improvements are needed to establish the cohesive image the downtown Yorkville deserves.

Van Emmon Street west of Bridge Street has a different character. It generally becomes more residential after the first half block. Naturally, the street section abruptly adjusts as it enters the neighborhood.



Figure 30 - View West Down Van Emmon Street (Google)



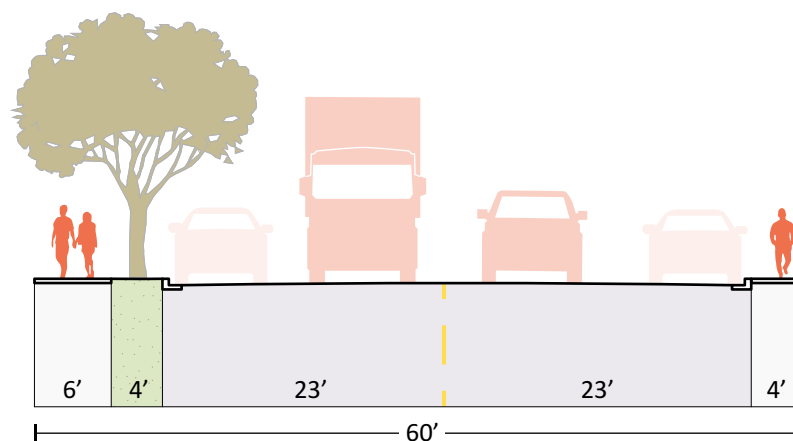
Figure 31 - View West Down Van Emmon Street (Google)



Figure 32 - View West Down Van Emmon Street (Google)



Van Emmon Street (Existing)



Van Emmon Street (Near-Term)

Tactical Interventions

Interventions should be focused at the intersection of Van Emmon Street and Bridge Street. Businesses on either side of the intersection are already considering providing outdoor seating options, which would add visible energy to the downtown when approaching from the south. This is a positive direction and can be amplified with the removal of parking spaces to construct a temporary or permanent parklet, providing a canopy or other form of weather protection, or introducing outdoor space heaters to extend seating months.

This intersection is also the primary crossing for pedestrians and vehicles moving between the east and west sides of Bridge Street due to traffic signalization and pedestrian crossing indicators. Painting the crosswalk and intersection would be an opportunity to brand downtown, enhance safety and visibility for crossing pedestrians, and draw attention to its businesses.

In addition to intersection treatments, the southwest corner of the intersection could be used for signage that greets residents and visitors traveling into downtown. Plans are already underway to improve the County Courthouse slope.

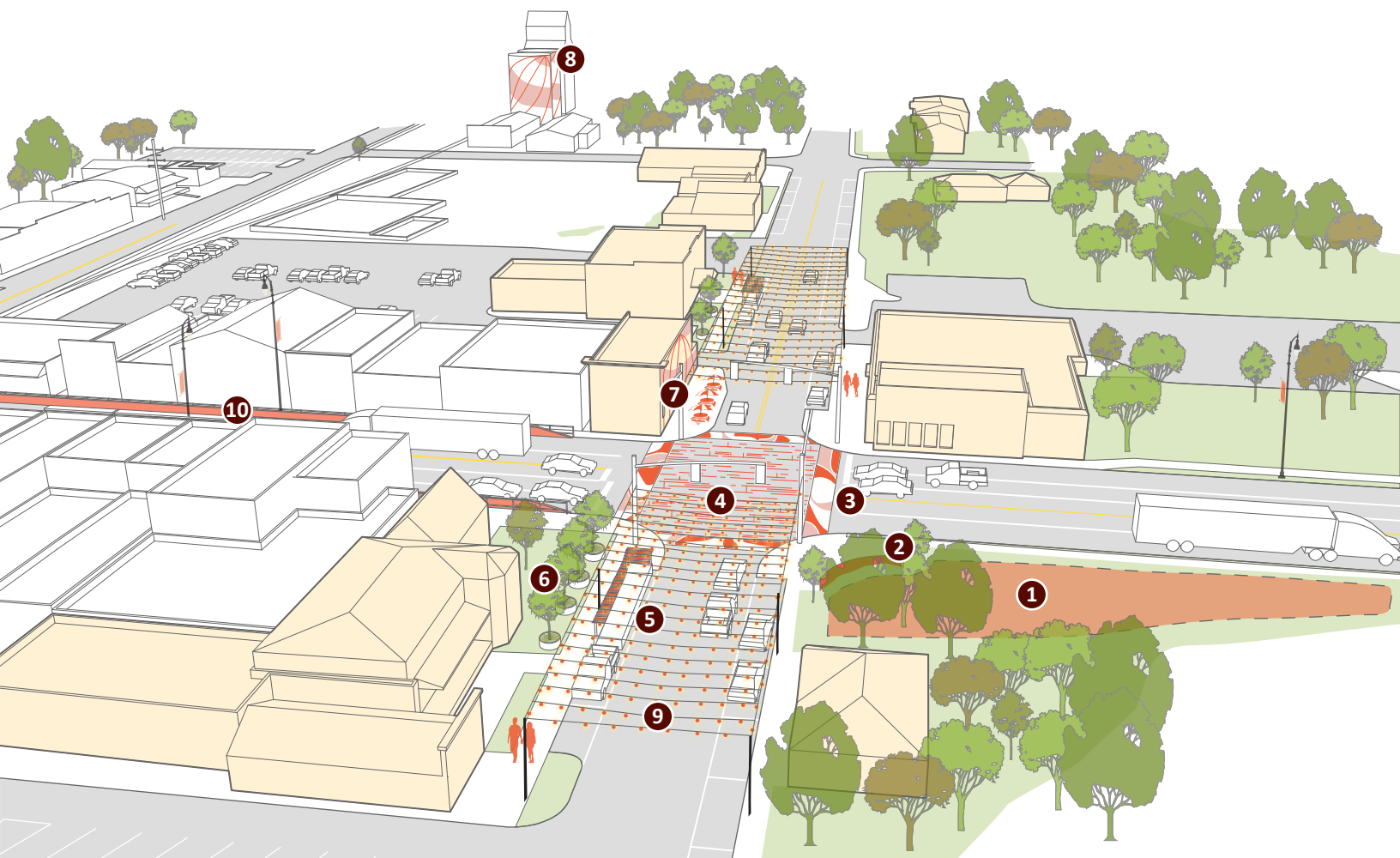
- ① County Courthouse Landscape Beautification
- ② Gateway Monument Signage
- ③ Painted Crosswalks
- ④ Painted Intersection
- ⑤ Parklet
- ⑥ Temporary Street Trees
- ⑦ Outdoor Seating
- ⑧ Painted Grain Elevator
- ⑨ Catenary Lights
- ⑩ Painted Bridge Street Barrier/Railing



Figure 33 - Landscape Beautification (Cedrus Landscaping)



Figure 34 - Painted Grain Elevator (News OK)



Van Emmon Street (Near-Term)



Figure 35 - Temporary Street Trees (ASLA)

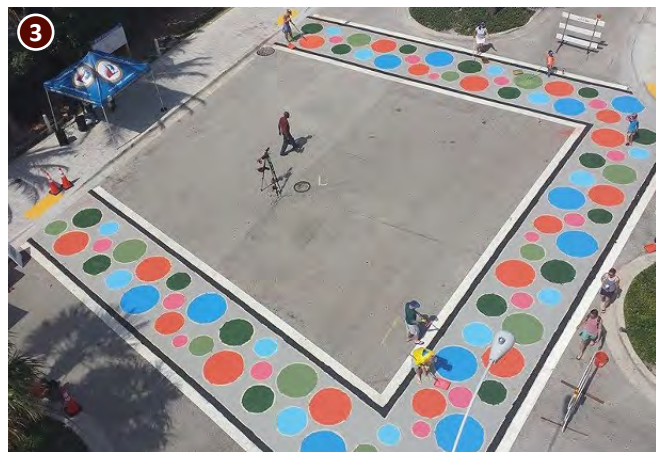


Figure 36 - Painted Crosswalk (Broward Palm Beach)

Van Emmon Street (Long-Term)

Greeting Visitors with Beauty

Van Emmon Street should be beautiful to establish a first impression to visitors, particularly east of Bridge Street. The mix of topography and building forms can be challenging when the desired outcome is a pleasant street; however, the asymmetry can be accommodated through careful design considerations.

A primary consideration should include where stormwater is flowing. With elevated parcels on the south edge of Van Emmon Street, surface water will flow towards the street and sidewalk. Utilizing rain gardens that temporarily store rainwater before discharge or percolation and/or using permeable pavers that allow water to dissipate through the parking surface, are ways to accommodate the increased runoff. Also helping with stormwater, street trees should be planted on either side of the approach from the east to create a block long gateway when driving into Yorkville from Oswego.

Downtown branding elements, such as seasonal banners and wayfinding signage, can add to the cohesion of downtown. The historic Kendall County Courthouse slope can act as a gateway feature incorporating signage, or some other built element, to establish a four-sided Van Emmon and Bridge Street intersect. These improvements could be completed in the near-term with the expectation that they would remain as other capital improvements take place.



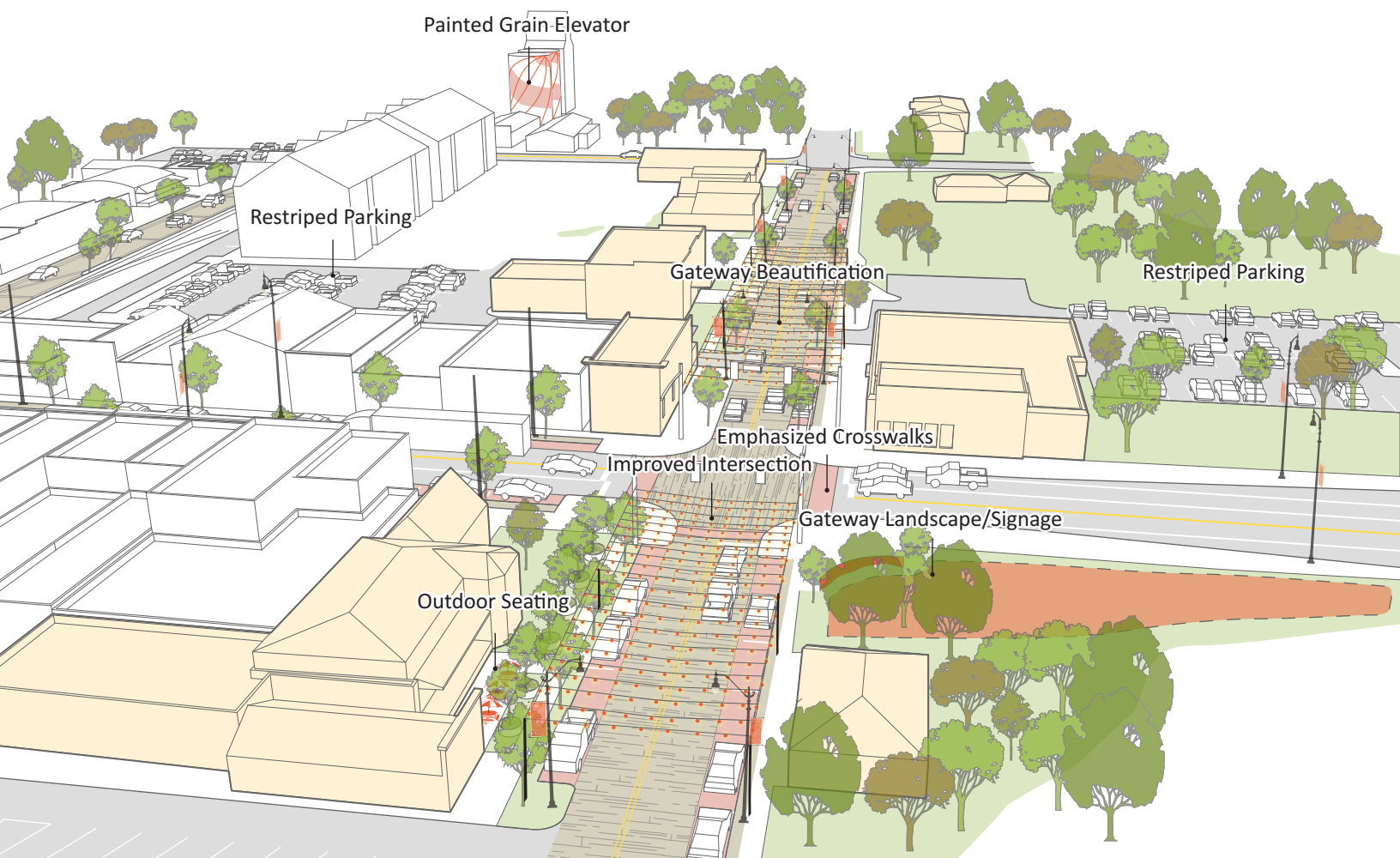
Figure 37 - Stormwater Streetscape (novitalas.com)



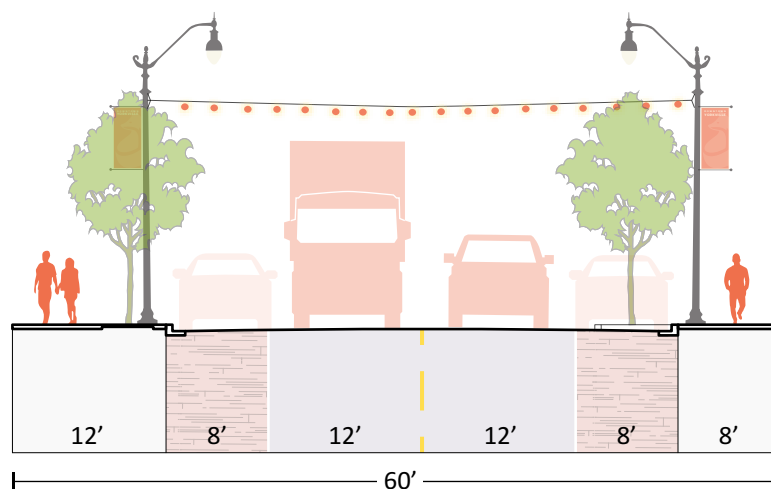
Figure 38 - Intersection Improvements (PicSnaper)



Figure 39 - Permeable Parking Pavers (Village of Shorewood)



Van Emmon Street (Long-Term)



Stormwater Bulb-Outs

Bulb-outs typically narrow roadways to direct traffic, slow speeds down, expand the sidewalk, or simply accommodate plantings. Integrating bulb-outs that also perform stormwater management functions, would be an attractive design feature along Van Emmon Street. Bulb-out curbs should be slotted, or notched with openings, to allow surface stormwater to enter and exit the planting zone of the bulb-out.



Figure 40 - Stormwater Bulb-Out (Toni Best)

Sidewalk Rain Gardens

Stormwater rain gardens could be used to improve runoff quality and provide detention for significant storm events. Like bulb-outs, they can accommodate a variety of planting types and should have inlets allowing water to flow in and out from the street. Trees and a variety of plantings that provide color and texture would add to the beautification of Van Emmon Street.



Figure 41 - Rain Garden (Vava)

Permeable Parking Pavers

Tying designs back to other streets within downtown, Van Emmon Street could feature open grid permeable pavers that both define the parking areas and increase stormwater capacity. Coordinating pavers between Van Emmon Street, Hydraulic Street, and any other location they are used in the greater downtown would support a cohesive design and branding language.



Figure 42 - Permeable Pavers (Terran Capital)

Sustainable Street Section

Van Emmon Street can represent Yorkville's demonstration of a sustainable street section. The right-of-way width provides plenty of flexibility for a two-lane street. Additionally, the asymmetrical street section that has a higher elevation on one side is an ideal candidate to display sustainable stormwater strategies.

