



United City of Yorkville

800 Game Farm Road

Yorkville, Illinois 60560

Telephone: 630-553-4350

www.yorkville.il.us

AGENDA ECONOMIC DEVELOPMENT COMMITTEE MEETING

Tuesday, October 2, 2018

6:00 p.m.

City Hall Conference Room
800 Game Farm Road, Yorkville, IL

Citizen Comments:

Minutes for Correction/Approval: September 4, 2018

New Business:

1. EDC 2018-67 Building Permit Report for August 2018
2. EDC 2018-68 Building Inspection Report for August 2018
3. EDC 2018-69 Property Maintenance Report for August 2018
4. EDC 2018-70 Economic Development Report for September 2018
5. EDC 2018-71 GRNE Solar – Kendall County Government Campus
6. EDC 2018-72 Unified Development Ordinance (UDO) RFP

Old Business:

1. EDC 2018-66 Sign Ordinance Text Amendment

Additional Business:

2018/2019 City Council Goals – Economic Development Committee

Goal	Priority	Staff
“Manufacturing and Industrial Development”	1	Bart Olson, Krysti Barksdale-Noble, Erin Willrett, Lynn Dubajic, Eric Dhuse & Brad Sanderson
“Downtown Planning”	2	Bart Olson, Krysti Barksdale-Noble & Erin Willrett
“Riverfront Development”	3	Bart Olson, Tim Evans & Krysti Barksdale-Noble
“Southside Development”	4	Bart Olson, Krysti Barksdale-Noble & Lynn Dubajic
“Revenue Growth”	8	Rob Fredrickson, Krysti Barksdale-Noble & Lynn Dubajic
“Entrance Signage”	12	Krysti Barksdale-Noble & Erin Willrett

UNITED CITY OF YORKVILLE
WORKSHEET
ECONOMIC DEVELOPMENT COMMITTEE
Tuesday, October 2, 2018
6:00 PM
CITY HALL CONFERENCE ROOM

CITIZEN COMMENTS:

MINUTES FOR CORRECTION/APPROVAL:

1. September 4, 2018

- ☐ Approved _____
- ☐ As presented
- ☐ With corrections

NEW BUSINESS:

1. EDC 2018-67 Building Permit Report for August 2018

- ☐ Moved forward to CC _____ consent agenda? Y N
- ☐ Approved by Committee _____
- ☐ Bring back to Committee _____
- ☐ Informational Item
- ☐ Notes _____
- _____
- _____

2. EDC 2018-68 Building Inspection Report for August 2018

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

3. EDC 2018-69 Property Maintenance Report for August 2018

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

4. EDC 2018-70 Economic Development Report for September 2018

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

5. EDC 2018-71 GRNE Solar – Kendall County Government Campus

- ☐ Moved forward to CC _____ consent agenda? Y N
- ☐ Approved by Committee _____
- ☐ Bring back to Committee _____
- ☐ Informational Item
- ☐ Notes _____
- _____
- _____

6. EDC 2018-72 Unified Development Ordinance (UDO) RFP

- ☐ Moved forward to CC _____ consent agenda? Y N
- ☐ Approved by Committee _____
- ☐ Bring back to Committee _____
- ☐ Informational Item
- ☐ Notes _____
- _____
- _____

OLD BUSINESS:

1. EDC 2018-66 Sign Ordinance Text Amendment

- ☐ Moved forward to CC _____ consent agenda? Y N
- ☐ Approved by Committee _____
- ☐ Bring back to Committee _____
- ☐ Informational Item
- ☐ Notes _____
- _____
- _____

ADDITIONAL BUSINESS:



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Minutes

Tracking Number

Agenda Item Summary Memo

Title: Minutes of the Economic Development Committee – September 4, 2018

Meeting and Date: Economic Development Committee – October 2, 2018

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Committee Approval

Submitted by: Minute Taker

Name

Department

Agenda Item Notes:

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at <http://www.yorkville.il.us/320/City-Council>

DRAFT

**UNITED CITY OF YORKVILLE
ECONOMIC DEVELOPMENT COMMITTEE
Tuesday, September 4, 2018, 6:00pm
City Conference Room**

In Attendance:

Committee Members

Chairman Ken Koch
Alderman Joel Frieders

Alderman Carlo Colosimo

Other City Officials

City Administrator Bart Olson
Community Development Director Krysti Barksdale-Noble
Senior Planner Jason Engberg

Code Official Pete Ratos

Other Guests

Lynn Dubajic, City Consultant
Kelly Kramer, Attorney

Melissa Phillips, Flight Team
Tony Weeks, Flight Team

The meeting was called to order at 6:00pm by Chairman Ken Koch.

Citizen Comments: None

Minutes for Correction/Approval: July 3, 2018

The minutes were approved on a unanimous voice vote.

New Business

1. EDC 2018-61 Building Permit Reports for June and July 2018

Mr. Ratos reported the following permits for the two months: 49 residential, 21 commercial and 156 miscellaneous. He also noted Burger King is being constructed and Aldi's is undergoing a major remodel.

2. EDC 2018-62 Building Inspection Report for June and July 2018

There were a total of 873 inspections done for the two months and most of those were outsourced to the third party company. Chairman Koch asked for feedback on this company when it's used. Bills go to Ms. Noble and Mr. Olson and staff keeps a running total. This information will be included next month.

3. EDC 2018-63 Property Maintenance Report for June and July 2018

Two cases were heard in June and several were heard in July. Mr. Ratos discussed the sawmill case and said there is a fencing issue that obstructs vision for which the owner was found liable. Green Organics was also discussed and Mr. Ratos said he had received 20-30 complaints which were referred to the County. Ms. Noble sent certified mail to

nearby property owners stating the city Special Use ends in January. The attorney representing Green Organics agreed to meet, however, the County has not yet responded.

4. EDC 2018-64 Economic Development Report for July and August 2018

Ms. Dubajic reported the following:

1. Salsa Verde's new restaurant in Kendall Crossing will be called Hacienda Real.
2. Bella Donna will open next week on main floor of old Cobblestone building.
3. Yoga studio is moving as of October 1 to Mason's building.
4. Former Hardee's restaurant will become Arby's.
5. Raging Waves is working on their expansion.
6. Major new tenant coming for former Office Max building, to be open by year end.
7. Banquet hall on south side of town moved opening date to 2019.
8. Another fast-food restaurant is finalizing a deal.
9. A prospective tenant is looking at the former southside Subway.

5. EDC 2018-65 Flight Team – Request for Special Use

Ms. Noble reported that Flight Team is the petitioner for the Special Use for a tavern. It is a Special Use since there is no food preparation associated with the business. This is part of a Kendall Crossing multi-tenant construction and Flight Team would lease 3,000 sq. ft. for a tasting room, bottle shop and package liquor. This is just south of the Lighthouse Daycare facility, however, would face away from the daycare. There are criteria for the Special Use which the Planning and Zoning Commission will consider at a Public Hearing on September 12 and then on to City Council on September 25. Attorney Kelly Kramer and the petitioners offered brief comments on the project. Alderman Frieders said this business would be good for the location next to the hotel and that the city wants all lots filled. The committee was OK with this request and it moves on to PZC. It was noted that the liquor code amendment is already approved and they would have a full tavern license.

6. EDC 2018-66 Sign Ordinance Text Amendment

Staff brought this amendment forward resulting from an interpretation of a sign issue with Heritage Cabinetry in March. After an appeal, the city decided to allow Heritage to place their sign. Ordinance language will be crafted to make it more specific for building-mounted signage and changes to the zoning ordinance will be applicable going forward. Mr. Engberg reviewed how the city would measure linear feet and gave some specific guidelines. He requested input for the October PZC meeting. Heritage will be allowed to keep their sign while the OMG Liquors sign will be allowed for 5 years and then they must become compliant. The revised language will be brought back to the October EDC meeting for approval.

Old Business None

Additional Business

There was no further business and the meeting adjourned at 6:31pm.
Minutes respectfully submitted by Marlys Young, Minute Taker



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #1

Tracking Number

EDC 2018-67

Agenda Item Summary Memo

Title: Building Permit Report for August 2018

Meeting and Date: Economic Development Committee – October 2, 2018

Synopsis: All permits issued in August 2018.

Council Action Previously Taken:

Date of Action: N/A Action Taken: N/A

Item Number: N/A

Type of Vote Required: Informational

Council Action Requested: None

Submitted by: D. Weinert Community Development
Name Department

Agenda Item Notes:



UNITED CITY OF YORKVILLE

BUILDING PERMIT REPORT

AUGUST 2018

TYPES OF PERMITS

	Number of Permits Issued	SFD <i>Single Family Detached</i>	B.U.I.L.D <i>Single Family Detached 1/1/12-12/31/17</i>	SFA <i>Single Family Attached</i>	Multi- Family <i>Apartments Condominiums</i>	Commercial <i>Includes all Permits Issued for Commercial Use</i>	Industrial	Misc.	Construction Cost	Permit Fees
August 2018	112	40	0	0	0	12	0	60	7,283,055.00	318,011.38
Calendar Year 2018	760	148	14	36	0	101	0	461	42,364,409.00	1,991,436.42
Fiscal Year 2019	453	107	0	0	0	45	0	301	26,129,217.00	912,527.31
August 2017	124	18	15	0	0	18	0	73	9,447,701.00	433,123.77
Calendar Year 2017	677	49	69	0	73 Unit	101	0	385	52,234,220.00	1,960,213.80
Fiscal Year 2018	444	33	41	0	73 Unit	57	0	240	41,640,876.00	1,371,004.27
August 2016	111	14	8	0	0	5	0	84	4,629,520.00	222,365.74
Calendar Year 2016	613	28	72	0	0	81	0	432	25,680,285.00	1,216,160.38
Fiscal Year 2017	392	21	42	0	0	40	0	289	17,189,109.00	751,959.04
August 2015	51	1	3	0	0	12	0	35	1,313,973.00	41,709.08
Calendar Year 2015	419	6	50	0	0	75	0	288	43,166,375.00	791,403.17
Fiscal Year 2016	274	5	28	0	0	38	0	203	7,660,365.00	401,472.71



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #2

Tracking Number

EDC 2018-68

Agenda Item Summary Memo

Title: Building Inspection Report for August 2018

Meeting and Date: Economic Development Committee – October 2, 2018

Synopsis: All inspections scheduled in August 2018.

Council Action Previously Taken:

Date of Action: N/A Action Taken: N/A

Item Number: N/A

Type of Vote Required: Informational

Council Action Requested: None

Submitted by: D. Weinert Community Development
Name Department

Agenda Item Notes:

DATE: 09/04/2018
TIME: 09:44:25
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 1

INSPECTIONS SCHEDULED FROM 08/01/2018 TO 08/31/2018

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	14:30	004-REL ROUGH ELECTRICAL	20160094	608 BRISTOL AVE			08/17/2018
TK	_____	016-EFL ENGINEERING - FINAL INSPE	20160881	2347 WINTERTHUR GREEN	186		08/16/2018
PBF	_____	017-SUM SUMP Comments1: WINDETT, VERUNA					08/16/2018
TK	_____	018-EFL ENGINEERING - FINAL INSPE				08/21/2018	
BC	_____	PM 019-FIN FINAL INSPECTION					08/21/2018
PBF	_____	020-PLF PLUMBING - FINAL OSR READ Comments1: WINDETT - RICH					08/22/2018
BF	_____	AM 033-INS INSULATION Comments1: 2ND FLOOR, CEDARHURST,	20170301	4040 CANNONBALL TR			08/10/2018
BF	_____	034-REL ROUGH ELECTRICAL Comments1: 2ND FLOOR EXCLUDING STAIRS, LOBBY & NORT Comments2: H SIDE, CEDARHURST					08/09/2018
BF	_____	035-RMC ROUGH MECHANICAL Comments1: 2ND FLOOR CEDAR HURST					08/09/2018
BF	_____	036-INS INSULATION Comments1: 2ND FLOOR SOUTH SIDE, BRAHMS 217-512-330 Comments2: 9					08/16/2018
BF	_____	037-REL ROUGH ELECTRICAL Comments1: 1ST FLOOR ASSISTED LIVING UNITS CEDARHUR Comments2: ST NOT READY FOR INSPECTION					08/16/2018
BF	_____	038-REI REINSPECTION Comments1: ROUGH ELECTRIC 1ST FLOOR ASSISTED LIVING Comments2: UNITS CEDARHURST, BRAHMS CONST					08/21/2018
BF	_____	039-REL ROUGH ELECTRICAL Comments1: M/C ROOMS - ACTIVITY 134, DINING 135, LI Comments2: VING 136; BRAHMS CONST					08/21/2018
TK	_____	018-EFL ENGINEERING - FINAL INSPE Comments1: NOTE: TREES SEEM TO BE DYING AT TIME OF Comments2: INSPECTION--TK	20170377	2182 BURR CT	10		08/07/2018
BC	15:00	004-FIN FINAL INSPECTION	20170436	1581-1585 SYCAMORE RD			08/03/2018
BC	_____	004-RFR ROUGH FRAMING	20170822	514 E MAIN ST	3		08/06/2018

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UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

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INSPECTIONS SCHEDULED FROM 08/01/2018 TO 08/31/2018

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	005-REL ROUGH ELECTRICAL					08/06/2018
BC	_____	006-PPS PRE-POUR, SLAB ON GRADE Comments1: GARAGE					08/29/2018
BF	_____	002-FOU FOUNDATION Comments1: GR UPLAND	20170928	3152 MATLOCK DR	671		08/06/2018
PBF	_____	003-WAT WATER Comments1: HOLIDAY GR					08/09/2018
PBF	_____	004-ESS ENGINEERING - STORM Comments1: HOLIDAY GR					08/09/2018
BF	_____	005-BKF BACKFILL Comments1: GR UPLAND					08/10/2018
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: GR DRHORTON					08/16/2018
BF	_____	008-RFR ROUGH FRAMING Comments1: DR HORTON GR	20170929	3156 MATLOCK DR	670		08/10/2018
BF	_____	009-REL ROUGH ELECTRICAL Comments1: DR HORTON GR					08/10/2018
BF	_____	010-RMC ROUGH MECHANICAL Comments1: DR HORTON GR					08/10/2018
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: DR HORTON GR					08/10/2018
BC	_____	012-INS INSULATION					08/13/2018
BF	_____	013-WKS PUBLIC & SERVICE WALKS Comments1: GR UPLAND					08/27/2018
BF	_____	010-RFR ROUGH FRAMING Comments1: GR DRHORTON	20170931	3183 MATLOCK DR	662		08/17/2018
BF	_____	011-INS INSULATION Comments1: DRHORTON GR					08/20/2018
BF	_____	012-REL ROUGH ELECTRICAL Comments1: DR HORTON GR					08/17/2018
BF	_____	013-RMC ROUGH MECHANICAL Comments1: DR HORTON GR					08/17/2018

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TIME: 09:44:25
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UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 3

INSPECTIONS SCHEDULED FROM 08/01/2018 TO 08/31/2018

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	014-PLR PLUMBING - ROUGH Comments1: DR HORTON GR					08/17/2018
BF	_____	015-WKS PUBLIC & SERVICE WALKS Comments1: Grande Reserve Lot 662 George-Upland Con Comments2: crete				08/31/2018	
BF	_____	010-RFR ROUGH FRAMING	20170932	3176 MATLOCK DR	665		08/16/2018
BF	_____	011-REL ROUGH ELECTRICAL Comments1: GR DRHORTON					08/16/2018
BF	_____	012-RMC ROUGH MECHANICAL					08/16/2018
PBF	_____	013-PLR PLUMBING - ROUGH Comments1: GR DRHORTON					08/16/2018
BF	_____	014-INS INSULATION Comments1: GR DRHORTON					08/20/2018
BF	_____	015-WKS PUBLIC & SERVICE WALKS Comments1: GR UPLAND					08/27/2018
BF	_____	002-FOU FOUNDATION Comments1: GR UPLAND	20170934	3168 MATLOCK DR	667		08/02/2018
BF	_____	003-BKF BACKFILL Comments1: GR UPLAND					08/08/2018
PBF	_____	004-WAT WATER Comments1: HOLIDAY GR					08/09/2018
PBF	_____	005-ESS ENGINEERING - STORM Comments1: HOLIDAY GR					08/09/2018
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: GR DRHORTON					08/16/2018
PBF	_____	003-WAT WATER Comments1: HOLIDAY GR	20170938	3143 MATLOCK DR	654		08/01/2018
PBF	_____	004-ESS ENGINEERING - STORM Comments1: HOLIDAY GR					08/01/2018
BF	_____	005-BKF BACKFILL Comments1: GR UPLAND					08/02/2018
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: GR DR HORTON					08/09/2018

INSPECTIONS SCHEDULED FROM 08/01/2018 TO 08/31/2018

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BF	_____	007-BGS BASEMENT GARAGE STOOPS Comments1: GR UPLAND					08/20/2018
PBF	_____	004-ESS ENGINEERING - STORM Comments1: GR HOLIDAY	20170939	3147 MATLOCK DR	655		08/01/2018
PBF	_____	005-WAT WATER Comments1: GR HOLIDAY					08/01/2018
PBF	_____	006-PLU PLUMBING - UNDERSLAB Comments1: GR DR HORTON				08/09/2018	
BF	_____	007-BGS BASEMENT GARAGE STOOPS Comments1: GR UPLAND					08/20/2018
BF	_____	008-RFR ROUGH FRAMING Comments1: GR DR HORTON	20170942	3167 MATLOCK DR	659		08/13/2018
BF	_____	009-REL ROUGH ELECTRICAL Comments1: GR DR HORTON					08/13/2018
BF	_____	010-RMC ROUGH MECHANICAL Comments1: GR DR HORTON					08/13/2018
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: GR DR HORTON					08/13/2018
BF	_____	012-INS INSULATION Comments1: GR DR HORTON					08/15/2018
BF	_____	013-WKS PUBLIC & SERVICE WALKS Comments1: GR UPLAND					08/27/2018
BF	_____	017-FIN FINAL INSPECTION Comments1: KENDALL MKTPL MCCUE REAR LANDING/STOOP Comments2: NOT COMPLETE	20170998	1131 BLACKBERRY SHORE LN	47		08/03/2018
PBF	_____	018-PLF PLUMBING - FINAL OSR READ Comments1: KMP MCCUE					08/03/2018
BC	_____	019-REI REINSPECTION Comments1: REAR LANDING					08/07/2018
BF	_____	016-FIN FINAL INSPECTION Comments1: COUNTRY HILLS, MCCUE	20171000	1963 MEADOWLARK LN	126		08/06/2018
PBF	_____	017-PLF PLUMBING - FINAL OSR READ Comments1: COUNTRY HILLS MCCUE					08/06/2018

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UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 5

INSPECTIONS SCHEDULED FROM 08/01/2018 TO 08/31/2018

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
TK	_____	018-EFL ENGINEERING - FINAL INSPE					08/06/2018
PBF	_____	003-PLU PLUMBING - UNDERSLAB Comments1: ALDI'S	20180049	1610 N BRIDGE ST			08/02/2018
BC	_____	004-PPS PRE-POUR, SLAB ON GRADE Comments1: INSTALL VAPOR BARRIER PRIOR TO POUR					08/07/2018
BC	10:30	005-PPS PRE-POUR, SLAB ON GRADE					08/09/2018
BC	_____	006-RFR ROUGH FRAMING Comments1: PARTIAL					08/14/2018
BF	_____	007-PPS PRE-POUR, SLAB ON GRADE Comments1: ALDI'S					08/20/2018
BC	_____	008-RFR ROUGH FRAMING					08/28/2018
BF	_____	019-FIN FINAL INSPECTION	20180059	3184 PINWOOD DR	35		08/16/2018
PBF	_____	020-PLF PLUMBING - FINAL OSR READ					08/16/2018
TK	_____	021-EFL ENGINEERING - FINAL INSPE					08/16/2018
PBF	_____	001-WAT WATER Comments1: GR WINNINGER	20180101	4429 E MILLBROOK DR	222		08/29/2018
BF	_____	002-FTG FOOTING Comments1: GR MIDWEST				08/30/2018	
BC	_____	PM 016-WKS PUBLIC & SERVICE WALKS	20180110	920 PURCELL ST	80		08/02/2018
BF	_____	017-PHD POST HOLE - DECK Comments1: RUANE, PLEASE MAKE THESE POST HOLES THE Comments2: LAST OF YOUR DAY					08/03/2018
BF	_____	018-FIN FINAL INSPECTION Comments1: BBW-MEADOWBROOK					08/20/2018
PBF	_____	019-PLF PLUMBING - FINAL OSR READ Comments1: BBW MEADOWBROOK					08/20/2018
BC	_____	020-REI REINSPECTION Comments1: FINAL					08/23/2018
TK	_____	021-EFL ENGINEERING - FINAL INSPE Comments1: BBOX NOT KEYABLE					08/29/2018

DATE: 09/04/2018
TIME: 09:44:25
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UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 6

INSPECTIONS SCHEDULED FROM 08/01/2018 TO 08/31/2018

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	014-STP STOOP Comments1: FRONT	20180111	991 S CARLY CIR	89		08/02/2018
BC	_____	015-STP STOOP Comments1: BACK					08/02/2018
BC	_____	016-WKS PUBLIC & SERVICE WALKS					08/02/2018
BF	_____	018-PHD POST HOLE - DECK Comments1: RUANE, PLEASE PUT THIS INSPECTION ON THE Comments2: END OF THE LIST					08/03/2018
BF	_____	019-FIN FINAL INSPECTION Comments1: BBW MEADOWBROOK					08/27/2018
PBF	_____	020-PLF PLUMBING - FINAL OSR READ Comments1: BBW MEADOWBROOK					08/27/2018
TK	_____	021-EFL ENGINEERING - FINAL INSPE Comments1: BBOX NOT KEYABLE					08/29/2018
BF	_____	008-RFR ROUGH FRAMING Comments1: DR HORTON GR	20180120	3187 MATLOCK DR	663		08/07/2018
BF	_____	009-REL ROUGH ELECTRICAL Comments1: DRH GR					08/07/2018
BF	_____	010-RMC ROUGH MECHANICAL Comments1: DRH CAMBRIDGE - GR					08/07/2018
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: DRH CAMBRIDGE (HORTON) GR					08/07/2018
BF	_____	012-INS INSULATION Comments1: DR HORTON GR					08/09/2018
BF	_____	013-WKS PUBLIC & SERVICE WALKS Comments1: GR UPLAND					08/27/2018
BF	_____	016-FIN FINAL INSPECTION Comments1: CAL RYAN	20180122	3143 PINWOOD DR	31		08/21/2018
PBF	_____	017-PLF PLUMBING - FINAL OSR READ Comments1: CAL RYAN PROVIDE TEMPERED WATER TO ALL T Comments2: UBS & SHOWERS					08/21/2018
TK	_____	018-EFL ENGINEERING - FINAL INSPE					08/21/2018

DATE: 09/04/2018
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UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 7

INSPECTIONS SCHEDULED FROM 08/01/2018 TO 08/31/2018

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PBF	_____	019-REI REINSPECTION Comments1: FINAL PLUMBING					08/22/2018
BC	_____	004-RFR ROUGH FRAMING	20180145	533 BLUESTEM DR			08/24/2018
BF	_____	008-GAR GARAGE FLOOR Comments1: MEADOWBROOK. PLEASE HIT THESE AT END OF Comments2: DAY.	20180158	1012 S CARLY CIR	113		08/03/2018
BF	_____	010-RFR ROUGH FRAMING Comments1: BBW MEADOWBROOK					08/10/2018
BF	_____	011-REL ROUGH ELECTRICAL Comments1: BBW MEADOWBROOK					08/10/2018
BF	_____	012-RMC ROUGH MECHANICAL Comments1: BBW MEADOWBROOK					08/10/2018
PBF	_____	013-PLR PLUMBING - ROUGH Comments1: BBW MEADOWBROOK					08/10/2018
BC	_____	014-INS INSULATION					08/15/2018
BF	_____	013-FIN FINAL INSPECTION	20180173	349 WESTWIND DR	35		08/15/2018
PBF	_____	014-PLF PLUMBING - FINAL OSR READ					08/15/2018
TK	_____	015-EFL ENGINEERING - FINAL INSPE Comments1: BBOX NOT KEYABLE					08/16/2018
PBF	_____	018-SUM SUMP Comments1: WIN VERUNA	20180179	552 WINDETT RIDGE RD	169		08/23/2018
BF	_____	AM 019-FIN FINAL INSPECTION Comments1: WIN RICH					08/27/2018
PBF	_____	AM 020-PLF PLUMBING - FINAL OSR READ Comments1: WIN RICH					08/27/2018
BF	_____	017-FIN FINAL INSPECTION	20180180	2655 FAIRFAX WAY	257		08/09/2018
PBF	_____	018-PLF PLUMBING - FINAL OSR READ Comments1: WINDETT RIDGE,					08/09/2018
TK	_____	019-EFL ENGINEERING - FINAL INSPE					08/09/2018
BF	_____	013-WKS PUBLIC & SERVICE WALKS Comments1: COX GR	20180193	2608 MCLELLAN BLVD	60		08/01/2018

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PBF	_____	005-PLR PLUMBING - ROUGH Comments1: RESTORE CHURCH	20180200	8710 RT 71			08/03/2018
BF	_____	006-RFR ROUGH FRAMING Comments1: RESTORE- SEE INSPECTORS NOTES					08/03/2018
BF	_____	007-REL ROUGH ELECTRICAL					08/03/2018
BF	_____	008-RMC ROUGH MECHANICAL Comments1: DUCT WORK NOT COMPLETE					08/03/2018
PR	_____	009-REI REINSPECTION Comments1: FRAMING & MECHANICAL RESTORE CHURCH SCOT Comments2: T 815-257-2084				08/06/2018	
BF	_____	010-INS INSULATION Comments1: RESTORE CHURCH					08/09/2018
BF	_____	010-RFR ROUGH FRAMING Comments1: CAL RYAN	20180210	3224 PINWOOD DR	38		08/23/2018
BF	_____	011-REL ROUGH ELECTRICAL Comments1: CAL RYAN					08/23/2018
BF	_____	012-RMC ROUGH MECHANICAL Comments1: CAL RYAN					08/23/2018
PBF	_____	013-PLR PLUMBING - ROUGH Comments1: CAL RYAN					08/23/2018
BF	_____	014-INS INSULATION Comments1: CAL RYAN					08/27/2018
BF	_____	009-REL ROUGH ELECTRICAL Comments1: CAL - RYAN	20180211	3185 LONGVIEW DR	48		08/02/2018
BF	_____	010-RFR ROUGH FRAMING Comments1: CAL RYAN					08/02/2018
BF	_____	011-RMC ROUGH MECHANICAL Comments1: CAL RYAN					08/02/2018
PBF	_____	012-PLR PLUMBING - ROUGH Comments1: CAL RYAN					08/02/2018
BC	_____	013-INS INSULATION					08/06/2018
BF	_____	014-WKS PUBLIC & SERVICE WALKS Comments1: CAL MIDWEST					08/07/2018

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BC	_____	003-PPS PRE-POUR, SLAB ON GRADE	20180218	171 SARAVANOS DR	6	08/07/2018	
TK	_____	019-EFL ENGINEERING - FINAL INSPE	20180226	542 WINDETT RIDGE RD	170		08/16/2018
BC	_____	PM 020-FIN FINAL INSPECTION Comments1: 2 BATHROOM VENTS WITHIN 3' OF WINDOW					08/21/2018
PBF	_____	021-PLF PLUMBING - FINAL OSR READ Comments1: WINDETT- RICH					08/22/2018
BC	15:00	022-REI REINSPECTION					08/22/2018
BF	_____	015-FIN FINAL INSPECTION Comments1: GR RYAN	20180228	4324 E MILLBROOK CIR	274		08/09/2018
PBF	_____	016-PLF PLUMBING - FINAL OSR READ Comments1: GR RYAN					08/09/2018
TK	_____	017-EFL ENGINEERING - FINAL INSPE					08/09/2018
BF	_____	013-FIN FINAL INSPECTION Comments1: GR RYAN	20180229	2806 SHERIDAN CT	203		08/16/2018
PBF	_____	014-PLF PLUMBING - FINAL OSR READ Comments1: GR RYAN					08/16/2018
TK	_____	015-EFL ENGINEERING - FINAL INSPE				08/21/2018	
BF	_____	001-FTG FOOTING Comments1: BURGER KING, ADAM - MILLER CONCRETE	20180242	1835 MARKETVIEW DR	7		08/02/2018
BF	_____	002-FOU FOUNDATION Comments1: BURGER KING, ADAM - MILLER CONC					08/03/2018
BC	_____	AM 003-PPS PRE-POUR, SLAB ON GRADE					08/28/2018
PR	_____	004-PLU PLUMBING - UNDERSLAB					08/27/2018
BC	_____	005-PPS PRE-POUR, SLAB ON GRADE Comments1: CURBS					08/24/2018
BC	_____	006-UGE UNDERGROUND ELECTRIC				08/30/2018	
BF	_____	012-GAR GARAGE FLOOR Comments1: KMP NORWOOD	20180248	1121 BLACKBERRY SHORE LN	46		08/09/2018
BF	_____	013-STP STOOP Comments1: NORWOOD KMP					08/09/2018

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BC	_____	003-FIN FINAL INSPECTION	20180255	736 HAYDEN DR	65		08/22/2018
PBF	_____	018-SUM SUMP Comments1: WIN VERUNA	20180258	568 WINDETT RIDGE RD	168		08/23/2018
BF	_____	AM 019-FIN FINAL INSPECTION Comments1: WIN RICH					08/27/2018
PBF	_____	AM 020-PLF PLUMBING - FINAL OSR READ Comments1: PROVIDE HOT WATER MIN 120, PROVIDE TEMPE Comments2: RED WATER AT ALL TUB SHOWERS NOT TO EXCE Comments3: ED 115.					08/27/2018
PBF	_____	021-PLF PLUMBING - FINAL OSR READ Comments1: WIN RICH					08/28/2018
BF	_____	010-RFR ROUGH FRAMING Comments1: WIN LENNAR	20180260	2411 FITZHUGH TURN	150		08/09/2018
BF	_____	011-REL ROUGH ELECTRICAL Comments1: CAL LENNAR					08/09/2018
BF	_____	012-RMC ROUGH MECHANICAL Comments1: CAL LENNAR					08/09/2018
PBF	_____	013-PLR PLUMBING - ROUGH Comments1: WIN LENNAR, PLEASE DO NOT SHOW UP BEFORE Comments2: 8AM					08/09/2018
BF	_____	014-STP STOOP Comments1: FRONT, WIN RIDGE COMEX					08/09/2018
PR	_____	004-ABC ABOVE CEILING Comments1: YORKVILLE CHRISTIAN HS.	20180262	2001 WHITEKIRK LN	1		08/28/2018
PBF	_____	005-ABC ABOVE CEILING Comments1: PLUMBING YORKVILLE CHRISTIAN HS.					08/28/2018
PR	_____	006-FIN FINAL INSPECTION				08/30/2018	
PR	_____	007-PLF PLUMBING - FINAL OSR READ				08/30/2018	
PBF	_____	001-FIN FINAL INSPECTION Comments1: RPZ - SPRINKLERS, HEARTLAND CIRCLE NEED Comments2: ACCESS TO BUILDING	20180268	661 OMAHA DR			08/02/2018
PR	_____	002-REI REINSPECTION Comments1: RPZ LAWN SPRINKS				08/06/2018	

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BF	_____	011-WKS PUBLIC & SERVICE WALKS Comments1: COX GR	20180274	2603 MCLELLAN BLVD	41		08/01/2018
BF	_____	012-INS INSULATION Comments1: GR PULTE					08/01/2018
PBF	_____	013-SUM SUMP					08/14/2018
BF	_____	013-WKS PUBLIC & SERVICE WALKS Comments1: COX GR	20180275	2672 MCLELLAN BLVD	53		08/01/2018
BF	_____	004-BKF BACKFILL Comments1: WINDETT LENNAR	20180298	2742 PHELPS CT	270		08/06/2018
BF	_____	006-BSM BASEMENT FLOOR Comments1: WINDETT - COMEX					08/14/2018
BF	_____	007-GAR GARAGE FLOOR Comments1: WINDETT COMEX					08/14/2018
BC	_____	009-STP STOOP	20180299	612 WINDETT RIDGE RD	158		08/24/2018
BF	_____	010-RFR ROUGH FRAMING Comments1: WIN RICH				08/30/2018	
BF	_____	011-REL ROUGH ELECTRICAL Comments1: WIN RICH				08/30/2018	
BF	_____	012-RMC ROUGH MECHANICAL Comments1: WIN RICH				08/30/2018	
PBF	_____	013-PLR PLUMBING - ROUGH Comments1: WIN RICH				08/30/2018	
BF	_____	012-RFR ROUGH FRAMING Comments1: WINDETT - RICH NO BLUEPRINTS ON JOBSITE, Comments2: MISSING CRIPPLES EXTENDING FROM LEADER Comments3: ON LOAD BEARING WALL AT FRONT ENTRY	20180300	2421 FITZHUGH TURN	149		08/01/2018
BF	_____	013-REL ROUGH ELECTRICAL Comments1: WINDETT RICH					08/01/2018
BF	_____	014-RMC ROUGH MECHANICAL Comments1: WINDETT RICH					08/01/2018
PBF	_____	015-PLR PLUMBING - ROUGH Comments1: WINDETT - RICH PROVIDE PROPER HANGERS FO Comments2: R SUPPORT, PROVIDE PROPER DRAINAGE FITTI Comments3: NGS (MAIN STACK FROM BSM GOING TO 1ST & Comments4: 2ND FLRS 3" LINE BY DUCT					08/01/2018

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PR	_____	016-REI REINSPECTION Comments1: ROUGH PLUMBING				08/02/2018	
BF	_____	017-INS INSULATION Comments1: WINDETT LENNAR RICH					08/06/2018
PBF	_____	018-SUM SUMP Comments1: WIN VERUNA					08/23/2018
BF	_____	014-WKS PUBLIC & SERVICE WALKS Comments1: CAL MIDWEST	20180305	3158 BOOMBAH BLVD	129		08/07/2018
BF	_____	012-WKS PUBLIC & SERVICE WALKS Comments1: GR MIDWEST	20180306	4348 E MILLBROOK CIR	272		08/06/2018
BF	_____	013-FIN FINAL INSPECTION Comments1: GR RYAN				08/31/2018	
PBF	_____	014-PLF PLUMBING - FINAL OSR READ Comments1: GR RYAN				08/31/2018	
BF	_____	008-RFR ROUGH FRAMING Comments1: GR RYAN	20180307	4424 E MILLBROOK CIR	262		08/01/2018
BF	_____	009-REL ROUGH ELECTRICAL Comments1: GR RYAN					08/02/2018
BF	_____	010-RMC ROUGH MECHANICAL Comments1: GR RYAN					08/01/2018
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: GR RYAN					08/01/2018
BF	_____	012-INS INSULATION					08/03/2018
BF	_____	013-WKS PUBLIC & SERVICE WALKS Comments1: GR MIDWEST					08/06/2018
BF	_____	015-FIN FINAL INSPECTION Comments1: CAL GR	20180308	4412 E MILLBROOK CIR	264		08/03/2018
PBF	_____	016-PLF PLUMBING - FINAL OSR READ Comments1: GR RYAN					08/03/2018
TK	_____	017-EFL ENGINEERING - FINAL INSPE					08/03/2018
BF	_____	016-FIN FINAL INSPECTION Comments1: RYAN GR	20180309	4388 E MILLBROOK CIR	268		08/01/2018

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PBF	_____	017-PLF PLUMBING - FINAL OSR READ Comments1: RYAN GR					08/01/2018
TK	_____	018-EFL ENGINEERING - FINAL INSPE					08/03/2018
BF	_____	006-FIN FINAL INSPECTION Comments1: GARAGE, WHISPERING MEADOWS,	20180326	2365 SUMAC DR	26		08/02/2018
TK	_____	016-EFL ENGINEERING - FINAL INSPE	20180338	3323 CALEDONIA DR	74		08/07/2018
BF	_____	017-FIN FINAL INSPECTION Comments1: CAL RYAN					08/09/2018
PBF	_____	018-PLF PLUMBING - FINAL OSR READ Comments1: CAL RYAN					08/09/2018
BF	_____	009-RFR ROUGH FRAMING Comments1: CAL RYAN	20180339	3244 PINewood DR	39		08/15/2018
BF	_____	010-REL ROUGH ELECTRICAL Comments1: CAL RYAN					08/15/2018
BF	_____	011-RMC ROUGH MECHANICAL Comments1: CAL RYAN					08/15/2018
PBF	_____	012-PLR PLUMBING - ROUGH Comments1: CAL RYAN					08/15/2018
BF	_____	013-INS INSULATION Comments1: CAL RYAN					08/17/2018
BF	_____	014-WKS PUBLIC & SERVICE WALKS Comments1: CAL RYAN					08/21/2018
BF	_____	016-FIN FINAL INSPECTION Comments1: CAL RYAN	20180340	3327 CALEDONIA DR	20		08/03/2018
PBF	_____	017-PLF PLUMBING - FINAL OSR READ Comments1: CAL RYAN					08/03/2018
TK	_____	018-EFL ENGINEERING - FINAL INSPE					08/03/2018
TK	_____	014-EFL ENGINEERING - FINAL INSPE Comments1: PUBLIC WALK REVERSE PITCHED	20180341	4336 E MILLBROOK CIR	273		08/24/2018
BF	_____	015-FIN FINAL INSPECTION Comments1: GR RYAN					08/23/2018

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PBF	_____	016-PLF PLUMBING - FINAL OSR READ Comments1: GR RYAN					08/23/2018
BF	_____	012-FIN FINAL INSPECTION Comments1: GR RYAN	20180376	2826 SHERIDAN CT	199		08/24/2018
PBF	_____	013-PLF PLUMBING - FINAL OSR READ Comments1: GR RYAN					08/24/2018
TK	_____	014-EFL ENGINEERING - FINAL INSPE				08/24/2018	
BF	_____	001-FTG FOOTING Comments1: COX - GR	20180386	2505 LYMAN LOOP	78		08/01/2018
BF	_____	002-FOU FOUNDATION Comments1: COX GR					08/03/2018
BF	_____	003-BKF BACKFILL Comments1: COX GR					08/09/2018
PBF	_____	004-WAT WATER Comments1: GR VERUNA					08/14/2018
BF	_____	005-BSM BASEMENT FLOOR Comments1: GR COX					08/22/2018
BF	_____	006-GAR GARAGE FLOOR Comments1: GR COX					08/22/2018
PBF	_____	007-PLU PLUMBING - UNDERSLAB Comments1: GR PULTE PROVIDE ACCESS STONE & PLASTIC Comments2: OVER ALL PIPING MUST BE UNCOVERED					08/22/2018
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: GR PULTE	20180387	2626 BURR ST	13		08/10/2018
BF	_____	006-BGS BASEMENT GARAGE STOOPS Comments1: GR COX					08/02/2018
BF	_____	009-RFR ROUGH FRAMING Comments1: GR PULTE	20180388	2668 MCLELLAN BLVD	54		08/27/2018
BF	_____	010-REL ROUGH ELECTRICAL Comments1: GR PULTE					08/27/2018
BF	_____	011-RMC ROUGH MECHANICAL Comments1: GR PULTE					08/27/2018

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PBF	_____	012-PLR PLUMBING - ROUGH Comments1: GR PULTE					08/27/2018
BF	_____	013-INS INSULATION Comments1: GR PUTLE					08/29/2018
BF	_____	008-RFR ROUGH FRAMING Comments1: GR PULTE	20180389	2187 BURR CT	6		08/10/2018
BF	_____	009-REL ROUGH ELECTRICAL Comments1: GR PULTE					08/10/2018
BF	_____	010-RMC ROUGH MECHANICAL Comments1: GR PULTE					08/10/2018
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: GR PULTE					08/10/2018
BF	_____	012-INS INSULATION Comments1: GR PULTE					08/16/2018
BF	_____	009-STP STOOP Comments1: FRONT, WIN RIDGE COMEX	20180394	532 WINDETT RIDGE RD	171		08/09/2018
BF	_____	010-RFR ROUGH FRAMING Comments1: WINDETT - RICH					08/21/2018
BF	_____	011-REL ROUGH ELECTRICAL Comments1: WINDETT - RICH					08/21/2018
BF	_____	012-RMC ROUGH MECHANICAL Comments1: WINDETT - RICH					08/21/2018
PBF	_____	013-PLR PLUMBING - ROUGH Comments1: WINDETT - RICH					08/21/2018
BF	_____	014-INS INSULATION Comments1: WIN RICH					08/23/2018
BC	_____	AM 001-TRN TRENCH - (GAS, ELECTRIC,	20180411	610 WHITE OAK WAY	65		08/03/2018
PBF	_____	002-TRN TRENCH - (GAS, ELECTRIC, Comments1: UNDERGROUND GAS FOR INGROUND POOL, WHITE Comments2: OAK ESTATES					08/08/2018
BC	_____	003-BND POOL BONDING					08/10/2018
BC	_____	004-PHF POST HOLE - FENCE					08/20/2018

