



United City of Yorkville

800 Game Farm Road

Yorkville, Illinois 60560

Telephone: 630-553-4350

www.yorkville.il.us

PLANNING AND ZONING

COMMISSION AGENDA

Wednesday, July 12, 2017

7:00 PM

Yorkville City Hall Council Chambers

800 Game Farm Road

Meeting Called to Order: 7:00 p.m.

Roll Call:

Previous meeting minutes: June 14, 2017

Citizen's Comments

Public Hearings

1. **PZC 2017-07** Casey's Retail Company, petitioner, has filed applications with the United City of Yorkville, Kendall County, Illinois, requesting rezoning classification, special use authorization, and a variance to sign regulations. The real property is located south of U.S. Route 34, west of McHugh Road. The petitioner is requesting rezoning approval from R-1 Suburban Residential District to B-3 General Business District (contingent on approved of an annexation agreement by the City Council); special use permit approval for a gasoline service station with accessory convenience store; and a sign variance for a permanent freestanding business signs to be larger than a maximum of 32 square feet.
2. **PZC 2017-08** Dale Larson, petitioner, has filed an application with the United City of Yorkville, Kendall County, Illinois, requesting a rear yard setback variance for 1995 Meadowlark Court in the Country Hills Subdivision of Yorkville to reduce the rear yard setback from 40 feet to 30 feet. The purpose for this request is to allow a single family home to be built on this lot within the Country Hills Subdivision which will be consistent with surrounding homes.

Old Business

New Business

1. **PZC 2017-07** Casey's Retail Company, petitioner, has filed applications with the United City of Yorkville, Kendall County, Illinois, requesting rezoning classification, special use authorization, and a variance to sign regulations. The real property is located south of U.S. Route 34, west of McHugh Road. The petitioner is requesting rezoning approval from R-1 Suburban Residential District to B-3 General Business District (contingent on approved of an annexation agreement by the City Council); special use permit approval for a gasoline service station with accessory

convenience store; and a sign variance for a permanent freestanding business signs to be larger than a maximum of 32 square feet. The Petitioner is also seeking Final Plat approval.

Action Item

Rezoning, Special Use, Variance and Final Plat

2. **PZC 2017-08** Dale Larson, petitioner, has filed an application with the United City of Yorkville, Kendall County, Illinois, requesting a rear yard setback variance for 1995 Meadowlark Court in the Country Hills Subdivision of Yorkville to reduce the rear yard setback from 40 feet to 30 feet. The purpose for this request is to allow a single family home to be built on this lot within the Country Hills Subdivision which will be consistent with surrounding homes.

Action Item

Variance

3. **PZC 2017-09** Anthony Place Yorkville, LP, petitioner, has filed an application with the United City of Yorkville requesting Final Plat approval for the Anthony Place senior independent living facility. The request will consolidate two (2) currently adjacent parcels and dedicate right-of-way, access and public utility and drainage easements needed for the development of the approximately 3.175-acre property to be located at the northeast corner of Fremont and Walnut Streets, in Yorkville, Illinois.

Action Item

Final Plat

Additional Business

1. City Council Action Updates

The following items were presented to the City Council on June 27, 2017.

- a. **PZC 2017-07** United City of Yorkville, Kendall County, Illinois, petitioner, is proposing a text amendment for consideration of updates to “Chapter 18: Telecommunication Tower and Antenna Regulations” of the United City of Yorkville Zoning Ordinance regarding small cell antennas.

Action – Motion approved by City Council

- b. **PZC 2017-08** Semper Fi Land, Inc., petitioner, has filed an application with Kendall County requesting Special Use authorization to operate a waste composting facility. The property is located at 1996 Cannonball Trail in Bristol Township approximately 0.5 miles south of Galena Road.

Action – No Action Taken. Application was withdrawn by Petitioner.

Adjournment

DRAFT

PLANNING & ZONING COMMISSION

City Council Chambers

800 Game Farm Road, Yorkville, IL

Wednesday, June 14, 2017 7:00pm

Meeting Called to Order

Planning and Zoning Commission Chairman Randy Harker called the meeting to order at 7:00pm and a quorum was established.

Roll Call:

Jeff Olson-yes, Reagan Goins-yes, Deborah Horaz-yes, Don Marcum-yes, Randy Harker-yes.

Absent: Richard Vinyard, Bill Gockman

City Staff

Krysti Barksdale-Noble, Community Development Director

Other Guests

Matt Asselmeier, Senior Planner, Kendall County Planning, Building, Zoning

Christine Vitosh, Vitosh Court Reporting

Janet Kenyon, Woods of Blackberry Oaks

Previous Meeting Minutes May 10, 2017

The minutes of the previous meeting were approved on a motion and second by Commissioners Marcum and Goins, respectively.

Roll call: Goins-yes, Horaz-present, Marcum-yes, Olson-yes, Harker-yes.

Passed: 4 yes and one present.

Citizen's Comments

Ms. Janet Kenyon, Bristol resident of Woods of Blackberry Oaks, spoke against the proposed composting facility petition on the agenda tonight. While not a Yorkville resident, she resides in Bristol in close proximity to the city limits and proposed compost facility. Due to past family medical issues, she has used Semper Fi's lawn service with no issues. In regards to the proposed facility, she is concerned about the environment and air and water pollution since she has a well and septic. She desires to keep the neighborhood clean and maintain property values and said there is no Mayor and Council to whom area residents can voice complaints. Other concerns include increased traffic/road use and odor. Residents of her subdivision pay high taxes and the property values have decreased. She shared her concerns at the County meeting earlier in the week. She asked the Commission to consider these factors when making their recommendation.

Public Hearings

1. **PZC 2017-06** United City of Yorkville, Kendall County, Illinois, petitioner, is proposing a text amendment for consideration of updates to “Chapter 18”: Telecommunication Tower and Antenna Regulations” of the United City of Yorkville Zoning Ordinance regarding small cell antennas.

Chairman Harker explained the process for the Public Hearings. The Public Hearing was opened at approximately 7:08pm on a motion by Ms. Horaz and second by Mr. Olson. Roll call: Goins-yes, Horaz-yes, Marcum-yes, Olson-yes, Harker-yes. Passed 5-0.

(See Court Reporter's Transcript)

The Hearing closed at approximately 7:17pm on a motion by Ms. Goins and second by Ms. Horaz.

Roll call: Horaz-yes, Marcum-yes, Olson-yes, Goins-yes, Harker-yes. Passed 5-0

Old Business None

New Business

1. **PZC 2017-06 Text Amendment** (Same as above)

There was no further discussion and the Commissioners were in favor of the amendment.