- ❶ Slotted Curbs
- ❷ Stormwater Bulb-Out Planter
- ❸ Parallel Parking
- ❹ Rain Garden Planter
- ❺ Permeable Pavers

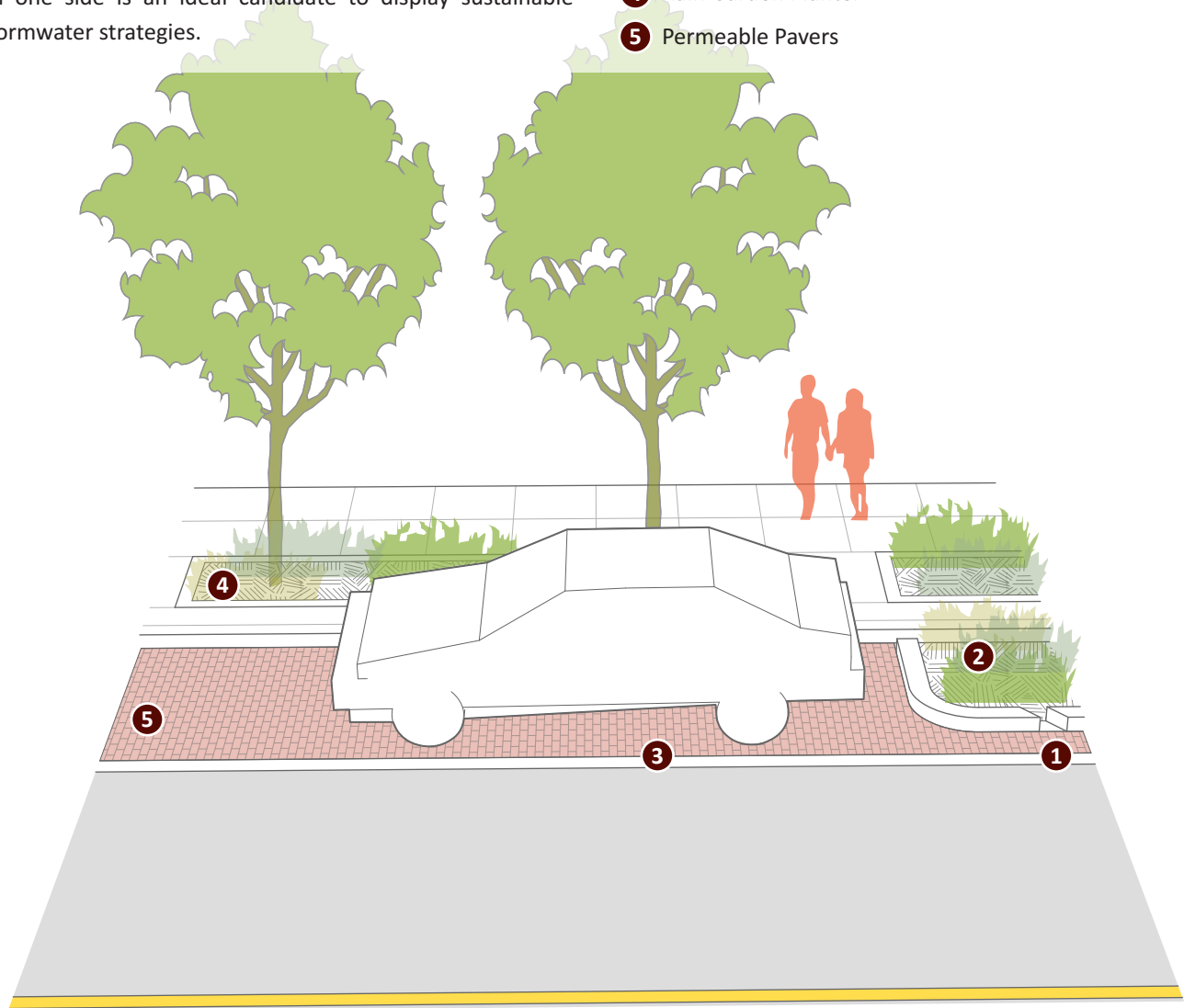


Figure 43 - Van Emmon Street Diagram (Farr Associates)

'B' Street (Existing)

Small-Town Character

One of the most charming aspects of Yorkville, is the historic, small-town character inherent in the City's streets and buildings. These streets may have narrow or no sidewalks, are often curbless, and exhibit a casual feel that may slightly change between each individual property. Many of these streets are both the front door and driveway access to homes and buildings. These types of streets that serve buildings through parking and service access are vital to the functionality of the neighborhoods.

Around downtown the north/south streets that run parallel with Bridge Street act as 'B' Streets. These streets that feature a small-town character should continue to support the downtown uses, as well as provide a framework for future development to take place.

Because future development will likely be limited, to an extent, and single-family homes exist immediately adjacent to the downtown blocks, the 'B' Streets should maintain a small-town character that aligns with many future uses but does not negatively affect existing single-family homes.



Figure 44 - View North Down Main Street (Google)



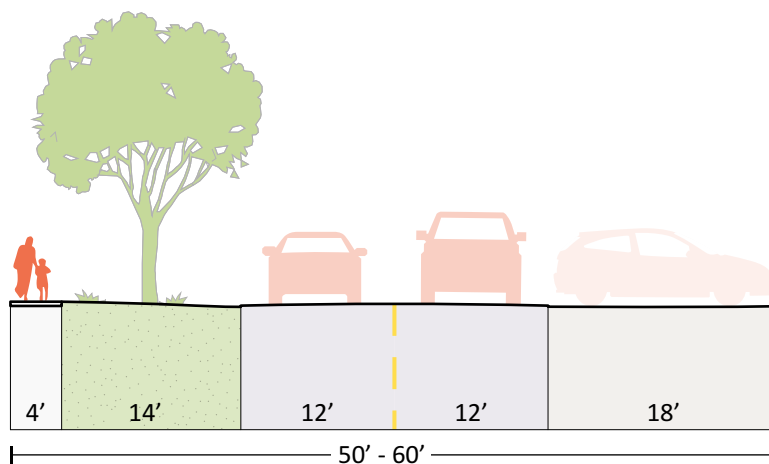
Figure 45 - View North Down Main Street (Google)



Figure 46 - View North Down Main Street (Google)



'B' Street (Existing)



'B' Street (Near-Term)

Tactical Interventions

The 'B' Streets should be less of an investment priority. They receive less of the pedestrian and vehicular traffic compared to Bridge Street, Hydraulic Street, and Van Emmon Street. It is important that they play a supporting role, but resource allocation should be minimal.

Ensuring sidewalk continuity and basic maintenance should be the City's top priority. Having overgrown landscape shoulders, missing and poorly maintained portions of the sidewalks, and poor road surfacing are examples of issues that should be addressed. Downtown's 'B' Streets should be eligible for resurfacing and landscape maintenance.

One unique aspect of downtown's 'B' Streets, which primarily run north/south, is how they terminate into the Fox River. Each of these moments where drivers and pedestrians can look down the street and have a visual connection to the river is an opportunity that should be taken advantage of by implementing such measures as prohibiting parking, providing an active or focal point of interest, and trimming back overgrown vegetation to reveal the water.

- ① Added Crosswalks Towards River
- ② Roadside Swale Improvements
- ③ Additional Street Trees
- ④ River Access Signage
- ⑤ Public Art/Sculpture at Main Street Terminus
- ⑥ Trim Vegetation for View Towards Water



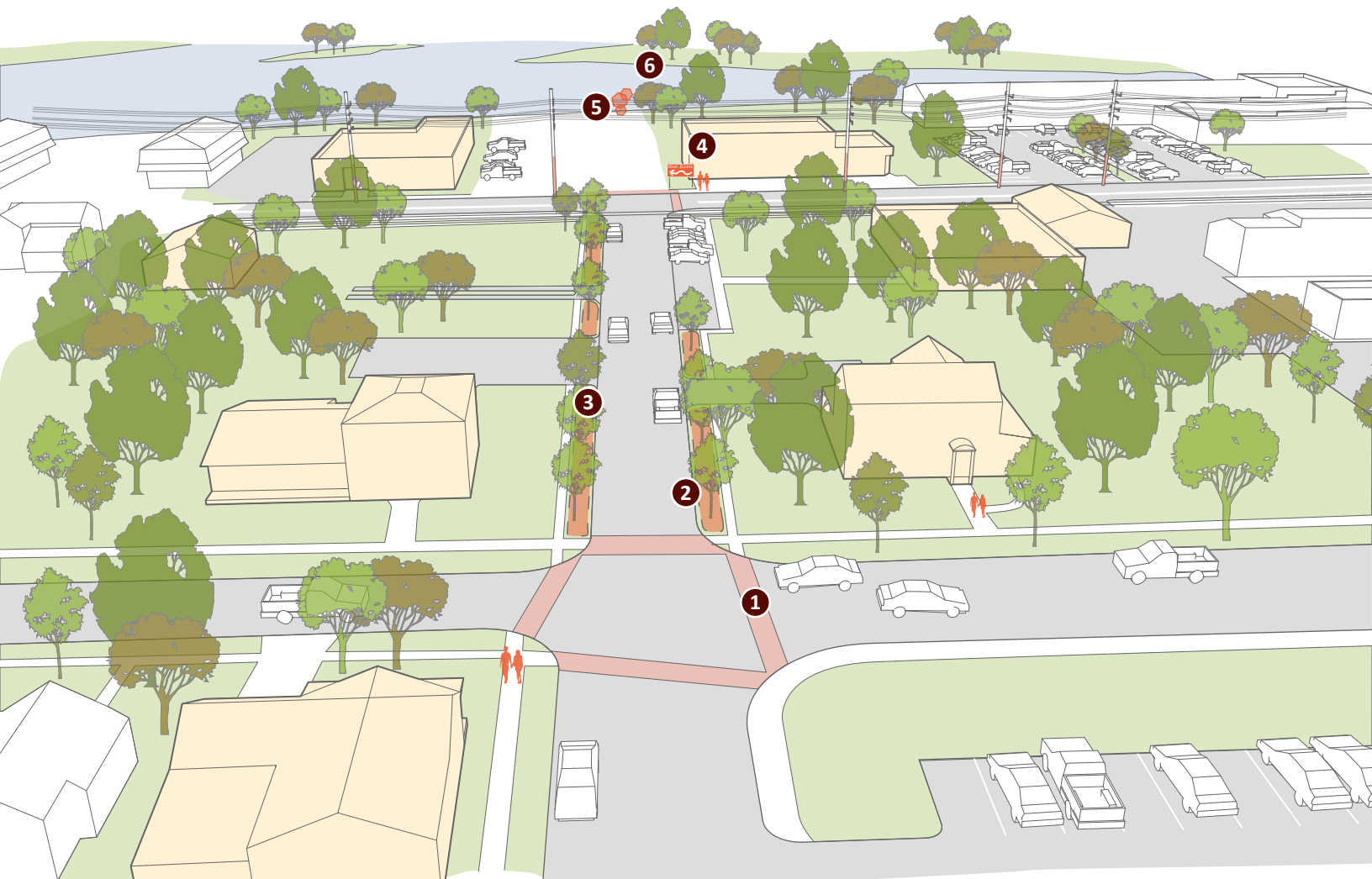
Figure 47 - River Access Signage (Google)



Figure 48 - Road Resurfacing (Decatur Daily)



Figure 49 - View Towards Water (Google)



'B' Street (Near-Term)

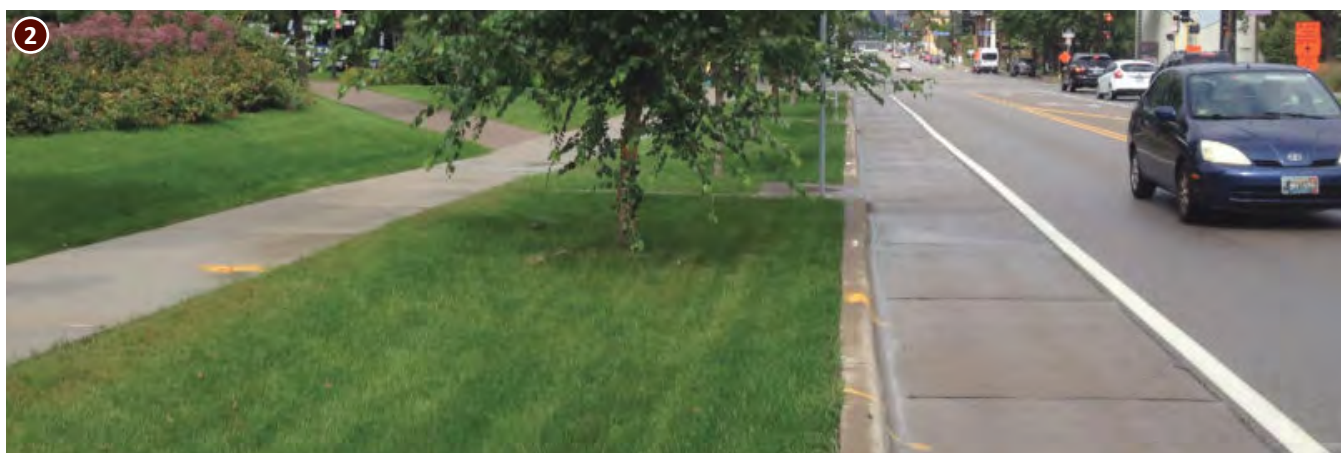


Figure 50 - Basic Roadside Swale (NACTO)

'B' Street (Long-Term)

Redefining Small Town Streets

As streets are rebuilt to support a changing downtown, it will remain important to minimize impact on the pleasant, historic character of the surrounding neighborhood. Careful design consideration to not over-correct the 'B' Streets should be maintained. Community members have expressed how they value the small-town character that brought many of them to Yorkville, or kept them there, in the first place.

Roadside swales can be used to both direct and detain stormwater. Plantings can include a mixture of City contributions and resident contributions. This will allow the property owner to make some customizations to the extension of their front lawn. For example, small wooden bridges might connect the street with the sidewalk to their front door. These small customizations add to the character that already exists.

Small details can make these streets more attractive, such as having a curbless intersection that allows stormwater runoff to enter the roadside swales. The edge of the street pavement can be a gravel transition that delineates between travel lane and shoulder. Trees could be planted irregularly or even provided by the property owners from an approved landscape palette. Sidewalks should be narrow, but continuous to have minimal impact while providing maximum connectivity.



