



United City of Yorkville

800 Game Farm Road

Yorkville, Illinois 60560

Telephone: 630-553-4350

www.yorkville.il.us

AGENDA ECONOMIC DEVELOPMENT COMMITTEE MEETING

Tuesday, September 5, 2017

6:00 p.m.

City Hall Conference Room
800 Game Farm Road, Yorkville, IL

Citizen Comments:

Minutes for Correction/Approval: July 5, 2017

New Business:

1. EDC 2017-53 Building Permit Report for June and July 2017
2. EDC 2017-54 Building Inspection Report for June and July 2017
3. EDC 2017-55 Property Maintenance Report for June and July 2017
4. EDC 2017-56 Economic Development Update
5. EDC 2017-57 Overlay District RFP
6. EDC 2017-58 Downtown TIF Districts
 - a. Eligibility Report
 - b. Housing Study
 - c. Redevelopment Plan
 - d. TIF District Extension
7. EDC 2017-59 Sidewalk / Parklet Café Ordinance

Old Business:

Additional Business:

2017/2018 City Council Goals – Economic Development Committee

Goal	Priority	Staff
“Downtown Planning”	1	Bart Olson & Krysti Barksdale-Noble
“Southside Development”	2	Bart Olson & Krysti Barksdale-Noble
“Manufacturing and Industrial Development”	4	Krysti Barksdale-Noble
“Revenue Growth”	9	Krysti Barksdale-Noble
“Capital Improvement Plan”	11	Bart Olson & Krysti Barksdale-Noble
“Community Entrance Signage and Wayfinding”	14	Krysti Barksdale-Noble

UNITED CITY OF YORKVILLE
WORKSHEET
ECONOMIC DEVELOPMENT COMMITTEE
Tuesday, September 5, 2017
6:00 PM
CITY HALL CONFERENCE ROOM

CITIZEN COMMENTS:

MINUTES FOR CORRECTION/APPROVAL:

1. July 5, 2017
 - ☐ Approved _____
 - ☐ As presented
 - ☐ With corrections

NEW BUSINESS:

1. EDC 2017-53 Building Permit Report for June and July 2017
 - ☐ Moved forward to CC _____ consent agenda? Y N
 - ☐ Approved by Committee _____
 - ☐ Bring back to Committee _____
 - ☐ Informational Item
 - ☐ Notes _____

2. EDC 2017-54 Building Inspection Report for June and July 2017

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

3. EDC 2017-55 Property Maintenance Report for June and July 2017

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

4. EDC 2017-56 Economic Development Update

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

5. EDC 2017-57 Overlay District RFP

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

6. EDC 2017-58 Downtown TIF Districts

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

7. EDC 2017-59 Sidewalk/Parklet Café Ordinance

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

ADDITIONAL BUSINESS:



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Minutes

Tracking Number

Agenda Item Summary Memo

Title: Minutes of the Economic Development Committee – July 5, 2017

Meeting and Date: Economic Development Committee – September 5, 2017

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Committee Approval

Submitted by: _____ Minute Taker

Name

Department

Agenda Item Notes:

Have a question or comment about this agenda item?

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DRAFT

**UNITED CITY OF YORKVILLE
ECONOMIC DEVELOPMENT COMMITTEE
Wednesday, July 5, 2017, 6:00pm
City Conference Room**

In Attendance:

Committee Members

Chairman Ken Koch
Alderman Carlo Colosimo
Alderman Joel Frieders
Alderman Alex Hernandez

Other City Officials

City Administrator Bart Olson
Interim Assistant City Administrator Erin Willrett
Community Development Director Krysti Barksdale-Noble
Senior Planner Jason Engberg
Code Official Pete Ratos
Alderman Joe Plocher

Other Guests

Lynn Dubajic, City Consultant
Ryan Swanson, Arc Design Resources
Julie Schlichting, Imperial Investments

The meeting was called to order by Chairman Ken Koch at 6:00pm.

Citizen Comments: None

Minutes for Correction/Approval: June 6, 2017

The minutes were approved on a voice vote.

New Business

1. EDC 2017-42 Building Permit Report for May 2017

Mr. Ratos reported 17 new residential permits--8 were B.U.I.L.D. and 9 standard. There were also 19 commercial permits. No further discussion or action.

2. EDC 2017-43 Building Inspection Report for May 2017

There were 345 total inspections for the month, most of which were single family homes. Mr. Ratos commented Pulte is starting to build in Grande Reserve. No further action.

3. EDC 2017-44 Property Maintenance Report for May 2017

No cases were heard by the Hearing Officer in May. Many letters were sent for weeds, grass and property violations, but the violations were remediated prior to the Hearing.

Alderman Koch asked who mows the back lots of Raintree. Mr. Olson said the lots are privately owned and maintained. The City took control of the streets there and blocked them off to prevent deterioration. This occurred when the City took on the infrastructure obligations in exchange for access to the bond funds. No further action.

4. EDC 2017-45 Economic Development Update

Ms. Dubajic reported the following:

1. Cedarhurst is closing on property this week, groundbreaking to be set
2. Moving forward with proposed hotel/banquet center, papers to be signed soon
3. Holding meetings with Kendall Marketplace, has offer on single family lots, townhomes moving forward, discussed SSA aspect
4. Casey's General Store is coming to Yorkville
5. 'Wings' committed to Yorkville
6. Working with Lincoln Prairie rep on Eldamain property

5. EDC 2017-46 B.U.I.L.D. T.O.O. Program

Ms. Noble said this program was approved last year and expired December 31, 2016. It was designated for townhomes and attached units and was modeled after the original program. There were no permits issued, however, now there is some interest. She would like to see it extended to 2018. The committee was not in favor of extending it with Alderman Frieders saying it is financially unfair to those residents already living here. This died in committee.

6. EDC 2017-47 GC Housing Final Plat

This plat has already been approved and GC Housing will consolidate the two lots. This moves to the Planning and Zoning Commission and City Council. No further action in this committee.

7. EDC 2017-48 Casey's General Store – Annexation, Rezoning, Special Use, Sign Variance, Plat

Mr. Engberg provided a project overview. A Casey's General Store is proposed for the southwest corner of Rte. 34 and McHugh Road. Annexation, rezoning, special use, sign variance and final plat are being requested. He also provided other details about the building and property.

Ryan Swanson, Arc Design Resources, displayed the building plans and provided further information. He said they are working with Coffman Carpets regarding well and septic. Other aspects discussed were: gas deliveries, turns off McHugh Rd., the small lot next to the proposed site, lighting plan, underground detention, garbage area and nearby apartments (to be demolished). A larger sign is requested since the ethanol price must now be displayed.

This item will moved to Planning and Zoning on July 12 for Special Use, sign variance, and rezoning. Final annexation will be considered at the July 25th Council meeting.

8. EDC 2017-49 1995 Meadowlark – Rear Yard Setback Variance

Petitioner Dale Larson wishes to build a single family home in Country Hills on a unique lot. He is requesting a 30-foot setback instead of the required 40-foot setback. The committee was OK with this request and it moves to the Planning and Zoning Commission on July 12th.

9. EDC 2017-50 Heustis Street RFP Results

Ms. Willrett said this project went out for RFP in September and costs were more than allowed by the adjudicator so three more proposals were obtained. The amount was increased and issued in the amount of \$154,520. Union Fence was recommended for a contract for \$121,622.35. Mr. Olson said the property owner will be notified by certified letter prior to any work and a title search will also be done. Vehicles on the property were also discussed. It was noted that remedial work cannot adversely affect the owner's ability to run his business and Mr. Ratos will coordinate with the contractor while work is being done. Staff said any remedy by the owner would be welcomed. Mr. Olson said the cost of the work will be a budget ordinance amendment from the downtown TIF fund and will be deficit spending. Whether or not the workers would be union was also discussed. Ms. Schlichting also suggested the City needs the ability to not go forward with the contract if action is taken by the landowner. Mr. Olson will verify with the City Attorney.

10. EDC 2017-51 Inducement Resolution for Imperial Investments

Mr. Olson said this is a new inducement resolution for the purchase by Imperial Investments of the Kendall County Record building and grain silos at Mill and Hydraulic. They would like TIF incentives to help future development and this is the first step to become TIF-eligible. A plan must be in place for reimbursement. The committee was in favor and this moves to the consent agenda.

11. EDC 2017-52 Downtown TIF - Proposed Timeline

This is the first step to remove properties from the existing TIF to create a second TIF. Mr. Engberg drafted a timeline for all associated processes and outreach by the nine tax entities who would receive benefit from the TIF. The process should take about one year from start to finish and Attorney Orr has recommended doing the final TIF approval in January to begin in 2018. The committee was OK with this recommendation. Ms. Schlichting added that if the TIF is not in place, the properties will have to be sold. The committee also discussed ownership of property and participation in these discussions by Aldermen who reside in the TIF district. Aldermen owning residential property are allowed to discuss and vote.

Old Business None

Additional Business None

There was no further business and the meeting adjourned at 7:08pm.

Minutes respectfully submitted by
Marlys Young, Minute Taker



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #1

Tracking Number

EDC 2017-53

Agenda Item Summary Memo

Title: Building Permit Report for June and July 2017

Meeting and Date: Economic Development Committee – September 5, 2017

Synopsis: All permits issued in June and July 2017.

Council Action Previously Taken:

Date of Action: N/A Action Taken: N/A

Item Number: N/A

Type of Vote Required: Informational

Council Action Requested: None

Submitted by: D. Weinert Community Development
Name Department

Agenda Item Notes:

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UNITED CITY OF YORKVILLE

BUILDING PERMIT REPORT

June 2017

TYPES OF PERMITS

	Number of Permits Issued	SFD <i>Single Family Detached</i>	B.U.I.L.D <i>Single Family Detached Program Begins 1/1/2012</i>	SFA <i>Single Family Attached</i>	Multi- Family <i>Apartments Condominiums</i>	Commercial <i>Includes all Permits Issued for Commercial Use</i>	Industrial	Misc.	Construction Cost	Permit Fees
June 2017	92	2	13	0	0	8	0	69	16,688,860.00	559,688.70
Calendar Year 2017	452	27	49	0	0	71	0	305	31,577,273.00	1,343,479.34
Fiscal Period 2017	219	11	21	0	0	27	0	160	20,983,929.00	759,269.81
June 2016	109	0	15	0	0	13	0	81	4,490,566.00	196,837.61
Calendar Year 2016	430	14	53	0	0	64	0	299	18,502,673.00	845,806.19
Fiscal Period 2016	209	7	23	0	0	23	0	156	10,020,497.00	382,404.85
June 2015	75	1	6	0	0	5	0	63	1,620,358.00	82,035.45
Calendar Year 2015	296	5	37	0	0	50	0	204	39,559,291.00	609,718.79
Fiscal Period 2015	151	4	15	0	0	13	0	119	4,053,281.00	195,998.83
June 2014	59	0	4	0	0	5	0	55	1,212,125.00	74,234.11
Calendar Year 2014	302	5	27	0	0	48	0	222	9,513,577.00	482,916.50
Fiscal Period 2014-5	162	0	9	0	0	15	0	138	4,643,732.00	160,949.47



UNITED CITY OF YORKVILLE

BUILDING PERMIT REPORT

JULY 2017

TYPES OF PERMITS

	Number of Permits Issued	SFD <i>Single Family Detached</i>	B.U.I.L.D <i>Single Family Detached Program Begins 1/1/2012</i>	SFA <i>Single Family Attached</i>	Multi- Family <i>Apartments Condominiums</i>	Commercial <i>Includes all Permits Issued for Commercial Use</i>	Industrial	Misc.	Construction Cost	Permit Fees
July 2017	99	4	5	0	0	10	0	80	9,822,020.00	144,687.19
Calendar Year 2017	553	31	54	0	0	83	0	385	42,786,519.00	1,527,090.03
Fiscal Period 2017	320	15	26	0	0	39	0	240	32,193,175.00	937,880.50
July 2016	71	0	11	0	0	12	0	48	2,545,393.00	146,348.45
Calendar Year 2016	501	14	64	0	0	76	0	347	21,048,066.00	992,154.64
Fiscal Period 2016	280	7	34	0	0	35	0	204	12,565,890.00	528,753.30
July 2015	71	0	10	0	0	12	0	49	2,263,111.00	162,957.30
Calendar Year 2015	367	5	47	0	0	62	0	253	41,822,402.00	773,277.09
Fiscal Period 2015	222	4	25	0	0	25	0	168	6,316,392.00	358,956.13
July 2014	50	1	4	0	0	9	0	36	1,986,122.00	69,836.36
Calendar Year 2014	352	6	31	0	0	57	0	258	11,499,466.00	553,152.86
Fiscal Period 2014	212	1	13	0	0	24	1	174	6,629,854.00	230,785.83



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #2

Tracking Number

EDC 2017-54

Agenda Item Summary Memo

Title: Building Inspection Report for June and July 2017

Meeting and Date: Economic Development Committee – September 5, 2017

Synopsis: All inspections scheduled in June 2017.

Council Action Previously Taken:

Date of Action: N/A Action Taken: N/A

Item Number: N/A

Type of Vote Required: Informational

Council Action Requested: None

Submitted by: D. Weinert Community Development
Name Department

Agenda Item Notes:

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DATE: 07/11/2017
TIME: 10:06:14
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 1

INSPECTIONS SCHEDULED FROM 06/01/2017 TO 06/30/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
TK	_____	018-REI REINSPECTION	20160185	2721 LILAC CT	324		06/15/2017
PR	_____	004-PPS PRE-POUR, SLAB ON GRADE	20160195	1951 RENA LN	13		06/09/2017
PR	_____	005-RFR ROUGH FRAMING					06/15/2017
PR	_____	019-PPS PRE-POUR, SLAB ON GRADE	20160291	1830 S BRIDGE ST			06/28/2017
TK	_____	016-REI REINSPECTION	20160455	2623 LILAC WAY	312		06/15/2017
BC	_____	001-PHD POST HOLE - DECK	20160475	772 GREENFIELD TURN	106		06/29/2017
PR	_____	008-FIN FINAL INSPECTION	20160513	104 BEAVER ST	1		06/22/2017
PR	_____	AM 009-PLF PLUMBING - FINAL OSR READ					06/22/2017
PR	_____	019-FIN FINAL INSPECTION	20160568	2465 WAVERLY CIR	231		06/19/2017
PR	_____	020-PLF PLUMBING - FINAL OSR READ					06/19/2017
KL	_____	021-EFL ENGINEERING - FINAL INSPE					06/21/2017
TK	_____	018-REI REINSPECTION	20160590	2983 ELLSWORTH DR	398		06/08/2017
PR	_____	017-FIN FINAL INSPECTION	20160687	2957 ELLSWORTH DR	405		06/19/2017
PR	_____	018-PLF PLUMBING - FINAL OSR READ					06/19/2017
TK	_____	019-EFL ENGINEERING - FINAL INSPE					06/20/2017
TK	_____	021-REI REINSPECTION	20160697	2699 LILAC WAY	321		06/15/2017
TK	_____	019-REI REINSPECTION	20160698	2621 LILAC WAY	311		06/15/2017
PR	_____	006-FIN FINAL INSPECTION	20160713	425 E SPRING ST	3		06/06/2017
PR	_____	007-PLF PLUMBING - FINAL OSR READ					06/06/2017
TK	_____	020-REI REINSPECTION	20160716	2246 LAVENDER WAY	61		06/15/2017
TK	_____	018-REI REINSPECTION	20160717	1528 SIENNA DR	77		06/15/2017
PR	_____	017-FIN FINAL INSPECTION	20160720	514 E MAIN ST	3		06/30/2017
PR	_____	018-PLF PLUMBING - FINAL OSR READ					06/30/2017
BC	_____	003-FIN FINAL INSPECTION	20160804	308 WALNUT ST			06/08/2017

DATE: 07/11/2017
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UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 2

INSPECTIONS SCHEDULED FROM 06/01/2017 TO 06/30/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
TK	_____	020-REI REINSPECTION	20160807	1538 SIENNA DR	76		06/15/2017
TK	_____	022-REI REINSPECTION	20160808	1558 SIENNA DR	74		06/15/2017
TK	_____	021-REI REINSPECTION	20160809	2236 LAVENDER WAY	62		06/15/2017
TK	_____	020-REI REINSPECTION	20160812	2987 GRANDE TR	392		06/08/2017
BC	_____	001-PHF POST HOLE - FENCE	20160839	455 SUTTON ST	208		06/07/2017
TK	_____	018-REI REINSPECTION	20160841	892 N CARLY CIR	49		06/09/2017
TK	_____	018-REI REINSPECTION	20160845	936 N CARLY CIR	53		06/08/2017
TK	_____	018-REI REINSPECTION	20160851	2689 LILAC WAY	320		06/15/2017
TK	_____	020-REI REINSPECTION	20160865	926 N CARLY CIR	52		06/08/2017
PR	_____	014-FIN FINAL INSPECTION	20160866	1007 N CARLY CIR	120		06/22/2017
PR	_____	015-PLF PLUMBING - FINAL OSR READ					06/22/2017
BC	_____	015-WKS PUBLIC & SERVICE WALKS	20160882	2342 WINTERTHUR GREEN	180		06/08/2017
BC	_____	015-WKS PUBLIC & SERVICE WALKS	20160883	672 WINDETT RIDGE RD	152		06/08/2017
PR	_____	017-FIN FINAL INSPECTION	20160886	343 TYLER CREEK CT	83		06/05/2017
PR	_____	018-PLF PLUMBING - FINAL OSR READ					06/05/2017
DB	_____	019-EFL ENGINEERING - FINAL INSPE					06/22/2017
PR	_____	014-FIN FINAL INSPECTION	20170001	1024 S CARLY CIR	114		06/22/2017
PR	_____	015-PLF PLUMBING - FINAL OSR READ					06/22/2017
DB	_____	016-EFL ENGINEERING - FINAL INSPE					06/22/2017
		Comments1: NO OSR					
PR	_____	016-FIN FINAL INSPECTION	20170002	1023 N CARLY CIR	119	06/26/2017	
PR	_____	018-PLF PLUMBING - FINAL OSR READ				06/26/2017	
BC	10:00	021-PPS PRE-POUR, SLAB ON GRADE	20170003	520 E KENDALL DR	3		06/06/2017
		Comments1: CURBS					
BH	_____	AM 022-RFR ROUGH FRAMING					06/14/2017

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UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 3

INSPECTIONS SCHEDULED FROM 06/01/2017 TO 06/30/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BH	_____	AM 023-REL ROUGH ELECTRICAL					06/14/2017
BH	_____	PM 024-INS INSULATION					06/14/2017
BH	_____	025-ABC ABOVE CEILING					06/13/2017
BH	_____	026-FIN FINAL INSPECTION Comments1: UNIT A ONLY. EXTERIOR NOT COMPLETE. DOES Comments2: NOT INCLUDE FIRE ALARM OR SPRINKLERS					06/22/2017
RE	_____	027-PLF PLUMBING - FINAL OSR READ Comments1: UNIT A ONLY					06/22/2017
RE	_____	028-PLF PLUMBING - FINAL OSR READ Comments1: UNIT D					06/28/2017
BH	_____	029-FIN FINAL INSPECTION Comments1: UNIT D					06/28/2017
BC	_____	018-EDA ENGINEERING - DRIVEWAY AP	20170007	997 N CARLY CIR	121		06/19/2017
TK	_____	019-EFL ENGINEERING - FINAL INSPE					06/28/2017
PR	_____	020-PLF PLUMBING - FINAL OSR READ				06/26/2017	
PR	_____	021-FIN FINAL INSPECTION				06/26/2017	
PR	_____	012-FIN FINAL INSPECTION	20170010	1973 MEADOWLARK LN	121		06/07/2017
PR	_____	013-PLF PLUMBING - FINAL OSR READ					06/07/2017
TK	_____	014-EFL ENGINEERING - FINAL INSPE					06/08/2017
TK	_____	015-REI REINSPECTION				06/22/2017	
PR	_____	015-FIN FINAL INSPECTION	20170021	1121 CLEARWATER DR	196		06/27/2017
PR	_____	016-PLF PLUMBING - FINAL OSR READ					06/27/2017
TK	_____	017-EFL ENGINEERING - FINAL INSPE				06/27/2017	
BC	09:00	005-ROF ROOF UNDERLAYMENT ICE & W	20170041	205 OAKWOOD ST	21	06/23/2017	
PR	_____	011-FIN FINAL INSPECTION	20170048	378 WESTWIND DR	14		06/23/2017
PR	_____	012-PLF PLUMBING - FINAL OSR READ					06/26/2017
TK	_____	013-EFL ENGINEERING - FINAL INSPE					06/20/2017

DATE: 07/11/2017
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UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 4

INSPECTIONS SCHEDULED FROM 06/01/2017 TO 06/30/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	015-FIN FINAL INSPECTION	20170056	2606 FAIRFAX WAY	276		06/19/2017
PR	_____	016-PLF PLUMBING - FINAL OSR READ					06/19/2017
KL	_____	017-EFL ENGINEERING - FINAL INSPE					06/21/2017
KL	_____	014-EFL ENGINEERING - FINAL INSPE	20170075	982 S CARLY CIR	108		06/22/2017
BC	_____	013-EDA ENGINEERING - DRIVEWAY AP	20170076	1037 N CARLY CIR	116		06/19/2017
PR	_____	014-FIN FINAL INSPECTION				06/26/2017	
PR	_____	015-PLF PLUMBING - FINAL OSR READ				06/26/2017	
TK	_____	016-EFL ENGINEERING - FINAL INSPE Comments1: BROKEN SQUARE					06/28/2017
BC	_____	014-WKS PUBLIC & SERVICE WALKS	20170106	2701 PHELPS CT	265		06/09/2017
PR	_____	014-FIN FINAL INSPECTION	20170110	752 GREENFIELD TURN	104		06/19/2017
PR	_____	015-PLF PLUMBING - FINAL OSR READ					06/19/2017
TK	_____	016-EFL ENGINEERING - FINAL INSPE					06/19/2017
PR	_____	008-RFR ROUGH FRAMING	20170114	957 N CARLY CIR	125		06/07/2017
PR	_____	009-REL ROUGH ELECTRICAL					06/07/2017
PR	_____	010-RMC ROUGH MECHANICAL					06/07/2017
PR	_____	011-PLR PLUMBING - ROUGH					06/07/2017
PR	_____	012-INS INSULATION					06/12/2017
BC	_____	PM 013-GAR GARAGE FLOOR					06/14/2017
BC	_____	PM 014-STP STOOP					06/14/2017
BC	_____	015-STP STOOP					06/21/2017
BC	_____	016-EPW ENGINEERING- PUBLIC WALK					06/21/2017
PR	_____	003-FIN FINAL INSPECTION	20170121	347 WINDHAM CIR	30		06/12/2017
PR	_____	004-PLF PLUMBING - FINAL OSR READ					06/12/2017
PR	_____	007-REL ROUGH ELECTRICAL	20170123	2662 BURR ST	5		06/08/2017

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PR	_____	008-RFR ROUGH FRAMING					06/08/2017
PR	_____	009-RMC ROUGH MECHANICAL					06/08/2017
PR	_____	010-PLR PLUMBING - ROUGH					06/08/2017
PR	_____	PM 011-INS INSULATION					06/12/2017
PR	_____	008-RFR ROUGH FRAMING	20170125	2909 GRANDE TR	377		06/01/2017
PR	_____	009-REL ROUGH ELECTRICAL					06/01/2017
PR	_____	010-RMC ROUGH MECHANICAL					06/01/2017
PR	_____	011-PLR PLUMBING - ROUGH					06/01/2017
PR	_____	012-INS INSULATION					06/05/2017
PR	_____	013-WKS PUBLIC & SERVICE WALKS					06/15/2017
PR	_____	AM 014-WKS PUBLIC & SERVICE WALKS	20170126	2929 GRANDE TR	381		06/13/2017
PR	_____	015-FIN FINAL INSPECTION					06/30/2017
PR	_____	016-PLF PLUMBING - FINAL OSR READ					06/30/2017
TK	_____	017-EFL ENGINEERING - FINAL INSPE				06/29/2017	
PR	_____	008-RFR ROUGH FRAMING	20170127	2967 GRANDE TR	388		06/07/2017
PR	_____	009-REL ROUGH ELECTRICAL					06/07/2017
PR	_____	010-RMC ROUGH MECHANICAL					06/07/2017
PR	_____	011-PLR PLUMBING - ROUGH					06/07/2017
PR	_____	012-INS INSULATION					06/09/2017
PR	_____	007-RFR ROUGH FRAMING	20170128	2995 GRANDE TR	393		06/13/2017
PR	_____	008-REL ROUGH ELECTRICAL					06/13/2017
PR	_____	009-RMC ROUGH MECHANICAL					06/13/2017
PR	_____	010-PLR PLUMBING - ROUGH					06/13/2017
PR	_____	011-INS INSULATION					06/15/2017

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PR	_____	AM 008-RFR ROUGH FRAMING	20170131	2905 GRANDE TR	375		06/22/2017
PR	_____	009-REL ROUGH ELECTRICAL					06/22/2017
PR	_____	010-RMC ROUGH MECHANICAL					06/22/2017
PR	_____	AM 011-PLR PLUMBING - ROUGH					06/22/2017
PR	_____	AM 012-INS INSULATION					06/26/2017
PR	_____	012-INS INSULATION	20170132	2910 ELLSWORTH DR	372		06/01/2017
PR	_____	013-WKS PUBLIC & SERVICE WALKS					06/15/2017
PR	_____	007-RFR ROUGH FRAMING	20170133	2924 GRANDE TRAIL CT	415		06/16/2017
PR	_____	008-REL ROUGH ELECTRICAL					06/16/2017
PR	_____	009-RMC ROUGH MECHANICAL					06/16/2017
PR	_____	010-PLR PLUMBING - ROUGH					06/16/2017
PR	_____	011-INS INSULATION					06/20/2017
PR	_____	AM 013-WKS PUBLIC & SERVICE WALKS	20170134	2921 GRANDE TR	379		06/14/2017
PR	_____	014-FIN FINAL INSPECTION					06/30/2017
PR	_____	015-PLF PLUMBING - FINAL OSR READ					06/30/2017
PR	_____	AM 015-WKS PUBLIC & SERVICE WALKS	20170135	2923 GRANDE TR	380		06/13/2017
PR	_____	004-PLU PLUMBING - UNDERSLAB	20170136	2673 FAIRFAX WAY	259		06/05/2017
BC	_____	005-GAR GARAGE FLOOR					06/08/2017
BC	_____	006-BSM BASEMENT FLOOR					06/08/2017
PR	_____	007-SUM SUMP					06/22/2017
BC	_____	AM 006-BGS BASEMENT GARAGE STOOPS	20170137	2423 FAIRFAX WAY	241		06/02/2017
BC	_____	007-PHD POST HOLE - DECK					06/13/2017
PR	_____	008-SUM SUMP					06/15/2017
PR	_____	009-RFR ROUGH FRAMING					06/29/2017

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PR	_____	010-REL ROUGH ELECTRICAL					06/29/2017
PR	_____	011-RMC ROUGH MECHANICAL					06/29/2017
PR	_____	012-PLR PLUMBING - ROUGH					06/29/2017
PR	_____	013-INS INSULATION					06/30/2017
PR	_____	008-RFR ROUGH FRAMING	20170138	2301 WINTERTHUR GREEN	189		06/12/2017
PR	_____	009-REL ROUGH ELECTRICAL					06/12/2017
PR	_____	010-RMC ROUGH MECHANICAL					06/12/2017
PR	_____	011-PLR PLUMBING - ROUGH					06/12/2017
PR	_____	012-INS INSULATION					06/14/2017
BC	_____	013-PHD POST HOLE - DECK					06/13/2017
PR	_____	AM 014-SUM SUMP					06/15/2017
BC	_____	015-EPW ENGINEERING- PUBLIC WALK					06/30/2017
BC	_____	007-BSM BASEMENT FLOOR	20170141	877 GREENFIELD TURN	41		06/05/2017
BC	_____	008-GAR GARAGE FLOOR					06/08/2017
PR	_____	009-EPW ENGINEERING- PUBLIC WALK					06/13/2017
BC	_____	005-REI REINSPECTION	20170152	502 TERI LN	9		06/02/2017
		Comments1: DECK, PLYWOOD UNDERLAYMENT EXPOSED TO WE					
		Comments2: ATHER. AUM TRIM PIECE NOT PROPERLY INSTA					
		Comments3: LLED, DIRECTS WATER ONTO PLYWOOD UNDERLA					
		Comments4: YMENT.					
BC	_____	006-REI REINSPECTION					06/14/2017
PR	_____	004-PLU PLUMBING - UNDERSLAB	20170154	1126 CARLY DR	24		06/15/2017
BC	_____	005-BSM BASEMENT FLOOR					06/23/2017
PR	_____	006-GAR GARAGE FLOOR	20170172	2447 FAIRFAX WAY	243		06/07/2017
PR	_____	007-BSM BASEMENT FLOOR					06/06/2017
BC	_____	008-PHD POST HOLE - DECK					06/13/2017

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PR	_____	009-SUM SUMP					06/15/2017
PR	_____	010-RFR ROUGH FRAMING				06/16/2017	
PR	_____	011-REL ROUGH ELECTRICAL				06/16/2017	
PR	_____	012-RMC ROUGH MECHANICAL				06/16/2017	
PR	_____	013-PLR PLUMBING - ROUGH				06/16/2017	
PR	_____	014-INS INSULATION					06/20/2017
BC	_____	015-WKS PUBLIC & SERVICE WALKS					06/29/2017
BC	_____	001-BKF BACKFILL	20170176	1007 SUNSET AVE	61		06/21/2017
BC	_____	002-RFR ROUGH FRAMING					06/21/2017
PR	_____	001-TRN TRENCH - (GAS, ELECTRIC,	20170186	208 SPRUCE CT	22		06/08/2017
BC	_____	002-UGE UNDERGROUND ELECTRIC					06/15/2017
PR	_____	003-BND POOL BONDING					06/19/2017
BC	_____	003-FIN FINAL INSPECTION	20170189	333 PENSACOLA ST	1141		06/21/2017
BC	_____	006-BSM BASEMENT FLOOR	20170194	602 KENTSHIRE DR	124		06/02/2017
BC	_____	007-GAR GARAGE FLOOR					06/02/2017
PR	_____	008-RFR ROUGH FRAMING	20170198	1031 S CARLY CIR	85		06/05/2017
PR	_____	009-REL ROUGH ELECTRICAL					06/05/2017
PR	_____	010-RMC ROUGH MECHANICAL					06/05/2017
PR	_____	011-PLR PLUMBING - ROUGH					06/05/2017
PR	_____	012-INS INSULATION					06/09/2017
BC	_____	013-EPW ENGINEERING- PUBLIC WALK				06/20/2017	
BC	_____	014-STP STOOP					06/19/2017
		Comments1: FRONT & BACK					
BC	_____	015-WKS PUBLIC & SERVICE WALKS					06/20/2017
BC	_____	011-EPW ENGINEERING- PUBLIC WALK	20170200	931 PURCELL ST	63		06/28/2017