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BC	_____	005-FIN FINAL INSPECTION Comments1: IGP				08/30/2018	
BC	_____	006-FIN FINAL INSPECTION Comments1: FNC				08/30/2018	
BF	_____	008-RFR ROUGH FRAMING Comments1: CAL RYAN	20180420	3172 LAUREN DR	114		08/10/2018
BF	_____	009-REL ROUGH ELECTRICAL Comments1: CAL RYAN					08/10/2018
BF	_____	010-RMC ROUGH MECHANICAL Comments1: CAL RYAN					08/10/2018
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: CAL RYAN					08/10/2018
BF	_____	012-INS INSULATION Comments1: CAL RYAN					08/14/2018
BF	_____	013-WKS PUBLIC & SERVICE WALKS Comments1: CAL MIDWEST					08/20/2018
BF	_____	008-RFR ROUGH FRAMING Comments1: GR RYAN	20180421	4404 E MILLBROOK CIR	266		08/08/2018
BF	_____	009-REL ROUGH ELECTRICAL Comments1: GR RYAN					08/08/2018
BF	_____	010-RMC ROUGH MECHANICAL Comments1: GR RYAN					08/08/2018
PBF	_____	011-PLR PLUMBING - ROUGH Comments1: GR RYAN					08/08/2018
BC	_____	012-INS INSULATION					08/10/2018
BF	_____	013-WKS PUBLIC & SERVICE WALKS Comments1: GR MIDWEST					08/15/2018
BC	_____	AM 004-FIN FINAL INSPECTION	20180441	2545 EMERALD LN	126		08/16/2018
BC	_____	008-STP STOOP Comments1: WIN COMEX	20180448	712 KENTSHIRE DR	119		08/24/2018
PBF	_____	002-PLU PLUMBING - UNDERSLAB Comments1: TIM GREYER	20180458	1638 CORNERSTONE DR	32		08/28/2018

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BF	_____	006-RFR ROUGH FRAMING Comments1: TIM GREYER					08/28/2018
BF	_____	007-REL ROUGH ELECTRICAL Comments1: TIM GREYER BRIARWOOD					08/28/2018
BF	_____	008-RMC ROUGH MECHANICAL Comments1: TIM GREYER BRIARWOOD					08/28/2018
PBF	_____	009-PLR PLUMBING - ROUGH Comments1: TRIM GREYER BRIARWOOD, FIRST FLOOR PASSE Comments2: D REINSPECT BASEMENT					08/28/2018
PBF	_____	010-PLU PLUMBING - UNDERSLAB					08/28/2018
PBF	_____	011-REI REINSPECTION Comments1: ROUGH PLUMBING IN BASEMENT, TOP INSPECTI Comments2: ON PASSED 8-28-18, BRIARWOOD TIM 630-878 Comments3: -5291					08/29/2018
BC	_____	012-INS INSULATION				08/30/2018	
BC	_____	007-GAR GARAGE FLOOR	20180463	512 E MAIN ST	2		08/15/2018
BC	_____	008-RFR ROUGH FRAMING Comments1: NEED ANCHOR BOLTS WITHIN 12" OF EACH END Comments2: OF BOARDS USED FOR BOTTOM PLATE, MINIMU Comments3: M OF 2 BOLTS PER SECTION OF PLATE 9 NEED Comments4: ED					08/15/2018
PBF	_____	008-ESW ENGINEERING - SEWER / WAT Comments1: BBW WINNINGER	20180466	971 S CARLY CIR	91		08/09/2018
PBF	_____	009-PLU PLUMBING - UNDERSLAB Comments1: BBW - MEADOWBROOK					08/13/2018
BF	_____	010-BSM BASEMENT FLOOR					08/14/2018
PBF	_____	004-PLU PLUMBING - UNDERSLAB Comments1: MEADOWBROOK - BLACKBERRY WOODS	20180467	946 N CARLY CIR	54		08/02/2018
BF	_____	005-BSM BASEMENT FLOOR Comments1: RUANE BLACKBERRY WOODS					08/02/2018
PBF	_____	006-ESW ENGINEERING - SEWER / WAT Comments1: BBW (BLACKBERRY WOODS) WINNINGER					08/09/2018
BC	_____	PM 002-FIN FINAL INSPECTION	20180481	2824 SILVER SPRINGS CT	259		08/06/2018

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BC	_____	002-FIN FINAL INSPECTION	20180487	2701 PHELPS CT	265		08/10/2018
BF	_____	009-RFR ROUGH FRAMING Comments1: GR DRHORTON	20180491	3127 MATLOCK DR	651		08/21/2018
BF	_____	010-REL ROUGH ELECTRICAL					08/21/2018
BF	_____	011-RMC ROUGH MECHANICAL					08/21/2018
PBF	_____	012-PLR PLUMBING - ROUGH Comments1: GR DRHORTON					08/21/2018
BC	_____	013-INS INSULATION					08/23/2018
BF	_____	014-WKS PUBLIC & SERVICE WALKS Comments1: GR 657 George-Upland concrete				08/31/2018	
BF	_____	003-FOU FOUNDATION Comments1: YORKVILLE BUSINESS CENTER, TERRY RICHARD Comments2: S	20180496	147 COMMERCIAL DR	19		08/23/2018
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: GR PULTE	20180508	2636 BURR ST	12		08/01/2018
BF	_____	006-BGS BASEMENT GARAGE STOOPS Comments1: GR COX					08/02/2018
BF	_____	010-RFR ROUGH FRAMING Comments1: CAL RYAN	20180518	3246 BOOMBAH BLVD	139		08/17/2018
BF	_____	011-REL ROUGH ELECTRICAL Comments1: CAL RYAN					08/17/2018
BF	_____	012-RMC ROUGH MECHANICAL Comments1: CAL RYAN					08/17/2018
PBF	_____	013-PLR PLUMBING - ROUGH Comments1: CAL RYAN					08/17/2018
BC	_____	014-INS INSULATION Comments1: CAL RYAN					08/21/2018
BF	_____	015-WKS PUBLIC & SERVICE WALKS Comments1: CAL MIDWEST					08/29/2018
BF	_____	009-RFR ROUGH FRAMING Comments1: CAL RYAN	20180519	3311 LAUREN DR	79		08/28/2018

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BF	_____	010-REL ROUGH ELECTRICAL Comments1: CAL RYAN					08/28/2018
BF	_____	011-RMC ROUGH MECHANICAL Comments1: CAL RYAN					08/28/2018
PBF	_____	012-PLR PLUMBING - ROUGH Comments1: CAL RYAN					08/28/2018
BF	_____	010-RFR ROUGH FRAMING Comments1: CAL RYAN	20180520	3321 LAUREN DR	78		08/21/2018
BF	_____	011-REL ROUGH ELECTRICAL Comments1: CAL RYAN					08/21/2018
BF	_____	012-RMC ROUGH MECHANICAL Comments1: CAL RYAN					08/21/2018
PBF	_____	013-PLR PLUMBING - ROUGH Comments1: CAL RYAN					08/21/2018
BC	_____	014-INS INSULATION					08/22/2018
BF	_____	015-WKS PUBLIC & SERVICE WALKS Comments1: CAL MIDWEST					08/29/2018
BF	_____	006-BGS BASEMENT GARAGE STOOPS Comments1: GR MIDWEST	20180521	4443 E MILLBROOK CIR	225		08/01/2018
BF	_____	007-RFR ROUGH FRAMING Comments1: CAL RYAN				08/30/2018	
BF	_____	008-REL ROUGH ELECTRICAL Comments1: CAL RYAN				08/30/2018	
BF	_____	009-RMC ROUGH MECHANICAL Comments1: CAL RYAN				08/30/2018	
PBF	_____	010-PLR PLUMBING - ROUGH Comments1: CAL RYAN				08/30/2018	
BC	_____	001-PHF POST HOLE - FENCE	20180535	1464 VIOLET CT	367		08/03/2018
BC	_____	001-OCC OCCUPANCY INSPECTION Comments1: KAMEL OPENED PRIOR TO INSPECTION BY BUIL Comments2: DING, HEALTH OR FIRE DEPARTMENTS. NO HOT Comments3: WATER IN BATHROOMS. HANDSINK IN KITCH. Comments4: 2 LABEL ELE PANES, CLEAN OUT RESTROOM	20180536	1541 SYCAMORE RD			08/07/2018

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PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: GR RYAN	20180538	2839 SILVER SPRINGS CT	250		08/09/2018
PBF	_____	006-WAT WATER Comments1: WINNINGER GR					08/08/2018
BF	_____	007-BGS BASEMENT GARAGE STOOPS Comments1: GR MIDWEST					08/10/2018
PR	_____	001-FTG FOOTING Comments1: WINDETT COMEX	20180539	752 KENTSHIRE DR	115		08/01/2018
BF	_____	002-FOU FOUNDATION Comments1: WINDETT COMEX					08/06/2018
PBF	_____	003-ESW ENGINEERING - SEWER / WAT Comments1: VERUNA, WINDETT					08/09/2018
BF	_____	004-BKF BACKFILL Comments1: WINDETT RIDGE (WR) COMEX					08/09/2018
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: WINDETT RICH					08/21/2018
BF	_____	006-BSM BASEMENT FLOOR Comments1: WIN COMEX					08/24/2018
BF	_____	007-GAR GARAGE FLOOR Comments1: WIN COMEX					08/24/2018
BF	_____	006-BSM BASEMENT FLOOR Comments1: WIN RIDGE COMEX	20180540	758 KENTSHIRE DR	114		08/09/2018
BF	_____	007-GAR GARAGE FLOOR Comments1: WIN RIDGE COMEX					08/09/2018
PBF	_____	005-PLU PLUMBING - UNDERSLAB Comments1: MCCUE DAVE	20180545	1122 CARLY DR	25		08/03/2018
BC	_____	006-BSM BASEMENT FLOOR					08/08/2018
BF	_____	008-RFR ROUGH FRAMING Comments1: GR DRHORTON	20180549	3136 MATLOCK DR	674		08/24/2018
BF	_____	009-INS INSULATION Comments1: GR DRHORTON					08/27/2018
BF	_____	010-REL ROUGH ELECTRICAL Comments1: GR DRHORTON					08/24/2018

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BF	_____	011-RMC ROUGH MECHANICAL Comments1: GR DRHORTON					08/24/2018
PBF	_____	012-PLR PLUMBING - ROUGH Comments1: GR DRHORTON					08/24/2018
BF	_____	013-WKS PUBLIC & SERVICE WALKS Comments1: GR 674 George-Upland Concrete				08/31/2018	
PBF	_____	001-WAT WATER Comments1: GR WINNINGER WATER SERVICE LINE NOT INST Comments2: ALLED	20180552	4302 E MILLBROOK CIR	276		08/03/2018
BF	_____	002-FTG FOOTING Comments1: GR MIDWEST					08/06/2018
BF	_____	003-FOU FOUNDATION Comments1: GR MIDWEST					08/07/2018
PBF	_____	004-REI REINSPECTION Comments1: GR WINNINGER-WATER SERVICE					08/08/2018
BF	_____	005-BKF BACKFILL Comments1: MIDWESTERN GR					08/09/2018
PR	_____	006-PLU PLUMBING - UNDERSLAB Comments1: GR RYAN					08/15/2018
BF	_____	007-BSM BASEMENT FLOOR Comments1: GR MIDWEST					08/15/2018
BF	_____	008-GAR GARAGE FLOOR Comments1: GR MIDWEST					08/15/2018
PBF	_____	007-PLU PLUMBING - UNDERSLAB Comments1: MCCUE	20180557	1206 CANNONBALL TR	3		08/07/2018
BF	_____	008-BSM BASEMENT FLOOR Comments1: BBW NORWOOD					08/09/2018
BC	_____	AM 001-PPS PRE-POUR, SLAB ON GRADE	20180562	871 PARKSIDE LN	195		08/01/2018
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE Comments1: BOX AROUND SUMP DRAIN	20180563	1023 N CARLY CIR	119		08/02/2018
BC	_____	003-INS INSULATION	20180566	401 W CENTER ST			08/02/2018
BC	_____	004-FIN FINAL INSPECTION					08/29/2018

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BC		003-FIN FINAL INSPECTION	20180567	584 WINDETT RIDGE RD	167		08/07/2018
		Comments1: NAIL ALL SLATS WITH RING SHANK GALVANIZE					
		Comments2: D NAILS. WIRE BRADS ARE NOT APPROPRIATE.					
BC	11:00	001-PHF POST HOLE - FENCE	20180574	1584 CORAL DR	186		08/09/2018
PBF		002-PLR PLUMBING - ROUGH	20180576	1152 HOMESTEAD DR	44		08/09/2018
		Comments1: ADDING BATHROOM IN BASEMENT, HEARTLAND					
BC		003-RFR ROUGH FRAMING					08/08/2018
BC		004-REL ROUGH ELECTRICAL					08/08/2018
BC		005-INS INSULATION					08/08/2018
BC		001-PHD POST HOLE - DECK	20180583	110 E KENDALL DR			08/06/2018
BC		002-RFR ROUGH FRAMING					08/14/2018
BC		001-PHF POST HOLE - FENCE	20180585	735 INDEPENDENCE CT	7		08/01/2018
BC		002-FIN FINAL INSPECTION	20180586	218 HILLCREST AVE			08/02/2018
BC		002-PPS PRE-POUR, SLAB ON GRADE	20180592	407 E KENDALL DR	30		08/13/2018
		Comments1: COMPLETE PLACING WIRE IN FORMS PRIOR TO					
		Comments2: POURING					
PBF		004-WAT WATER	20180593	2628 MCLELLAN BLVD	58		08/02/2018
		Comments1: GR-VERUNA					
PBF		005-PLU PLUMBING - UNDERSLAB					08/13/2018
		Comments1: GR PULTE					
BF		006-BGS BASEMENT GARAGE STOOPS					08/13/2018
		Comments1: GR COX					
BF		003-BKF BACKFILL	20180594	2631 BURR ST	81		08/06/2018
		Comments1: GR COX FINISH REMOVING DEBRIS BEFORE BAC					
		Comments2: KFILLING					
PBF		004-WAT WATER					08/08/2018
		Comments1: GR VERUNA					
PBF		005-PLU PLUMBING - UNDERSLAB					08/13/2018
		Comments1: GR PULTE					
BF		006-BSM BASEMENT FLOOR					08/22/2018
		Comments1: GR COX					

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BF		007-GAR GARAGE FLOOR Comments1: GR COX					08/22/2018
BF		002-FOU FOUNDATION Comments1: GR - COX	20180595	2622 BURR ST	14		08/01/2018
BF		003-BKF BACKFILL Comments1: GR - COX					08/07/2018
PBF		004-WAT WATER Comments1: VERUNA, INSTALL WATER LINE FOR SERVICE T Comments2: O HOUSE, PLUMBING NOT COMPLETE					08/08/2018
PBF		005-REI REINSPECTION Comments1: GR VERUNA WATER SERVICE, WATER LINE TO H Comments2: OUSE					08/10/2018
BF		006-BSM BASEMENT FLOOR Comments1: GR COX					08/22/2018
BF		007-GAR GARAGE FLOOR Comments1: GR COX					08/22/2018
PBF		008-PLU PLUMBING - UNDERSLAB Comments1: GR PULTE					08/22/2018
PBF		003-WAT WATER Comments1: GR-VERUNA	20180596	2623 MCLELLAN BLVD	43		08/02/2018
BF		004-BKF BACKFILL Comments1: GR COX					08/01/2018
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: PULTE GR					08/10/2018
BF		006-GAR GARAGE FLOOR Comments1: GR COX					08/13/2018
BF		007-BSM BASEMENT FLOOR Comments1: GR COX					08/13/2018
BC		001-TRN TRENCH - (GAS, ELECTRIC,	20180601	2412 FITZHUGH TURN	145		08/13/2018
BC	11:00	001-PHF POST HOLE - FENCE	20180603	981 CANYON TRAIL CT	38		08/13/2018
BF		001-FTG FOOTING Comments1: GR COX	20180606	2651 BURR ST	84		08/02/2018

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BF		002-FOU FOUNDATION Comments1: GR COX					08/07/2018
PBF		003-WAT WATER Comments1: GR VERUNA					08/14/2018
BF		004-BKF BACKFILL Comments1: GR COX					08/15/2018
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: GR PULTE					08/22/2018
BF		006-BSM BASEMENT FLOOR Comments1: GR COX					08/22/2018
BF		007-GAR GARAGE FLOOR Comments1: GR COX					08/22/2018
BC		001-FIN FINAL INSPECTION	20180609	412 HONEYSUCKLE LN	182		08/16/2018
BC	11:00	001-PHF POST HOLE - FENCE	20180613	105 COLONIAL PKWY D			08/01/2018
BC		002-FIN FINAL INSPECTION					08/03/2018
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: 3 PIECE RYAN GR	20180615	4364 E MILLBROOK CIR	270		08/09/2018
BF		006-BGS BASEMENT GARAGE STOOPS Comments1: GR MIDWEST					08/10/2018
BF		001-FTG FOOTING Comments1: GR MIDWEST	20180616	4352 E MILLBROOK CIR	271		08/23/2018
PBF		002-WAT WATER Comments1: GR WINNINGER					08/23/2018
BF		003-FOU FOUNDATION Comments1: GR MIDWEST					08/29/2018
BF		005-BKF BACKFILL Comments1: GR MIDWEST				08/31/2018	
PBF		001-WAT WATER Comments1: GR WINNINGER	20180618	2829 SILVER SPRINGS CT	247		08/29/2018
BF		002-FTG FOOTING Comments1: GR MIDWEST				08/30/2018	

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BC		001-FIN FINAL INSPECTION Comments1: DOOR	20180622	603 MCHUGH RD	2		08/23/2018
BF		001-FTG FOOTING Comments1: HEARTLAND CIR - RSS	20180624	1373 SPRING ST	255		08/01/2018
BF		002-FOU FOUNDATION Comments1: HEARTLAND - RSS					03/08/2018
BF		003-BKF BACKFILL Comments1: HEARTLAND CIRCLE RSS					08/08/2018
BC		001-PHF POST HOLE - FENCE	20180627	2382 SUMAC DR	49		08/27/2018
BC		001-PHF POST HOLE - FENCE	20180631	1002 ADRIAN ST			08/06/2018
BF		002-REL ROUGH ELECTRICAL	20180641	303 E RIDGE ST	2		08/07/2018
BF		003-RFR ROUGH FRAMING					08/07/2018
PBF		004-PLR PLUMBING - ROUGH Comments1: PLEASE DO NOT ARRIVE BEFORE 8AM.					08/07/2018
BC		005-PH POST HOLES / PILES					08/28/2018
BC		001-PHF POST HOLE - FENCE	20180642	586 KELLY AVE	164		08/02/2018
BC		001-PHF POST HOLE - FENCE	20180643	2866 CRANSTON CIR	93		08/02/2018
BC		001-PHF POST HOLE - FENCE	20180645	2002 RAINTREE RD	80		08/15/2018
BC		002-FIN FINAL INSPECTION Comments1: STURCTURALLY SOUND BUT SLATS 2-7 ON THE Comments2: SOUTHWEST CORNER NEED NAILS IN THE TOP O Comments3: F THE SLAT.					08/24/2018
BC	13:30	001-PPS PRE-POUR, SLAB ON GRADE	20180646	107 W CENTER ST			08/07/2018
BC	15:00	002-PPS PRE-POUR, SLAB ON GRADE					08/08/2018
BC		001-PPS PRE-POUR, SLAB ON GRADE	20180649	311 W KENDALL DR	8		08/16/2018
BC		001-PPS PRE-POUR, SLAB ON GRADE Comments1: Pre pour patio	20180650	2824 SILVER SPRINGS CT	259	08/31/2018	
BC		001-PHF POST HOLE - FENCE	20180653	1149 CLEARWATER DR	198		08/06/2018
BC		001-PHD POST HOLE - DECK	20180654	303 ILLINI DR	2		08/07/2018

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BC	_____	002-RFR ROUGH FRAMING					08/14/2018
BC	_____	003-FIN FINAL INSPECTION					08/28/2018
BC	13:30	001-PHF POST HOLE - FENCE	20180658	2795 CRANSTON CIR	140		08/08/2018
BF	_____	001-FTG FOOTING Comments1: WIN COMEX	20180659	502 WINDETT RIDGE RD	175		08/14/2018
BF	_____	002-FOU FOUNDATION Comments1: WIN COMEX					08/28/2018
BF	_____	003-BKF BACKFILL Comments1: WIN 175 Comex ADDITION				08/31/2018	
BF	_____	001-FTG FOOTING Comments1: WIN COMEX	20180660	506 WINDETT RIDGE RD	174		08/13/2018
BC	_____	PM 002-FOU FOUNDATION Comments1: CANCEL				08/20/2018	
BF	_____	003-FOU FOUNDATION Comments1: WIN COMEX					08/22/2018
PBF	_____	004-ESW ENGINEERING - SEWER / WAT					08/29/2018
BF	_____	005-BKF BACKFILL Comments1: WIN COMEX					08/29/2018
BF	_____	001-FTG FOOTING Comments1: WIN COMEX	20180661	2721 PHELPS CT	267		08/13/2018
BF	_____	002-FOU FOUNDATION Comments1: WIN COMEX					08/17/2018
BF	_____	003-BKF BACKFILL Comments1: WIN COMEX					08/23/2018
PBF	_____	004-ESW ENGINEERING - SEWER / WAT					08/29/2018
BC	10:30	001-FIN FINAL INSPECTION	20180664	1419 CANNONBALL TR			08/23/2018
BC	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20180665	404 MCHUGH RD			08/08/2018
BC	_____	002-FIN FINAL INSPECTION					08/14/2018
BF	_____	001-FTG FOOTING Comments1: CAL MIDWEST	20180668	324 FONTANA DR	55		08/23/2018

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BF		002-FOU FOUNDATION Comments1: CAL MIDWEST					08/27/2018
BF		003-BKF BACKFILL Comments1: CAL MIDWEST				08/30/2018	
PBF		001-WAT WATER Comments1: GR WINNINGER	20180669	2833 SILVER SPRINGS CT	248		08/15/2018
BF		002-FTG FOOTING Comments1: GR MIDWEST					08/17/2018
BF		003-FOU FOUNDATION Comments1: GR MIDWEST					08/20/2018
BF		004-BKF BACKFILL Comments1: GR MIDWEST					08/22/2018
PBF		005-PLU PLUMBING - UNDERSLAB Comments1: GR RYAN					08/28/2018
BF		006-BGS BASEMENT GARAGE STOOPS Comments1: GR MIDWEST					08/29/2018
BC		001-PPS PRE-POUR, SLAB ON GRADE	20180671	1428 CHESTNUT LN	56		08/13/2018
PBF		001-FIN FINAL INSPECTION Comments1: RPZ FOR IRRIGATION SYSTEM AT CASEY'S.	20180674	580 E VETERANS PKWY			08/03/2018
BC	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20180676	201 LEISURE ST			08/22/2018
PBF		001-PLR PLUMBING - ROUGH Comments1: FINISH BASEMENT, GR	20180677	2924 ELLSWORTH DR	370		08/01/2018
BC		PM 002-RFR ROUGH FRAMING					08/01/2018
BC		PM 003-REL ROUGH ELECTRICAL					08/01/2018
BC		AM 004-INS INSULATION					08/03/2018
BC		001-PHD POST HOLE - DECK	20180678	205 SPRUCE CT	19		08/09/2018
BC		AM 002-RFR ROUGH FRAMING					08/14/2018
BC		003-FIN FINAL INSPECTION				08/30/2018	
BC		001-PPS PRE-POUR, SLAB ON GRADE	20180681	701 KENTSHIRE DR	133		08/10/2018

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PBF		001-ESW ENGINEERING - SEWER / WAT	20180682	1441 WOODSAGE AVE	21		08/09/2018
		Comments1: BRIARWOOD SUBDIVISION -SEWER APPROVED, Comments2: WATER LINE NOT UNDER PRESSURE					
PR		002-REI REINSPECTION					08/10/2018
		Comments1: WATER, TIM GREYER					
BF		003-FTG FOOTING					08/15/2018
		Comments1: RSS - BRIARWOOD					
BF		004-FOU FOUNDATION					08/17/2018
		Comments1: RSS BRIARWOOD					
BF		005-BKF BACKFILL					08/23/2018
		Comments1: RSS- BRIARWOOD					
BC		001-FIN FINAL INSPECTION	20180685	2051 RAINTREE RD	69		08/14/2018
BC		001-FTG FOOTING	20180687	803 PRAIRIE CROSSING DR	179		08/06/2018
		Comments1: PERGOLA					
BC		002-FIN FINAL INSPECTION					08/28/2018
PR	10:00	001-RPZ PLUMBING - RPZ VALVE	20180688	425 E SPRING ST		08/21/2018	
		Comments1: ANDY 630-809-8249 COMMUNITY LIVING INITI Comments2: ATIVE					
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20180695	310 E FOX ST			08/03/2018
BC		002-FIN FINAL INSPECTION					08/08/2018
BC		001-PHF POST HOLE - FENCE	20180698	1548 SIENNA DR	74		08/24/2018
BC	11:00	001-PHF POST HOLE - FENCE	20180699	927 N CARLY CIR	128		08/09/2018
BF		001-FTG FOOTING	20180701	742 KENTSHIRE DR	116		08/22/2018
		Comments1: WIN COMEX					
BC	AM	001-PPS PRE-POUR, SLAB ON GRADE	20180702	492 HONEYSUCKLE LN	165		08/15/2018
BC		001-FTG FOOTING	20180704	1211 PATRICK CT	17		08/15/2018
BC	PM	002-FOU FOUNDATION					08/20/2018
BF		003-BKF BACKFILL				08/30/2018	
		Comments1: MCCUE, BBW					
BC		002-FIN FINAL INSPECTION	20180705	2563 FAIRFAX WAY	248		08/22/2018
		Comments1: 4 POST SUPPORT BOLTS ON E SIDE ARENOT PR Comments2: OPERLY TIGHTENED. sECOND JOIST ON E SIDE Comments3: IS NOT FULLY NAILED IN JOIST HANGER AT Comments4: LEDGER					

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BC		AM 001-PPS PRE-POUR, SLAB ON GRADE	20180706	109 E FOX ST			08/23/2018
		Comments1: DRIVEWAY					
BC		001-PHF POST HOLE - FENCE	20180707	2376 LAVENDER WAY	93		08/17/2018
BC		001-PHF POST HOLE - FENCE	20180709	358 TWINLEAF TR	65		08/20/2018
BC		002-FIN FINAL INSPECTION					08/22/2018
BC		001-PHF POST HOLE - FENCE	20180710	2422 FITZHUGH TURN	146		08/27/2018
BC		002-FIN FINAL INSPECTION				08/31/2018	
BC	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20180712	106 PARK ST			08/09/2018
BC		002-FIN FINAL INSPECTION					08/15/2018
BC		001-PHF POST HOLE - FENCE	20180713	1957 RAINTREE RD	61	08/30/2018	
BC		001-PHF POST HOLE - FENCE	20180715	574 SHADOW WOOD DR	95		08/13/2018
BC		001-PPS PRE-POUR, SLAB ON GRADE	20180716	711 WINDETT RIDGE RD	85		08/09/2018
BF		001-FTG FOOTING	20180724	826 ALEXANDRA LN	33		08/27/2018
		Comments1: SOPRIS, HEARTLAND MEADOWS					
PBF		002-ESW ENGINEERING - SEWER / WAT					08/29/2018
BF		003-BKF BACKFILL				08/30/2018	
		Comments1: HEARTLAND MEADOWS, MARKER					
BC		001-PHF POST HOLE - FENCE	20180725	1972 PRAIRIE ROSE LN	104		08/24/2018
BC	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20180727	1802 CANDLEBERRY LN	38		08/17/2018
BC	10:45	001-ROF ROOF UNDERLAYMENT ICE & W	20180730	301 E VAN EMMON ST			08/14/2018
BC		002-FIN FINAL INSPECTION	20180731	1808 COUNTRY HILLS DR	17		08/28/2018
BC		001-SGN SIGN INSPECTION	20180732	1213 S BRIDGE ST		08/31/2018	
BC		001-SGN SIGN INSPECTION	20180733	1213 S BRIDGE ST		08/31/2018	
BC	12:00	001-ROF ROOF UNDERLAYMENT ICE & W	20180734	1355 CORALBERRY CT	103		08/16/2018
BC		002-FIN FINAL INSPECTION					08/21/2018
PBF		001-ESW ENGINEERING - SEWER / WAT	20180754	828 ALEXANDRA LN	34		08/23/2018
		Comments1: HEARTLAND MEADOWS					

DATE: 09/04/2018
TIME: 09:44:25
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 30

INSPECTIONS SCHEDULED FROM 08/01/2018 TO 08/31/2018

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	002-FTG FOOTING				08/31/2018	
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20180756	1163 CODY CT	9	08/30/2018	
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20180757	103 STRAWBERRY LN	22		08/29/2018
		Comments1: ANCHOR TO BLDG FOUNDATION WITH REBAR BOR					
		Comments2: ED INTO FOUNDATION. INSTALL WIRE OR INDI					
		Comments3: CATE IF FIBER CEMENT IS BEING USED.					
BC	_____	001-PHD POST HOLE - DECK	20180767	1845 ASTER DR	95	08/31/2018	
BC	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20180768	344 POPLAR DR	95		08/29/2018

INSPECTIONS SCHEDULED FROM 08/01/2018 TO 08/31/2018

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE

PERMIT TYPE SUMMARY:		ADD ADDITION		8			
		AGP ABOVE-GROUND POOL		2			
		BDO COMMERCIAL BUILD-OUT		1			
		BIP BUILD INCENTIVE PROGRAM SFD		7			
		BSM BASEMENT REMODEL		5			
		CCO COMMERCIAL OCCUPANCY PERMIT		1			
		COM COMMERCIAL BUILDING		18			
		CRM COMMERCIAL REMODEL		8			
		DCK DECK		12			
		DRV DRIVEWAY		1			
		FNC FENCE		26			
		GAR GARAGE		7			
		IGP IN-GROUND POOL		6			
		MIS MISCELLANEOUS		4			
		PTO PATIO / PAVERS		13			
		REM REMODEL		8			
		ROF ROOFING		13			
		RPZ RPZ - BACKFLOW PREVENTION		4			
		SFD SINGLE-FAMILY DETACHED		361			
		SGN SIGN		2			
		SHD SHED/ACCESSORY BUILDING		2			
INSPECTION SUMMARY:		ABC ABOVE CEILING		2			
		BGS BASEMENT GARAGE STOOPS		9			
		BKF BACKFILL		21			
		BND POOL BONDING		1			
		BSM BASEMENT FLOOR		13			
		EFL ENGINEERING - FINAL INSPECTION		19			
		ESS ENGINEERING - STORM		4			
		ESW ENGINEERING - SEWER / WATER		8			
		FIN FINAL INSPECTION		52			
		FOU FOUNDATION		19			
		FTG FOOTING		20			
		GAR GARAGE FLOOR		12			
		INS INSULATION		28			
		OCC OCCUPANCY INSPECTION		1			
		PH POST HOLES / PILES		1			
		PHD POST HOLE - DECK		6			
		PHF POST HOLE - FENCE		21			
		PLF PLUMBING - FINAL OSR READY		23			
		PLR PLUMBING - ROUGH		29			
		PLU PLUMBING - UNDERSLAB		25			
		PPS PRE-POUR, SLAB ON GRADE		21			
		REI REINSPECTION		12			
		REL ROUGH ELECTRICAL		34			
		RFR ROUGH FRAMING		37			
		RMC ROUGH MECHANICAL		27			

DATE: 09/04/2018
TIME: 09:44:25
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 32

INSPECTIONS SCHEDULED FROM 08/01/2018 TO 08/31/2018

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
		ROF ROOF UNDERLAYMENT ICE & WATER			8		
		RPZ PLUMBING - RPZ VALVE			1		
		SGN SIGN INSPECTION			2		
		STP STOOP			7		
		SUM SUMP			5		
		TRN TRENCH - (GAS, ELECTRIC, ETC)			3		
		UGE UNDERGROUND ELECTRIC			1		
		WAT WATER			16		
		WKS PUBLIC & SERVICE WALKS			21		
INSPECTOR SUMMARY:		BC BOB CREADEUR			131		
		BF B&F INSPECTOR CODE SERVICE			233		
		PBF BF PLUMBING INSPECTOR			115		
		PR PETER RATOS			11		
		TK TOM KONEN			19		
STATUS SUMMARY:	C	BC			43		
	C	BF			15		
	C	PBF			21		
	C	TK			15		
	I	BC			88		
	I	BF			218		
	I	PBF			94		
	I	PR			11		
	I	TK			4		
REPORT SUMMARY:					509		



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #3

Tracking Number

EDC 2018-69

Agenda Item Summary Memo

Title: Property Maintenance Report for August 2018

Meeting and Date: Economic Development Committee – October 2, 2018

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Informational

Council Action Requested: None

Submitted by: Pete Ratos Community Development
Name Department

Agenda Item Notes:

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Memorandum

To: Economic Development Committee
From: Pete Ratons, Code Official
CC: Bart Olson, Krysti Barksdale-Noble, Lisa Pickering
Date: August 28, 2018
Subject: August Property Maintenance

Property Maintenance Report August 2018

Adjudication:

7 Property Maintenance Case heard in August

8/6/2018

N 2694	451 Kelly Ave	Junk, Trash	Dismissed
--------	---------------	-------------	-----------

8/20/2018

N 3324	3284 Pinewood Dr	Weeds	Dismissed
N 3325	706 Heustis St	Weeds	Dismissed
N 3330	206 Heustis St	Corner Clearance	Continued
N 3331	2923 Grande Tr	Building Permits	Continued
N 3332	2923 Grande Tr	Accessory Building	Continued
N 3333	1702 John St	Weeds	Dismissed

Case Report

08/01/2018 - 08/31/2018

Case #	Case Date	ADDRESS OF COMPLAINT	TYPE OF VIOLATION	STATUS	VIOLATION LETTER SENT	FOLLOW UP STATUS	CITATION ISSUED	DATE OF HEARING	POSTED	PUBLIC WORKS TO MOW
20180323	8/29/2018	1225 Evergreen	Grass, Weeds	IN VIOLATION					8/29/2018	
20180322	8/29/2018	1202 Willow	Grass, Weeds	IN VIOLATION					8/29/2018	
20180321	8/29/2018	1169 Heartland	Grass, Weeds	IN VIOLATION					8/29/2018	
20180320	8/29/2018	1402 Chestnut	Vehicle	IN VIOLATION						
20180319	8/29/2018	2196 Kingsmill	Off Street Parking	IN VIOLATION						
20180318	8/29/2018	1971 Weston Dr.	Fence in disrepair	IN VIOLATION						
20180317	8/28/2018	307 Illini Dr.	Grass, Weeds	IN VIOLATION					8/28/2018	
20180316	8/23/2018	873 N CARLY CIR	WORKING WITHOUT PERMIT	IN VIOLATION	8/24/2018					
20180315	8/23/2018	1023 S CARLY	WEEDS, GRASS	IN VIOLATION						
20180314	8/23/2018	1032 S CARLY	WEEDS, GRASS	IN VIOLATION						
20180313	8/21/2018	210 C Commercial Dr.	No Occupancy Permit	IN VIOLATION	8/28/2018					
20180312	8/21/2018	181D Commercial Dr.	No Occupancy Permit	IN VIOLATION	8/28/2018					
20180311	8/21/2018	181B Commercial Dr.	No Occupancy Permit	IN VIOLATION	8/28/2018					
20180310	8/21/2018	1372 Walsh Dr.	Unguarded swimming pool	CLOSED	8/22/2018	COMPLIANT				
20180309	8/21/2018	BLACKBERRY	WEEDS, GRASS	COMPLIANT						
20180306	8/20/2018	1973 Prairie	Grass, Weeds	CLOSED		COMPLIANT			8/20/2018	
20180304	8/20/2018	1305 Evergreen	Off Street Parking	CLOSED	8/21/2018	COMPLIANT				
20180303	8/20/2018	920 PURCELL ST	WEEDS OVER 4' IN HEIGHT, COVERING FIRE HYDRANT	CLOSED		COMPLIANT				
20180302	8/17/2018	1399 Coral	Off Street Parking	CLOSED	8/17/2018	COMPLIANT				
20180301	8/17/2018	221 B Hillcrest Ave	Zoning Violation	IN VIOLATION	4/11/2018	IN VIOLATION	8/17/2018	9/17/2018		
20180300	8/16/2018	642 Kentshire	Grass, Weeds	CLOSED	8/21/2018	COMPLIANT				
20180299	8/16/2018	651 Kentshire	Grass, Weeds	CLOSED		COMPLIANT				
20180298	8/16/2018	664 Kentshire	Grass, Weeds	CLOSED						
20180297	8/15/2018	4642 Plymouth	Brush on street	CLOSED		COMPLIANT				

20180296	8/14/2018	0208100006	NOXIOUS ODOR COMING FROM GREEN ORGANICS	REPEAT COMPLAINT						
20180295	8/14/2018	VACANT	WEEDS, GRASS	PENDING						
20180294	8/14/2018	4623 PLYMOUTH	BRUSH AT CURB	CLOSED		COMPLIANT				
20180293	8/14/2018	4641 PLYMOUTH	BRUSH AT CURB	CLOSED		COMPLIANT				
20180292	8/14/2018	404 W RIDGE ST	GRASS, RACOONS	IN VIOLATION					8/15/2018	
20180291	8/13/2018	0208100006	NOXIOUS ODOR COMING FROM GREEN ORGANICS	REPEAT COMPLAINT						
20180290	8/13/2018	2052 RAINTREE RD	JUNK TRASH REFUSE	COMPLIANT						
20180289	8/10/2018	1638 SIENNA DR	UNLICENSED VEHICLE TRAILER	CLOSED						
20180288	8/10/2018	877 GREENFIELD	JUNK TRASH REFUSE	CLOSED		COMPLIANT				
20180287	8/9/2018	1508 N. Bridge	Weeds and Grass	IN VIOLATION		PENDING	8/17/2018	9/17/2018	8/9/2018	
20180286	8/9/2018	967 N. Carly Dr.	Grass, Weeds	CLOSED		COMPLIANT				
20180285	8/9/2018	GRANDE RESERVE BIKE PATH	CURBING RUNS HALF WAY INTO BIKE PATH	PENDING						
20180284	8/9/2018	1541 SYCAMORE RD	SIGNS WITHOUT PERMITS	IN VIOLATION	8/28/2018					
20180283	8/8/2018	1436 Woodsage	Grass, Weeds	CLOSED		COMPLIANT			8/8/2018	
20180282	8/6/2018	1318 Evergreen	Off Street Parking	CLOSED	8/7/2018	COMPLIANT				
20180281	8/6/2018	2299 GRANDE	WEEDS, GRASS	CLOSED		COMPLIANT				
20180280	8/6/2018	2298 GRANDE	WEEDS, GRASS	COMPLIANT						
20180279	8/6/2018	403 Center Parkway	Unguarded swimming pool	IN VIOLATION	8/7/2018					
20180278	8/3/2018	617 Greenfield Turn	Unguarded swimming pool	CLOSED	8/6/2018	COMPLIANT				
20180277	8/2/2018	573 Poplar Dr.	Grass, Weeds, Unguarded Pool, trash	CLOSED	8/3/2018	COMPLIANT				

20180276	8/2/2018	221 B Hillcrest Ave	Zoning Violation	REPEAT COMPLAINT	4/11/2018					
20180275	8/1/2018	Lot 2 Fountain Village	Grass/weeds	IN VIOLATION		IN VIOLATION	8/14/2018	9/17/2018	8/1/2018	Yes
20180274	8/1/2018	Countryside Center Parkway 3.38 acres	Grass, Weeds, sidewalk obstruction	IN VIOLATION	8/2/2018		8/17/2018	9/17/2018		
20180273	8/1/2018	102 Worsley	Grass, Weeds	IN VIOLATION						
20180272	8/1/2018	105 WORSLEY ST	JUNK, BOAT, CANOE IN YARD NO PERMITS FOR FENCE AND SHED	CLOSED	8/2/2018	COMPLIANT				
20180271	8/1/2018	KENTSHIRE & CAULFIELD	GRAVEL ON ROAD	CLOSED		COMPLIANT				

Total Records: 50

9/4/2018



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #4

Tracking Number

EDC 2018-70

Agenda Item Summary Memo

Title: Economic Development Report for September 2018

Meeting and Date: Economic Development Committee – October 2, 2018

Synopsis: See attached.