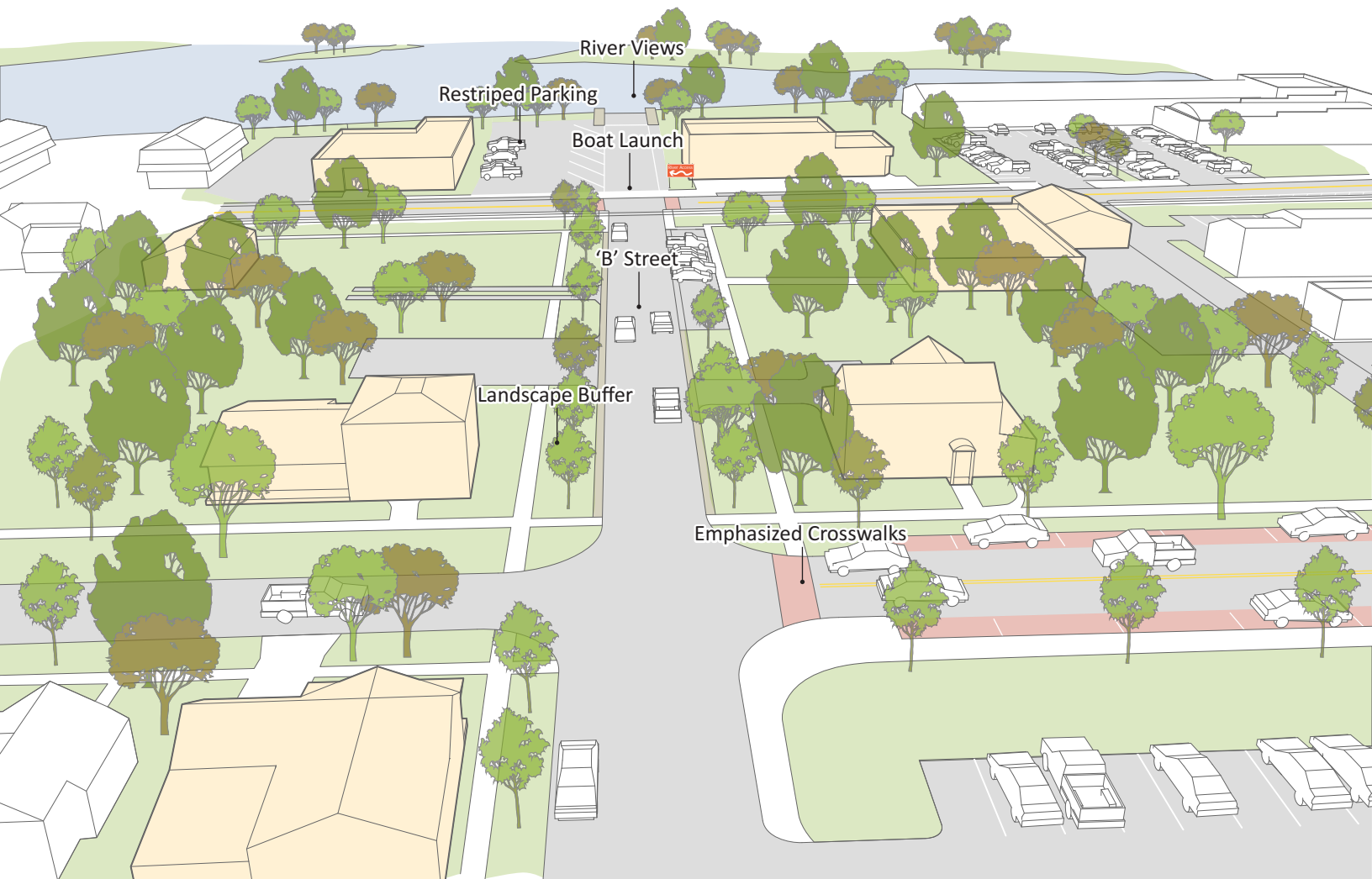
Figure 51 - Roadside Swale (Green Infrastructure Digest)



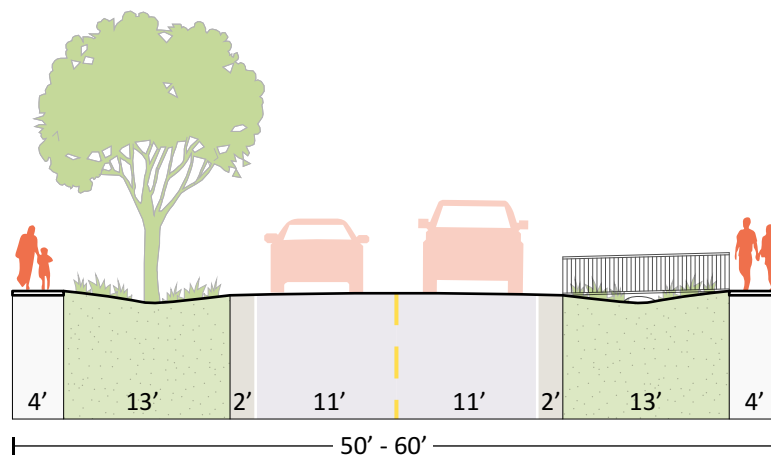
Figure 52 - Roadside Swale (Mithun)



Figure 53 - Roadside Swale (IPFS)



'B' Street (Long-Term)



Gravel Street Apron

Curbless streets often become unkempt with grass, weeds, and dirt loosely defining the edge between roadway and shoulder. To maintain visual tidiness, an 18" - 24" gravel edge may be used to transition from roadway to landscape. This can be maintained more easily and provides clear delineation of the roadway and amenity zone.

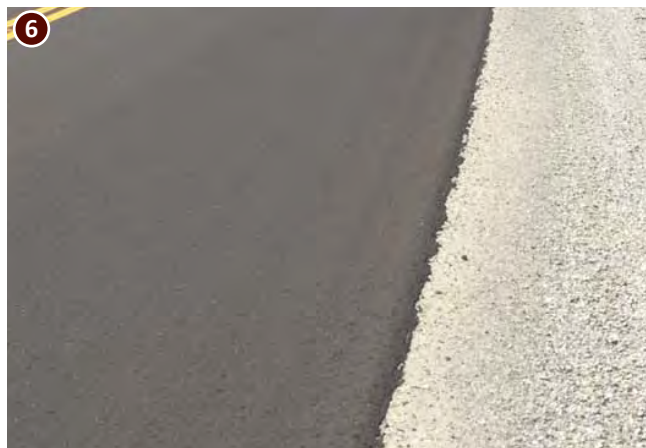


Figure 54 - Gravel Street Apron (OttawaVeloOutaouais)

Roadside Swales

Fitting with the character, roadside swales are often seen along rural or small-town streets or highways. They can take many forms and be aesthetically pleasing or simply utilitarian. They help detain and direct stormwater runoff from the roadway and provide a layer of buffer between sidewalk and street. Swales can be personalized by adjacent property owners or fully planted and maintained by the City.



Figure 55 - Personalized Swale (City of Seattle)

Over-Swale Pedestrian Bridges

Small pedestrian bridges can connect the street to sidewalk at each property. Each can take on a slightly different design language or be required to adhere to set design guidelines. These bridges could be a unique contribution to a 'B' Street that features minimal design qualities.

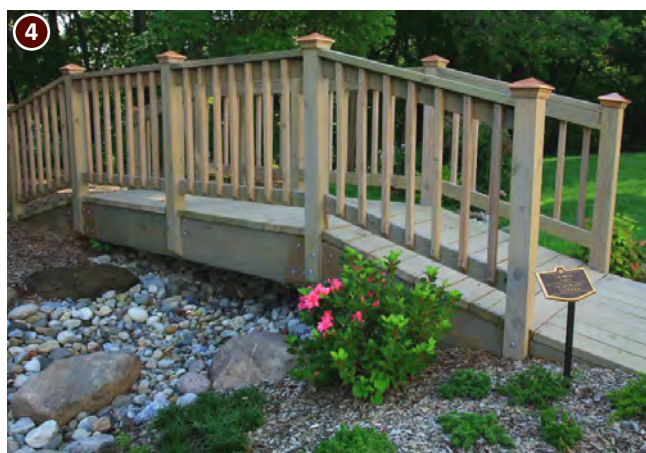


Figure 56 - Bridge Over Swale (Chesapeake Dock)

Maintaining Small Town Charm

Each component from curbless street, to swale, to narrow residential sidewalk works together to maintain a small town feel. No improvements should look over-engineered or oversized on Yorkville's quaint neighborhood streets. These 'B' Streets should feel like a place where kids can play in the street and parents can take a quiet nighttime stroll.

- ❶ Resurfaced Travel Lane
- ❷ Flood Tolerant Street Trees
- ❸ Continuous Swale Along N/S Streets
- ❹ Bridge Over Swale
- ❺ Private Property
- ❻ Gravel Transition Apron/Edge

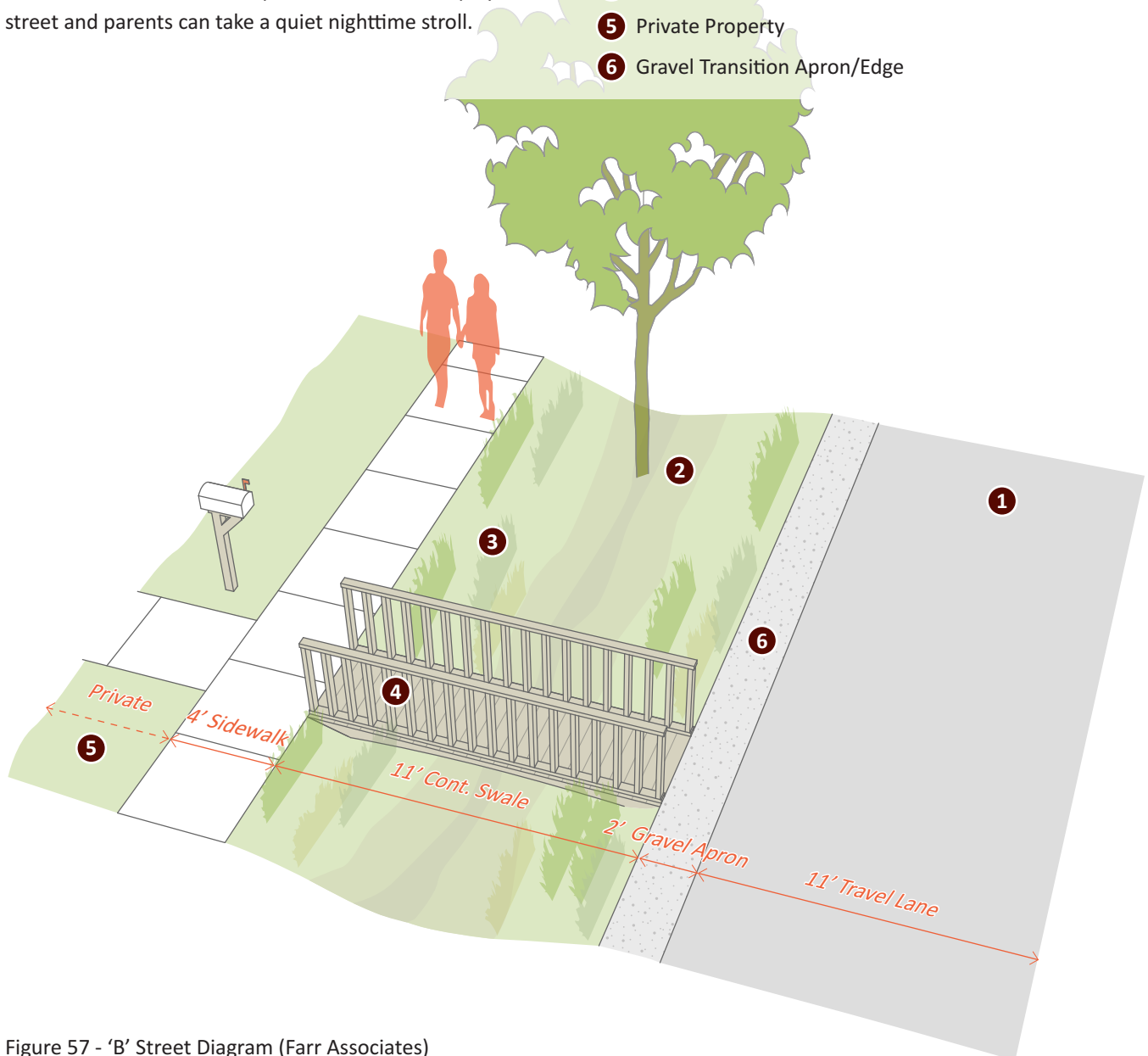


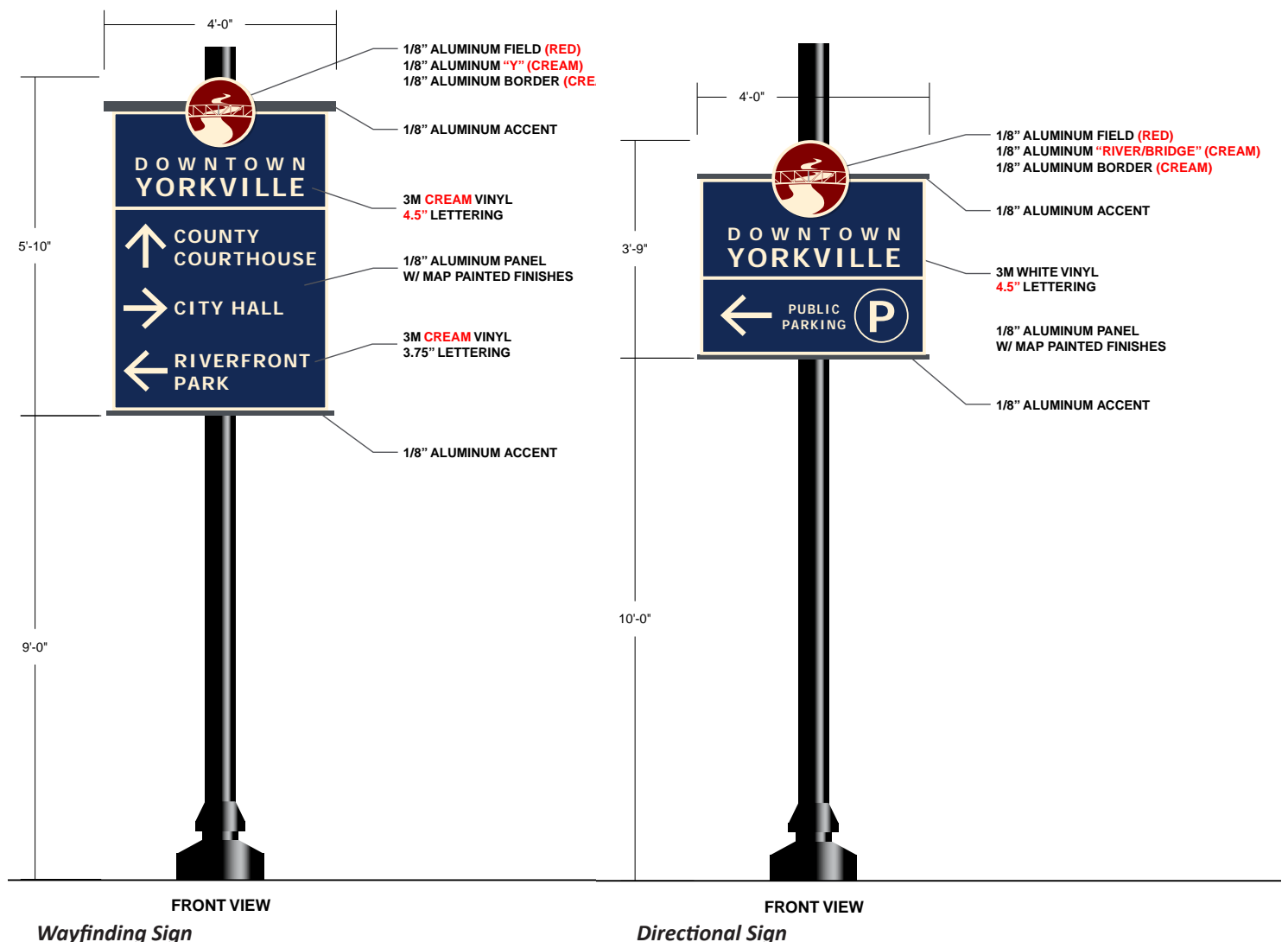
Figure 57 - 'B' Street Diagram (Farr Associates)