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BC	_____	002-RFR ROUGH FRAMING	20170201	203 E CENTER ST			06/29/2017
BC	_____	001-FIN FINAL INSPECTION	20170202	105 E MAIN ST			06/01/2017
PR	_____	007-SUM SUMP	20170205	2648 MCLELLAN BLVD	56		06/07/2017
BC	_____	001-PHF POST HOLE - FENCE	20170208	228 W ROUTE 34			06/05/2017
BC	_____	002-PHF POST HOLE - FENCE					06/07/2017
BC	_____	008-STP STOOP	20170212	2884 CRYDER WAY	441		06/23/2017
PR	_____	001-FTG FOOTING	20170214	2631 MCLELLAN BLVD	44		06/27/2017
BC	_____	002-FOU FOUNDATION					06/29/2017
BC	_____	002-FIN FINAL INSPECTION	20170233	2792 ELDEN DR	283	06/23/2017	
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20170234	1519 CRIMSON LN	161		06/01/2017
BC	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE	20170239	881 HAMPTON LN	133		06/08/2017
BC	_____	001-PHF POST HOLE - FENCE	20170242	406 E MAIN ST	57		06/05/2017
BC	_____	001-PHF POST HOLE - FENCE	20170246	2765 ELDEN DR	262		06/02/2017
BC	_____	007-BSM BASEMENT FLOOR	20170254	2924 ELLSWORTH DR	370		06/02/2017
BC	_____	008-GAR GARAGE FLOOR					06/02/2017
BC	_____	009-STP STOOP					06/02/2017
PR	_____ AM	010-RFR ROUGH FRAMING					06/27/2017
PR	_____ PM	011-REL ROUGH ELECTRICAL					06/27/2017
PR	_____	012-RMC ROUGH MECHANICAL					06/27/2017
PR	_____ AM	013-PLR PLUMBING - ROUGH					06/27/2017
PR	_____ AM	014-INS INSULATION					06/29/2017
BC	_____	001-PHF POST HOLE - FENCE	20170255	903 HAYDEN DR			06/12/2017
BC	_____	002-FIN FINAL INSPECTION					06/19/2017
BC	_____	001-FIN FINAL INSPECTION	20170258	304 W KENDALL DR	6		06/13/2017

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BC	_____	001-PHF POST HOLE - FENCE	20170263	681 WINDETT RIDGE RD	83		06/01/2017
BC	_____	002-FIN FINAL INSPECTION				06/13/2017	
PR	_____	003-BKF BACKFILL	20170265	512 E MAIN ST	2		06/06/2017
PR	_____	004-PLU PLUMBING - UNDERSLAB					06/28/2017
PR	_____	004-PLU PLUMBING - UNDERSLAB	20170266	1033 N CARLY CIR	117		06/05/2017
BC	_____	005-BSM BASEMENT FLOOR					06/19/2017
PR	_____	006-ESW ENGINEERING - SEWER / WAT					06/27/2017
BC	_____	007-GAR GARAGE FLOOR					06/28/2017
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20170269	1459 WOODSAGE AVE	20		06/14/2017
PR	_____	001-PPS PRE-POUR, SLAB ON GRADE	20170271	2971 ELLSWORTH DR	491		06/27/2017
BC	_____ AM	001-PPS PRE-POUR, SLAB ON GRADE	20170272	557 REDBUD DR	45		06/08/2017
BC	_____	001-PHF POST HOLE - FENCE	20170277	328 WESTWIND DR	4		06/07/2017
BC	_____	002-FIN FINAL INSPECTION					06/19/2017
BC	_____	003-FIN FINAL INSPECTION	20170278	1606 CYPRESS LN	38		06/01/2017
BC	_____ AM	001-FTG FOOTING	20170280	2685 FAIRFAX WAY	260		06/21/2017
PR	_____	002-ESW ENGINEERING - SEWER / WAT					06/29/2017
PR	_____	003-FOU FOUNDATION					06/26/2017
PR	_____	004-BKF BACKFILL					06/30/2017
BC	_____	001-FTG FOOTING	20170283	1012 N CARLY CIR	58		06/06/2017
BC	_____	002-FOU FOUNDATION					06/07/2017
BC	_____	003-BKF BACKFILL					06/12/2017
PR	_____	004-ESW ENGINEERING - SEWER / WAT					06/15/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB					06/20/2017
BC	_____	006-BSM BASEMENT FLOOR					06/21/2017

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BC	_____	001-PH POST HOLES / PILES	20170284	311 ILLINI DR	5		06/02/2017
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20170285	122 E BLACKBERRY LN	11		06/20/2017
BC	_____	001-PHF POST HOLE - FENCE	20170289	2002 RAINTREE RD	80		06/01/2017
BC	_____	002-FIN FINAL INSPECTION					06/05/2017
BC	14:00	001-PHF POST HOLE - FENCE	20170291	467 SUTTON ST	209		06/07/2017
BC	_____	002-FIN FINAL INSPECTION					06/14/2017
BC	_____	001-FIN FINAL INSPECTION Comments1: SERVICE DOOR FOR GARAGE	20170292	1538 SIENNA DR	76		06/15/2017
BC	10:30	001-FTG FOOTING	20170294	634 W VETERANS PKWY			06/12/2017
BC	_____	001-PHD POST HOLE - DECK	20170295	642 OMAHA DR	55		06/05/2017
BC	_____	002-RFR ROUGH FRAMING					06/06/2017
BC	13:00	001-PHF POST HOLE - FENCE	20170296	642 OMAHA DR	55		06/20/2017
PR	_____	001-FIN FINAL INSPECTION	20170300	822 CAULFIELD PT	109		06/20/2017
BC	13:00	001-PHF POST HOLE - FENCE	20170303	343 TIMBALIER STREET	1014		06/12/2017
PR	_____	001-ESW ENGINEERING - SEWER / WAT	20170316	302 WESTWIND DR	1		06/13/2017
PR	_____	002-FTG FOOTING					06/15/2017
BC	_____	001-PHF POST HOLE - FENCE	20170317	2983 ELLSWORTH DR	398		06/28/2017
BC	_____	001-PHF POST HOLE - FENCE	20170319	188 CLAREMONT CT	42		06/13/2017
BC	_____	002-FIN FINAL INSPECTION Comments1: 3 POST CAPS NOT NAILED					06/16/2017
BC	_____ AM	001-FTG FOOTING	20170325	2191 BURR CT	7		06/09/2017
PR	_____ AM	002-FOU FOUNDATION					06/13/2017
BC	_____ AM	003-BGS BASEMENT GARAGE STOOPS					06/22/2017
BC	_____	004-BKF BACKFILL					06/16/2017
PR	_____	005-WAT WATER					06/16/2017

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PR	_____	006-PLU PLUMBING - UNDERSLAB					06/22/2017
BC	_____	001-FIN FINAL INSPECTION	20170326	2882 MCLELLAN BLVD	461		06/02/2017
BC	_____	001-PHD POST HOLE - DECK	20170327	2564 OVERLOOK CT	17		06/07/2017
BC	_____	001-RFR ROUGH FRAMING	20170328	2381 SUMAC DR	191		06/22/2017
BC	_____	002-FIN FINAL INSPECTION	20170331	104 E SPRING ST			06/06/2017
BC	_____	001-FTG FOOTING	20170332	114 CONOVER CT			06/12/2017
PR	_____	001-RFR ROUGH FRAMING	20170333	1437 SLATE CT	339		06/27/2017
BC	_____	001-PHF POST HOLE - FENCE	20170334	2622 LILAC WAY	375		06/08/2017
PR	_____	002-PPS PRE-POUR, SLAB ON GRADE	20170337	1800 MARKETVIEW DR	4		06/07/2017
BC	_____	003-PPS PRE-POUR, SLAB ON GRADE					06/15/2017
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20170338	442 WINDETT RIDGE RD	190		06/13/2017
BC	_____	001-PHF POST HOLE - FENCE	20170339	2395 HOLLENBACK CT	425	06/15/2017	
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20170340	103 CENTER PKWY	14		06/02/2017
BC	_____	002-FIN FINAL INSPECTION	20170342	1402 SEQUOIA CR.			06/06/2017
		Comments1: ROOF VENT APPEARS TO BE WRAPPED IN PLAST					
		Comments2: IC FILM					
BC	_____	001-FTG FOOTING	20170344	412 W KENDALL DR	5		06/21/2017
BC	_____	002-FIN FINAL INSPECTION					06/29/2017
BC	_____	001-FIN FINAL INSPECTION	20170345	1485 CRIMSON LN	13		06/12/2017
PR	_____	005-PLF PLUMBING - FINAL OSR READ	20170346	201 GARDEN ST	3		06/30/2017
BC	_____	001-PHF POST HOLE - FENCE	20170352	2998 ELLSWORTH DR	344		06/29/2017
BC	_____	001-FIN FINAL INSPECTION	20170354	2764 HOBBS CT	150		06/29/2017
PR	_____	001-FTG FOOTING	20170358	908 PURCELL ST	79		06/08/2017
PR	_____	002-FOU FOUNDATION					06/12/2017
BC	_____	003-BKF BACKFILL					06/21/2017

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PR	_____	004-ESW ENGINEERING - SEWER / WAT					06/27/2017
BC	_____	001-PHD POST HOLE - DECK	20170359	99 E KENDALL DR	5		06/05/2017
BC	_____	002-RFR ROUGH FRAMING					06/07/2017
PR	_____	003-FIN FINAL INSPECTION					06/13/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170361	352 TWINLEAF TRAIL	68		06/21/2017
BC	_____ AM	001-PHF POST HOLE - FENCE	20170362	2007 OLD GLORY CT.	237		06/30/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170364	1013 INDEPENDENCE BLVD	5		06/05/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170365	112 E FOX RD			06/06/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170366	310 E VAN EMMON ST			06/05/2017
BC	_____	002-FIN FINAL INSPECTION					06/06/2017
BC	_____	001-PHD POST HOLE - DECK	20170369	2658 LILAC WAY	377		06/16/2017
BC	11:00	002-RFR ROUGH FRAMING					06/22/2017
PR	_____	001-TRN TRENCH - (GAS, ELECTRIC,	20170374	604 ANDREA CT	15		06/27/2017
PR	_____	001-FTG FOOTING	20170375	2652 MCLELLAN BLVD	55		06/26/2017
PR	_____	002-FOU FOUNDATION					06/27/2017
PR	_____	001-FTG FOOTING	20170376	2651 MCLELLAN BLVD	46		06/26/2017
PR	_____	002-FOU FOUNDATION					06/27/2017
PR	_____	001-FTG FOOTING	20170377	2182 BURR CT	10	06/27/2017	
	Comments1:	CANCELLED					
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170382	224 W VETERANS PKWY			06/05/2017
PR	_____	001-PPS PRE-POUR, SLAB ON GRADE	20170383	2484 ELLSWORTH CT	355		06/26/2017
BC	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20170384	303 BERTRAM DR.	1084		06/07/2017
BC	_____ AM	001-FTG FOOTING	20170386	2649 FAIRFAX WAY	256		06/21/2017
PR	_____	002-ESW ENGINEERING - SEWER / WAT					06/29/2017
PR	_____	003-FOU FOUNDATION					06/26/2017

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PR	_____	004-BKF BACKFILL					06/30/2017
BC	10:30	001-PHF POST HOLE - FENCE	20170388	2561 EMERALD LN	129	06/13/2017	
BC	_____	001-FTG FOOTING	20170389	1003 S CARLY CIR	88		06/19/2017
PR	_____	002-FOU FOUNDATION					06/20/2017
PR	_____	003-BKF BACKFILL Comments1: NO GRAVEL OR TILE					06/27/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W Comments1: 3 ROWS OF ICE & WATER SHIELD	20170391	546 ARROWHEAD DR	3		06/05/2017
BC	_____	001-FIN FINAL INSPECTION Comments1: NO WATER IN BUILDIN. CANNOT TEST TOILETS Comments2: , FAUCETS OR HANDWASHING FACILITIES.	20170392	98 E SCHOOLHOUSE RD			06/09/2017
BC	_____	002-FIN FINAL INSPECTION Comments1: NO HOT WATER FOR HANDWASHING					06/22/2017
PR	_____	003-FIN FINAL INSPECTION					06/26/2017
MT	_____	004-FFD BKFD FINAL INSPECTION Comments1: INSPECTION TICKET VIA EMAIL					06/27/2017
BC	_____	001-PHF POST HOLE - FENCE	20170397	2001 RAINTREE RD	62		06/21/2017
PR	_____ PM	001-FTG FOOTING	20170399	9231 GALENA RD			06/20/2017
PR	_____	002-FTG FOOTING					06/29/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170400	323 PENSACOLA ST	1139		06/07/2017
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20170402	2368 EMERALD LANE	30		06/20/2017
BC	_____	001-PHD POST HOLE - DECK	20170405	2751 LILAC CT	327		06/30/2017
BC	_____	001-FTG FOOTING	20170409	987 N CARLY CIR	122		06/19/2017
BC	_____	002-FOU FOUNDATION					06/23/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170413	301 W CENTER ST			06/21/2017
BC	_____	002-FIN FINAL INSPECTION					06/30/2017
BC	_____ AM	001-PHD POST HOLE - DECK	20170414	491 SUTTON ST	211		06/23/2017

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BC	_____	001-PHD POST HOLE - DECK	20170415	101 E KENDALL DR			06/19/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170416	112 APPLETREE CT			06/13/2017
BC	_____	001-GAR GARAGE FLOOR	20170423	322 W KENDALL DR	26		06/27/2017
BC	_____	001-FTG FOOTING	20170424	2731 LILAC CT	325		06/29/2017
BC	_____	002-PPS PRE-POUR, SLAB ON GRADE					06/29/2017
BC	_____	001-FIN FINAL INSPECTION	20170426	4623 PLYMOUTH AVE	1020		06/19/2017
BC	_____	001-RFR ROUGH FRAMING	20170432	874 CANYON TR	107		06/29/2017
BC	_____ AM	001-FTG FOOTING	20170437	1262 DEERPATH DR	230		06/30/2017
BC	_____	001-PHD POST HOLE - DECK	20170443	310 E RIDGE ST	9		06/23/2017
PR	_____	002-RFR ROUGH FRAMING					06/26/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170447	210 E SOMONAUK ST			06/20/2017
BC	_____	001-FIN FINAL INSPECTION	20170466	2193 OLIVE LN	288		06/28/2017

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INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE

PERMIT TYPE SUMMARY:		ADD ADDITION			3		
		AGP ABOVE-GROUND POOL			2		
		BIP BUILD INCENTIVE PROGRAM SFD			160		
		CCO COMMERCIAL OCCUPANCY PERMIT			4		
		COM COMMERCIAL BUILDING			14		
		CRM COMMERCIAL REMODEL			1		
		DCK DECK			22		
		DRV DRIVEWAY			2		
		ELE ELECTRICAL UPGRADE			1		
		ESN ELECTRIC SIGN			1		
		FNC FENCE			28		
		GAR GARAGE			1		
		HVC HVAC UNIT/S			1		
		IGP IN-GROUND POOL			3		
		MIS MISCELLANEOUS			1		
		MSC MISCELLANEOUS			5		
		PRG PERGOLA			2		
		PTO PATIO / PAVERS			10		
		REM REMODEL			5		
		ROF ROOFING			15		
		SFD SINGLE-FAMILY DETACHED			53		
		SHD SHED/ACCESSORY BUILDING			3		
		WIN WINDOW REPLACEMENT			1		
INSPECTION SUMMARY:		ABC ABOVE CEILING			1		
		BGS BASEMENT GARAGE STOOPS			2		
		BKF BACKFILL			8		
		BND POOL BONDING			1		
		BSM BASEMENT FLOOR			8		
		EDA ENGINEERING - DRIVEWAY APRON			2		
		EFL ENGINEERING - FINAL INSPECTION			13		
		EPW ENGINEERING- PUBLIC WALK			5		
		ESW ENGINEERING - SEWER / WATER			6		
		FFD BKFD FINAL INSPECTION			1		
		FIN FINAL INSPECTION			49		
		FOU FOUNDATION			10		
		FTG FOOTING			19		
		GAR GARAGE FLOOR			8		
		INS INSULATION			14		
		PH POST HOLES / PILES			1		
		PHD POST HOLE - DECK			12		
		PHF POST HOLE - FENCE			20		
		PLF PLUMBING - FINAL OSR READY			22		
		PLR PLUMBING - ROUGH			12		
		PLU PLUMBING - UNDERSLAB			6		
		PPS PRE-POUR, SLAB ON GRADE			16		
		REI REINSPECTION			18		

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		REL ROUGH ELECTRICAL			13		
		RFR ROUGH FRAMING			23		
		RMC ROUGH MECHANICAL			12		
		ROF ROOF UNDERLAYMENT ICE & WATER			12		
		STP STOOP			5		
		SUM SUMP			5		
		TRN TRENCH - (GAS, ELECTRIC, ETC)			2		
		UGE UNDERGROUND ELECTRIC			1		
		WAT WATER			1		
		WKS PUBLIC & SERVICE WALKS			10		
INSPECTOR SUMMARY:		BC BOB CREADEUR			141		
		BH BRIAN HOLDIMAN			6		
		DB DARRELL BUSCH			2		
		KL KEVIN LAWRENTZ			3		
		MT MICHAEL TORRENCE			1		
		PR PETER RATOS			159		
		RE RANDY ERICKSON			2		
		TK TOM KONEN			24		
STATUS SUMMARY:	A	BC			1		
	A	PR			1		
	C	BC			27		
	C	DB			2		
	C	KL			2		
	C	PR			34		
	C	TK			17		
	I	BC			112		
	I	KL			1		
	I	MT			1		
	I	PR			124		
	I	TK			1		
	T	BC			1		
	T	BH			6		
	T	RE			2		
	T	TK			6		
REPORT SUMMARY:					338		

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PR	_____	004-FIN FINAL INSPECTION	20150247	2478 CATALPA TR	178		07/18/2017
BC	_____	006-RFR ROUGH FRAMING	20160195	1951 RENA LN	13		07/13/2017
RE	_____	007-PLR PLUMBING - ROUGH					07/13/2017
BC	_____	008-REL ROUGH ELECTRICAL					07/14/2017
BC	_____	002-RFR ROUGH FRAMING Comments1: NORTH SIDE OF DECK ONLY. ELEC CONDUIT MU Comments2: ST BE BURIED A MINIMUM OF SIX INCHES.	20160420	709 STATE ST			07/11/2017
BC	_____	002-RFR ROUGH FRAMING Comments1: PLATFORM ONLY	20160475	772 GREENFIELD TURN	106		07/26/2017
PR	_____	011-FIN FINAL INSPECTION Comments1: BUILDING C	20160494	147 COMMERCIAL DR	19		07/05/2017
RE	_____	013-PLF PLUMBING - FINAL OSR READ					07/12/2017
TK	_____	021-REI REINSPECTION	20160593	2395 HOLLENBACK CT	425		07/06/2017
PR	_____	AM 001-FTG FOOTING Comments1: CANCELLED TBS 630-499-1844	20160894	1050 FREEMONT ST		07/27/2017	
PR	_____	AM 002-FTG FOOTING					07/28/2017
PR	_____	003-FTG FOOTING					07/31/2017
PR	_____	001-PLR PLUMBING - ROUGH	20160897	201 E MAIN ST			07/24/2017
RE	_____	030-REI REINSPECTION Comments1: PLUMBING	20170003	520 E KENDALL DR	3		07/13/2017
BH	_____	031-ABC ABOVE CEILING					07/07/2017
PR	_____	006-PLU PLUMBING - UNDERSLAB	20170041	205 OAKWOOD ST	21		07/20/2017
BC	_____	007-BSM BASEMENT FLOOR					07/27/2017
BC	_____	003-FIN FINAL INSPECTION Comments1: REMOVE GATE LATCH THE DEFEATS THE SELF C Comments2: LOSING GATE	20170059	455 E BARBERRY CIR	149		07/06/2017
BC	_____	001-FIN FINAL INSPECTION	20170060	1316 WILLOW WAY			07/26/2017
BC	_____	002-TRN TRENCH - (GAS, ELECTRIC,					07/26/2017

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PR	_____	PM 007-RFR ROUGH FRAMING	20170061	2004 PRAIRIE GRASS LN	50		07/17/2017
PR	_____	008-PLR PLUMBING - ROUGH					07/19/2017
PR	_____	015-FIN FINAL INSPECTION	20170073	642 WINDETT RIDGE RD	155		07/10/2017
PR	_____	016-PLF PLUMBING - FINAL OSR READ					07/10/2017
TK	_____	017-EFL ENGINEERING - FINAL INSPE					07/10/2017
BC	_____	015-FIN FINAL INSPECTION	20170075	982 S CARLY CIR	108		07/12/2017
		Comments1: SEAL HOLE IN PERIMETER JOIST WHERE REFRI					
		Comments2: GERANT LINES ENTER THE BASEMENT.					
RE	_____	016-PLF PLUMBING - FINAL OSR READ					07/12/2017
TK	_____	017-EFL ENGINEERING - FINAL INSPE					07/11/2017
		Comments1: SIDEWALK AT NORTH SIDE TO BE REMOVED & R					
		Comments2: EPOURED ON CITY RIGHT OF WAY					
TK	_____	015-EFL ENGINEERING - FINAL INSPE	20170106	2701 PHELPS CT	265		07/13/2017
		Comments1: SIDEWALK NOT CONFORMING TO ADA, NO PARKW					
		Comments2: AY TREE WATER CONSERVATION ORDINANCE					
RE	_____	016-PLF PLUMBING - FINAL OSR READ					07/13/2017
BC	_____	017-FIN FINAL INSPECTION					07/11/2017
PR	_____	AM 001-FIN FINAL INSPECTION	20170117	412 PARK ST	54		07/27/2017
PR	_____	012-STP STOOP	20170123	2662 BURR ST	5		07/31/2017
PR	_____	013-WKS PUBLIC & SERVICE WALKS					07/31/2017
PR	_____	014-FIN FINAL INSPECTION	20170125	2909 GRANDE TR	377		07/19/2017
PR	_____	015-PLF PLUMBING - FINAL OSR READ					07/19/2017
TK	_____	016-EFL ENGINEERING - FINAL INSPE					07/19/2017
PR	_____	013-FIN FINAL INSPECTION	20170127	2967 GRANDE TR	388		07/25/2017
PR	_____	014-PLF PLUMBING - FINAL OSR READ					07/25/2017
TK	_____	015-EFL ENGINEERING - FINAL INSPE					07/25/2017
BC	_____	012-WKS PUBLIC & SERVICE WALKS	20170128	2995 GRANDE TR	393		07/03/2017
		Comments1: INSTALL REBAR IN SERVICE WALK & ACROSS W					
		Comments2: ATER LINE IN PUBLIC WALK.					

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INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	013-WKS PUBLIC & SERVICE WALKS	20170131	2905 GRANDE TR	375		07/03/2017
		Comments1: INSTALL REBAR IN SERVICE WALK AND ACROSS					
		Comments2: WATER LINE BEFORE POUR					
BC	_____	014-WKS PUBLIC & SERVICE WALKS	20170132	2910 ELLSWORTH DR	372		07/03/2017
		Comments1: INSTALL REBAR IN SERVICE WALK & ACROSS W					
		Comments2: ATER LINE IN PUBLIC WALK					
PR	_____	015-FIN FINAL INSPECTION					07/17/2017
PR	_____	016-PLF PLUMBING - FINAL OSR READ					07/17/2017
BC	_____	012-WKS PUBLIC & SERVICE WALKS	20170133	2924 GRANDE TRAIL CT	415		07/03/2017
		Comments1: INSTALL REBAR IN SERVICE WALK & ACROSS W					
		Comments2: ATER LINE IN PUBLIC WALK.					
PR	_____	016-FIN FINAL INSPECTION	20170135	2923 GRANDE TR	380		07/06/2017
PR	_____	017-PLF PLUMBING - FINAL OSR READ					07/06/2017
TK	_____	018-EFL ENGINEERING - FINAL INSPE					07/06/2017
BC	_____	008-PHD POST HOLE - DECK	20170136	2673 FAIRFAX WAY	259		07/07/2017
BC	_____	009-RFR ROUGH FRAMING					07/13/2017
BC	_____	010-REL ROUGH ELECTRICAL					07/13/2017
BC	_____	011-RMC ROUGH MECHANICAL					07/13/2017
RE	_____	012-PLR PLUMBING - ROUGH					07/13/2017
BC	_____	013-INS INSULATION					07/17/2017
BC	_____	014-WKS PUBLIC & SERVICE WALKS	20170137	2423 FAIRFAX WAY	241		07/18/2017
PR	_____	010-RFR ROUGH FRAMING	20170141	877 GREENFIELD TURN	41		07/05/2017
PR	_____	012-REL ROUGH ELECTRICAL					07/05/2017
PR	_____	013-RMC ROUGH MECHANICAL					07/05/2017
PR	_____	014-PLR PLUMBING - ROUGH					07/05/2017
BC	_____	015-INS INSULATION					07/07/2017
		Comments1: FOAM WINDOW ON EAST WALL LEFT OF FIRE PL					
		Comments2: ACE					

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PR	_____	012-FIN FINAL INSPECTION	20170145	977 N CARLY CIR	123		07/31/2017
PR	_____	013-PLF PLUMBING - FINAL OSR READ					07/31/2017
PR	_____	006-RFR ROUGH FRAMING	20170154	1126 CARLY DR	24		07/10/2017
PR	_____	007-REL ROUGH ELECTRICAL					07/10/2017
PR	_____	008-RMC ROUGH MECHANICAL					07/10/2017
PR	_____	009-PLR PLUMBING - ROUGH					07/10/2017
BC	_____	010-GAR GARAGE FLOOR					07/11/2017
PR	_____	011-INS INSULATION					07/14/2017
PR	_____	AM 012-EPW ENGINEERING- PUBLIC WALK					07/25/2017
PR	_____	004-PLU PLUMBING - UNDERSLAB	20170168	792 GREENFIELD TURN	108		07/06/2017
BC	_____	005-BSM BASEMENT FLOOR					07/07/2017
BC	_____	007-GAR GARAGE FLOOR					07/12/2017
BC	_____	008-WKS PUBLIC & SERVICE WALKS					07/12/2017
BC	_____	AM 013-INS INSULATION					07/21/2017
BC	_____	AM 003-FIN FINAL INSPECTION	20170176	1007 SUNSET AVE	61		07/26/2017
PR	_____	008-PLR PLUMBING - ROUGH	20170194	602 KENTSHIRE DR	124		07/06/2017
PR	_____	009-RFR ROUGH FRAMING					07/06/2017
PR	_____	010-REL ROUGH ELECTRICAL					07/06/2017
PR	_____	011-RMC ROUGH MECHANICAL					07/06/2017
BC	_____	012-PHD POST HOLE - DECK					07/07/2017
BC	_____	013-WKS PUBLIC & SERVICE WALKS					07/18/2017
PR	_____	008-RFR ROUGH FRAMING	20170205	2648 MCLELLAN BLVD	56		07/07/2017
PR	_____	009-REL ROUGH ELECTRICAL					07/07/2017
PR	_____	010-RMC ROUGH MECHANICAL					07/07/2017

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PR	_____	011-PLR PLUMBING - ROUGH					07/07/2017
BC	_____	012-INS INSULATION					07/12/2017
RE	_____	005-PLU PLUMBING - UNDERSLAB	20170210	855 CARLY CT	36		07/14/2017
PR	_____	009-RFR ROUGH FRAMING	20170212	2884 CRYDER WAY	441		07/05/2017
PR	_____	010-REL ROUGH ELECTRICAL					07/07/2015
PR	_____	011-RMC ROUGH MECHANICAL					07/07/2015
PR	_____	012-PLR PLUMBING - ROUGH					07/05/2017
PR	_____	PM 013-INS INSULATION					07/07/2017
BC	_____	003-BKF BACKFILL	20170214	2631 MCLELLAN BLVD	44		07/07/2017
PR	_____	004-PLU PLUMBING - UNDERSLAB				07/06/2017	
PR	_____	005-WAT WATER					07/06/2017
RE	_____	006-PLU PLUMBING - UNDERSLAB					07/12/2017
BC	_____	007-BGS BASEMENT GARAGE STOOPS					07/17/2017
BC	_____	015-WKS PUBLIC & SERVICE WALKS	20170254	2924 ELLSWORTH DR	370		07/17/2017
BC	_____	005-BSM BASEMENT FLOOR	20170265	512 E MAIN ST	2		07/03/2017
RE	_____	006-ESW ENGINEERING - SEWER / WAT					07/14/2017
PR	_____	007-ESW ENGINEERING - SEWER / WAT				07/17/2017	
PR	_____	008-RFR ROUGH FRAMING	20170266	1033 N CARLY CIR	117		07/27/2017
PR	_____	009-REL ROUGH ELECTRICAL					07/27/2017
PR	_____	010-RMC ROUGH MECHANICAL					07/27/2017
PR	_____	011-PLR PLUMBING - ROUGH					07/27/2017
BC	_____	012-INS INSULATION					07/31/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB	20170280	2685 FAIRFAX WAY	260		07/05/2017
BC	_____	006-GAR GARAGE FLOOR					07/06/2017

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BC	_____	007-BSM BASEMENT FLOOR					07/06/2017
BC	_____	PM 007-GAR GARAGE FLOOR	20170283	1012 N CARLY CIR	58		07/18/2017
BC	_____	001-FTG FOOTING	20170307	2739 CRANSTON CIR	128		07/05/2017
PR	_____	002-FOU FOUNDATION					07/07/2017
BC	_____	003-BKF BACKFILL					07/12/2017
RE	_____	004-ESW ENGINEERING - SEWER / WAT Comments1: WATER & STORM, STORM COVERED BY PETE'S O Comments2: K					07/12/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB					07/20/2017
PR	_____	006-BGS BASEMENT GARAGE STOOPS					07/26/2017
BC	_____	001-FTG FOOTING	20170308	2745 CRANSTON CIR	129		07/05/2017
PR	_____	002-FOU FOUNDATION					07/10/2017
BC	_____	003-BKF BACKFILL					07/12/2017
RE	_____	004-ESW ENGINEERING - SEWER / WAT Comments1: STORM COVERED BY PETE'S OK (WATER & STOR Comments2: M)					07/12/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB					07/20/2017
PR	_____	006-BGS BASEMENT GARAGE STOOPS					07/26/2017
PR	_____	001-FTG FOOTING	20170309	2295 GRANDE TR	171		07/03/2017
BC	_____	002-FOU FOUNDATION					07/05/2017
PR	_____	PM 003-ESW ENGINEERING - SEWER / WAT					07/10/2017
RE	_____	005-PLU PLUMBING - UNDERSLAB					07/13/2017
BC	_____	006-BGS BASEMENT GARAGE STOOPS Comments1: NO STOOPS					07/17/2017
PR	_____	007-STP STOOP					07/21/2017
_____	_____	001-FTG FOOTING	20170310	2757 CRANSTON CIR	131		07/06/2017
RE	_____	002-ESW ENGINEERING - SEWER / WAT Comments1: WATER & STORM					07/12/2017