Action Item

Text Amendment

Mr. Olson made a motion as follows: In consideration of testimony presented during a Public Hearing on June 14, 2017, the Planning and Zoning Commission recommends approval to the City Council of a request to amend Chapter 18 Telecommunication and Antenna Regulations of the United City of Yorkville Zoning Ordinance as it relates to Small Cell Antennas presented by staff in a memorandum dated April 26, 2017. Ms. Horaz seconded the motion.

Roll call: Marcum-yes, Olson-yes, Goins-yes, Horaz-yes, Harker-yes. Passed 5-0.

2. **PZC 2017-05 Semper Fi Land, Inc.**, petitioner, has filed an application with Kendall County requesting Special Use authorization to operate a waste composting facility. The property is located at 1996 Cannonball Trail in Bristol Township approximately 0.5 miles south of Galena Road.

Ms. Noble presented the background for this petition. This is for 1.5 mile review and recommendations. The property is comprised of 5.5 acres of land entirely surrounded by Yorkville with residential zoning for future development. The owner wishes to establish a landscaping and yard waste operation for mulch and compost. She noted a similar use is in operation on the northwest side of the City. A stipulation on this property stated that if development occurred and there were complaints, the owner would be required to close their operation in three years. A meeting was held with the petitioner last year. Just this year, staff met with the landowner of the property surrounding the 5.5 acre-site and said he wished to restart the residential project. This landowner was concerned about the petition as well.

Many concerns were discussed including: noise decibels, height of landscaping piles, size of grinding machine and if more than one would be allowed, construction materials to be allowed in grinder, truck traffic of at least 20 semis per days and effect on the roads, need for paving of the entrance road to eliminate dust, proximity of Bristol Elementary School and noise level for school, effect on bar/restaurant in Bristol from odor, possible flies, will storm basin catch all potential contaminants. It was noted that this use does not comply with the Comprehensive Plan and changes the character of the north side of Bristol.

Mr. Asselmeier discussed possible odors emanating from the site and he said the Regional PZC had concerns about that as well. The County PZC also said it was not an appropriate use for this location and recommended not to advance petition to the County Board. He said the proposal is in limbo at the County level at this time.

Ms. Noble asked Commission members to forward any other concerns to her. She said the Commission could approve, formally oppose or make recommendations, but the City Council has the final vote with approval or formal objection. If a formal objection is made, the County must have a super majority to approve the petition. The next County PZC meeting is July 10th.

A motion was made by Mr. Marcum as follows: In consideration of the fact that the staff has made certain recommendations to pass, a motion is made to have a vote to approve or deny their recommendations. Second by Mr. Horaz.

Roll call to approve: Olson-no, Goins-no, Horaz-no, Marcum-no, Harker-no. Motion failed.

Ms. Goins made another motion relating to the petition: In consideration of the discussion between the members of the Planning and Zoning Commission, we record our strong opposition to the proposal in its current form. Mr. Marcum seconded.

Roll call: Goins-yes, Horaz-yes, Marcum-yes, Olson-yes, Harker-yes. Passed 5-0.

Additional Business

1. City Council Action Updates

PZC 2017-04 Text Amendment (Definition for Health & Fitness clubs) was approved by City Council

2. Kendall County Action Update on 1.5 Mile Review

PZC 2016-02 Jet's Towing, County approved change from A-1 to M-1 in spite of formal objection from City.

3. Yorkville/Kendall County Future Land Use Plan Differences

Ms. Noble attended an annual planning meeting with other municipalities and the County. She said there was concern from the County about differences between the City and County on their respective Comprehensive Plans. The County requested a formal memo about the differences. The City stated their plan is more up to date with current information. She asked if the Commissioners felt the City should change the Plan to comply with the County. All Commissioners indicated “no”.

Adjournment

There was no further business and the meeting was adjourned at 8:04pm on a motion and second by Ms. Horaz and Ms. Goins, respectively.

Respectfully submitted by
Marlys Young, Minute Taker

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UNITED CITY OF YORKVILLE
YORKVILLE, ILLINOIS

PLANNING AND ZONING COMMISSION MEETING
PUBLIC HEARING

800 Game Farm Road
Yorkville, Illinois

Wednesday, June 14, 2017
7:00 p.m.

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PRESENT:

Mr. Randy Harker, Chairman,
Ms. Deborah Horaz,
Ms. Reagan Flavin Goins,
Mr. Don Marcum,
Mr. Jeff Olson.

ALSO PRESENT:

Ms. Krysti Barksdale-Noble, Community
Development Director,
Ms. Marlys Young, Minute Taker.

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1 (The following
2 proceedings were had in
3 public hearing:)

4 CHAIRMAN HARKER: We're going to move on
5 to the public hearing. There is one public
6 hearing scheduled for tonight's Planning and
7 Zoning Commission meeting.

8 The purpose of this hearing is to
9 invite members, invite testimony, from members of
10 the public regarding the proposed request that is
11 being considered before the Board tonight.

12 Public testimony from persons
13 present wishing to speak may be in favor of or
14 against the request, or ask questions of the
15 petitioner regarding the request being heard.

16 Those persons wishing to testify are
17 asked to speak clearly, one at a time, and state
18 your name and who you represent, if anyone. You
19 are also asked to sign in at the podium if you
20 haven't already done so.

21 If you plan to speak at tonight's
22 hearing as a petitioner or member of the public,
23 please stand, raise your right hand, and repeat
24 after me.

1 (No response.)

2 CHAIRMAN HARKER: Awesome. Seeing there
3 is none, we will move on. So I don't need to
4 worry about that, I just open it, right?

5 May I have a motion to open the
6 public hearing on petition number PZC 2017-06?

7 MS. HORAZ: Motion.

8 MR. OLSON: Second.

9 CHAIRMAN HARKER: Roll call vote on the
10 motion, please.

11 MS. YOUNG: Goins.

12 MS. GOINS: Yes.

13 MS. YOUNG: Horaz.

14 MS. HORAZ: Yes.

15 MS. YOUNG: Marcum.

16 MR. MARCUM: Yes.

17 MS. YOUNG: Olson.

18 MR. OLSON: Yes.

19 MS. YOUNG: Harker.

20 CHAIRMAN HARKER: Yes.

21 Okay. PZC 2017-06, the United City
22 of Yorkville, Kendall County, Illinois,
23 petitioner, is proposing a text amendment for
24 consideration of updates to Chapter 18:

1 Telecommunication Tower and Antenna Regulations
2 of the United City of Yorkville Zoning Ordinance
3 regarding small cell antennas.

4 MS. NOBLE: Okay. General request,
5 there is not a lot in Chapter 18 that needs to be
6 amended, which is the area of the code that the
7 Planning and Zoning Commission would review.