Council Action Previously Taken:

Date of Action: N/A Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: _____

Submitted by: Bart Olson Administration
Name Department

Agenda Item Notes:

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651 Prairie Pointe Drive, Suite 102 • Yorkville, Illinois 60560
Phone 630-553-0843 • FAX 630-553-0889

Monthly Report – for October 2018 EDC Meeting of the United City of Yorkville

September 2018 Activity

Downtown Redevelopment:

- **"Hoof and Horn"** is on track for opening during the first week of October.
- **"Sense of Samadhi Yoga Studio"** is relocating from the building at northwest corner of VanEmmon and Heustis, to the Masonic Lodge Building on the east side of Route 47 on October 1st.
- Met with **Jeff Muellner** to discuss the future of his "hill property" along Route 47.
- Worked with a variety of businesses looking at Yorkville's downtown for their new home.

Development south of Fox River:

- Continue working with **Eleno Silva** on banquet center. Eleno has begun exterior construction in Stagecoach Crossing. He is focusing on opening in winter of 2018/2019.
- There are big new changes in the plans for **the Fountain Village Shopping Center** at Route 47 & 71.
- Working with a local resident looking to open a pizza restaurant on the south side.
- Working with a national restaurant (in line) interested in Yorkville's south side.
- Working with local resident Tom Glavin to open a retail shop in Fountain Village for called **"Fox Paint Ball"**. Tom will be moving this business from Aurora, IL. This retail shop would support his paint ball park located in the Newark area. It will sell apparel and equipment for the paintball experience.

Development north of the Fox River:

- **Kendall Crossing**...Construction of two new buildings will begin shortly. Continue to meet with other complementary business for the new 7000 square foot building located directly in front of Lighthouse Academy.
- **Kendall Marketplace**...Continue to work with specialist consultants from "Bespoke" who have been hired by center owner, Alex Berman, to work through a plan to determine new options and opportunities for the remainder of the project.
- **Yorkville Marketplace**..."Planet Fitness" is coming to Yorkville. They will occupy the former Office Max building. That space is approximately 18,000 square feet. The space will undergo a remodel to add locker rooms. The franchisee is planning to open at the very end of the year. They will be setting up an office to sell memberships in the adjoining strip center. Also, working with perspective tenants for both the inline part of the center, and for space in an existing outlot building. The outlot tenant would be a quick casual/fast food type use.
- **"Arby's"** will begin remodel of the former Hardee's location on Route 47. Construction documents are being worked on and re-development should begin in the fall. They are aiming for a spring 2019 opening. There will be approximately 30 new jobs created. Yonas currently owns 16 Dunkin Donuts (7 of which are Dunkin/Baskin Robbin combos) and has another 2 under construction. Yonas also has one Pet Supply Plus and has 3 more under construction. This will be his first Arby's.
- **"Salerno's Red Hots"** will open in the small "A" frame building near the northeast corner of Route 34 & 47.

Industrial Development:

- Continue working with small industrial user to locate in Yorkville. This business owner is a resident, and currently operates in a surrounding community. The project is being reconfigured to meet the needs of potential users and to be built in phases.

Recreation:

- **Go for it Sports**...continue working with the center. "Go For It Sports" will be hosting "day off school" sports camps including a 3 on 3 basketball tournament on Columbus Day. An adult soccer league will begin in November, and local golf pro Chad Johansen will be conducting instruction and practices at center. Currently six Yorkville High School students are also working at the center. Ownership is hopeful that they will be able to grow that number!

Other Activity:

- Attended the ribbon cutting ceremonies for "Capitano's Deli" and "Living Divina Yoga".
- Attended the quarterly KEDA Meeting which was held in Plano. We discussed issues facing the region.

Respectfully submitted,

Lynn Dubajic
651 Prairie Pointe Drive, Suite 102
Yorkville, IL 60560
lynn@dlkllc.com
630-209-7151 cell



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #5

Tracking Number

EDC 2018-71

Agenda Item Summary Memo

Title: City Council Recommendation PZC 2018-07 GRNE Solar – Kendall Co. Government Campus

Meeting and Date: Economic Development Committee – October 2, 2018

Synopsis: Memo outlining proposed solar farm at the Kendall County Government Campus

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: _____

Submitted by: Jason Engberg Community Development
Name Department

Agenda Item Notes:

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Memorandum

To: Economic Development Committee
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti Barksdale-Noble, Community Development Director
Date: September 25, 2018
Subject: **PZC 2018-07 GRNE Solar – Kendall County Government Campus**
(Special Use)

BACKGROUND AND PROJECT DESCRIPTION:

The applicant, GRNE Solar on behalf of Kendall County, is requesting special use permit approval to construct a freestanding solar farm at the Kendall County Government Center at 810 John Street. The solar farm is being proposed to be located on approximately 7.4 acres of vacant land at the southwest corner of the Kendall County Government Campus south of John Street. There are no plans to build on the 4.4 acre private storm water drainage facility near the intersection of Beecher Road and Route 34.

The subject property is currently zoned O Office District and the solar farm will be part of the existing Kendall County Government Center. Structures existing within the Center include the County Courthouse, County Jail, and the County Health Department. The solar farm site will be directly north of the Blackberry Woods residential subdivision in Yorkville.



EXISTING CONDITIONS:

The existing zoning and land use for properties surrounding the subject property are as indicated below:

Zoning		Land Use
North	B-3 General Business District	Kendall Marketplace Shopping Center
South	R-2 Traditional Residential District	Single Family Homes Blackberry Woods
East	O Office District	Kendall County Government Campus
West	B-3 General Business District	Rush Hospital

ALTERNATIVE ENERGY SYSTEMS REGULATIONS:

On November 25, 2014, the City Council approved a new Zoning Ordinance update. As part of the updated Zoning Ordinance, specific zoning and regulatory criteria related to alternative energy systems was adopted. Chapter 19: Alternative Energy Systems of the approved new Zoning Ordinance identifies freestanding solar energy systems (FSSES) as a special use within the all zoning districts and establishes regulations which were used in the review of this request.

The proposed solar farm is required to meet the setback standards for the O Office District as well as the provisions under the Freestanding Solar Energy Systems regulations. Table 10.07.01 of Chapter 7 in the City's Zoning Ordinance provides dimensions and bulk regulations for the O Office District.

Section 19-7-C of the Yorkville Zoning Ordinance states that freestanding solar energy systems shall not be located within the required front yard or corner side yard. Additionally, Section 19-7-B of the Yorkville Zoning Ordinance states that all parts of any freestanding solar energy system shall be set back 8 feet from interior side and rear property lines.

The following table illustrates the minimum required yard setbacks for solar systems based upon the O Office District regulations and the Freestanding Solar Energy System requirements:

Minimum Requirement		Proposed Setback
Front	30 feet	710 feet
Rear	8 feet	18 feet
Side (East)	8 feet	962 feet
Side (West)	20 feet	30 feet



Distance from Residential Properties

In addition to the shown setbacks, the petitioner has indicated on their plans that the boundary fence of the solar farm will be seventy-five (75) feet away from the property line of the nearest residential property (Blackberry Woods). The solar panels themselves will be an additional ten (10) feet from the closest residential property line for a total of eighty-five (85) feet from the nearest residential property line.

Staff has conducted research on the 10 residential properties in Blackberry Woods which are closest to the proposed development. Of the 10 properties, there are 8 existing single family homes and 2 vacant lots. The following table details the distances from the rear property line to the closest point on an existing home and the estimated overall distances from the proposed solar panels:

Address	Distance of Rear Yard Property Line to Existing Structure	Distance of Solar Panel to Existing Structure
927 N Carly Circle	65 feet	150 feet
937 N Carly Circle	80 feet	165 feet
957 N Carly Circle	72 feet	157 feet
967 N Carly Circle	61 feet	146 feet
977 N Carly Circle	82 feet	167 feet
987 N Carly Circle	84 feet	169 feet
997 N Carly Circle	63 feet	148 feet
1007 N Carly Circle	95 feet	180 feet
AVERAGE:	75.25 feet	160.25 feet



For comparison and context, the submission from PZC 2018-08 BAP Power Corporation at Windmill Farms (reviewed in May 2018) proposed a similar solar farm which would have been an estimated three hundred and seventy (370) feet from the nearest residential property line as shown in the map below.



Height

The petitioner has submitted an exhibit illustrating that the height of the entire panel on the stand will not exceed seven feet and one inch (7'1") in height. Section 10-19-7-F states the maximum height will be stipulated as a special use condition. Section 10-19-7-D of the City's Zoning Ordinance, the minimum clearance between the lowest point of the system and the surface which the system is mounted is ten (10) feet. The exhibit shows a one foot seven inch (1'7") minimum clearance. The reason that the panels do not meet the stated regulation is because the petitioner wishes to keep the solar panels as low to the ground as possible for visual purposes and to avoid issues with their wind load rating. The petitioner has stated that the ten foot (10') standard would not meet any industry racking standards. By keeping the panels as low as possible to the ground, the perimeter fence will be tall enough to hide all of the panels.

Staff encountered this issue with the previous solar field proposal and we are aware of the current industry standards for height. It is our intention to propose a future text amendment to this section of the ordinance to meet current best practices. Therefore staff is not opposed to the required minimum clearance proposed.

Glare

Per Section 10-19-7-E of the Zoning Ordinance regarding Alternative Energy Systems for freestanding solar units, the panels are to be placed such that the concentrated solar radiation or glare does not directed onto nearby properties or roadways. The petitioner has provided a glare study which indicates that no glare will be created by this type of system.

The study indicates that there are two common types of solar panel systems; Photovoltaic (PV) and Concentrated Solar Power (CSP). The petitioner is proposing a solar farm using a PV system. These solar panels are constructed of dark color materials and covered with anti-reflective coatings. The main goal of a PV system is to absorb light and not reflect it. A CSP system utilizes mirrors to reflect light and heat water or other fluids to create steam that turns an electric generator. A common misconception of solar panels and glare comes from not understanding the difference between the two types of systems. At

most, solar PV panels will reflect as little as 2% of incoming sunlight which is about the same as a body of water.

Additionally, the petitioner has provided the distance, in linear feet, of the solar farm to the nearest neighboring residential property line on the revised Site Plan. According to the plan, the nearest residential property to the solar farm will be approximately 75 feet away. The panels shall be placed to face east and rotate west to follow the path of the sun to collect the most sunlight throughout the day. It is not anticipated the system would cause glare to the adjacent buildings located to the south, as the units at maximum tilt will be pointed towards the east. It should be noted that the systems may be visible from the adjacent homes from the second story's vantage point and the Rush Copley Hospital.

Fencing

The petitioner originally proposed a six (6) foot chain link fence to surround the perimeter of the solar farm. As stated in Section 10-17-2-F a fence may be a maximum of six (6) feet in height in the corner side yard and rear yard except in a rear yard which is adjacent to residential uses, the maximum height is then eight (8) feet. This section of the code also states that galvanized chain link is not a permitted material but vinyl coated chain link fence is permitted.

After staff review, the petitioner was advised to make the entire fence the maximum of eight feet (8') in height and 100% opaque. The petitioner has proposed a seven foot and six inch (7'6") tall fence around the entire solar farm. In terms of materials, the southern portion of the fence will be completely opaque treated wood and the western, northern, and eastern sections will be vinyl coated chain link.

The reasoning for their submission can be seen in the attached letter from the Kendall county Sheriff's Office. The Sheriff's Office expressed concerns of not obstructing a view across the Government Center by requiring a solid fence surrounding the entire solar farm. They stated that a solid fence along the south boundary is acceptable but the rest of the enclosure should be chain link and open for views across the Government Center. While staff can appreciate the concerns from the Kendall County Sheriff's Office, staff still finds it in the best interest of the community, adjacent homeowners, and businesses to require the fencing to be completely opaque around the entire solar farm. The seven foot and six inch (7'6") proposed height will still be taller than the maximum height of the solar panels.

Accessory Use

Section 10-19-4-D states that alternative energy systems shall be an accessory to the principal permitted use. The proposed solar farm will be accessory to the entire Kendall County Government Campus.

Signage

Section 10-19-4-F states that no commercial signage or attention getting device is permitted on any alternative energy system. The submitted plans do not indicate any signage will be located on the solar farm or the surrounding fence.

Utility Service Provider

Section 10-19-4-G requires written evidence that the electric utility service provider that serves the proposed site has been notified of the owner's intent to install an interconnected customer owned electricity generator. ComEd has been notified of this project and an interconnection plan has been submitted to them.

Landscape Plan

Per Section 8-12-2-H of the Landscape Ordinance, a Tree Preservation Plan is required for all lots five (5) acres or greater in area. No live trees with a four inch (4") DBH (diameter breast height) may be removed without first submitting an application for tree removal and receiving approval from the City. The petitioner is aware of this requirement and has submitted some preliminary materials for that study.

As shown in the attached draft landscape plan, the site contains a total of 848 trees comprised of 22 species. The location and health of these trees have also been documented in the survey. About 70% of the trees surveyed are in fair or good condition. The remaining 30% of trees are either in poor condition or are dead. The existing trees have been moved several times and were originally meant to be located at the Kendall County Government Center property temporarily. The County and the petitioner are considering options to move these trees, if possible, to a new location.

The petitioner has submitted a draft landscape plan which indicates the existing conditions and renderings of screening efforts along the southern boundary of the development. While the petitioner has proposed a solid fence along the southern boundary to screen the solar farm from adjacent residents, the addition of landscaping for screening purposes is encouraged. The City's landscape review consultant is currently reviewing the submitted materials and once their review is complete, their requests and comments will be subject to the petitioner's special use.

Abandoned Systems

In the Zoning Ordinance, Section 10-19-4-E states all alternative energy systems inactive or inoperable for a period of 12 continuous months shall be deemed abandoned and the owner is required to repair or remove the system from the property at the owner's expense within 90 days of notice from the City. To ensure compliance, **staff recommends** the petitioner provide a security guarantee in a form acceptable to the City to cover such costs including, but not limited to the removal, property restoration, and city legal expenses, as a condition of the Special Use approval.

In addition to the security, staff **also recommends** a blanket easement over the property to allow the City or its contractor to enter and remove the abandoned system in compliance with the City Code, as a condition of the Special Use approval. The petitioner is aware of these conditions which will be a part of their special use authorization.

Special Use Standards

Section 10-19-4-C and 10-4-9-F state specific standards for special use which all recommendation bodies will review. The petitioner has provided answers to each of the criteria in the application as well as providing an additional attachment to these standards which are included in the packet for your review and will be entered into the public record as part of the public hearing process.

ENGINEERING COMMENTS:

Please refer to the attached comments prepared by Engineering Enterprises Inc. (EEI) dated August 2, 2018. The work items listed in the review letter will become conditions for the Special Use and a requirement for issuance of a building permit.

STAFF COMMENTS & RECOMMENDATIONS:

Should the City Council vote to approve this request, staff recommends the following conditions to the special use:

1. The minimum clearance between the lowest point of the system and the surface on which the system is mounted is one foot and seven inches (1'7").
2. A seven foot and six inch (7'6") tall solid fence be installed along the entire perimeter line in addition to a landscape buffer be provided along the southern fence line adjacent to the existing residential subdivision.
3. The petitioner must comply with all comments and requirements made by Planning Resources, Inc. (review will be complete before public hearing).
4. The petitioner provide a security guarantee in a form acceptable to the City to cover such costs including, but not limited to the removal, property restoration, and city legal

expenses and a blanket easement be provided over the property to allow the City or its contractor to enter and remove the abandoned system in compliance with the City Code.

5. Adherence to all comments prepared by EEI, city engineering consultant, in a letter dated August 2, 2018.

This request is tentatively scheduled for a public hearing at the October 10, 2018 Planning and Zoning Commission meeting. Staff and the petitioner are seeking comments from the Economic Development Committee about the proposed solar farm before the public hearing.

ATTACHMENTS:

1. Special Use Application with Attachments
2. GRNE Design Packet
3. Staff Follow Up Letter (4-2-2018)
4. GRNE Response to Follow Up Letter (4-10-2018)
5. Plan Council Follow Up Letter (8-10-2018)
6. GRNE Plan Council Response Packet (8-27-2018)
7. Draft Landscape Plan and Tree Survey (9-14-2018)



United City of Yorkville
800 Game Farm Road
Yorkville, Illinois, 60560
Telephone: 630-553-4350
Fax: 630-553-7575
Website: www.yorkville.il.us

APPLICATION FOR SPECIAL USE

DATE:	PZC NUMBER:	DEVELOPMENT NAME:	
PETITIONER INFORMATION			
NAME:		COMPANY:	
MAILING ADDRESS:			
CITY, STATE, ZIP:		TELEPHONE:	
EMAIL:		FAX:	
PROPERTY INFORMATION			
NAME OF HOLDER OF LEGAL TITLE:			
IF LEGAL TITLE IS HELD BY A LAND TRUST, LIST THE NAMES OF ALL HOLDERS OF ANY BENEFICIAL INTEREST THEREIN:			
PROPERTY STREET ADDRESS:			
DESCRIPTION OF PROPERTY'S PHYSICAL LOCATION:			
CURRENT ZONING CLASSIFICATION:		COMPREHENSIVE PLAN FUTURE LAND USE DESIGNATION:	
REQUESTED SPECIAL USE:			
ZONING AND LAND USE OF SURROUNDING PROPERTIES			
NORTH:			
EAST:			
SOUTH:			
WEST:			
KENDALL COUNTY PARCEL IDENTIFICATION NUMBER(S)			



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APPLICATION FOR SPECIAL USE

ATTORNEY INFORMATION

NAME: COMPANY:

MAILING ADDRESS:

CITY, STATE, ZIP: TELEPHONE:

EMAIL: FAX:

ENGINEER INFORMATION

NAME: COMPANY:

MAILING ADDRESS:

CITY, STATE, ZIP: TELEPHONE:

EMAIL: FAX:

LAND PLANNER/SURVEYOR INFORMATION

NAME: COMPANY:

MAILING ADDRESS:

CITY, STATE, ZIP: TELEPHONE:

EMAIL: FAX:

ATTACHMENTS

Petitioner must attach a legal description of the property to this application and title it as "Exhibit A".

Petitioner must list the names and addresses of any adjoining or contiguous landowners within five hundred (500) feet of the property that are entitled notice of application under any applicable City Ordinance or State Statute. Attach a separate list to this application and title it as "Exhibit B".



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Telephone: 630-553-4350
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APPLICATION FOR SPECIAL USE

SPECIAL USE STANDARDS

PLEASE STATE HOW THE ESTABLISHMENT, MAINTENANCE OR OPERATION OF THE SPECIAL USE WILL NOT BE UNREASONABLY DETRIMENTAL TO OR ENDANGER THE PUBLIC HEALTH, SAFETY, MORALS, COMFORT OR GENERAL WELFARE:

PLEASE STATE HOW THE SPECIAL USE WILL NOT BE INJURIOUS TO THE USE AND ENJOYMENT OF OTHER PROPERTY IN THE IMMEDIATE VICINITY FOR THE PURPOSE ALREADY PERMITTED, NOR SUBSTANTIALLY DIMINISH AND IMPAIR PROPERTY VALUES WITHIN THE NEIGHBORHOOD:

PLEASE STATE HOW THE ESTABLISHMENT OF THE SPECIAL USE WILL NOT IMPEDE THE NORMAL AND ORDERLY DEVELOPMENT AND IMPROVEMENT OF SURROUNDING PROPERTY FOR USES PERMITTED IN THE DISTRICT:

PLEASE STATE HOW ADEQUATE UTILITIES, ACCESS ROADS, DRAINAGE OR OTHER NECESSARY FACILITIES HAVE BEEN OR ARE BEING PROVIDED:



United City of Yorkville
800 Game Farm Road
Yorkville, Illinois, 60560
Telephone: 630-553-4350
Fax: 630-553-7575
Website: www.yorkville.il.us

APPLICATION FOR SPECIAL USE

SPECIAL USE STANDARDS

PLEASE STATE HOW ADEQUATE MEASURES HAVE BEEN OR WILL BE TAKEN TO PROVIDE INGRESS OR EGRESS SO DESIGNED AS TO MINIMIZE TRAFFIC CONGESTION IN THE PUBLIC STREETS:

There will be no additional congestion added to public streets as a result of this project, before, during, or after construction. The project location is situated next to a vacant lot and ample parking lot space to be able to maneuver and store materials needed for the project. Deliveries for the project will enter from the North off of route 34 onto Beecher Rd and then onto John St. to make their way to project site. This will not be more than is common for usual traffic on this route.

PLEASE STATE HOW THE SPECIAL USE SHALL IN ALL OTHER RESPECTS CONFORM TO THE APPLICABLE REGULATIONS OF THE DISTRICT IN WHICH IT IS LOCATED, EXCEPT AS SUCH REGULATIONS MAY IN EACH INSTANCE BE MODIFIED BY THE CITY COUNCIL PURSUANT TO THE RECOMMENDATIONS OF THE PLANNING AND ZONING COMMISSION:

GRNE Solar and Kendall County have worked closely with the City of Yorkville to abide by the Solar Ordinance provided. All project details are in compliance with the ordinance. Considering the land is zoned for build-able space and is owned by the County, we do not see the need for any changes or modifications but are willing to comply with any adjustments or requirements from the City.

AGREEMENT

I VERIFY THAT ALL THE INFORMATION IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE. I UNDERSTAND AND ACCEPT ALL REQUIREMENTS AND FEES AS OUTLINED AS WELL AS ANY INCURRED ADMINISTRATIVE AND PLANNING CONSULTANT FEES WHICH MUST BE CURRENT BEFORE THIS PROJECT CAN PROCEED TO THE NEXT SCHEDULED COMMITTEE MEETING.

I UNDERSTAND ALL OF THE INFORMATION PRESENTED IN THIS DOCUMENT AND UNDERSTAND THAT IF AN APPLICATION BECOMES DORMANT IT IS THROUGH MY OWN FAULT AND I MUST THEREFORE FOLLOW THE REQUIREMENTS OUTLINED ABOVE.

PETITIONER SIGNATURE

3/21/2018

DATE

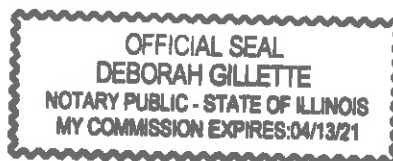
OWNER HEREBY AUTHORIZES THE PETITIONER TO PURSUE THE APPROPRIATE ENTITLEMENTS ON THE PROPERTY.

OWNER SIGNATURE

3/21/18

DATE

**THIS APPLICATION MUST BE
NOTARIZED PLEASE NOTARIZE HERE:**





United City of Yorkville
800 Game Farm Road
Yorkville, Illinois, 60560
Telephone: 630-553-4350
Fax: 630-553-7575
Website: www.yorkville.il.us

PETITIONER DEPOSIT ACCOUNT/ ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY

PROJECT NUMBER:	FUND ACCOUNT NUMBER:	PROPERTY ADDRESS:
PETITION/APPROVAL TYPE (check appropriate box(es) of approval requested):		
<input type="checkbox"/> CONCEPT PLAN REVIEW	<input type="checkbox"/> AMENDMENT (TEXT)	<input type="checkbox"/> ANNEXATION
<input type="checkbox"/> SPECIAL USE	<input type="checkbox"/> MILE AND 1/2 REVIEW	<input type="checkbox"/> ZONING VARIANCE
<input type="checkbox"/> FINAL PLANS	<input type="checkbox"/> PLANNED UNIT DEVELOPMENT	<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REZONING		
<input type="checkbox"/> PRELIMINARY PLAN		
PETITIONER DEPOSIT ACCOUNT FUND: It is the policy of the United City of Yorkville to require any petitioner seeking approval on a project or entitlement request to establish a Petitioner Deposit Account Fund to cover all actual expenses occurred as a result of processing such applications and requests. Typical requests requiring the establishment of a Petitioner Deposit Account Fund include, but are not limited to, plan review of development approvals/engineering permits. Deposit account funds may also be used to cover costs for services related to legal fees, engineering and other plan reviews, processing of other governmental applications, recording fees and other outside coordination and consulting fees. Each fund account is established with an initial deposit based upon the estimated cost for services provided in the INVOICE & WORKSHEET PETITION APPLICATION . This initial deposit is drawn against to pay for these services related to the project or request. Periodically throughout the project review/approval process, the Financially Responsible Party will receive an invoice reflecting the charges made against the account. At any time the balance of the fund account fall below ten percent (10%) of the original deposit amount, the Financially Responsible Party will receive an invoice requesting additional funds equal to one-hundred percent (100%) of the initial deposit if subsequent reviews/fees related to the project are required. In the event that a deposit account is not immediately replenished, review by the administrative staff, consultants, boards and commissions may be suspended until the account is fully replenished. If additional funds remain in the deposit account at the completion of the project, the city will refund the balance to the Financially Responsible Party. A written request must be submitted by the Financially Responsible Party to the city by the 15th of the month in order for the refund check to be processed and distributed by the 15th of the following month. All refund checks will be made payable to the Financially Responsible Party and mailed to the address provided when the account was established.		
ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY		
NAME:	COMPANY	
MAILING ADDRESS:		
CITY, STATE, ZIP:	TELEPHONE:	
EMAIL:	FAX:	
FINANCIALLY RESPONSIBLE PARTY: I acknowledge and understand that as the Financially Responsible Party, expenses may exceed the estimated initial deposit and, when requested by the United City of Yorkville, I will provide additional funds to maintain the required account balance. Further, the sale or other disposition of the property does not relieve the individual or Company/ Corporation of their obligation to maintain a positive balance in the fund account, unless the United City of Yorkville approves a Change of Responsible Party and transfer of funds. Should the account go into deficit, all City work may stop until the requested replenishment deposit is received.		
PRINT NAME	TITLE	
SIGNATURE	DATE	
ACCOUNT CLOSURE AUTHORIZATION		
DATE REQUESTED: _____	<input type="checkbox"/> COMPLETED	<input type="checkbox"/> INACTIVE
PRINT NAME: _____	<input type="checkbox"/> WITHDRAWN	<input type="checkbox"/> COLLECTIONS
SIGNATURE: _____	<input type="checkbox"/> OTHER	
DEPARTMENT ROUTING FOR AUTHORIZATION:	<input type="checkbox"/> COM. DEV.	<input type="checkbox"/> BUILDING
	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> FINANCE
	<input type="checkbox"/> ADMIN.	

EXHIBIT A - LEGAL DESCRIPTION

DESCRIPTION OF LEASED PREMISES

"Leased Premises" consist of:

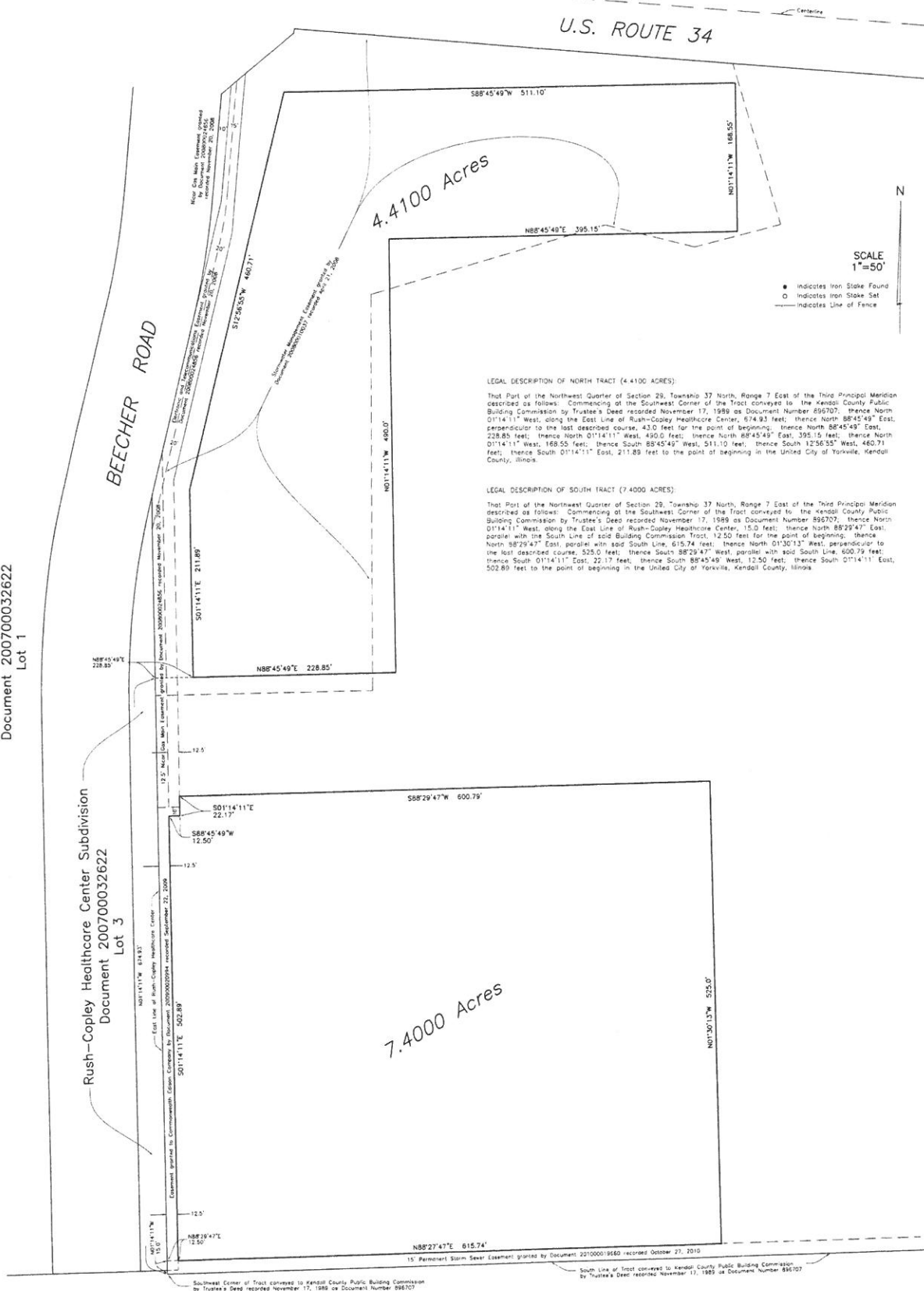
That Part of the Northwest Quarter of Section 29, Township 37 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southwest Corner of the Tract conveyed to the Kendall County Public Building Commission by Trustee's Deed recorded November 17, 1989 as Document Number 896707; thence North 01°14'11" West, along the East Line of Rush-Copley Healthcare Center, 15.0 feet; thence North 88°29'47" East, parallel with the South Line of said Building Commission Tract, 12.50 feet for the point of beginning; thence North 88°29'47" East, parallel with said South Line, 615.74 feet; thence North 01°30'13" West, perpendicular to the last described course, 525.0 feet; thence South 88°29'47" West, parallel with said South Line, 600.79 feet; thence South 01°14'11" East, 22.17 feet; thence South 88°45'49" West, 12.50 feet; thence South 01°14'11" East, 502.89 feet to the point of beginning in the United City of Yorkville, Kendall County, Illinois.

And depicted graphically as follows. Any conflict between the legal description above and the graphic depiction below shall be resolved in favor of the written legal description.

EASEMENT PLAT
PART OF THE NORTHWEST QUARTER OF SECTION 29, T37N-R7E, 3rd PM
UNITED CITY OF YORKVILLE KENDALL COUNTY ILLINOIS

Rush-Copley Healthcare Center Subdivision
Document 200700032622
Lot 1

Rush-Copley Healthcare Center Subdivision
Document 200700032622
Lot 3



LEGAL DESCRIPTION OF NORTH TRACT (4.4100 ACRES)

That Part of the Northwest Quarter of Section 29, Township 37 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southwest Corner of the Tract conveyed to the Kendall County Public Building Commission by Trustee's Deed recorded November 17, 1989 as Document Number 896707; thence North 01°14'11" West, along the East Line of Rush-Copley Healthcare Center, 674.93 feet; thence North 88°45'49" East, perpendicular to the last described course, 43.0 feet for the point of beginning; thence North 88°45'49" East, 228.85 feet; thence North 01°14'11" West, 450.0 feet; thence North 88°45'49" East, 395.15 feet; thence North 01°14'11" West, 168.55 feet; thence South 88°45'49" West, 511.10 feet; thence South 12°56'55" West, 460.71 feet; thence South 01°14'11" East, 211.89 feet to the point of beginning in the United City of Yorkville, Kendall County, Illinois.

LEGAL DESCRIPTION OF SOUTH TRACT (7.4000 ACRES)

That Part of the Northwest Quarter of Section 29, Township 37 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southwest Corner of the Tract conveyed to the Kendall County Public Building Commission by Trustee's Deed recorded November 17, 1989 as Document Number 896707; thence North 01°14'11" West, along the East Line of Rush-Copley Healthcare Center, 15.0 feet; thence North 88°29'47" East, parallel with the South Line of said Building Commission Tract, 12.50 feet for the point of beginning; thence North 88°29'47" East, parallel with said South Line, 615.74 feet; thence North 01°30'13" West, perpendicular to the last described course, 525.0 feet; thence South 88°29'47" West, parallel with said South Line, 600.79 feet; thence South 01°14'11" East, 22.17 feet; thence South 88°45'49" West, 12.50 feet; thence South 01°14'11" East, 502.89 feet to the point of beginning in the United City of Yorkville, Kendall County, Illinois.

JOB NO.	18036
JOB NAME	KENDALL COUNTY
DWG FILE	18036
REVISION DATE	

Phillip D. Young and Associates, Inc.
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775

11078 South Bridge Street
Yorkville, Illinois 60560
Telephone (630)553-1580



**Kendall County
Government Campus
Bristol Twp.
Survey 18036**

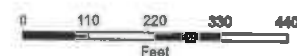
KENDALL COUNTY

- 2018 -

<http://www.co.kendall.il.us>



1 in=200 feet



Legend

- ADJACENT COUNTY
- COUNTY
- INTERSTATE
- STATE
- FEDERAL
- MUNICIPAL
- DIRT
- LOCAL
- RAILROAD



Kendall County GIS

111 West West Street, Room 500
Yorkville, Illinois 60550 1400
608.666.0000

GRNE Solar
230 N. Hicks Place
Palatine, IL 60067

United City of Yorkville
800 Game Farm Road
Yorkville, IL 60560
Telephone: 630-553-4350

March 23, 2018

RE: Chapter 19 – Alternative Energy Systems – Standards For Granting a Special Use

1. The city council shall determine that the application has met all of the general requirements of this chapter.

GRNE Solar along with Progressive Energy Group and Kendall County have reviewed Chapter 19 – Alternative Energy Systems – and have paid close attention to ensuring compliance with the standards set forth by the City of Yorkville in order to gain approval for this project.

2. The proposed energy system shall further the intent of this chapter and provide renewable energy to the property on which it is proposed.

This project directly aligns with the intent of Chapter 19 to regulate alternative energy systems and to promote their effective and efficient use. By abiding by the standards and ensuring compliance, this project will help create and utilize renewable energy for the customer. The energy produced will be used to directly offset the energy load of the customer.

3. The proposed alternative energy system is located in such a manner as to minimize intrusions on adjacent residential uses through siting on the lot, selection of appropriate equipment, and other applicable means.

We have worked with Kendall County to identify the best possible space for the location of this project. We have set it back off of route 34 to the back of the property. Additionally, the entire array will be surrounded by a 6' chain-link fence to ensure safety and security and minimize concerns with aesthetics.

4. The establishment for the proposed alternative energy system will not prevent the normal and orderly use, development or improvement of the adjacent property for uses permitted in the district.

Implementation of this project will not have an impact on normal use or development of other properties in this area. There are no outstanding or adverse effects that will result from installing the solar energy equipment. The solar array will be enclosed by the security fence and will not impact the surrounding properties.