Downtown Signage and Wayfinding

Cohesive Downtown Signage

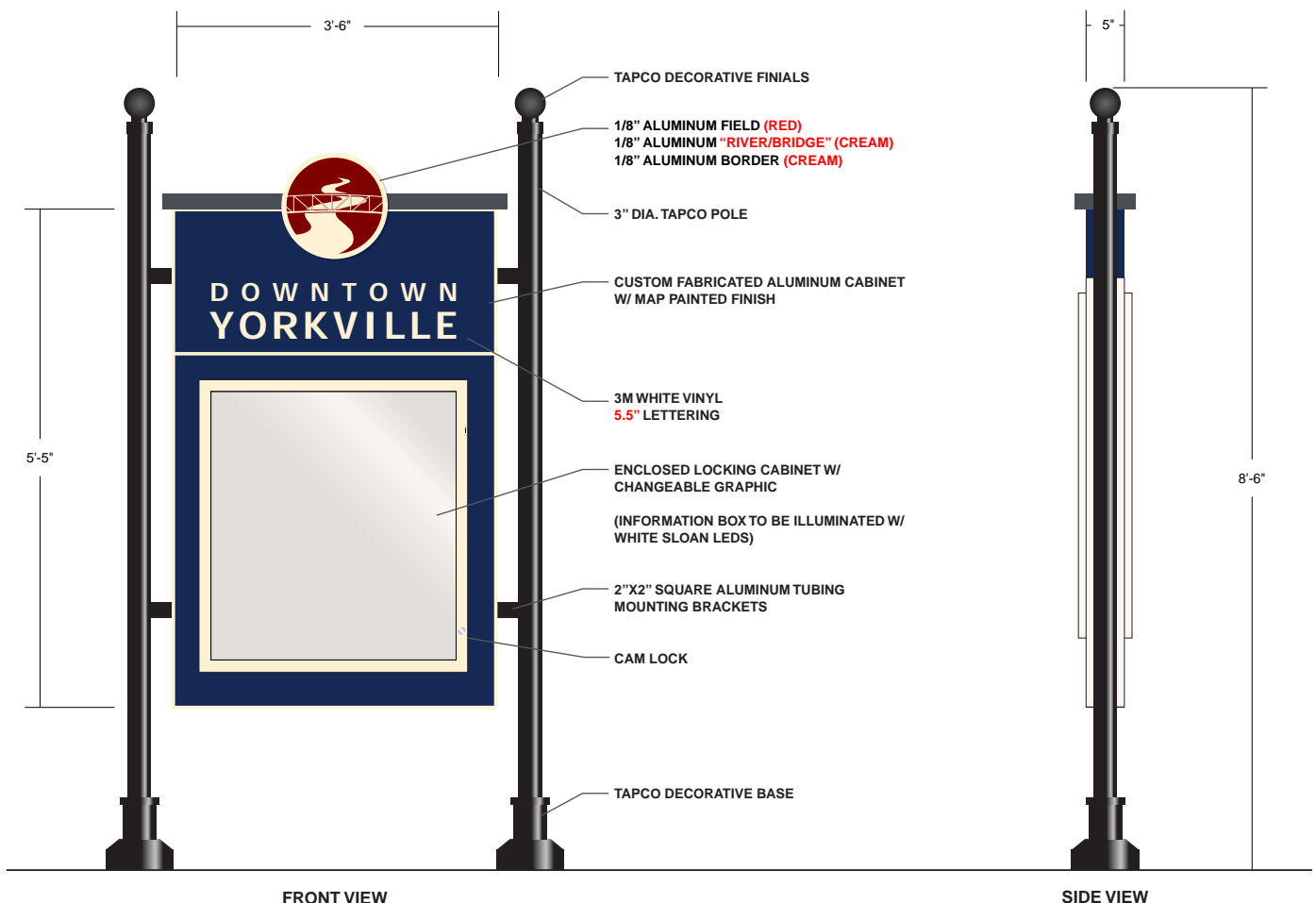
Effectively navigating downtown is one of the major elements to be improved. For example, there is currently sufficient parking to accommodate patrons of the downtown uses; however, that parking is dispersed unevenly throughout downtown and is difficult to locate unless you are familiar with the area. Situations, such as no left turns allowed at the Bridge Street and Hydraulic Street intersection, make it difficult to navigate if a turn is missed and an opportunity to redirect is not obvious.

One way to help alleviate this problem is through providing downtown signage. This signage can make a statement and solidify a cohesive brand and image for the area as a whole. From signage to banners or emblems, consistent, beautiful signage shows visitors that the city cares about providing an inviting user experience.





Seasonal Banners



Information Kiosk

Downtown Wayfinding

Starting with three different wayfinding sign types: (1) an informational kiosk; (2) pole mounted directional signage; and (3) branded wayfinding signage; Yorkville can make a near-term impact on how users navigate the area.

Informational kiosks can house either rotating or stationary content, such as maps, historic markers, or recreational programming. Maps can help pedestrians identify where they are in relation to other nearby destinations and help them discover new places to explore. These kiosks will be sidewalk mounted and cater to the pedestrian over vehicles.

Directional signage is most effectively mounted on the existing light poles in locations that help drivers know when to turn for parking or riverfront access. The directional signage should have a specific purpose of getting someone from point A to point B. Though these signs should be pole mounted and high enough to be visible for passing cars, they should also be easily visible to pedestrians.

As with each type of sign, wayfinding signage should be both branded and informative, letting users know that they are located in the proper area or neighborhood and provide markers for points of interest. Points of interest within downtown Yorkville may include specific restaurants, the historic Kendall County Courthouse, County offices, Bicentennial Riverfront Park, and public parking lots.



Figure 58 - Informational Kiosk (Trans Associates)



Figure 59 - Directional Signage (Flickr)



Figure 60 - Branded Wayfinding Signage (Google)



Downtown Signage



Lighting Strategies

Implement Lighting Best Practices

Lighting is a key component of walkability, as it lends itself to creating a more safe environment for pedestrians. There are several streets where street lighting exists, but the lighting is inconsistent and is not always human-scaled. Lighting in the downtown can serve multiple functions, including branding the area, creating more vibrancy, and increasing safe conditions for residents and visitors. The increase and consistency of lighting gives people a sense of street character and trust of what is to come, and encourages walking and biking.

Nancy Clanton of Clanton & Associates has provided lighting best-practices for municipalities by creating some “dos and don’ts” for street and facade lighting. In general, well-designed lighting strategies should not only light the area, but take into account all view angles while creating a beautiful ambiance without glare and annoyance. The list on page 45 expands on Nancy Clanton’s strategies.

High color temperature (CCT) light sources have the highest concentration of blue light. Many municipalities are limiting the CCT of their street and pedestrian lighting to 3000K or less which is similar to the color of the setting sun. Dimming or turning off lighting is another strategy to reduce over-lighting an area.

Ideally, light sources should change color over the course of the evening and into the late night. Blue light will enhance visibility during the rush hour, but as vehicular and pedestrian traffic decreases at night, the spectrum can minimize blue light and switch to the red range.



Figure 61 - Street Lighting “Do” (American City and County)



Figure 62 - Building Lighting “Do” (Houzz)



Figure 63 - Public Space Lighting “Do” (Google)



Figure 64 - Street Lighting “Don’t” (Farr Associates)

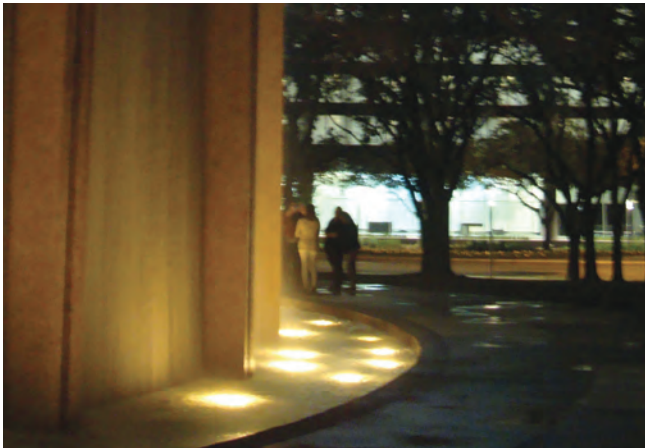


Figure 65 - Building Lighting “Don’t” (Farr Associates)



Figure 66 - Public Space Lighting “Don’t” (Google)

Lighting “Dos”

Street Lighting

- Light sidewalks and streets appropriately for the neighborhood and explicitly where needed
- Use low-glare streetlights
- Minimize uplight of all kinds (cobra lights, etc.)

Building Lighting

- Mount light at the top of facades and aim inward
- Emphasize architectural features such as columns and arches using beam distributions
- Use warm-colored, dim light

Public Space Lighting

- Define the space with lighting of a consistent type and brightness
- Dimly light the features where people gather: seating areas, outdoor dining, public parks and plazas

Lighting “Don’ts”

Street Lighting

- Use streetlights to light yards and private property
- Overlight
- Use high-glare streetlights

Building Lighting

- Aim across a visual path with a floodlight
- Aim up a façade
- Overlight
- Select glaring luminaries

Public Space Lighting

- Light individual elements unless they are features
- Flood the public space with heavy lighting
- Appear messy and unorganized
- Include multiple types of lighting accomplishing the same goal

Stormwater Management

Green Infrastructure

It is widely understood that stormwater runoff from roofs, pavement, and other urban surfaces are contributing to water body degradation and flooding. Minimizing this impact, particularly in urban contexts, is often difficult because of the amount of land dedicated to dense buildings, supportive surface parking lots, and wide streets with generous sidewalks; however, there are strategies to accommodate both the urban and green infrastructure solutions.

Yorkville has been a settlement for a long time - even longer than many other cities and villages in the greater Chicago area. The Fox River was the main reason for locating Yorkville where it is today, so taking measures to preserve the water quality, beauty, and function of the river should be a priority. The City has old stormwater infrastructure, so removing some of the burden would help to lengthen its useful life. As capital improvements occur, there is an opportunity to do two things: 1) updated the stormwater infrastructure and 2) construct green infrastructure in the public rights-of-way to reduce potential negative impacts of storm surges and surface runoff degradation the Fox River. Strategies such as rain gardens, bioswales on the sloped streets, or even green roofs could all contribute to beauty and utility.

Signage Encouraging Awareness

Green infrastructure is not familiar to everyone, so these can be excellent educational opportunities for the public. Signage and story-telling of why the City is placing rain gardens next to sidewalks and bioswales cascading down slopes could encourage residents to invest in doing the same on their properties. Additionally, the City could incentivize rain gardens or rain water cisterns for private residences to minimize negative impacts on natural resources and reduce flooding.



Figure 67 - Residential Rain Garden (Metro Blooms)



Figure 68 - Rain Garden Off Curbless Street (Prairie Rivers)



Figure 69 - Rain Garden Signage (City of Springfield, MO)



Figure 70 - Pervious Pavers (Techniseal)



Figure 71 - Pervious Pavers (MWMO)



Figure 72 - Paver Laying Machine (Detroit News)

Pervious Pavement

Permeable paving products, such as porous asphalt and concrete, as well as permeable pavers allow water to pass through the surface and into a stone storage layer below.

The water stored in the stone layer either infiltrates into the soil below or is slowly released to a sewer or other drainage system to reduce stormwater runoff volumes and rates. Sediment, metals, and organic compounds are filtered and/or biologically treated as the runoff moves through and is stored in the system.

Properly designed permeable paving systems are applicable to both pedestrian and vehicular areas. Permeable paving should be avoided in the through lanes of high traffic areas (such as County and State highway routes) and areas of high sediment or other pollutant loading that could clog the system or overwhelm the system's ability to treat typical urban runoff pollutants.

Ideal locations for pervious pavement might be Hydraulic Street, parallel parking lanes, mid-block alleys, and surface parking lots.

Installing Pervious Pavers

Pavers appear laborious to lay down in large quantities, such as a street or sidewalk; however, technology advancements have bred paver laying machines that lay down entire swaths of pavers in one motion. This drastically minimizes installation times, but still provides that hand-laid, classic look that is often loved for its character. Pavers can be cost competitive to concrete, because of the external impact it has on sizing stormwater infrastructure systems.

Public Art and Sculpture

The Role of Public Art

Yorkville's current downtown does not compete well with some of the loved downtowns nearby, such as Oswego and Plainfield; however, it should not need to directly compete. Yorkville can distinguish itself with its own identity and unique character as a community. There are few better ways to do this than through public art.

First and foremost, public art is free. Anyone can experience and enjoy it. It also adds a layer of uniqueness when so many downtowns attempt to emulate each other and therefore lose some of their authenticity. There are plenty of opportunities for public art, from blank walls on the sides of buildings, to vacant parcels and parking lots, and even the grain elevator. Each can become a canvas for community expression.

The City should seek to commission works in addition to allowing community members to contribute pieces to the collection through interactive events for residents of all ages. When everyone can get involved, there is more of a sense of ownership over the end product. Public art is a medium to show visitors what Yorkville is all about.

Make it Interactive!

Not only can art be something to experience visually, but it can also be interactive. This can be done through sculptures that encourage climbing or provide a backdrop for a photograph. Art can cater to children and adults alike and should remain informal enough to fit into Yorkville's beloved small-town character.



Figure 73 - Wall Mural on Blank Wall (City of Missouri City)



Figure 74 - Interactive Sculpture (ISU College of Design)



Figure 75 - Temporary Installation (Playscapes)



Potential Public Art Locations

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Appendix

Supplemental Content

Context Scale Analysis Mapping	p. 52
Site Scale Analysis Mapping	p. 60
Website Survey Results	p. 68

Downtown Overlay

Context Scale

Downtown Overlay District

The Downtown Overlay District context scale includes both the defined downtown from the 2016 Comprehensive Plan and the immediate surrounding areas, which includes the north banks of the Fox River. The following series of analysis maps reveals that downtown Yorkville has a variety of commercial, industrial, and public land uses surrounded by primarily lower density single-family housing. The underlying zoning allows for a more intense development pattern than currently exists; therefore, downtown has potential to densify and redevelop to more intense land uses. With relatively high traffic counts along Bridge Street, downtown experiences crosstown traffic that makes it visible and accessible by pedestrians and vehicles, and it could take advantage of higher traffic through non-residential uses.