8 In essence, we are allowing small
9 cell towers to be located within the
10 right-of-way. Typically the right-of-way is
11 regulated for those types of essential utilities,
12 water, sewer, your dry utilities like electric
13 and gas, but as technology has advanced, there is
14 a movement to start seeing cell tower access as
15 one of the essential utilities, so cell towers
16 began to petition to the state to ask for access
17 within that right-of-way, and as part of that,
18 we've gotten a few permits in to the city
19 requesting a co-location of cell tower -- cell
20 antennas on top of our existing utility poles.

21 We did not have any regulations that
22 allowed it and we didn't have any regulations
23 that didn't allow it, so we found ourselves in a
24 position where we had to deny permits based off

1 of criteria that is really established for small
2 cell antennas in the private side of the road,
3 which is where you would see people putting cell
4 towers and antennas on the private side.

5 So this ordinance is an opportunity
6 to clear that up, to provide specificity on what
7 it is that we are going to require of
8 telecommunication antennas within our
9 right-of-way, but a lot of that is going to be
10 addressed within Chapter 8, which is the public
11 right-of-way, which is more the Public Works
12 section, but we had to address it in Chapter 18,
13 which is in zoning, to say refer to Chapter 8 if
14 you're going to locate in the right-of-way.

15 So that's all you're amending; you
16 are amending the opportunity to include language
17 if someone were to come in and look in that
18 section, because we have a section called
19 telecommunications towers and antennas, to then
20 refer them to Chapter 8, which will give them
21 more information for locating within the
22 right-of-way.

23 We did kind of clean up some of the
24 definitions so that they are more consistent; we

1 used a template from the Illinois Municipal
2 League on how to create criterias for this, so if
3 you look, Staff prepared as an attachment to
4 Chapter 8, which is not under your purview, of
5 where the changes will occur, as well as
6 Chapter 18, which is under your purview and
7 which you are reviewing tonight, just to show
8 where we are including that caveat to refer to
9 Chapter 8 and changing some definitions.

10 So if you have any questions for me,
11 I'll be happy to answer them, but this has
12 already gone to Public Works, they've recommended
13 it for approval. Once we have our opportunity
14 for recommendation, it will go to City Council
15 for final consideration.

16 MR. OLSON: So the one you approved is
17 the one to just put an antenna on top of an
18 existing utility pole?

19 MS. NOBLE: Correct. And we --

20 MR. OLSON: Does it have fins on it
21 or --

22 MS. NOBLE: No, it's -- Actually it
23 looks like a cap. You wouldn't be able to tell
24 the difference. It looks like a square cap.

1 It's very innocuous, you wouldn't notice it's
2 there, especially seeing that the height is above
3 eye level. You'd have to really look up.

4 We did have a structural engineer
5 verify because they had to provide us plans
6 stamped by a structural engineer and we had an
7 outside structural engineer review to make sure
8 that it would be stable, that it wouldn't cause
9 or -- you know, a breakage or anything of that
10 nature.

11 MR. OLSON: Is it a stand-alone tower,
12 is it a monopole one? Those can get up to 75
13 foot; is that correct?

14 MS. NOBLE: Those can get tall. These
15 are more for the ones that are located on the
16 existing poles, but those can -- We did have an
17 application come in for a stand-alone one right
18 in front of City Hall that we ended up rejecting,
19 and then they came back and they found a way to
20 locate on an existing pole.

21 MR. OLSON: And I want to say you have
22 language in here that basically says that the
23 City reserves the right regardless of what people
24 send you to thumbs up or thumbs down based upon

1 your review, right?

2 MS. NOBLE: We do. We do have that
3 right, but it has to be based off the criteria,
4 so the criteria is established in Chapter 8,
5 which is not under our purview. The only thing
6 under our purview tonight is Chapter 18, which
7 says refer to Chapter 8.

8 MR. OLSON: This is business, but what's
9 the permit fee for them to come in and put that?

10 MS. NOBLE: There is a standard permit
11 fee, I want to say it's a hundred dollars, but
12 then there is also engineering review. Those are
13 deposits --

14 MR. OLSON: They pay them, too, right?

15 MS. NOBLE: Yes. They are separate.
16 But just for our building permit purposes, it's a
17 standard fee of \$100.

18 MS. GOINS: Also not necessarily within
19 our purview, but is there a cap on the number
20 that can be placed upon the pole?

21 MR. OLSON: Good question.

22 MS. NOBLE: Not in the ordinance, but
23 it's dependent on engineering, structural
24 engineering, review.

1 There is opportunities for
2 co-location, but as technology advances, I don't
3 think it's going to be an issue where they're
4 going to be stacking more and more.

5 If you see like on our water tower,
6 we have the antennas. These are just the
7 antennas. You can have up to like four carriers
8 with an antenna that's shaped like a triangle,
9 and it's like 12 little small antennas, so that
10 will be under review by engineering as well.

11 MR. OLSON: They don't get charged
12 rent because it's in the right-of-way, correct,
13 it's not on City property?

14 MS. NOBLE: Correct. Correct. Only
15 when it's located on top of our structures, or
16 not on private property, will they be charged.

17 MS. HORAZ: Do they go to ComEd or
18 whoever owns the pole?

19 MS. NOBLE: Yes, they have to get
20 approval.

21 MS. HORAZ: And they go through them?

22 MS. NOBLE: Correct. Or AT&T, whoever
23 owns the pole. I think this one was an AT&T
24 pole.

1 MS. HORAZ: I have a question. I know
2 I've seen the technology is changing so much, but
3 from what they want to kind of do is the same
4 kind of things on top of light poles, like the
5 light that you have by your house, like little
6 repeaters?

7 MS. NOBLE: This is the same.

8 MS. HORAZ: So that would address --

9 MS. NOBLE: This would address that,
10 any poles or anything structural in our
11 right-of-way.

12 MS. HORAZ: Okay. So is this a City
13 pole, or are those ComEd poles?

14 MS. NOBLE: Those would be -- the City
15 is responsible to maintain, but if it's within
16 like 47, that would be the state's.

17 MS. HORAZ: But like within
18 subdivisions.

19 MS. NOBLE: The subdivisions, then that
20 would be the City's because it would be within
21 the right-of-way.

22 MS. HORAZ: And then would you rent
23 that?

24 MS. NOBLE: No, because it's in the

1 right-of-way. We typically wouldn't
2 enter into a lease agreement, only a lease
3 agreement that's on our water tower or within our
4 private property, like the one that we have in
5 the Woods Park.

6 MS. HORAZ: So would they pretty much go
7 through the whole town and put these things up?

8 MS. NOBLE: Because they are now
9 beginning to be considered essential utilities.
10 Just like we don't charge ComEd to run service
11 within our right-of-way.