PIN	mailto_name	mailto_address1	mailto_address2	mailto_csz
02-29-128-024	KING KAREN L	726 INDEPENDENCE CT		YORKVILLE IL 60560
02-29-126-002	FAITH UNLIMITED INC	1407 CANNONBALL TRAIL		YORKVILLE IL 60560
02-29-123-012	GRIGSBY SHELLEY M	882 N CARLY CIR		YORKVILLE IL 60560
02-29-132-002	AMIRTHASEELAN, JOSEPH T & VARADHARAJAN, SHANTHI	4725 BURR OAK CT		PALATINE IL 60067
02-29-128-023	WALTER RICHARD GLEN & WINSHIP-WALTER EWA M	734 JOHN ST UNIT A		YORKVILLE IL 60560
02-29-128-022	RATOS JAMES C & JENNIFER L	1173 CODY CT		YORKVILLE IL 60560
02-29-128-026	PARKES STEVEN W	758 JOHN ST		YORKVILLE IL 60560
02-29-128-015	FAHLMARK STEVEN L & MARCIA A	1371 CANNONBALL TRL		YORKVILLE IL 60560
02-29-128-014	PIERSKI JOAN I	1377 CANNONBALL TRL		YORKVILLE IL 60560
02-29-128-018	HUNLEY CAROL L & LARRY L	1369 CANNONBALL TRL		YORKVILLE IL 60560
02-29-128-027	CLAUSEL CHRISTOPHER L & JENNIFER K	764 JOHN ST		YORKVILLE IL 60560
02-29-128-021	KIJAK JANET & GIESE DIANA	1381 CANNONBALL TRL		YORKVILLE IL 60560
02-29-126-006	NEW RAJ ENTERPRISE LLC	3511 CYPRESS CREEK RD		CHAMPAIGN IL 61822
02-29-126-005	NORSKE LLC	759 JOHN ST SUITE A		YORKVILLE IL 60560
02-29-101-002	KENDALL HOLDINGS I LLC % GREENWOOD GLOBAL INC	707 SKOKIE BLVD STE 600		NORTHBROOK IL 60062
02-29-101-001	KENDALL HOLDINGS I LLC % GREENWOOD GLOBAL INC	707 SKOKIE BLVD STE 600		NORTHBROOK IL 60062
02-29-101-005	TARGET CORPORATION	%PROPERTY TAX DEPT T-2378	PO BOX 9456	MINNEAPOLIS MN 554409456
02-29-129-024	CHILDS JUDITH C	1024B JOHN ST		YORKVILLE IL 60560
02-29-123-022	MONTALVO LUCIO & GUADALUPE	891 PURCELL ST		YORKVILLE IL 60560
02-29-123-023	DUDA EDWARD S III & BRITTANY M	895 PURCELL ST		YORKVILLE IL 60560
02-29-128-017	SMITH LESLI J	739 INDEPENDENCE CT		YORKVILLE IL 60560
02-29-123-011	KLOSKA WILLIAM C & VANESSA A	892 N CARLY CIR		YORKVILLE IL 60560
02-29-123-010	HOCHSTETLER GINA & STEVEN	902 N CARLY CIR		YORKVILLE IL 60560
02-29-132-007	LACHAPPELL JEFFREY R & LINDSEY	1210 PATRICK CT		YORKVILLE IL 60560
02-29-123-003	NC GLOBAL LLC	1033 REDWOOD LN		MINOOKA IL 60447
02-29-122-021	FLETES NOE & FLETES OSCAR	873 N CARLY CIR		YORKVILLE IL 60560
02-29-122-014	MCCUE BUILDERS INC	PO BOX 354		BRISTOL IL 60512
02-29-122-009	NC GLOBAL LLC	1033 REDWOOD LN		MINOOKA IL 60447
02-29-123-015	PHENEY KEVIN & JULIANNE	866 N CARLY CIR		YORKVILLE IL 60560
02-29-123-013	STRIBIAK FAMILY LIVING TRUST DECL OF TR	876 N CARLY CIR		YORKVILLE IL 60560
02-29-123-014	KALUZNY JASON & SHARON	872 N CARLY CIR		YORKVILLE IL 60560
02-29-123-026	CURRAN, LAURA & ANAGNOPOULOS, LINDSAY	921 PURCELL ST		YORKVILLE IL 60560
02-29-123-027	MAMARIL MA QUENNIE C & ROSS P	931 PURCELL ST		YORKVILLE IL 60560
02-29-122-011	WEST SUBURBAN BANK TR 14170	P O BOX 354		BRISTOL IL 60512
02-29-122-012	STONE DOUGLAS L	937 N CARLY CIR		YORKVILLE IL 60560
02-29-122-013	KLOSKA WILLIAM & ANTONETTE M	927 N CARLY CR		YORKVILLE IL 60560
02-29-128-029	PERKINS DALE & ETHEL	736 INDEPENDENCE CT		YORKVILLE IL 60560
02-29-128-028	ESSIG CHARLES J	732 INDEPENDENCE DR		YORKVILLE IL 60560
02-29-129-020	SLEEZER JOHN R	204 B CANNONBALL TRL		YORKVILLE IL 60560
02-29-129-019	BROWN TODD WILLIAM	39 TIMBERVIEW LN		YORKVILLE IL 60560

02-29-129-022	HASKE KAREN E	1023 INDEPENDENCE BLVD	YORKVILLE IL 60560
02-29-126-007	FIRST NATIONAL BANK OTTAWA	701 LASALLE ST	OTTAWA IL 61350
02-29-128-012	METZGER CYNTHIA G	1343 CANNONBALL TRL	YORKVILLE IL 60560
02-29-130-001	MARINO SHEILA LYNN DECL OF TR	46 BRISTOL RIDGE RD	BRISTOL IL 60512
02-29-127-032	CASTLE BANK NA % JAMES RATOS TRUST	207 W KENDALL DR	YORKVILLE IL 60560
02-29-123-005	WEST SUBURBAN BANK TR 14170	P O BOX 354	BRISTOL IL 60512
02-29-123-006	NC GLOBAL LLC	1033 REDWOOD LN	MINOOKA IL 60447
02-29-123-007	WOOD GEOFFREY L & SAMANTHA MARIE	936 N CARLY CIR	YORKVILLE IL 60560
02-29-123-008	ROBERTS EVAN O & ASHLEIGH G	926 N CARLY CIR	YORKVILLE IL 60560
02-29-123-009	NC GLOBAL LLC	1033 REDWOOD LN	MINOOKA IL 60447
02-29-123-021	FANTHORPE MEGAN N	885 PURCELL ST	YORKVILLE IL 60560
02-29-101-007	KENDALL HOLDINGS I LLC % GREENWOOD GLOBAL INC	707 SKOKIE BLVD STE 600	NORTHBROOK IL 60062
02-29-101-003	KENDALL HOLDINGS I LLC % GREENWOOD GLOBAL INC	707 SKOKIE BLVD STE 600	NORTHBROOK IL 60062
02-29-123-028	NC GLOBAL LLC	1033 REDWOOD LN	MINOOKA IL 60447
02-29-123-030	TOMSE MARIANNE F	961 PURCELL ST	YORKVILLE IL 60560
02-29-123-029	SNYDER DAVID F & MARY A	951 PURCELL ST	YORKVILLE IL 60560
02-29-123-004	WEST SUBURBAN BANK TR 14170	P O BOX 354	BRISTOL IL 60512
02-29-123-001	CAMARDO PATRICK R & THERESA ,M	1036 N CARLY CIR	YORKVILLE IL 60560
02-29-123-002	BRADEN STEPHEN A	1012 N CARLY CIR	YORKVILLE IL 60560
02-29-128-016	CARLSON JOHN M	735 INDEPENDENCE CT	YORKVILLE IL 60560
02-29-128-025	DANIELS ANGELA S & DANIELS CHRISTOPHER M JR	722 INDEPENDENCE CT	YORKVILLE IL 60560
02-29-132-006	PITON ANDREW & URSZULA	1220 PATRICK CT	YORKVILLE IL 60560
02-29-122-003	ROOT SAMUEL J & JENNA M	1027 N CARLY CIR	YORKVILLE IL 60560
02-29-132-001	BLACKBERRY WOODS HOMEOWNERS ASSOCIATION	2679 RTE 34	OSWEGO IL 60543
02-29-131-001	KENDALL HOLDINGS I LLC % GREENWOOD GLOBAL INC	707 SKOKIE BLVD STE 600	NORTHBROOK IL 60062
02-29-131-002	KENDALL HOLDINGS I LLC % GREENWOOD GLOBAL INC	707 SKOKIE BLVD STE 600	NORTHBROOK IL 60062
02-29-123-025	RUEBENSAM KEVIN A & ANGELIKA	911 PURCELL ST	YORKVILLE IL 60560
02-29-123-024	GOSSMEYER ROSE & BERRY-GOSSMEYER KATHLEEN	901 PURCELL ST	YORKVILLE IL 60560
02-29-122-010	BAYE NATALIE MICHELLE	957 N CARLY CIR	YORKVILLE IL 60560
02-29-122-015	MCCUE, RONALD & WIRTZ, SHERRIE	903 CARLY N	YORKVILLE IL 60560
02-29-131-006	KENDALL HOLDINGS I LLC % GREENWOOD GLOBAL INC	707 SKOKIE BLVD STE 600	NORTHBROOK IL 60062
02-29-122-002	SCHWERER MICHAEL & FIEBRANDT HANNAH E	1033 N CARLY CIR	YORKVILLE IL 60560
02-29-127-037	CASTLE BANK NA % JAMES RATOS TRUST	207 W KENDALL DR	YORKVILLE IL 60560
02-29-127-035	RATOS JAMES C	3150 D CANNONBALL TRL	YORKVILLE IL 60560
02-29-127-036	RATOS JAMES C	3150 D CANNONBALL TRL	YORKVILLE IL 60560
02-29-128-019	SCHOLES GARY & CARRIE	1361 CANNONBALL TRL	YORKVILLE IL 60560
02-29-122-019	UNDESSER MARK A	883 N CARLY CIR	YORKVILLE IL 60560
02-29-132-008	NC GLOBAL LLC	1033 REDWOOD LN	MINOOKA IL 60447
02-30-200-019	COPLEY VENTURES INC	2000 OGDEN AVE	AURORA IL 60504
02-30-200-020	COPLEY VENTURES INC	1300 WATERFORD DR	AURORA IL 60504
02-30-400-006	FISHER GAIL C ET AL	501 CONOVER LN	YORKVILLE IL 60560

02-29-133-001	MCCUE BUILDERS INC	PO BOX 354	BRISTOL IL 60512
02-29-128-020	OPEL, CAROL L & THORNE, ANGELINE E	1393 CANNONBALL TRL	YORKVILLE IL 60560
02-29-128-013	DIEHL DONNA L	204 WALNUT ST	YORKVILLE IL 60560
02-29-128-030	MILAM GREGORY L & DEBRA L	729 INDEPENDENCE COURT	YORKVILLE IL 60560
02-29-122-018	GULLING BENNETT & DANIELLE	889 CARLY CIR	YORKVILLE IL 60560
02-29-122-001	BENNETT TIMOTHY E & NANCY A	1037 N CARLY CIR	YORKVILLE IL 60560
02-29-133-002	BAUDE MATTHEW CHRISTOPHER & CHRISTINA MARIE	1210 CANNONBALL TRL	YORKVILLE IL 60560
02-29-133-003	MCCUE BUILDERS INC	PO BOX 354	BRISTOL IL 60512
02-29-122-020	SCHUSTER JOHN & MELANIE	877 N CARLY CIR	YORKVILLE IL 60560
02-29-132-003	WEST SUBURBAN BANK TR 14170	P O BOX 354	BRISTOL IL 60512
02-29-132-004	WEST SUBURBAN BANK TR 14170	P O BOX 354	BRISTOL IL 60512
02-29-133-004	STOKER SCOTT G	1202 CANNONBALL TRL	YORKVILLE IL 60560
02-29-128-031	OBENAUER MICHAEL E & BARBARA L	723 INDEPENDENCE CT	YORKVILLE IL 60560
02-29-127-039	LI KAI FENG	684 VETERANS PKWY	YORKVILLE IL 60560
02-29-132-005	HANAHAN JASON & KATIE	1221 PATRICK CT	YORKVILLE IL 60560
02-29-122-006	OLSZEWSKI, MICHAEL F & FELTZ, SARAH A	997 N CARLY CIR	YORKVILLE IL 60560
02-29-122-008	BERGER ADAM & ANGELA	977 N CARLY CIR	YORKVILLE IL 60560
02-29-122-017	WEST, RYAN & SORIS, KARI	893 N CARLY CIR	YORKVILLE IL 60560
02-29-122-007	KILGORE BENJAMIN W & MORT JENNIFER J	987 N CARLY CIR	YORKVILLE IL 60560
02-29-122-005	HAWKINS JENNIFER L	1007 N CARLY CIR	YORKVILLE IL 60560
02-29-122-004	ROY, JACQUES A & SAXTON, CAROLYN M	1023 N CARLY CIR	YORKVILLE IL 60560
02-30-200-023	CHICAGO TITLE LAND	405 E. SHERIDAN RD	LAKE BLUFF IL 60044



Design Packet For:

Kendall County, IL

**111 West Fox Street
Yorkville, IL 60560**

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System Design Summary

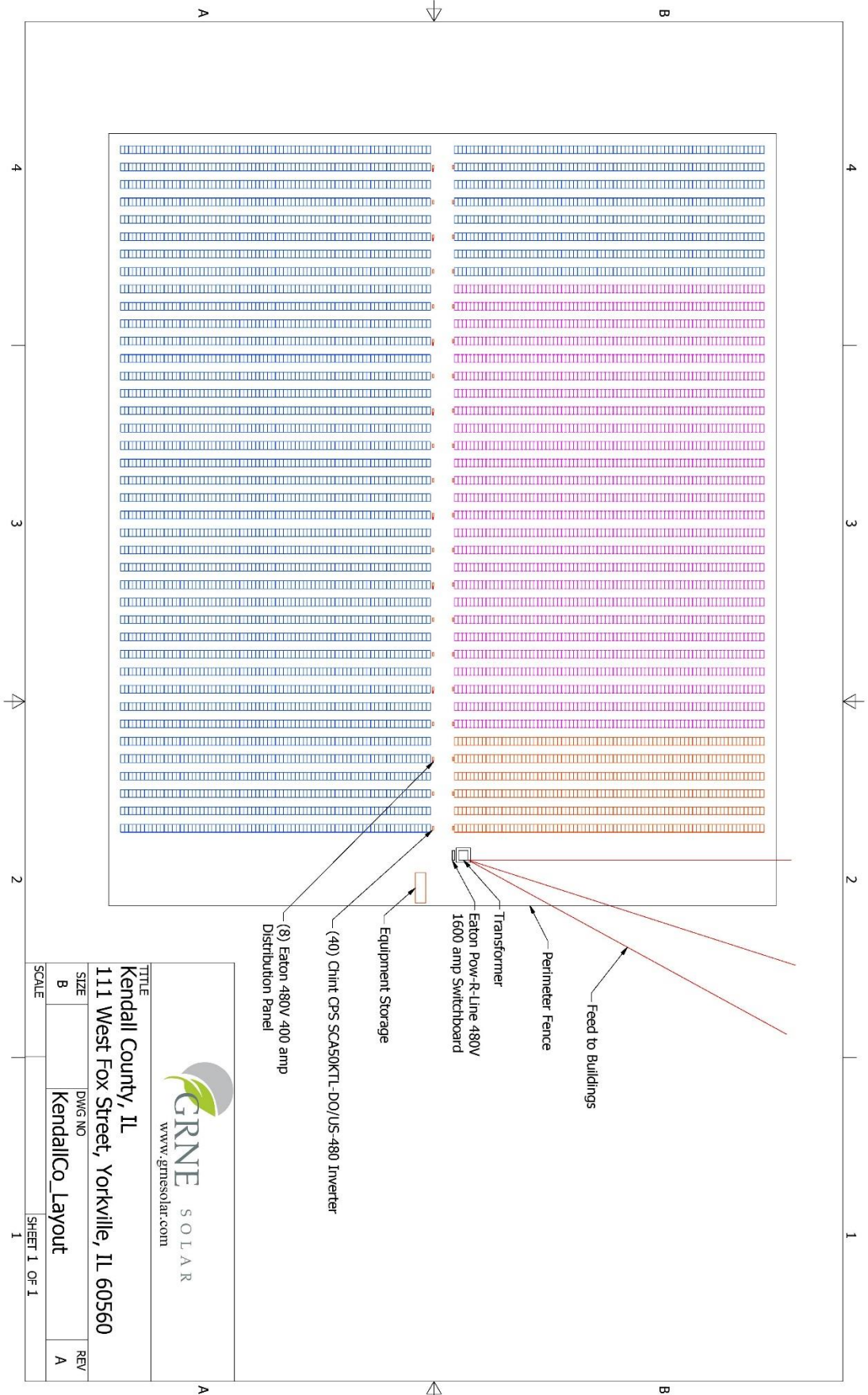


Power Allocation Key:

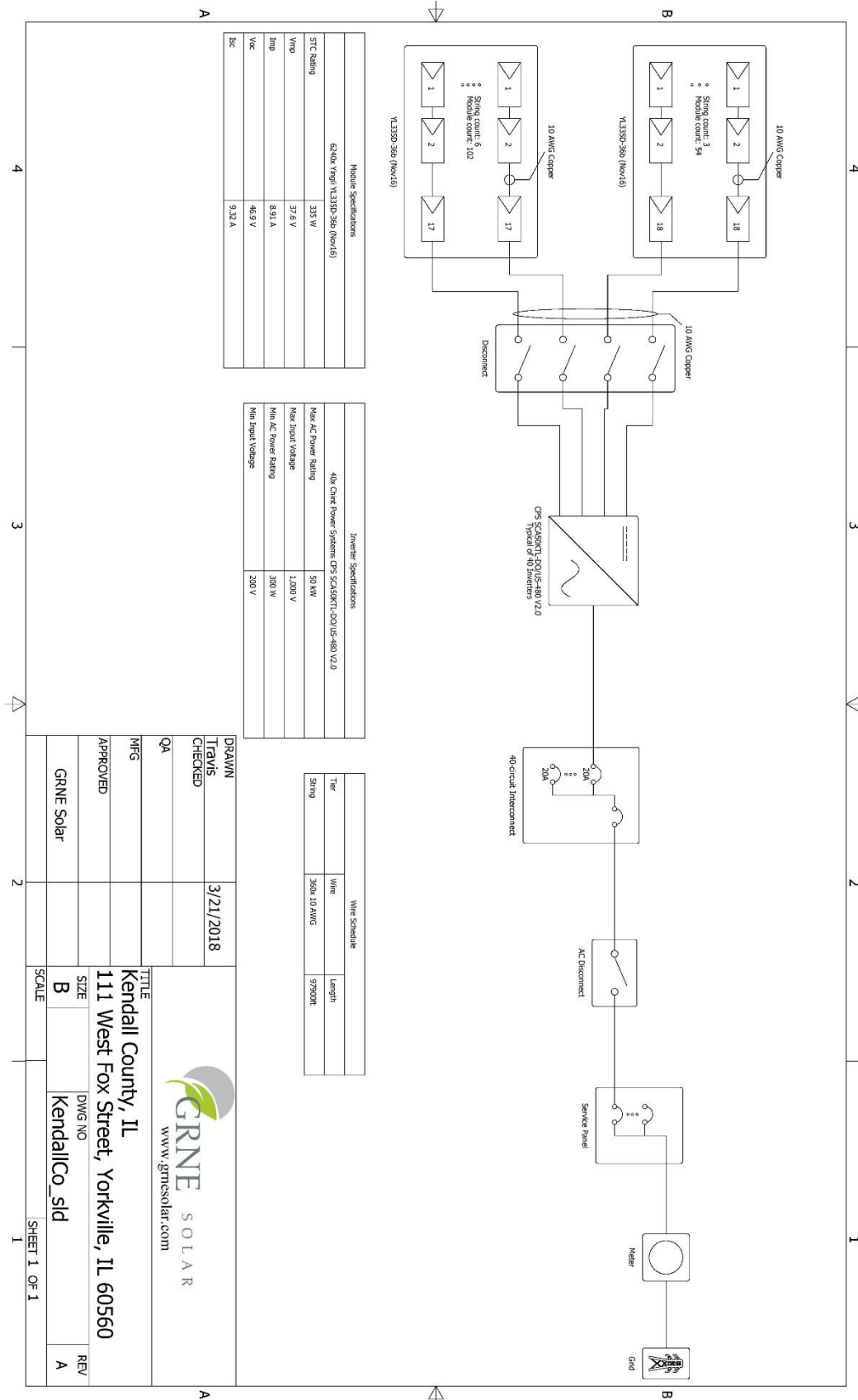
Orange - Health Department

Pink - Public Safety Center

Blue - Courthouse



Electrical Single Line Diagram



Equipment Data Sheets

YINGLI SOLAR

YLM
72 CELL
1500V



19.9%
CELL EFFICIENCY

10 YEAR
PRODUCT WARRANTY

0 - 5W
POWER TOLERANCE

25 Years Linear Warranty



YINGLISOLAR.COM



HIGH VOLTAGE LESS SYSTEM COST

With a maximum system voltage of 1500 volts, the next generation YLM 1500V Series Modules reduce balance-of-system costs and increase system-level energy yield in large-scale power plants.



Costing Saving

As YLM 1500V Series modules are allowing more modules per string the balance-of-system costs are reduced by less required combiner boxes, fuses and cables in large-scale projects.



Increased Energy Yield

By the higher system voltage line losses in cabling are reduced and the inverter efficiency is increased. This results in an up to 2% higher yield.



High Power Density

High conversion efficiency and more power output per square meter.



Durability

Durable PV modules, independently tested for harsh environmental conditions such as exposure to salt mist, ammonia and known PID risk factors.

Yingli Green Energy

Yingli Green Energy Holding Company Limited (NYSE: YGE), known as "Yingli Solar," is one of the world's leading solar panel manufacturers with the mission to provide affordable green energy for all. Deploying more than 17 GW solar panels worldwide, Yingli Solar makes solar power possible for communities everywhere by using our global manufacturing and logistics expertise to address unique local challenges.

YLM 72 CELL 1500V

ELECTRICAL PERFORMANCE

Electrical parameters at Standard Test Conditions (STC)

Module type			YLxxxD-36b 1500V (xxx=P _{max})					
Power output	P _{max}	W	350	345	340	335	330	325
Power output tolerances	ΔP _{max}	W	0/+5					
Module efficiency	η _m	%	18.0	17.7	17.5	17.2	17.0	16.7
Voltage at P _{max}	V _{mpo}	V	38.6	38.3	37.9	37.6	37.2	36.9
Current at P _{max}	I _{mpo}	A	9.07	9.02	8.97	8.91	8.86	8.81
Open-circuit voltage	V _{oc}	V	48.0	47.7	47.3	46.9	46.6	46.2
Short-circuit current	I _{sc}	A	9.41	9.38	9.35	9.32	9.29	9.27

STC: 1000W/m² irradiance, 25°C module temperature, AM1.5g spectrum according to EN 60904-3.
Average relative efficiency reduction of 3.0% at 200W/m² according to EN 60904-1.

Electrical parameters at Nominal Operating Cell Temperature (NOCT)

Power output	P _{max}	W	255.3	251.7	248.0	244.4	240.7	237.1
Voltage at P _{max}	V _{mpo}	V	35.2	34.9	34.6	34.3	34.0	33.6
Current at P _{max}	I _{mpo}	A	7.26	7.22	7.18	7.13	7.09	7.05
Open-circuit voltage	V _{oc}	V	44.3	44.0	43.7	43.3	43.0	42.7
Short-circuit current	I _{sc}	A	7.61	7.58	7.56	7.53	7.51	7.49

NOCT: open-circuit module operation temperature at 800W/m² irradiance, 20°C ambient temperature, 1m/s wind speed.

THERMAL CHARACTERISTICS

Nominal operating cell temperature	NOCT	°C	46 ± 2
Temperature coefficient of P _{max}	γ	%/°C	-0.42
Temperature coefficient of V _{oc}	β _{Voc}	%/°C	-0.32
Temperature coefficient of I _{sc}	α _{Isc}	%/°C	0.05

OPERATING CONDITIONS

Max. system voltage	1500V _{dc}
Max. series fuse rating	15A
Limiting reverse current	15A
Operating temperature range	-40°C to 85°C
Max. static load, front (e.g., snow)	5400Pa
Max. static load, back (e.g., wind)	2400Pa
Max. hailstone impact (diameter / velocity)	25mm / 23m/s
Module Fire performance	Type 1

CONSTRUCTION MATERIALS

Front cover (material / thickness)	low-iron tempered glass / 3.2mm
Cell (quantity / material / dimensions / number of busbars)	72 / monocrystalline silicon / 156.75mm x 156.75mm (+/-0.25) / 4 or 5
Frame (material)	anodized aluminum alloy
Junction box (protection degree)	≥ IP67
Cable (length / cross-sectional area)	1100mm / 4mm ²
Plug connector (type / protection degree)	MC4 / IP68 or Amphenol H4 / IP68 or Forsol SIKE6 / IP68 or Renhe RH05-8 / IP67

- Due to continuous innovation, research and product improvement, the specifications in this product information sheet are subject to change without prior notice. The specifications may deviate slightly and are not guaranteed.
- The data do not refer to a single module and they are not part of the offer, they only serve for comparison to different module types.

QUALIFICATIONS & CERTIFICATES

UL1703, ISO 9001:2008, ISO 14001:2004, BS OHSAS 18001:2007,
PV Cycle, SA 8000



© Yingli Green Energy Holding Co. Ltd.

DS_YLM72CELL 1500V-36b_40mm_US_EN_20170704_V04

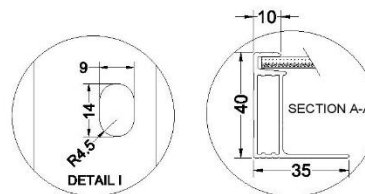
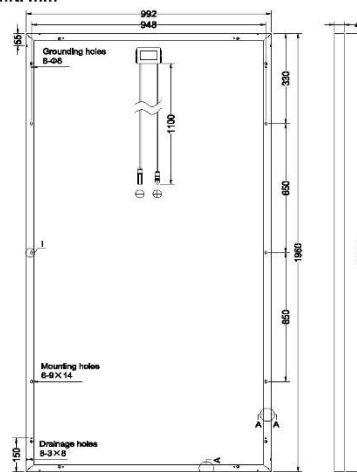
GENERAL CHARACTERISTICS

Dimensions (L / W / H)	1960mm / 992mm / 40mm
Weight	22kg

PACKAGING SPECIFICATIONS

Number of modules per pallet	26
Number of pallets per 40' container	24
Packaging box dimensions (L / W / H)	1995mm / 1145mm / 1170mm
Box weight	616kg

Unit: mm



Warning: Read the Installation and User Manual in its entirety before handling, installing, and operating Yingli Solar modules.

Yingli Partners:

Yingli Green Energy Holding Co., Ltd.

service@yingli.com

Tel: +86-312-2188055

YINGLISOLAR.COM





DuraTrack® HZ v3

RELIABILITY IS POWER.

167X

fewer components than
competitive trackers

99.996%

Uptime Reliability

ARRAY TECHNOLOGIES, INC.

3901 Midway Place NE
Albuquerque, NM 87109 USA

+1 505.881.7567
+1 855.TRACKPV (872.2578)
+1 505.881.7572

sales@arraytechinc.com

arraytechinc.com

THE MOST RELIABLE TRACKER UNDER THE SUN

HIGHEST POWER DENSITY.

Higher density means more power and more profit. DuraTrack HZ v3 offers the unique ability to maximize the power density of each site, boasting 6% more density than our closest competitor.

LEADING TERRAIN ADAPTABILITY.

Uneven terrain? Hill yes! Our flexibly linked architecture, with articulating driveline joints and forgiving tolerances, create the most adaptable system in market for following natural land contours and creates the greatest power generation potential from every site.

FEWER COMPONENTS. GREATER RELIABILITY.

Less is more. Array was founded on a philosophy of engineered simplicity. Minimizing potential failure points (167 times fewer components than competitors), DuraTrack HZ v3 consistently delivers higher reliability and an unmatched uptime of 99.99%.

FAILURE-FREE WIND DESIGN.

DuraTrack HZ v3 was designed and field tested to withstand some of the harshest conditions on the planet. It is the only tracker on the market that reliably handles wind events with a fully integrated, fully automatic wind-load mitigation system.

ZERO SCHEDULED MAINTENANCE.

Three decades of solar tracker system design, engineering and testing has resulted in uncompromising reliability. Maintenance-free motors and gears, fewer moving parts, and industrial-grade components means maintenance-free energy generation.



DuraTrack® HZ v3

COST VERSUS VALUE

We believe value is more than the cost of a tracking system. It's about building with forgiving tolerances and fewer parts so construction crews can work efficiently. It means protecting your investment with a failure-free wind management system. It also includes increasing power density. But most of all, value is measured in operational uptime, or reliability. Ours is 99.996%... and we're still improving on it.

THE GLOBAL LEADER IN RELIABILITY

Array has spent decades designing and perfecting the most reliable tracker on the planet. Fewer moving parts, stronger components and intelligent design that protects your investment in the harshest weather are but a few of the innovative differences that keep your system running flawlessly all day and you resting easy at night.

STRUCTURAL & MECHANICAL FEATURES/SPECIFICATIONS

Tracking Type	Horizontal single axis
kW per Drive Motor	Up to 907 kW DC using 360W crystalline
String Voltage	Up to 1,500V DC
Maximum Linked Rows	28
Maximum Row Size	80 modules (crystalline, 1,000V DC) & 90 modules (crystalline, 1,500V DC)
Drive Type	Rotating gear drive
Motor Type	2 HP, 3 PH, 480V AC
Motors per 1 MW AC	Less than 2
East-West / North-South Dimensions	Site / module specific
Array Height	54" standard, adjustable (46" min height above grade)
Ground Coverage Ratio (GCR)	Flexible, 28-45% typical, others supported on request
Terrain Flexibility	N-S tolerance: 0° - 8.5° standard, 15° optional Driveline: 40° in all directions
Modules Supported	Most commercially available, including frameless crystalline and thin film
Tracking Range of Motion	± 52° standard, ± 62° optional
Operating Temperature Range	-30°F to 140°F (-34°C to 55°C)
Module Configuration	Single-in-portrait standard. Two-or-three in landscape (framed or frameless), four-in-landscape (thin film) also available.
Module Attachment	Single fastener, high-speed mounting clamps with integrated grounding. Traditional rails for crystalline in landscape, custom racking for thin film and frameless crystalline per manufacturer specs.
Materials	HDG steel and aluminum structural members
Allowable Wind Load (IBC 2012)	135 mph, 3-second gust exposure C
Wind Protection	Passive mechanical system relieves wind and obstruction damage — no power required

ELECTRONIC CONTROLLER FEATURES/SPECIFICATIONS

Solar Tracking Method	Algorithm with GPS input
Control Electronics	MCU plus Central Controller
Data Feed	MODBUS over Ethernet to SCADA system
Night-time Stow	Yes
Tracking Accuracy	± 2° standard, field adjustable
Backtracking	Yes

INSTALLATION, OPERATION & MAINTENANCE

PE Stamped Structural Calculations & Drawings	Yes
On-site Training & System Commissioning	Yes
Connection Type	Fully bolted connections, no welding
In-field Fabrication Required	No
Dry Slide Bearings & Articulating Driveline Connections	No lubrication required
Scheduled Maintenance	None required

GENERAL

Annual Power Consumption (kWh per 1 MW)	400 kWh per MW per year, estimated
Land Area Required per 1 MW	Approx. 5 to 5.75 acres per MW @ 33% GCR (site and design specific)
Energy Gain vs. Fixed-Tilt	Up to 25%, site specific
Warranty	10 year structural, 5 year drive & control components
Patent Numbers	US patent 8,459,249 US patent 9,281,778 US patent 9,581,678 B2 and patents pending
Codes and Standards	UL Certified (3703 & 2703)

REV 10.26.2017

50/60kW, 1000Vdc String Inverters for North America

The 50 & 60kW medium power CPS three phase string inverters are designed for ground mount, large rooftop and carport applications. The units are high performance, advanced and reliable inverters designed specifically for the North American environment and grid. High efficiency at 98.8% peak and 98.5% CEC, wide operating voltages, broad temperature ranges and a NEMA Type 4X enclosure enable this inverter platform to operate at high performance across many applications. The CPS 50/60kW products ship with either the standard wire-box or the H4 style wire-box, each fully integrated and separable with touch safe fusing, monitoring, and AC and DC disconnect switches. The CPS Flex Gateway enables monitoring, controls and remote product upgrades.

Key Features

- NEC 2014/17 compliant & UL listed Arc-Fault circuit protection
- 0-90° Mounting orientation for lay flat roof installs
- Touch safe DC Fuse holders adds convenience and safety
- CPS Flex Gateway enables remote FW upgrades
- Integrated AC & DC disconnect switches
- Optional factory installed H4 connectors
- 3 MPPT's with 5 inputs each for maximum flexibility
- Copper and Aluminum compatible AC connections
- NEMA Type 4X outdoor rated, tough tested enclosure
- UL1741 SA Certified to CA Rule 21
- Separable wire-box design for fast service
- Standard 10 year warranty with extensions to 20 years
- Generous 1.5 DC/AC Inverter Load Ratio



CPS SCA50KTL-DO/US-480
CPS SCA60KTL-DO/US-480



50/60kW Standard Wire-box



50/60kW H4 Wire-box



© CHINT POWER 2017/09-MKT NA

Chint Power Systems America
7060 Koll Center Parkway, Suite 318 Pleasanton, CA 94566
Tel: 855-584-7168 Mail: AmericaSales@chintpower.com Web: www.chintpowersystems.com

Model Name	CPS SCA50KTL-DO/US-480	CPS SCA60KTL-DO/US-480
DC Input		
Max. PV Power	75kW (25kW per MPPT)	90kW (30kW per MPPT)
Max. DC Input Voltage	1000Vdc	
Operating DC Input Voltage Range	200-950Vdc	
Start-up DC Input Voltage / Power	330V / 80W	
Number of MPP Trackers	3	
MPPT Voltage Range	480-850Vdc	540-850Vdc
Max. PV Short-Circuit Current (Isc x 1.25)	180A (60A per MPPT)	
Number of DC Inputs	15 inputs, 5 per MPPT	
DC Disconnection Type	Load rated DC switch	
DC Surge Protection	Type II MOV, 2800V _C , 20kA I _{TM} (8/20 μ S)	
AC Output		
Rated AC Output Power	50kW	60kW
Max. AC Apparent Power	50kVA	60kVA
Rated Output Voltage	480Vac	
Output Voltage Range ¹	422 - 528Vac	
Grid Connection Type	3 Φ / PE / N (Neutral optional)	
Max. AC Output Current @480Vac	60.2A	72.2A
Rated Output Frequency	60Hz	
Output Frequency Range ¹	57 - 63Hz	
Power Factor	>0.99 (\pm 0.8 adjustable)	
Current THD @ Rated Load	<3%	
Max. Fault Current Contribution (1 Cycle RMS)	64.1A	
AC Disconnection Type	Load rated AC switch	
AC Surge Protection	Type II MOV, 1240V _C , 15kA I _{TM} (8/20 μ S)	
System and Performance		
Topology	Transformerless	
Max. Efficiency	98.8%	
CEC Efficiency	98.5%	
Stand-by / Night Consumption	<1W	
Environment		
Enclosure Protection Degree	NEMA Type 4X	
Cooling Method	Variable speed cooling fans	
Operating Temperature Range ²	-22°F to +140°F / - 30°C to +60°C (derating begins above +122°F / +50°C)	
Non-Operating Temperature Range ³	No low temp minimum to +158°F / +70°C maximum	
Operating Humidity	0 to 95%, non-condensing	
Operating Altitude	13123.4ft / 4000m (derating from 9842.5ft / 3000m)	
Audible Noise	<60dBA @ 1m and 25°C	
Display and Communication		
User Interface and Display	LCD+LED	
Inverter Monitoring	Modbus RS485	
Site Level Monitoring	CPS Flex Gateway (1 per 32 inverters)	
Modbus Data Mapping	CPS	
Remote Diagnostics / FW Upgrade Functions	Standard / (with Flex Gateway)	
Mechanical		
Dimensions (HxWxD)	39.4 x 23.6 x 10.24in. (1000 x 600 x 260mm)	
Weight	Inverter: 123.5lbs/56kg; Wire-box: 33lbs/15kg	
Mounting / Installation Angle ⁴	0 to 90 degrees from horizontal (vertical, angled, or lay flat)	
AC Termination ⁵	M8 Stud Type Terminal Block (Wire range: #6 - 2/0AWG CU/AL ⁵ , Lugs not supplied)	
DC Termination	Screw Clamp Fuse Holder (Wire range: #14 - #6AWG CU), Optional H4 (Amphenol)	
Fused String Inputs (5 per MPPT)	15A fuses provided (Fuse values up to 30A acceptable)	
Safety		
Certifications and Standards	UL1741SA-2016, UL1699B, CSA-C22.2 NO.107.1-01, IEEE1547a-2014; FCC PART15	
Selectable Grid Standard and SRD	IEEE1547a-2014, CA Rule 21	
Smart-Grid Features	Voltage-RideThru, Frequency-RideThru, Soft-Start, Volt-Var, Frequency-Watt, Volt-Watt	
Warranty		
Standard	10 years	
Extended Terms	15 and 20 years	

1) The "Output Voltage Range" and "Output Frequency Range" may differ according to the specific grid standard.

2) Derating above 50°C occurs when MPPT Voltage is 700-850Vdc.

3) See user manual for further requirements regarding non-operating conditions.

4) Shade Cover accessory required for installation angles of 75 degrees or less.

5) AL requires bi-metallic compression lug or bi-metallic adapter.



United City of Yorkville

County Seat of Kendall County

800 Game Farm Road

Yorkville, Illinois 60560

Telephone: 630-553-8545

Fax: 630-553-3436

Website: www.yorkville.il.us

April 2, 2018

Mr. Eric Peterman

Owner

GRNE Solar

230 N Hicks Place

Palatine, IL 60067

VIA E-MAIL (eric@GRNEsolar.com)

**RE: GRNE Solar – Kendall County Complex
Application for Special Use Permit for a Solar Farm**

Dear Mr. Peterman,

Staff has reviewed your submitted application for the above-referenced project and found deficiencies in needed information/documentation before the application can be deemed complete. Please provide the additional information requested below in order to advance to the next regularly scheduled meeting in the process:

1. Detailed information regarding the setback dimensions the solar field (fence not included) from each lot line (front, sides, rear).
2. Detailed information which illustrates the overall height of the structures.
3. Per Section 10-19-7-E of the Zoning Ordinance regarding Alternative Energy Systems for freestanding solar units, the panels are to be placed such that the concentrated solar radiation or glare does is not directed onto nearby properties or roadways. Please provide the distance, in linear feet, of the closest solar module to the nearest neighboring property with a building and roadway on the Site Plan and a written project narrative of how the solar panels will not produce glare on the southern residential properties.
4. A dimensioned section detail is required for the proposed perimeter fence. Note that Section 10-17-2 of the Zoning Ordinance regarding Fencing and Screening prohibits the use of chain-link fencing, but allows for vinyl coated chain-link fencing only in the rear and side yards. Additionally, barbed wire is prohibited in Residential and Business zoned districts. The proposed fence is chain link. Permitted fence materials are provided in Section 10-17-2-F of the Zoning Ordinance. Staff is recommending something opaque to hide the panels from the residential properties to the south.
5. Section 10-19-4-G requires evidence that the electric utility service provider that serves the proposed site has been notified of the owner's intent to install an interconnected customer owned electricity generator. Please provide this documentation.

6. Petitioner needs to clarify whether or not there are plans for a solar farm to be built within the 4.4-acre private stormwater drainage facility along the front of the property near the intersection of Beecher Road and Route 34.
7. A Plat of Survey or detail illustration which details the new property line along Route 34 due to the expansion of the roadway by IDOT.
8. Per Section 8-12-2-H of the Landscape Ordinance, a Tree Preservation Plan is required for all lots five (5) acres or greater in area. No live trees with a four inch (4") DBH (diameter breast height) may be removed without first submitting an application for tree removal and receiving approval from the City. Please refer to the following link to the Landscape Ordinance for additional information:
http://www.sterlingcodifiers.com/codebook/index.php?book_id=415
9. Section 10-19-9-A-3 states prior to permit issuance, the owner shall sign an acknowledgement that said owner will be responsible for any and all enforcement costs and remediation costs resulting from any violations of that chapter. The costs include, but are not limited to, removal of system, property restoration upon removal of the system, city legal expenses and hearing costs associated with violations of that chapter. This will be a condition of the Special Use approval.

Upon satisfactory receipt of the information requested by **Friday, April 13, 2018**, you will be placed on the next available Plan Council meeting. A revised tentative meeting schedule will be provided to you upon review of the completed application.

Please contact me with any questions at 630-553-8555, or via email: jengberg@yorkville.il.us.

Sincerely,

Jason Engberg
Senior Planner

Cc: Gary Golinski, Mayor (via e-mail)
Bart Olson, City Administrator (via e-mail)
Erin Willrett, Assistant City Administrator (via e-mail)
Krysti J. Barksdale-Noble, AICP (via e-mail)
Kathleen Field-Orr, City Attorney (via e-mail)
Brad Sanderson, EEI, City Engineer (via e-mail)
Lisa Pickering, Deputy City Clerk (via e-mail)
Matt Asselmeier, Kendall County Senior Planner (via e-mail)



230 N Hicks Place
Palatine, IL 60067
Eric@GRNESolar.com
(312)859-3016

United City of Yorkville
800 Game Farm Road
Yorkville, Illinois 60560
Telephone: 630-553-8545

RE: Application for Special Use Permit for a Solar Farm

Dear Staff:

Please see responses enclosed to questions submitted on April 2, 2018 regarding our application for special use permit.

1. Detailed information regarding the setback dimensions for the solar field.
 - a. See attached site plan with setbacks noted.
2. Overall height of the structure – See attached drawings with heights noted.
3. The proposed solar array is designed as a tracker system. The solar module rows will be installed in north/south rows and the panels will track the sun across the sky from the east to the west throughout the day. At no time will the panels face due south, where the nearest properties and roadways exist. See attached site plan noting the nearest solar module to the nearest neighboring property.
4. See attached section view of the proposed 6' chain link fence. GRNE solar is proposing the use of chain link fence as a protection boundary around the perimeter of the solar array. This Fence will be consistent with other fences already in place on the property being used at the jail location at this time. The southern boundary fence abutting the southern residential property could be a slatted chain link fence or equivalent.
5. ComEd has been notified of this project and an interconnection application has been submitted on behalf of the County. Please see attached ComEd application.
6. There are no plans to construct solar at this time in the 4.4 acre private storm water drainage facility near the intersection of Beecher road and Route 34.
7. A Plat of Survey of route 34 expansion will be provided by City engineer. The solar array will not be located near this future expansion area.
8. GRNE Solar is aware of the landscape Ordinance 8-12-2-H. GRNE Solar is currently soliciting area contractors to aid in conformance to this ordinance. A detailed plan for conformance to the Tree Preservation Plan will be provided once a contractor has been selected for this work. Please consider this application with the understanding that GRNE Solar plans to conform to this ordinance as part of this process. We need to review all fencing and landscaping requirements with the Kendall County Sheriff's office as part of the County process to ensure we meet their safety concerns as well.

GRNE Solar | 230 N Hicks Place, Palatine, IL 60067



9. It is noted that we are aware of the requirements in Section 10-19-9-A-3. We have included decommissioning as a component of our agreement with Kendall County.