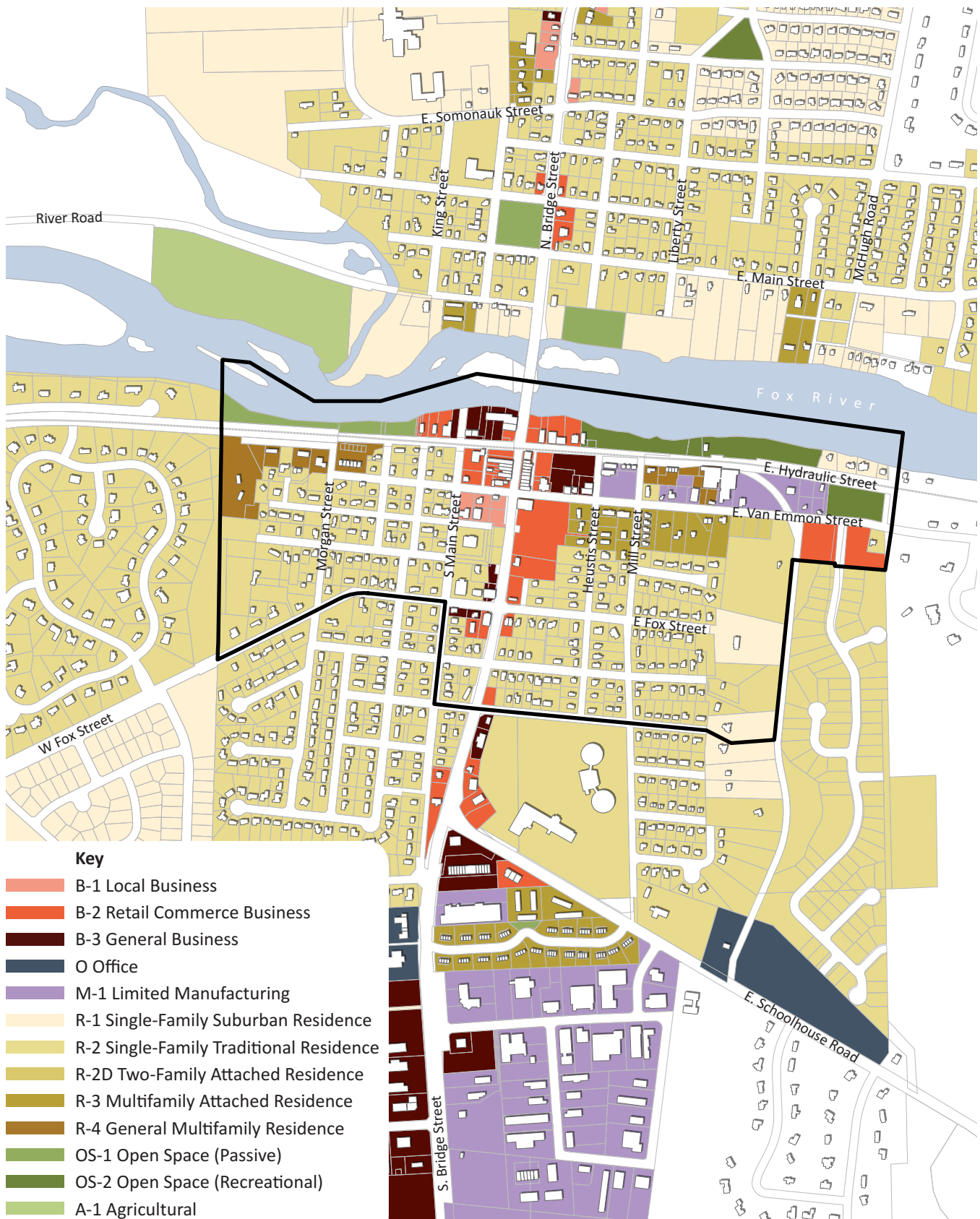
A TIF 1 and 2 are current and future strategies that seek to encourage reinvestment in the downtown. Though the TIF boundaries are not consistent with the downtown boundary defined in the map, it does include much of the downtown land and parcels along the Fox River. Parcels along the Fox River may be the most attractive to investors because of the views towards the river and access to recreation.

Investment in public space along the river has helped provide a destination for visitors and residents alike. Additionally, recreational bicycle facilities, trails, and connections to the greater trail system offer opportunities to improve quality of life and may become a catalyst for future real estate investment.



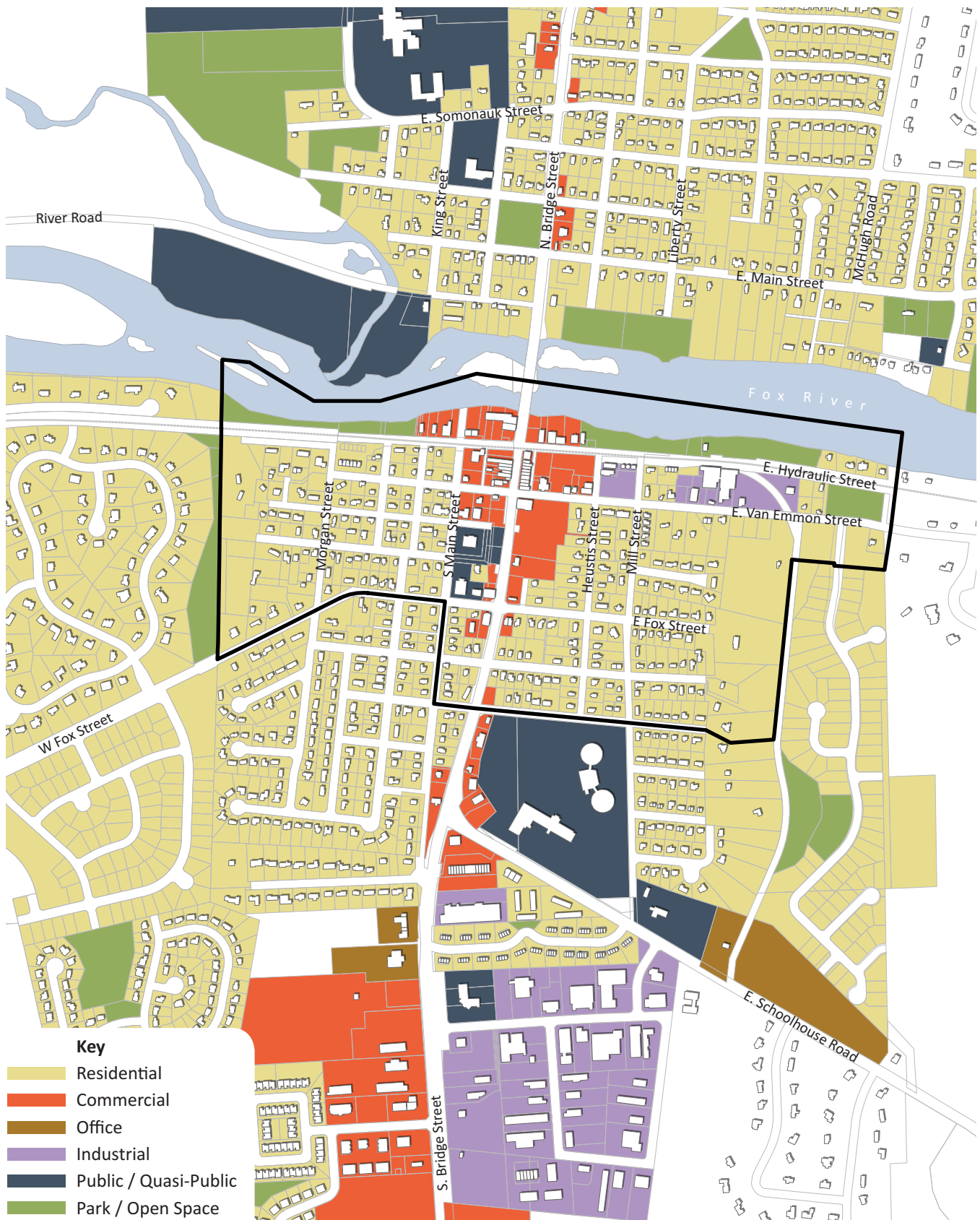
Area Scale Map (Aerial)