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BC	_____	003-BKF BACKFILL					07/14/2017
PR	_____	004-PLU PLUMBING - UNDERSLAB					07/21/2017
PR	_____	005-BGS BASEMENT GARAGE STOOPS					07/31/2017
_____	_____	001-FTG FOOTING	20170311	2738 CRANSTON CIR	116		07/03/2017
_____	_____	002-FOU FOUNDATION					07/06/2017
PR	_____	003-ESW ENGINEERING - SEWER / WAT					07/10/2017
RE	_____	005-PLU PLUMBING - UNDERSLAB					07/14/2017
PR	10:00	006-BGS BASEMENT GARAGE STOOPS					07/20/2017
PR	_____ AM	001-FTG FOOTING	20170312	2742 CRANSTON CIR	115		07/03/2017
PR	_____	002-FOU FOUNDATION					07/07/2017
PR	_____	003-ESW ENGINEERING - SEWER / WAT					07/10/2017
BC	_____	004-BKF BACKFILL					07/12/2017
RE	_____	005-PLU PLUMBING - UNDERSLAB					07/14/2017
PR	_____	006-BGS BASEMENT GARAGE STOOPS					07/21/2017
_____	_____	001-FTG FOOTING	20170314	2795 CRANSTON CIR	140		07/06/2017
BC	_____	002-FOU FOUNDATION					07/11/2017
RE	_____	003-ESW ENGINEERING - SEWER / WAT					07/13/2017
		Comments1: WATER & STORM					
BC	_____	004-BKF BACKFILL					07/14/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB					07/21/2017
PR	_____	006-BGS BASEMENT GARAGE STOOPS					07/31/2017
PR	_____ AM	001-FTG FOOTING	20170315	2293 GRANDE TR	170		07/03/2017
BC	_____	002-FOU FOUNDATION					07/05/2017
PR	_____	003-ESW ENGINEERING - SEWER / WAT					07/10/2017
RE	_____	005-PLU PLUMBING - UNDERSLAB					07/13/2017

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BC	_____	006-BGS BASEMENT GARAGE STOOPS					07/17/2017
		Comments1: NO STOOPS					
PR	_____	007-STP STOOP					07/21/2017
PR	_____	003-BKF BACKFILL	20170316	302 WESTWIND DR	1		07/06/2017
PR	_____	004-FOU FOUNDATION					07/03/2017
BC	_____	002-FIN FINAL INSPECTION	20170317	2983 ELLSWORTH DR	398		07/05/2017
BC	_____	002-RFR ROUGH FRAMING	20170324	2523 LYMAN LOOP	20		07/14/2017
BC	_____ AM	002-RFR ROUGH FRAMING	20170327	2564 OVERLOOK CT	17		07/13/2017
BC	_____	004-FIN FINAL INSPECTION	20170337	1800 MARKETVIEW DR	4		07/27/2017
BC	_____ AM	002-TRN TRENCH - (GAS, ELECTRIC,	20170338	442 WINDETT RIDGE RD	190		07/07/2017
BC	_____	003-FIN FINAL INSPECTION					07/14/2017
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20170343	2417 SAGE CT	21		07/06/2017
PR	13:15	006-FIN FINAL INSPECTION	20170346	201 GARDEN ST	3		07/18/2017
BC	_____	003-BKF BACKFILL	20170375	2652 MCLELLAN BLVD	55		07/07/2017
PR	_____	004-WAT WATER					07/06/2017
RE	_____	005-PLU PLUMBING - UNDERSLAB					07/12/2017
BC	_____	006-BGS BASEMENT GARAGE STOOPS					07/17/2017
BC	_____	003-BKF BACKFILL	20170376	2651 MCLELLAN BLVD	46		07/07/2017
PR	_____	004-WAT WATER					07/06/2017
RE	_____	005-PLU PLUMBING - UNDERSLAB					07/12/2017
BC	_____	006-BGS BASEMENT GARAGE STOOPS					07/17/2017
BC	_____ AM	002-FTG FOOTING	20170377	2182 BURR CT	10		07/14/2017
PR	_____	003-FOU FOUNDATION					07/17/2017
PR	_____	005-WAT WATER					07/26/2017
BC	_____	001-PHF POST HOLE - FENCE	20170380	2679 LILAC WAY	319		07/05/2017

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INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	AM 001-FIN FINAL INSPECTION	20170381	347 GARDEN CIR			07/20/2017
BC	_____	001-FIN FINAL INSPECTION	20170385	402 E SOMONAUK ST			07/06/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB	20170386	2649 FAIRFAX WAY	256		07/05/2017
BC	_____	006-BSM BASEMENT FLOOR					07/06/2017
BC	_____	007-GAR GARAGE FLOOR					07/06/2017
PR	_____	AM 001-PPS PRE-POUR, SLAB ON GRADE	20170387	2741 PHELPS CT			07/25/2017
PR	_____	004-BSM BASEMENT FLOOR	20170389	1003 S CARLY CIR	88		07/10/2017
BC	_____	001-PHF POST HOLE - FENCE	20170390	923 S CARLY CIR	96		07/14/2017
BC	_____	001-FTG FOOTING	20170394	3355 RYAN DR	15		07/19/2017
BC	_____	003-BKF BACKFILL					07/27/2017
PR	_____	005-ESW ENGINEERING - SEWER / WAT					07/28/2017
PR	_____	006-ESS ENGINEERING - STORM					07/28/2017
BC	_____	001-FTG FOOTING	20170396	3457 RYAN DR	5		07/19/2017
BC	_____	AM 002-FOU FOUNDATION					07/24/2017
BC	_____	003-BKF BACKFILL					07/27/2017
PR	_____	005-ESS ENGINEERING - STORM					07/28/2017
PR	_____	006-ESW ENGINEERING - SEWER / WAT					07/28/2017
BC	_____	001-PHF POST HOLE - FENCE	20170398	2507 EMERALD LN	121		07/07/2017
BC	_____	001-FIN FINAL INSPECTION	20170403	107 COLONIAL PKWY			07/18/2017
BC	_____	001-FIN FINAL INSPECTION	20170404	561 W BARBERRY CIR	48		07/06/2017
BC	_____	AM 001-FIN FINAL INSPECTION Comments1: SHED	20170406	2138 KINGSMILL ST	115		07/13/2017
BC	_____	003-BKF BACKFILL	20170409	987 N CARLY CIR	122		07/03/2017
PR	_____	004-BSM BASEMENT FLOOR					07/10/2017
BC	_____	PM 005-GAR GARAGE FLOOR					07/18/2017

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PR	_____	006-ESW ENGINEERING - SEWER / WAT					07/19/2017
BC	_____	002-RFR ROUGH FRAMING	20170414	491 SUTTON ST	211		07/06/2017
BC	13:30	003-FIN FINAL INSPECTION					07/24/2017
BC	_____	002-RFR ROUGH FRAMING	20170415	101 E KENDALL DR			07/05/2017
BC	_____	AM 001-PHF POST HOLE - FENCE	20170420	2024 DEERPOINT LANE	158		07/18/2017
BC	_____	001-PHF POST HOLE - FENCE	20170421	2835 CRYDER WAY	480		07/07/2017
BC	_____	PM 001-PHD POST HOLE - DECK	20170428	872 N CARLY CIR	46		07/31/2017
BC	_____	002-REL ROUGH ELECTRICAL	20170432	874 CANYON TR	107		07/13/2017
BC	_____	AM 001-PPS PRE-POUR, SLAB ON GRADE	20170434	363 PENSACOLA ST.	1147		07/19/2017
BC	_____	002-BKF BACKFILL	20170437	1262 DEERPATH DR	230		07/12/2017
PR	_____	001-PHF POST HOLE - FENCE	20170440	208 SPRUCE CT	22		07/11/2017
PR	_____	001-TRN TRENCH - (GAS, ELECTRIC,	20170441	1818 COUNTRY HILLS DR A			07/05/2017
BC	_____	002-FIN FINAL INSPECTION					07/12/2017
BC	_____	003-FIN FINAL INSPECTION	20170443	310 E RIDGE ST	9		07/14/2017
BC	_____	001-FIN FINAL INSPECTION	20170444	520 E KENDALL DR	3		07/20/2017
BC	_____	001-FIN FINAL INSPECTION	20170448	544 YELLOWSTONE LN	63	07/18/2017	
		Comments1: NOT READY					
BC	_____	001-PHF POST HOLE - FENCE	20170449	108 BLACKBERRY CT	18		07/24/2017
PR	_____	PM 001-FTG FOOTING	20170455	418 ELM ST			07/25/2017
BC	_____	001-FTG FOOTING	20170457	2632 MCLELLAN BLVD	57		07/24/2017
BC	_____	AM 002-FOU FOUNDATION					07/26/2017
PR	_____	001-FTG FOOTING	20170460	1036 N CARLY CIR	59		07/10/2017
BC	_____	003-BKF BACKFILL					07/24/2017
PR	_____	004-PLU PLUMBING - UNDERSLAB					07/26/2017
BC	_____	001-FTG FOOTING	20170461	1027 N CARLY CIR	118		07/14/2017

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INSPECTIONS SCHEDULED FROM 07/01/2017 TO 07/31/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	002-FOU FOUNDATION					07/21/2017
PR	_____	003-BKF BACKFILL					07/27/2017
PR	_____	001-FTG FOOTING	20170462	961 PURCELL ST	60		07/06/2017
BC	_____	002-FOU FOUNDATION					07/11/2017
BC	_____	003-BKF BACKFILL					07/20/2017
PR	_____	004-ESW ENGINEERING - SEWER / WAT					07/24/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB					07/26/2017
BC	_____	006-BSM BASEMENT FLOOR					07/27/2017
PR	_____	001-BND POOL BONDING Comments1: NO POOL	20170463	504 W WASHINGTON ST		07/07/2017	
PR	_____	002-TRN TRENCH - (GAS, ELECTRIC,					07/07/2017
BC	_____	001-PHD POST HOLE - DECK	20170467	911 S CARLY CIR	97		07/07/2017
BC	10:30	001-FIN FINAL INSPECTION Comments1: EGRESS WINDOW	20170468	802 STATE ST			07/13/2017
BC	_____	001-PHD POST HOLE - DECK	20170470	1388 SLATE DR	383		07/06/2017
BC	13:00	001-PHF POST HOLE - FENCE	20170486	2396 HOLLENBACK CT	424		07/12/2017
BC	_____	001-FIN FINAL INSPECTION Comments1: SUPPORT BEAM	20170487	401 E KENDALL DR	27		07/21/2017
BC	_____	001-RFR ROUGH FRAMING	20170490	728 E VETERANS PKWY			07/11/2017
BC	_____	002-REL ROUGH ELECTRICAL Comments1: NOT READY				07/11/2017	
BC	_____	003-RMC ROUGH MECHANICAL Comments1: NOT READY				07/11/2017	
RE	_____	004-PLR PLUMBING - ROUGH Comments1: AIR CHAMBERS ON WATER PIPE, USE SANITARY Comments2: FITTINGS, CLEAN OUT AT BASE OF STACK					07/11/2017
PR	_____	005-REI REINSPECTION Comments1: ROUGH PLUMBING					07/17/2017

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INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	006-REL ROUGH ELECTRICAL					07/24/2017
PR	_____	007-ABC ABOVE CEILING					07/27/2017
PR	_____	008-FIN FINAL INSPECTION					07/31/2017
PR	_____	009-PLF PLUMBING - FINAL OSR READ					07/31/2017
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20170493	1344 CHESTNUT LN			07/13/2017
PR	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170496	333 BERTRAM DR.	1123		07/03/2017
BC	_____	002-FIN FINAL INSPECTION					07/14/2017
BC	_____	001-PHF POST HOLE - FENCE	20170499	1561 ORCHID ST	192		07/25/2017
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20170502	1328 CHESTNUT LN	13A		07/13/2017
BC	_____	001-PHF POST HOLE - FENCE	20170503	569 SUTTON ST	215		07/24/2017
BC	_____ AM	001-FTG FOOTING	20170508	437 SUTTON ST	206		07/26/2017
BC	_____	002-FOU FOUNDATION					07/27/2017
BC	_____	001-PHF POST HOLE - FENCE	20170520	2183 BLUEBIRD LN	2391		07/18/2017
BC	_____	002-FIN FINAL INSPECTION					07/20/2017
PR	_____	001-FIN FINAL INSPECTION	20170525	451 E BARBERRY CIR	150		07/27/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170532	1450 ASPEN LN			07/19/2017
BC	10:00	001-ROF ROOF UNDERLAYMENT ICE & W	20170535	208 WALNUT ST			07/14/2017
BC	_____	002-FIN FINAL INSPECTION					07/18/2017
_____	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20170540	103 W KENDALL DR	3		07/21/2017
BC	_____	001-FTG FOOTING	20170547	702 KENTSHIRE DR	120		07/31/2017
BC	_____	001-FTG FOOTING	20170549	2601 FAIRFAX WAY	250		07/31/2017
BC	_____ AM	001-FTG FOOTING	20170550	2629 FAIRFAX WAY	253		07/26/2017
BC	_____	002-FOU FOUNDATION					07/31/2017
BC	_____	001-PHF POST HOLE - FENCE	20170554	569 BURNING BUSH DR	117		07/31/2017

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INSPECTIONS SCHEDULED FROM 07/01/2017 TO 07/31/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	PM 001-PPS PRE-POUR, SLAB ON GRADE	20170558	2623 LILAC WAY	312		07/21/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170567	601 MILL ST			07/28/2017
BC	_____	001-PPS PRE-POUR, SLAB ON GRADE	20170590	3375 RYAN DR	13		07/31/2017

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INSPECTIONS SCHEDULED FROM 07/01/2017 TO 07/31/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE

PERMIT TYPE SUMMARY:		ADD ADDITION			4		
		AGP ABOVE-GROUND POOL			9		
		APT APARTMENT, CONDO			3		
		BIP BUILD INCENTIVE PROGRAM SFD			110		
		BSM BASEMENT REMODEL			1		
		CCO COMMERCIAL OCCUPANCY PERMIT			9		
		COM COMMERCIAL BUILDING			4		
		CRM COMMERCIAL REMODEL			1		
		DCK DECK			12		
		ESN ELECTRIC SIGN			1		
		FNC FENCE			14		
		MSC MISCELLANEOUS			4		
		PTO PATIO / PAVERS			6		
		REM REMODEL			2		
		ROF ROOFING			7		
		RPZ RPZ - BACKFLOW PREVENTION			1		
		SFD SINGLE-FAMILY DETACHED			79		
		SHD SHED/ACCESSORY BUILDING			2		
		SID SIDING			1		
		SOL SOLAR PANELS			1		
		WIN WINDOW REPLACEMENT			3		
INSPECTION SUMMARY:		ABC ABOVE CEILING			2		
		BGS BASEMENT GARAGE STOOPS			11		
		BKF BACKFILL			16		
		BND POOL BONDING			1		
		BSM BASEMENT FLOOR			8		
		EFL ENGINEERING - FINAL INSPECTION			6		
		EPW ENGINEERING- PUBLIC WALK			1		
		ESS ENGINEERING - STORM			2		
		ESW ENGINEERING - SEWER / WATER			14		
		FIN FINAL INSPECTION			35		
		FOU FOUNDATION			15		
		FTG FOOTING			23		
		GAR GARAGE FLOOR			6		
		INS INSULATION			7		
		PHD POST HOLE - DECK			5		
		PHF POST HOLE - FENCE			12		
		PLF PLUMBING - FINAL OSR READY			10		
		PLR PLUMBING - ROUGH			11		
		PLU PLUMBING - UNDERSLAB			19		
		PPS PRE-POUR, SLAB ON GRADE			7		
		REI REINSPECTION			3		
		REL ROUGH ELECTRICAL			11		
		RFR ROUGH FRAMING			16		
		RMC ROUGH MECHANICAL			8		
		ROF ROOF UNDERLAYMENT ICE & WATER			5		

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UNITED CITY OF YORKVILLE
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INSPECTIONS SCHEDULED FROM 07/01/2017 TO 07/31/2017

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		STP STOOP			3		
		TRN TRENCH - (GAS, ELECTRIC, ETC)			4		
		WAT WATER			4		
		WKS PUBLIC & SERVICE WALKS			9		
INSPECTOR SUMMARY:					5		
		BC BOB CREADEUR			129		
		BH BRIAN HOLDIMAN			1		
		PR PETER RATOS			112		
		RE RANDY ERICKSON			20		
		TK TOM KONEN			7		
STATUS SUMMARY:	C	BC			29		
	C	PR			17		
	C	RE			2		
	C	TK			6		
	I				5		
	I	BC			95		
	I	PR			93		
	I	RE			16		
	T	BC			5		
	T	BH			1		
	T	PR			2		
	T	RE			2		
	T	TK			1		
REPORT SUMMARY:					274		



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #3

Tracking Number

EDC 2017-55

Agenda Item Summary Memo

Title: Property Maintenance Report for June and July 2017

Meeting and Date: Economic Development Committee – September 5, 2017

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Informational

Council Action Requested: None

Submitted by: Pete Ratos Community Development
Name Department

Agenda Item Notes:

Have a question or comment about this agenda item?

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Memorandum

To: Economic Development Committee
From: Pete Ratos, Code Official
CC: Bart Olson, Krysti Barksdale-Noble, Lisa Pickering
Date: July 11, 2017
Subject: June Property Maintenance

Property Maintenance Report June 2017

Adjudication:

4 Property Maintenance Cases were heard in June

6/19/2017

N 3322	401 Honeysuckle Ln	Drainage	Dismissed
N 3511	3284 Pinewood Dr	Weeds	Dismissed
N 3512	4545 Marquette St	Weeds	Dismissed

6/26/2017

N 2683	804 Morgan St	Tampering with City Water Supply	Liabe \$150
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Case Report

06/01/2017 - 06/30/2017

Case #	Case Date	ADDRESS OF COMPLAINT	TYPE OF VIOLATION	STATUS	VIOLATION LETTER SENT	FOLLOW UP STATUS	CITATION ISSUED	DATE OF HEARING	POSTED	ADJUDICATION FINDINGS
20170269	6/29/2017	2544 Sumac Dr	Weeds and Grass	CLOSED					6/29/2017	
20170268	6/29/2017	2486 Sumac Dr	Weeds and Grass	CLOSED					6/29/2017	
20170267	6/29/2017	2344 Sumac Dr	Weeds and Grass	CLOSED					6/29/2017	
20170266	6/29/2017	642 Denise Ct	Weeds and Grass	CLOSED		COMPLIANT			6/29/2017	
20170265	6/29/2017	2342 Sumac Dr	Weeds and Grass	CLOSED					6/29/2017	
20170264	6/29/2017	1818 Country hills Dr	Weeds and Grass	PENDING						
20170263	6/29/2017	308 Blackberry Ln	Junk	PENDING						
20170262	6/29/2017	Lot in Mill Rd	Junk	PENDING						
20170261	6/29/2017	4062 Shoeper Ct	Weeds and Grass	IN VIOLATION					6/27/2017	
20170260	6/29/2017	4026 Brady St	Weeds and Grass	IN VIOLATION					6/27/2017	
20170259	6/29/2017	4043 Brady St	Weeds and Grass	IN VIOLATION					6/27/2017	
20170258	6/29/2017	4063 Brady St	Weeds and Grass	IN VIOLATION					6/27/2017	
20170257	6/29/2017	4083 Brady St	Weeds and Grass	IN VIOLATION					6/27/2017	
20170256	6/29/2017	2754 Crooker Dr	Weeds and Grass	IN VIOLATION					6/27/2017	
20170255	6/29/2017	4005 Brady St	Weeds and Grass	IN VIOLATION					6/27/2017	
20170254	6/28/2017	1482 Corner Stone Dr	Weeds and Grass	CLOSED		COMPLIANT			6/26/2017	
20170253	6/28/2017	1459 Wood Sage Ave	Weeds and Grass	CLOSED		COMPLIANT			6/26/2017	
20170252	6/28/2017	1313 Evergreen Ln	Junk	CLOSED		COMPLIANT				
20170251	6/27/2017	851 Green Field Turn	Vehicles	IN VIOLATION	6/27/2017					
20170250	6/26/2017	Lot 109 to 112 Blackberry Woods	Weeds and Grass	CLOSED		COMPLIANT			6/23/2017	
20170249	6/26/2017	Lot 84 to 91 Blackberry woods	Weeds and Grass	CLOSED		COMPLIANT			6/23/2017	
20170248	6/26/2017	1934 Raintree Rd	Junk	CLOSED		COMPLIANT				

20170247	6/26/2017	1305 Evergreen Ln	CAR PARKED IN SIDE YARD	IN VIOLATION						
20170246	6/26/2017	1539 WALSH DR	JUNK, REFUSE	CLOSED						
20170245	6/26/2017	1702 JOHN ST	WEEDS GRASS CARS	CLOSED		COMPLIANT			6/26/2017	
20170244	6/26/2017	1222 EVERGREEN LN	WEEDS GRASS	CLOSED						
20170243	6/22/2017	1439 Chestnut In	Weeds and Grass	CLOSED		COMPLIANT			6/22/2017	
20170242	6/22/2017	1958 Sunnyside Ct	Weeds and Grass	CLOSED		COMPLIANT			6/22/2017	
20170241	6/22/2017	1962 Sunnyside Ct	Weeds and Grass	CLOSED		COMPLIANT			6/22/2017	
20170240	6/22/2017	Lots 477 to 479 Cryder way	Weeds and Grass	CLOSED		COMPLIANT			6/21/2017	
20170239	6/22/2017	Lots 439 to 440 Cryder Way	Weeds and Grass	CLOSED		COMPLIANT			6/21/2017	
20170238	6/22/2017	432-433 Cryder Way	Weeds and Grass	CLOSED		COMPLIANT			6/21/2017	
20170237	6/22/2017	2976 Old Glory Dr	Weeds and Grass	CLOSED		COMPLIANT			6/21/2017	
20170236	6/22/2017	2948 Old Glory Dr	Weeds and Grass	CLOSED		COMPLIANT			6/21/2017	
20170235	6/22/2017	Lot 240 to 244 Old glory dr	Weeds and Grass	CLOSED		COMPLIANT			6/21/2017	
20170234	6/22/2017	2920 Old Glory Dr	Weeds and Grass	CLOSED		COMPLIANT			6/21/2017	
20170233	6/22/2017	Lot 273 to 279 Old Glory Dr	Weeds and Grass	CLOSED		COMPLIANT			6/21/2017	
20170232	6/20/2017	2866 Cranston Cir	Weeds and Grass	CLOSED		COMPLIANT			6/20/2017	
20170231	6/20/2017	2836 Cranston Cir	Weeds and Grass	CLOSED		COMPLIANT			6/20/2017	
20170230	6/20/2017	2298 Cranston Cir	Weeds and Grass	CLOSED		COMPLIANT			6/20/2017	
20170229	6/20/2017	2726 Cranston Cir	Weeds and Grass	CLOSED		COMPLIANT			6/20/2017	
20170228	6/20/2017	2058 Ingemunson Ln	Weeds and Grass	CLOSED		COMPLIANT			6/16/2017	
20170227	6/20/2017	2046 Ingemunson Ln	Weeds and Grass	CLOSED		COMPLIANT			6/16/2017	
20170226	6/20/2017	2034 Ingemunson Ln	Weeds and Grass	CLOSED		COMPLIANT			6/16/2017	
20170225	6/20/2017	2022 Ingemunson Ln	Weeds and Grass	CLOSED		COMPLIANT			6/16/2017	
20170224	6/20/2017	2010 Ingemunson Ln	Weeds and Grass	CLOSED					6/16/2017	
20170223	6/20/2017	618 Green Field turn	Weeds and Grass	CLOSED		COMPLIANT			6/16/2017	
20170222	6/20/2017	104 W. Main St.	Drainage	COMPLIANT						
20170221	6/15/2017	Lot 54 to 57 N Carly cir	Weeds and Grass	CLOSED		COMPLIANT			6/15/2017	
20170220	6/15/2017	Lot 129 N Carly Cir	Weeds and Grass	CLOSED		COMPLIANT			6/15/2017	

20170219	6/15/2017	1373 E Spring St	Weeds and Grass	CLOSED		COMPLIANT			6/15/2017	
20170218	6/15/2017	1312 E Spring St	Weeds and Grass	CLOSED		COMPLIANT			6/15/2017	
20170217	6/15/2017	1386 Spring St	Weeds and Grass	CLOSED		COMPLIANT			6/15/2017	
20170216	6/15/2017	1142 Kate Dr	Weeds and Grass	CLOSED		COMPLIANT			6/15/2017	
20170215	6/15/2017	1152 Kate Dr	Weeds and Grass	CLOSED		COMPLIANT			6/15/2017	
20170214	6/15/2017	1162 Clearwater Dr	Weeds and Grass	CLOSED		COMPLIANT			6/15/2017	
20170213	6/15/2017	1122 W Veterans Pkwy	Weeds and Grass	IN VIOLATION		IN VIOLATION	6/26/2017	7/31/2017	6/15/2017	
20170212	6/15/2017	Lot in John St	Weeds and Grass	IN VIOLATION			6/26/2017	7/31/2017	6/15/2017	
20170211	6/15/2017	Lot 61 to 63 Purcell St	Weeds and Grass	CLOSED		COMPLIANT			6/15/2017	
20170210	6/15/2017	202 Church St	Vehicles	IN VIOLATION	6/16/2017					
20170209	6/15/2017	503 Colton St	Vehicles	IN VIOLATION						
20170208	6/15/2017	Lot 64 to 65 Purcell St	Weeds and Grass	CLOSED		COMPLIANT			6/14/2017	
20170207	6/15/2017	Lot 51 N Carly Cir	Weeds and Grass	CLOSED		COMPLIANT			6/14/2017	
20170206	6/15/2017	Lot 81 to 84 Purcell St	Weeds and Grass	CLOSED		COMPLIANT			6/14/2017	
20170205	6/15/2017	501 Martin Ave	Corner clearance, vehicle, sidewalk	IN VIOLATION	6/15/2017					
20170204	6/13/2017	808 Parkside Ln	Weeds and Grass	CLOSED		COMPLIANT			6/13/2017	
20170203	6/13/2017	2109 Hartfield Ave	Weeds and Grass	CLOSED		COMPLIANT			6/13/2017	
20170202	6/12/2017	112 S Conover Ct	Weeds and Grass	IN VIOLATION					6/12/2017	
20170201	6/13/2017	2112 Hartfield Ave	Weeds and Grass	CLOSED		COMPLIANT			6/9/2017	
20170200	6/9/2017	2104 Hartfield Ave	Weeds and Grass	CLOSED		COMPLIANT			6/9/2017	
20170199	6/9/2017	2121 Hartfield Ave	Weeds and Grass	CLOSED		COMPLIANT			6/9/2017	
20170198	6/9/2017	2120 Hartfield Ave	Weeds and Grass	CLOSED		COMPLIANT			6/9/2017	
20170197	6/9/2017	2155 Hartfield Ave	Weeds and Grass	CLOSED		COMPLIANT			6/9/2017	
20170196	6/8/2017	2204 Kingsmill St	Weeds and Grass	IN VIOLATION		IN VIOLATION	6/26/2017	7/31/2017	6/8/2017	
20170195	6/8/2017	Lot 267 - 268 Phelps Ct	Weeds and Grass	CLOSED		COMPLIANT			6/8/2017	
20170194	6/8/2017	Lot 267 - 268 Phelps Ct	Weeds and Grass	DUPLICATE						

20170193	6/8/2017	Lot 250-257 Fairfax way	Weeds and Grass	CLOSED					6/8/2017	
20170192	6/8/2017	Lot 107 - 108 Caufield Pt	Weeds and Grass	CLOSED		COMPLIANT			6/8/2017	
20170191	6/8/2017	795 Kenshire Dr	Weeds and Grass	CLOSED		COMPLIANT			6/8/2017	
20170190	6/8/2017	147 - 150 Fitzhugh Turn	Weeds and Grass	CLOSED		COMPLIANT			6/8/2017	
20170189	6/8/2017	Lot 167 - 170 Windett Ridge Rd	Weeds and Grass	CLOSED		COMPLIANT			6/8/2017	
20170188	6/8/2017	522 Windett Ridge Rd	Weeds and Grass	CLOSED		COMPLIANT			6/8/2017	
20170187	6/8/2017	510 Windett Ridge Rd	Weeds and Grass	CLOSED		COMPLIANT			6/8/2017	
20170186	6/8/2017	502 Windett Ridge Rd	Weeds and Grass	CLOSED		COMPLIANT			6/8/2017	
20170185	6/8/2017	311 Sutton St	Weeds and Grass	CLOSED		COMPLIANT			6/8/2017	
20170184	6/8/2017	437 Sutton St	Weeds and Grass	CLOSED		COMPLIANT			6/8/2017	
20170183	6/8/2017	622 Sutton St	Weeds and Grass	CLOSED		COMPLIANT			6/8/2017	
20170182	6/8/2017	2875 Cryder Way	Weeds and Grass	CLOSED		COMPLIANT			6/7/2017	
20170181	6/8/2017	2867 Old Glory Dr	Weeds and Grass	CLOSED		COMPLIANT			6/7/2017	
20170180	6/8/2017	2968 Old Glory Dr	Weeds and Grass	CLOSED		COMPLIANT			6/7/2017	
20170179	6/8/2017	2962 Old GLory Dr	Weeds and Grass	CLOSED		COMPLIANT			6/7/2017	
20170178	6/8/2017	2954 Old Glory Dr	Weeds and Grass	CLOSED		COMPLIANT			6/7/2017	
20170177	6/6/2017	491 Sutton St.	Working w/o permit	CLOSED	6/7/2017	COMPLIANT				
20170176	6/6/2017	342 Westwind Dr	Weeds and Grass	CLOSED		COMPLIANT			6/6/2017	
20170175	6/6/2017	1124 Homestead Dr	Junk in the backyard	CLOSED	6/9/2017	COMPLIANT				
20170174	6/6/2017	745 Hayden Dr	Weeds and Grass	IN VIOLATION		IN VIOLATION	6/26/2017	7/31/2017	6/6/2017	
20170173	6/5/2017	378 Timbalier St	Weeds and Grass	CLOSED		COMPLIANT			6/2/2017	
20170172	6/5/2017	382 Timbalier St	Weeds and Grass	CLOSED		COMPLIANT			6/2/2017	
20170171	6/5/2017	2771 Elden Dr	Vehicles	CLOSED	6/5/2017	COMPLIANT				
20170170	6/5/2017	307 Illini Dr	Weeds and Grass	CLOSED		COMPLIANT			6/5/2017	
20170169	6/5/2017	510 Walsh Cir.	Grass/Weeds	CLOSED		COMPLIANT			6/6/2017	
20170168	6/2/2017	113 E ORANGE ST	DIRT STOCKPILE	CLOSED						
20170167	6/1/2017	2203 Olive Ln	Weeds and Grass	CLOSED		COMPLIANT			5/31/2017	
20170166	6/1/2017	2301 Iroquois Ln	Grass/Weeds	PENDING						
20170165	6/1/2017	433 E. Barberry Circle	Grass/Weeds	IN VIOLATION					5/31/2017	