12 MS. HORAZ: Okay. Thank you.

13 CHAIRMAN HARKER: Any other questions?

14 (No response.)

15 CHAIRMAN HARKER: Since all of the
16 public testimony has been taken, may I have a
17 motion to close out the taking of this public
18 hearing?

19 MS. GOINS: So moved.

20 MS. HORAZ: Second.

21 CHAIRMAN HARKER: Roll call vote on the
22 motion, please?

23 MS. YOUNG: Horaz.

24 MS. HORAZ: Yes.

1 MS. YOUNG: Marcum.

2 MR. MARCUM: Yes.

3 MS. YOUNG: Olson.

4 MR. OLSON: Yes.

5 MS. YOUNG: Goins.

6 MS. GOINS: Yes.

7 MS. YOUNG: Harker.

8 CHAIRMAN HARKER: Yes.

9 All right.

10 (Which were all the
11 proceedings had in the
12 public hearing portion
13 of the meeting.)

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1 STATE OF ILLINOIS)
) SS.
2 COUNTY OF LASALLE)

3 I, Christine M. Vitosh, a Certified Shorthand
4 Reporter, do hereby certify that I transcribed
5 the proceedings had at the public hearing and that
6 the foregoing, Pages 1 through 14, inclusive, is
7 a true, correct and complete computer-generated
8 transcript of the proceedings had at the time and
9 place aforesaid.

10 I further certify that my certificate annexed
11 hereto applies to the original transcript and
12 copies thereof, signed and certified under my
13 hand only. I assume no responsibility for the
14 accuracy of any reproduced copies not made under
15 my control or direction.

16 As certification thereof, I have hereunto set
17 my hand this 29th day of June, A.D., 2017.

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19
20 _____
Christine M. Vitosh, CSR
21 Illinois CSR No. 084-002883
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\$	alone [2] - 8:11, 8:17 ALSO [1] - 2:9 amended [1] - 5:6 amending [2] - 6:15, 6:16 amendment [1] - 4:23 AND [1] - 1:9 annexed [1] - 14:10 answer [1] - 7:11 Antenna [1] - 5:1 antenna [2] - 7:17, 10:8 antennas [9] - 5:3, 5:20, 6:2, 6:4, 6:8, 6:19, 10:6, 10:7, 10:9 application [1] - 8:17 applies [1] - 14:11 approval [2] - 7:13, 10:20 approved [1] - 7:16 area [1] - 5:6 assume [1] - 14:13 AT&T [2] - 10:22, 10:23 attachment [1] - 7:3 Awesome [1] - 4:2	CHAIRMAN [8] - 3:4, 4:2, 4:9, 4:20, 12:13, 12:15, 12:21, 13:8 changes [1] - 7:5 changing [2] - 7:9, 11:2 Chapter [12] - 4:24, 5:5, 6:10, 6:12, 6:13, 6:20, 7:4, 7:6, 7:9, 9:4, 9:6, 9:7 charge [1] - 12:10 charged [2] - 10:11, 10:16 Christine [2] - 14:3, 14:20 city [1] - 5:18 City [8] - 4:21, 5:2, 7:14, 8:18, 8:23, 10:13, 11:12, 11:14 CITY [1] - 1:5 City's [1] - 11:20 clean [1] - 6:23 clear [1] - 6:6 clearly [1] - 3:17 close [1] - 12:17 co [2] - 5:19, 10:2 co-location [2] - 5:19, 10:2 code [1] - 5:6 ComEd [3] - 10:17, 11:13, 12:10 COMMISSION [1] - 1:9 Commission [2] - 3:7, 5:7 Community [1] - 2:10 complete [1] - 14:7 computer [1] - 14:7 computer-generated [1] - 14:7 consideration [2] - 4:24, 7:15 considered [2] - 3:11, 12:9 consistent [1] - 6:24 control [1] - 14:15 copies [2] - 14:12, 14:14 Correct [2] - 10:14, 10:22 correct [5] - 7:19, 8:13, 10:12, 10:14, 14:7 Council [1] - 7:14 COUNTY [1] - 14:2 County [1] - 4:22 create [1] - 7:2 criteria [3] - 6:1, 9:3, 9:4 critierias [1] - 7:2	CSR [2] - 14:20, 14:20	G
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Memorandum



To: Planning and Zoning Commission
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti Barksdale-Noble, Community Development Director
Date: July 6, 2017
Subject: **PZC 2017-07 Casey's General Store –
Gas Station and Convenience Store**
Proposed Annexation, Rezone, Special Use Authorization, Sign
Variance, and Final Plat

SUMMARY:

The petitioner, Casey's Retail Company, has filed applications with the United City of Yorkville, Kendall County, Illinois, requesting to annex land located at the southwest corner of Route 34 and McHugh Road to construct a gas station with accessory convenience store. This proposed project will also require a rezoning request, special use authorization, sign variance authorization, and final plat approval. This memorandum summarizes all of the submitted materials.



PROPERTY BACKGROUND:

The two parcels which the petitioner is seeking to annex and build the Casey's General Store are currently located in unincorporated Kendall County. The northern parcel currently has a single-story apartment complex and the southern parcel has a single-family home. While each property contains a residential use, both parcels are currently zoned B-3 Highway Business District in Kendall County. The property to the west, Coffman Carpets, is also zoned B-3 Highway Business District in unincorporated Kendall County. While not a part of this initial submittal, Casey's is conducting negotiations with the Coffman Carpet property owners to possibly annex them into the City as well. For utility and underground improvements for the gas station, Casey's may need Coffman's to annex into the City to get rid of their existing septic system and connect to the City's sanitary sewer system.

PROJECT DESCRIPTION:

As proposed, the petitioner is seeking to annex the two parcels at the southwest corner of Route 34 and McHugh Road. Upon annexation, the property will automatically be zoned into the most restrictive zoning district, R-1 Suburban Residence District. Therefore, to accommodate the intended commercial use, the petitioner has requested to rezone the properties to the B-3 General Business District and request a special use authorization for a gas station within the zoning district.

Additionally, the petitioner has requested a sign variance for their monument sign and has submitted their final plat.

EXISTING ZONING:

The existing zoning and land use for properties surrounding the subject property are as indicated below:

	Zoning	Land Use
North	Commercial Planned Unit Development	Farm land
East	B-3 General Business District	Heartland Business Center
South	B-3 Highway Business District (Kendall County)	Residential Housing
West	B-3 Highway Business District (Kendall County)	Coffman Carpets

SITE PLAN:

The proposed 1.35 acre site plan was reviewed by various City departments and outside agencies to ensure compliance with applicable ordinances, regulations and standards with regard to building setbacks, parking/parking setbacks, circulation/access roads, stormwater management/utilities, landscaping and signage. Below are the summaries of those reviews.