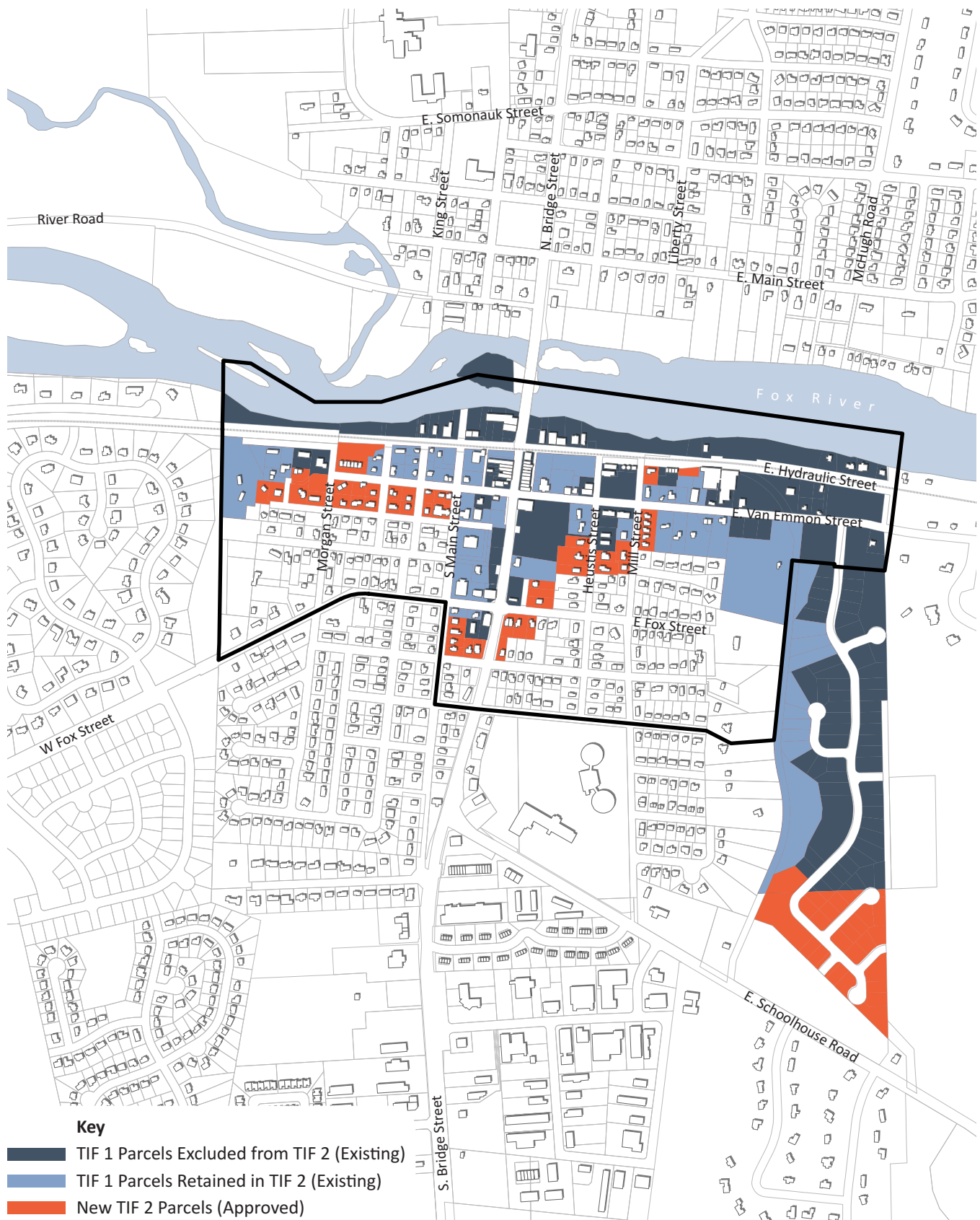


Existing Zoning Classifications



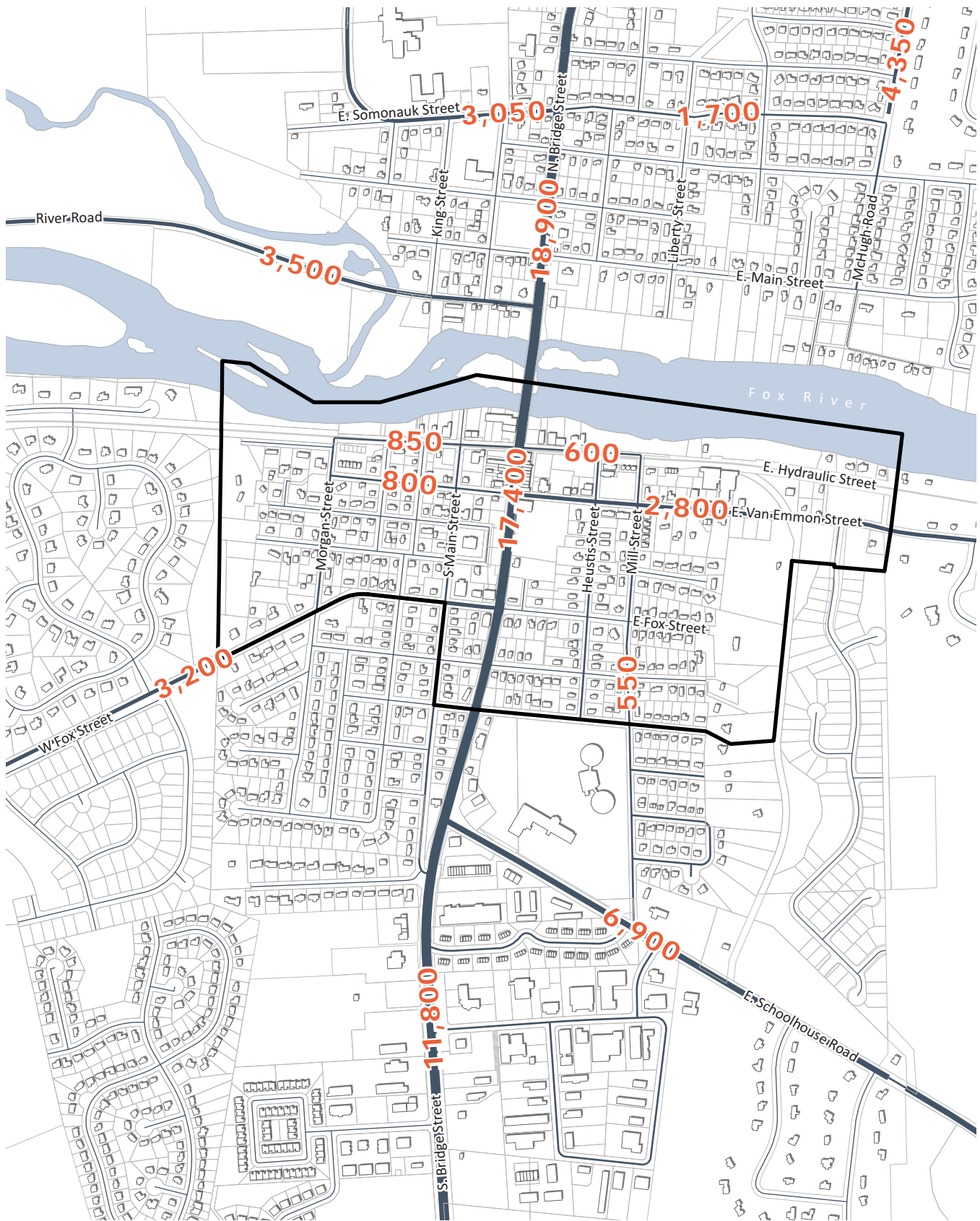


Existing Land Uses



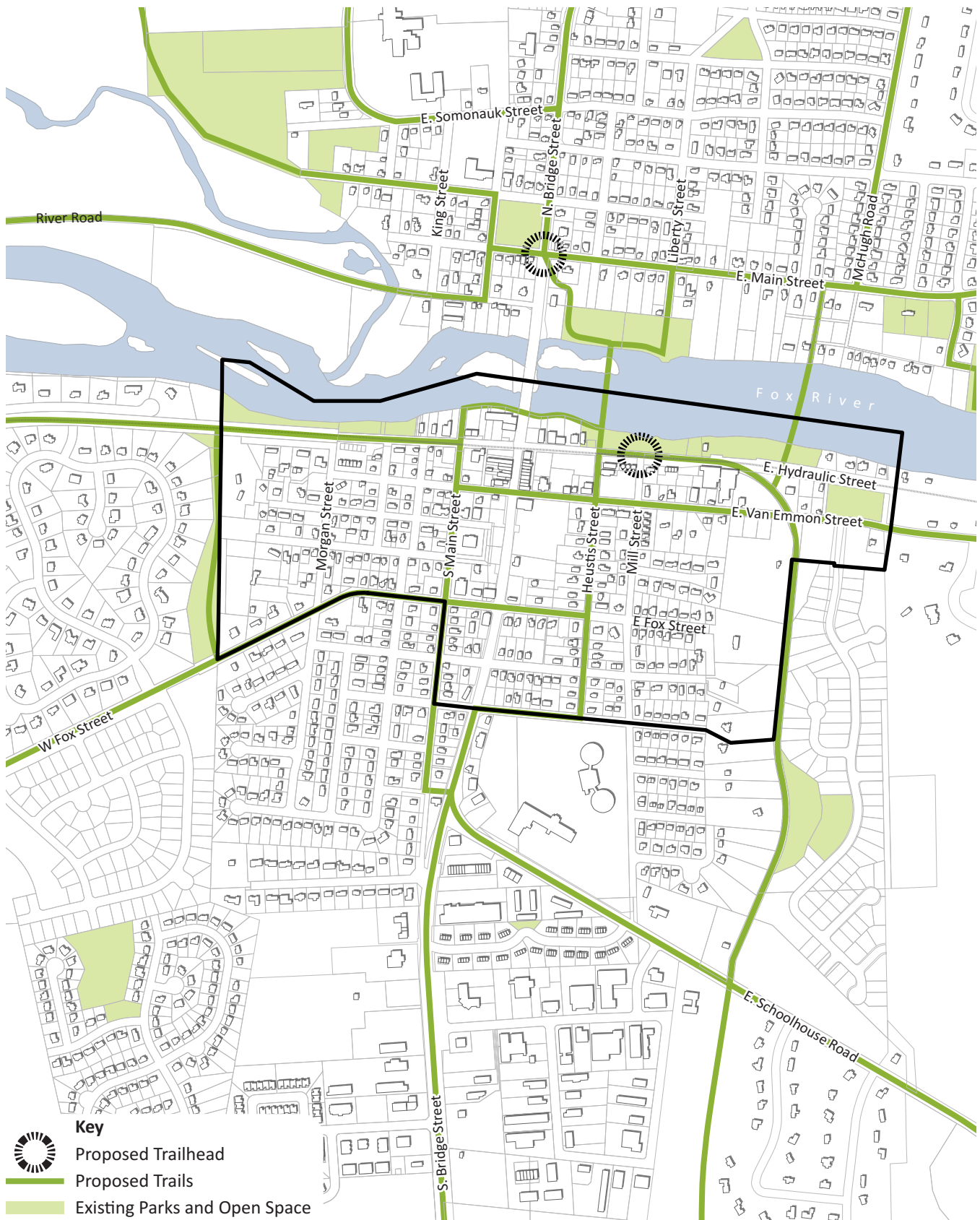
Existing TIF Boundaries



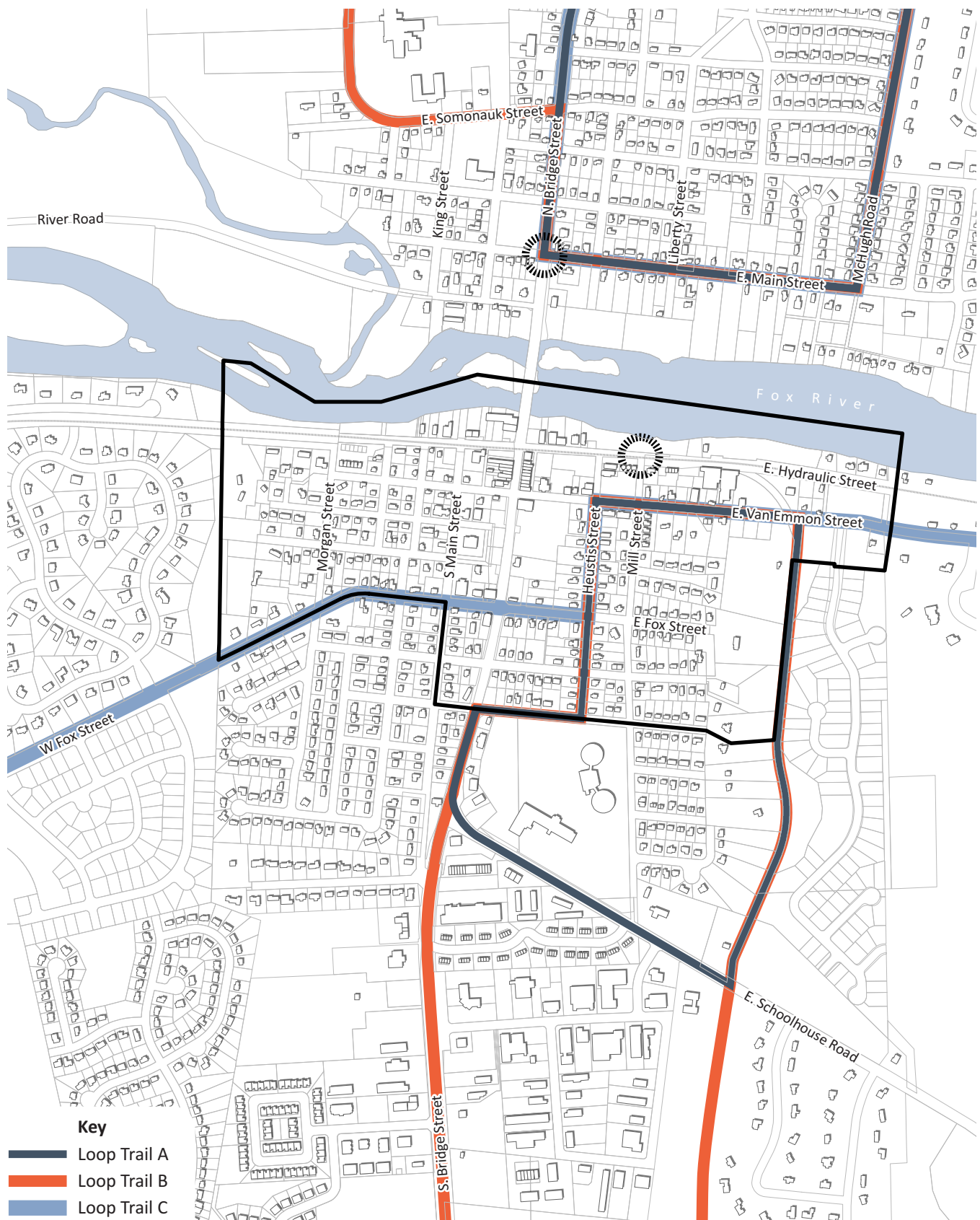


Average Annual Daily Traffic (AADT)





Parks and Proposed Trail Network



Proposed Loop Trail System

Downtown Overlay

Site Scale

Downtown Overlay District

The Downtown Overlay District site scale includes most of the downtown as defined in the 2016 Comprehensive Plan, as well as the immediate areas to the north and south. The following series of analysis maps illustrates that downtown Yorkville features a walkable grid; however, certain factors are minimizing its effectiveness. Notable contributing factors include segments of non-continuous sidewalks, primary building entries being oriented towards parking lots, and blocks that feature highly visible surface parking.

The primary stretch of downtown is defined by buildings that are built to the sidewalk in a continuous row along Bridge Street; however, Bridge Street's priority as a truck route has added to an anti-pedestrian feel. With only a small stretch of downtown being defined by urban building types, walkability is limited.

There are few buildings taller than two-stories, which reduces visual cues that downtown Yorkville is in fact a downtown. Some exceptions to this include the historic courthouse and grain elevator, which provide a unique sense of place. Large, vacant, or underutilized parcels are ripe for redevelopment and, with generous underlying zoning, should be attractive investments with modified guidelines.



Area Scale Map (Aerial)



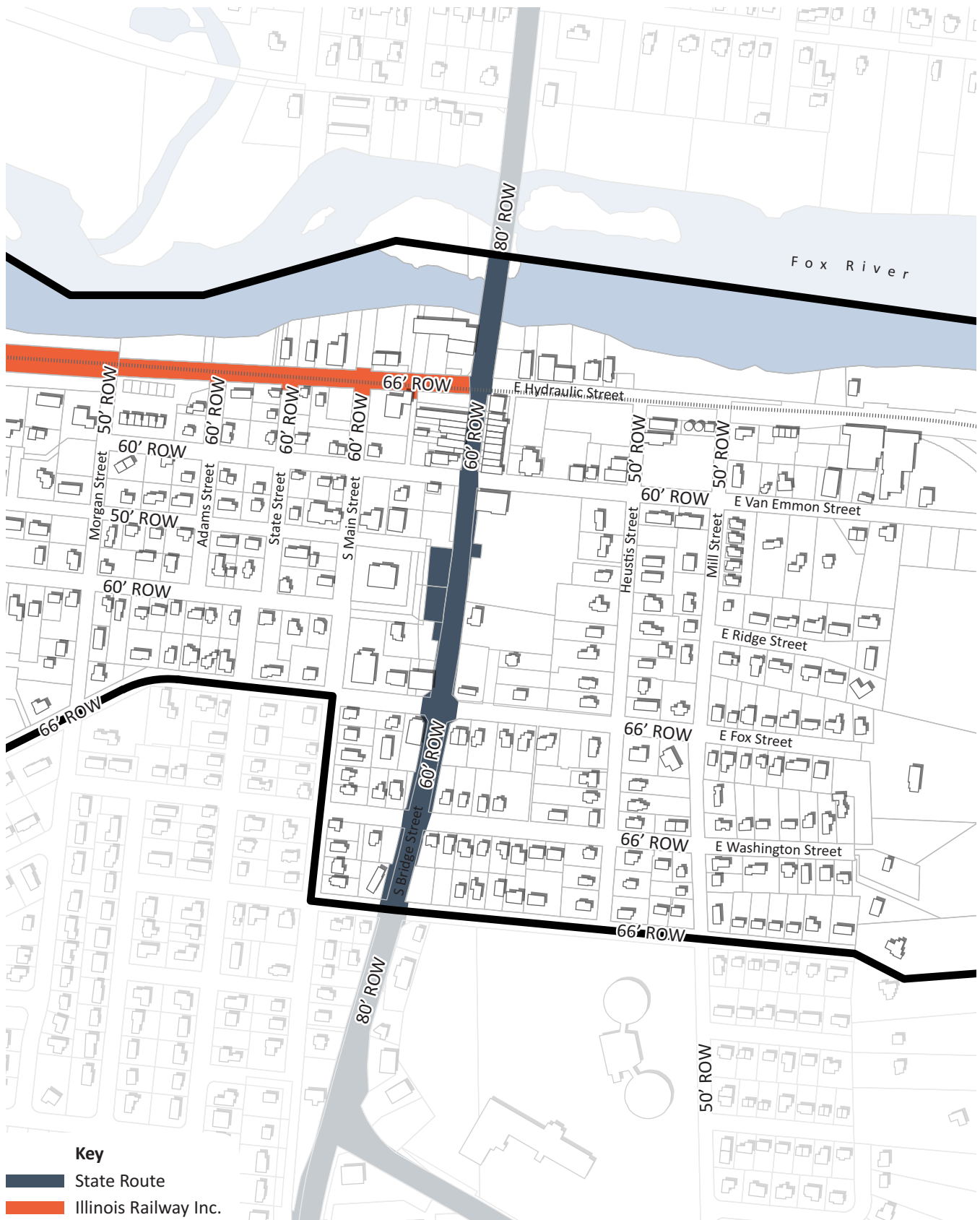




Commercial Buildings & Frontages

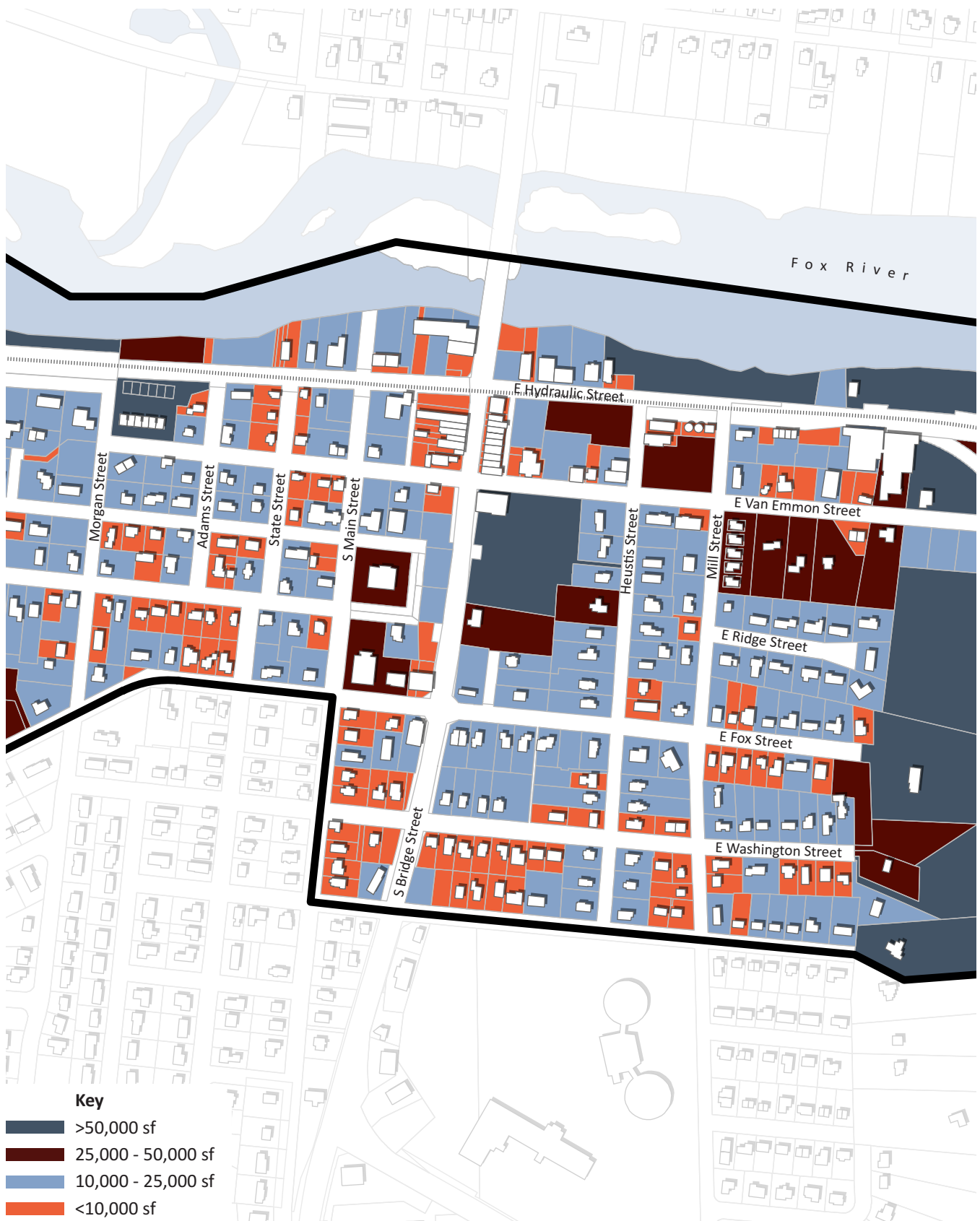


Existing Sidewalks



ROW Width and Ownership





Parcel Area



Building Heights



Website Survey Results

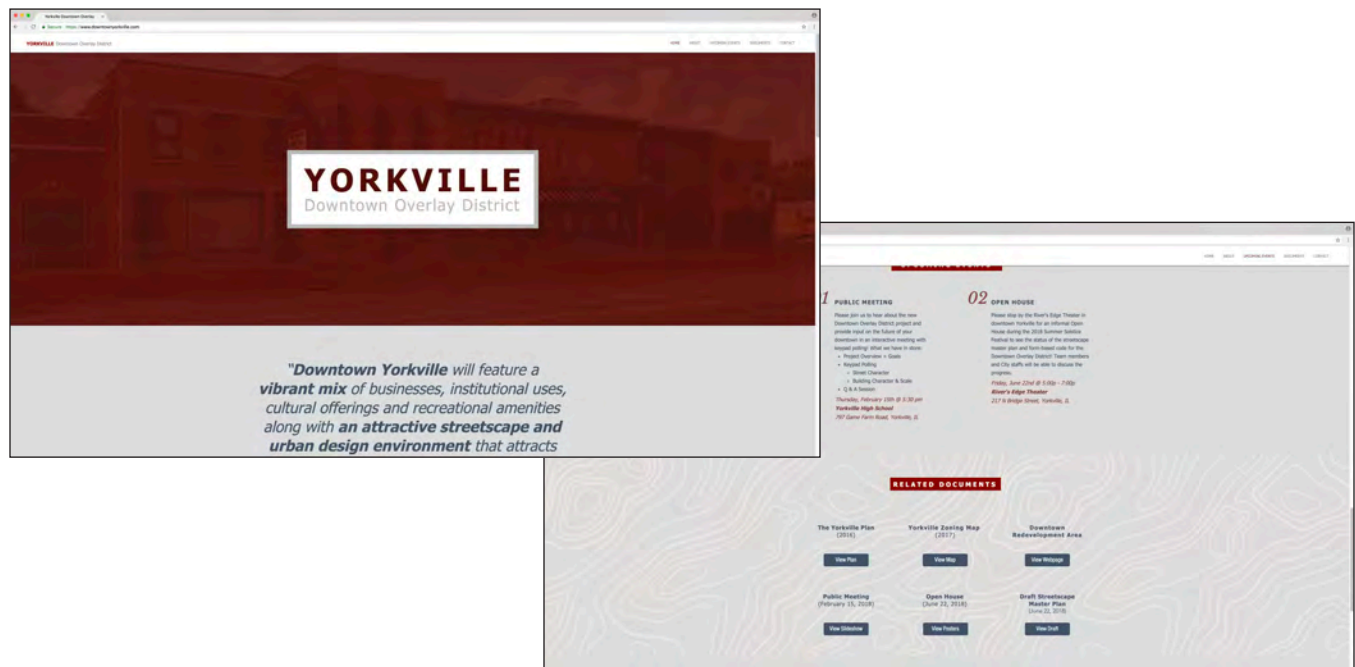
www.downtownyorkville.com/

The Yorkville Downtown Overlay District website survey was posted between February 19, 2018, and March 12, 2018. The survey gathered **473 responses**. The survey participants were concentrated in the 18 - 49 years old range. Key takeaways from the online survey include:

- A faster actual driving speed on Bridge Street is revealed
- People seem to feel safer than expected walking along Bridge Street; however, online comments conflict
- There is a perceived or real lack of parking
- Bridge Street is clearly important from a downtown image standpoint
- All gateway elements seem popular; however, the overhead lights are leading
- Bridge Street, Hydraulic Street, and Van Emmon Street are the focus
- The form-based code should not regulate architectural

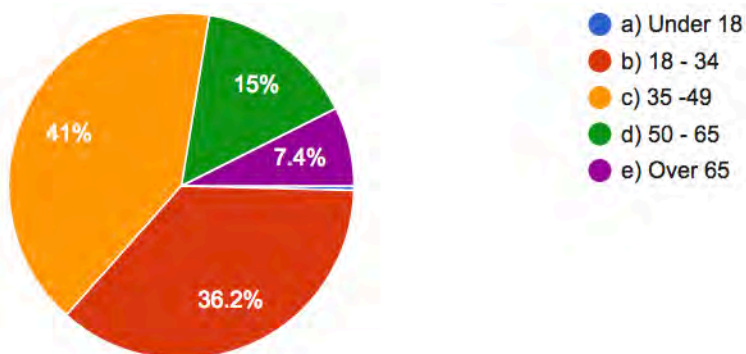
style to leave flexibility

- The “step back” question was difficult to comprehend in the survey format
- The front of Bridge Street needs a makeover



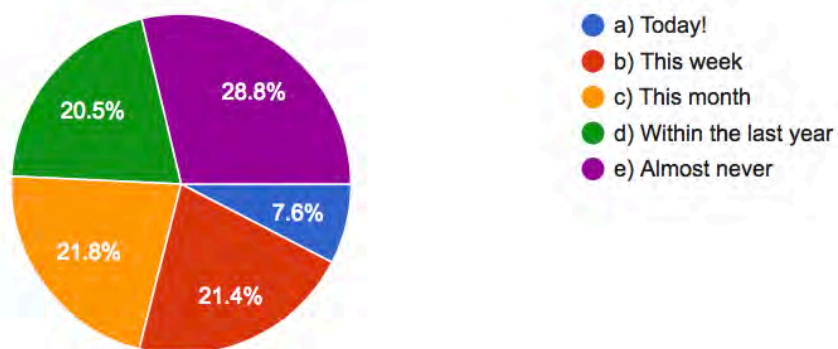
Question 1

Which is our age group?



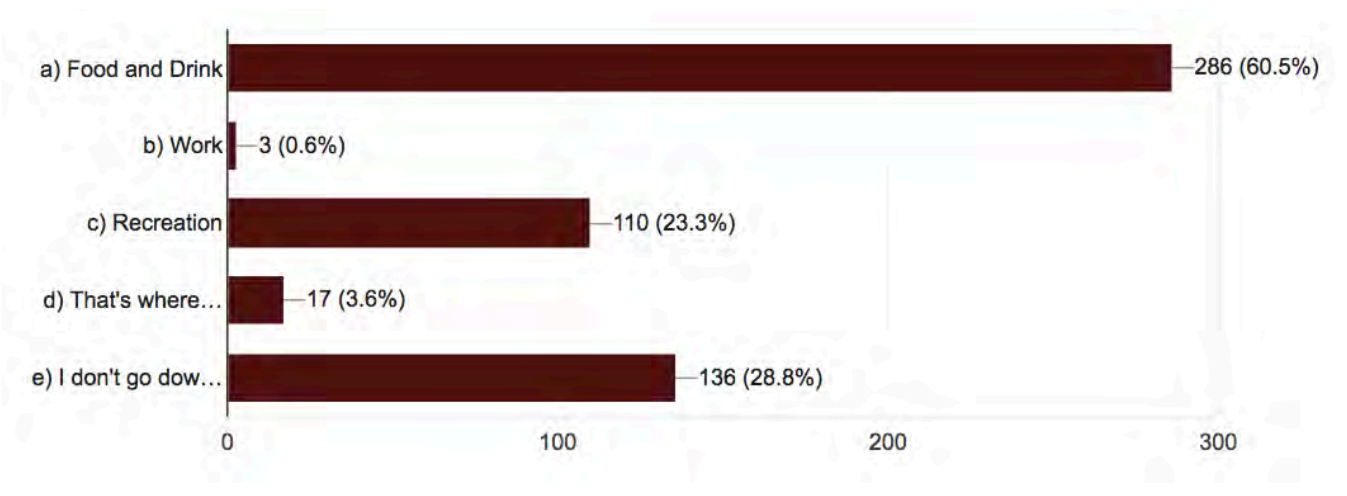
Question 2

When was the last time you visited downtown?



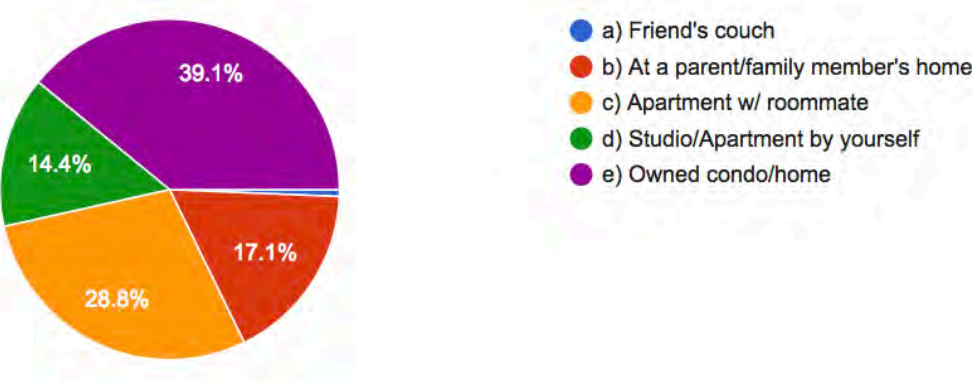
Question 3

What is the primary reason you come to downtown? (Check multiple)



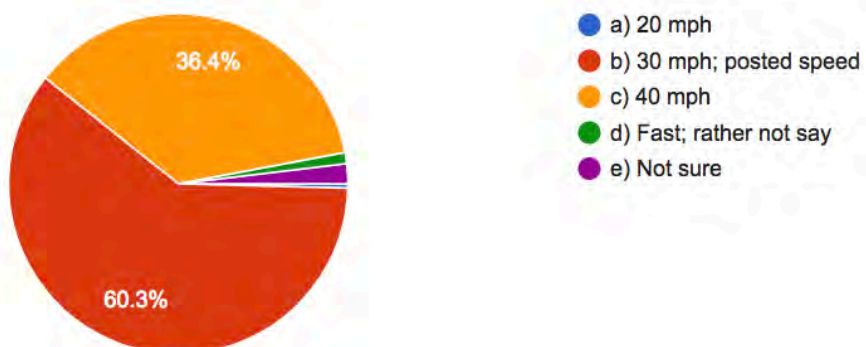
Question 4

Where was the first place you lived as an adult?



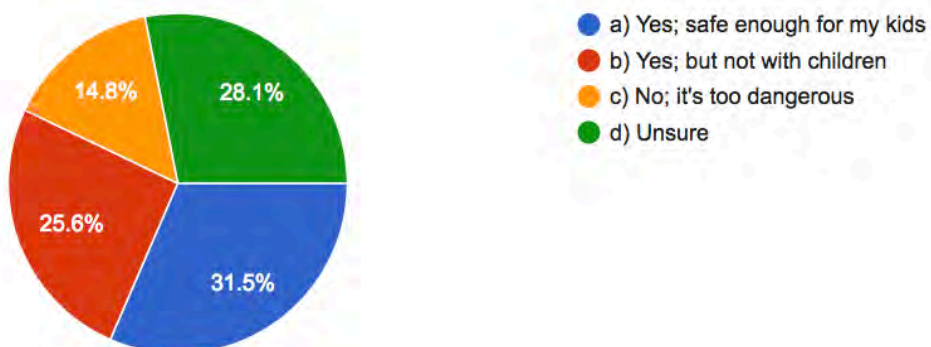
Question 5

How fast do you drive through downtown on Bridge Street?



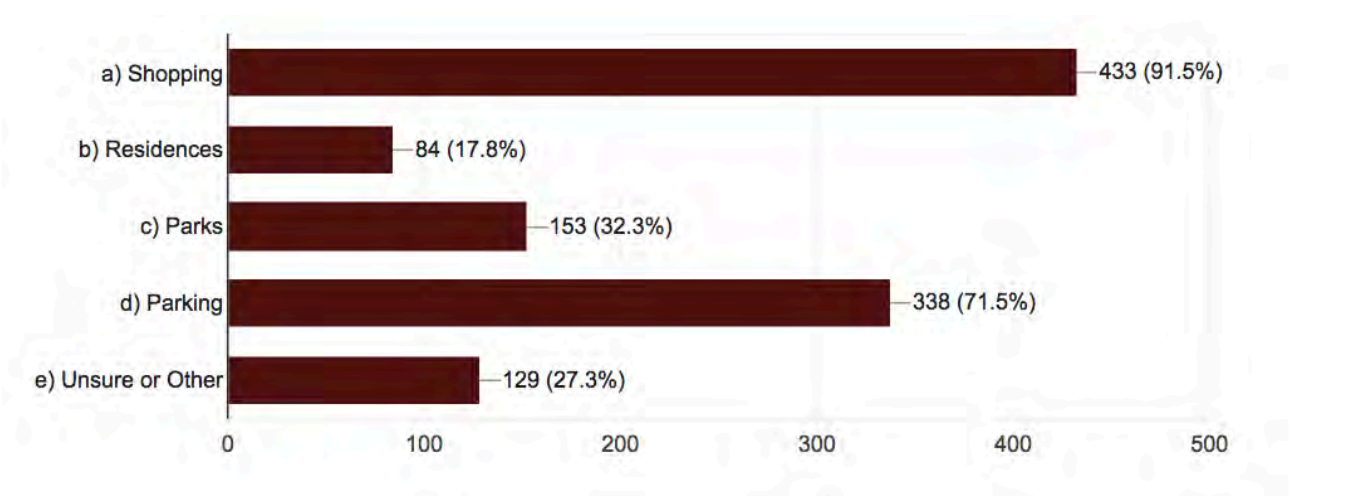
Question 6

Would you feel safe walking along Bridge Street?



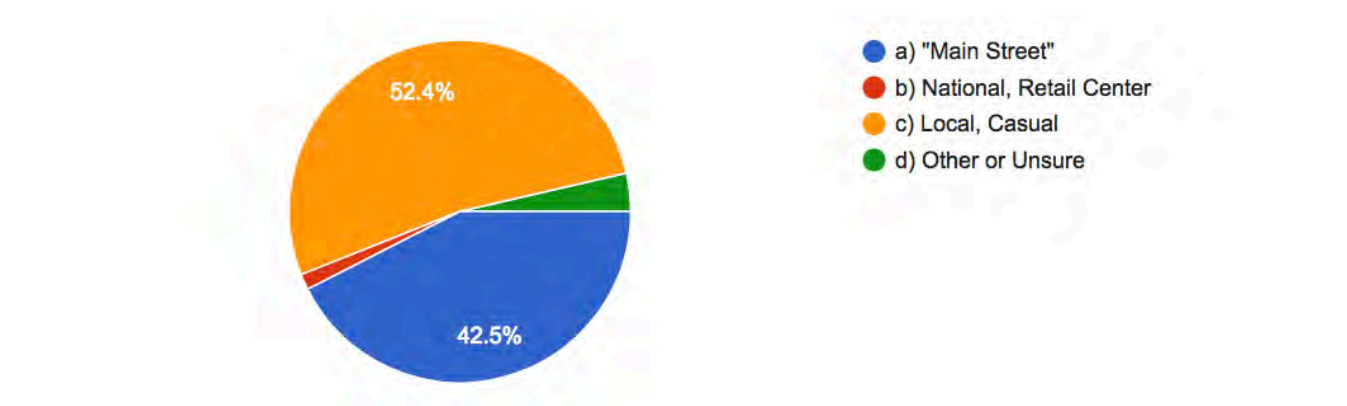
Question 7

What is missing most from downtown? (Check multiple)



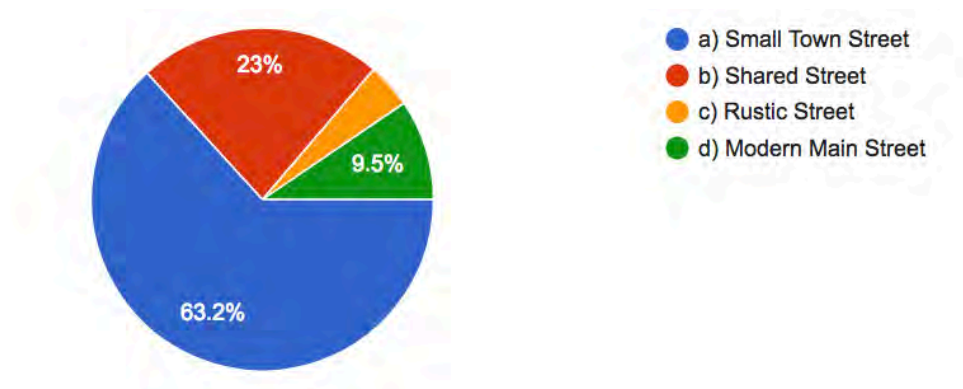
Question 8

Which image most represents your vision of downtown?