20170164	6/1/2017	507 Heartland Dr.	Grass/Weeds	CLOSED						

Total Records: 106

7/11/2017



Memorandum

To: Economic Development Committee
From: Pete Ratons, Code Official
CC: Bart Olson, Krysti Barksdale-Noble, Lisa Pickering
Date: July 31, 2017
Subject: July Property Maintenance

Property Maintenance Report July 2017

Adjudication:

10 Property Maintenance Cases were heard in July

7/10/2017

N 3513	1690 Cannonball Tr	Weeds	Liabe \$100
--------	--------------------	-------	-------------

7/17/2017

N 2684	977 N Carly Cir	Tampering/City Water Supply	Liabe \$75
N 3515	145 Fountainview Dr	Weeds	Dismissed
N 3516	161 Fountainview Dr	Weeds	Dismissed
N 3517	Lot 2 Fountain Village	Weeds	Dismissed
N 3520	407 Adams St	Weeds	Dismissed

7/31/2017

N 3524	Lot 5 John St	Weeds	Dismissed
N 3523	1122 W Veterans Pkwy	Weeds	Dismissed
N 3521	745 Hayden Dr	Weeds	Dismissed
N 3522	2204 Kingsmill St	Weeds	Dismissed

Case Report

07/01/2017 - 07/31/2017

Case #	Case Date	ADDRESS OF COMPLAINT	TYPE OF VIOLATION	DOWNTOWN SWEEP	STATUS	VIOLATION LETTER SENT	CITATION ISSUED	DATE OF HEARING	POSTED	PUBLIC WORKS TO MOW	ADJUDICATION FINDINGS
20170313	7/27/2017	1962 Meadowlark Ln	Weeds and Grass		IN VIOLATION				7/27/2017		
20170312	7/27/2017	1956 Meadowlark Ln	Weeds and Grass		IN VIOLATION				7/27/2017		
20170311	7/27/2017	Lot 21 to 23 Wood Sage Ave	Weeds and Grass		IN VIOLATION				7/26/2017		
20170310	7/27/2017	1477 Wood Sage Ave	Weeds and Grass		IN VIOLATION				7/26/2017		
20170309	7/27/2017	1456 Wood sage Ave	Weeds and Grass		IN VIOLATION				7/26/2017		
20170308	7/26/2017	372 Westwind dr	Weeds and Grass		IN VIOLATION				7/26/2017		
20170307	7/26/2017	1482 Cornerstone dr	Weeds and Grass		IN VIOLATION				7/26/2017		
20170306	7/26/2017	206 Heustis	Vehicles,Fence,Grass and Weeds		IN VIOLATION	7/28/2017					
20170305	7/26/2017	Lot in Liberty St	Weeds and Grass		IN VIOLATION				7/25/2017		
20170304	7/26/2017	804 Bristol Ave	Weeds and Grass		IN VIOLATION				7/25/2017		
20170303	7/26/2017	Lot in freemont	Weeds and Grass		IN VIOLATION				7/25/2017		
20170302	7/26/2017	1131 Grace Dr	Weeds and Grass		IN VIOLATION				7/24/2017		
20170301	7/26/2017	1105 Grace Dr	Weeds and Grass		IN VIOLATION				7/24/2017		
20170300	7/26/2017	1095 Grace Dr	Weeds and Grass		IN VIOLATION				7/24/2017		
20170299	7/26/2017	1152 Kate Dr	Weeds and Grass		IN VIOLATION				7/24/2017		
20170298	7/26/2017	1142 Kate Dr	Weeds and Grass		IN VIOLATION				7/24/2017		
20170297	7/26/2017	1386 Spring St	Weeds and Grass		IN VIOLATION				7/24/2017		
20170296	7/26/2017	1312 E Spring St	Weeds and Grass		IN VIOLATION				7/24/2017		

20170295	7/20/2017	Lot 2 Fountainview Village	Weeds and Grass		IN VIOLATION		7/28/2017	8/28/2017	7/20/2017		
20170294	7/20/2017	7311 Rt 47	Weeds and Grass		IN VIOLATION		8/3/2017	9/6/2017	7/20/2017		
20170293	7/19/2017	Lot behind Ground effects	Weeds and Grass		CLOSED						
20170292	7/19/2017	407 A E Elm St	Weeds and Grass		IN VIOLATION				7/19/2017		
20170291	7/19/2017	Lot in Caledonia Ct	Weeds and Grass		IN VIOLATION				7/19/2017		
20170290	7/18/2017	3395 Ryan Dr.	Storm Drain		CLOSED						
20170289	7/18/2017	977 N Carly cir	Tampering with city water Supply		IN VIOLATION		6/15/2017	7/17/2017			Liabe \$ 75.00
20170288	7/18/2017	2612 Fairax	Weeds and Grass		COMPLIANT						
20170287	7/17/2017	1427 CANNONBALL TR	BROKEN SIGN POST		CLOSED						
20170286	7/13/2017	874 FLINT CREEK	WEEDS GRASS		COMPLIANT						
20170285	7/12/2017	VACANT LOTS NORTH SIDE OF BLACKBERRY SHORE LN	WEEDS GRASS		CLOSED						
20170284	7/11/2017	708 E. Veterans Pkwy	Off site advertising, no permit		CLOSED	7/12/2017					
20170283	7/7/2017	565 Redhorse Lane	Grass/Weeds		CLOSED						
20170282	7/5/2017	1268 S Bridge St	Weeds and Grass		IN VIOLATION		7/18/2017	8/21/2017	7/5/2017		
20170281	7/5/2017	310 Blackberry Ln	Weeds and Grass		CLOSED	7/5/2017					
20170280	7/5/2017	320 Blackberry Ln	Weeds and Grass		CLOSED				7/5/2017		
20170279	7/3/2017	111 E Park St	Pool with out fence		CLOSED	7/5/2017					
20170278	7/3/2017	1153 Heartland Dr	Weeds and Grass		CLOSED						
20170277	7/3/2017	Lot in Caledonia	Weeds and Grass		IN VIOLATION				6/30/2017		
20170276	7/3/2017	3284 Pinewood Dr	Weeds and Grass		IN VIOLATION		7/21/2017	8/21/2017	6/30/2017		
20170275	7/3/2017	Lot 276 to 282 Elden Dr	Weeds and Grass		CLOSED				6/30/2017		

20170274	7/3/2017	2741 Elden Dr	Weeds and Grass		CLOSED				6/30/2017		
20170273	7/3/2017	Lots 284 to 297 McMurtrie way	Weeds and Grass		CLOSED				6/30/2017		
20170272	7/3/2017	Lots 192 to 201 McMurtrie way	Weeds and Grass		CLOSED				6/30/2017		
20170271	7/3/2017	Lot 75 to 79 Twin leaf Trl	Weeds and Grass		CLOSED				6/30/2017		
20170270	7/3/2017	8721 ROUTE 126	OFF STREET PARKING/ Commercial Vehicle		IN VIOLATION	7/5/2017					

Total Records: 44

8/3/2017



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #4

Tracking Number

EDC 2017-56

Agenda Item Summary Memo

Title: Economic Development Report for July and August 2017

Meeting and Date: Economic Development Committee – September 5, 2017

Synopsis: See attached.

Council Action Previously Taken:

Date of Action: N/A Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: _____

Submitted by: Bart Olson Administration
Name Department

Agenda Item Notes:

Have a question or comment about this agenda item?

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651 Prairie Pointe Drive, Suite 102 • Yorkville, Illinois 60560
Phone 630-553-0843 • FAX 630-553-0889

Monthly Report – for August 2017 EDC Meeting of the United City of Yorkville

July 2017 Activity

Downtown Redevelopment:

- Met with the owners of 1836 Drink Lab and Provisions, as they prepare to open in August. They are now finalizing the remainder of the staff. They hope to be doing a soft open mid-August. The restaurant will be open from Wednesday through Sunday for DINNER only. They will be closed on Monday and Tuesday. Eventually they will add lunch on weekends, but that will not be for a while. The restaurant will be “chef driven”, and will include a very extensive wine list. It could be said that they will carry a variety of more wines than any other suburban restaurant.

Development south of Fox River:

- Working with other parties interested in leasing other space in existing centers near Route 47 & 71. This is for general small space retail.
- Working with owner of out lot and building that is half completed at Stagecoach Crossing to spur continued development on the site. At this time we are working on financing and application for Enterprise Zone status.

Development north of the Fox River:

- Kendall Crossing...Sonny Shah will host a formal groundbreaking for the Holiday Inn Express and Suites Hotel, and Banquet and Conference Center on Tuesday, August 15th. You should have all received your invitation. We will start meeting with the architect for the Banquet and conference center shortly.
- Kendall Marketplace...Working with Alex Berman (owner) to identify potential additional development on the project. Alex is working on developing a multi-tenant out lot building to attract small restaurants to the site. Alex has also entered into a contract for the purchase of the 28 single family lots with a local builder. These lots will close by the end of the third quarter of the year. The junior box approval is getting closer, as more of the existing retailers have “signed off” on the new addition.
- Working with a developer interested in assembling parcels on Route 47 north of the river to create a small retail development site that would allow for a combination of single use buildings and multi-tenant buildings. I am also working with that developer as he has relationships with retailers looking at the site.
- Working with Casey's General Store to develop a property on Route 34 at McHugh, and will offer self-service fuel, a wide variety of grocery items, and prepared foods such as pizza, donuts, chicken tenders, and sandwiches.
- Working with interested party on re-development of the former “The National Bank” building at Route 47 and Cannonball Trail.
- Working another convenience store/ fuel station that is looking at sites in Yorkville.
- Working with a national fast food restaurant and a national quick casual restaurant looking for sites in Yorkville.
- Groundbreaking for Cedarhurst of Yorkville has been formally set for Tuesday, August 1st at 3PM.

Industrial Development:

- Working with Joyce Sloan, the industrial broker, who is the listing agent on Lincoln Prairie on Eldamain Road.
- Working with Wrigley to meet their needs to increase their production of Skittles in the Yorkville plant.

Recreational Development:

- Continue to work with Justine Brummel on “Go For It Sports” facility.

Other Activity:

- Appeared on Fox Valley Today TV show and Community Forum radio show to prompt growth and opportunities in Yorkville.
- Attended the quarterly SBA meeting in Chicago to stay informed on programs and give Yorkville business a competitive edge in financing options.

Respectfully submitted,

A handwritten signature in cursive script, reading "Lynn Dubajic".

Lynn Dubajic
651 Prairie Pointe Drive, Suite 102
Yorkville, IL 60560
lynn@dlkllc.com
630-209-7151 cell



651 Prairie Pointe Drive, Suite 102 • Yorkville, Illinois 60560
Phone 630-553-0843 • FAX 630-553-0889

Monthly Report – for September 2017 EDC Meeting of the United City of Yorkville

August 2017 Activity

Downtown Redevelopment:

- Working with an entrepreneur who is new to Yorkville and interested in building a unique restaurant in the downtown area. This experienced restaurant operator desires to have the building become a very special “place” and would like to incorporate the natural beauty of the Fox River into their plan. They have the property under contract, and will begin the rezoning process immediately. This entrepreneur also has a vast knowledge of nature and the environment. I am hopeful that I will be able to answer more questions about the project on Tuesday evening.

Development south of Fox River:

- Working with owner of out lot and building that is half completed at Stagecoach Crossing to spur continued development on the site. At this time we are working on financing and application for Enterprise Zone status.

Development north of the Fox River:

- Kendall Crossing...Sonny Shah has applied for permits. Work will begin shortly.
- Yorkville Dairy Queen has been approved as the only official training store in the State of Illinois. The Patel's will host groups of assistant and general managers, franchisee owners and even corporate consultants for training. This means that groups of 5 people will be coming to Yorkville for 15 days of training, and that this will happen approximately 10 times a year. This will create about 750 stays in our hotels.
- Kendall Marketplace...Working with Alex Berman (owner) to identify potential additional development on the project. Alex is working on developing a multi-tenant out lot building to attract small restaurants to the site. Alex has also entered into a contract for the purchase of the 28 single family lots with a local builder. These lots will close by the end of the third quarter of the year. The junior box approval is getting closer, as more of the existing retailers have “signed off” on the new addition.
- Working with a developer interested in assembling parcels on Route 47 north of the river to create a small retail development site that would allow for a combination of single use buildings and multi-tenant buildings. I am also working with that developer as he has relationships with retailers looking at the site.
- Working with developer interested in a significant parcel along Route 34 for development. This project would allow for free standing outlot development, and a multi-tenant building to be built.

Industrial Development:

- Working with Joyce Sloan, the industrial broker, who is the listing agent on Lincoln Prairie on Eldamain Road.
- Working with Wrigley to meet their needs to increase their production of Skittles in the Yorkville plant.

Recreational Development:

- Continue to work with Justine Brummel on “Go For It Sports” facility.

Other Activity:

- Attended the quarterly KEDA Meeting in Montgomery to discuss issues that are facing all of the communities in the county.

Respectfully submitted,

Lynn Dubajic
651 Prairie Pointe Drive, Suite 102
Yorkville, IL 60560
lynn@dlkllc.com
630-209-7151 cell



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #5

Tracking Number

EDC 2017-57

Agenda Item Summary Memo

Title: Downtown Overlay District - RFP

Meeting and Date: Economic Development Committee – September 5, 2017

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required:

Council Action Requested: _____

Submitted by: Krysti J. Barksdale-Noble, AICP Community Development
Name Department

Agenda Item Notes:

See attached memo and report.

Have a question or comment about this agenda item?

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Memorandum

To: Economic Development Committee
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Date: June 29, 2017
Subject: **Downtown Overlay District - RFP**

Summary

Approval of an RFP for the City's Downtown Overlay District for a Streetscape Master Plan with Formed Based Code Design elements.

Background

As the Economic Development Committee will recall, the City approved an update to the Comprehensive Plan in September 2016. As part of the strategies toward implementing the identified planning goals in the adopted Comprehensive Plan, there was a recommendation that the City enhance the visual appearance, pedestrian environment and functionality of downtown Yorkville. The following strategies/initiatives were listed as actionable items that should be ongoing or accomplished within 2 years of the adoption of the plan:

- Enhance Streetscape appearance and improve walkability of Hydraulic, Main and Van Emmon Streets.
- Create Public Parking Areas.
- Facilitate building rehabilitation and façade improvements.
- Implement gateway finding, wayfinding, landscaping, and other placemaking treatments.
- Promote high quality development design.
- Consider zoning overlays, new design standards or other tools to promote desired corridor character.

The attached draft RFP addresses these identified area and is a standard form for planning consultants. It asks each firm to explain why they are qualified for the project, what their organization looks like, which staff from their organization would be tasked with our project, how they plan on completing our project, and what their schedule for our project would be. We are also asking for three previous examples of comprehensive plans completed for other municipalities.

The proposed RFP must be approved by City Council before it can be sent to prospective consultants. While the RFP would be publicly available to all qualified companies, we will also be sending it directly to several companies. Below is a tentative timeline for awarding the contract to a consultant.

MEETING/TASK	DATE/DEADLINE
EDC	August 1, 2017
City Council	August 8, 2017

Publication of RFP	August 10, 2017
Submittal Deadline	September 1, 2017
Review Deadline	September 15, 2017
Interviews	September 25 – 29, 2017
EDC recommendation of contract award	November 7, 2017
City Council contract award	November 14, 2017

Recommendation

Staff is recommending approval of the RFP as drafted for the Downtown Overlay District and will be available at Tuesday night's meeting to address any questions the Committee may have regarding this item.

THE UNITED CITY OF YORKVILLE

REQUEST FOR PROPOSALS



DOWNTOWN OVERLAY DISTRICT STREETSCAPE MASTER PLAN FORM BASED CODE

SUBMITTAL DEADLINE: FRIDAY, SEPTEMBER 1, 2017



UNITED CITY OF YORKVILLE
COMMUNITY DEVELOPMENT DEPARTMENT

📍 800 Game Farm Road, Yorkville, Illinois

📶 www.yorkville.il.us

☎ 630.553.8573

.....

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- MAJOR DELIVERABLES
- PRELIMINARY PROJECT SCHEDULE

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 - SUBLETTING OF CONTRACT
 - CHANGES IN SCOPE OF SERVICES & PERSONNEL
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BACKGROUND

THE CITY OF YORKVILLE

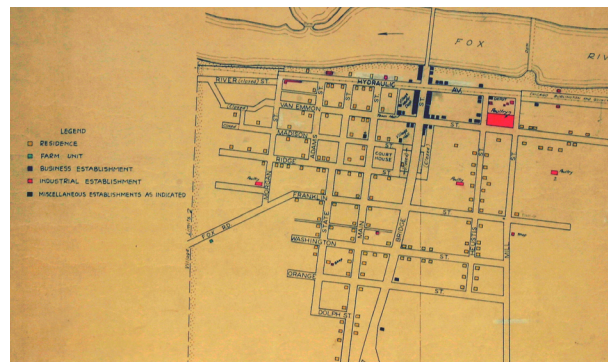
REGIONAL CONTEXT

Yorkville is one of 284 municipalities that comprise the Chicago metropolitan region, a region that extends geographically over eight counties and includes a population of approximately 8.3 million people. Yorkville is located 50 miles southwest of the City of Chicago, south of Interstate 88 (Ronald Reagan Memorial Highway) and Illinois Route 56, and north and west of Interstate 55 (Stevenson). Its corporate boundaries generally include Base Line Road (Illinois Route 30) to the north, Fairfax Way to the south, Galena Road to the northwest, Veterans Parkway and American Way Road to the east, Illinois Route 126 and Ashley Road to the southwest, West Fox Road and Popular Drive to the southwest, and Eldamain Road to the west. Yorkville is divided in two by the Fox River, which extends from Colgate, Wisconsin to the north to Ottawa, Illinois at the confluence of the Illinois River 31 miles to the southwest.

In addition to its relative proximity to the two Interstates and other arterials that connect Yorkville to adjacent and nearby suburbs and communities, the Chicago region's two airports, Midway International (44 miles) and O'Hare International (50 miles) are within one hour to 90 minute drive times. In addition, Yorkville is located near other small and mid-sized airports, including DuPage County, Joliet Regional, Cushing Airfield, the Aurora Municipal Airport, and the Hinckley Airport in DeKalb County. Yorkville is not currently served by Metra, the northeastern Illinois commuter rail system; the nearest station to Yorkville is 13 miles to the northeast located in the Aurora Transportation Center in downtown Aurora. Bus and other transit services are provided locally in Yorkville by Kendall Area Transit operated by Kendall County. Yorkville's transportation options and connections to other parts of Kendall County and Fox Valley region makes Yorkville fairly accessible and attractive for prospective businesses and residents to locate in the community.

HISTORIC CONTEXT

The Kendall County and Yorkville area was first settled around 1829 by pioneers and newcomers from the New York state and New England. Although the Blackhawk War of 1832 briefly slowed settlement, the prospect of cheap and fertile land for agriculture and navigable transportation along the Fox River and nearby trails continued to attract many to the area. The first reported permanent structure in Yorkville was built in 1833 by Earl Adams, located south of the Fox River, atop of the hill which is now home to the Kendall County Courthouse. During the same time, Lyman and Burr Bristol began to develop property north of the Fox River. During the years from 1834 to 1836 the community of Bristol, was platted north of the Fox River. In 1835, the Bristol brothers sold their claim on the south side of the Fox River to two cousins, Rulief Duryea and James Cornell, who were originally



1940 Downtown Zoning Map



Historic Photo of Downtown along Bridge Street



Sunset over waterfront along Riverfront Park

from New York. In the following year, Duryea laid out the village of Yorkville. In 1856, Captain F.M. Hobbs, laid out the village square in Bristol, which would later be incorporated in 1861 with Yorkville following in 1887. Yorkville's designation as the Kendall County seat in 1859 would guarantee the future growth and development of Yorkville and Bristol.

The advent of the railroad to Yorkville in the 1870's spurred the growth of downtown Yorkville with businesses that took advantage of the area's natural resources – businesses that included Squire Dingee's pickle factory, the Yorkville Ice Company, which sold the harvest from the Fox River, and the Renbehn Brothers button factory whose product was made from clam shell found in the Fox River. Several buildings in downtown Yorkville date from this period of development. These communities continued to grow as similar, but separate entities for over 100 years. The two entities merged as the United City of Yorkville in 1957. The Kendall County Courthouse was originally built in 1864 on the same location it is today. Despite a fire in 1887, the exterior walls of the courthouse are still the same ones built in 1864. Kendall County offices have expanded since the Courthouse was originally built in 1864. Additions were added to the courthouse in the 1950's along with satellite buildings/office space built in 1975 across the street and a new jail, at US 34 and Cannonball Trail, opening in 1992.

In 1997, a new courthouse was built to service Kendall County on US 34, and expansion plans are currently underway for the property on US 34 in 2008. The historic courthouse still remains in use serving as offices for other county departments.

Additional community and government information can be found about the United City of Yorkville on our website at <http://www.yorkville.il.us>.

PROJECT SUMMARY

The United City of Yorkville is soliciting sealed proposals from qualified firms with considerable experience in creating downtown overlay district development and façade design guidelines with an emphasis in streetscape master planning and form-based code criteria. Interested consultants must submit proposals as described herein no later than **4:00pm on Friday, September 1, 2017.**

SCOPE OF SERVICES

PROPOSAL REQUIREMENTS

Proposals will be considered only from qualified firms with a preference to firms that are based in Illinois and familiar with Illinois law. Each proposal will consist of a maximum of 25 pages (excluding appendices) and should include the following:

Letter of Transmittal - prepared on company letterhead identifying the name of the key contact, address, phone number and email address.

Executive Summary - succinct explanation of the Consultant's interest in the project and why the firm is uniquely qualified for this project.

Organizational Profile - brief description of the firm's structure and capabilities, length of time in business, and previous work experience.

Proposed Project Team - provide resumes of all personnel, including outside consultants that will be assigned to the project including specific experiences each team member will contribute to the project. Identify and define their individual roles.

Previous Project Summaries - list including reference contact information, for a minimum of three (3) projects which are similar in scope to the project described also identifying key personnel who worked on each project listed. The City reserves the right to contact any references provided herein or otherwise obtained.

Methodology - explanation of general technical approaches and processes to be employed for executing the requirements of the Project Components provided herein, which includes a detailed outline of the proposed services.

Project Schedule - the proposed amount of time presented in months and as a percentage of total workload. Indication of proposed milestones should also be included. The City reserves the right to negotiate work tasks and schedule prior to finalizing a contract with the selected firm.

Project Fees - provide a fee breakdown of the proposed fees of the research project, with appropriate explanatory detail justifying costs and calculations. Please submit hourly rates for each individual as well.

Signature/Certification - proposal must be signed by an official authorized to bind the offer and shall contain a statement that the proposal is a firm offer guaranteed for a ninety (90) day period from the submittal deadline. The proposal shall also provide the following information: name, title, address, telephone number and e-mail address of the person(s) with authority to contractually bind the company and also who may be contacted during the period of proposal evaluation for the purpose of clarifying submitted information.

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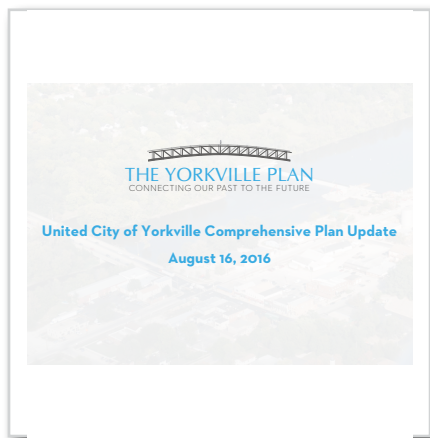
PROJECT COMPONENTS

The intent of the Yorkville Downtown Overlay District is to protect the scenic and natural qualities of the corridor that are valued by the community, as well as to promote the quality development and land use along the corridor. The guidelines are to allow flexibility for the aesthetics of the corridor and to encourage compatibility with the character of the area without stifling the creativity of designers.

The consultant shall assist the City in establishing goals, objectives, implementation strategies, design, and development guidelines to implement the vision. It is the intent that these documents, through their adoption and implementation, will allow for the establishment of consistent patterns of high-quality, efficient and economically successful development.

The following shall be addressed:

- Create a vision for the ultimate physical development of the corridor, including illustrated best practices for design standards that establish aesthetic guidelines. This shall include massing examples, pavement improvements, building orientation, parking availability, pedestrian improvements as well as other design standards that are visually appropriate.
- Develop design standards based on the adopted Comprehensive Plan.
- Develop a “Downtown IL Route 47 Corridor Overlay District” along with necessary amendments to the zoning ordinances and subdivision regulations.
- Identify opportunities for proposed enhancements to beautify the corridor and improve economic development while providing regulatory measures to protect the historic and scenic qualities of the corridor. This would include material recommendations, color palettes, public art, signage, and public spaces.
- Develop and build consensus by using key stakeholders throughout the process including citizen, businesses, property owners, elected and appointed officials. A web portal is preferred to solicit comments from those that are unable to attend meetings or events.



REFERENCE MATERIALS

- **United City of Yorkville Comprehensive Plan Update 2016**
www.yorkville.il.us/383/Comprehensive-Plan
- **Downtown Parking Study** (*provided upon request*)
- **Downtown Landscape Hill Project** (*provided upon request*)
- **Yorkville GIS Mapping**
www.yorkville.il.us/369/GIS-Mapping
- **Integrated Transportation Plan**
<http://www.yorkville.il.us/388/Integrated-Transportation-Plan>

DELIVERABLES

- The Consultant will be responsible for reproduction of the final plan document in hardcopy form for a total of twenty-five (25) copies.
- The Consultant will be responsible for providing the draft and final documents in both electronic formats (Microsoft Word and Adobe PDF) allowing reproduction, revision, and web posting by City staff.
- The Consultant will format the document in 8½" x 11" (vertically oriented) format. Maps shall be produced in ArcGIS™ format of 24" x 36", with the capability of being legibly reduced to 11"x17" format for inclusion into the final hardcopy form.
- Digitize new maps, input data and create new GIS layers, and incorporate selected maps from existing work products to produce new GIS Maps. The United City of Yorkville utilizes an engineering consulting firm for some of its GIS mapping services; however ESRI® ArcMap™ and ArcView™ platforms are used by internal department staff.
- Three dimensional (3D) digital models of massing examples and potential architectural details of the IL Route 47 corridor between Fox Street and the Fox River, utilizing either Trimble SketchUp™ or other 3D modeling software/platforms.
- All final maps and source data files will be provided to the City.
- Produce all materials for public presentations.
- Provide digital, web ready drafts of the Plan for posting on the City's website and other social media.
- Produce final copies for approval and adoption by the City Council.

PROJECT TIMELINE

The overall timeline for the development of the Yorkville Downtown Overlay District is anticipated to be 6-9 months, including the adoption process. As a submittal requirement, the applicant will provide a project schedule showing key task target dates, including public meetings and hearings with estimated task duration. Variations from the City's established timeline should be discussed in the RFP.

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PROPOSAL EVALUATION

REVIEW OF SUBMISSIONS

Selection criteria are outlined below and will be used to evaluate proposals for invitation to interview/presentation. This RFP does not commit the City to award a contract or to pay any costs incurred in the preparations or submission of proposals. The City reserves the right to reject any or all proposals received in response to this RFP.

Selection of the successful proposal for interview/presentation will be made based upon the following criteria:

- Responsiveness and proposed approach to work scope and project needs. Although City has identified a general nature of services to be provided, the consultant is given leeway toward the approach to the methodology to provide the requested services. Innovative strategies and creativity are desired.
- Demonstrated experience and technical competence in similar projects.
- Past record of performance of the firm with respect to such factors as working relationship with sub-consultants or peer consultants on the same project, control of costs, quality of work, and ability to meet schedules.
- Cost-effectiveness.
- Capacity and capability of the firm/team to perform the work in question, including specialized services.
- Quality of key personnel assigned: bios, qualifications.
- Understanding of local conditions related to the completion of the services.

SUBMISSION FORMAT

Interested firms/consultants should submit **four (4) paper copies** and **one (1) digital copy** (provided via USB drive, CD or email) of the proposal requirements by the deadline of Friday, September 1, 2017.

The hardcopy proposals shall be submitted in a sealed envelope marked **“REQUEST FOR PROPOSALS, YORKVILLE DOWNTOWN OVERLAY DISTRICT”** addressed to:

**UNITED CITY OF YORKVILLE
COMMUNITY DEVELOPMENT DEPARTMENT
800 GAME FARM ROAD
YORKVILLE, ILLINOIS 60560**

Proposals submitted only by fax or e-mail will not be accepted. All submittals shall be retained by the City and will not be returned.

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PRE-PROPOSAL CONFERENCE

A pre-proposal conference is scheduled for Tuesday, August 22, 2017 beginning at 1:00 PM in the City Hall Council Chambers located at 800 Game Farm Road, Yorkville, Illinois 60560. The purpose of the pre-proposal conference is to assist prospective consultants with questions related to the RFP scope of services and submittal requirements. Attendance at the pre-proposal conference is not mandatory.

Attendees must register by Friday, August 18, 2017 to Krysti J. Barksdale-Noble, Community Development Director via e-mail at knoble@yorkville.il.us. If no firms register, the meeting will not be held.

GENERAL INFORMATION

PROFESSIONAL SERVICES CONTRACT

A Professional Service Contract is required.

SUBLETTING OF CONTRACT

The Consulting Firm will agree, after the contract is awarded, not to assign or sublet the whole or any part of the contract without the prior written consent of the City.

CHANGES IN SCOPE OF SERVICES & PERSONNEL

The Consulting Firm will agree that any change of scope in the work to be performed after the original contract has been signed shall be documented as a written change order, be accepted by all parties, and made a part of the original contract by addendum.

The personnel identified in the proposal shall work on the project until completion. Any substitution of personnel shall require the approval of the City in writing. Personnel changes shall only be considered for valid reasons, such as an employee leaving the firm, major illness or accident. Only persons determined by the City to be well qualified shall be approved.

RIGHT TO REJECT PROPOSALS AND WAIVE INFORMALITIES

The City reserves the right to reject any or all proposals, to waive any nonmaterial irregularities or information in any RFP, and to accept or reject any item or combination of items.