Building Setbacks

The petitioner has depicted the following property’s building setback locations:

Building Setback	Required Minimum	Proposed Setback
Front Yard	50’	50’
Side/Corner Yard	20’/30’	20’
Rear Yard/Transitional Yard	20’/30’	30’

The maximum building height for the B-3 General Business District is 80 feet. The height of the building is not listed on the submitted plans but staff has been informed the proposed structures will be below 80 feet and will be documented on future plans. The maximum lot coverage for the B-3 General Business District including all impervious surfaces is 80%. The proposed lot coverage is close to the 80% and the petitioner will document the overall coverage in future plans.

Parking/Parking Lot Setbacks

The submitted plans show a total of 21 parking spaces including 1 handicapped accessible space. The total minimum required parking spaces needed per the Yorkville Zoning Ordinance is 14 spaces. Therefore the proposed 21 spaces exceed the required minimum.

The petitioner appears to have met the required minimum parking lot setback of 20 feet from arterial roadways (US 34) and 10 feet from non-arterial roadways (McHugh Road) for the proposed development as follows:

PARKING LOT SETBACK	REQUIRED MINIMUM	PROPOSED PARKING LOT SETBACK
US Route 34 – North (Arterial)	20'	20'-6"
McHugh Road – South East (Non-Arterial)	10'	10'-4"

Loading/Circulation

The gas station is not required to utilize a loading dock due to its size and general use. Although, there will be deliveries to restock the convenience store. The petitioner has submitted truck traffic and circulation plans which show where the loading area on site is located as well as traffic circulation routes to ensure there are no problems with loading in relation to on site circulation.

OTHER CONSIDERATIONS:

Aesthetics/Building Construction

Although not required as part of the Special Use process, the petitioner has provided color elevations for the proposed Casey’s General Store to staff as an informational item. These elevations will be available at all public hearings and meetings.

As proposed the primary building will be brick almost completely brick on the front and two sides. Additionally, natural tan stone will be used as trim at the corners of the building. The proposed canopy for the fuel pumps will have brick pillars with a standard red façade along the top of the canopy.

The proposed building materials are consistent with Section 8-15-5: Criteria for Appearance of the City Code, which requires that new non-residential structures have at least fifty percent (50%) of the total building constructed of masonry products or precast concrete incorporated on the front façade and all other facades that abuts a street.

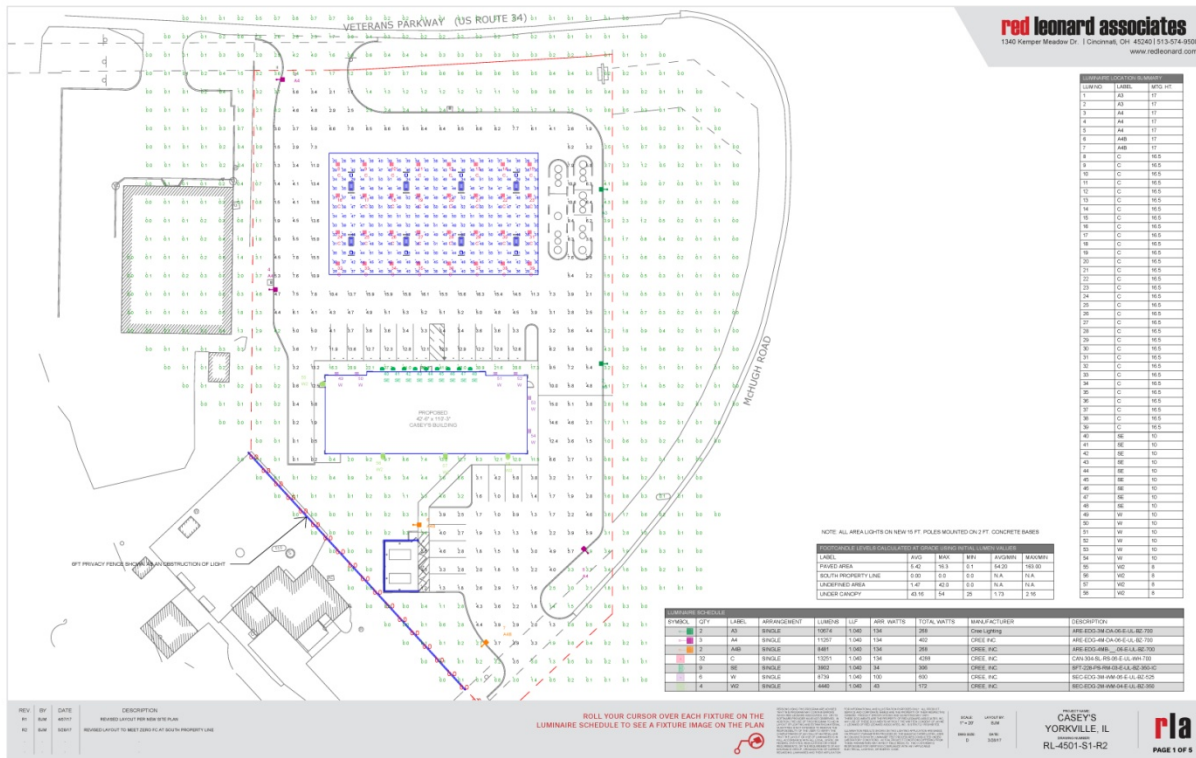
Signage

The petitioner is proposing 3 building mounted signs as well as one monument sign. The 3 building mounted signs will be located on the front of the store which faces Route 34. The proposed building mounted signs currently meet the City’s standards which per Section 10-20-9-A-2 of the Yorkville Zoning Ordinance states *the maximum sign area for building mounted signs shall not exceed 2 square feet for each linear foot for each exterior wall of that part of the building in which the sign is located. Additionally, no wall sign shall extend more than 75% of the width of the building façade to which it is attached.*

Additionally, the petitioner is proposing on monument sign at the northeast corner of the property. Per the City’s Zoning Ordinance Section 10-20-9-A-1: *Freestanding Business Signs: On lots less than three (3) acres with one street frontage, one freestanding business sign thirty two (32) square feet or less feet in area and twelve feet (12') or less in height shall be allowed.* The proposed monument sign will be less than 12 feet in height but the actual signage will be about 47 square feet. Therefore, the petitioner is requesting relief from the Zoning Ordinance to allow a larger sign on the property. The reasoning behind their request is that this will allow only a single sign on the premises since the sign will serve as both a nameplate and provide the gas prices via an LED changeable copy sign. Additionally, the petitioner was not able to secure the corner parcel directly adjacent to the Route 34 and McHugh Road intersection. This interferes with the sightlines to the sign, and therefore is requesting to be larger to help offset this hardship.