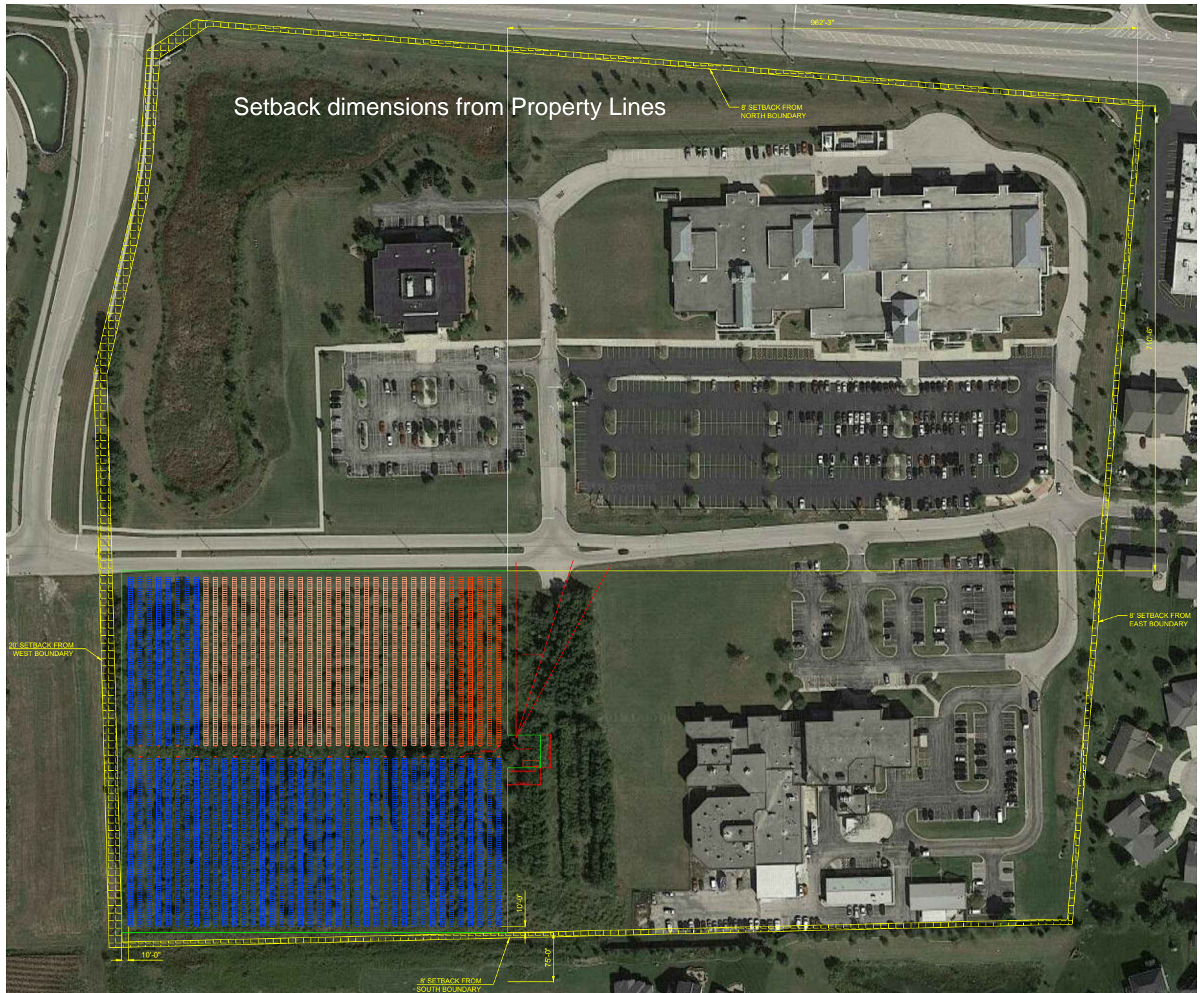
Sincerely,

Eric Peterman

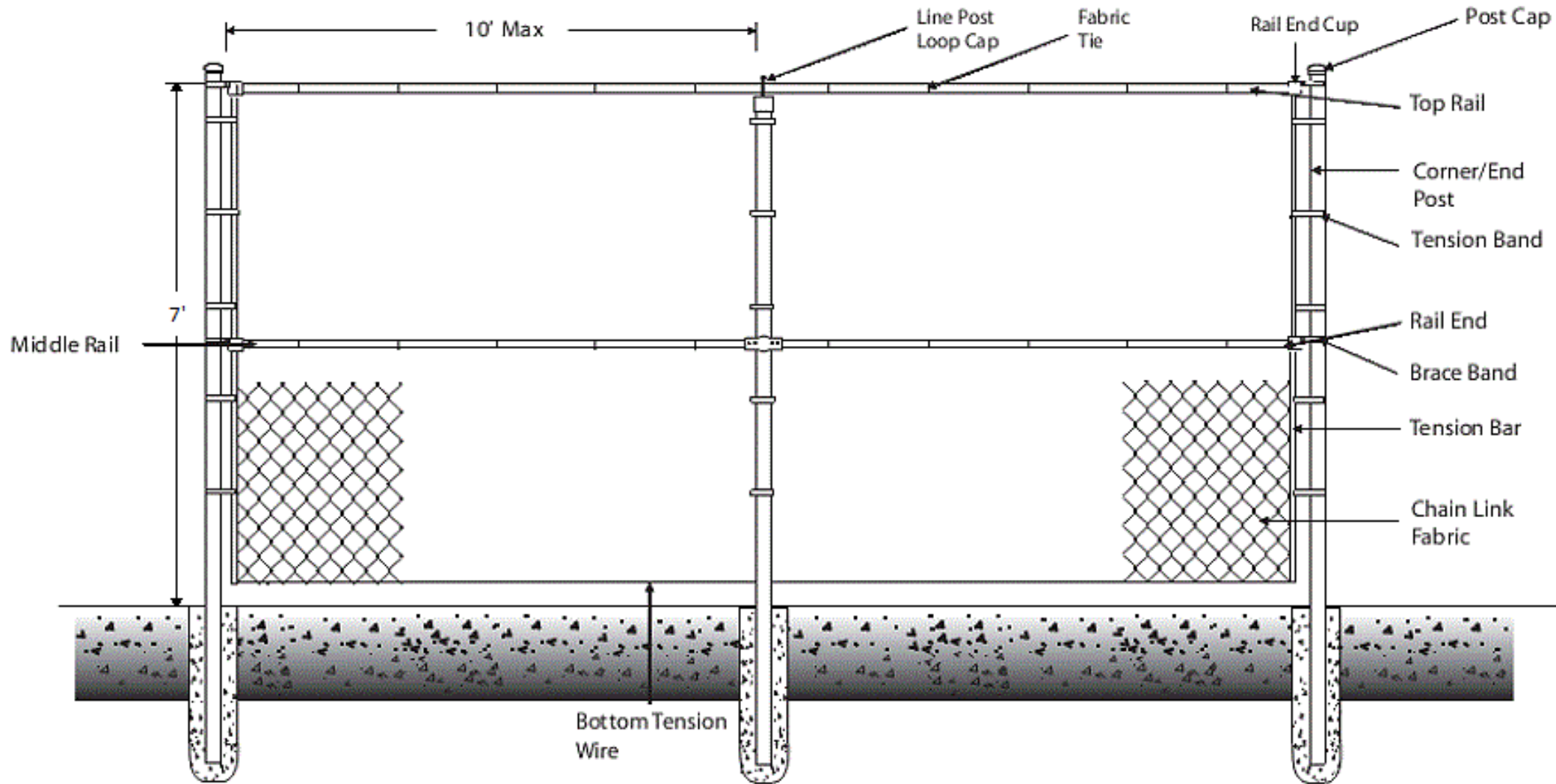
GRNE Solar



Setback dimensions from Property Lines



Chain-link Fence Detail



~6'-5"

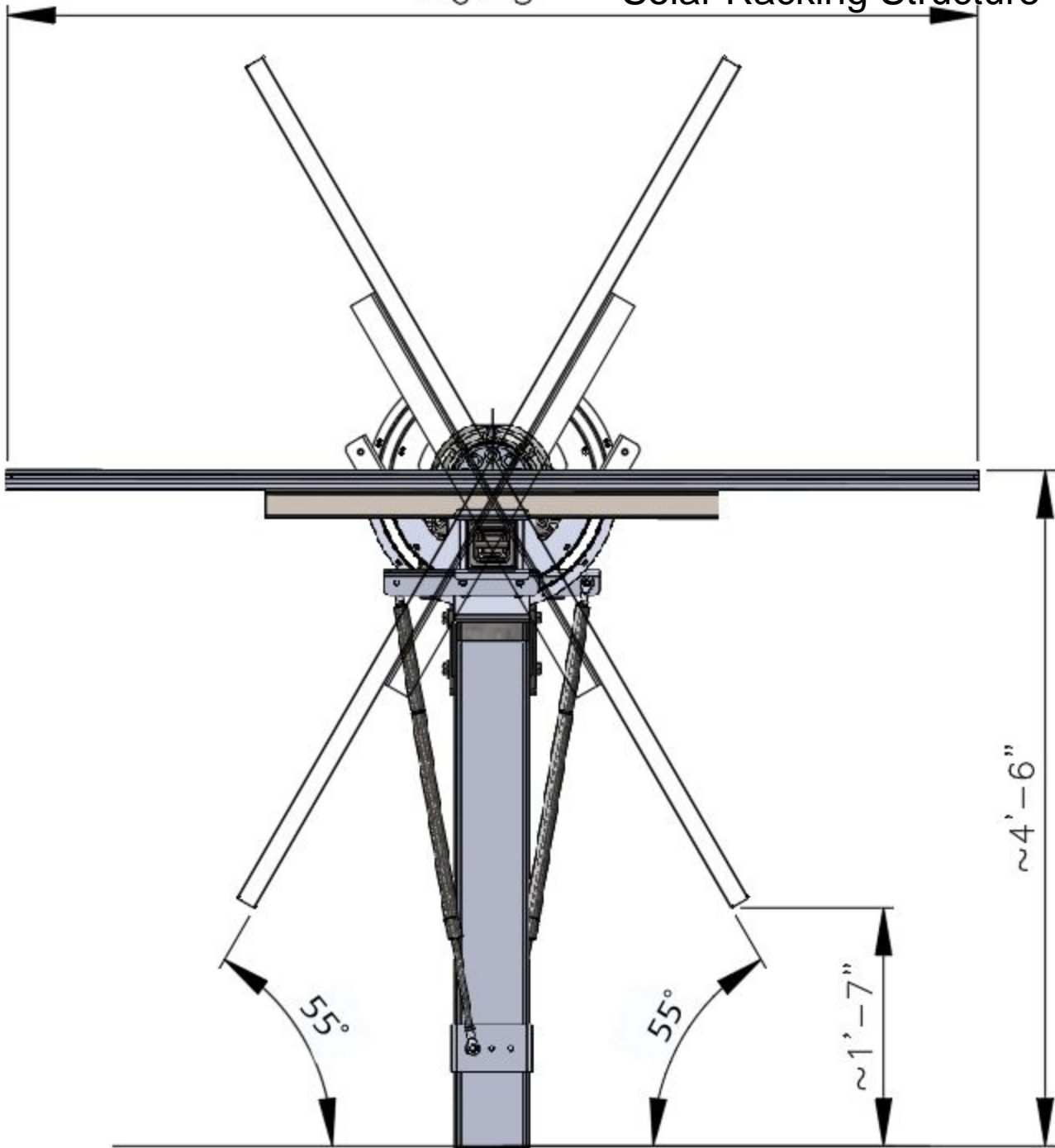
Solar Racking Structure

~4'-6"

~1'-7"

55°

55°



Section 466.APPENDIX C Levels 2 to 4 Application

**Level 2, Level 3 & Level 4
Interconnection Request Application Form
(Greater than 25 kW to 10 MVA or less)**

Interconnection Customer Contact Information

Name: Kendall County , Attn: Jim Smiley
Mailing Address: 804 W John St, Suite B
City: Yorkville State: IL Zip Code: 60560
Telephone (Daytime): 630-553-4102 (Evening): _____
Facsimile Number: _____ E-Mail Address: jsmiley@co.kendall.il.us

Alternative Contact Information (if different from Customer Contact Information)

Name: GRNE Solar
Mailing Address: 230 N Hicks Pl
City: Palatine State: IL Zip Code: 60067
Telephone (Daytime): 312-859-3417 (Evening): 312-859-3016
Facsimile Number: _____ E-Mail Address: Eric.Peterman@grnesolar.com

Facility Address (if different from above): 811 John St
City: Yorkville State: IL Zip Code: 60560
Electric Distribution Company (EDC) Serving Facility Site: ComEd
Electric Supplier (if different from EDC): Constellation Energy
Account Number of Facility Site (existing EDC customers): 2118040067
Inverter Manufacturer: CPS (Chint Power Systems) Model: SCA50KTL-DO/US-480

Equipment Contractor

Name: GRNE Solar
Mailing Address: 230 N Hicks Pl
City: Palatine State: IL Zip Code: 60067
Telephone (Daytime): 312-859-3417 (Evening): 312-859-3016
Facsimile Number: _____ E-Mail Address: Eric.Peterman@grnesolar.com

Electrical Contractor (if different from Equipment Contractor)

Name: Midwestern Electric, INC.

Mailing Address: 1620, E Chicago Ave

City: East Chicago State: IN Zip Code: 46312

Telephone (Daytime): 219-397-4444 (Evening): _____

Facsimile Number: _____ E-Mail Address: EC@Midwesternelectricinc.com

License Number: _____

Electric Service Information for Customer Facility Where Generator Will Be Interconnected

Capacity: _____ (Amps) Voltage: 480 (Volts)

Type of Service: ☐ Single Phase ☒ Three Phase

If 3 Phase Transformer, Indicate Type:

Primary Winding ☒ Wye ☐ Delta

Secondary Winding ☒ Wye ☐ Delta

Transformer Size: _____ Impedance: _____

Intent of Generation

- ☐ Offset Load (Unit will operate in parallel, but will not export power to EDC)
- ☒ Net Meter (Unit will operate in parallel and will export power pursuant to Illinois Net Metering or other filed tariffs)
- ☐ Wholesale Market Transaction (Unit will operate in parallel and participate in PJM or MISO markets pursuant to a PJM Wholesale Market Participation Agreement or MISO equivalent)
- ☐ Back-up Generation (Units that temporarily operate in parallel with the electric distribution system for more than 100 milliseconds)

Note: Backup units that do not operate in parallel for more than 100 milliseconds do not need an interconnection agreement.

Generator & Prime Mover Information

ENERGY SOURCE (Hydro, Wind, Solar, Process Byproduct, Biomass, Oil, Natural Gas, Coal, etc.): Solar		
ENERGY CONVERTER TYPE (Wind Turbine, Photovoltaic Cell, Fuel Cell, Steam Turbine, etc.): Photovoltaic		
GENERATOR SIZE: 50 <input checked="" type="checkbox"/> kW or <input type="checkbox"/> kVA	NUMBER OF UNITS: 24	TOTAL CAPACITY: 1200 <input checked="" type="checkbox"/> kW or <input type="checkbox"/> kVA
GENERATOR TYPE (Check one): <input type="checkbox"/> Induction <input checked="" type="checkbox"/> Inverter <input type="checkbox"/> Synchronous <input type="checkbox"/> Other _____		

Requested Procedure Under Which to Evaluate Interconnection Request¹

Please indicate below which review procedure applies to the interconnection request. The review procedure used is subject to confirmation by the EDC.

- ☒ **Level 2** – Lab-certified interconnection equipment with an aggregate electric nameplate capacity not exceeding the specifications in Section 466.90(b)(2). Lab-certified is defined in Section 466.30. (Application fee is \$100 plus \$1.00 per kVA.)
- ☐ **Level 3** – Distributed generation facility does not export power. Nameplate capacity rating is less than or equal to 50 kW if connecting to area network or less than or equal to 10 MW if connecting to a radial distribution feeder. (Application fee amount is \$500 plus \$2.00 per kVA.)
- ☐ **Level 4** – Nameplate capacity rating is less than or equal to 10 MVA and the distributed generation facility does not qualify for a Level 1, Level 2 or Level 3 review, or the distributed generation facility has been reviewed but not approved under a Level 1, Level 2 or Level 3 review. (Application fee amount is \$1,000 plus \$2.00 per kVA, to be applied toward any subsequent studies related to this application.)

¹ **Note:** Descriptions for interconnection review categories do not list all criteria that must be satisfied. For a complete list of criteria, please refer to 83 Ill. Adm. Code 466, Electric Interconnection of Distributed Generation Facilities.

Distributed Generation Facility Information

Commissioning Date: 11/01/2018

List interconnection components/systems to be used in the distributed generation facility that are lab-certified.

Component/System

NRTL Providing Label & Listing

1. Module-Yingli, YL335D-36b (Nov16) (335W)
2. Inverter- CPS,SCA50KTL-DO/US-480
3. _____
4. _____
5. _____

Please provide copies of manufacturer brochures or technical specifications.

Energy Production Equipment/Inverter Information:

☐ Synchronous ☐ Induction ☒ Inverter ☐ Other _____

Rating: 50 kW

Rating: 50 kVA

Rated Voltage: 480 Volts

Rated Current: 60.2 Amps

System Type Tested (Total System): ☒ Yes ☐ No; attach product literature

For Synchronous Machines:

Note: Contact EDC to determine if all the information requested in this section is required for the proposed distributed generation facility.

Manufacturer: _____

Model No.: _____ Version No.: _____

Submit copies of the Saturation Curve and the Vee Curve

☐ Salient ☐ Non-Salient

Torque: _____ lb/ft Rated RPM: _____ Field Amperes: _____ at rated
voltage and current and _____ % PF over-excited

Type of Exciter: _____

Output Power of Exciter: _____

Type of Voltage Regulator: _____ Locked Rotor

Current: _____ Amps Synchronous Speed: _____ RPM

Winding Connection: _____ Min. Operating Freq./Time: _____

Generator Connection: ☐ Delta ☐ Wye ☐ Wye Grounded

Direct-axis Synchronous Reactance: (Xd) _____ ohms

Direct-axis Transient Reactance: (X'd) _____ ohms

Direct-axis Sub-transient Reactance: (X"d) _____ ohms
Negative Sequence Reactance: _____ ohms
Zero Sequence Reactance: _____ ohms
Neutral Impedance or Grounding Resister (if any): _____ ohms

For Induction Machines:

Note: Contact EDC to determine if all the information requested in this section is required for the proposed distributed generation facility.

Manufacturer: _____
Model No.: _____ Version No.: _____
Locked Rotor Current: _____ Amps
Rotor Resistance (Rr): _____ ohms Exciting Current: _____ Amps
Rotor Reactance (Xr): _____ ohms Reactive Power Required: _____
Magnetizing Reactance (Xm): _____ ohms _____ VARs (No Load)
Stator Resistance (Rs): _____ ohms _____ VARs (Full Load)
Stator Reactance (Xs): _____ ohms
Short Circuit Reactance (X"d): _____ ohms
Phases: ☐ Single ☐ Three Phase
Frame Size: _____ Design Letter: _____ Temp. Rise: _____ °C.

Reverse Power Relay Information (Level 3 Review Only)

Manufacturer: _____
Relay Type: _____ Model Number: _____
Reverse Power Setting: _____
Reverse Power Time Delay (if any): _____

Additional Information For Inverter-Based Facilities

Inverter Information:

Manufacturer: CPS Model: SCA50KTL-DO/US-480
Type: ☐ Forced Commutated ☐ Line Commutated
Rated Output: 50000 Watts 50000 Volts
Efficiency: 98.80 % Power Factor: 1 %
Inverter UL 1741 Listed: ☒ Yes ☐ No

DC Source / Prime Mover:

Rating: _____ kW Rating: _____ kVA

Rated Voltage: _____ Volts

Open Circuit Voltage (if applicable): _____ Volts

Rated Current: _____ Amps

Short Circuit Current (if applicable): _____ Amps

Other Facility Information:

One Line Diagram attached: ☒ Yes

Plot Plan attached: ☒ Yes

Customer Signature

I hereby certify that all of the information provided in this Interconnection Request Application Form is true.

Applicant Signature: _____

Title: Director of Facility management Date: _____

An application fee is required before the application can be processed. Please verify that the appropriate fee is included with the application:

Amount: \$1,300

EDC Acknowledgement

Receipt of the application fee is acknowledged and this interconnection request is complete.

EDC Signature: _____ Date: _____

Printed Name: _____ Title: _____

Source: Amended at 41 Ill. Reg. 862, effective January 20, 2017)



United City of Yorkville

County Seat of Kendall County

800 Game Farm Road

Yorkville, Illinois 60560

Telephone: 630-553-8545

Fax: 630-553-3436

Website: www.yorkville.il.us

August 10, 2018

Mr. Eric Peterman

Owner

GRNE Solar

230 N Hicks Place

Palatine, IL 60067

VIA E-MAIL (eric@GRNEsolar.com)

RE: **GRNE Solar – Kendall County Government Campus**
Follow-up Letter for Special Use Permit Application for a Solar Farm

Dear Mr. Peterman,

This correspondence is intended to follow-up on the recent Plan Council meeting held on August 9, 2018 to discuss the proposed Special Use Permit application for a proposed solar farm project at the above-referenced location. Per that discussion, below are the comments presented during the Plan Council meeting for which additional information, revised plans and/or a written response is requested:

Community Development Comments:

Plat of Survey

- A Plat of Survey of the subject property will need to be provided.

Glare Study

- A glare/glint study of the proposed solar panel material shall be provided based upon industry standards or manufacturers report. Additionally, please provide the distance, in linear feet, of the closest solar module to the nearest neighboring property with a building and roadway on the Site Plan.

Height

- A dimensioned elevation and/or manufacturers cut sheet of the proposed solar panel at full tilt to verify the maximum overall height shall be provided.
- Section 19-7-D of the City's Zoning Ordinance, the minimum clearance between the lowest point of the system and the surface which the system is mounted is ten (10) feet.

The exhibit shows a one foot seven inch (1'7") minimum clearance. Provide a statement clarifying why the minimum clearance does not meet the required standard.

Fencing

- It was noted by the petitioner's attorney that the Kendall County Sheriff's office has requested that the northern, western and eastern fence lines remaining fully transparent and unobstructed. The petitioner must provide a copy of that request in writing from the Kendall County Sheriff's office for consideration.
- Staff continues to recommend a 100% opaque fence around the entire perimeter of the proposed solar field, in either a wood or non-metallic material. Additionally, the overall fence height shall meet or exceed the height of the solar panel at full tilt.
- A dimensioned elevation and/or manufacturers cut sheet of the proposed perimeter fence is required. Staff recommends in addition to the fencing along the southern fence line facing the existing residential homes, a landscape buffer to soften the view of the expanse of fencing.

Accessory Use

- Section 19-4-D states that alternative energy systems shall be an accessory to the principal permitted use. Please confirm that the Kendall County campus and the parcel the proposed solar farm will be located will be consolidated into a single parcel to comply with the accessory use standard.

Landscape Plan

- Per Section 8-12-2-H of the Landscape Ordinance, a Tree Preservation Plan is required for all lots five (5) acres or greater in area. No live trees with a four inch (4") DBH (diameter breast height) may be removed without first submitting an application for tree removal and receiving approval from the City. A Tree Preservation Plan and a landscape plan will be required as part of the Special Use application.

Site Access

- The proposed site access should be clarified on the site plan.

Decommission

- Section 10-19-9-A-3 states prior to permit issuance, the owner shall sign an acknowledgement that said owner will be responsible for any and all enforcement costs and remediation costs resulting from any violations of that chapter. The costs include, but are not limited to, removal of system, property restoration upon removal of the system, city legal expenses and hearing costs associated with violations of that chapter.
- Section 10-19-4-E states all alternative energy systems inactive or inoperable for a period of 12 continuous months shall be deemed abandoned and the owner is required to repair or remove the system from the property at the owner's expense within 90 days of notice from the City. To ensure compliance, staff will recommend as a condition of the special use, the petitioner provide a security guarantee in a form acceptable to the City to cover such costs including, but not limited to the removal, property restoration, and city legal expenses.
- In addition to the security, staff will also recommend a blanket easement over the property to allow the City or its contractor to enter and remove the abandoned system in compliance with the City Code, as a condition of the Special Use approval.

Engineering Comments:

- Please refer to the attached comments prepared by Engineering Enterprises Inc. (EEL) dated August 2, 2018. These work items listed in the review letter will become conditions of your Special Use and a requirement for issuance of a building permit.

Revised plans and/or responses to the comments requested herein should be provided no later than **Friday, August 24, 2018**, so that staff may incorporate the necessary information into our review of the plans for upcoming committee/commission meetings regarding the Special Use request.

Upon satisfactory receipt of the information requested by the aforementioned deadline, you will be tentatively placed on the Tuesday, September 4, 2018 Economic Development Committee meeting.

Should you have any additional questions, please feel free to contact me at 630-553-8573, or via email: knoble@yorkville.il.us.

Sincerely,

Krysti J. Barksdale-Noble, AICP
Community Development Director

Encl.

Cc: Gary Golinski, Mayor (via e-mail)
Bart Olson, City Administrator (via e-mail)
Erin Willrett, Assistant City Administrator (via e-mail)
Jason Engberg, AICP (via e-mail)
Kathleen Field-Orr, City Attorney (via e-mail)
Brad Sanderson, EEL, City Engineer (via-email)
Lisa Pickering, Deputy City Clerk (via e-mail)
Dan Kramer, Petitioner's Attorney (via e-mail)



August 2, 2018

Ms. Krysti Barksdale-Noble
Community Development Director
United City of Yorkville
800 Game Farm Road
Yorkville, IL 60560

**Re: GRNE Solar – Kendall County Complex
Site Layout – 1st Submittal
United City of Yorkville, Kendall County, Illinois**

Dear Krysti:

We are in receipt of the following items for the above referenced project:

- GRNE Solar Design Packet (10 pages) for Kendall County.
- Follow-up Letter for Special Use Permit Application for a Solar Array Development dated April 2, 2018 and prepared by United City of Yorkville Community Development Department
- Setback Dimensions to Property Lines plan, Chain-Link fence detail, and Solar Racking Structure detail prepared by GRNE Solar.
- Interconnection Request Application Form (6 pages) prepared by GRNE Solar.

Our review of these plans is to generally determine their compliance with local ordinances and whether the improvements will conform to existing local systems and equipment. This review and our comments do not relieve the designer from his duties to conform to all required codes, regulations, and acceptable standards of engineering practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review, we cannot and do not assume responsibility for design errors or omissions in the plans. As such, we offer the following comments:

General

1. For the project to proceed engineering plans would need to be provided. The plans would need to include, but not be limited to, the following items:
 - a. Existing Conditions and Demolition Plan
 - b. Grading and Drainage Plan
 - c. Utility Plan
 - d. Erosion Control Plan
 - e. Construction Specifications and Details
 - f. Perimeter fence layout and details
2. The Zoning Ordinance prohibits the use of chain-link fencing except for vinyl coated chain-link fencing in side and rear yards. An alternative fencing detail that isn't restricted by the Zoning Ordinance should be provided.
3. The proposed site access should be clarified. It appears the access should be off an extension of the existing entrance stub off of John Street opposite from the Courthouse entrance just northeast of the Solar

Array Development. The access drive and connection to the road should be shown on the engineering plans and any access easement or agreement provided as necessary.

4. A Stormwater Permit and stormwater management report including all required runoff and detention calculations is required for development. Since the site is a non-residential parcel larger than 3 acres with more than 45,000 square feet of proposed development, detention will be required in accordance with the ordinance requirements.
5. A wetland determination/delineation will be required in accordance with the City wetland ordinance requirements.
6. In accordance with the Landscape Ordinance, a tree preservation plan will be required because the lot is greater than 5 acres in area. GRNE Solar has stated that they will provide a tree preservation plan once a contractor has been selected for the work. A landscape plan should be provided as well.
7. Since the site disturbs more than one acre, a NPDES Construction Permit from the IEPA will be required. The Stormwater Pollution Prevention Plan (SWPPP) and Notice of Intent (NOI) will need to be submitted to IEPA a minimum of 30 days prior to the start of construction.
8. Security will be required that will provide for removal of the system. In addition, a blanket easement allowing the City to remove the abandoned system will also be necessary. GRNE Solar has stated that they will comply with Section 10-19-9-A-3 of the Zoning Ordinance and that they have included decommissioning as a part of their agreement with Kendall County. This should be confirmed with the City.

The Developer should make the necessary revisions and re-submit plans and supporting documents along with a disposition letter for further review. If you have any questions or require additional information, please contact our office.

Sincerely,

ENGINEERING ENTERPRISES, INC.



Bradley P. Sanderson, P.E.
Vice President

BPS/TNP/BCS

pc: Mr. Bart Olson, City Administrator (Via e-mail)
Ms. Erin Willrett, Assistant City Administrator (Via e-mail)
Mr. Jason Engberg, Senior Planner (Via e-mail)
Mr. Eric Dhuse, Director of Public Works (Via e-mail)
Mr. Pete Ratosh, Building Department (Via e-mail)
Ms. Dee Weinert, Admin Assistant (Via e-mail)
Ms. Lisa Pickering, Deputy Clerk (Via e-mail)
Mr. Eric Peterman, GRNE Solar (Via e-mail)
TNP, JAM, EEI (Via e-mail)



Responses to Items from the Plan Council Meeting on August 9, 2018

Solar Project for Kendall County Campus

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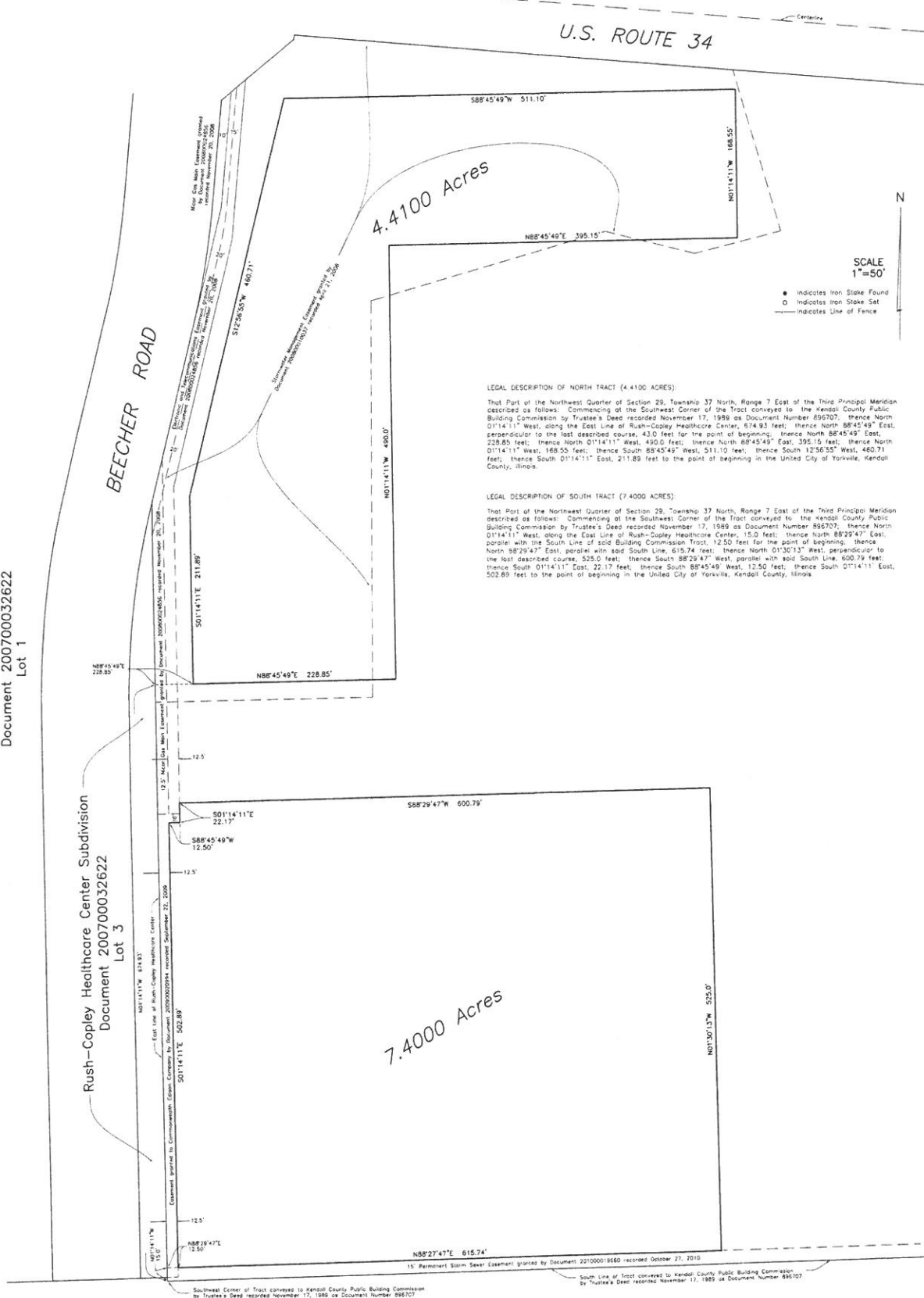
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PLAT OF SURVEY

EASEMENT PLAT
PART OF THE NORTHWEST QUARTER OF SECTION 29, T37N-R7E, 3rd PM
UNITED CITY OF YORKVILLE KENDALL COUNTY ILLINOIS

Rush-Copley Healthcare Center Subdivision
Document 200700032622
Lot 1

Rush-Copley Healthcare Center Subdivision
Document 200700032622
Lot 3



JOB NO.	18036
JOB NAME	KENDALL COUNTY
DWG FILE	18036
REVISION DATE	

Phillip D. Young and Associates, Inc.
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775

11078 South Bridge Street
Yorkville, Illinois 60560
Telephone (630)553-1580

LEGAL DESCRIPTION OF SOUTH TRACT (7.4000 ACRES):

That Part of the Northwest Quarter of Section 29, Township 37 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southwest Corner of the Tract conveyed to the Kendall County Public Building Commission by Trustee's Deed recorded November 17, 1989 as Document Number 896707; thence North $01^{\circ}14'11''$ West, along the East Line of Rush-Copley Healthcare Center, 15.0 feet; thence North $88^{\circ}29'47''$ East, parallel with the South Line of said Building Commission Tract, 12.50 feet for the point of beginning; thence North $88^{\circ}29'47''$ East, parallel with said South Line, 615.74 feet; thence North $01^{\circ}30'13''$ West, perpendicular to the last described course, 525.0 feet; thence South $88^{\circ}29'47''$ West, parallel with said South Line, 600.79 feet; thence South $01^{\circ}14'11''$ East, 22.17 feet; thence South $88^{\circ}45'49''$ West, 12.50 feet; thence South $01^{\circ}14'11''$ East, 502.89 feet to the point of beginning in the United City of Yorkville, Kendall County, Illinois.

Solar and Glare



I. Introduction

A common misconception about solar photovoltaic (PV) panels is that they inherently cause or create “too much” glare, posing a nuisance to neighbors and a safety risk for pilots. While in certain situations the glass surfaces of solar PV systems can produce glint (a momentary flash of bright light) and glare (a reflection of bright light for a longer duration), light absorption, rather than reflection, is central to the function of a solar PV panel - to absorb solar radiation and convert it to electricity. Solar PV panels are constructed of dark-colored (usually blue or black) materials and are covered with anti-reflective coatings. Modern PV panels reflect as little as two percent of incoming sunlight, about the same as water and less than soil or even wood shingles (SEIA/Sandia 2013). Some of the concern and misconception is likely due to the confusion between solar PV systems and concentrated solar power (CSP) systems. CSP systems typically use an array of mirrors to reflect sunlight to heat water or other fluids to create steam that turns an electric generator. These typically involve large ground-mounted reflectors, usually in remote desert locations, and are not installed in residential or commercial areas or near airports.

Solar PV system on the left compared to a parabolic trough CSP system on the right. Photo Copyright DOE/NREL/ORNL



II. PV on or near airports

Solar and Glare

As of June 2013, there were over 30 solar projects in operation at airports in 15 different states (Barrett 2013). Solar installations have been successfully located at or near US international airports in Boston, New York, San Francisco, and Denver, among others. Yet concerns over glint (a quick reflection) and glare (a longer reflection) often arise when a PV system is proposed on or near an airport. Pilots are familiar with both glint and glare as reflection is a common phenomenon, especially off of bodies of water or in the form of glare from the sun itself. However, issues can arise if the solar PV system were to cast glare into an air traffic control tower.¹

The Federal Aviation Administration (FAA) has been actively reviewing the impact of glare from solar panels to streamline an evaluation process that ensures safety while creating more opportunity for solar installations on or near airports. The FAA filed notice of its Interim Policy for review of solar energy systems on federally obligated airports (i.e. airports which receive federal funding) in October of 2013.² This policy requires that a sponsor of a federally obligated airport must request FAA review and approval to install solar on its "airport layout plan." Federally-obligated airports must also notify the FAA of its intent to construct any solar installation by filing FAA form 7460-1. The interim FAA policy also requires the use of the Solar Glare Hazard Analysis Tool for on-airport solar development.

III. FAA and the Solar Glare Hazard Analysis Tool

In order to understand and model glare in accordance with FAA standards, Sandia National Laboratories developed the Solar Glare Hazard Analysis Tool (SGHAT). Standardized safety metrics define what glare intensity will cause unwanted visual impacts to Air Traffic Control towers and airplane pilots. SGHAT can be used to evaluate the potential of a particular PV array to produce glare intensity, predicting when and where glare will occur from a prescribed PV array at user-defined observation points (i.e. from the Air Traffic Control Tower or from a series of points along an aircraft landing route) and be combined with Google maps for an easy user interface. In instances where glare may be a concern, the tool can prescribe minor adjustments to the tilt, direction, and location of the panels to alleviate any issues. SGHAT will predict annual energy production for the various adjusted positions (SEIA/Sandia PPT).

IV. Role for Local Governments

Local governments may wish to include airport guidance within their local zoning ordinances that address solar PV. The North Carolina Solar Center *Template Solar Energy Development Ordinance for North Carolina*³ includes a section on airports and recommends aviation notification steps for both on-airport solar projects and installations within 5 nautical miles of an airport. In addition to amendments to local zoning codes, local governments have the opportunity to conduct outreach to airports,

¹ <http://www.unionleader.com/article/20120830/NEWS02/708309966/0/newhampshire>

² <http://www.gpo.gov/fdsys/pkg/FR-2013-10-23/pdf/2013-24729.pdf>

³ http://ncsc.ncsu.edu/wp-content/uploads/Template-Solar-Ordinance_V1.0_12-18-13.pdf

Solar and Glare

organizations and local stakeholders about methods for predicting and managing glare impacts from solar panels near airports or other locations. Such outreach furthers the safety goals of the FAA and the solar energy development goals of municipalities and communities. Spreading awareness of the safety of PV systems along with FAA guidance and glare measurement tools will help foster informed communities and enable the deployment of safe and productive solar PV projects in locations where glint and glare may be of concern.

V. Useful Links

Sandia Solar Glare Mapping Tools: <https://share.sandia.gov/phlux>

V. Citations

Barrett, S., June 2013, Glare Factor: Solar Installations And Airports, *Solar Industry*, Volume 6, Number 5. http://www.solarindustrymag.com/issues/SI1306/FEAT_02_Glare_Factor.html.

Federal Register 2013, etc.: <http://www.gpo.gov/fdsys/pkg/FR-2013-10-23/pdf/2013-24729.pdf>

SEIA/Sandia Webinar on Solar PV and Glare:

<http://www.seia.org/sites/default/files/resources/Final%20FAA%20Webinar%20Slides%20August%202013.pdf>

Authors: Caroline Palmer and Chad Laurent, Meister Consultants Group, Inc.

Meister Consultants Group, Inc. | 98 N. Washington St., Suite 302, Boston, MA 02114 | www.mc-group.com

This fact sheet, produced by Meister Consultants Group, Inc., is supported by the following team of organizations: ICLEI-USA; International City/County Management Association (ICMA); Solar Electric Power Association (SEPA); Interstate Renewable Energy Council, Inc. (IREC); North Carolina Solar Center (NCSC); The Solar Foundation (TSF); American Planning Association (APA); and National Association of Regional Councils (NARC).

This material is based upon work supported by the U.S. Department of Energy under Award Number DE-EE0003525. This fact sheet was prepared as an account of work sponsored by an agency of the United States Government. Neither the United States Government nor any agency thereof, nor any of their employees, makes any warranty, express or implied, or assumes any legal liability or responsibility for the accuracy, completeness, or usefulness of any information, apparatus, product, or process disclosed, or represents that its use would not infringe on privately owned rights. Reference herein to any specific commercial product, process, or service by trade name, trademark, manufacturer, or otherwise does not necessarily constitute or imply its endorsement, recommendation, or favoring by the United States Government or any agency thereof. The views and opinions of authors expressed herein do not necessarily state or reflect those of the United States Government or any agency thereof.