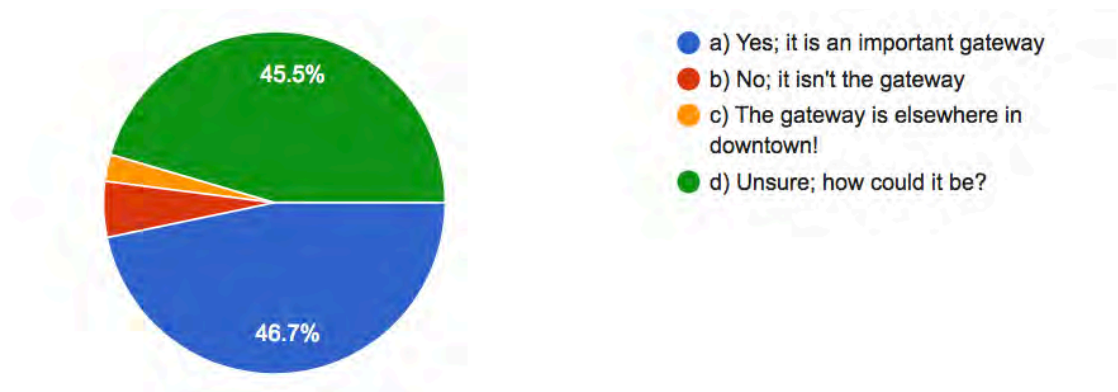
Question 9

Which street character do you prefer?



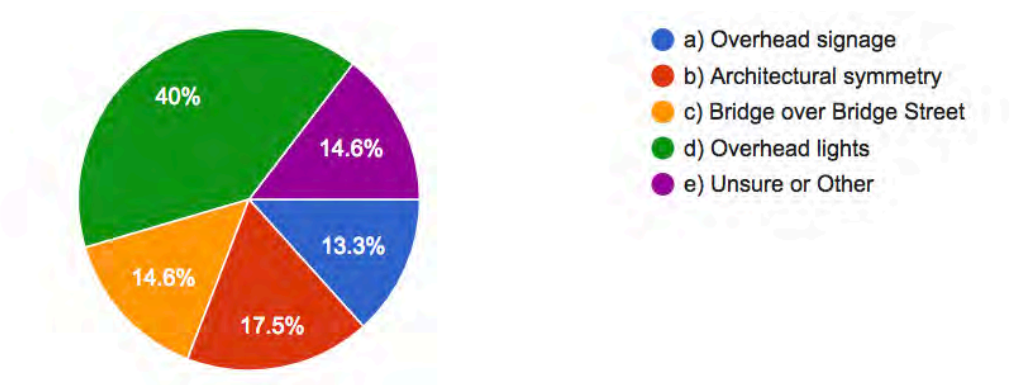
Question 10

Should Bridge Street be a gateway to downtown?



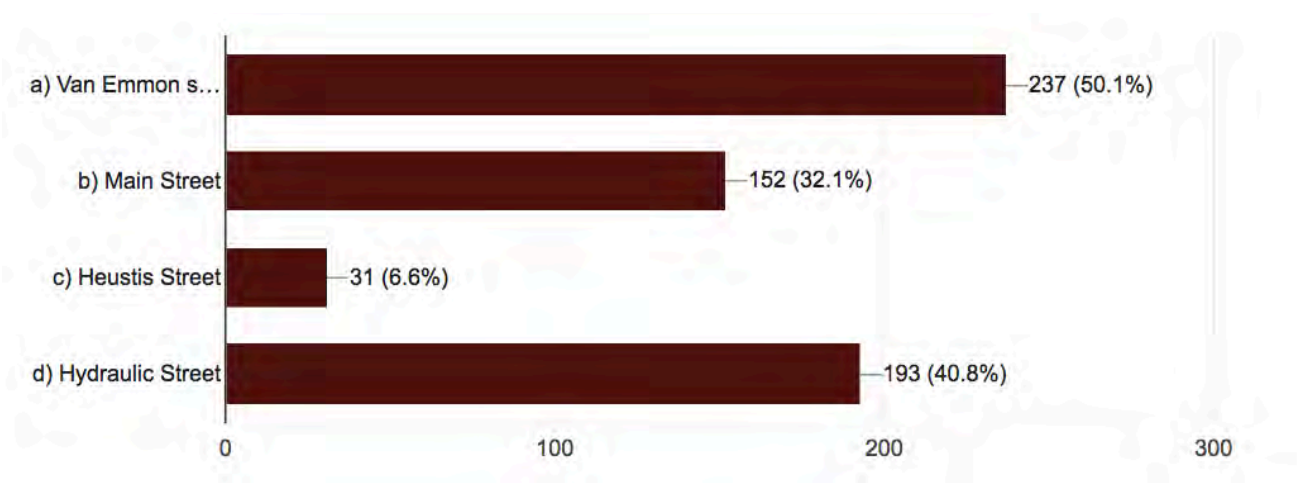
Question 11

Which is a preferred gateway element into downtown?



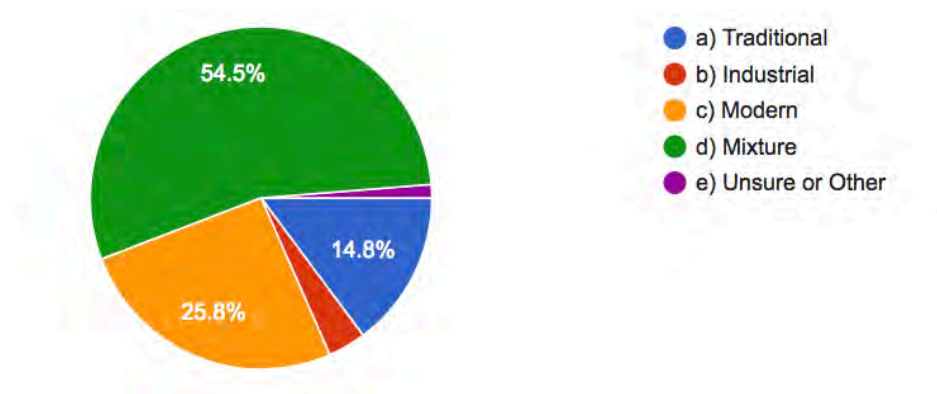
Question 12

Which street do you most consider an 'A' Street? (Check multiple)



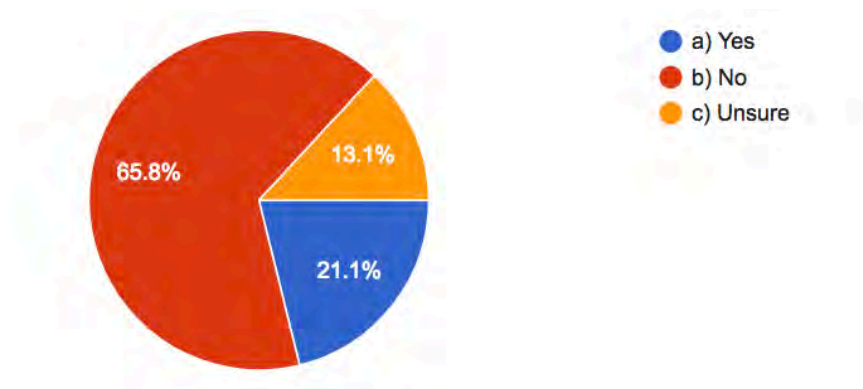
Question 13

Which architectural character do you prefer?



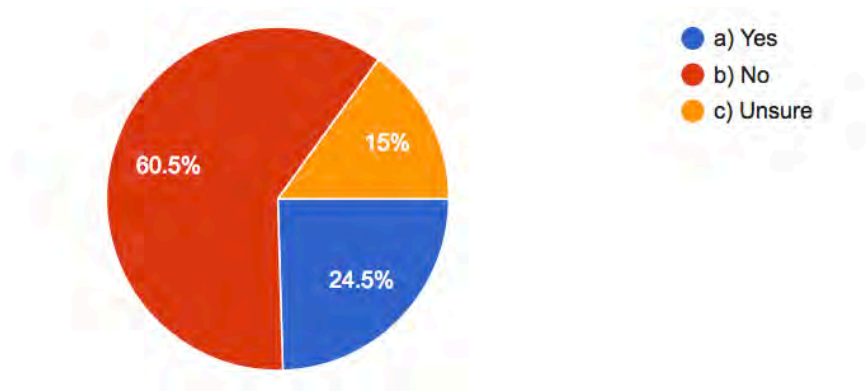
Question 14

Would attached housing be a good fit downtown?



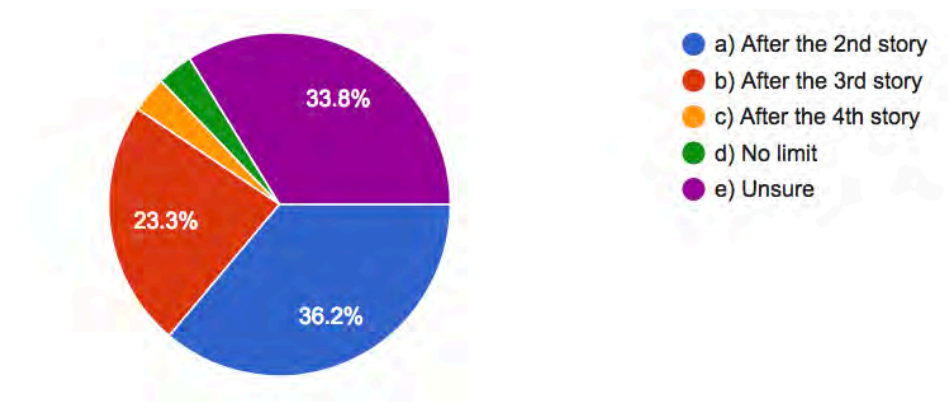
Question 15

Would multi-family housing be a good fit downtown?



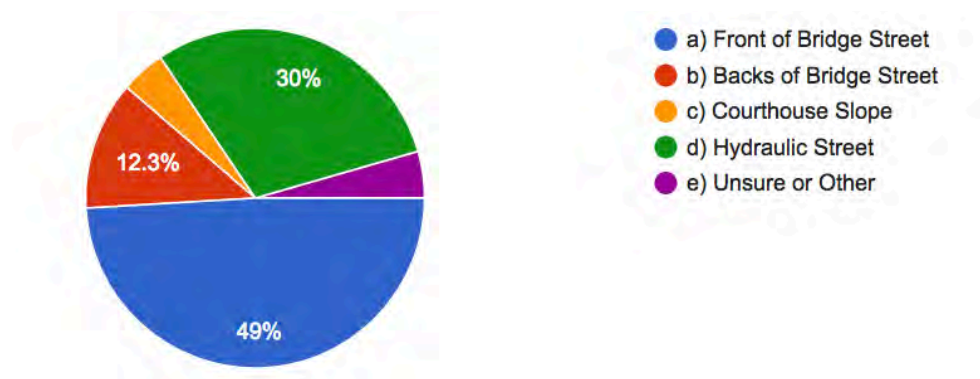
Question 16

After how many stories should upper levels “step back” from the facade?



Question 17

Which place would you invest in first?



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RIVER'S
EDGE
COMING SOON-ISH
1836
DRINK LAB
AND
PROVISIONS
THEATRE
★★★★

RIVERSEDGE Theatre

RIVERSEDGE Theatre

219

419
VHS
Spec

194



Ordinance No. 2019-_____

AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS, AMENDING THE YORKVILLE ZONING ORDINANCE BY ADDING A DOWNTOWN OVERLAY DISTRICT

WHEREAS, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

WHEREAS, pursuant to Section 10-4-10 of the Yorkville Zoning Ordinance the City may initiate amendments to the United City of Yorkville Zoning Ordinance; and,

WHEREAS, the City filed seeking an amendment to the United City of Yorkville Zoning Ordinance to add an overlay district over certain downtown areas; and,

WHEREAS, the Planning and Zoning Commission convened and held a public hearing on April 10, 2019, to consider the request and made Findings of Fact and Recommendations to the City Council to approve the requested text amendment.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

Section 1: The above recitals are incorporated and made a part of this Ordinance.

Section 2: That the United City of Yorkville Zoning Ordinance, as amended, be and is hereby amended by adding a new Chapter 21 entitled “Downtown Overlay District” to read as shown by the text attached hereto and made a part hereof as Exhibit A, that includes Section 10-21-1, Introduction, Section 10-21-2 Districts, Section 10-21-3 Uses, Section 10-21-4 Building Types and Section 10-21-5 Site Development Standards.

Section 3: This Ordinance shall be in full force and effect after its passage, publication, and approval as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois, this _____ day of _____, 2019.

City Clerk

KEN KOCH _____
JACKIE MILSCHEWSKI _____
CHRIS FUNKHOUSER _____
SEAVER TARULIS _____

DAN TRANSIER _____
ARDEN JOE PLOCHER _____
JOEL FRIEDERS _____
JASON PETERSON _____

Approved by me, as Mayor of the United City of Yorkville, Kendall County, Illinois, this
_____ day of _____, 2019.

Mayor

**AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, ILLINOIS
APPROVING A STREETSCAPE MASTER PLAN FOR THE
DOWNTOWN OVERLAY DISTRICT**

WHEREAS, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the constitution of the State of Illinois of 1970 and the laws of the State of Illinois; and,

WHEREAS, the City’s downtown was identified as a primary concern in the 2016 Yorkville Comprehensive Plan because of the lack of an inspiring plan that presents a plan for future streetscape capital improvements that will encourage developers and property owners to also invest in the redevelopment of the downtown area; and,

WHEREAS, a streetscape master plan provides guidance for the direction and character of capital improvements for future street and public spaces; and,

WHEREAS, the streets of the City’s downtown should be the center of the community where events, festivals and family gatherings regularly take place and should be the framework that supports those functions and helps contribute to building community and the quality of life in the City.

NOW THEREFORE, BE IT ORDAINED, by the Mayor and City Council of the United City of Yorkville, Kendall County, State of Illinois, as follows:

Section 1: That the *YORKVILLE DOWNTOWN OVERLAY DISTRICT STREETSCAPE MASTER PLAN* prepared by Farr Associates, a copy of which is attached hereto and made a part hereof by reference as Exhibit A, be and the same is hereby approved as the Streetscape Master Plan of the United City of Yorkville.

Section 2: That a certified copy of this Ordinance and attached Streetscape Master Plan shall be on file for public review in the office of the City Clerk.

Section 3: This Ordinance shall be in full force and effect upon its passage, approval and publication according to law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois this _____ day of _____, 2019.

CITY CLERK

KEN KOCH _____
JACKIE MILSCHEWSKI _____
CHRIS FUNKHOUSER _____
SEAVER TARULIS _____

DAN TRANSIER _____
ARDEN JOE PLOCHER _____
JOEL FRIEDERS _____
JASON PETERSON _____

Approved by me, as Mayor of the United City of Yorkville, Kendall County, Illinois, this
_____ day of _____ 2019.

MAYOR



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

City Council Report #1

Tracking Number

ADM 2018-88

Agenda Item Summary Memo

Title: Sale of 111 W. Madison Street (Old Jail)

Meeting and Date: City Council – May 14, 2019

Synopsis: See attached memo.

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Informational

Council Action Requested: _____

Submitted by: Bart Olson Administration
Name Department

Agenda Item Notes:



Memorandum

To: City Council
From: Bart Olson, City Administrator
CC:
Date: May 9, 2019
Subject: Old Jail

Summary

Status update on discussions with both proposers.

Background

This item was last discussed by the City Council at the April 23rd meeting. At that meeting, the City Council reviewed materials submitted by both proposers, and requested both proposers tighten up their development budget and TIF assistance proposals. Since that meeting, both groups have requested additional walkthroughs of the building, which are still occurring.

I will be following up with both groups early next week for a status update from them. Depending on their readiness to submit information and ability to conduct a staff meeting that week, I would anticipate that a more thorough discussion of the proposals will occur at the May 28th City Council meeting. If schedules cannot be accommodated, we will be looking at a June 11th discussion.

Recommendation

This is an informational item.