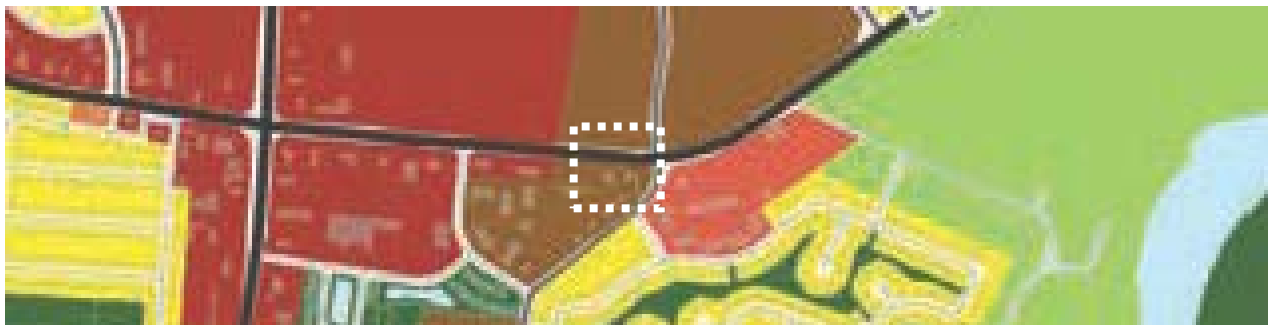
Lighting

The photometric plan submitted by the petitioner illustrates the intensity of the light generated when the gas station will be operational. The submitted plan is not acceptable as it has light overflowing the property lines to the east and west over the maximum of 0.1 foot candles. The petitioner is currently working on a new photometric plan to conform to the City's standards and will be submitted as soon as possible.



THE COMPREHENSIVE PLAN:

The 2016 Comprehensive Plan designates this for mid-density residential uses. While this is not the proposed use or zone, adjacent properties are designated for neighborhood retail and destination commercial which is consistent with what Casey's is requesting. The type of use and zone are meets the intent of the Comprehensive Plan since commercial development along Route 34 is of high priority and the nearby commercial uses are consistent with existing and future land uses.



STANDARDS FOR GRANTING A SPECIAL USE:

Section 10-4-9-F of the City's Zoning Ordinance establishes standards for special use requests. These standards shall apply to both the request for Special Use authorization of a fuel/gasoline service station and Planned Unit Development (PUD) modification. No special use shall be recommended by the Plan Commission unless said commission shall find that:

1. The establishment, maintenance or operation of the special use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.
2. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purpose already permitted, nor substantially diminish and impair property values within the neighborhood.
3. The establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
4. Adequate utilities, access roads, drainage or other necessary facilities have been or are being provided.
5. Adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in the public streets.
6. The special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the City Council pursuant to the recommendations of the Plan Commission.

The petitioner has provided written responses to these standards as part of their application (see attached) and requests inclusion of those responses into the public record at the July 12, 2017 Planning and Zoning Commission meeting.

STANDARDS FOR GRANTING A VARIANCE:

The Planning and Zoning Commission must base its decision to vary, or recommend varying, the Petitioner's request for relief of the Zoning Ordinance regulation upon the following standards (Section 10-4-7-C):

1. Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out.
2. The conditions upon which the petition for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classification.
3. The alleged difficulty or hardship is caused by this title and has not been created by any person presently having an interest in the property.
4. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.
5. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger

to the public safety, or substantially diminish or impair property values within the neighborhood.

6. The proposed variation is consistent with the official comprehensive plan and other development standards and policies of the city.

In addition to the procedures and standards listed above regarding variations from the requirements, the planning and zoning commission shall also consider the following factors in hearing testimony and making decisions regarding sign variance requests:

1. If the sign was erected legally with a sign permit.
2. If there are any unique physical characteristics of the property.
3. If there are limited available locations for signage on the property.
4. The cost to the applicant of complying with the requirements of this chapter.
5. If the sign is on or faces a street with a forty (40) mile per hour or higher speed limit.
6. If the sign is on a street with twenty thousand (20,000) or higher vehicle trips per day.
7. If the sign would be blocked by existing or required landscaping.
8. If it is a wall sign facing a public right of way without a public entrance.

The petitioner has provided written responses to these standards as part of their application (see attached) and requests inclusion of those responses into the public record at the July 12, 2017 Planning and Zoning Commission meeting.

STANDARDS FOR GRANTING A ZONING AMMENMENT:

Where the purpose and effect of the proposed amendment are to change the zoning classification of a particular property, the planning and zoning commission shall make findings based upon the evidence presented to it in each specific case with respect to the following matters:

1. The existing uses and zoning of nearby property.
2. The extent to which the property values are diminished by the particular zoning restrictions.
3. The extent to which the destruction of property values of plaintiff promotes the health, safety, morals or general welfare of the public.
4. The relative gain to the public as compared to the hardship imposed upon the individual property owner.
5. The suitability of the subject property for the zoned purposes.

6. The length of time the property has been vacant as zoned considered in the context of land development in the area in the vicinity of the subject property.
7. The community need for the proposed use.
8. The care to which the community has undertaken to plan its land use development.

The petitioner has provided written responses to these standards as part of their application (see attached) and requests inclusion of those responses into the public record at the July 12, 2017 Planning and Zoning Commission meeting.

STAFF COMMENTS:

Staff is recommending approval of each requested action from Casey's General Store including the rezoning request (upon annexation), special use authorization, sign variance, and final plat approval. Casey's has provided staff with all the required documents and have met almost all of the City's standards for a development of this nature. Staff recommends that the following conditions be put on each request:

- Special Use Authorization
 - Approved once a new photometric plan is submitted which illustrates the City's current standard that there is no overflow of light at any property line over 0.1 foot-candle.
 - Approved once all engineering comments from EEI (letter dated June 19, 2017) have been resolved.
 - Approved upon annexation into the City of Yorkville
- Rezoning Request
 - Approved upon annexation into the City of Yorkville
- Sign Variance
 - Approved upon annexation into the City of Yorkville
- Final Plat
 - Approved upon annexation into the City of Yorkville

The public hearing for annexation will be held at the City Council meeting on July 25, 2017. All submissions provided by Casey's have been attached to this memo for your review.