HEIGHT

$\sim 6'-5''$

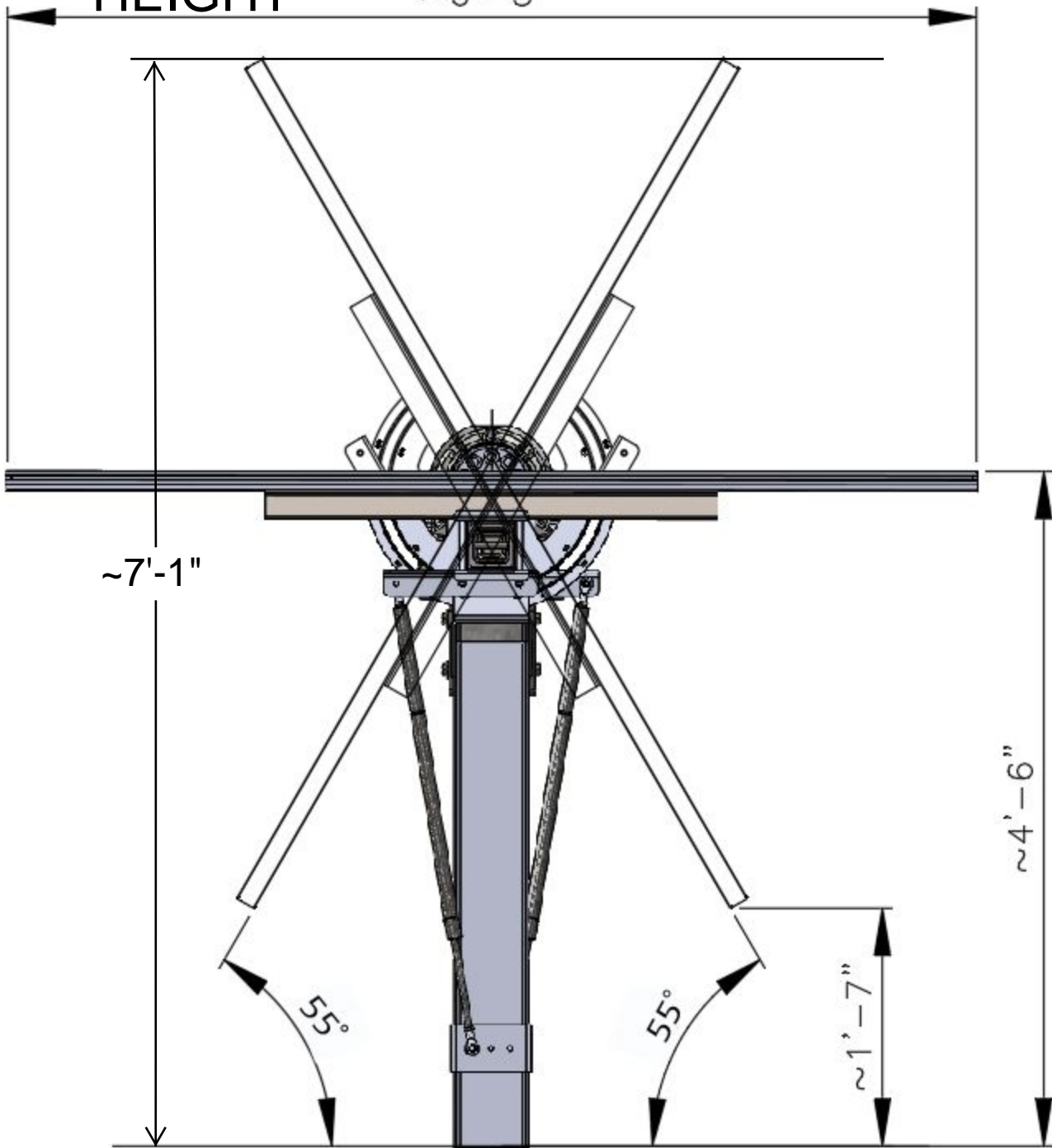
$\sim 7'-1''$

$\sim 4'-6''$

$\sim 1'-7''$

55°

55°



HEIGHT

Section 19-7-D of the City's Zoning Ordinance, the minimum clearance between the lowest point of the system and the surface which the system is mounted is ten (10) feet. The exhibit shows a one foot seven inch (1'7") minimum clearance. Provide a statement clarifying why the minimum clearance does not meet the required standard.

The diagram on the previous page detailing the solar array is designed to manufacturer's specifications. At these specifications this is a minimum ground clearance of 1'7". The current zoning ordinance requires a minimum distance of 10' clearance from the ground. This would not meet any of the industry's racking specifications and would further lift the solar modules off the ground causing them to be more visible and would cause issues with wind load rating. The 1'7" clearance will provide a discrete installation of the solar modules which will allow them to be fully covered by the fencing and will meet manufacturer specification and building requirements with wind load ratings.



DuraTrack® HZ v3

RELIABILITY IS POWER.

167 X

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competitive trackers

99.9996%

Uptime Reliability

ARRAY TECHNOLOGIES, INC.

3901 Midway Place NE
Albuquerque, NM 87109 USA

+1 505.881.7567
+1 855.TRACKPV (872.2578)
+1 505.881.7572

sales@arraytechinc.com

arraytechinc.com

THE MOST RELIABLE TRACKER UNDER THE SUN

HIGHEST POWER DENSITY.

Higher density means more power and more profit. DuraTrack HZ v3 offers the unique ability to maximize the power density of each site, boasting 6% more density than our closest competitor.

LEADING TERRAIN ADAPTABILITY.

Uneven terrain? Hill yes! Our flexibly linked architecture, with articulating driveline joints and forgiving tolerances, create the most adaptable system in market for following natural land contours and creates the greatest power generation potential from every site.

FEWER COMPONENTS. GREATER RELIABILITY.

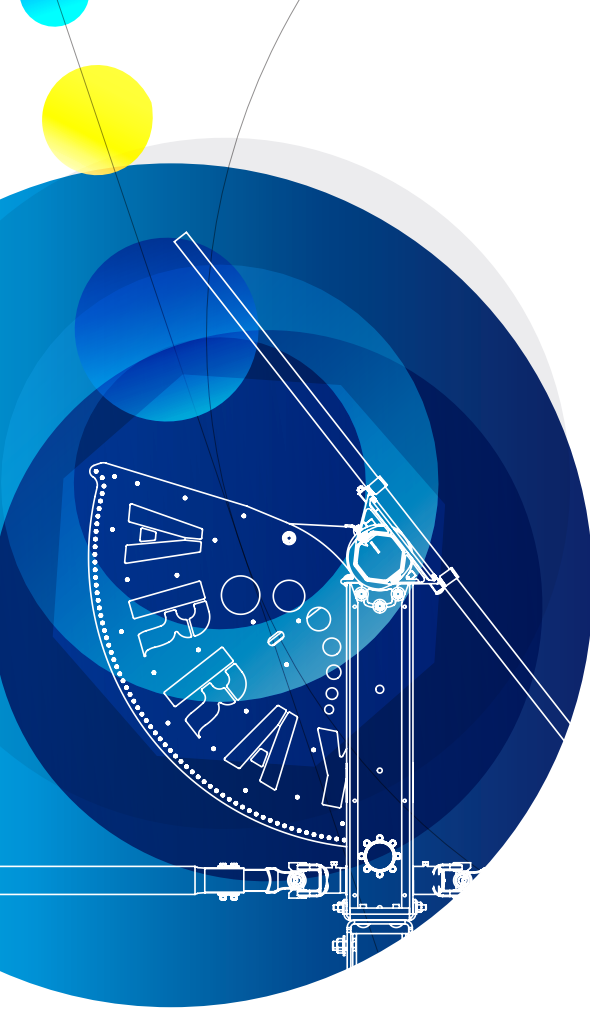
Less is more. Array was founded on a philosophy of engineered simplicity. Minimizing potential failure points (167 times fewer components than competitors), DuraTrack HZ v3 consistently delivers higher reliability and an unmatched uptime of 99.99%.

FAILURE-FREE WIND DESIGN.

DuraTrack HZ v3 was designed and field tested to withstand some of the harshest conditions on the planet. It is the only tracker on the market that reliably handles wind events with a fully integrated, fully automatic wind-load mitigation system.

ZERO SCHEDULED MAINTENANCE.

Three decades of solar tracker system design, engineering and testing has resulted in uncompromising reliability. Maintenance-free motors and gears, fewer moving parts, and industrial-grade components means maintenance-free energy generation.



DuraTrack® HZ v3

COST VERSUS VALUE

We believe value is more than the cost of a tracking system. It's about building with forgiving tolerances and fewer parts so construction crews can work efficiently. It means protecting your investment with a failure-free wind management system. It also includes increasing power density. But most of all, value is measured in operational uptime, or reliability. Ours is 99.996%... and we're still improving on it.

THE GLOBAL LEADER IN RELIABILITY

Array has spent decades designing and perfecting the most reliable tracker on the planet. Fewer moving parts, stronger components and intelligent design that protects your investment in the harshest weather are but a few of the innovative differences that keep your system running flawlessly all day and you resting easy at night.

STRUCTURAL & MECHANICAL FEATURES/SPECIFICATIONS

Tracking Type	Horizontal single axis
kW per Drive Motor	Up to 907 kW DC using 360W crystalline
String Voltage	Up to 1,500V DC
Maximum Linked Rows	28
Maximum Row Size	80 modules (crystalline, 1,000V DC) & 90 modules (crystalline, 1,500V DC)
Drive Type	Rotating gear drive
Motor Type	2 HP, 3 PH, 480V AC
Motors per 1 MW AC	Less than 2
East-West / North-South Dimensions	Site / module specific
Array Height	54" standard, adjustable (46" min height above grade)
Ground Coverage Ratio (GCR)	Flexible, 28–45% typical, others supported on request
Terrain Flexibility	N-S tolerance: 0°–8.5° Standard, option to increase Driveline: 40° in all directions
Modules Supported	Most commercially available, including frameless crystalline and thin film
Tracking Range of Motion	± 52°
Operating Temperature Range	-30°F to 130°F (-34°C to 55°C)
Module Configuration	Single-in-portrait standard. Two-or-three in landscape (framed or frameless), four-in-landscape (thin film) also available.
Module Attachment	Single fastener, high-speed mounting clamps with integrated grounding. Traditional rails for crystalline in landscape, custom racking for thin film and frameless crystalline per manufacturer specs.
Materials	HDG steel and aluminum structural members
Allowable Wind Load (IBC 2012)	135 mph, 3-second gust exposure C
Wind Protection	Passive mechanical system relieves wind and obstruction damage — no power required

ELECTRONIC CONTROLLER FEATURES/SPECIFICATIONS

Solar Tracking Method	Algorithm with GPS input
Control Electronics	MCU plus Central Controller
Data Feed	MODBUS over Ethernet to SCADA system
Night-time Stow	Yes
Tracking Accuracy	± 2° standard, field adjustable
Backtracking	Yes

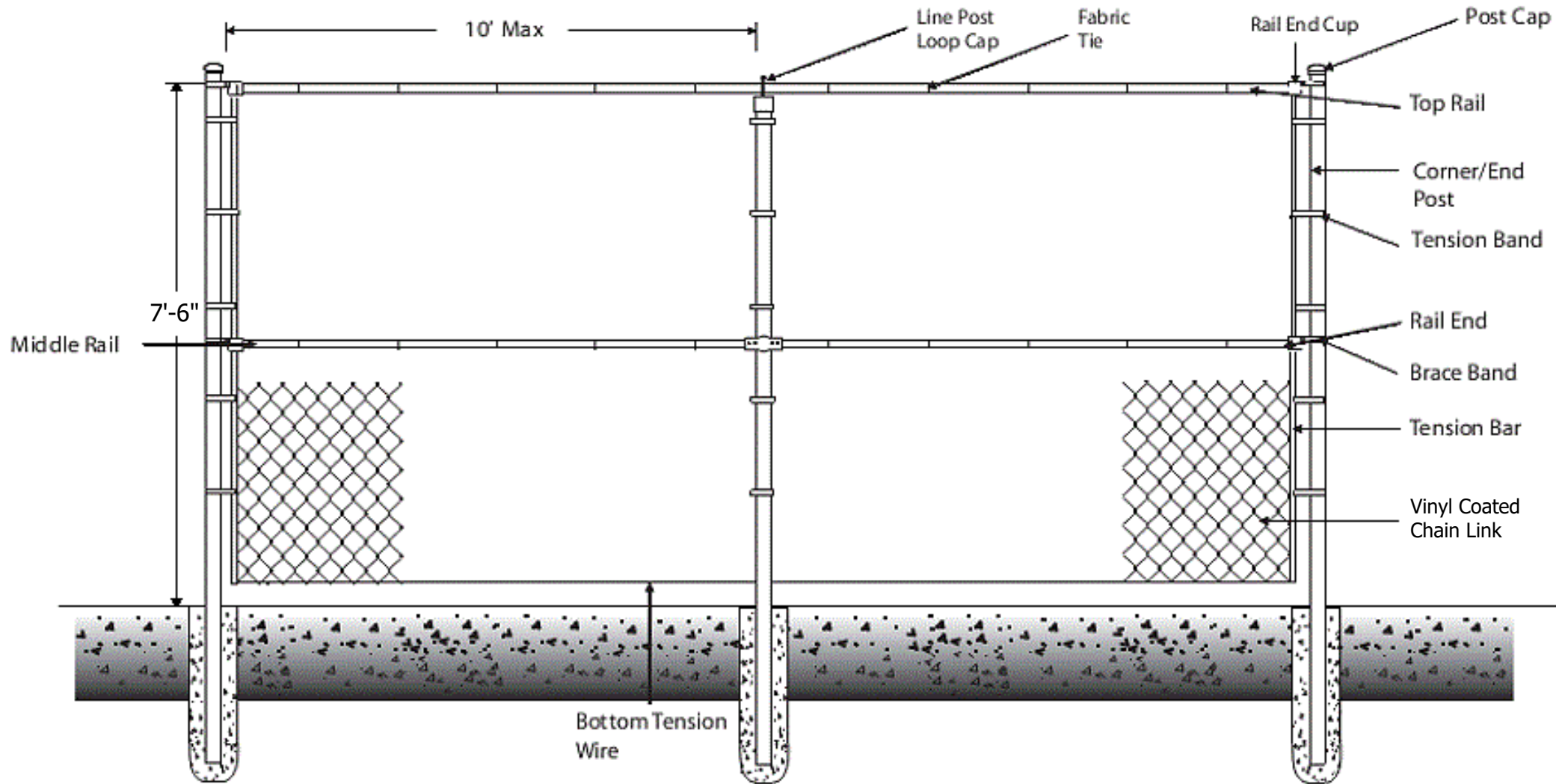
INSTALLATION, OPERATION & MAINTENANCE

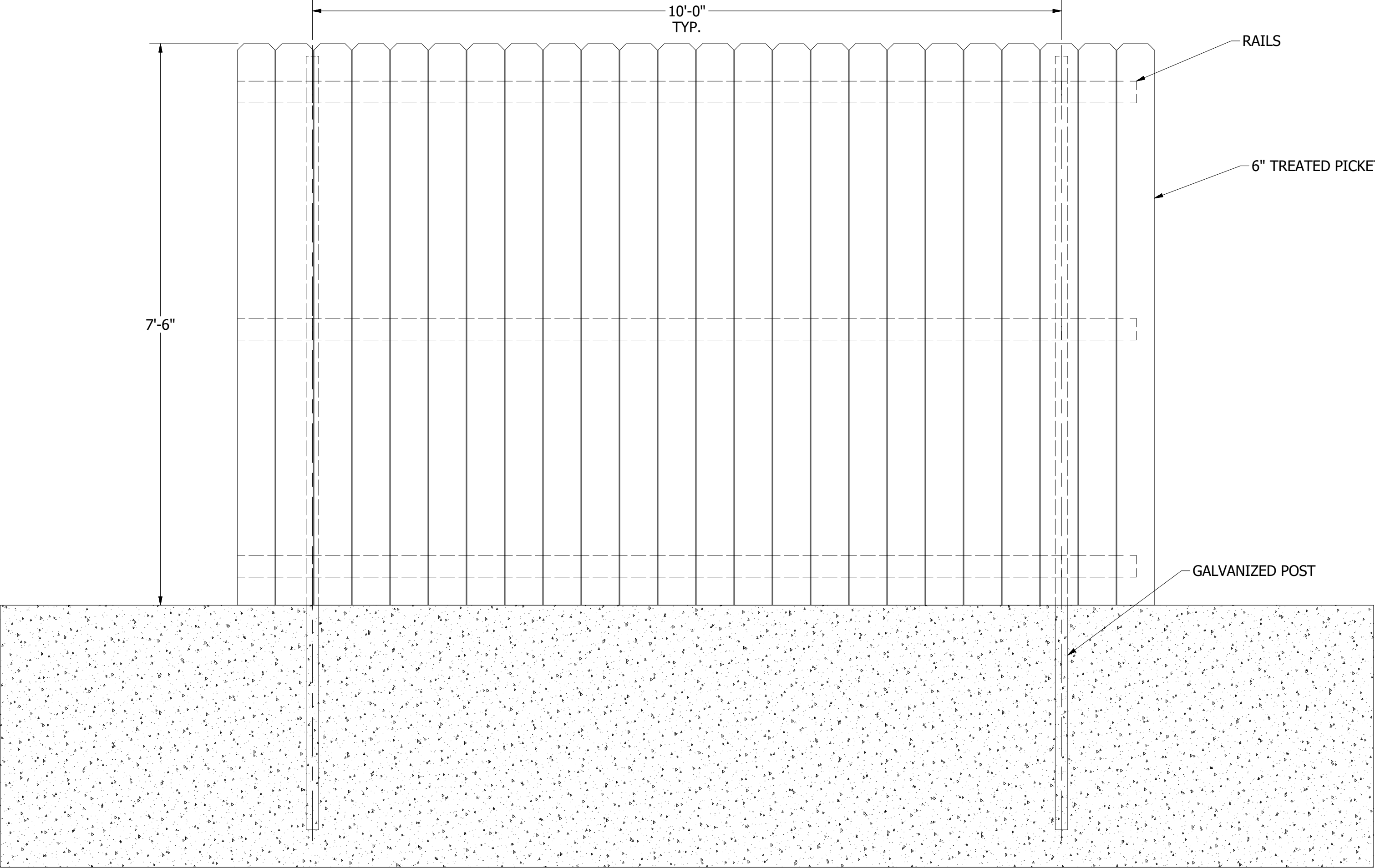
PE Stamped Structural Calculations & Drawings	Yes
On-site Training & System Commissioning	Yes
Connection Type	Fully bolted connections, no welding
In-field Fabrication Required	No
Dry Slide Bearings & Articulating Driveline Connections	No lubrication required
Scheduled Maintenance	None required

GENERAL

Annual Power Consumption (kWh per 1 MW)	400 kWh per MW per year, estimated
Land Area Required per 1 MW	Approx. 5 to 5.75 acres per MW @ 33% GCR (site and design specific)
Energy Gain vs. Fixed-Tilt	Up to 25%, site specific
Warranty	10 year structural, 5 year drive & control components
Patent Numbers	US patent 8,459,249. US patent 9,281,778. US patent 9,581,678 B2 and patents pending
Codes and Standards	UL Certified (3703 & 2703)

FENCING



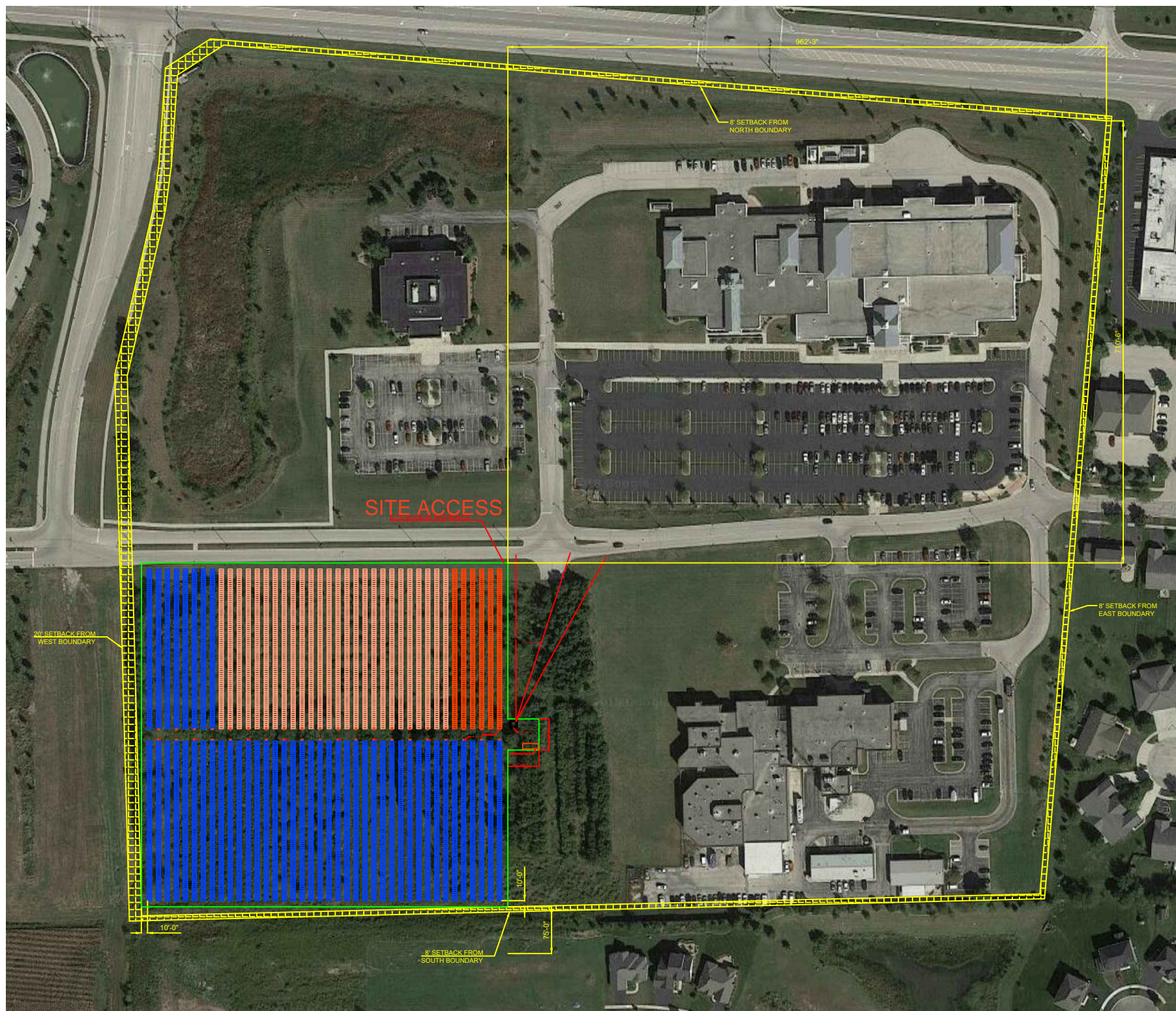


SOUTH FENCE DETAIL

ACCESSORY USE

Section 19-4-D states that alternative energy systems shall be an accessory to the principal permitted use. Please confirm that the Kendall County campus and the parcel the proposed solar farm will be located will be consolidated into a single parcel to comply with the accessory use standard.

This is the case and has been provided.



DECOMMISSIONING

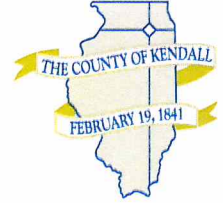
- *Section 10-19-9-A-3 states prior to permit issuance, the owner shall sign an acknowledgement that said owner will be responsible for any and all enforcement costs and remediation costs resulting from any violations of that chapter. The costs include, but are not limited to, removal of system, property restoration upon removal of the system, city legal expenses and hearing costs associated with violations of that chapter.*
- *Section 10-19-4-E states all alternative energy systems inactive or inoperable for a period of 12 continuous months shall be deemed abandoned and the owner is required to repair or remove the system from the property at the owner's expense within 90 days of notice from the City. To ensure compliance, staff will recommend as a condition of the special use, the petitioner provide a security guarantee in a form acceptable to the City to cover such costs including, but not limited to the removal, property restoration, and city legal expenses.*
- *In addition to the security, staff will also recommend a blanket easement over the property to allow the City or its contractor to enter and remove the abandoned system in compliance with the City Code, as a condition of the Special Use approval.*

This is being discussed between the County and the City and will be provided.



Kendall County
Office of the Sheriff

Dwight A. Baird, Sheriff
1102 Cornell Lane Yorkville Illinois 60560
Phone: 630-553-7500 Fax: 630-553-1972
www.co.kendall.il.us/sheriff



August 16, 2018

Krysti Barksdale Noble
Community Development Director
United City of Yorkville
800 Game Farm Road
Yorkville, IL 60560

Via: knoble@yorkville.il.us

RE: GRNE Solar Special Use Application

Dear Ms. Barksdale Noble:

Please be advised that I reviewed the Development Plan for the proposed Solar Panel Filed to Service the Kendall County Governmental Complex.

Continuing the overall planning strategy of my Predecessor in Office, Sheriff Richard Randall, it is of utmost safety importance for the Kendall County Sheriff's Department to ensure safety on the entire County Campus. Toward that end we have refrained from placing any obstructive views from the Sheriff's Department Headquarters not only in the land surrounding our facility, but in the complimentary currently existing Kendall County Courthouse and Public Health Building, as well as any future buildings that would be constructed on the Campus.

While we are cognizant of having screening between residential and non-residential uses, we would not object to a solid wood fence on the south side of the proposed solar field so that there is a buffer with residential users to the south even though there is a great distance between the uses. As to the other three sides of the project we would definitely require an open chain-linked type fence so that we have a clear field of vision from the second floor of our Sheriff's Building. This type of fencing would provide on-site views to our and the United City of Yorkville patrol officers if anyone were trespassing inside the facility. If this development creates any blind spots or any areas that would necessitate additional cameras, we would expect the GRNE Solar Company to be responsible to pay for them.

We are not at all worried about access given the roadway system that has been developed in that there would be an access gate to the facility which we will work with the Developer on having access to for public safety purposes.

If you should have any other questions please feel free to contact me at the Kendall County Sheriff's Department.

Respectfully Submitted,

Dwight Baird
Dwight Baird,
Kendall County Sheriff

P.P. Harold Martin
under sheriff



Hampton, Lenzini and Renwick, Inc.
Civil Engineers • Structural Engineers • Land Surveyors
www.hltrengineering.com

September 14, 2018

Mr. Eric Peterman
GRNE Solar
230 N. Hicks Place
Palatine, IL 60067

Re: Tree and Shrub Inventory
Kendall County Solar Project
Yorkville, Kendall County, Illinois

Dear Mr. Peterman:

On September 10-12, 2018 Hampton, Lenzini and Renwick, Inc. (HLR) performed a tree and shrub inventory within the Kendall County Solar Project property located southeast of the intersection of John Street and Beecher Street in Yorkville, Illinois. The project area consists of an abandoned tree and shrub nursery.

The United City of Yorkville requires a survey of all trees measuring four inches in diameter-breast-height (DBH) or greater. Additionally, per a September 6, 2018 phone conversation with Ms. Krysti Barksdale-Noble, Community Development Director, the approximate number and species of shrubs were recorded but their locations were not surveyed as she stated this was not necessary.

Methodology

All trees within the project area, measuring four inches in DBH or greater, were surveyed. A diameter measuring tape was used to determine DBH. For trees having more than one trunk (i.e., multi-stemmed trees), the largest diameter trunk was measured and the tree was noted as having multiple trunks. A numbered tag was nailed to each surveyed tree and its DBH, botanical name, common name, and general health (e.g., excellent, good, fair, poor, dead) were recorded.

Planted shrubs not having a stem measuring four inches in DBH or greater, were not tagged or surveyed; however, their presence was recorded and is noted on page 1 of the enclosed Tree and Shrub Inventory. Opportunistic (i.e., non-planted trees and shrubs) less than four inches DBH were not inventoried. Opportunistic species included honeysuckles (*Lonicera* spp.), black cherry (*Prunus serotina*), Eastern Cottonwood (*Populus deltoides*) among others.

The location of each inventoried tree was surveyed using a hand held Trimble R1GNSS receiver and overlaid on an aerial photograph as provided on page 2 of the Tree and Shrub Inventory. Locations of planted shrubs were marked on an aerial in the field and their locations transposed onto the Tree and Shrub Inventory.

Results and Summary

A total of 848 trees comprised of 22 species were tagged and surveyed. A table summarizing all tagged and surveyed trees is provided on page 3 of the Tree and Shrub Inventory. The three most dominant species were river birch (*Betula nigra*), dwarf river birch (*Betula nigra* "Little King" var.), and red oak (*Quercus rubra*). Together, these three species account for approximately 70 percent of the trees recorded.

Table 1 contains a summary of the recorded tree species by common and scientific name, number of individuals, and percentage of all trees. A complete tally of all inventoried trees is provided on page 3 of the Tree and Shrub Inventory.

Table 1 - Individual Species Data

Species (Common Name Scientific Name)	Count	Percentage
American Elm (<i>Ulmus americana</i>)	2	0.24%
American Hophornbeam (<i>Ostrya virginiana</i>)	3	0.35%
Austrian Pine (<i>Pinus nigra</i>)	1	0.12%
Basswood (<i>Tilia americana</i>)	1	0.12%
Black Cherry (<i>Prunus serotina</i>)	36	4.25%
Black Walnut (<i>Juglans nigra</i>)	39	4.60%
Box Elder (<i>Acer negundo</i>)	1	0.12%
Bradford Pear (<i>Pyrus calleryana</i>)	5	0.59%
Bur Oak (<i>Quercus macrocarpa</i>)	54	6.37%
Chinkapin Oak (<i>Quercus muehlenbergii</i>)	1	0.12%
Common Buckthorn (<i>Rhamnus cathartica</i>)	6	0.71%
Crabapple (<i>Malus</i> sp.)	1	0.12%
Dwarf River Birch (<i>Betula nigra</i> 'Little King' var.)	206	24.29%
Eastern Cottonwood (<i>Populus deltoides</i>)	7	0.83%
English Oak (<i>Quercus robur</i>)	1	0.12%
Green Ash (<i>Fraxinus pennsylvanica</i>)	53	6.25%
Ohio Buckeye (<i>Aesculus glabra</i>)	9	1.06%
Red Cedar (<i>Juniperus virginiana</i>)	13	1.53%
Red Oak (<i>Quercus rubra</i>)	148	17.45%
River Birch (<i>Betula nigra</i>)	243	28.66%
Swamp White Oak (<i>Quercus bicolor</i>)	17	2.00%
White Mulberry (<i>Morus alba</i>)	1	0.12%
Total	848	100.00%

Table 2 presents the inventoried tree data by health. Health refers to the overall condition of the tree, specifically the vigor and productivity of the tree. Signs of disease, insects, presence of fungus, dead wood, or holes on the main trunk, and leaf condition are all considered when evaluating the health of the tree. In addition, bark damage, lean, cankers, and twig development are also used when evaluating the

health of a tree.

Most trees (over 39 percent) were classified as fair. This rating was mainly driven by the fact that the trees were planted close together in anticipation of being sold before reaching maturity. However, since the nursery is abandoned the trees are competing against each other for sunlight which has led to significant dieback of lower limbs (i.e., shade pruning). No trees in excellent condition were found. This was mainly due to the close growing conditions and competition for light. Dead trees accounted for almost three percent of the inventoried trees. All but one of the dead trees were green ash. Signs and symptoms of emerald ash borer (*Agrilus planipennis*) were present on the green ash.

Table 2 - Tree Data by Health

Health	Count	Percentage
Dead	21	2.48%
Poor	228	26.89%
Fair	334	39.39%
Good	265	31.25%
Excellent	0	0.0%
Total	848	100.00%

Please do not hesitate to contact me at 847-531-0288 if you should have any questions regarding this information.

Sincerely,

HAMPTON, LENZINI AND RENWICK, INC.

By: 

Patrick Hickey
Certified Arborist (IL-1832A)

Enclosure: Tree and Shrub Inventory (3 pages)

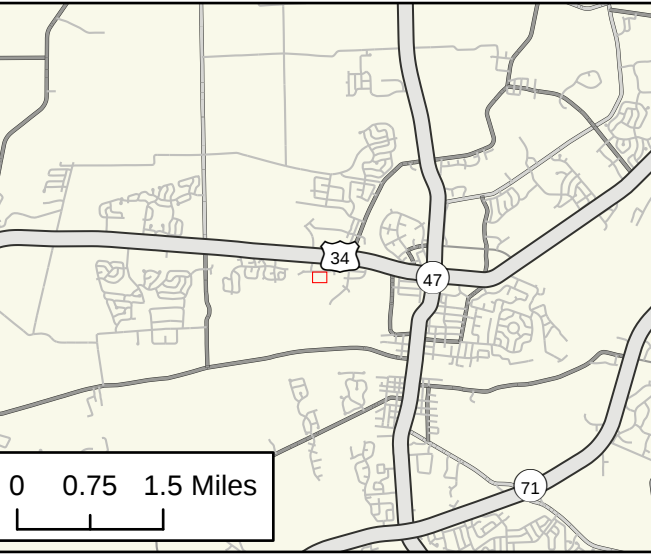
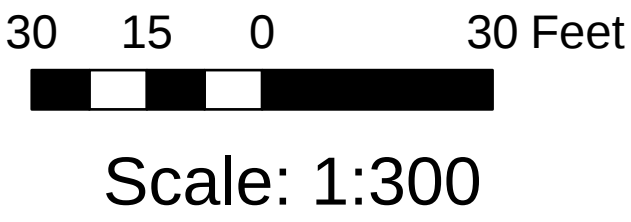
GRNE Solar

Kendall County

Tree and Shrub Inventory

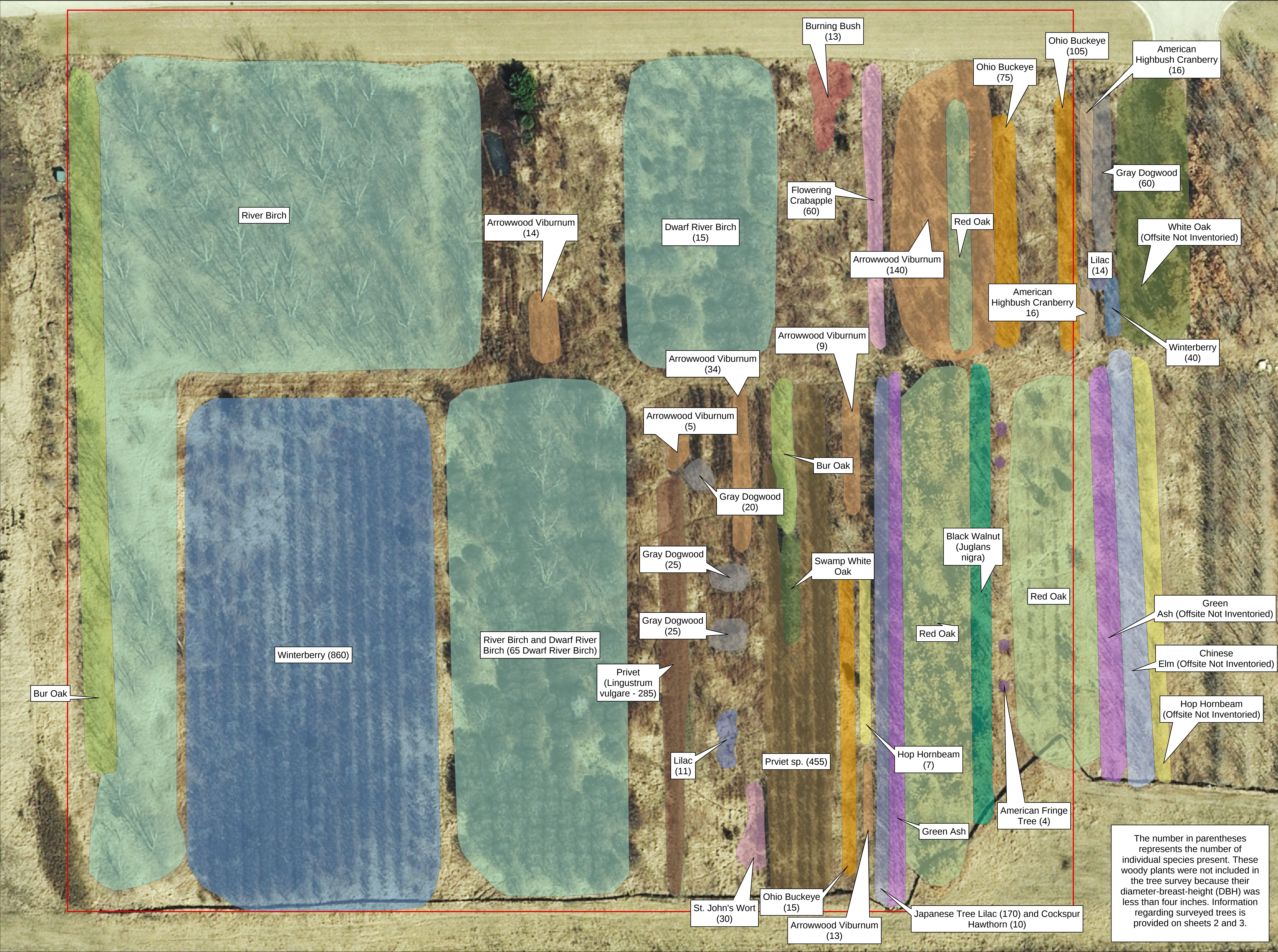
Major Groupings
of Trees and Shrubs

- Project Area
- American Fringe Tree
(*Chionanthus virginicus*)
- American Highbush Cranberry
(*Viburnum trilobum*)
- Arrowwood Viburnum
(*Viburnum dentatum*)
- Black Walnut (*Juglans nigra*)
- Bur Oak (*Quercus macrocarpa*)
- Burning Bush (*Euonymus alatus*)
- Chinese Elm (*Ulmus parvifolia*)
- Flowering Crabapple (*Malus* sp.)
- Gray Dogwood (*Cornus racemosa*)
- Green Ash (*Fraxinus pennsylvanica*)
- Hop Hornbeam (*Ostrya virginiana*)
- Japanese Tree Lilac (*Syringa reticulata*) and Cocksbur Hawthorn (*Crataegus crus-galli*)
- Lilac (*Syringa* sp.)
- Ohio Buckeye (*Aesculus glabra*)
- Privet (*Ligustrum vulgare*)
- Privet (*Ligustrum* sp.)
- River Birch (*Betula nigra*) and Dwarf River Birch (*Betula nigra* 'Little King' var.)
- St. John's Wort (*Hypericum* sp.)
- White Oak (*Quercus alba*)
- Swamp White Oak (*Quercus bicolor*)
- Red Oak (*Quercus rubra*)
- Winterberry (*Ilex verticillata*)



Hampton, Lenzini and Renwick, Inc.
Civil & Structural Engineers • Land Surveyors • Environmental Specialists
ELGIN • WOODBRIDGE • SPRINGFIELD • MT. CARMEL
www.hlrengineering.com

Cook Co 2012 Aerial Imagery (Contract No. 10-41-09)
Raster Digital Data, Version 1.0. Published April 2013.
Cook Co Board of Commissioners, USGS, US Census, IDOT



The number in parentheses represents the number of individual species present. These woody plants were not included in the tree survey because their diameter-at-breast-height (DBH) was less than four inches. Information regarding surveyed trees is provided on sheets 2 and 3.

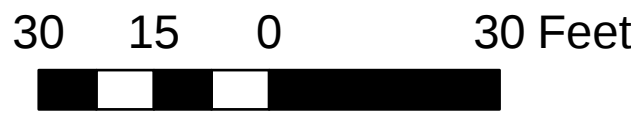
GRNE Solar

Kendall County

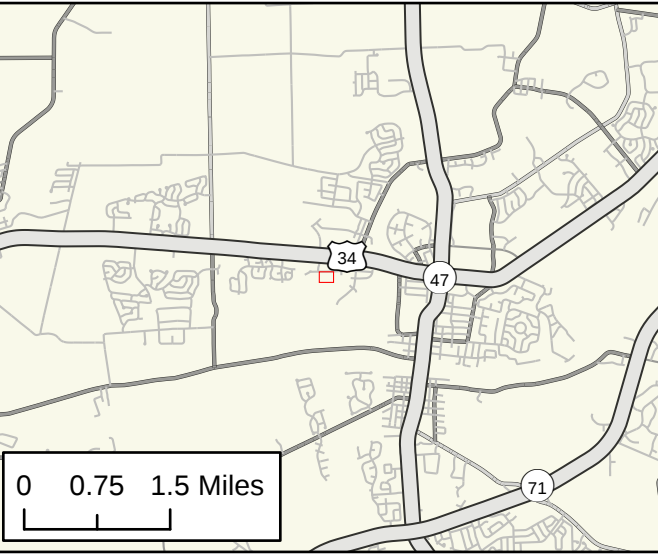
Tree and Shrub Inventory

Tagged and Surveyed
Tree Locations

- Project Area
- American Elm (*Ulmus americana*)
- American Hophornbeam (*Ostrya virginiana*)
- Austrian Pine (*Pinus nigra*)
- Basswood (*Tilia americana*)
- Black Cherry (*Prunus serotina*)
- Black Walnut (*Juglans nigra*)
- Box Elder (*Acer negundo*)
- Bradford Pear (*Pyrus calleryana*)
- Bur Oak (*Quercus macrocarpa*)
- Chinkapin Oak (*Quercus muehlenbergii*)
- Common Buckthorn (*Rhamnus cathartica*)
- Crabapple (*Malus* sp.)
- Dwarf River Birch (*Betula nigra* 'Little King' var.)
- Eastern Cottonwood (*Populus deltoides*)
- English Oak (*Quercus robur*)
- Green Ash (*Fraxinus pennsylvanica*)
- Ohio Buckeye (*Aesculus glabra*)
- Red Cedar (*Juniperus virginiana*)
- Red Oak (*Quercus rubra*)
- River Birch (*Betula nigra*)
- Swamp White Oak (*Quercus bicolor*)
- White Mulberry (*Morus alba*)



Scale: 1:300



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Cook Co 2012 Aerial Imagery (Contract No. 10-41-09)
Raster Digital Data, Version 1.0. Published April 2013.
Cook Co Board of Commissioners, USGS, US Census, IDOT



All trees having a DBH equal to or greater than four inches were tagged and surveyed.

Hampton, Lenzini and Renwick, Inc.

LANDSCAPE PLAN

Per Section 8-12-2-H of the Landscape Ordinance, a Tree Preservation Plan is required for all lots five (5) acres or greater in area. No live trees with a four-inch (4") DBH (diameter breast height) may be removed without first submitting an application for tree removal and receiving approval from the City. A Tree Preservation Plan and a landscape plan will be required as part of the Special Use application.