CONTACT INFORMATION

If you have any questions regarding this RFP, please contact Krysti J. Barksdale-Noble, Community Development Director:

United City of Yorkville
800 Game Farm Road
Yorkville, Illinois 60560

knoble@yorkville.il.us



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #6

Tracking Number

EDC 2017-58

Agenda Item Summary Memo

Title: Downtown TIF Districts

Meeting and Date: Economic Development Committee - September 5, 2017

Synopsis: Memo explains the proposed Downtown Redevelopment Project Area #2 including Eligibility Study, Housing Study, and Redevelopment Plan

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Approval

Submitted by: Jason Engberg Com. Development
Name Department

Agenda Item Notes:



Memorandum

To: Economic Development Committee
From: Bart Olson, City Administrator
CC:
Date: August 31, 2017
Subject: Downtown TIF

Summary

Review of timeline for creation of Downtown TIF 2 and process for extension of Downtown TIF

1.

Background

This item was last discussed by the Economic Development Committee at the July meeting. At that meeting, the committee reviewed a general outline of next steps required in the Downtown TIF process, including a concept map of boundaries for both Downtown TIF districts. The committee reviewed a sample letter to be sent to taxing entities in advance of the public meetings on both the extension of the original Downtown TIF 1 and creation of Downtown TIF 2.

Since that meeting, staff has been finishing the eligibility report, housing study, and redevelopment plan for Downtown TIF 2 and finalizing the timeline for notification of the Downtown TIF 1 extension to the taxing entities. The revised timeline for all processes is attached.

The process for both TIFs is slightly behind our original estimates. When the August EDC meeting was cancelled, we took the time to complete all three of the studies at the same time for presentation at the September EDC meeting. Those three studies are on the agenda for your discussion. Additionally, we decided that the deletion of properties from Downtown TIF 1 will occur in the middle of the creation of Downtown TIF 2, rather than at the start of Downtown TIF 1.

Because this item was not discussed at the August EDC meeting, we held off on Downtown TIF 1 extension letter to the taxing entities. Pending positive feedback at the September EDC meeting, we would expect to send the Downtown TIF 1 extension letters to the taxing entities the week after the meeting. While the taxing entities will not get formally notified of the Downtown TIF 2 process for another month or so, we have always felt that far-in-advance notification of the extension request is preferable to allow the taxing entities time to schedule their discussions at their own leisure. Thus, our timeline for presentation in front of each taxing entity is expected to be September, October, and November.

Recommendation

This is an informational item.



Memorandum

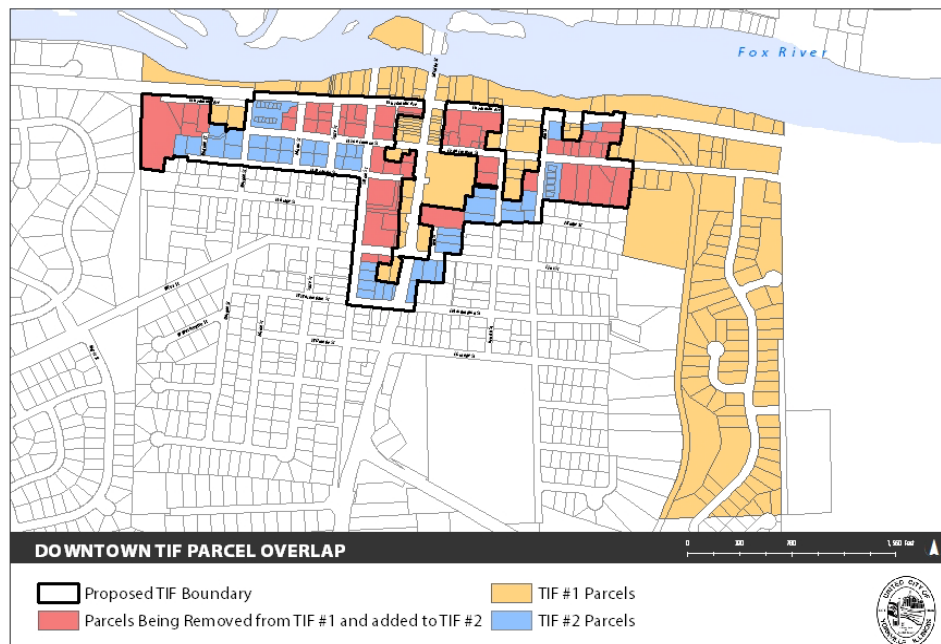
To: Economic Development Committee
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti J. Barksdale-Noble, Community Development Director
Date: August 25, 2017
Subject: **Downtown Redevelopment Project Area #2
Eligibility Report, Housing Study & Redevelopment Plan**

Summary

In April of 2017, staff decided to move forward with creating a new Tax Increment Finance District (Downtown Redevelopment Project Area #2) from parcels within the current Downtown TIF generating a low or negative increment and additional parcels to assist with redevelopment and increment generation. The following memo will discuss staff's current analysis of the proposed Downtown Redevelopment Project Area #2, including the current status of the eligibility report, housing study, and redevelopment plans.

Background

Over the course of the past year, staff has evaluated the status and condition of the existing Downtown TIF District which was established in 2006. Staff has reviewed the increment generated, the types of developments which have happened within the TIF, and possible extensions for the district. After discovering a number of properties which have a "negative" increment generated within the existing TIF (see "Downtown TIFs Memo 4-26-2017"), staff proposed to change the current boundaries to offset the negative impacts the lower Equalized Assessed Values (EAVs) have caused and create a new TIF District (to be named Downtown TIF #2), with additional properties to help assist in downtown redevelopment. In order to modify the boundaries of the existing TIF and create a new TIF, staff completed a preliminary Eligibility Report, Housing Study, and Redevelopment Plan (see attached).



Eligibility Report

The first step in establishing a new Redevelopment Project Area is conducting an eligibility report. As required by the State of Illinois, there is a list of criteria which must be met to create a new redevelopment project area. On July 10, 2017, staff conducted field research to determine the viability of all parcels within the proposed new Downtown Redevelopment Project Area #2. The research sought to examine the parcels for presence of the following 14 criteria:

1. Age of Buildings – At least 50% of the structures within the proposed TIF must be 35 years or more in age.
2. Dilapidation - An advanced state of disrepair or neglect of necessary repairs in such a combination that the buildings must be removed.
3. Obsolescence – The condition or process of falling to disuse; structures have become ill-suited for their original use.
4. Deterioration – Defects in building components such as doors, windows, porches, gutters and downspouts, and fascia, or deterioration of surface improvements such as streets, sidewalks, paved parking areas, driveways, and curbs.
5. Illegal Use of Individual Structures – Structures in violation of applicable federal, state, or local laws.
6. Excessive Vacancies – The presence of buildings that are unoccupied or under-utilized and that represent an adverse influence on the area because of the frequency, extent, or duration of the vacancies.
7. Lack of Ventilation, Light, or Sanitary Facilities – The absence of adequate ventilation for light or air circulation in spaces or rooms without windows, lighting for interior spaces or rooms, or sanitary facilities for garbage storage, kitchen facilities, and bathroom facilities.
8. Inadequate Utilities – All underground and overhead utilities with insufficient capacity to serve the uses in the area, deteriorated or in disrepair, or lacking within the redevelopment project area.
9. Deleterious Land Use or Layout – The existence of incompatible land-use relationships, buildings with inappropriate mixed-uses, or uses considered to be unsuitable for the surrounding area.
10. Excessive Land Coverage and Overcrowding of Structures – The over-intensive use of property and crowding of buildings and accessory facilities onto a site.
11. Lack of Community Planning – Occurs when the proposed redevelopment project area was developed prior to or without the benefit of a community plan.
12. Environmental Remediation – When the area has incurred state or federal Environmental Protection Agency (EPA) remediation costs for the cleanup of hazardous substances or underground storage tanks required by State or federal law.
13. Presence of Structures Below Minimum Code Standards – Includes all structures that do not meet the standards of zoning, subdivision, building, fire, and other governmental codes applicable to property, but not including housing and property maintenance codes.
14. Decline or Minimal Marginal Increase in the Equalized Assessed Value – If the total equalized assessed value of the project area has declined for three of the last five calendar years.

If the project area meets the “Age of Buildings” criteria, it must qualify for at least an additional three (3) criteria in order to be considered a conservation area under the TIF Act. If it does not meet the “Age of Buildings” criteria, it must qualify for five (5) criteria. Based on findings of the field research, staff believes the proposed project area qualifies for the following six (6) criteria:

1. Age of Buildings – 109 out of 126 (83.2%) structures within the project area were built more than 35 years ago (1982).
2. Obsolescence – Economic and functional obsolescence are wide spread throughout the project area including odd platting, non-conforming structures, and obsolete structures.
3. Deterioration – 38 out of 126 buildings (29%) exhibit building deterioration, while 66 out of 126 (52.4%) parcels exhibit surface improvement deterioration. Overall, 22.7 out the 33.7 (67.4%) acres of the project area exhibit some form of deterioration.
4. Inadequate Utilities – According to the Director of Public Works and the City Engineer, there are several locations where water mains are insufficient in size to meet capacity standards. Additionally, the sanitary sewer lines require lining and are old and deteriorating. Storm sewers are also lacking throughout the project area.
5. Lack of Community Planning – As the United City of Yorkville adopted its first comprehensive plan in 1974, most of the parcels and structures within the project area were constructed before the City had a plan for the area's development.
6. Decline in Equalized Assessed Value – The EAV for all the parcels in the project area has decreased three out of the past five levy years (see attached Eligibility Report).

Since the project area met the age of building requirement, only 3 more criteria need to be met for designation. After conducting the fieldwork, there are a total of 5 criteria which qualify the project area as a conservation area for a TIF District.

Housing Study

Given that the TIF Act requires the completion of a housing study if there are more than 75 dwelling units within the proposed TIF District, staff conducted research and completed a preliminary draft of a housing study for the 102 units within the proposed redevelopment project area (attached). Some key findings from the housing study include:

- An estimated 79.4% of housing units in the project area are Owner Occupied, 19.6% Renter Occupied, and 1% Vacant.
- Approximately 61.4% of residents fall in the Extremely Low Income to Moderate Income range.
- It is estimated 96.7% of the residents within the project area belong to the “White Only” race category as determined by the United States Census Bureau's classification.
- Less than 10% of housing units within the redevelopment project area lack adequate kitchen and plumbing facilities.

According to the housing study, there are a number of inhabited residential dwelling units that may be redeveloped during the 23-year lifetime of the TIF. Staff identified potential appropriate replacement housing should displacement occur. This housing is similar in home value or rent cost, size, type and location (see page 8 of the attached draft of the housing study).

Redevelopment Plan

The Redevelopment Plan details the proposed project area, the City's background with TIF Districts, and the issues to be addressed within the downtown. The plan outlines goals, objectives and an implementation strategy for the area which includes increasing the City's sales tax base, the addition of new amenities, stabilizing a revitalized downtown business district, and rehabilitating existing structures. It also states which redevelopment activities will be eligible within the project area and estimated project costs.

The Redevelopment plan explains assesses the fiscal impact on affected taxing districts within the project area. The most impacted taxing body will most likely be the Yorkville Unit School District 115 and the plan states that in the event the net amount of students from development undertaken in the Redevelopment Project Area increases as a result of the TIF assistance to the development of housing units, funds have been allocated in the budget for estimated Redevelopment Project Costs. In addition, funds are available for capital costs which may be incurred by the district as a result of activities in the Redevelopment Project Area.

The plan meets all criteria required by the TIF Act. The goals, projected costs, and future plans outlined within the Redevelopment Plan are to help incentivize redevelopment and growth in Downtown Yorkville.

Staff Recommendation

Staff believes the creation of a new Downtown TIF District will assist in offsetting the existing non-increment producing Downtown TIF as well as include additional properties for redevelopment of the downtown which will generate funds. Staff is seeking initial feedback from the Economic Development Committee on these drafts.

Attachments

1. EXHIBIT A – Downtown Redevelopment Project Area #2 Eligibility Study
2. EXHIBIT B –Downtown Redevelopment Project Area #2 Housing Study
3. EXHIBIT C – Downtown Redevelopment Project Area #2 Redevelopment Plan



DOWNTOWN REDEVELOPMENT PROJECT AREA #2 ELIGIBILITY REPORT

UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS

AUGUST 1, 2017

PREPARED BY:
JASON ENGBERG
SENIOR PLANNER

VANESSA VUCINIC
PLANNING INTERN
CITY OF YORKVILLE, ILLINOIS

INTRODUCTION

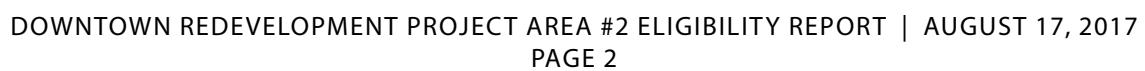
The United City of Yorkville is seeking to establish a new Tax Increment Financing District (TIF) in the central downtown portion of the City near Illinois Route 47 and Van Emmon Street. With the widening of Route 47, this older area of the City has seen a variety of proposed developments not come to fruition and has been identified as an area with significant economic development potential.

An existing Downtown Redevelopment Project Area was established in this general area in 2006. Due to the timing of its establishment and the economic recession which followed, the existing Downtown Redevelopment Project Area has not reached its potential in terms of development and increment generation. Overall, equalized assessed values (EAVs) in the existing area have dropped and over the course of the past decade and those values are the primary factor in generating TIF Increment revenues.

Since the adoption of a new Comprehensive Plan in 2016, Yorkville wants to encourage mixed-use structures compatible with Riverfront Park. This new plan specifies a wider range of properties and blocks in the downtown for potential mixed-use developments in the future than was thought in 2006. By developing a new TIF District and Redevelopment Project Area, the entire downtown which is set for long term planning will be covered by both districts.

This Eligibility Report compares the characteristics of the study area to criteria outlined in state statutes for creation of a Redevelopment Project Area. As shown in Exhibit A – Project Area Boundary, the Project Area is positioned around the Route 47 and Van Emmon Street intersection. The Project Area general boundary contains a majority of the parcels both north and south of Van Emmon Street from 5 blocks West of Route 47 to 3 blocks east of Route 47, as well as parcels on the east side of Main Street from Madison Street to Washington Street, parcels on the west side of Mill St from Van Emmon Street to Ridge Street, parcels on the east side of Heustis Street from Van Emmon Street to Fox Street, and parcels on the east side of Route 47 from Washington Street to Van Emmon Street.

The Project Area consists of 126 parcels containing 131 structures. The total area of the Project Area (including right-of-way) is approximately 53.5 acres. The report that follows is an assessment of the eligibility of the Downtown Redevelopment Project Area #2.



TAX INCREMENT FINANCING

The Tax Increment Allocation Redevelopment Act, 65 ILCS 5/11 - 74.4 -1, et seq., as amended (the "Act"), stipulates specific procedures which must be adhered to in designating a Redevelopment Project Area and amendments thereto. A Redevelopment Project Area is defined as:

"...an area designated by the municipality, which is not less in the aggregate than 1 ½ acres and in respect to which the municipality has made a finding that there exist conditions which cause the area to be classified as an industrial park conservation area, or a blighted area or a conservation area, or a combination of both blighted areas and conservation areas" (65 ILCS 5/ 11-74.4-3(p)).

Section 5/11-74.4-3(a) defines a "conservation area" as:

"...any improved area within the boundaries of a redevelopment project area located within the territorial limits of the municipality in which 50% or more of the structures in the area have an age of 35 years or more. Such an area is not yet a blighted area, but because of a combination of 3 or more of the following factors: dilapidation; obsolescence; deterioration; presence of structures below minimum code standards; illegal use of individual structures; excessive vacancies; lack of ventilation, light, or sanitary facilities; inadequate utilities; excessive land coverage and overcrowding of structures and community facilities; deleterious land use or layout; lack of community planning; environmental remediation costs impede development; decline or minimal marginal increase in equalized assessed valuation; is detrimental to the public safety, health, morals, or welfare and such an area may become a blighted area."

This report summarizes the analyses and findings of the City's Community Development Department.

The Downtown TIF District #2 Study Area (the "Project Area") is eligible for designation as a conservation area based on the presence of parcels that exhibit:

- (1) Age of buildings averaging greater than 35 years;
- (2) Deterioration of site or structures on the subject parcels;
- (3) Obsolescence;
- (4) Inadequate utilities;
- (5) Lack of community planning; and
- (6) Declining total equalized assessed value, as defined by the Act.

The present condition of the Project Area inhibits development potential. This report elaborates further on the specific conditions, which have contributed to this decline.

ELIGIBILITY FINDINGS

The United City of Yorkville Community Development Department conducted a field survey of every property within the Project Area. Based on an inspection of the exteriors of buildings and grounds, field notes were taken to record the condition for each parcel. This survey occurred on July 10, 2017. Photographs further document the observed conditions. Field observations were supplemented with additional City information.

In order to be designated as a conservation area, at least 50% of the structures must be 35 years or more in age. Additionally, a combination of at least three of the other qualifying factors outlined in the Act must be present to a meaningful extent and reasonably distributed throughout the Project Area.

AGE OF BUILDINGS

Based on field analysis and data collected from Kendall County, a total of 109 out of 126 (83.2%) structures within the Project Area were built more than 35 years ago (1982). This exceeds the statutory requirement that at least 50% of the buildings in the conservation area be 35 years of age or older.

DILAPIDATION

Dilapidation refers to an advanced state of disrepair or neglect of necessary repairs to the primary structural components of buildings or improvements in such a combination that a documented building condition analysis determines that major repair is required or the defects are so serious and so extensive that the buildings must be removed.

No structures in the Project Area display this extreme physical state of disrepair. Therefore, **dilapidation does not significantly contribute** towards the designation of the Project Area as a conservation area.

OBSOLESCENCE

Obsolescence is the condition or process of falling into disuse. Obsolete structures have become ill-suited for the original use. With respect to properties and buildings, the nature of obsolescence may be functional or economic, or a combination of both. Generally, functional obsolescence relates to the physical utility of a property or structure, and economic obsolescence relates to the ability of a property or building to compete in the market place.

A. Functional Obsolescence

The design and spatial layout of buildings and site improvements and their geographical location respond to market needs for specific uses at the time those buildings and improvements are constructed. Additionally, buildings and improvements are designed within the technological constraints of the time. Design and spatial layout characteristics of buildings and site improvements include, but are not limited to, floor area, height, column spacing, loading and service areas, building orientation, on-site parking and storage areas, and vehicular circulation. Over time, geographical and structural changes occur within industries and real estate markets causing properties to become ill suited for their original use, resulting in deficiencies in those buildings that limit their ability to function for their original purpose. This loss in functionality and overall usefulness or desirability of a property, diminishes the value of the property and the building.

B. Economic Obsolescence

Economic obsolescence is generally a result of building or site improvements that cause some degree of market rejection, resulting in a diminished market value of the property for its original intended use. Symptoms of economic obsolescence include excessive vacancies, lack of maintenance, deterioration, and dilapidation of buildings and site improvements. Site improvements, including sewer and water lines, public utility lines (gas, electric, and telephone), roadways, parking areas, parking structures,

sidewalks, curbs and gutters, lighting, etc., may also evidence obsolescence in terms of their relationship to contemporary development standards for such improvements. Factors of this type of obsolescence may include inadequate utility capacities, outdated designs, etc.

Typically, buildings with excessive vacancies or those classified as deteriorating or dilapidated contain undesirable building or site improvement conditions that may be infeasible to cure, resulting in an accelerated decline in market value. When not corrected, these building and site improvement deficiencies adversely impact neighboring areas, thereby detracting from the physical, functional, and economic vitality of the overall area.

Obsolescence, both functional and economic, is widely present within the Project Area. There are a few structures which are functionally and economically obsolete from their original use north of East Van Emmon Street. Additionally, almost all of the parcels within the Project Area are functionally obsolete. The lot sizes and shapes of the parcels do not conform to the standards the City currently maintains. This includes flag lots, parcels without an access point, structures located on more than one parcel, and structures encroaching in required yards. The layout of the parcels and the structures upon them are no longer functional and are a deterrent to development. Therefore, the presence of both **functional and economic obsolescence of buildings and site improvements does significantly contribute** towards the designation of the Project Area as a conservation area.

DETERIORATION

With respect to buildings, deterioration refers to defects including, but not limited to, major defects in the secondary building components such as doors, windows, porches, gutters and downspouts, and fascia.

The field survey found that 38 out of 126 buildings (29%) exhibit these types of deteriorating characteristics. These deteriorating effects include cracks in masonry walls and foundations, aging windows and doors, deteriorating columns, and roofs and gutters in need of repair. These issues are widely distributed throughout the Project Area.

With respect to surface improvements, the condition of roadways, alleys, curbs, gutters, sidewalks, off-street parking, and surface storage areas may evidence deterioration, including, but not limited to, surface cracking, crumbling, potholes, depressions, loose paving material, and weeds protruding through paved surfaces.

Deterioration of surface improvements was found on 66 out of 126 parcels (52.4%) in the Project Area. Poor condition of streets, sidewalks, paved parking areas, driveways, and curbs were the most common examples.

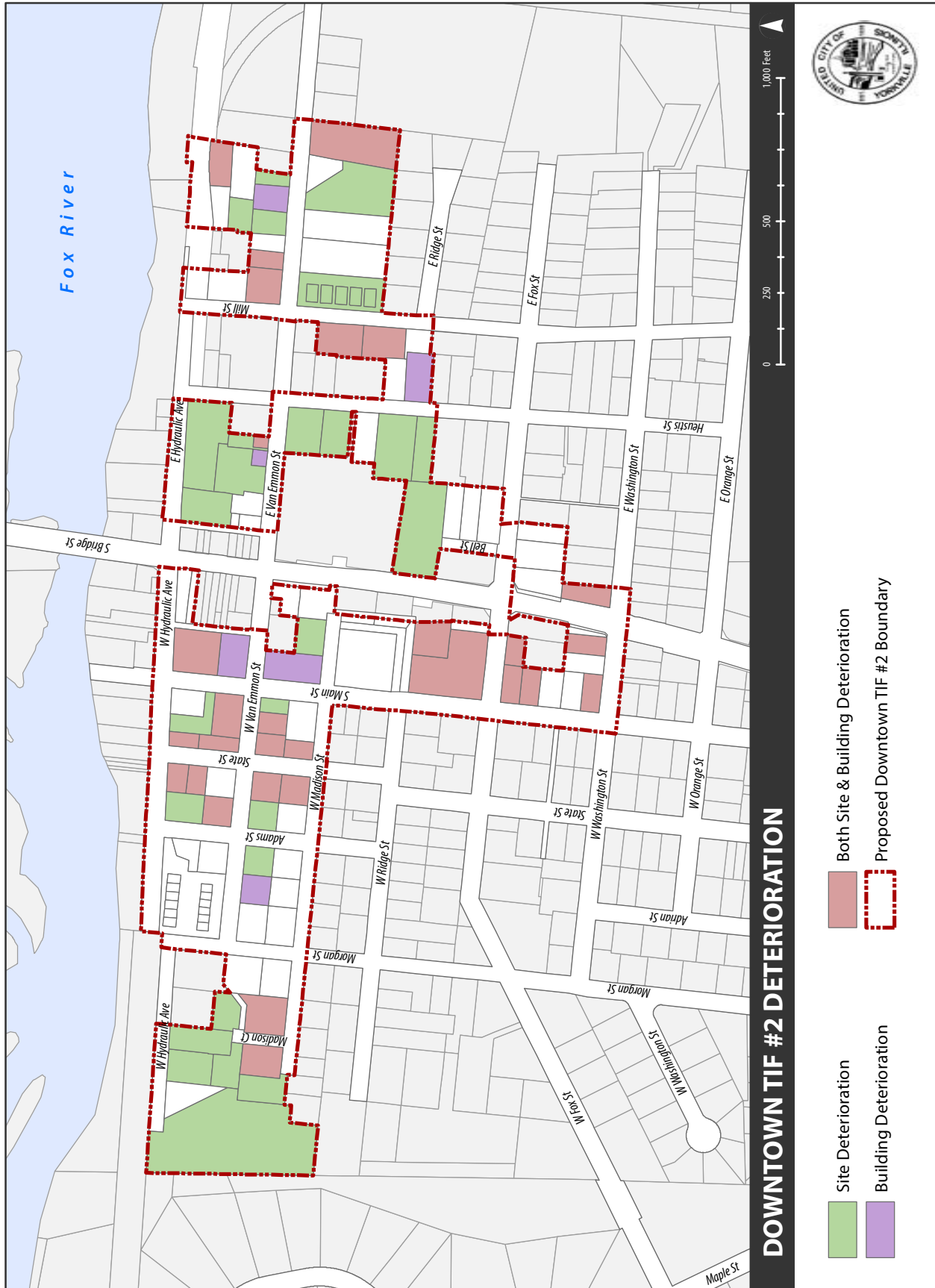
The distribution of deterioration, both of buildings and surface improvements, is widely distributed throughout the Project Area (Exhibit B – Deterioration). In terms of overall deterioration, 22.7 acres of the 33.7 acres (67.4%) of all parcels within the Project Area exhibit either building deterioration, site deterioration, or a combination of both.

The presence of **deterioration of buildings and surface improvements and its is reasonable distribution throughout the area contributes** towards the designation of the Project Area as a conservation area.

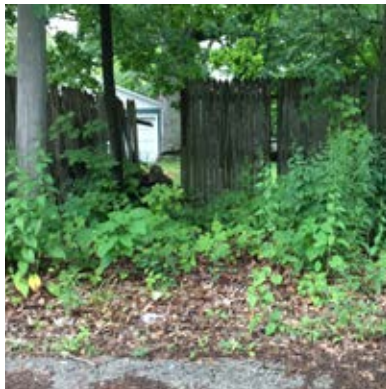
ILLEGAL USE OF INDIVIDUAL STRUCTURES

Illegal use of individual structures refers to the use of structures in violation of applicable federal, State, or local laws, exclusive of those applicable to the presence of structures below minimum code standards.

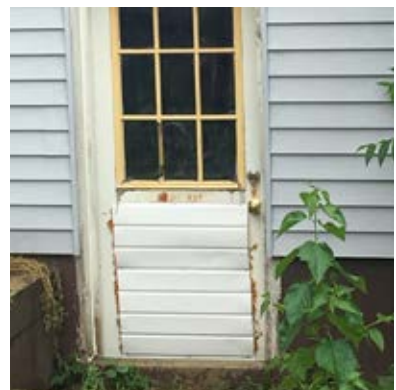
The exterior field survey conducted by United City of Yorkville found no obvious instances of illegal use of structures within the Project Area. Therefore, **illegal use of individual structures does not contribute** to the designation of the Project Area as a conservation area.



SITE DETERIORATION EXAMPLES



BUILDING DETERIORATION EXAMPLES



EXCESSIVE VACANCIES

Excessive vacancies refer to the presence of buildings that are unoccupied or under-utilized and that represent an adverse influence on the area because of the frequency, extent, or duration of the vacancies.

Four of the 126 buildings are vacant or partially vacant throughout the Project Area (3.2%). Although vacancies are present within the Project Area, they are concentrated, not evenly distributed throughout the Project Area, and not numerous enough in quantity to be considered excessive. Therefore, **excessive vacancies do not contribute** towards designation of the Project Area as a conservation area.

LACK OF VENTILATION, LIGHT, OR SANITARY FACILITIES

Inadequate ventilation is characterized by the absence of adequate ventilation for light or air circulation in spaces or rooms without windows, or that require the removal of dust, odor, gas, smoke, or other noxious airborne materials. Inadequate natural light and ventilation means the absence or inadequacy of skylights or windows for interior spaces or rooms and improper window sizes and amounts by room area to window area ratios. Inadequate sanitary facilities refer to the absence or inadequacy of garbage storage and enclosure, bathroom facilities, hot water and kitchens, and structural inadequacies preventing ingress and egress to and from all rooms and units within a building.

None of the buildings in the Project Area are known to exhibit this characteristic of lack of ventilation, light or sanitary facilities. Therefore, **lack of ventilation, light, or sanitary facilities does not contribute** to the designation of the Project Area as a conservation area.

INADEQUATE UTILITIES

This factor relates to all underground and overhead utilities such as storm sewers and storm drainage, sanitary sewers, water lines, and gas, telephone, and electrical services that are shown to be inadequate. Inadequate utilities are those that are: (i) of insufficient capacity to serve the uses in the redevelopment project area, (ii) deteriorated, antiquated, obsolete, or in disrepair, or (iii) lacking within the redevelopment project area.

An evaluation of utilities within the Project Area was conducted by the City Engineer and Director of Public Works. In terms of water services, there are several locations where the water mains are not sufficient in size to meet capacity standards. This includes stretches along Madison Court, Main Street, and W Washington Street. The sanitary sewer lines are sufficient in size for capacity in all of downtown but they are old clay pipes and require lining. The deteriorating conditions of the existing sanitary sewer lines is a existing condition the City has been actively trying to remedy. Finally, storm sewers are lacking within the entire Project Area. Since this is the oldest part of the Yorkville community, the presence of storm sewers is below capacity. Additionally, the sewer lines which do exist are old and deteriorating.

After the analysis conducted by the City Engineering Department and Public Works Department, there are many utilities in the Project Area which are insufficient in capacity and quality. Therefore, the presence of **inadequate utilities is a contributing factor** to the designation of the Project Area as a conservation area.

DELETERIOUS LAND USE OR LAYOUT

Deleterious land uses include the existence of incompatible land-use relationships, buildings occupied by inappropriate mixed-uses, or uses considered to be noxious, offensive, or unsuitable for the surrounding area.

While there are several locations within the Project Area which have incompatible land uses next to each other, for example manufacturing next to residential, a majority of the land uses in the area are residential and compatible with on another. Therefore, **deleterious land use does not significantly contribute** to the designation of the Project Area as a conservation area.

EXCESSIVE LAND COVERAGE AND OVERCROWDING OF STRUCTURES

This factor relates to the over-intensive use of property and the crowding of buildings and accessory facilities onto a site. Examples of problem conditions warranting the designation of an area as exhibiting excessive land coverage are: the presence of buildings either improperly situated on parcels or located on parcels of inadequate size and shape, in relation to present-day standards of development for health and safety, and the presence of multiple buildings on a single parcel. For there to be a finding of excessive land coverage, these parcels must exhibit one or more of the following conditions: insufficient provision for light and air within or around buildings, increased threat of spread of fire due to the close proximity of buildings, lack of adequate or proper access to a public right-of-way, lack of reasonably required off-street parking, or inadequate provision for loading and service.

There are 6 out of the 131 structures (4.6%) which excessively cover the parcels where they are located. Therefore, **excessive land coverage and overcrowding of structures and community facilities does not contribute** to the designation of the Project Area as a conservation area.