Considering the site is currently a storage home for a subset of trees, a landscaping plan is being developed to help clear this space to prepare for the project. We are in discussion with the Sheriff's office, local stakeholder's, our attorney Dan Kramer, and the City of Yorkville to devise a plan that works for all parties.

The history of the trees at this site have been moved three times and have landed here as a staging area and were not meant for permanent residency. We are working to better understand the options for removal of these trees. Please see attached, the completed tree study performed by HLR Engineering. Also attached are renderings of the landscaping proposed on the south boundary of the property. These trees will be a coniferous species so as not to lose their leaves in the winter to have a year-round presence to help with aesthetics for the solar field. The trees shall be a height of 4' when installed and spaced at 35' on center to accommodate the mature nature of the trees.

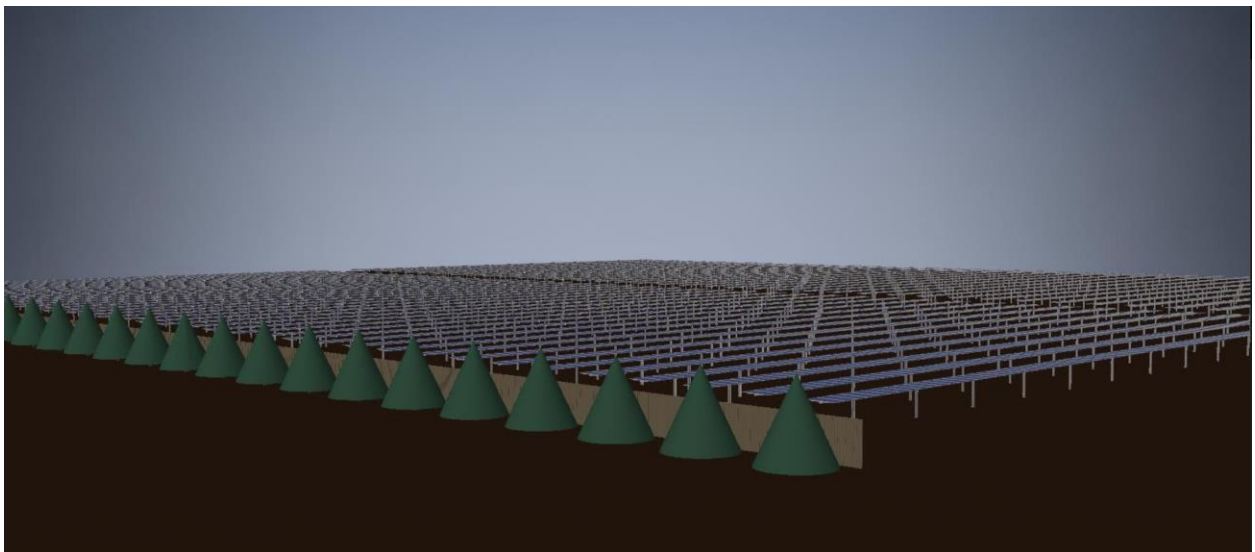
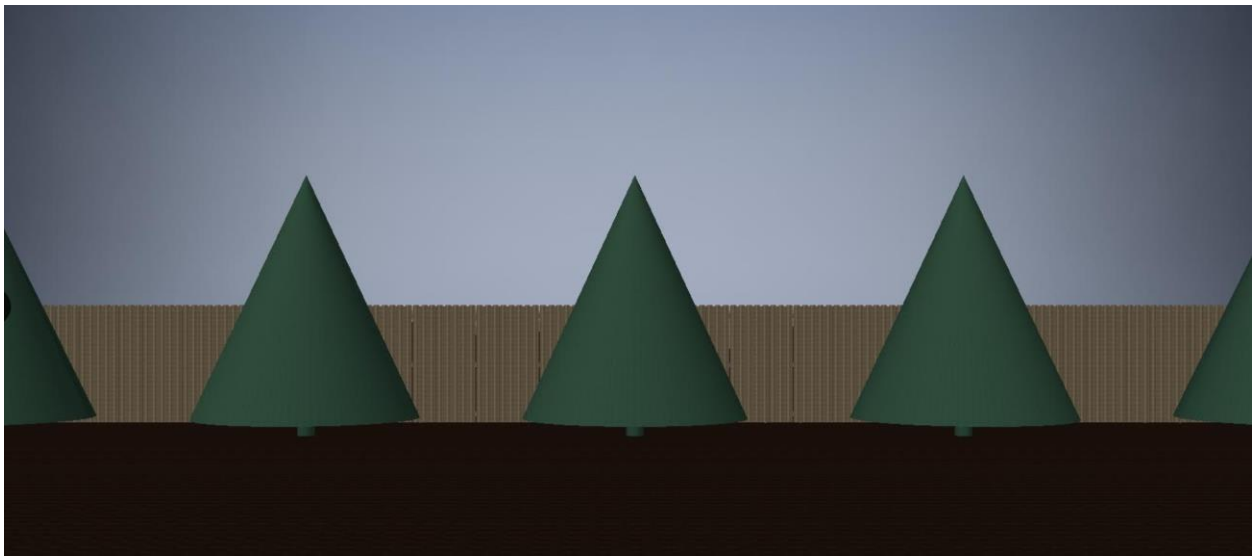
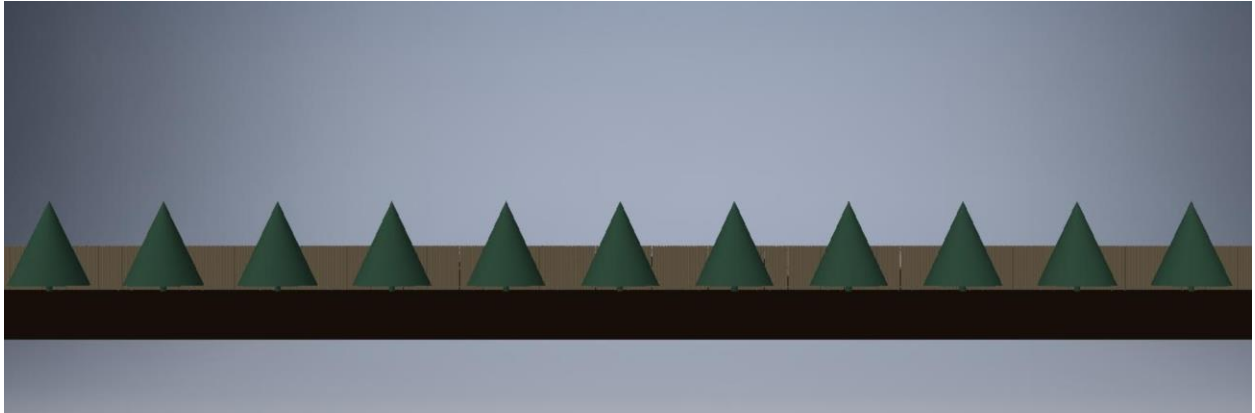
Onsite Pictures of the current landscape

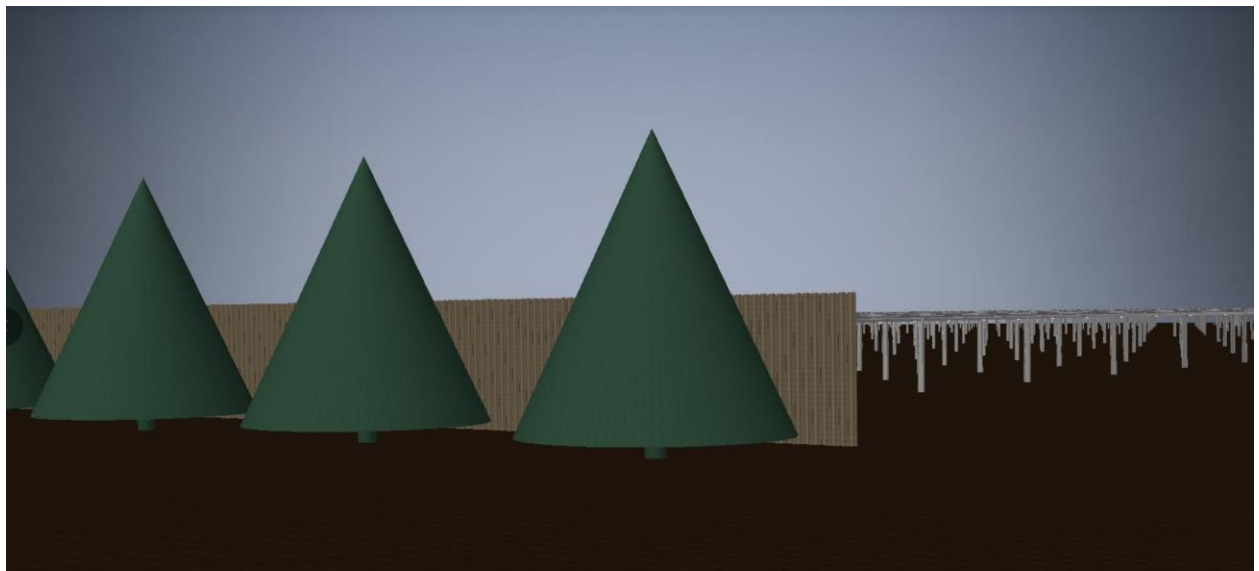
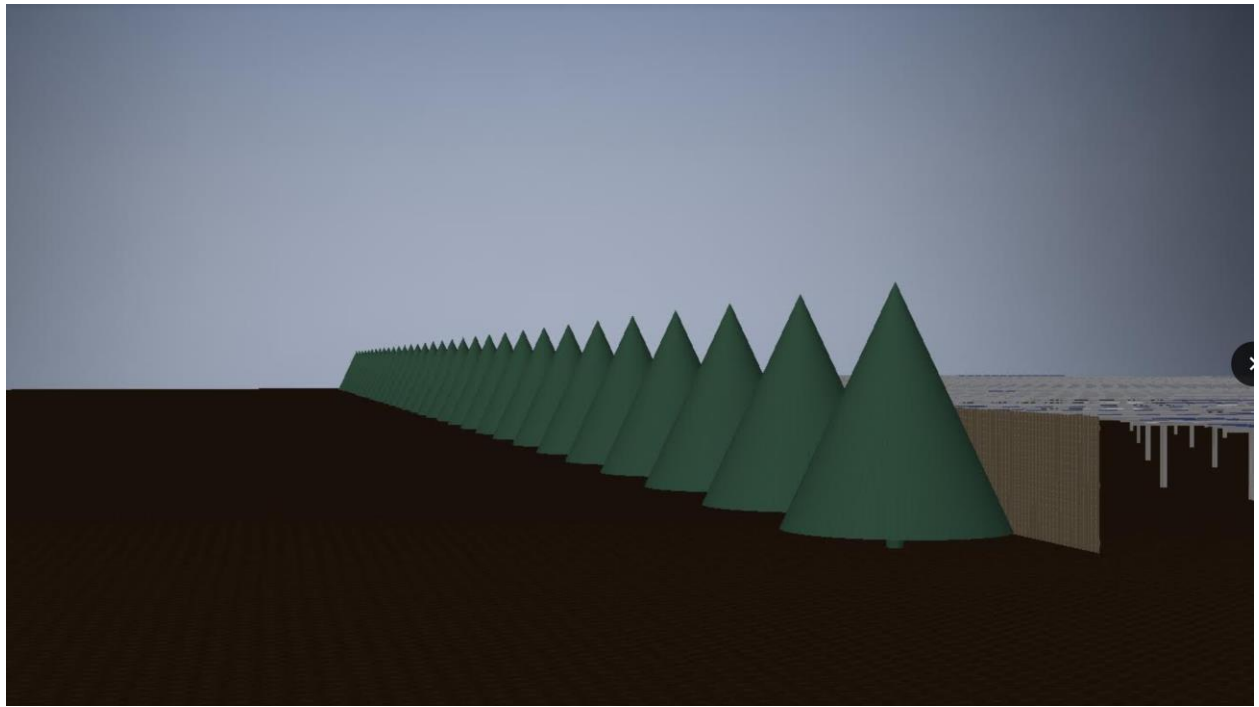






Renderings of Landscape at the South side of Array







Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #6

Tracking Number

EDC 2018-72

Agenda Item Summary Memo

Title: Unified Development Ordinance - RFP

Meeting and Date: Economic Development Committee - October 2, 2018

Synopsis: Authorization to solicit RFPs for a Unified Development Ordinance

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Informational

Council Action Requested: Feedback

Submitted by: Krysti J. Barksdale-Noble

Community Development

Name

Department

Agenda Item Notes:

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at http://www.yorkville.il.us/gov_officials.php



Memorandum

To: Economic Development Committee
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Jason Engberg, Senior Planner
Date: September 18, 2018
Subject: **Unified Development Ordinance (UDO) - RFP**

Request

Staff is seeking authorization by the City Council to solicit Request for Proposals (RFPs) from qualified planning and/or engineering firms for the creation of a Unified Development Ordinance.

Summary

In 2014, the City overhauled its Zoning Ordinance followed by an update to the Comprehensive Plan in 2016. Several goals and implementation strategies in the Comprehensive Plan recommended improving residential subdivision design and enhancing the physical appearance of the community through an update to certain codes and establishing quality design standards which encourages the protection and preservation of Yorkville's environmental assets.

Therefore, staff is seeking authorization by the City Council to solicit proposals from qualified firms with considerable experience in land use planning, zoning, subdivision/site development and landscape architecture to modernize and consolidate the various existing City ordinances into a cohesive, single-reference, graphic-based document known as a Unified Development Ordinance (UDO). The current City ordinances that will under review as part of this proposal are:

1. Zoning Ordinance (originally adopted 1974, amended 2014)
2. Subdivision Control Ordinance and Standard Specifications for Improvements (adopted 2004)
3. Landscape Ordinance (adopted 2009)
4. Appearance Code (adopted 2005)

The City is still in the process of preparing a Downtown Overlay District with streetscape master plan guidelines and Form Based Code regulations which will also be incorporated in the UDO once adopted.

Proposal

The attached draft RFP establishes a scope of services to be provided as part of the UDO document which includes such criteria as, identifying deficiencies and inconsistencies in the various current codes; aligning the UDO with the goals and action steps of the Comprehensive Plan; and the modernization of design standards and best management practices. Staff is also requiring that the integration of the codes be presented in a user-friendly format which is easily cross-referenced. Finally, the RFP requests in addition to producing the final product in document

format, that the consultant create an online or web-based “smart-code” version of the UDO with interactive site specific zoning analysis capabilities.

The proposed RFP must be approved by City Council before it can be sent to prospective consultants. While the RFP would be publicly available to all qualified companies, we will also be sending it directly to several known consultants which specialize in this type of planning work. Below is a tentative timeline for awarding the contract to a consultant.

MEETING/TASK	TENTATIVE DATE/DEADLINE
EDC	October 2, 2018
City Council	October 23, 2018
Publication of RFP	November 1, 2018
Submittal Deadline	November 21, 2018
Review Deadline	November 30, 2018
Interviews of Respondents (Staff)	December 10-14, 2018
EDC recommendation of contract award	January 2, 2019
City Council contract award	January 22, 2019

As noted above, the RFP respondent interviews will be conducted by staff. We also anticipate the recommended consultant for the contract award will be present at the tentative January EDC meeting to provide a brief presentation for the committee of their experience and proposal for the project.

Recommendation

Staff is recommending approval of the RFP as drafted for the Unified Development Ordinance (UDO). Should the committee have any questions regarding the proposal or the process, we will be available at Tuesday night’s meeting to address those concerns.

THE UNITED CITY OF YORKVILLE
REQUEST FOR PROPOSALS



UNIFIED DEVELOPMENT ORDINANCE

SUBMITTAL DEADLINE: NOVEMBER 21, 2018



UNITED CITY OF YORKVILLE
COMMUNITY DEVELOPMENT DEPARTMENT

800 Game Farm Road, Yorkville, Illinois 60560
630-553-8573

www.yorkville.il.us

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INTRODUCTION

A. COMMUNITY PROFILE

The Kendall County and Yorkville area was first settled around 1829-1832. During the years 1834-1836 the communities of Bristol (north of the Fox River) and Yorkville (south of the Fox River), were platted. These communities continued to grow as similar, but separate, entities for over 100 years with Bristol incorporating as a village in 1861 and Yorkville in 1873. The two communities merged as the United City of Yorkville, a non-home rule community with a mayor-council form of government, in 1957.

For the next twenty (20) years, Yorkville maintained its rural community character with residential and a main street like commercial area south of the Fox River until the early 1970's when a secondary hub of commercial and retail businesses developed in an area north of the river at the intersection of US 34 and IL 47. Then in 1990, the City of Yorkville's municipal boundaries grew to include the Wrigley Corporation which opened its headquarters of the Amurol Confection Division just north of Route 47 and Cannonball Trail. The City would eventually expand to cover approximately 20 square miles and experience tremendous increase in population between the years 2000 and 2010, from 6,189 residents to 16,921 residents. Current population for Yorkville, per a recent 2017 Special Census, is 19,022 residents.

With a construction rebound from the 2008 recession underway in Yorkville, commercial and residential development has boomed since 2013 with new construction permits averaging 120 per year for the past 5 years. While efforts have been made to update various sections of the City Code over the past decade, now is the time to modernize and consolidate all the City's development ordinances into a single document to meet the needs of our growing community.



B. PROJECT SUMMARY

In 2014 the City overhauled its Zoning Ordinance followed by an update to its Comprehensive Plan in 2016. Several goals and implementation strategies in the Comprehensive Plan recommended improving residential subdivision design and enhancing the physical appearance of the community through an update to certain codes and establishing quality design standards which encourages the protection and preservation of Yorkville's environmental assets.

Therefore, the United City of Yorkville is requesting proposals from qualified firms with considerable experience in land use planning, zoning, subdivision/site development and landscape architecture to modernize and consolidate the various existing City ordinances into a cohesive, single-reference, graphic-based document known as a Unified Development Ordinance (UDO). The ordinances requested for review include the following documents:

1. Zoning Ordinance (originally adopted 1974, amended 2014)
2. Subdivision Control Ordinance and Standard Specification for Improvements (adopted 2004)
3. Landscape Ordinance (adopted 2009)
4. Appearance Code (adopted 2005)

The City is currently preparing a Downtown Overlay District with streetscape master plan guidelines and Form Based Code regulations which will also be incorporated in the UDO.

SCOPE OF SERVICES

A. PROPOSAL REQUIREMENTS

Proposals will be considered only from qualified firms with a preference to firms that are based in Illinois.

Each proposal will consist of a **maximum of 25 pages** (excluding appendices) and should include the following:

- ☐ Letter of Transmittal | Prepared on company letterhead identifying the name of the key contact, address, phone number and email address.
- ☐ Executive Summary | Succinct explanation of the Consultant's interest in the project and why the firm is uniquely qualified for this project.
- ☐ Organizational Profile | Brief description of the firm's structure and capabilities, length of time in business, and previous work experience.
- ☐ Proposed Project Team | Provide resumes of all personnel, including outside consultants that will be assigned to the project including specific experiences each team member will contribute to the project. Identify and define their individual roles.
- ☐ Previous Project Summaries | List including reference contact information, for a minimum of three (3) projects which are similar in scope to the project described also identifying key personnel who worked on each project listed. The City reserves the right to contact any references provided herein or otherwise obtained.
- ☐ Methodology | Explanation of general technical approaches and processes to be employed for executing the requirements of the Project Components provided herein, which includes a detailed outline of the proposed services.
- ☐ Project Schedule | The proposed amount of time presented in months and as a percentage of total workload. Indication of proposed milestones should also be included. The City reserves the right to negotiate work tasks and schedule prior to finalizing a contract with the selected firm.
- ☐ Project Fees | Provide a fee breakdown of the proposed fees of the research project, with appropriate explanatory detail justifying costs and calculations. Please submit hourly rates for each individual as well.
- ☐ Signature/Certification | Proposal must be signed by an official authorized to bind the offer and shall contain a statement that the proposal is a firm offer guaranteed for a ninety (90) day period from the submittal deadline. The proposal shall also provide the following information: name, title, address, telephone number and e-mail address of the person(s) with authority to contractually bind the company and also who may be contacted during the period of proposal evaluation for the purpose of clarifying submitted information.

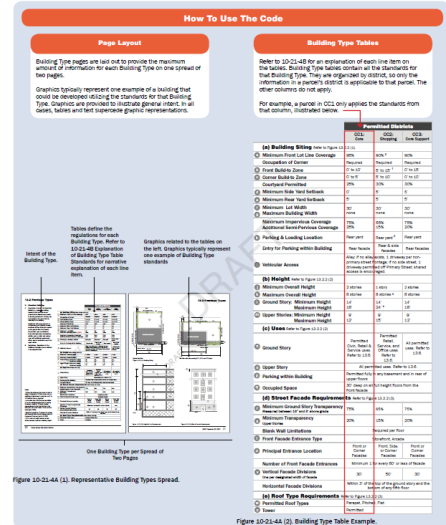
B. PROJECT OBJECTIVES

The Unified Development Ordinance (UDO) should address or have the following components:

- ☐ Review and assess the land use regulations of the Zoning Ordinance, Subdivision Control Ordinance and Standard Specifications, Landscape Ordinance, Stormwater Management Ordinance, Appearance Code and all other relevant City Ordinances governing development.
- ☐ Identification of deficiencies and inconsistencies within these variance ordinances and propose recommendations prior to fully incorporating changes into the formal UDO draft document.
- ☐ Modernization of design standards, paying particular attention to areas related to:
 - Off-Street Parking – update the parking schedule with new contemporary concepts such as payment in lieu of parking, autonomous vehicle planning, designated vehicle charging stations, etc.
 - Green Infrastructure – integration of stormwater regulations for a spectrum of densities and incentivize best management practices.
 - Subdivision Control – utilization of engineering and planning best management practices for sustainable and smart growth development.
 - Landscape Ordinance and Park Development Standards
 - Sign Ordinance
 - Appearance Code
- ☐ Alignment of the UDO with the goals and action steps outlined in the Comprehensive Plan Update 2016.
- ☐ Incorporate the Downtown Overlay District with streetscape master plan guidelines and Form Based Code regulations into the UDO.
- ☐ Use of innovative methods to cooperatively develop regulations with City staff and consultants throughout the development of the UDO.
- ☐ Integration of codes into a user-friendly format so that all development related regulations are consolidated into a single document and easily cross-referenced.

**EXCERPTS FROM DRAFT
VERSION OF DOWNTOWN
FORM BASED CODE**

10-21-4 Building Types



10-21-4 Building Types

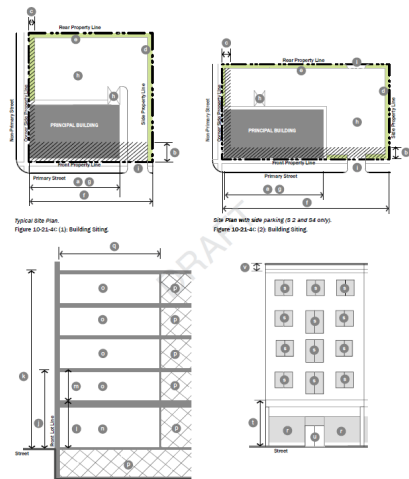


Figure 10-21-4C (3): Height & Use Requirement

Figure 10-21-4C (4): Street Facade Requirements

DRAFT August 2018 33

	Districts		Districts
	S-1 Bridge Street S-2 Van Emmon Street S-3 Van Emmon Street S-4 W Street S-5 S Street - Residential		S-1 Bridge Street S-2 Van Emmon Street S-3 Van Emmon Street S-4 W Street S-5 S Street - Residential
Residential & Lodging Uses Category		Accessory Uses	
Residential Dwellings	<input checked="" type="checkbox"/> <input type="checkbox"/>	Alternative Energy Generation	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Motel/Inn	<input type="checkbox"/> <input type="checkbox"/>	Ampitheater	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Bed & Breakfast Inn	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Cas Washes, Detail Shops, and/or Service Stations	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Residential Care Facility	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Dish Through Facility	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Senior Housing	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Fuel Pump	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Nursing Home/Facility	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>		
Civic & Institutional Uses Category		Home Occupation	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Cemetery	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Outdoor Storage of Goods	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Civic Offices & Services	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Outdoor Restaurant Dining	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Hospital	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Parking Lot (Accessory)	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Library/Museum	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Parking Structure (Accessory)	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Police & Fire	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<i>Prohibited Private Store / Vending</i>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Post Office (no distribution)	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Roadside Sales	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Religious or Organization Assembly	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Temporary Storage Containers	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
School Public or Private	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Tenement Structures	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
School cafeteria	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<i>Mobile Fast Vendors</i>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

- ☐ In addition to document format, the creation of an online web-based “smart code” version of the UDO with interactive site specific zoning analysis capabilities.
- ☐ Extensive use of graphics, illustrations, images, photographs, diagrams and tables for ease of use and reference.
- ☐ Clear and concise review criteria and guidelines.
- ☐ Creation of a simple, streamlined review process with flexibility to fast-track development proposals which exceed minimum design criteria.
- ☐ Public input documents, surveys, questionnaires, social media outreach and/or project website and overall community outreach.
- ☐ Presentation of the final draft of the Unified Development Ordinance at meetings and public hearings, which at a minimum may include two (2) Economic Development Committee meeting; two (2) Planning and Zoning Commission meetings; and one (1) City Council meeting.
- ☐ Recommendations for the managing and maintaining codification of the new Unified Development Ordinance following adoption.

C. DELIVERABLES

- ☐ The Consultant will prepare exhibits for citizens and elected official review as part of scheduled public presentations and meetings. These exhibits shall illustrate all major changes, revisions or additions proposed as part of the Unified Development Ordinance.
- ☐ The Consultant will be responsible for reproduction of twenty-five (25) final plan documents in hardcopy form.
- ☐ The Consultant will be responsible for providing the draft and final documents in both electronic formats (Microsoft Word and Adobe PDF) allowing reproduction, revision, and web posting by City staff.
- ☐ The Consultant will format the document in 8½” x 11” (vertically oriented) format.
- ☐ All final graphics, illustrations, images, photographs, diagrams and tables shall be provided in JPEG, PNG, PDF and the source format used to create such illustrations will be provided to the City.
- ☐ Provide digital, web ready drafts of the UDO for easy posting on the City’s website, project website and other social media platform.
- ☐ An online digital “smart code” UDO version with interactive site specific zoning analysis capable of rendering calculations for zoning criteria such as minimum parking requirements for a proposed land use, maximum lot coverage, required setbacks and transition yards, and volumetric limits (FAR, height, etc) based upon ESRI® ArcGIS™ base layer data provided by the City.
- ☐ Produce final copies for approval and adoption by the City Council.

D. PROJECT TIMELINE

The overall timeline for the completion of the Unified Development Ordinance (UDO) is anticipated to be eighteen (18) months, not including the adoption process. The entire process from authorization, commencement, and approval of the **UDO should be completed within 24 months**. As a submittal requirement, the applicant will provide a project schedule showing key task target dates, including public meeting and hearings with estimated task duration. Variations from the City’s established timeline should be discussed in the RFP.

PROPOSAL EVALUATION

A. REVIEW OF SUBMISSIONS

Selection criteria are outlined below and will be used to evaluate proposals for invitation to interview/presentation. This RFP does not commit the City to award a contract or to pay any costs incurred in the preparations or submission of proposals. The City reserves the right to reject any or all proposals received in response to this RFP.

Selection of the successful proposal for interview/presentation will be made based upon the following criteria:

- Responsiveness and proposed approach to work scope and project needs. Although City has identified a general nature of services to be provided, the consultant is given leeway toward the approach to the methodology to provide the requested services. Innovative strategies and creativity are desired.
- Demonstrated experience and technical competence in similar projects.
- Past record of performance of the firm with respect to such factors as working relationship with sub-consultants or peer consultants on the same project, control of costs, quality of work, and ability to meet schedules.
- Cost-effectiveness.
- Capacity and capability of the firm/team to perform the work in question, including specialized services.
- Quality of key personnel assigned: bios, qualifications.
- Understanding of local conditions related to the completion of the services.

B. SUBMISSION FORMAT

- Interested firms/consultants should submit **four (4) paper copies** and **one (1) digital copy (CD)** of the proposal requirements by the deadline of **November 21, 2018**.
- The hardcopy proposals shall be submitted in a sealed envelope marked "REQUEST FOR PROPOSALS, UNIFIED DEVELOPMENT ORDINANCE 2018," addressed to:

UNITED CITY OF YORKVILLE
COMMUNITY DEVELOPMENT DEPARTMENT
800 GAME FARM ROAD
YORKVILLE, ILLINOIS 60560
- Proposals submitted by fax or e-mail will not be accepted. All submittals shall be retained by the City and will not be returned.

C. PRE-PROPOSAL CONFERENCE

A pre-proposal conference is scheduled for **Wednesday, November 14, 2018** beginning at 2:00 PM in the City Hall Council Chambers located at 800 Game Farm Road, Yorkville, Illinois 60560. The purpose of the pre-proposal conference is to assist prospective consultants with questions related to the RFP scope of services and submittal requirements. Attendance at the pre-proposal conference is not mandatory.

Attendees must register by **Friday, November 9, 2018** to Krysti J. Barksdale-Noble, Community Development Director via e-mail at knoble@yorkville.il.us

If no firms register, the meeting will not be held.



GENERAL INFORMATION

A. PROFESSIONAL SERVICES CONTRACT

A Professional Service Contract is required.

B. SUBLETTING OF CONTRACT

The Consulting Firm will agree, after the contract is awarded, not to assign or sublet the whole or any part of the contract without the prior written consent of the City.

C. CHANGES IN SCOPE OF SERVICES & PERSONNEL

The Consulting Firm will agree that any change of scope in the work to be performed after the original contract has been signed shall be documented as a written change order, be accepted by all parties, and made a part of the original contract by addendum.

The personnel identified in the proposal shall work on the project until completion. Any substitution of personnel shall require the approval of the City in writing. Personnel changes shall only be considered for valid reasons, such as an employee leaving the firm, major illness or accident. Only persons determined by the City to be well qualified shall be approved.

D. RIGHT TO REJECT PROPOSALS AND WAIVE INFORMALITIES

The City reserves the right to reject any or all proposals, to waive any non-material irregularities or information in any RFP, and to accept or reject any item or combination of items.

E. CONTACT INFORMATION

If you have any questions regarding this RFP, please contact Krysti J. Barksdale-Noble, Community Development Director:

Mail: United City of Yorkville
800 Game Farm Road
Yorkville, Illinois 60560

E-Mail: knoble@yorkville.il.us

F. PUBLIC INFORMATION

All material submitted are available for public inspection. Every proposer is hereby warned that no part of their proposal or any other material submitted may be marked as confidential information and that any material so designated by the proposer will be made public information by its inclusion in the proposal.

G. ERRORS AND OMISSIONS

All documents shall be completed as requested by the City. No claim for errors or omissions in the bidding will be considered. Should a bidder find during examination of specifications or other contract documents, discrepancies, omissions, ambiguities or conflict among contract documents or be in doubt as to their meaning, it is the responsibility of the bidder to notify the Purchasing Manager who will then issue the necessary clarifications to all prospective bidders by means of addenda.

H. DISCLAIMERS

Any Request for Qualifications issued may or may not result in an award contract. However, the City reserves the right to cancel any request, at any time, for any reason, and to reject all proposals. Receipt of RFP materials from the City or submission of a proposal to the City confers no rights upon the vendor nor obligates the City in any manner.

The determination of whether any proposal submitted by a vendor does or does not conform to the conditions and specification of this Request for Qualifications is the responsibility of the City.

Any contract resulting in an award from this Request for Qualifications is invalid until properly approved and executed by the City. The successful vendor must not commence any billable work until a valid contract is executed.

A contract resulting from the Request for Qualifications shall not preclude the City from obtaining equipment or services from other vendors if the successful vendor for this RFP is unable to satisfy the project needs in an acceptable manner.

I. CLARIFICATION OF PROPOSALS

The City reserves the right to obtain clarification of any point in a firm's proposal or to obtain additional information. Failure of a proposer to respond to such a request for additional information or clarification could result in rejection of the proposal.

Firms may be asked to make oral presentations to more fully explain their proposal if requested by the City. These presentations would be held subsequent to the opening of the responses to provide an opportunity for the firm to clarify their proposal. The City would schedule a time and location for each oral presentation.

J. AWARD

The award of the contract, if it is awarded, will be to the firm who in the City's opinion serves the best interest of the City. The United City of Yorkville reserves the right to reject any or all proposals and to waive minor informalities in any quotation in order to make this award.

K. PAYMENT

Payment will be made in accordance with the policies and procedures of the City Council of the United City of Yorkville. The City will make payment in approximately thirty (30) days following completion and acceptance of contract work.

L. ACKNOWLEDGMENT OF ADDENDA

Original signature of company official on an addendum document shall be construed as an acknowledgement of receipt of any and all addenda pertaining to any specific proposal. Identification of addenda by number should be noted on the proposal form, as provided.

M. EQUAL OPPORTUNITY AND AFFIRMATIVE ACTION

It is the policy of the United City of Yorkville that no person shall, on the grounds of race, color, religion, sex, age, national origin, ancestry, disability, sexual orientation, or veterans' status, be excluded from consideration for employment, denied employment with or be subject to discrimination of any kind by the City.

N. INDEMNITY AGREEMENT AND LIABILITY INSURANCE

To the fullest extent permitted by law, Contractor shall indemnify, defend, save and hold the City, its trustees, officers, employees, agents, attorneys and lenders (collectively the "Indemnitees") harmless from and against all loss and expense (including, but not limited to, reasonable attorney's fees and other costs and expenses) by reason of any liability or allegation of liability, against the Indemnitees, or any of them, for damages because of property damage or bodily injury, occupational sickness or disease, including death, resulting therefrom, while performing the work or while at the site where work under the Contract is being conducted or elsewhere, while engaged in the performance of Work under the Contract, however such injuries may be caused, whether attributable to a breach of statutory duty or administrative regulation or otherwise, and such injuries for which liability is imputed to the Indemnitees, or any of them, or damage or injury, directly or indirectly arising or alleged to arise out of the performance of or the failure to perform the work or the failure to protect the work or the site, or the condition of the work, the site, adjoining land or driveways, or streets or alleys used in connection with the performance of the work. Without limiting the generality of the foregoing, the defense and indemnity set forth in this section includes, subject only to the limitations contained in this section, all liabilities, damages, losses, claims, demands and actions on account of bodily injury, death or property loss to an Indemnatee or to any other person or entities, whether based upon, or claimed to be based upon, statutory, contractual, tort or other liability of any Indemnatee. In addition, such defense and indemnity shall include all liabilities, damages, losses, claims, demands and actions for defamation, false arrest, malicious prosecution or any other infringement or similar rights.

The Contractor must provide a Certificate of Insurance. The Certificate of Insurance shall be provided by an insurance company with the rate of B+: VI or better in the current edition of Best's Key Rating Guide. This Certificate of Insurance must be received and approved before commencement of operations. The Certificate must evidence the following coverage in at least the limits stipulated. The Contract must agree to maintain such insurance for the duration of the project or the term for which services will be rendered.

Contractor shall be required to provide commercial general liability insurance policy that includes products, operations and completed operations (with no exclusion for sexual abuse or molestation). Limits should be at least: Bodily injury & property damage with an occurrence limit of \$1,000,000: Personal & advertising injury limit of \$1,000,000 per occurrence: General aggregate limit of \$2,000,000 (other than products and completed operations): Products and completed operations aggregate limit of \$2,000,000. The contractor's policy shall be required to name the City as an additional insured. Such coverage will be provided on an occurrence basis and will be primary and shall not contribute in any way to any insurance or self-insured retention carried by the City. Such coverage shall contain a broad form contractual liability endorsement or similar wording within the policy form.

PROPOSAL SIGNATURE FORM

The undersigned, as proposal responder, declares that he/she has carefully examined all the items of the Specifications and Instructions herein that he/she fully understands and accepts the requirements of the same, and he/she agrees to furnish the specified items and will accept, in full payment therefore, the amount specified below.

Proposals shall include all fees required.

Note: terms are firm for 90 days.

TOTAL PRICE:

FIRM NAME:

DATE:

ADDRESS:

TELEPHONE:

SIGNATURE:

(Person executing response & official capacity)



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Old Business #1

Tracking Number

EDC 2018-66

Agenda Item Summary Memo

Title: City Council Recommendation PZC 2018-17 Chapter 20 Zoning Ordinance Text Amendment

Meeting and Date: Economic Development Committee – October 2, 2018

Synopsis: Memo outlining proposed changes to Building Mounted Signage in the City's
Zoning Ordinance

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: _____

Submitted by: Jason Engberg Community Development
Name Department

Agenda Item Notes:

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at http://www.yorkville.il.us/gov_officials.php



Memorandum

To: Economic Development Committee
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti J. Barksdale-Noble, Community Development Director
Date: September 25, 2018
Subject: **PZC 2018-17 Chapter 20 Zoning Ordinance Text Amendments**

Background/Proposed Request

At the previous Economic Development Committee meeting held on September 4, 2018 staff proposed a text amendment to the City's Zoning Ordinance regarding building mounted signage regulations. After positive responses from the committee, staff is proposing the updated language presented in this memorandum. For background information on why this topic is being addressed, please see the attachments for more details.

Suggested Zoning Ordinance Revisions

After reviewing the City's current language, surrounding community's sign regulations and information provided by the American Planning Association, staff is suggesting the following revisions to the Section 10-20 of the Yorkville City Code (modifications in red):

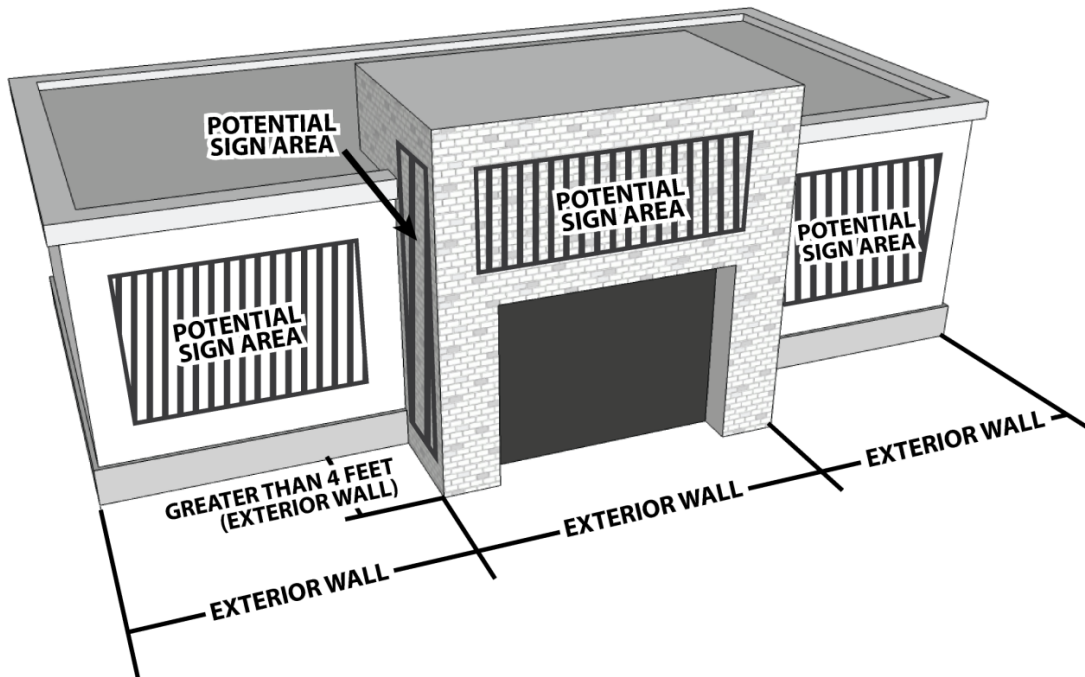
10-20-6: GENERAL PROVISIONS:

- A. Sign Area: The area of the sign face which is also the sign area of a wall sign or other sign with only one face shall be computed by means of the smallest square, rectangle, circle, triangle or combination thereof that will encompass the extreme limits of the writing representation, emblem or other display, together with any material or color forming an integral part of the background of the display or used to differentiate the sign from the backdrop or structure against which it is placed. It does not include any supporting framework, bracing or decorative fence or wall when such fence or wall otherwise meets zoning ordinance regulations and is clearly incidental to the display itself. A double faced sign shall count as a single sign.

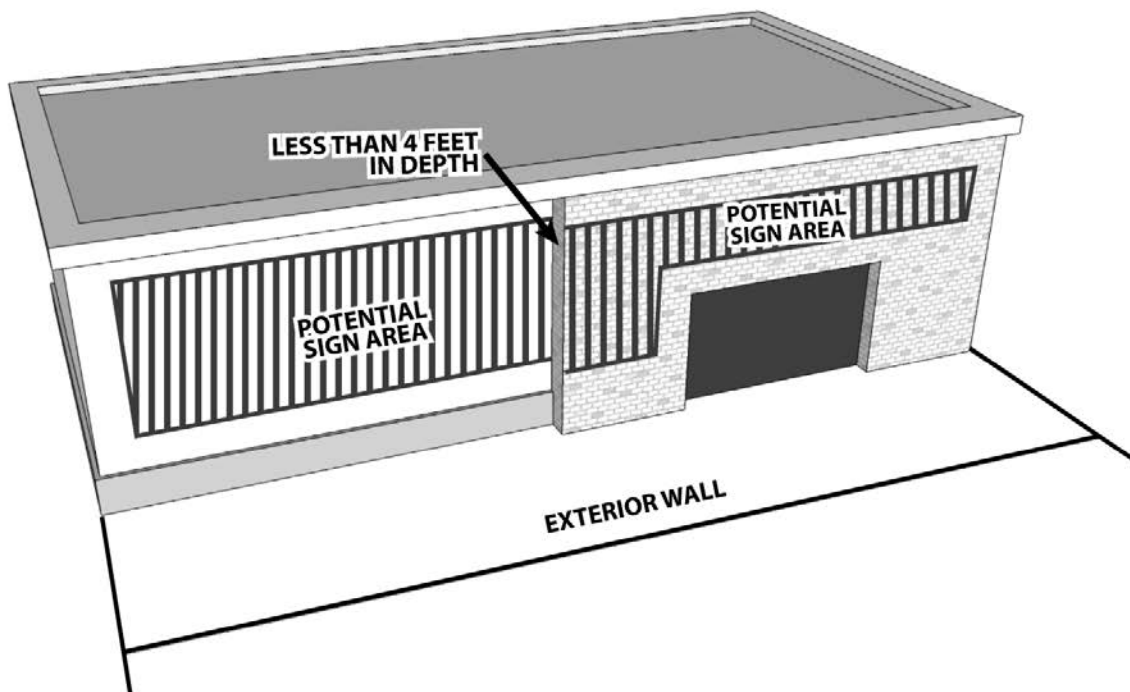
Building mounted wall sign area calculations are based on each wall of an exterior building facing a lot line and a public right-of-way. An exterior building wall which faces a lot line may contain more than a single wall for sign area calculation purposes. If portions of the exterior building wall face the same lot line and are separated by four feet (4') or more in depth from that lot line, then they are considered two separate walls for sign area calculation purposes. If separated by less than four feet (4') they shall be considered a single exterior building wall for sign area calculation purposes. If two exterior walls create an angle greater than one hundred and thirty five (135) degrees on the horizontal plane then it shall be considered a single exterior wall. Any two exterior walls which create an angle of less than one hundred and thirty five (135) degrees on the horizontal plane shall be considered two separate walls.

Additionally, for any multi-tenant building, if the area where a building mounted sign is being placed is located between two pillars, posts, or other architectural features, the area between the features will be considered the exterior wall for sign area calculations.

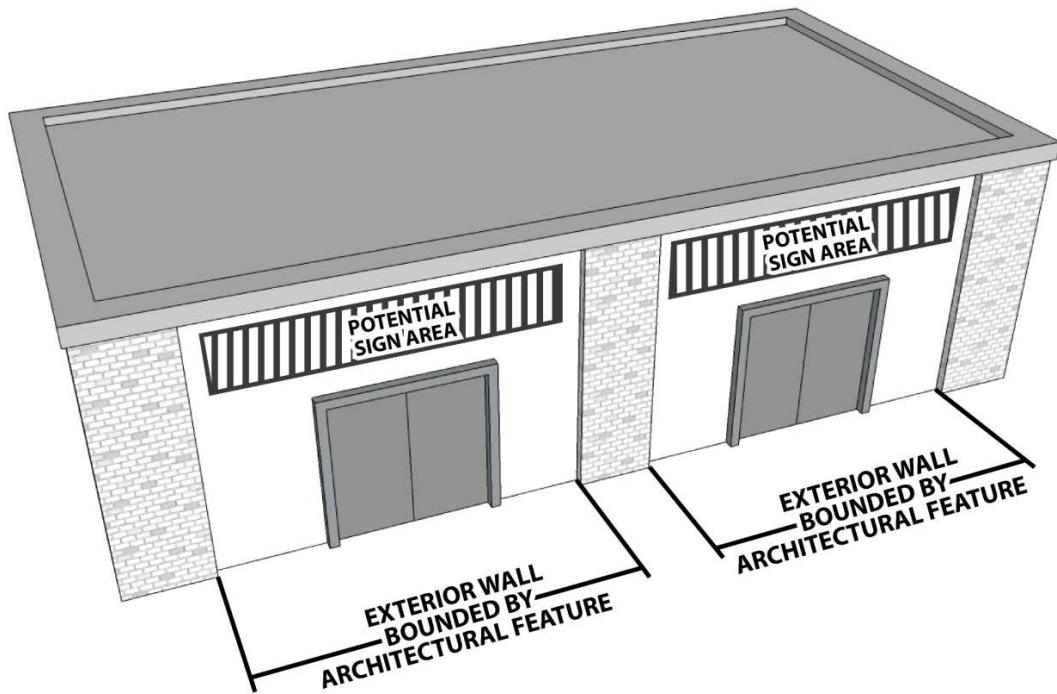
EXAMPLE 1: SINGLE USE BUILDING (DEPTH GREATER THAN 4 FEET)



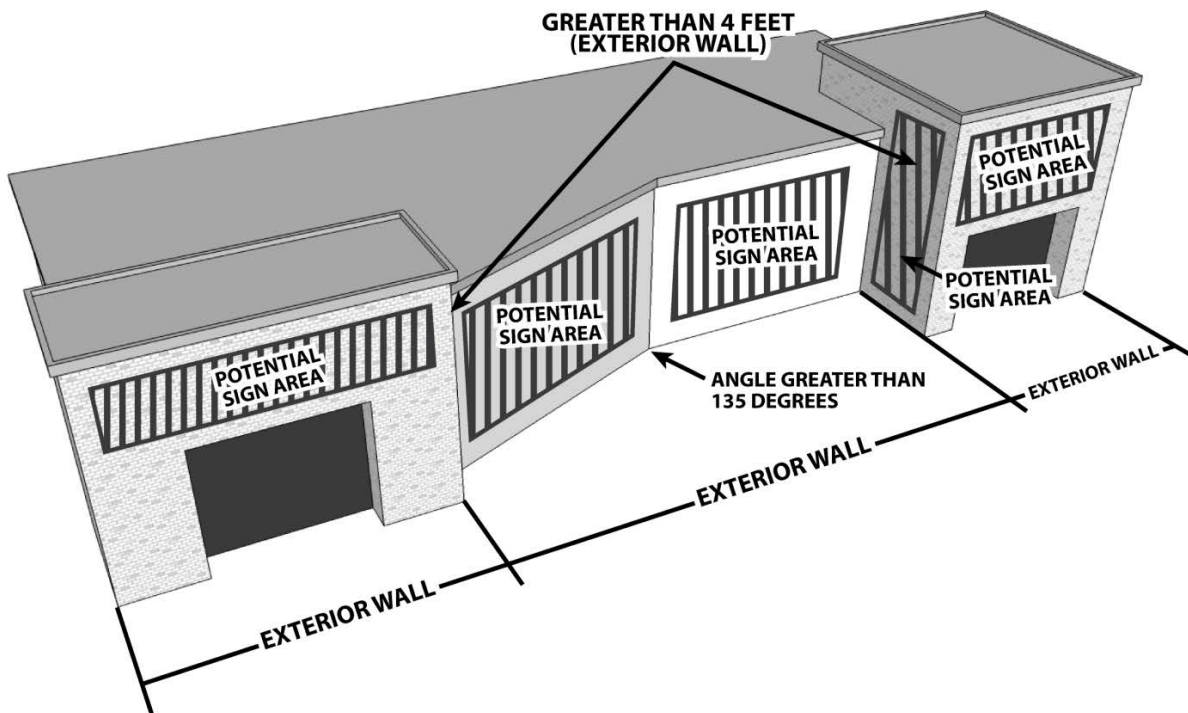
EXAMPLE 2: SINGLE USE BUILDING (DEPTH LESS THAN 4 FEET)



EXAMPLE 3: MULTI-TENANT BUILDING (BETWEEN ARCHITECTURAL FEATURES)



EXAMPLE 4: MULTI-TENANT BUILDING



10-20-9: PERMITTED SIGNS; BUSINESS ZONING DISTRICTS

A. Permanent Signs:

2. Building Mounted Business/Identification Signs:

a. Single Use Building:

(1) A business having a public entrance in an exterior building wall or having an exterior wall facing a public right of way shall be permitted to have building mounted identification signage or building mounted business signage for each exterior wall of that part of the building in which it is located, provided said wall contains a public entrance or faces a public right of way. The maximum area of such sign shall not exceed two (2) square feet for each one linear foot of the ~~façade exterior wall~~ of the building ~~with a public entrance~~. No wall sign shall extend more than seventy five percent (75%) of the width of the ~~building façade exterior wall~~ to which it is attached and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed. The business cannot transfer sign area between its adjoining exterior walls.

(2) In addition to the signs permitted in subsection A2a(1) of this section, a business on an exterior wall not having a public entrance or facing a public right of way may have a building mounted business/identification sign on such a wall not exceeding in size one square foot in area for each one linear foot of the width of that exterior wall and shall not extend more than fifty percent (50%) of the length of that exterior wall and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed. Such a sign shall not be illuminated either internally or externally if that sign faces residential land uses.

b. Multi-Tenant Buildings:

(1) Each tenant having a public entrance in an exterior building wall or having an exterior wall facing a public right of way shall be permitted to have building mounted business or building mounted identification signage for each such exterior wall that is adjacent or a part of its owned or leased premises. The maximum area of such a sign shall not exceed two (2) square feet in area for each one linear foot of the tenant's exterior wall. No wall sign shall extend more than seventy five percent (75%) of the width of that part of the tenant's exterior wall and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed.

(2) In addition to the signs permitted in subsection A2b(1) of this section, a tenant on an exterior wall not having a public entrance or facing a public right of way may have a building mounted business/identification sign, on that portion of a wall that is adjacent or a part of its owned or leased premises. The size of such a sign shall not exceed one square foot in area for each one linear foot of the width of the tenant's exterior wall and shall not extend more than fifty percent (50%) of the length of the tenant's exterior wall and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed.. Such a sign shall not be illuminated either internally or externally if that sign faces residential land uses.

10-20-10: PERMITTED SIGNS; MANUFACTURING ZONING DISTRICTS

A. Permanent Signs:

2. Building Mounted Business/Identification Signs:

a. Single Use Building:

(1) A business having a public entrance in an exterior building wall or having an exterior wall facing a public right of way shall be permitted to have building mounted identification signage or building mounted business signage for each exterior wall of that part of the building in which it is located, provided said wall contains a public entrance or faces a public right of way. The maximum area of such sign shall not exceed two (2) square feet for each one linear foot of the ~~façade exterior wall~~ of the building ~~with a public entrance~~. No wall sign shall extend more than seventy five percent (75%) of the width of the ~~building façade exterior wall~~ to which it is attached and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed. The business cannot transfer sign area between its adjoining exterior walls.

(2) In addition to the signs permitted in subsection A2a(1) of this section, a business on an exterior wall not having a public entrance or facing a public right of way may have a building mounted business/identification sign on such a wall not exceeding in size one square foot in area for each one linear foot of the width of that exterior wall and shall not extend more than fifty percent (50%) of the length of that exterior wall and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed. Such a sign shall not be illuminated either internally or externally if that sign faces residential land uses.

b. Multi-Tenant Buildings:

(1) Each tenant having a public entrance in an exterior building wall or having an exterior wall facing a public right of way shall be permitted to have building mounted business or building mounted identification signage for each such exterior wall that is adjacent or a part of its owned or leased premises. The maximum area of such a sign shall not exceed two (2) square feet in area for each one linear foot of the tenant's exterior wall. No wall sign shall extend more than seventy five percent (75%) of the width of that part of the tenant's exterior wall and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed.

(2) In addition to the signs permitted in subsection A2b(1) of this section, a tenant on an exterior wall not having a public entrance or facing a public right of way may have a building mounted business/identification sign, on that portion of a wall that is adjacent or a part of its owned or leased premises. The size of such a sign shall not exceed one square foot in area for each one linear foot of the width of the tenant's exterior wall and shall not extend more than fifty percent (50%) of the length of the tenant's exterior wall and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed. Such a sign shall not be illuminated either internally or externally if that sign faces residential land uses.

Staff Comments

Revisions from the previously seen language in the September 4, 2018 EDC meeting include minor grammatical fixes, easier to understand and more in depth graphics, and additional language stating businesses may not transfer sign area between its exterior walls.

Staff is seeking comments from the Economic Development Committee on the proposed changes to Chapter 20 of the Zoning Ordinance. A public hearing before the Planning and Zoning Commission has been scheduled for the October 10, 2018 meeting.

Attachments

1. PZC 2018-17 Chapter 20 Zoning Ordinance Text Amendments 9-4-18 EDC Memo
2. PZC 2018-12 Zoning Ordinance Appeal Memo



Memorandum

To: Economic Development Committee
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti J. Barksdale-Noble, Community Development Director
Date: August 24, 2018
Subject: **PZC 2018-17 Chapter 20 Zoning Ordinance Text Amendments**

Background/Proposed Request

In March 2018, Aurora Sign Company submitted a permit application for 129 Commercial Drive to move an existing sign from one location on a multi-tenant building to another location on the building (See exhibit below). The City's Zoning Ordinance has the following regulations regarding building mounted signs on multi-tenant buildings:

*“ Each tenant having a public entrance in an exterior building wall or having an exterior wall facing a public right of way shall be permitted to have building mounted identification signage or building mounted business signage for **each exterior wall of that part of the building in which it is located**, provided said wall contains a public entrance or faces a public right of way. The maximum area of such sign shall not exceed two (2) square feet for each one linear foot of the facade of the building with a public entrance. **No wall sign shall extend more than seventy five percent (75%) of the width of the building facade to which it is attached.**”*

The permit was denied because the sign was too large and too wide for the proposed location. After the permit was denied, the petitioner appealed staff's decision to the Planning and Zoning Commission as they believed the Zoning Ordinance was unclear on what defined a new wall on a façade. The item was discussed at the May 9, 2018 as item number “2018-12 Zoning Ordinance Appeal.” Staff conducted research into how the ordinance has been interpreted since its adoption in 2014 and concluded that staff has been consistent in its interpretation of the code for situations involving building mounted signage. Please see the attached staff memorandum from that meeting which details the situation in more detail.

The result of discussions at the Planning and Zoning Commission meeting resulted in a compromise where the petitioner was allowed to put their sign up and staff would amend the text in the ordinance to better clarify the intent of the existing language. This memorandum outlines the issue, how other neighboring communities handle building mounted signs, and potential text amendment language for our Zoning Ordinance.



The Need for Clarification

As seen in the pictures to the right, many newer commercial buildings have articulated walls, different building materials, and height differences which add character and pleasing aesthetics to commercial districts. These architectural features are inviting but create an issue in terms of the definition of a wall when it comes to building mounted signage.



The intent of the current language for building mounted signs is to avoid multi-tenant buildings from having too large and bulky signage which may stretch across the entire wall of the tenant's unit. The language has served its purpose for many of the City's commercial structures but the situation at 129 Commercial Drive created a unique issue. The tenant leases several units from the building and therefore the petitioner defined its wall as the entire façade.

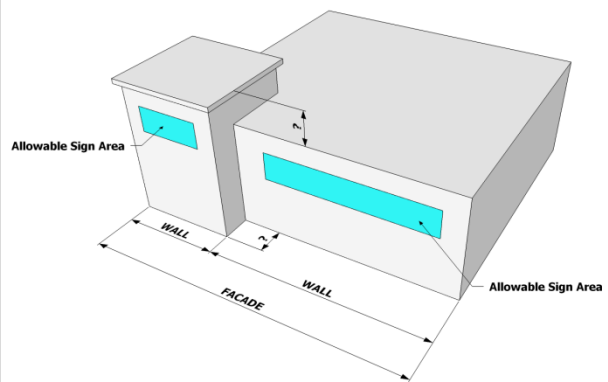


This would allow a sign to go all the way up to the edge of a building as long as it did not surpass 75% width of the wall (and in the petitioner's interpretation, the entire façade). Additionally, by interpreting the entire façade as a wall, building mounted signs may be very large and out of scale in one location on the building as long as the rest of the building left blank. While this issue has been brought up for a multi-tenant building, the language is consistent for single use buildings with articulated walls and varying heights.

Please see the illustrations below to get a visual representation between how the Zoning Ordinance has been interpreted by staff and how it could be interpreted by petitioners:

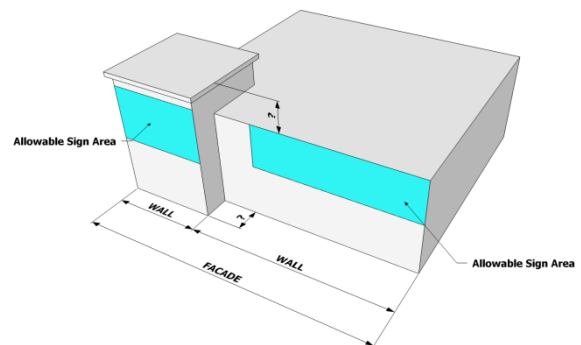
Staff Interpretation

This graphic illustrates how staff has interpreted the Zoning Ordinance in regards to what constitutes a wall and the areas where a sign may be placed on a building. The placement and size of these areas is the general intent of the language of the Zoning Ordinance.



Petitioner Interpretation

This graphic illustrates how the petitioner interprets the language in the zoning code and the potential allowable sign area placements on the building.



Surrounding Communities

Staff has conducted research to provide insight into how neighboring communities handle building mounted signage and if this issue has risen in other communities. Please see the table below for this information.

MUNICIPALITY	ORDINANCE LANGUAGE FOR BUILDING MOUNTED SIGNS
MONTGOMERY	<p>Wall Sign Regulations: Each user is allowed a maximum of six (6) signs on a building with a maximum of three (3) signs per wall. No wall signs shall be allowed for individual tenants in a multi-story or a multi-tenant building having no exterior building entrance for each tenant.</p> <p>Each wall sign shall be located within a selected sign display area... The amount of the sign display area that is allowed to be consumed by signage varies depending on the length of the wall that it is affixed...</p> <p>Definitions: <i>Facade:</i> The face or wall of a building as it is presented to view; the apparent width and/or height of a building as viewed from streets, driveways and parking lots. Minor changes in wall elevations do not constitute the creation of additional facades.</p>
AURORA	<p>Wall Sign Regulations: The maximum permitted area of all wall signs on a facade shall be ten (10) percent of the building facade up to twenty-two (22) feet high.</p> <p>Multi-business buildings - The owners of such a building may allocate the permitted sign area to the various businesses at their discretion.</p> <p>Definitions: <i>Facade (or building facade):</i> The exterior wall of a building, from the ground to the roofline. For the purposes of this ordinance, a roof varying no more than forty-five (45) degrees from the vertical plane shall be considered part of the facade.</p> <p><i>Wall:</i> A building surface varying no more than forty-five (45) degrees from the vertical.</p>
OSWEGO	<p>Wall Sign Regulations: The maximum area of such signs shall not exceed one (1) square foot in area for each one (1) lineal foot of façade of that portion of the building of which the tenant or owner-occupant is in possession and to which the sign is attached.</p> <p>No sign shall extend more than seventy-five (75) percent of the width of the façade of the total building or the individual tenant space to which it is attached.</p>

PLANO

Wall Sign Regulations:

A wall sign shall be erected upon the wall of the building facade having its principal frontage upon a public street.

A maximum of one wall sign per establishment shall be permitted, erected for the purpose of identifying the establishment.

The maximum height of a wall sign shall be thirty feet (30') from grade, or two (2) stories, whichever is less, but in no case shall any portion of such sign be extended above the roofline.

The surface area of a wall sign shall not exceed two (2) square feet per one linear foot of building front, or one hundred fifty (150) square feet, whichever is less.

Definitions:

FACADE: Any side, surface or wall below the roof of a building which is parallel or within forty five degrees (45°) of parallel with a parcel's frontage on a public thoroughfare, which faces toward and relates to that public thoroughfare. If a building has a complex shape, then all walls or surfaces facing in the same direction, or nearly the same direction, are part of a single facade.

PLAINFIELD

Wall Sign Regulations:

Only one (1) permanent wall sign per building or retail unit of a building will be permitted except for corner locations or locations adjoining private streets where one (1) wall sign for each wall facing the public or private street will be permitted. Wall signage facing access drives is prohibited.

Retail establishments with a floor area in excess of 40,000 square feet may identify the business and its major uses within the building with a maximum of four (4) wall signs on the primary facade. The Zoning Administrator may approve up to two (2) additional wall signs for the Primary facade depending on exceptional design conditions. The sum of all signs, regardless of number, may not exceed the total allowable wall sign area for the facade.

Permanent wall signage for buildings or units less than forty thousand (40,000) square feet shall not exceed (1) square foot of sign area for each one (1) foot of façade frontage and no edge of such sign shall come closer than five (5) feet from the edge of the façade on which it is installed; rear signage on buildings shall not exceed one (1) square foot for each two (2) feet of rear façade frontage; in no case shall any such wall sign exceed one hundred twenty (120) square feet in area;

Permanent wall signage for buildings or units between forty thousand (40,000) square feet and one hundred thousand (100,000) square feet shall not exceed one and one half (1½) of a square foot of sign area for each one (1) foot of facade frontage; in no case shall any wall sign exceed four hundred (400) square feet in area;

Permanent wall signage for buildings or retail units over one hundred thousand (100,000) square feet shall not exceed two (2) square feet of sign area for each one (1) foot of facade frontage, in no case shall any wall sign exceed six hundred (600) square feet in area.

Definitions:

FACADE FRONTAGE. The facade frontage is the width of the face of the front building wall or the width of the front wall face of the area devoted to an individual tenant of a commercial retail center.

NAPERVILLE

Wall Sign Regulations:

For facades with street frontage (public or private) and facades adjacent to an off-street parking area where customer access is also available, wall, awning, and canopy signage (in any combination) shall be permitted up to a maximum sign area of one and one-half (1.5) square feet for each linear foot of facade, and shall not exceed a maximum of three hundred (300) square feet. For facades on properties separated from the adjacent street frontage by another lot that that is not designed to have a building located upon it (e.g. reserved exclusively for parking, stormwater management, etc.), permits for wall, canopy and awning signage may be authorized by the Zoning Administrator in accordance with the limits provided in this subsection.

Definitions:

Frontage: A strip or extension of land abutting a public or private roadway (excluding drive aisles), unless otherwise defined within this chapter.

SUGAR GROVE

Wall Sign Regulations:

Wall sign permitted area is limited to a maximum of one square foot for every one foot (1') in width of the building side, with a maximum of two hundred (200) square feet.

Wall sign permitted area calculations are based on each side of a building facing a lot line, unless the walls facing a side are more than fifteen feet (15') apart, then the walls are each counted separately for calculation purposes.

Definitions:

FACADE: The exterior wall of a building exposed to public view or that wall viewed by persons not within the building.

To summarize the table above, in terms of wall sign regulations Oswego, Plano, Plainfield, Naperville, and Sugar Grove all determine the size of a wall sign as a proportion to the linear frontage to which it is attached. This is identical to how Yorkville determines the maximum area for a wall sign. Montgomery calculates a display area for each frontage and has a maximum number of signs and Aurora determines size by a percentage of the façade.

In terms of wall sign widths, Oswego has the exact same language as Yorkville which states that a sign may not exceed 75% of the width of the façade of the total building or the individual tenant space to which it is attached.

Sugar Grove is the only neighboring municipality which states when a wall becomes a new wall on a façade. When the walls are facing the same lot line and are more than 15 feet apart, then they will be measured separately for sign area.

Staff contacted planning staff members from a couple of these communities to see if there were any instances of confusion in the interpretation of their language similar to the 129 Commercial Drive situation. Both stated that they did not have an issue similar to Yorkville.

Suggested Zoning Ordinance Revisions

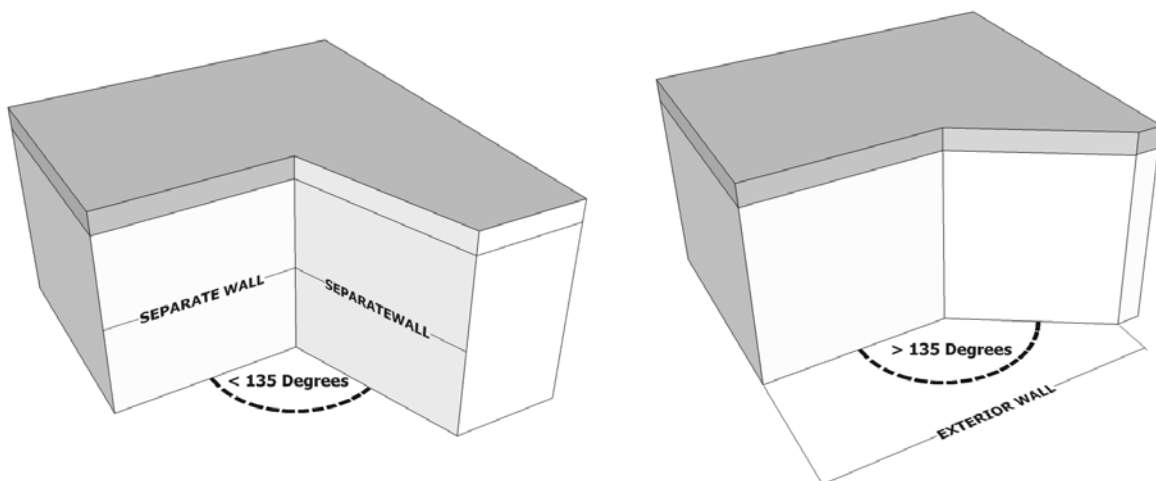
After reviewing the City's current language, surrounding community's sign regulations and information provided by the American Planning Association, staff is suggesting the following revisions to the Section 10-20 of the Yorkville City Code (modifications in red):

10-20-6: GENERAL PROVISIONS:

- A. Sign Area: The area of the sign face which is also the sign area of a wall sign or other sign with only one face shall be computed by means of the smallest square, rectangle, circle, triangle or combination thereof that will encompass the extreme limits of the writing representation, emblem or other display, together with any material or color forming an integral part of the background of the display or used to differentiate the sign from the backdrop or structure against which it is placed. It does not include any supporting framework, bracing or decorative fence or wall when such fence or wall otherwise meets zoning ordinance regulations and is clearly incidental to the display itself. A double faced sign shall count as a single sign.

Building mounted wall sign area calculations are based on each wall of an exterior building facing a lot line and a public right-of-way. An exterior building wall which faces a lot line may contain more than a single wall for sign area calculation purposes. If portions of the exterior building wall face the same lot line and are separated by four feet (4') or more in depth from that lot line, then they are considered two separate walls for sign area calculation purposes. If separated by less than four feet (4') they shall be considered a single exterior building wall for sign area calculation purposes. If two exterior walls create an angle greater than one hundred and thirty five (135) degrees on the horizontal plane then it shall be considered a single exterior wall. Any two exterior walls which create an angle of less than one hundred and thirty five (135) degrees on the horizontal plane shall be considered two separate walls.

Additionally, for any multi-tenant building, if the area where a building mounted sign is being placed is located between two pillars, posts, or other architectural features, the bounded area between will be considered the exterior wall for sign area calculations.



10-20-9: PERMITTED SIGNS; BUSINESS ZONING DISTRICTS

A. Permanent Signs:

2. Building Mounted Business/Identification Signs:

a. Single Use Building:

(1) A business having a public entrance in an exterior building wall or having an exterior wall facing a public right of way shall be permitted to have building mounted identification signage or building mounted business signage for each exterior wall of that part of the building in which it is located, provided said wall contains a public entrance or faces a public right of way. The maximum area of such sign shall not exceed two (2) square feet for each one linear foot of the ~~façade exterior wall~~ of the building with a public entrance. No wall sign shall extend more than seventy five percent (75%) of the width of the ~~building façade exterior wall~~ to which it is attached ~~and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed.~~

(2) In addition to the signs permitted in subsection A2a(1) of this section, a business on an exterior wall not having a public entrance or facing a public right of way may have a building mounted business/identification sign on such a wall not exceeding in size one square foot in area for each one linear foot of the width of that exterior wall and shall not extend more than fifty percent (50%) of the length of that exterior wall ~~and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed..~~ Such a sign shall not be illuminated either internally or externally if that sign faces residential land uses.

b. Multi-Tenant Buildings:

(1) Each tenant having a public entrance in an exterior building wall or having an exterior wall facing a public right of way shall be permitted to have building mounted business or building mounted identification signage for each such exterior wall that is adjacent or a part of its owned or leased premises. The maximum area of such a sign shall not exceed two (2) square feet in area for each one linear foot of the tenant's exterior wall. No wall sign shall extend more than seventy five percent (75%) of the width of that part of the tenant's exterior wall ~~and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed.~~

(2) In addition to the signs permitted in subsection A2b(1) of this section, a tenant on an exterior wall not having a public entrance or facing a public right of way may have a building mounted business/identification sign, on that portion of a wall that is adjacent or a part of its owned or leased premises. The size of such a sign shall not exceed one square foot in area for each one linear foot of the width of the tenant's exterior wall and shall not extend more than fifty percent (50%) of the length of the tenant's exterior wall ~~and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed..~~ Such a sign shall not be illuminated either internally or externally if that sign faces residential land uses.

10-20-10: PERMITTED SIGNS; MANUFACTURING ZONING DISTRICTS

A. Permanent Signs:

2. Building Mounted Business/Identification Signs:

a. Single Use Building:

(1) A business having a public entrance in an exterior building wall or having an exterior wall facing a public right of way shall be permitted to have building mounted identification signage or building mounted business signage for each exterior wall of that part of the building in which it is located, provided said wall contains a public entrance or faces a public right of way. The maximum area of such sign shall not exceed two (2) square feet for each one linear foot of the ~~façade exterior wall~~ of the building with a public entrance. No wall sign shall extend more than seventy five percent (75%) of the width of the ~~building façade exterior wall~~ to which it is attached ~~and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed.~~

(2) In addition to the signs permitted in subsection A2a(1) of this section, a business on an exterior wall not having a public entrance or facing a public right of way may have a building mounted business/identification sign on such a wall not exceeding in size one square foot in area for each one linear foot of the width of that exterior wall and shall not extend more than fifty percent (50%) of the length of that exterior wall ~~and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed.~~ Such a sign shall not be illuminated either internally or externally if that sign faces residential land uses.

b. Multi-Tenant Buildings:

(1) Each tenant having a public entrance in an exterior building wall or having an exterior wall facing a public right of way shall be permitted to have building mounted business or building mounted identification signage for each such exterior wall that is adjacent or a part of its owned or leased premises. The maximum area of such a sign shall not exceed two (2) square feet in area for each one linear foot of the tenant's exterior wall. No wall sign shall extend more than seventy five percent (75%) of the width of that part of the tenant's exterior wall ~~and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed.~~

(2) In addition to the signs permitted in subsection A2b(1) of this section, a tenant on an exterior wall not having a public entrance or facing a public right of way may have a building mounted business/identification sign, on that portion of a wall that is adjacent or a part of its owned or leased premises. The size of such a sign shall not exceed one square foot in area for each one linear foot of the width of the tenant's exterior wall and shall not extend more than fifty percent (50%) of the length of the tenant's exterior wall ~~and shall be no closer than one (1) foot from the vertical or horizontal edge of any wall to which it is affixed.~~ Such a sign shall not be illuminated either internally or externally if that sign faces residential land uses.

The proposed changes are an attempt to improve the clarity behind the intent of the sign regulations within the Zoning Ordinance. The addition in Section 10-20-6 of how building mounted signs will be calculated provides context on what defines a new wall. The four foot (4') measurement is based on the fact that a new doorway or entrance could be fit into that length and therefore is a logical way to determine a new wall.

The alterations made to Sections 10-20-9 and 10-20-10 is to clarify that measurements will be taken on exterior walls and not the entire façade. Additionally, language was added to ensure that any sign must give space to the vertical edge of any wall which will avoid any new signage from going directly up against the corner or edge of an exterior wall (like the "Heritage" sign).

Next Step Recommendations

Staff is seeking direct input from the Economic Development Committee on the proposed changes to Chapter 20 of the Zoning Ordinance. We anticipate incorporating all feedback from the EDC into the final draft version of the ordinance prior to a tentative public hearing before the Planning and Zoning Commission at their October 10, 2018 meeting.

Attachments

1. PZC 2018-12 Zoning Ordinance Appeal Memo



Memorandum

To: Planning and Zoning Commission
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti J. Barksdale-Noble, Community Development Director
Date: May 1, 2018
Subject: **PZC 2018-12** – Zoning Ordinance Appeal

Summary

A permit application was submitted for a new permanent building mounted sign on March 23, 2018 for the commercial structure at 129 Commercial Drive in Yorkville, Illinois. The permit was denied through the zoning review process on March 27, 2018. The petitioner is requesting that the interpretation of the Yorkville Zoning Ordinance in regards to its decision on this permit application be reviewed by the Planning and Zoning Commission as stated in Section 10-4-6-A of the Zoning Ordinance. This Section states the Planning and Zoning Commission may hear and decide appeals from any order, requirement, decision or determination made by the zoning administrator or officer under the zoning regulations of this code.

Initial Request

On March 23, 2018 Aurora Sign Company submitted a permit to move the existing “Heritage” sign from the front of the building located at 129 Commercial Drive to the eastern facing section of the same building. The submission showed a frontage wall length of 23 feet 1 inch and a sign width of 18 feet 8 inches (see below).

Per Section 10-20-9: Permitted Signs; Business Zoning District Part A-2-b. Multi Tenant Buildings:

*“A business having a public entrance in an exterior building wall or having an exterior wall facing a public right of way shall be permitted to have building mounted identification signage or building mounted business signage for **each exterior wall of that part of the building in which it is located**, provided said wall contains a public entrance or faces a public right of way. The maximum area of such sign shall not exceed two (2) square feet for each one linear foot of the facade of the building with a public entrance. **No wall sign shall extend more than seventy five percent (75%) of the width of the building facade to which it is attached.**”*

MARCH 23, 2018 SUBMISSION

INSTALLATION INSTRUCTIONS
REMOVE SIGN FROM EXISTING LOCATION ABOVE ENTRANCE.
CENTER SIGN ABOVE WINDOW AS SHOWN.
CONNECT TO ELECTRICAL SERVICE
TO BE PROVIDED BY OTHERS
PRIOR TO INSTALL.



Calculating the maximum allowable size and width for this review went as follows:

SIGN AREA

Submitted Width of Façade:	23.083 feet
Maximum Allowable Size per Submitted Width:	46.166 square feet
Proposed Building Mounted Sign Area:	49.840 square feet
Result:	3.674 square feet too large

SIGN WIDTH

Submitted Width of the Façade:	23.083 feet
Maximum Allowable Size per Submitted Width:	17.312 feet
Proposed Building Mounted Sign Width:	18.666 feet
Result:	1.354 feet too large

As a result of these calculations and according to the regulations set forth in Section 10-20-9-A-2-b of the Yorkville Zoning Ordinance, the permit was denied. Additionally, the 23 foot 1 inch length of the wall façade is not completely accurate as it includes part of the wall which takes an obtuse angle away from the wall which the sign will be affixed. Even with this possible discrepancy, the building mounted sign did not meet the criteria set forth in the zoning ordinance.

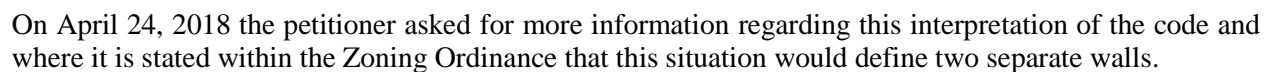
Staff notified the petitioner that the permit was denied on March 27, 2018.

Petitioner Response

The petitioner responded to the denial of their permit application with a re-submittal on April 5, 2018. The petitioner stated that the tenant of the building is currently utilizing 75 feet of façade frontage (see below). They stated the existing “Cabinetry & Designs” sign is no larger than 50 square feet and the width of both signs combined is no more than 50 linear feet. With this interpretation of the Zoning Ordinance, the “Heritage” and “Cabinetry & Designs” signs would be permitted under the regulations set forth in Section 10-20-9.



On April 12, 2018 Staff responded to the request stating that while the entire frontage was 75 feet, the exterior wall to which the sign is being affixed was correct as originally submitted. While along the same frontage, the different height and depth creates two exterior walls. The graphic below was created to illustrate how the walls were separate.



Krysti Barksdale-Noble, Community Development Director, as the zoning administrator is tasked with interpreting the nuances of the code based upon the spirit and intent in which the code was written. She applied the interpretation of the code to mean the wall in which the sign is affixed. This has been the consistent interpretation and spirit of this section of the Zoning Ordinance since it was adopted in 2014. Therefore, in terms of consistency with all previous zoning reviews and the intent of the purpose of the written code, the sign permit was denied.

Throughout the conversation with staff, the petitioner was told that there are two courses of action which the Zoning Ordinance allows if they did not approve of the final decision.

1. The petitioner may appeal to the Planning and Zoning Commission for their interpretation of the Zoning Ordinance (10-4-6-A).

2. The petitioner may apply for a sign variance and go through the public hearing process for that request.

The petitioner has decided to appeal the zoning administrator's decision to the Planning and Zoning Commission. The petitioner is now seeking the Planning and Zoning Commission to review the language in Section 10-20-9-A-2-b to clarify the interpretation of the code.

Existing Building Mounted Signage

As communications transpired between staff and the petitioners, it was brought to staff's attention that there may be some building mounted signs that do not conform to the existing code. While some of these examples were part of Planned Unit Developments and/or allowed before the new Zoning Ordinance in 2014, it was possible that there were other signs within the community that were erected when they did not meet the current Zoning Ordinance standards.

Staff reviewed approximately 250 sign permits issued between November 1, 2014 to May 1, 2018. Staff then conducted analysis regarding only wall signage permitted during that time. The table below explains the number of wall signs permitted and the number of wall signs which DO NOT adhere to our current Zoning Ordinance.

Building Mounted Signs	
Total Building Mounted Signs Issued between Nov. 1 2014 and May 1, 2018	88
Building Mounted Signs with Similar Articulated Walls	34
Nonconforming Signs at Issuance	2

A total of 32 out of 34 (94%) Building Mounted Signs with similar articulated walls issued between November of 2014 and May of 2018 were interpreted by staff in a consistent manner as the proposed sign at 129 Commercial Drive.

The 2 signs which are currently nonconforming were passed in late 2014 and 2015. It is expected that the new zoning ordinance adoption caused these signs to be permitted before any consistent interpretation was in place with staff. It is common after the adoption of new regulations and the turnover of review staff may cause the initial inconsistency within the review process. Overall, staff has a majority of the time used the same interpretation when reviewing building mounted signage. Any other signs erected before November 2014 which are not in conformance with the current code are considered legally nonconforming. Additionally, there are signs which may be allowed to vary from our code as part of an existing annexation agreement or PUD agreement.

For the 2 building mounted signs which were erected but did not meet the criteria set forth in Section 10-20-9-A-2-b, they are considered nonconforming signs. Since these signs are not permitted but have been installed, they must adhere to Section 10-15-4: Elimination of Nonconforming Buildings, Structures and Uses. Letter C of this Section states:

“Any nonconforming signs and any and all billboards and outdoor advertising structures shall be removed after five (5) years.”

The outcome of the Planning and Zoning Commission's decision on this interpretation will affect how these existing signs are handled. If the Commission agrees with staff's interpretation, then the signs identified throughout staff's research will be notified of their nonconformity and held to the schedule set

forth in the Zoning Ordinance. Other interpretations and outcomes made by the Planning and Zoning Commission may alter how staff would resolve the existing signs throughout the City.

Staff Comments

Staff is seeking the Planning and Zoning Commission's decision on the interpretation of the language in Section 10-20-9-A-2-b of the City Code. The Commission needs to determine if there are one or two separate walls to be measured for area and width calculations. The Commission's decision on how this language should be interpreted will affect all future decisions with regards to this language and how staff will handle existing nonconforming signs.

Motion

In consideration of the proposed Zoning Ordinance Appeal, with information provided in a staff memorandum dated May 1, 2018, and testimony provided by the petitioner, the Planning and Zoning Commission approves of the petitioner's appeal that their revised building permit application for a wall mounted sign dated April 5, 2018 is allowable.

Attachments

1. 3-23-18 Permit with attachments
2. 4-5-2018 Resubmittal