LACK OF COMMUNITY PLANNING

Lack of community planning occurs when the proposed redevelopment project area was developed prior to or without the benefit or guidance of a community plan. This means that the development occurred prior to the adoption by the municipality of a comprehensive or other community plan or that the plan was not followed at the time of the area's development. This factor must be documented by evidence of adverse or incompatible land-use relationships, inadequate street layout, improper subdivision, parcels of inadequate shape and size to meet contemporary development standards, or other evidence demonstrating an absence of effective community planning.

The United City of Yorkville adopted its first Comprehensive Plan in 1974. A majority of the parcels and structures within the Project Area were platted and constructed before the City had a plan for the area's development. Additionally, there are an abundant amount of parcels which are oddly shaped, have structures on them which are oddly laid out and have small setbacks from neighbors, and there are many incompatible land uses adjacent to each other. All of these factors illustrate a lack of community planning throughout the entire Project Area.

Lack of community planning is prevalent throughout the Project Area, and therefore, qualifies as a factor towards designation of a conservation area.

ENVIRONMENTAL REMEDIATION

This factor is relevant when the area has incurred Illinois Environmental Protection Agency or United States Environmental Protection Agency remediation costs for, or a study conducted by an independent consultant recognized as having expertise in environmental remediation has determined a need for, the clean-up of hazardous waste, hazardous substances, or underground storage tanks required by State or federal law, provided that the remediation costs constitute a material impediment to the development or redevelopment of the redevelopment project area.

There are 8 parcels which cover 2.4 acres of property (7%) within the Project Area which require environmental remediation per the Illinois Environmental Protection Agency (IEPA). A Comprehensive Site Investigation Report was conducted in 2007 and the parcels are generally located between E Van Emmon Street and Hydraulic Street and west of Heustis Street. The site is recognized by the IEPA as "Grainco" and is LPC# 0930255064.

While there is the presence of a site requiring environmental remediation, the condition consists of only 7% of the Project Area and is not reasonably distributed throughout the area. Therefore, this factor **does not contribute to the designation** of the Project Area as a conservation area.

PRESENCE OF STRUCTURES BELOW MINIMUM CODE STANDARDS

Structures below minimum code standards include all structures that do not meet the standards of zoning, subdivision, building, fire, and other governmental codes applicable to property, but not including housing and property maintenance codes.

In 2013, the City began a substantive and concentrated effort to address ongoing building code violations throughout the downtown. Over the past four (4) years of conducting these “downtown sweeps”, the City has issued nearly 80 citations resulting in numerous violations and judgments. While a majority of these citations were property maintenance related, the more significant building code violations were related to either exterior damage or structural soundness, which have been addressed with the recent demolition of several buildings. At the time the field survey was conducted, information was gathered from the City’s Building Official; it was determined that there were no presence of structures below minimum code standards. While there are several buildings showing deterioration or violation of current zoning bulk regulations, these structures are considered legally non-conforming uses and therefore do not qualify as they are currently legal structures. The City maintains but for future redevelopment in this area, continual building code violations will occur.

The presence of structures below minimum code standards does not contribute towards the designation of the Project Area as a conservation area.

DECLINE OR MINIMAL MARGINAL INCREASE IN THE EQUALIZED ASSESSED VALUE

This factor can be cited if the total equalized assessed value of the proposed redevelopment project area has declined for three of the last five calendar years, for which information is available; or is increasing at an annual rate that is less than the balance of the municipality for three of the last five calendar years, for which information is available; or is increasing at an annual rate that is less than the Consumer Price Index for All Urban Consumers published by the United States Department of Labor or successor agency for three of the last five calendar years, for which information is available.

Levy Year	2011	2012	2013	2014	2015	2016
Project Area Parcels (EAV)	\$4,857,551	\$4,641,064	\$4,255,518	\$4,217,153	\$4,273,954	\$4,487,777
Percent Change		-4.46%	-8.31%	-0.90%	1.35%	5.00%

The equalized assessed value for all the parcels in the Project Area has decreased three out of the past five levy years.

Decline in the equalized assessed value (EAV) contributes toward the designation of the Project Area as a conservation area based on decline in EAV of the Project Area over the previous five years.

CONCLUSION

Based on the findings contained herein, the Project Area qualifies as a conservation area according to the criteria established by the Act, based on the predominance and extent of parcels exhibiting the following primary characteristics:

- (1) Age of buildings averaging greater than 35 years;
- (2) Deterioration of site or structures on the subject parcels;
- (3) Obsolescence
- (4) Inadequate utilities;
- (5) Lack of community planning; and
- (6) Declining total equalized assessed value, as defined by the Act.

Each of these factors contributes significantly to the eligibility of the Project Area as a conservation area. All of these characteristics point to the need for designation of the Project Area as a conservation area, to be followed by public intervention in order that redevelopment might occur.

PINS

The Following is a list of the PINs within the Downtown Redevelopment Project Area #2:

02-33-304-019	02-32-287-001	02-32-429-001
02-33-304-004	02-32-286-003	02-33-307-014
02-33-304-020	02-32-253-003	02-33-307-016
02-33-304-005	02-32-286-002	02-33-307-018
02-33-154-013	02-32-286-001	02-33-307-022
02-32-283-003	02-33-177-013	02-33-157-008
02-32-291-002	02-33-154-019	02-33-158-004
02-32-292-002	02-33-156-009	02-32-281-003
02-32-252-004	02-33-154-015	02-32-283-004
02-32-252-006	02-33-156-008	02-33-154-022
02-32-252-005	02-32-285-003	02-32-283-001
02-32-280-016	02-33-156-006	02-32-280-002
02-32-252-001	02-32-285-001	02-32-282-006
02-32-252-011	02-33-156-005	02-32-282-005
02-32-252-010	02-32-284-003	02-32-282-001
02-32-291-001	02-32-284-002	02-32-280-009
02-32-284-004	02-33-154-009	02-32-281-002
02-32-284-001	02-32-253-001	02-32-280-008
02-33-177-002	02-32-253-002	02-32-280-007
02-33-178-001	02-33-154-023	02-32-281-001
02-33-307-005	02-33-154-020	02-32-280-006
02-32-433-005	02-32-253-004	02-32-252-003
02-32-433-009	02-33-156-004	02-32-280-005
02-32-433-008	02-33-154-018	02-32-280-004
02-32-433-004	02-32-252-008	02-33-177-001
02-32-281-007	02-32-283-002	02-33-156-007
02-32-280-015	02-33-307-020	02-32-434-004
02-32-280-014	02-33-307-004	02-32-429-003
02-32-280-013	02-33-307-003	02-32-429-002
02-32-280-012	02-33-307-002	02-32-429-010
02-32-282-003	02-33-307-021	02-32-429-009
02-32-280-011	02-32-286-005	02-32-287-005
02-32-280-003	02-33-157-007	02-33-301-015
02-32-280-010	02-32-286-004	02-33-301-011
02-32-433-003	02-32-285-004	02-32-287-007
02-32-433-002	02-32-285-002	02-32-287-008
02-33-302-017	02-33-154-014	02-33-301-008
02-33-302-021	02-32-282-004	02-33-301-013
02-32-433-011	02-33-156-014	02-33-301-002
02-32-433-001	02-33-156-018	02-33-301-003
02-32-284-006	02-32-281-006	02-32-433-013
02-32-284-005	02-33-301-004	02-32-434-005

ELIGIBILITY CRITERIA DATA

PIN	Structures	Dwelling Units	Age	Dilapidation	Obsolescence	Deterioration	Illegal Use	Code Violation	Vacant	Lack of Ventilation/Sanitary	Inadequate Utilities	Excessive Land Coverage	Deleterious Land Use	Lack of Community Planning	Environmental Remediation
02-32-252-001	2	8	1900	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-252-003	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-252-004	1	4	1900	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-252-005	1	2	1900	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-252-006	1	1	1970	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-252-008	2	2	1971	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-252-010	1	1	1900	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-252-011	2	1	1900	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-253-001	1	1	1900	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-253-002	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-253-003	2	1	1995	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-253-004	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-002	1	1	1890	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-003	2	1	1890	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-004	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-005	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-006	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-007	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-008	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-009	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-010	0	1	2007	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-011	0	1	2007	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-012	0	1	2007	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-013	0	1	2007	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-014	0	1	2007	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-015	0	1	2007	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-280-016	1	0	-	NO	YES	-	NO	NO	YES	NO	YES	NO	NO	YES	NO
02-32-281-001	2	1	2004	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-281-002	2	1	1946	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-281-003	2	1	1946	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-281-006	2	1	1910	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-281-007	1	1	1945	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-282-001	2	1	1900	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-282-003	2	1	1800	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-282-004	3	2	1800	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO

PIN	Structures	Dwelling Units	Age	Dilapidation	Obsolescence	Deterioration	Illegal Use	Code Violation	Vacant	Lack of Ventilation/Sanitary	Inadequate Utilities	Excessive Land Coverage	Deleterious Land Use	Lack of Community Planning	Environmental Remediation
02-32-282-005	1	1	1930	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-282-006	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-283-001	2	0	1961	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-283-002	3	1	1800	NO	YES	BUILD	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-283-003	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-283-004	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-284-001	1	2	1963	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-284-002	2	1	1870	NO	YES	BUILD	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-284-003	2	1	1876	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-284-004	2	1	1885	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-284-005	2	1	1957	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-284-006	1	1	1956	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-285-001	2	1	1990	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-285-002	1	1	1950	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-285-003	2	1	1951	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-285-004	1	1	1958	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-286-001	1	1	1870	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-286-002	1	1	1856	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-286-003	2	1	1935	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-286-004	2	1	1860	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-286-005	1	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-287-001	1	0	1910	NO	YES	BUILD	NO	NO	YES	NO	YES	NO	NO	YES	NO
02-32-287-005	1	0	-	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-287-007	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-287-008	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-291-001	1	0	1864	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-291-002	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-292-002	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-429-001	2	0	-	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-429-002	2	1	1925	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-429-003	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-429-009	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-429-010	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-433-001	2	1	1876	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-433-002	2	1	-	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-433-003	2	1	1918	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-433-004	2	1	1956	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO

PIN	Structures	Dwelling Units	Age	Dilapidation	Obsolescence	Deterioration	Illegal Use	Code Violation	Vacant	Lack of Ventilation/Sanitary	Inadequate Utilities	Excessive Land Coverage	Deleterious Land Use	Lack of Community Planning	Environmental Remediation
02-32-433-005	2	1	-	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-433-008	2	1	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-433-009	2	1	-	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-433-011	1	1	1949	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-433-013	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-434-004	2	1	1934	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-32-434-005	1	2	1998	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-154-009	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	YES
02-33-154-013	0	0	-	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	YES
02-33-154-014	0	0	-	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	YES
02-33-154-015	1	0	1880	NO	YES	BUILD	NO	NO	YES	NO	YES	YES	NO	YES	YES
02-33-154-018	0	0	-	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	YES
02-33-154-019	1	0	1947	NO	YES	BOTH	NO	NO	YES	NO	YES	YES	NO	YES	NO
02-33-154-020	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	YES
02-33-154-022	0	0	-	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	YES
02-33-154-023	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	YES
02-33-156-004	0	0	-	NO	YES	SITE	NO	NO	NO	NO	YES	YES	NO	YES	NO
02-33-156-005	2	1	1930	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-156-006	1	1	1886	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-156-007	0	1	1890	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-156-008	2	0	-	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-156-009	1	0	1800	NO	YES	BUILD	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-156-014	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-156-018	1	1	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-157-007	1	1	1956	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-157-008	1	1	1950	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-158-004	2	4	1991	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-177-001	1	0	1988	NO	YES	BOTH	NO	NO	NO	NO	YES	YES	NO	YES	NO
02-33-177-002	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	YES	NO	YES	NO
02-33-177-013	0	0	-	NO	YES	SITE	NO	NO	NO	NO	YES	YES	NO	YES	NO
02-33-178-001	1	2	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-301-002	1	1	1900	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-301-003	2	1	1859	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-301-004	2	1	-	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-301-008	0	0	-	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-301-011	1	1	2000	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-301-013	2	1	2003	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO

PIN	Structures	Dwelling Units	Age	Dilapidation	Obsolescence	Deterioration	Illegal Use	Code Violation	Vacant	Lack of Ventilation/Sanitary	Inadequate Utilities	Excessive Land Coverage	Deleterious Land Use	Lack of Community Planning	Environmental Remediation
02-33-301-015	1	0	1900	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-302-017	1	1	1992	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-302-021	1	1	1995	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-304-004	2	1	1916	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-304-005	2	1	1904	NO	YES	BUILD	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-304-019	2	1	1963	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-304-020	1	1	2007	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-307-002	1	1	1945	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-307-003	2	1	1876	NO	YES	-	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-307-004	2	1	1876	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-307-005	1	4	1901	NO	YES	BOTH	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-307-014	1	1	2000	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-307-016	1	1	2000	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-307-018	1	1	2000	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-307-020	1	1	2000	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-307-021	0	0	-	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO
02-33-307-022	1	1	2000	NO	YES	SITE	NO	NO	NO	NO	YES	NO	NO	YES	NO



DOWNTOWN REDEVELOPMENT PROJECT AREA #2

UNITED CITY OF YORKVILLE, ILLINOIS

PRELIMINARY DRAFT

JULY 18, 2017

PREPARED BY:
JASON ENGBERG
SENIOR PLANNER

VANESSA VUCINIC
PLANNING INTERN

CITY OF YORKVILLE, ILLINOIS

INTRODUCTION

For the Downtown Redevelopment Project Area #2 Study Area, officials of the United City of Yorkville have determined that, without direct municipal involvement and financial assistance, planning objectives for the area cannot be met. To encourage new investment in the Yorkville Downtown Redevelopment Project Area #2, the City has decided to utilize Tax Increment Financing (TIF) as one of several potential financial tools to facilitate redevelopment.

As a part of the feasibility study for a proposed TIF district, the Tax Increment Allocation Redevelopment Act (65 ILCS 5/11 - 74.4 - 1, et seq.) (the Act) stipulates that a Housing Impact Study must be prepared when:

"the redevelopment plan would result in the displacement of residents from 10 or more inhabited residential units, or if the redevelopment project area contains 75 or more inhabited residential units and no certification is made [that the redevelopment plan will not result in displacement of residents]... (Section 11-74.4-3(n)(5))"

The implementation of the Downtown Redevelopment Project Area #2 Redevelopment Plan may result in the displacement of as many as 8 residential units. While this does not exceed the displacement of 10 or more inhabited residential unit's threshold, the redevelopment project area contains 101 inhabited residential dwelling units, which is greater than the threshold of 75 or more inhabited dwelling units. Therefore, completion of this Housing Impact Study is required. This estimate is based on a field inventory completed as a part of the TIF Eligibility Study, conducted on July 10, 2017. The City has recently prepared a Comprehensive Plan which recommends future land uses within the proposed Yorkville Downtown Redevelopment Project Area #2. Some of the existing residential units have been projected to be displaced in order to facilitate redevelopment opportunities. Therefore, the United City of Yorkville has prepared this report to satisfy the requirements of Section 11-74.4-3(n)(5).

The number and type of residential buildings in the Project Area potentially affected by the Redevelopment Plan were identified during the building condition and land use survey conducted as part of the eligibility analysis for the Project Area. A good faith estimate and determination of the number of residential units within each such building, whether such residential units were inhabited, and whether the inhabitants were low-income or very low-income households were based on a number of research and analytical tools including physical building surveys, data received from the City of Yorkville, and the 2015 American Community Survey (ACS).

PART 1: HOUSING INVENTORY

The Act stipulates specific information that must be provided in a Housing Impact Study. According to the Act, Part I of the Housing Impact Study shall include:

- i. data as to whether the residential units are single family or multi-family units,
- ii. the number and type of rooms within the units, if that information is available,
- iii. whether the units are inhabited or uninhabited, as determined not less than 45 days before the date that the ordinance or resolution required by subsection (a) of Section 11-74.4-5 is passed, and
- iv. data as to the racial and ethnic composition of the residents in the inhabited residential units. The data requirement as to the racial and ethnic composition of the residents in the inhabited residential units shall be deemed to be fully satisfied by data from the most recent federal census.

TYPE OF RESIDENTIAL USES

Table 1 describes the residential units by type.

TABLE 1 | DWELLING UNITS BY TYPE

Housing Type	# of Housing Units	% of Housing Units
Single-Family	64	62.7%
Multi-Family	38	37.3%
Total	102	100%

Source: Field Survey - July 10, 2017

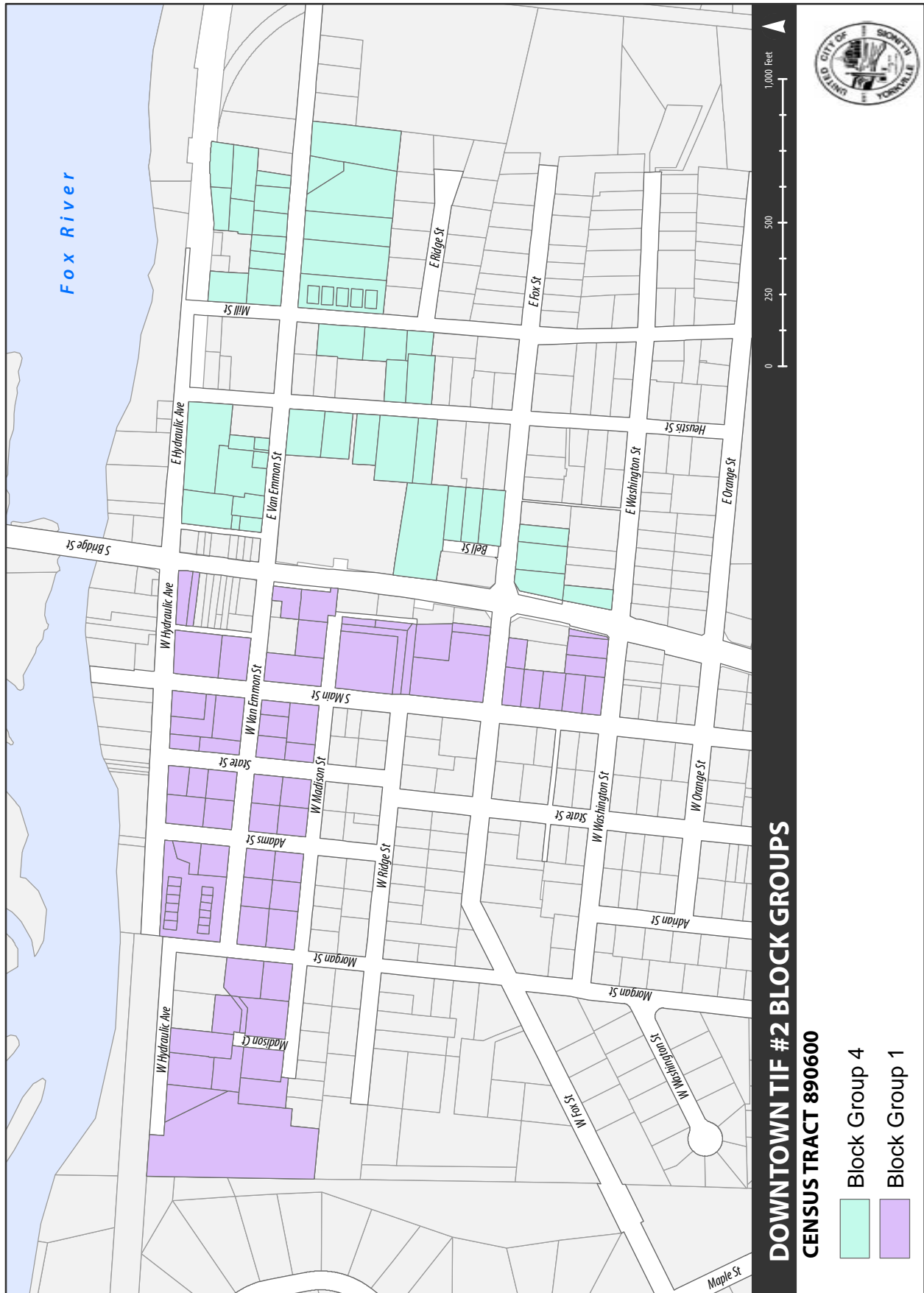
NUMBER OF RESIDENTS

For purposes of this study, data has been gathered from the United States Census 2015 American Community Survey and represented in the form of Block Groups. A Block Group is a combination of census blocks. The Block Group is the lowest level of geography for which the Census Bureau has tabulated data. In this study, Yorkville has relied on the 2015 American Community Survey because it contains the best available information regarding the structures and residents of the Downtown TIF District #2. The Project Area contains portions of the block group 1 and block group 4 of Census Tract 8906.00 (see Exhibit A). In total, there are 102 housing units and approximately 264 residents within the Project Area (Table 2).

TABLE 2 | HOUSING UNITS AND POPULATION

Census Tract	Block Group	Average Household Size	Housing Units	Estimated Number of Residents
8906.00	1	2.91	64	186
8906.00	4	2.05	38	78
Total			102	264

Source: 2015 American Community Survey



NUMBER OF BEDROOMS

Table 3 shows the estimated number of bedrooms in residential units in the Downtown Redevelopment Project Area #2. As defined by the Census Bureau, number of bedrooms includes all rooms intended for use as bedrooms even if they are currently used for some other purpose. A residential unit consisting of only one room, such as a one-room efficiency apartment, is classified by definition as having no bedroom.

TABLE 3 | ESTIMATED NUMBER OF BEDROOMS PER DWELLING UNIT

Census Tract 8906.00 Number of Bedrooms	Block Group 1		Block Group 4	
	Dwelling Units	Percentage	Dwelling Units	Percentage
0 Bedrooms	1	2%	0	0%
1 Bedroom	3	4%	1	3%
2 Bedrooms	12	18%	25	65%
3 Bedrooms	21	34%	8	21%
4 Bedrooms	20	31%	3	9%
5 or More Bedrooms	7	11%	1	2%
Total	64	100%	38	100%

Source: 2015 American Community Survey

UNITS WITH KITCHEN AND PLUMBING FACILITIES

Table 4 shows the estimated number of conventional residential units in the Downtown Redevelopment Project Area #2 with kitchen and plumbing facilities. As defined by the Census Bureau, a unit has complete kitchen facilities when it has all of the following: (1) an installed sink with piped water; (2) a range, cook top and convection or microwave oven, or cook stove; and (3) a refrigerator. All kitchen facilities must be located in the structure. They need not be in the same room. Portable cooking equipment is not considered a range or cook stove. An ice box is not considered to be a refrigerator. As defined by the Census Bureau, complete plumbing facilities include hot and cold piped water, a flush toilet, and a bathtub or shower. All three facilities must be located inside the house, apartment, or mobile home, but not necessarily in the same room. Housing facilities are classified as lacking complete plumbing facilities when any of the three facilities are not present.

TABLE 4 | ESTIMATED NUMBER OF UNITS WITH KITCHEN AND PLUMBING FACILITIES

Facility	Units with Facility	% of Units	Units without Facility	% of Units
Kitchen	94	92%	8	8%
Plumbing	100	98%	2	2%

Source: 2015 American Community Survey

INHABITED UNITS

The occupancy status of the residential units in the Project Area must be determined not less than 45 days prior to the adoption of an ordinance or resolution fixing the time and place for public hearing. **The City of Yorkville has adopted an ordinance fixing the time and place for public hearing on X, and the occupancy status of the residential units was verified on July 10, 2017.** As of that date, as determined initially by a building-by-building field survey, an estimated 1.1% of units in the Downtown Redevelopment Project Area #2 were determined to be uninhabited (1 Dwelling Unit). Therefore, 93 residential units in the Project Area are assumed to be inhabited.

RACIAL AND ETHNIC COMPOSITION

As required by the Act, the racial and ethnic composition of the residents in the inhabited residential units is determined according to the most recent Federal census data. As noted, there are an estimated 264 residents in project area. Racial and ethnic composition is available from the 2015 American Community Survey. Table 5 identifies residents by their racial and ethnic composition, and estimates the racial and ethnic composition of the estimated 264 residents of the Downtown Redevelopment Project Area #2.

TABLE 5 | ESTIMATED RACIAL AND ETHNIC COMPOSITION OF RESIDENTS

Race	8906.00, Block Group 1	8906.00 Block Group 4	Total	Percent of Population	Estimated in Project Area
White Only	3493	973	4466	96.7%	255
Black or African American Only	71	14	85	1.8%	5
American Indian and Alaskan Native Only	0	0	0	0.0%	0
Asian Only	0	0	0	0.0%	0
Native Hawaiian and Other Pacific Islander Only	0	0	0	0.0%	0
Other Single Race	15	12	27	0.6%	2
Two or More Races	30	12	42	0.9%	2
TOTAL	3609	1011	4620	100.0%	264

Source: 2015 American Community Survey

ECONOMIC COMPOSITION

The distribution of household income for residents within the Project Area is based on 2015 American Community Survey data. In order to estimate the number of moderate, low, very low, and extremely low-income households in the Project Area, Census Tract household incomes from the 2015 American Community Survey were used. As determined by the US Department of Housing and Urban Development ("HUD"), the definitions of the income categories, adjusted for household size, are as follows:

- An extremely low-income household has an adjusted income of not more than 30% of the area median income.
- A very low-income household has an adjusted income of more than 30% and not more than 50% of the area median income.
- A low-income household has an adjusted income of more than 50% and not more than 80% of the area median.
- A moderate-income household has an adjusted income of more than 80% and not more than 120% of the area median.

The median household income for the City of Yorkville is \$89,850, based on data from the 2015 American Community Survey. The estimates of households at or below the moderate-income level collectively represent approximately 61.4% of the total inhabited residential units in the Project Area. As a result, the City will implement the Redevelopment Plan (including the requirements applicable to composition of the joint review board under Section 11-74.4-5(b) of the Act) as if more than 50 percent of the residential units are occupied by extremely low, very low, low, or moderate income households.

TABLE 6 | STUDY AREA EXTREMELY LOW, VERY LOW, LOW, AND MODERATE HOUSEHOLD INCOME LEVEL

Median Household Income Level	Income Categories Based on Level	% of Households within Study Area
Extremely Low Income (1)	\$0-\$26,955	11.4%
Very Low Income (2)	\$26,956-\$44,925	12.1%
Low Income (3)	\$44,926-\$71,880	16.1%
Moderate Income (4)	\$71,881-\$107,820	21.8%

Source: 2015 American Community Survey

1. Definition of Extremely Low Income Household as defined by the Illinois Affordable Housing Act: "Extremely low-income household" means a single person, family or unrelated persons living together whose adjusted income is not more than 30% of the median income of the area of residence.
2. Definition of Very Low Income Household as defined by the Illinois Affordable Housing Act: "Very low-income household" means a single person, family or unrelated persons living together whose adjusted income is not more than 50% of the median income of the area of residence.
3. Definition of Low Income Household as defined by the Illinois Affordable Housing Act: "Low-income household" means a single person, family or unrelated persons living together whose adjusted income is more than 50% but less than 80% of the median income of the area of residence.
4. "Moderate income household" means a single person, family or unrelated persons living together whose adjusted income is more than 80% but less than 120% of the median income of the area of residence.
5. The percentages of the study area households that qualify as extremely low, very low, low, and moderate income were determined at the block group level, as per 2014 American Community Survey data.

PART 2: RELOCATION PLANS

The Act specifies that the second part of a Housing Impact Study must:

“...identify the inhabited residential units in the proposed redevelopment project area that are to be or may be removed. If inhabited residential units are to be removed, then the housing impact study shall identify (i) the number and location of those units that will or may be removed, (ii) the municipality’s plans for relocation assistance for those residents in the proposed redevelopment project area whose residences are to be removed, (iii) the availability of replacement housing for those residents whose residences are to be removed, and shall identify the type, location, and cost of the housing, and (iv) the type and extent of relocation assistance to be provided.”

RESIDENTIAL UNITS WHICH MAY BE DISPLACED

The Redevelopment Plan indicates that inhabited residential units may be redeveloped during the 23-year lifetime of the TIF. Residential units may be displaced from the Downtown Redevelopment Project Area #2 in order to facilitate potential future development opportunities. The potential removal of any buildings containing residential units and any displacement of residents of inhabited units will be done within the intent of the Redevelopment Plan. These units, if displaced, are likely to be displaced over time throughout the life of the Redevelopment Plan.

AVAILABILITY OF REPLACEMENT HOUSING

According to data in the 2015 American Community Survey, approximately 79% of housing units in the Downtown Redevelopment Project Area #2 are owner occupied. Conversely, approximately 20% of housing units in TIF District #2 are estimated to be renter occupied. The remaining 1% of residential units are vacant. Therefore, both for-sale and for-rent units are considered for potential replacement housing.

TABLE 7 | OWNER VS. RENTER OCCUPANCY

	Number	Percentage
Owner Occupied	81	79.4%
Renter Occupied	20	19.6%
Vacant	1	1.0%
Total:	102	100.0%

Source: 2015 American Community Survey

In order to determine appropriate replacement housing, real estate listings were examined in areas in close proximity to the Downtown Redevelopment Project Area #2. According to the 2015 American Community Survey, the median home value in Yorkville is \$232,500, and according to www.trulia.com the median rent per month for a single family home is \$1,595. Listings were obtained for homes with list prices approximately equivalent to the market values of homes which may be displaced (\$260,000 and below). The location, type, and cost of a sample of possible replacement housing units in these areas are shown in Tables 8 and 9. The information presented is based on classified advertisements from multiple sources, including Trulia.com and Zillow.com during July 2017. If relocation for displaced residents of the Downtown Redevelopment Project Area #2 is required, there are similar priced single-family homes and rental units available both within the City of Yorkville and in the immediate vicinity.

TABLE 8 | REAL ESTATE FOR SALE NEAR DOWNTOWN TIF DISTRICT #2

Similar Nearby For Sale:	City	Price	# Bedrooms/Baths	Type
22 Gawne Ln	Yorkville	\$180,000	3 Bedroom	Single-Family Home
19 Maple St	Yorkville	\$164,900	3 Bedroom	Single-Family Home
706 Morgan St	Yorkville	\$184,900	3 Bedroom	Single-Family Home
502 W Dolph St	Yorkville	\$199,000	3 Bedroom	Single-Family Home
703 S Main St	Yorkville	\$235,000	3 Bedroom	Single-Family Home
3403 Veronica St	Plano	\$137,300	3 Bedroom	Single-Family Home
207 Pleasure Dr #A	Yorkville	\$155,000	4 Bedroom	Single-Family Home
2342 Emerald Ln	Yorkville	\$190,095	4 Bedroom	Single-Family Home
2203 Ryan Dr	Yorkville	\$219,990	5 Bedroom	Single-Family Home
57 Stanfield Dr	Plano	\$169,713	5 Bedroom	Single-Family Home

TABLE 9 | REAL ESTATE FOR RENT NEAR DOWNTOWN TIF DISTRICT #2

Similar Nearby For Rent:	City	Rent	# Bedrooms/Baths	Type
302 E Kendall Dr	Yorkville	\$1,710	3 Bedroom	Apartment
221 Fairhaven Dr #00	Yorkville	\$1,985	3 Bedroom	Multi-Family Home
4201 Foli St	Plano	\$1,795	3 Bedroom	Single-Family Home
1386 Carolyn Ct	Yorkville	\$1,695	3 Bedroom	Single-Family Home
477 E Barberry Cir	Yorkville	\$1,850	4 Bedroom	Single-Family Home
1393 Carolyn Ct #C	Yorkville	\$1,595	2 Bedroom	Townhome
3821 Bailey Rd #336010	Yorkville	\$1,695	3 Bedroom	Townhome
302 Morgan St	Yorkville	\$1,550	3 Bedroom	Townhome
3935 Havenhill Ct	Yorkville	\$1,695	3 Bedroom	Townhome
3821 Bailey Rd	Yorkville	\$1,695	3 Bedroom	Townhome

CITY'S PLANS FOR RELOCATION ASSISTANCE AND TYPE AND EXTENT OF RELOCATION ASSISTANCE

The TIF Act allows the City of Yorkville to provide relocation assistance to residents displaced by the Redevelopment Plan. The City plans on providing relocation assistance to those individuals who qualify under the TIF Act. As stated, the City will utilize guidelines from the Federal Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (URA) and other federal guidelines as the basis for its relocation assistance where appropriate.

In addition, to the extent that any removal or displacement will affect households of low-income and very low income persons, the City will provide affordable housing and relocation assistance not less than that which would be provided under the URA and the regulations thereunder, including the eligibility criteria. Affordable housing may either be existing or newly constructed housing and the City shall make a good faith effort to ensure that the affordable housing is located in or near the Project Area. For the purposes of this Housing Impact Study, "low-income households", "very low-income households", and "affordable housing" shall have the meanings set forth in the Illinois Affordable Housing Act.

As of the date of this Redevelopment Plan, these statutory terms have the following meaning: (i) “low-income household” means a single person, family or unrelated persons living together whose adjusted income is more than 50 percent but less than 80 percent of the median income of the area of residence, adjusted for family size, as such adjusted income and median income are determined from time to time by the United States Department of Housing and Urban Development (“HUD”) for purposes of Section 8 of the United States Housing Act of 1937 (“Section 8”); (ii) “very low-income household” means a single person, family, or unrelated persons living together whose adjusted income is not more than 50 percent of the median income of the area of residence, adjusted for family size, as so determined by HUD for the purposes of Section 8 of the United States Housing Act of 1937; and (iii) “affordable housing” means residential housing that, so long as the same is occupied by low-income households or very low-income households, requires payment of monthly housing costs, including utilities other than telephone, of no more than 30 percent of the maximum allowable income for such households, as applicable.

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**UNITED CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS
DOWNTOWN REDEVELOPMENT PROJECT AREA #2**

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I. *Tax Increment Financing.*

In February 1977, the Illinois General Assembly passed the initial version of what is now the present Tax Increment Allocation Redevelopment Act (the “Act”) (65 ILCS 5/11-74.4-1 *et seq.*). This 1977 legislation was the initial authorization for the use of tax increment financing (“TIF”) in Illinois. The Act provides a means for municipalities, after the approval of a Redevelopment Plan, designation of a Redevelopment Project Area and adoption of tax increment allocation financing, to redevelop blighted, conservation, or industrial park conservation redevelopment project areas and to finance “redevelopment project costs” (“*Redevelopment Project Costs*”) with “incremental property tax revenues” (“*Incremental Property Taxes*”). Incremental Property Taxes are derived from the increase in the equalized assessed valuation (“EAV”) of taxable real property within the Redevelopment Project Area over and above the equalized assessed value of such property from the time tax increment allocation financing is adopted (“*Initial EAV*”). Any year-to-year increase in EAV over the Initial EAV of such property is then multiplied by the current tax rate, which results in Incremental Property Taxes.

The Act defines a number of eligible items that qualify as Redevelopment Project Costs. Incremental Property Taxes may pay for eligible Redevelopment Project Costs or may be pledged, notes or other obligations issued for that purpose. In addition, a municipality may pledge, as payment, additional revenues including revenues from the Redevelopment Project, municipal property taxes or other revenue sources, and may issue bonds backed by the general obligation of the municipality or payable solely from Incremental Property Taxes and other sources.

As stated above, as a result of the adoption of TIF, Incremental Property Taxes are captured as new tax revenues generated by the increase of the EAV over the Initial EAV. This increased EAV of properties can result from a municipality’s redevelopment program, improvements, various developments and redevelopment activities, and the reassessment of properties. Under the Act, all taxing districts continue to receive property taxes levied by application of their tax rates on the Initial EAV of properties within the Redevelopment Project Area. Taxing districts benefit from the increased property tax base after Redevelopment Project Costs and obligations have been paid and the designation of the redevelopment project is terminated. If the taxing districts have building and structures in the Redevelopment Project Area, those facilities are eligible for repair, remodeling and rehabilitation to the extent funds are available.

Any capitalized term not otherwise defined herein shall have the same meaning ascribed to such term by the Act.

II. *The United City of Yorkville*

The United City of Yorkville (the “City”) is located approximately 50 miles southwest of Chicago within Kendall County’s Fox River Valley as the Fox River runs directly through the City. The City is generally bounded by the Villages of Montgomery and Sugar Grove to the north; the Village of Oswego the east; the City of Plano to the west; and, the City of Morris to the south.

The town of Yorkville was originally settled in 1832 as an agricultural business center with a downtown district south of the Fox River on Bridge Street. Although the City started as a small town, growth has been a hallmark of the community since its inception as illustrated by Yorkville’s designation as the County Seat in 1859; the establishment of the Chicago Burlington and Quincy railroad route through Yorkville in 1870; and, Yorkville’s incorporation in 1887. Yorkville grew even further when in 1957, based on shared circumstances, the then town of Yorkville and its neighbor to the north of the Fox River, the town of Bristol, combined to form what we know today as the “United City of Yorkville”.

Between 1960 and the census of 2000, the City’s population grew to 6,189. In the following 10 years, the population grew by over 10,000 people to 16,921 per the 2010 census. Due to the swelling population, the City is currently in the process of conducting a special census as it estimates its current population at 18,500 people. The City continues to annex hundreds of acres; develop residential subdivisions, commercial corridors and an industrial park; and, has begun to attract tourists with the recreational amenities provided by the Fox River and the opening of the Marge Cline Whitewater Course at the Glen D. Palmer Dam located at the City’s Bicentennial Riverfront Park.

Despite the aforementioned population increase and the substantial residential and commercial development in recent years, little has been done to the area comprising the City’s “downtown district” to keep up with the changing times.

Many of the buildings therein suffer from deterioration as a result of aging such as defects in doors, windows, porches, gutters, downspouts and fascia. As the oldest part of the City, the area is also serviced by outdated utilities that are insufficient to keep up with the growing population. In addition, because of its age, the area was developed at a time when a comprehensive plan did not exist for the City, resulting in a poor street design that impedes the overall flow and plan of the City. Finally, and most distressing, is the rampant decline in the assessed values of properties within the area.

As regional growth of the Chicago metropolitan area proceeds southwestward, the City has focused its planning efforts on guiding development to assure a compatible balance

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of land uses reflective of the City's small town heritage but also responsive to its continuing population growth and contemporary development opportunities. Implementation of the Act shall permit the City to provide incentives to attract developers, who have been unwilling to undertake development to date because of the factors detailed above, which development would eradicate those same detrimental factors and bring the City's downtown district in line with the Comprehensive Plan which the City adopted in 2016.

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III. *Redevelopment Project Area.*

The proposed “United City of Yorkville, Kendall County, Illinois Downtown Redevelopment Project Area #2”, as legally described on Exhibit A hereto and depicted by the map attached hereto as Exhibit B (the “*Redevelopment Project Area*”), encompasses some of the oldest structures in the United City of Yorkville dating from the late 1800’s and early 1900’s including the Kendall County Courthouse originally built in 1864. This Downtown district is a mixed-use area with a range of commercial and retail uses, restaurants, residential uses, public and civic uses with a few industrial uses remaining from the dependence on the Fox River and freight rail line in the past. In the early 1970’s however, commercial development occurred at the intersecting corridors of US Route 34 and IL Route 47 which included a strip retail center, big box uses and businesses. This new auto-oriented commercial area significantly imported the Downtown district and new private investment in the Downtown diminished. The current land uses within the Project Area are detailed on the map attached hereto as Exhibit C.

In 2000, the City began to address the changing opportunities for redevelopment of the Downtown and in 2005, adopted the “United City of Yorkville Downtown Vision Plan” which set forth recommendations for development and redevelopment in this area. As a part of its strategy, in 2006, the City designated the area as a “redevelopment project area” under the Act in order to revitalize the Downtown and stimulate new development, redevelopment and rehabilitation in the Downtown.

The best efforts on the part of the City’s capable staff were thwarted by the country’s economic decline occurring shortly after the adoption of the TIF Act. The opportunities for growth and redevelopment were seriously limited for some period of time. Since the date of the adoption of the Act in 2006, as applicable to the Downtown, the equalized assessed value of all properties included in this redevelopment project area increased from \$5,745,902 to \$5,865,094 a total increase of approximately two percent (2%) in ten (10) years.

The City has come to the realization that it must give more attention to the Downtown in order to retain its colorful history while providing the infrastructure and amenities needed. The construction of the Marge Cline Whitewater Course at Bicentennial Riverfront Park in 2010 was expected to create new interest in the Downtown district, however, minimal redevelopment has occurred. This Redevelopment Plan provides an updated coordinated plan for sixty (60) parcels of property included in the 2006 Downtown Redevelopment Project Area, and the addition of adjacent parcels in order to address the recommendations provided by the City’s 2016 Comprehensive Plan and the improvements of the river front.

The Project Area is positioned around the Route 47 and Van Emmon Street intersection and its general boundary contains a majority of the parcels both north and south of Van

Emmon Street from 5 blocks West of Route 47 to 3 blocks east of Route 47, as well as parcels on the east side of Main Street from Madison Street to Washington Street, parcels on the west side of Mill St from Van Emmon Street to Ridge Street, parcels on the east side of Heustis Street from Van Emmon Street to Fox Street, and parcels on the east side of Route 47 from Washington Street to Van Emmon Street.

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IV. *Redevelopment Plan to Address Existing Conditions.*

- A. Upon the designation of the Redevelopment Project Area as a “redevelopment project area” under the Act, the City intends to use tax increment financing to pay Redevelopment Project Costs and to stimulate private investment for development and redevelopment thereby eliminating those conditions, the existence of which qualified the improved area of the proposed Redevelopment Project Area as a “conservation area”. Under the Act, the purpose for preparation of a Redevelopment Plan is to set forth a guide to be undertaken for activities with a goal toward stimulating comprehensive and coordinated redevelopment in order to induce private investment.

As required by the Act, each Redevelopment Plan must include the program to be undertaken by the municipality in order to complete its objectives and must set forth the following:

1. an itemized list of estimated redevelopment project costs;
2. evidence indicating that the redevelopment project area on the whole has not been subject to growth and development through investment by private enterprise;
3. an assessment of any financial impact of the redevelopment project area on or any increased demand for services from any taxing district affected by the plan and a program to address such financial impact or increased demand;
4. the sources of funds to pay development or redevelopment costs;
5. the nature and term of the obligations to be issued, if any;
6. the most recent equalized assessed valuation of the proposed Redevelopment Project Area;
7. an estimate as to the equalized assessed valuation after redevelopment and the general land uses to apply in the proposed Redevelopment Project Area;
8. a commitment to fair employment practices and an affirmative action plan;
9. if it concerns an industrial park conservation area, the plan shall also include a general description of any proposed developer, user and tenant of any property; a description of the type, structure and general character of the facilities to be developed, a description of the type, class and number of new employees to be employed in the operation of the facilities to be developed; and,

10. if property is to be annexed to the municipality, the plan shall include the terms of the annexation agreement.

B. The Act prohibits the adoption of a Redevelopment Plan unless the municipality complies with the following:

1. The municipality finds that the proposed redevelopment project area on the whole has not been subject to growth and development through investment by private enterprise and would not reasonably be anticipated to be developed without the adoption of the redevelopment plan.
2. The municipality finds that the redevelopment plan and project conform to the comprehensive plan for the development of the municipality as a whole, or, for municipalities with a population of 100,000 or more, regardless of when the redevelopment plan and project was adopted, the redevelopment plan and project either: (i) conforms to the strategic economic development or redevelopment plan issued by the designated planning authority of the municipality, or (ii) includes land uses that have been approved by the planning commission of the municipality.
3. The redevelopment plan establishes the estimated dates of completion of the redevelopment project and retirement of obligations issued which may be issued to finance redevelopment project costs. Those dates may not be later than the dates set forth under Section 11-74.4-3(n)(j)(3); *i.e.*, not later than December 31 of the year in which the payment to the municipal treasurer of Incremental Property Taxes is to be made with respect to real estate taxes levied in the twenty-third year after the year in which the ordinance approving the Redevelopment Project Area is adopted.

V. *Redevelopment Project Area Goals and Objectives.*

A. *Redevelopment Project Area Goals.*

In order to benefit from the Act and achieve new private investment within the proposed Redevelopment Project Area, the City must establish a framework for guiding decisions to be made as a part of the implementation of this Redevelopment Plan. These include:

1. Preservation of the history of the City through retention of historic structures.
2. Creation of an environment within the Redevelopment Project Area that will contribute more positively to the health, safety and general welfare of the City and preserve or enhance the value of properties in and adjacent to the Redevelopment Project Area.
3. An increase in the sales tax base of the City and the property tax base of overlapping taxing districts.
4. Addition of new amenities, businesses and services to the City thereby creating new jobs and retaining existing jobs for City and area residents.
5. Strengthening the economy and future economic viability of the Downtown and the larger community.
6. Stabilizing a revitalized downtown business district.
7. Rehabilitation and renovation of structures within the Redevelopment Project Area to address the current market place requirements.
8. Sound economic development within the Redevelopment Project Area that is consistent with the 2016 Comprehensive Plan for the development of the Downtown and the City as a whole.

B. *Redevelopment Objectives.*

The designation of the Redevelopment Project Area as a “redevelopment project area” under the Act shall grant the City the power to:

1. Reduce or eliminate those conditions that qualified the Redevelopment Project Area as a “conservation area”. Reduce or eliminate those blighting conditions in the improved “conservation area” which qualified said area as a Redevelopment Project Area. Such conditions include deterioration, inadequate utilities, lack of community planning and a declining equalized assessed value as defined by the Act, as more fully described in the Eligibility Study in order to encourage the redevelopment of the Redevelopment Project Area.

2. Encourage preservation of the historic appearance of buildings, rights-of-way, and open spaces and encourage the development and improved standards of design.
3. Strengthen the economic vitality of the Redevelopment Project Area by increasing business activity, improving the tax base, and providing job opportunities.
4. Stimulate through incentives, if necessary, new private investment in improvements and redevelopment within the Redevelopment Project Area.
5. Provide needed public improvements to the infrastructure or facilities in proper relationship to the projected demand for such facilities and in accordance with present-day standards for such facilities. Infrastructure improvements should address the problems cited in the Eligibility Study in order to encourage redevelopment of the Redevelopment Project Area.
6. Provide needed financial assistance, if necessary, to induce a broad range of improvements.
7. Provide the renovation and rehabilitation of structures where economic obsolescence is a material impediment to the redevelopment of the Redevelopment Project Area.
8. Address the deteriorating street pavement, sidewalks, parking areas, driveways and curbs.
9. Improve the visual attractiveness of the City through landscaping and coordination of design in the Redevelopment Project Area.
10. Improve opportunities for commercial, office and mixed-use development and redevelopment.

C. Redevelopment Implementation Strategy.

The implementation and conclusion of a well-devised redevelopment strategy is a key element in the success of this Redevelopment Plan. In order to maximize program efficiency and to take advantage of redevelopment interest in the Redevelopment Project Area, and with full consideration of available funds, the City intends to proceed in an expeditious manner.

A combination of public and private investments is an essential element of this Redevelopment Plan. In order to achieve the foregoing investments and improvements, the City may enter into agreements, including agreements with private developers, proposing that assistance may be provided pursuant to the Act, where deemed appropriate, to facilitate private projects and development. The City may also contract with other entities, including governmental units, to accomplish certain public and private projects as contained in this Redevelopment Plan.

VI. *Lack of Development, Growth and Fiscal Impact on Taxing Districts.*

A. *Evidence of the lack of development and growth within the Redevelopment Project Area.*

As documented in the Eligibility Study, attached hereto and incorporated herein as Exhibit D, the Redevelopment Project Area has suffered from a lack of growth and development through investment by private enterprise and qualifies as a “conservation area”. Absent financial assistance from the City, development or redevelopment in the Redevelopment Project Area is not reasonably anticipated to occur.

The Redevelopment Project Area’s blighting conditions, as documented in the Eligibility Study, are reasonably present to a meaningful extent, are reasonably distributed throughout the Redevelopment Project Area, and will continue to worsen if not addressed by the City. In addition, these conditions discourage private sector investment whether in development of residential opportunities or commercial enterprises or in the redevelopment of existing facilities. Accordingly, the City finds that actions taken, at least in part, through the implementation of this Redevelopment Plan will significantly mitigate such problems.

B. *Assessment of Fiscal Impact on Affected Taxing Districts.*

It is not anticipated that redevelopment projects implemented as part of this Redevelopment Plan will have a negative financial impact on or cause increased demand for services or capital improvements from any taxing district affected by the Redevelopment Plan. No current property taxes will be diverted from any taxing district. Instead, taxing districts could benefit from distributions of any surplus tax increment. Capital funds will also be available to assist in the development of public improvements. The Redevelopment Project Costs set forth in Section VIII of this Redevelopment Plan provide for significant amounts to pay taxing district capital costs in accordance with the Act should impacts be greater than expected.

The following is an assessment of the impact on each individual taxing district:

Kendall County

There is expected to be no impact and no expected increase in demand for services or negative financial impact.

Waubensee Community College District #516

There is expected to be no impact and no expected increase in demand for services. Funds are also available for job training.

United City of Yorkville

|

There is expected to be minimal impact and minimal expected increase in demand for services. Funds are available for capital projects undertaken by the City within the Redevelopment Project Area.

Yorkville ^[bo1] Unit School District 115

Residential development may be a component of the implementation of the Redevelopment Plan for the Redevelopment Project Area. In the event the net amount of students from development undertaken in the Redevelopment Project Area increases as a result of the TIF assistance to the development of housing units, funds have been allocated in the budget for estimated Redevelopment Project Costs hereinafter set forth for reimbursement pursuant to the Act. In addition, funds are available for capital costs which may be incurred by the district as a result of activities in the Redevelopment Project Area.

Kendall Township

There is expected to be no impact and no expected increase in demand for services or negative financial impact.

Bristol Township |

^[bo2]

There is expected to be no impact and no expected increase in demand for services or negative financial impact.

VII. *Redevelopment Activities.*

Pursuant to the goals and objectives as stated in Article V, the City will implement a coordinated program of action. The City may use any program element authorized by the Act including, but not limited to, those listed below. The City proposes to achieve the redevelopment goals and objectives of this Redevelopment Plan for the Redevelopment Project Area through the use of “incremental property taxes” available to it pursuant to the Act and through public financing techniques including, but not limited to, tax increment financing and by utilizing such other financing techniques deemed necessary to undertake some or all of the following activities and improvements:

1. *Analysis, Administration, Studies, Surveys, Legal, etc.*

The City may undertake or engage professional consultants, engineers, architects, attorneys, etc. to conduct various analyses, design façade improvements, study alternative potential uses, survey current needs for the City, provide legal services to establish, implement and administer the Redevelopment Plan.

2. *Property Assembly*

The City, or an agent for the City, may acquire and assemble land for the purpose of development or redevelopment. Underutilized or misused property may be acquired by purchase, exchange, or long-term lease by private developers or the City for the purpose of new development or redevelopment.

3. *Land Preparation*

The City may assist in the preparation of land to include demolition, environmental remediation, and flood mitigation.

4. *Rehabilitation and Lease Hold Improvements*

The City may assist in rehabilitation, remodel, repair, and lease hold improvements.

5. *Land Acquisition*

The City may purchase land within the proposed Redevelopment Project Area.

6. *Development or Redevelopment Agreements*

The City may enter into development and redevelopment agreements with private or public entities in the furtherance of this Redevelopment Plan. Such agreements may be for the assemblage of land, construction of improvements or facilities, improvement of access, the provision of services, reimbursement of eligible redevelopment project costs under the Act or any other lawful purpose. Agreements may contain terms and provisions that are more specific than the controls that are

summarized in this Redevelopment Plan.

In the case where a private individual or entity received benefits under the Act for the purpose of originating, locating, maintaining, rehabbing, or expanding a business facility and abandons or relocates its facility in violation of a redevelopment agreement, the City reserves the right to collect reimbursement for funds extended in accordance with the Act.

7. *Provision of Public Works or Improvements*

The City may provide public works and improvements that are necessary to service the Redevelopment Project Area in accordance with the Redevelopment Plan. Public works and improvements may include, but are not limited to, the following:

- Streets, Sidewalks, Lighting, Utilities, and Parking

Public infrastructure improvements may be necessary to adequately serve the Redevelopment Project Area and potential new development. Improved access will be necessary to develop portions of the Redevelopment Project Area. Certain infrastructure improvements, in connection with and adjacent to the Redevelopment Project Area, may be necessary to advance the goals and objectives of this Redevelopment Plan. It is expected that streets, sidewalks, utilities (including any electrical or data upgrades needed to accommodate current technology), and parking improvements will be part of any redevelopment activity.

- Landscaping

Landscape/buffer improvements, street lighting and general beautification improvements may be provided.

- Sanitary Sewer System

Improvements and rehabilitation of sanitary sewer mains to eliminate sewer backup including the relining of existing sewer mains and replacement of manholes. In addition, improvements to the City's wastewater treatment system must be made, including the construction of a new waste water treatment plant.

- Stormwater Management

Analysis of the existing stormwater management structure and improvements as may needed to be created to reduce stormwater runoff.

- Coordinate Design for Improvement within the Redevelopment Project Area

Where possible, design elements should be planned in such a way as to make

the Redevelopment Project Area aesthetically pleasing. Consistent and coordinated design patterns should be promoted.

- Job Training

The City may assist facilities and enterprises located within the Redevelopment Project Area in obtaining job training assistance. Job training and retraining programs currently available from or through other governments include, but are not limited to:

- Federal programs;
- State of Illinois programs;
- Applicable local vocational educational programs, including community college sponsored programs; and,
- Other federal, state, county, or non-profit programs that are currently available or will be developed and initiated over time.

- Interest Subsidy

Funds may be provided to reimburse redevelopers for a portion of interest costs related to the construction of qualifying redevelopment facilities and improvements.

- Assist in Financing Redevelopment Project Area Contiguous TIFs

Funds derived from either this Redevelopment Project Area or others that may be contiguous are eligible to be used for the support of the other redevelopment programs under this Redevelopment Plan.

The Project Area's proposed land uses will be as detailed on the map attached hereto as Exhibit E.

VIII. *Estimated Redevelopment Project Costs.*

The Act defines Redevelopment Project Costs as the sum total of all reasonable or necessary costs incurred or estimated to be incurred, and any such costs incidental to the Redevelopment Plan and its implementation through development and redevelopment projects. All costs to be paid or reimbursed in the Redevelopment Project Area will conform to this definition.

A wide range of redevelopment activities and improvements will be required to implement the Redevelopment Plan. The activities and improvements and their estimated costs (2017 dollars) are summarized below. To the extent that obligations are issued to pay for such Redevelopment Project Costs prior to, and in anticipation of, the adoption of TIF and designation of the Redevelopment Project Area, the City may directly pay or be reimbursed from Incremental Property Taxes for such Redevelopment Project Costs to their fullest extent. These costs are in addition to total Redevelopment Project Costs.

The total Redevelopment Project Costs set forth below are an upper estimate of expenditures and do not commit the City to undertake any particular Redevelopment Project Costs.

While all of the costs in the budget below are eligible Redevelopment Project Costs under the Act and this Redevelopment Plan, inclusion herein does not commit the City to finance all of these costs with TIF funds.

A. Total Redevelopment Project Budget

1. Costs of studies, surveys, development of plans and specifications, implementation and administration (annual administrative costs shall not include general overhead or administrative costs of the municipality that would still have been incurred by the municipality if the municipality had not designated a Redevelopment Project Area or approved a Redevelopment Plan) of the Redevelopment Plan including, but not limited to, staff and professional service costs for architectural, engineering, legal, financial, planning or other services, as provided for by 65 ILCS 5/11-74.4-3(q)(1-1.5).

\$200,000.00

2. Costs of marketing sites within the Redevelopment Project Area to prospective businesses, developers, and investors, as provided for by 65 ILCS 5/11-74.4-3(q)(1.6).

\$50,000.00

3. Property assembly costs, including, but not limited to, acquisition of land and other property, real or personal, or rights or interests herein, demolition of buildings, site preparation, site improvements that serve as an engineered barrier addressing ground level or below ground environmental contamination, including, but not limited to, parking lots and other concrete or asphalt barriers, and the clearing and grading of land,

as provided for by 65 ILCS 5/11-74.4-3(q)(2).

\$4,000,000.00

4. Costs of rehabilitation, reconstruction or repair or remodeling of existing public or private buildings, fixtures, and leasehold improvements; and the cost of replacing an existing public building if pursuant to the implementation of a redevelopment project, the existing public building is to be demolished to use the site for private investment or devoted to a different use requiring private investment; including any direct or indirect costs relating to Green Globes or LEED certified construction elements or construction elements with an equivalent certification, as provided for by 65 ILCS 5/11-74.4-3(q)(3).

\$2,000,000.00

5. Costs of the construction of public works or improvements, including any direct or indirect costs relating to Green Globes or LEED certified construction elements or construction elements with an equivalent certification, as provided for by 65 ILCS 5/11-74.4-3(q)(4).

\$3,000,000.00

6. Costs of job training and retraining projects, including the cost of “welfare to work” programs implemented by businesses located within the Redevelopment Project Area, as provided for by 65 ILCS 5/11-74.4-3(q)(5).

\$ 150,000.00

7. Financing costs, including, but not limited to, all necessary and incidental expenses related to the issuance of obligations and which may include payment of interest on any obligations including interest accruing during the estimated period of construction of the Redevelopment Project for which such obligations are issued and for not exceeding 36 months thereafter and including reasonable reserves related thereto, as provided for by 65 ILCS 5/11-74.4-3(q)(6).

\$2,000,000.00

8. To the extent the City, by written agreement, accepts and approves the same, all or a portion of a taxing district’s capital costs resulting from the Redevelopment Project necessarily incurred or to be incurred within a taxing district in furtherance of the objectives of the Redevelopment Plan (impacts such as those on the City may be addressed through these funds), as provided for by 65 ILCS 5/11-74.4-3(q)(7).

\$ 300,000.00

9. Relocation costs to the extent that a municipality determines that relocation costs shall be paid or the municipality is required to make payment of relocation costs by federal or State law or in order to satisfy subparagraph (7) of subsection (n) of Section 11-74.4-3 of the Act, as provided for by 65 ILCS 5/11-74.4-3(q)(8).

\$ 100,000.00

10. Payment in lieu of taxes, as provided by 65 ILCS 5/11-74.4-3(q)(9).

\$ 500,000.00

11. Cost of job training, retraining, advanced vocational education or career education, including but not limited to courses in occupational, semi-technical or technical fields leading directly to employment, incurred by one or more taxing districts, provided that such costs (i) are related to the establishment and maintenance of additional job training, advanced vocational education or career education programs for persons employed or to be employed by employers located in a Redevelopment Project Area; and (ii) when incurred by a taxing district or taxing districts other than the municipality, are set forth in a written agreement by or among the municipality and the taxing district or taxing districts, which agreement describes the program to be undertaken, including, but not limited to, the number of employees to be trained, a description of the training and services to be provided, the number and type of positions available or to be available, itemized costs of the program and sources of funds to pay for the same, and the term of the agreement. Such costs include, specifically, the payment by community college districts of costs pursuant to Sections 3-37, 3-38, 3-40 and 3-40.1 of the Public Community College Act and by school districts of costs pursuant to Sections 10-22.20a and 10-23.3a of the School Code, as provided for by 65 ILCS 5/11-74.4-3(q)(10).

\$150,000.00

12. Interest cost incurred by a redeveloper related to the construction, renovation or rehabilitation of a redevelopment project, as provided for by 65 ILCS 5/11-74.4-3(q)(11).

\$500,000.00

13. Contributions of incremental revenues transferred to contiguous redevelopment project areas, as provided for by 65 ILCS 5/11-74.4-4(q).

\$1,000,000.00

Total Estimated Costs

\$13,950,000.00

Notes regarding Redevelopment Project Costs:

- a. All costs are in 2017 dollars and may be increased annually after adjusting for annual inflation reflected in the Consumer Price Index (CPI) for all Urban Consumers in U.S. Cities, published by the U.S. Department of Labor, as allowed by the Act.
- b. Private redevelopment costs and investment are in addition to the above.
- c. To the extent permitted by law, the City reserves the right to adjust and transfer budgeted amounts within the Total Estimated Costs within the Total Redevelopment

Project Budget among the categories of eligible Redevelopment Project Costs set forth therein, provided any such adjustment or transfer shall not increase the Total Redevelopment Project Budget, other than as otherwise provided in *a.* above.

- d. Certain infrastructure work in connection with and appurtenant to the Redevelopment Project Area can be undertaken under the Act.

IX. *Most Recent Equalized Assessed Valuation for the Redevelopment Project Area.*

The most recent equalized assessed valuation for the Redevelopment Project Area is based on 2016 and is \$4,487,777.00.

X. *Anticipated Equalized Assessed Valuation for the Redevelopment Project Area.*

Upon completion of the redevelopment of the Redevelopment Project Area over a twenty-three (23) year period, it is estimated that the EAV of the property within the Redevelopment Project Area would increase to between approximately \$15,000,000 to \$18,000,000 depending upon market conditions and the scope of the redevelopment projects.

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XI. *Commitment to Fair Employment Practices and an Affirmative Action Plan.*

The City is committed to and will affirmatively implement the assurance of equal opportunity in all personnel and employment actions with respect to this Redevelopment Plan. This includes, but is not limited to: hiring, training, transfer, promotion, discipline, fringe benefits, salary, employment working conditions, termination, etc. without regard to any non-merit factor, including race, national origin, color, religion, sex, sexual orientation, gender identity, disability (physical or mental), age, marital status, status as a parent, or genetic information.

In order to implement this principle for this Redevelopment Plan, the City shall require and promote equal employment practices and affirmative action on the part of itself and its contractors and vendors. In particular, parties engaged by the City shall be required to agree to the principles set forth in this section.

XII. *Completion of Redevelopment Project and Retirement of Obligations Issued to Finance Redevelopment Project Costs.*

The Redevelopment Project is to be completed and all obligations issued to finance Redevelopment Project Costs are to be retired upon receipt of the incremental property taxes generated from the twenty-third (23rd) year after the adoption of an ordinance designating the Redevelopment Project Area. The actual date for such completion and retirement of obligations shall not be later than December 31 of the year in which the payment to the City treasurer pursuant to the Act is to be made with respect to ad valorem taxes levied in the twenty-third calendar year after the year in which the ordinance approving the Redevelopment Project Area was adopted.

XIII. *Provisions for Amending the Redevelopment Plan and Project*

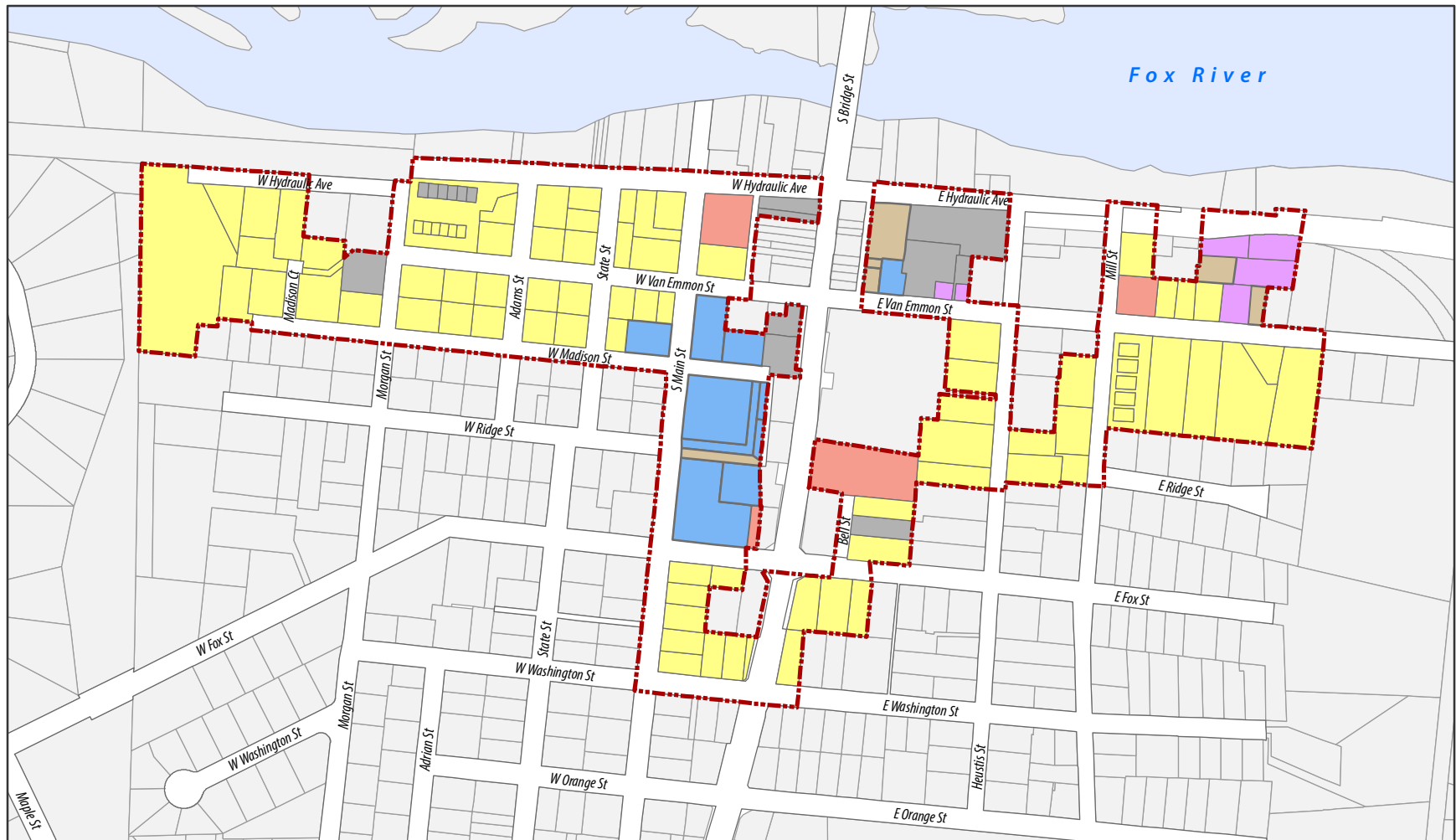
This Redevelopment Plan may be amended pursuant to the provisions of the Act.

DRAFT

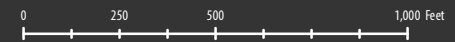
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Exhibits

<i>Exhibit A</i>	Legal Description of the Redevelopment Project Area
<i>Exhibit B</i>	Map of Redevelopment Project Area
<i>Exhibit C</i>	Redevelopment Project Area Current Land Use Map
<i>Exhibit D</i>	Eligibility Report of Downtown TIF #2 United City of Yorkville, Illinois
<i>Exhibit E</i>	Redevelopment Project Area Future Land Use Map

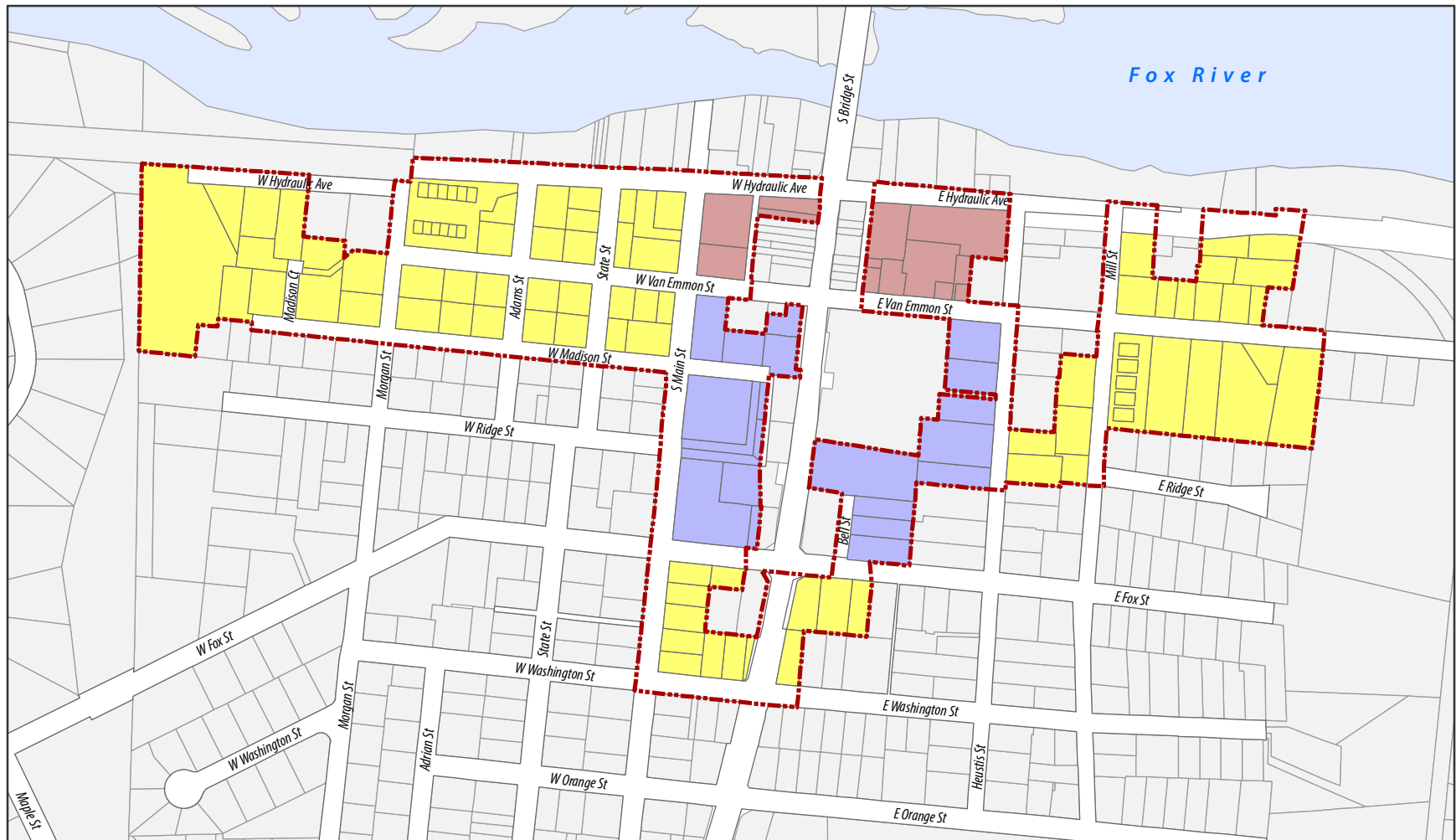


DOWNTOWN TIF #2 EXISTING LAND USES



 Residential	 Institutional or Public
 Commercial	 Parking Lot
 Industrial	 Vacant





DOWNTOWN TIF #2 FUTURE LAND USE

- Downtown Mixed-Use
- Residential
- Institutional





Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #7

Tracking Number

EDC 2017-59

Agenda Item Summary Memo

Title: Sidewalk/Parklet Café Ordinance

Meeting and Date: Economic Development Committee - September 5, 2017

Synopsis: Proposal of new regulations regarding sidewalk and parklet cafés in Yorkville.

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: Feedback.

Submitted by: Krysti Barksdale-Noble, AICP Community Development
Name Department

Agenda Item Notes:

See attached memo.

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at http://www.yorkville.il.us/gov_officials.php



Memorandum

To: Economic Development Committee
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Date: August 29, 2017
Subject: **Sidewalk Café and Parklet Regulations**

Background/Proposed Request

Late last year, staff was approached by a downtown business owner seeking options to enhance the experience of their patrons by offering outdoor seating and food/beverage service adjacent to their establishment within the public sidewalk. Since the City currently offers outdoor patio liquor licenses for restaurants on private property, the ability to offer patio service within a public right-of-way was not allowed. Therefore, we are recommending a text amendment to the Zoning Ordinance to permit such uses within the public sidewalk and public right-of-way, as well as a future amendment to the City's Liquor Ordinance to identify outdoor café license as a separate liquor class category to complement the new use.

Purpose/Description of Proposal

It is staff's position, sidewalk cafés and parklet cafés contribute to a vibrant urban culture and enhance Yorkville's downtown streetscape into a more dynamic place to walk, socialize and dine. Sidewalk and parklet cafés are temporary dining areas that occupy part of the public right-of-way (sidewalk or on-street parking stall) during eating establishment hours. The attached proposed ordinance is a guide to creating temporary sidewalk and parklet cafés that are safe and attractive to restaurant patrons and pedestrians. The proposed ordinance provides acceptable dimensions for café access and for public right-of-ways, sidewalk café barriers, parklet design guidelines and the layout of these outdoor service areas.

Staff Comments/Next Step Recommendations

Based upon the attached draft ordinance, staff is seeking direct input from the Economic Development Committee on the proposed design guidelines and regulations for sidewalk and parklet café's with the business districts of the City. Staff anticipates having an open discussion with the Economic Development Committee (EDC) on the proposed text amendment and liquor license revisions. We anticipate incorporating all feedback from the EDC into the final draft version of the ordinance prior to a tentative public hearing before the Planning and Zoning Commission at their October 11, 2017 meeting. A meeting before the Public Safety meeting will also be held in October to consider a proposed future Liquor Code amendment prior to final City Council determination of such an ordinance.

TITLE 10: ZONING

CHAPTER 3: GENERAL ZONING PROVISIONS

SECTION 13: TEMPORARY AND SEASONAL USES

PURPOSE:

To further encourage the revitalization of the downtown and other areas within the City, these standards, guidelines and procedures are intended to provide a temporary but unique environment for relaxation, social interaction, and food or beverage consumption within the public right-of-ways and public sidewalks without impeding the free and safe flow of pedestrian or vehicular traffic.

DEFINITION:

SIDEWALK CAFÉ: A temporary outdoor dining area consisting of a group of tables, chairs or other seating fixtures and all related appurtenances located on a public sidewalk where patrons may consume food and/or beverages provided by an abutting business establishment having the same operator. Such establishments may either provide table service in the outdoor dining areas or sell takeout items to be consumed in the outdoor dining area. These regulations do not apply to outdoor dining on private property.

PARKLET CAFÉ: A temporary expansion of a business creating an outdoor dining facility on part of the public street right-of-way that immediately adjoins the licensed premises for the purpose of consuming food and/or beverages prepared at or provided by the business adjacent thereto.

GENERAL PROVISIONS:

- A. A sidewalk café or parklet café shall not be considered an “encroachment” so long as all outdoor facilities related thereto are temporary in nature, are not permanently affixed so as to extend below or above the sidewalk or public right-of-way, involve no penetration of the sidewalk surface or public right-of-way, are not attached to any building and are readily removable without damage to the surface of the sidewalk or public right-of-way.
- B. Sidewalk Cafés and Parklet Cafés shall be permitted from April 1st through October 31st. Parklet Cafés not removed after October 31st may be removed by the City at the owner’s expense.
- C. Permit Required: Outdoor dining on a public sidewalk or within the right-of-way may occur only pursuant to the issuance of permit issued to the business owner.
- D. Prohibited Locations: Outside dining will not be permitted on sidewalks or within the public right-of-way designated by the City Council as shared bicycle and pedestrian trails or paths.
- E. Seating in the sidewalk café or parklet café shall not be included to meet the required guest seating capacity for any license classification.
- F. Permit Transfer: A sidewalk café or parklet café permit is non-transferrable.
- G. Zoning Requirements: All sidewalk cafes and parklet cafes shall be located in all business zoned districts. Outdoor dining on a public sidewalk or public-right-of-way shall be subject to the

requirements and limitations set forth in this code and all applicable federal, state, county and local statutes, ordinances and regulations.

- H. Indemnification: The permittee shall defend, indemnify, and hold the city, and its employees harmless from and against any loss or damage arising from the use or existence of the improvements or encroachment authorized under the sidewalk café or parklet café permit.

DEVELOPMENT STANDARDS & DESIGN GUIDELINES:

- A. The following standards, criteria, conditions and restrictions shall apply to all sidewalk cafes and parklet cafes, provided, however, that the Community Development Director or designee may impose additional conditions and restrictions to protect and promote the public health, safety, or welfare to prevent a nuisance from developing or continuing, and to comply with all other City ordinances and applicable state and federal laws.

Example of Sidewalk Café

Example of Parklet Café



B. Design Guidelines

a. Sidewalk Café

- i. **DESIGN ELEMENTS:** Elements of a typical sidewalk café may include, but are not limited to, the following: barriers, planters, tables, chairs, umbrellas, menu display, heat lamps and ingress/egress access point. The design, material and colors used for the furniture and fixtures within the sidewalk café should complement the architectural style and colors of the building façade and public street furniture, if any, and withstand inclement weather.

ii. SETBACKS:

1. All sidewalk cafes must allow for a minimum five (5) foot unobstructed pedestrian passage way on the sidewalk. No element of the sidewalk café, as described above, may obstruct the pedestrian way. Light poles, tree wells, fire hydrants and other such items may fall within the pedestrian path allowed between the curb and the leading edge of the sidewalk café.

2. Sidewalk Café shall not unreasonably obstruct the visibility of neighboring businesses. In such cases a sidewalk café operator may be required to adjust the layout of the outdoor dining area per the recommendation of the Community Development Director or designee.
3. Sidewalk cafes must have a minimum distance of one-hundred feet (100') from the nearest residential zoned district.
4. The width of the sidewalk café must not extend beyond the frontage of the business establishment unless written notarized consent of the adjacent business and property owner has been provided to the Community Development Director.
5. Sidewalk Cafes located at a street corner must maintain a ten foot (10') setback from the corner of the building along both frontages.
6. Sidewalk Cafes located adjacent to a driveway or an alley, setback distances will be at the discretion of the Community Development Director in locations where unusual circumstances exist or where public safety would be jeopardized.

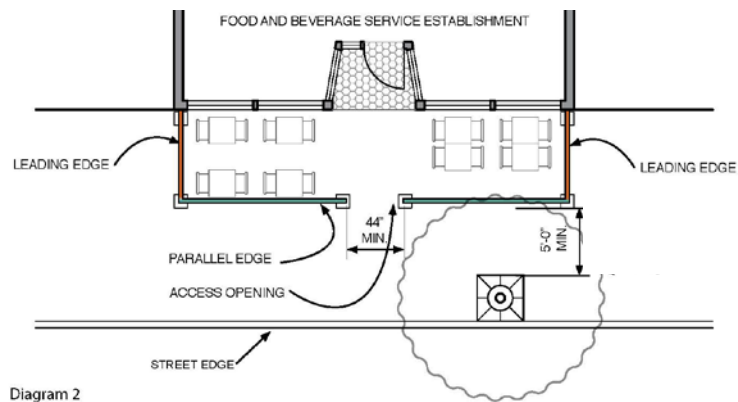


Figure 1: Sidewalk Café with barriers

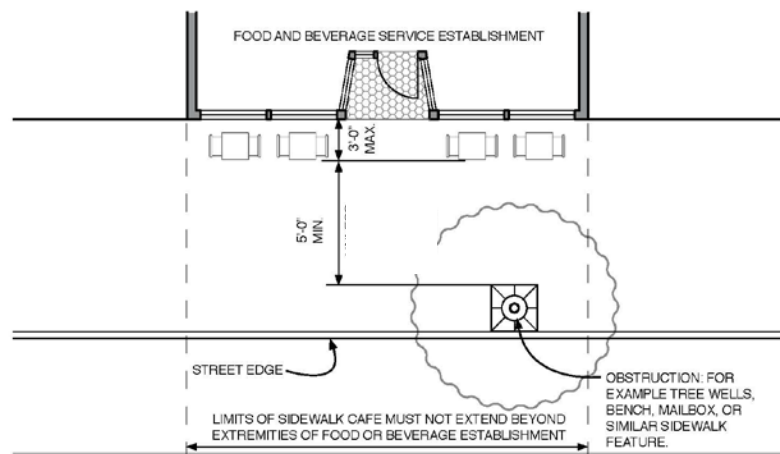


Figure 2: Sidewalk Café without barriers

iii. BARRIERS:

1. The perimeter of sidewalk cafes that extend more than three (3) feet into the public right-of-way shall be enclosed by barriers that are durable, removable and maintained in good condition.
2. Sidewalk cafes that extend three (3) feet or less into the public right-of-way and do not serve alcohol are not required to be enclosed by a barrier.
3. Sidewalk cafes that serve alcohol must be surrounded by a barrier in all cases. Barrier access point must be controlled by the sidewalk café operator/business establishment. Business establishment owners should maintain compliance with Yorkville's Liquor Control Ordinance standards for serving alcohol outside of enclosed businesses.
4. Moveable barriers and all furniture shall be removed at the end of each business day unless otherwise approved by the Community Development Director or designee. Moveable barriers shall be capable of being removed through the use of recessed sleeves and posts, wheels that can be locked in place and/or weighted bases. Barrier segment bases should be flat with tapered edges that are between ¼ and ½ inch thick.
5. The maximum height of any barrier shall not exceed three feet six inches (3'-6"). The lowest point in the barrier should be no more than six inches (6") in height above the ground to comply with ADA detectable warning regulations.
6. Rigid fence sections may be placed end-to-end to create the appearance of a single fence. Sectional fencing shall be composed of metal or wood and painted or finished in a complementary color to the building color or accent materials. Sectional fencing may be constructed from other materials such as aircraft cable, fabric, steel or iron elements.
7. Planters may also be used as a barrier or planter boxes as barrier components. Planters must be no more than three (3) feet in height and plant materials may be up to three (3) feet tall. Planters must be kept in clean condition, contain living plants and shall be removed at the end of each business day.
8. Access openings must be kept clear of all materials and should measure no less than 44 inches in width.

iv. AWNINGS AND UMBRELLAS

1. The use of awnings over the outdoor dining area and removable table umbrellas may be permitted provided they do not interfere with street trees. No portion of the awning shall be less than eight feet (8') above the

sidewalk and no portion of the umbrella shall be less than seven feet (7') above the sidewalk. Awnings may extend up to five feet (5') from the front of the building's façade or cover up to fifty percent (50%) of the outdoor dining area, whichever is less. Awnings shall have no support posts located within the public right-of-way. A separate building permit must be obtained prior to the installation of the awning.

2. Notwithstanding any provisions in this code, signs and logos shall be permitted on umbrellas or awnings in outdoor dining areas.

v. PROHIBITED ITEMS

1. Permanently affixed furniture to the public sidewalk is prohibited.
2. Shelves, serving stations, flimsy plastic tables and chairs, unfinished lumber or splintering wooden materials, rusted metal, loud speakers, sofas and televisions are prohibited.
3. It shall be prohibited to tie or otherwise secure sidewalk café elements to trees, lamp posts, street signs, street lights and hydrants.
4. Prohibited barrier materials include chain link, rope rails, chain rails, buckets, flag poles, and newspaper stands.
5. No alterations or coverings should be made to the sidewalks or placed over the sidewalk café space. Platforms, artificial turf, paint, or carpet in sidewalk café areas is prohibited.
6. If wait service is not provided in the sidewalk café area, the business establishment is required to supply a waste receptacle. If wait service is provided, the business establishment is not permitted to place a waste receptacle in the sidewalk café.

Examples of Sidewalk Café' Designs:



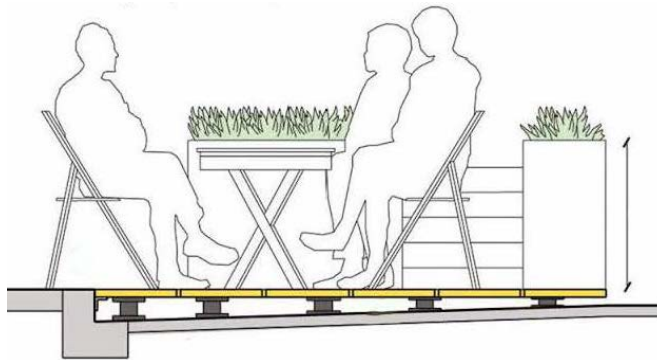


b. Parklet Café

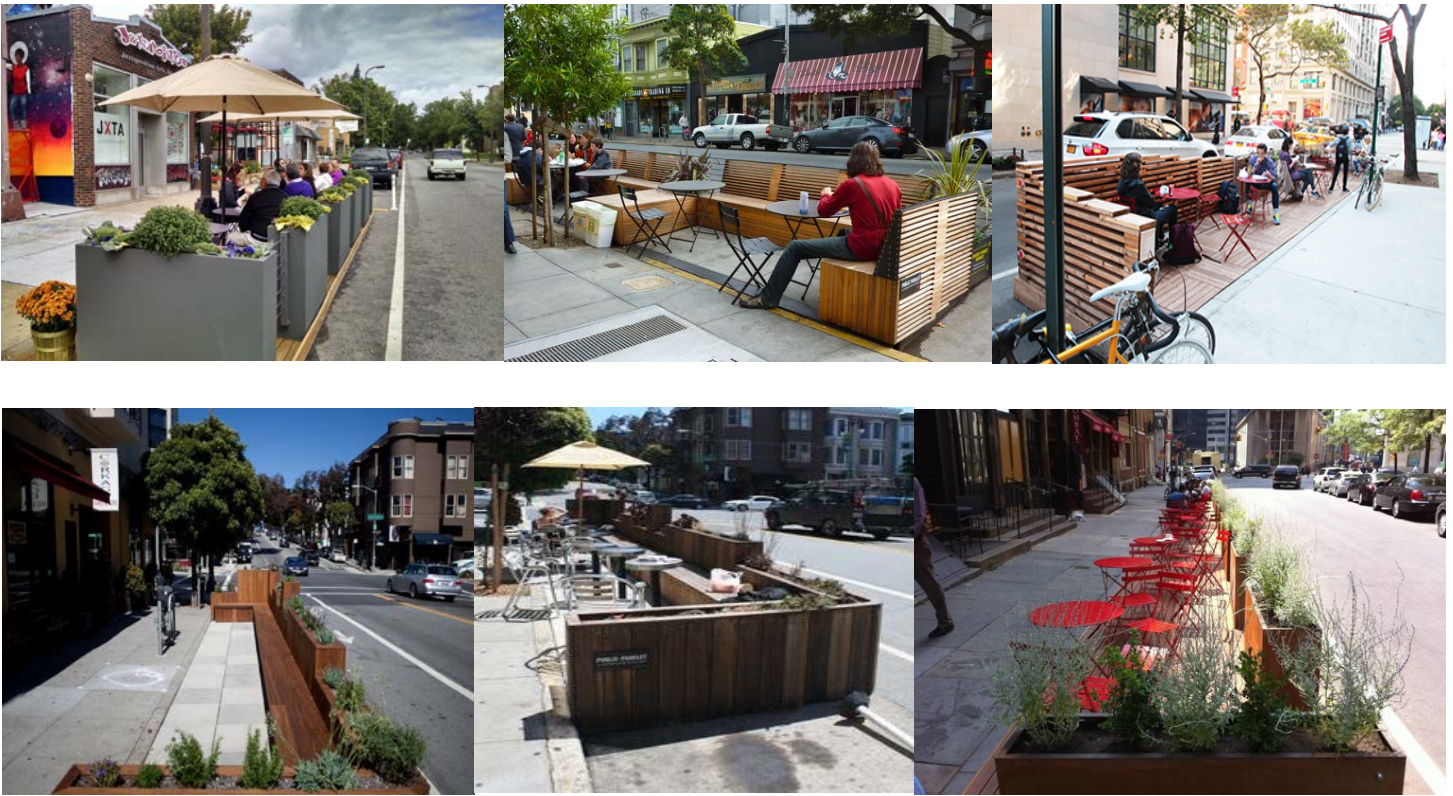
- i. The parklet café site shall be located on at least one (1) parking spot within the public way and appurtenances thereof shall be a minimum of two (2) feet from the nearest edge of traveled way. Parklet cafes are restricted to City of Yorkville public streets and shall not be permitted on any state, county or township roadways.
- ii. Tables, chairs, umbrellas or other fixtures in the parklet café:
 - a. Shall not be placed within five (5) feet of fire hydrants, alleys or bike racks.
 - b. Shall not be placed within five (5) feet of a pedestrian crosswalk.
 - c. Shall not block designated ingress, egress or fire exits from or to the business establishment or any other structures.
 - d. Shall not be physically attached, chained or in any manner affixed to any structure, tree, signpost or light pole.
 - e. May be removed by the City at owner's expense.
 - f. Shall be maintained in a clean, sanitary and safe manner.
 - g. Shall consist of commercial-grade furniture.
 - h. Shall not be placed outside or hang over the designated parklet café area.
- iii. The parklet café shall be located in such a manner that a distance of not less than four (4) feet maintained at all times as a clear and unobstructed pedestrian path. For the purpose of the minimum clear path, traffic signs, trees, light poles and all similar obstacles shall be considered obstructions.
- iv. The parklet café, along with the sidewalk and roadway immediately adjacent to it, shall be maintained in a neat and orderly manner at all times. Debris shall be removed as required during the day and again at the close of each business day.

Maintenance details shall include access panels and how drainage will be provided along the existing drainage way.

- v. Parklet café decking must be flush with the curb and may not have more than a one-half inch (1/2") gap from the curb.
- vi. The parklet café platform shall allow for access underneath the platform and curbside drainage may not be impeded.



- vii. All rails around the parklet café must be capable of withstanding a 200 lb horizontal force.
- viii. The parklet café shall be required to have reflective tape, soft hit posts, wheel stops and, depending on the proposed location, may be required to have edging such as planters, railing or cables.
 - a. If cables are used, vertical spacing between cables may not exceed six inches (6").
- ix. Umbrellas and other decorative material shall be made of treated wood, canvas, cloth or similar material that is manufactured to be fire resistant. No portion of an umbrella shall be less than six feet eight inches (6'-8") above the sidewalk. Umbrellas must be secured.
- x. Temporary signage such as menu boards or easels may be permitted in parklet cafes.
- xi. No food preparation, food or beverage storage, refrigeration apparatus or equipment shall be allowed in the parklet café unless authorized by the Community Development Director or designee as part of a special event.
- xii. No amplified entertainment shall be allowed in the parklet cafe unless authorized by the Community Development Director or designee as part of a special event.
- xiii. Patio heaters shall not be permitted in a parklet café.
- xiv. Parklet cafes shall meet the intersection visibility requirements in accordance with other standards in the City's Zoning Ordinance.



Examples of Parklet Café Designs

APPLICATION PROCEDURES: A permit shall be required for all encroaching furniture and improvements. The application shall be filed with the Community Development Department no less than thirty (30) days prior to intended date of operation on a form provided by the City. The application shall be signed by the owner of the property or an authorized agent. Authorized agents shall submit written authorization. The application shall be accompanied by the following:

- A. The name, address and phone number of the applicant.
- B. The identity of the business, the street address and names of any managers or agents of the proposed sidewalk café or parklet café.
- C. A detailed diagram and a written description of the premises for which a permit is sought. A description of the design, including a detailed scale drawing of the sidewalk café or the parklet café, its portable barriers and the placement of tables, chairs, planters, canopies, umbrellas, etc. with all existing fixed features such as trees, sign posts, fire hydrants, etc. within twenty feet (20') of the encroachment shall be depicted in the site plan.
- D. Dates and hours of operation requested during which the permit is to be effective.
- E. An executed indemnification agreement in favor of the City of Yorkville.
- F. The permittee shall obtain and maintain in force comprehensive general liability, broad form property damage and blanket contractual liability insurance in a combined single limit amount, per claim and aggregate of at least one million dollars (\$1,000,000.00) covering the permittee's operations on the sidewalk or right-of-way. Such insurance shall name, on a special endorsement form, the City of Yorkville, its elected and appointed boards, commissions, officers, agents and employees as additional insurers. A certificate of insurance shall contain provisions that prohibit

cancellations, modifications, or lapse without thirty (30) days prior written notice to the city's Clerks Office.

- G. If the sidewalk area sought to be permitted is not owned by the applicant, then a certified copy of a document showing that the owner of the sidewalk area consents to the sale of food and/or beverages on such sidewalk(s).
- H. If an applicant contemplates the consumption of alcoholic beverages a separate liquor license application for the premises shall also be submitted to the City's Clerks Office.
- I. If the applicant contemplates the consumption of food, a copy of submitted permit application to the Kendall County Health Department for the premises.

PERMIT FEES: An application fee of fifty dollars (\$50.00) shall be required for all sidewalk cafés or parklet cafes with area one hundred (100) square feet or less. An application fee of one hundred dollars (\$100) shall be required for all sidewalk cafes or parklet cafes with an area greater than one hundred (100) square feet.