PROPOSED MOTIONS:

1. Map Amendment - Rezoning from R-1 Suburban Residential District to B-3 General Business District
In consideration of testimony presented during a Public Hearing on July 12, 2017 and approval of the findings of fact, the Planning and Zoning Commission recommends approval to the City Council of a request for a map amendment to rezone the properties stated in the staff memorandum dated July 6, 2017 from R-1 Suburban Residential District to B-3 General Business District subject to the conditions enumerated in that same memorandum and further subject to {insert any additional conditions of the Planning and Zoning Commission}...

2. Special Use for Fuel/Gasoline Service Station
In consideration of testimony presented during a Public Hearing on July 12, 2017 and approval of the findings of fact, the Planning and Zoning Commission recommends approval to the City Council of a request for Special Use authorization for a fuel/gasoline service station to be located at the southwest corner of U.S. Route 34 and McHugh Road subject to the conditions enumerated in a staff memorandum dated July 6, 2017 and further subject to {insert any additional conditions of the Plan Commission}...

3. Sign Variance
In consideration of testimony presented during a Public Hearing on July 12, 2017 and approval of the findings of fact, the Planning and Zoning Commission recommends approval of a request to vary the sign regulations contained in Section 10-20-6-A of the United City of Yorkville Zoning Ordinance to permit a free standing monument sign in a business district to be larger than 32 square feet in sign area subject to the conditions enumerated in a staff memorandum dated July 6, 2017 and further subject to {insert any additional conditions of the Zoning Board of Appeals}...

4. Final Plat
The Planning and Zoning Commission recommends approval to the City Council of a request for Final Plat of Subdivision of the Casey's General Store in Yorkville subject to final engineering approval as enumerated in a letter from Engineering Enterprise Incorporated dated June 19, 2017 and illustrated in a plan prepared by Arc Design Resources subject to the conditions enumerated in a staff memorandum dated July 6, 2017 and further subject to {insert any additional conditions of the Plan Commission}...

ATTACHMENTS:

1. Petitioner Applications
2. Petitioner Site Plan
3. Final Plat
4. Sign Package
5. Engineering Comments
6. Public Notices
7. Certified Letter Receipts

Application For Re-Zoning

STAFF USE ONLY

Date of Submission PC#

Development Name

Applicant Information

Name of Applicant(s)

Business Address

City State ZIP

Business Phone Business Fax

Business Cell Business E-mail

Property Information

Name of Holder of Legal Title

If Legal Title is held by a Land Trust, list the names of all holders of any beneficial interest therein:

Property Street Address

Description of Property's Physical Location

Zoning and Land Use of Surrounding Parcels

North	<input type="text"/>
East	<input type="text"/>
South	<input type="text"/>
West	<input type="text"/>

Current Zoning Classification Requested Zoning Classificaion

Comprehensive Plan Future Land Use Designation Total Acreage

Kendall County Parcel Number(s) Within Proposed PUD

02-28-252-026	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>

Application For Rezoning

Property Information

List all governmental entities or agencies required to receive notice under Illinois law:

Is the property within City limits? Yes No

Does a floodplain exist on the property? Yes No

Additional Contact Information

Attorney

Name

Address

City State ZIP

Phone Fax

E-mail

Engineer

Name

Address

City State ZIP

Phone Fax

E-mail

Planner

Name

Address

City State ZIP

Phone Fax

E-mail

Application For Rezoning

Rezoning Standards

Please state the existing zoning classification(s) and uses of the property within the general area of the proposed rezoned property:

Please state the trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place since the day the property in question was placed in its present zoning classification:

Please state the extent to which property values are diminished by the particular zoning restrictions:

Please state the extent to which the destruction of property values of plaintiff promotes the health, safety, morals, and general welfare of the public:

Application For Rezoning

Rezoning Standards

Please state the relative gain to the public as compared to the hardship imposed upon the individual property owner:

Please state the suitability of the subject property for the zoned purposes:

Please state the length of time the property has been vacant as zoned considered in the context of land development in the area in the vicinity of the subject property:

Please state the community need for the proposed land use:

Application For Rezoning

Rezoning Standards

With respect to the subject property, please state the care with which the community has undertaken to plan its land use development:

Please state the impact that such reclassification will have upon traffic and traffic conditions on said routes; the effect, if any, such reclassification and/or annexation would have upon existing accesses to said routes; and the impact of additional accesses as requested by the petitioner upon traffic and traffic conditions and flow on said routes (Ord. 1976-43, 11-4-1976):

Attachments

Applicant must attach a legal description of the property to this application and title it as “Exhibit A”.

Applicant must list the names and addresses of any adjoining or contiguous landowners within 500 feet of the property that are entitled notice of application under any applicable City Ordinance or State Statute. Attach a separate list to this application and title it as “Exhibit B”.

Application For Rezoning

Agreement

I verify that all the information in this application is true to the best of my knowledge. I understand and accept all requirements and fees as outlined as well as any incurred administrative and planning consultant fees which must be current before this project can proceed to the next scheduled committee meeting.

I understand all of the information presented in this document and understand that if an application becomes dormant it is through my own fault and I must therefore follow the requirements outlined above.

Applicant Signature
Nancy Fuchs

Date
5/24/17

Owner hereby authorizes the applicant to persue the appropriate entitlements on the property.

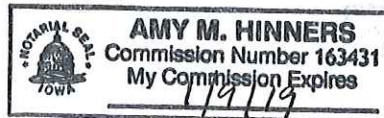
Owner Signature

Date

SEE ATTACHED

THIS APPLICATION MUST BE NOTARIZED
PLEASE NOTARIZE IN THE SPACE BELOW:

Amy M Hinners, May 24, 2017





United City of Yorkville
 County Seat of Kendall County
 800 Game Farm Road
 Yorkville, Illinois, 60560
 Telephone: 630-553-4350
 Fax: 630-553-7575
 Website: www.yorkville.il.us

Petitioner Deposit Account / Acknowledgment of Financial Responsibility

Development/Property Address:	Project No.: FOR CITY USE ONLY	Fund Account No.: FOR CITY USE ONLY
-------------------------------	--------------------------------	-------------------------------------

Petition/Approval Type: check appropriate box(es) of approval requested

- Concept Plan Review Amendment (Text) (Annexation) (Plat) Annexation
 Rezoning Special Use Mile and 1/2 Review
 Zoning Variance Preliminary Plan Final Plans
 P.U.D. Final Plat

Petitioner Deposit Account Fund:

It is the policy of the United City of Yorkville to require any petitioner seeking approval on a project or entitlement request to establish a Petitioner Deposit Account Fund to cover all actual expenses occurred as a result of processing such applications and requests. Typical requests requiring the establishment of a Petitioner Deposit Account Fund include, but are not limited to, plan review of development approvals/engineering permits. Deposit account funds may also be used to cover costs for services related to legal fees, engineering and other plan reviews, processing of other governmental applications, recording fees and other outside coordination and consulting fees. Each fund account is established with an initial deposit based upon the estimated cost for services provided in the INVOICE & WORKSHEET PETITION APPLICATION. This initial deposit is drawn against to pay for these services related to the project or request. Periodically throughout the project review/approval process, the Financially Responsible Party will receive an invoice reflecting the charges made against the account. At any time the balance of the fund account fall below ten percent (10%) of the original deposit amount, the Financially Responsible Party will receive an invoice requesting additional funds equal to one-hundred percent (100%) of the initial deposit if subsequent reviews/fees related to the project are required. In the event that a deposit account is not immediately replenished, review by the administrative staff, consultants, boards and commissions may be suspended until the account is fully replenished. If additional funds remain in the deposit account at the completion of the project, the city will refund the balance to the Financially Responsible Party. A written request must be submitted by the Financially Responsible Party to the city by the 15th of the month in order for the refund check to be processed and distributed by the 15th of the following month. All refund checks will be made payable to the Financially Responsible Party and mailed to the address provided when the account was established.

ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY

Name/Company Name: Nancy Tjarks	Address: One Convenience Boulevard	City: Ankeny	State: IA	Zip Code: 50021
Telephone: 515-965-6597	Mobile:	Fax:	E-mail: nancy.tjarks@caseys.com	

Financially Responsible Party:

I acknowledge and understand that as the Financially Responsible Party, expenses may exceed the estimated initial deposit and, when requested by the United City of Yorkville, I will provide additional funds to maintain the required account balance. Further, the sale or other disposition of the property does not relieve the individual or Company/Corporation of their obligation to maintain a positive balance in the fund account, unless the United City of Yorkville approves a Change of Responsible Party and transfer of funds. Should the account go into deficit, all City work may stop until the requested replenishment deposit is received.

Print Name: Nancy Tjarks Title: Real Estate Site Project Administrator
 Signature*: Nancy Tjarks Date: 5/24/17

**The name of the individual and the person who signs this declaration must be the same. If a corporation is listed, a corporate officer must sign the declaration (President, Vice-President, Chairman, Secretary or Treasurer)*

FOR CITY USE ONLY

ACCOUNT CLOSURE AUTHORIZATION:

Date Requested: _____ Completed Inactive
 Print Name: _____ Withdrawn Collections
 Signature: _____ Other

DEPARTMENT ROUTING FOR AUTHORIZATION: Comm Dev. Building Engineering Finance Admin.

CERTIFIED MAILING
AFFIDAVIT

STATE OF ILLINOIS)
) SS
COUNTY OF KENDALL)

I/We, _____, petitioner, being first duly sworn, do hereby state under oath that to the best of my knowledge the attached list is a true, correct and complete list of all permanent parcel numbers, and names and addresses of owners, of all lots and parts of lots located within 500 feet (exclusively of any public streets and alleys) of the property legally described on the attached application for annexation, rezoning, special use permit, planned unit development, variation, or other zoning amendment. I further state that said list was obtained from the current tax rolls of the Kendall County Treasurer's Office. I further state that I mailed by U.S. Certified Mail, Return Receipt Requested, a copy of the Public Notice of Public Hearing before the United City of Yorkville Plan Commission for the Public Hearing held on Wednesday, _____, at the United City of City Council Chambers, Yorkville, Illinois. The notice was mailed to the attached list of all of the permanent parcel numbers and names and addresses of owners at the U.S. Post office on _____, 20____.

Signature of Petitioner(s)

Subscribed and sworn to before me this
_____ day of _____, 20_____

Notary Public

EXHIBIT A-LEGAL DESCRIPTIONS

1107 McHugh Road

Anthony J. Pignatiello and Khristina M. Pignatiello

THAT PART OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SOUTHEAST 1/4 OF SAID SECTION 28, 40 LINKS EAST OF THE SOUTHWEST CORNER OF SAID SOUTHEAST QUARTER; THENCE NORTH 11 1/2 DEGREES EAST 34.82 CHAINS TO AN ANGLE IN THE CENTER LINE OF THE OSWEGO ROAD; THENCE NORTH 53 DEGREES 35 MINUTES EAST ALONG THE CENTER LINE OF SAID OSWEGO ROAD 912.64 FEET FOR A POINT OF BEGINNING; THENCE NORTH 53 DEGREES 35 MINUTES EAST ALONG THE CENTER LINE OF SAID ROAD 75 FEET; THENCE NORTH 35 DEGREES 33 MINUTES WEST 200 FEET; THENCE SOUTH 53 DEGREES 33 MINUTES EAST 200 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF BRISTOL, KENDALL COUNTY, ILLINOIS.

9230 Route 34

Robert P. Pilmer and Donald J. Pilmer, Co-Trustees of the Marvin F. Pilmer Trust Agreement

THAT PART OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN IN ILLINOIS DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION, 40 LINKS (26.40 FEET) EAST OF THE SOUTHWEST CORNER OF SAID SOUTHEAST QUARTER; THENCE NORTH 11 DEGREES 30 MINUTES 00 SECONDS EAST 34.82 CHAINS (2298.12 FEET) TO AN ANGLE IN THE CENTER LINE OF OSWEGO ROAD (PRESENTLY KNOWN AS MCHUGH ROAD); THENCE NORTH 53 DEGREES 35 MINUTES 00 SECONDS EAST ALONG THE CENTER LINE OF OSWEGO ROAD 111.54 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "A"; THENCE NORTH 07 DEGREES 30 MINUTES 00 SECONDS EAST 608.90 FEET TO A POINT WHICH IS 340.00 FEET SOUTHERLY OF (AS MEASURED ALONG THE LAST DESCRIBED LINE EXTENDED) THE CENTER LINE OF U.S. ROUTE 34 (S.B.I. ROUTE NO. 18); THENCE EASTERLY PARALLEL WITH THE CENTER LINE OF U.S. ROUTE 34 A DISTANCE OF 334.00 FEET FOR THE POINT OF BEGINNING; THENCE NORTH 07 DEGREES 30 MINUTES 00 SECONDS EAST 310.00 FEET TO THE SOUTHERLY LINE OF SAID U.S. ROUTE 34; THENCE SOUTH 83 DEGREES 27 MINUTES 03 SECONDS EAST 179.50 FEET ALONG SAID SOUTHERLY LINE TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG SAID SOUTHERLY LINE WHICH CURVES TO THE LEFT, HAVING A RADIUS OF 1462.39 FEET FOR AN ARC DISTANCE OF 121.00 FEET; THENCE SOUTH 07 DEGREES 00 MINUTES 00 SECONDS 316.09 FEET TO THE CENTER LINE OF OSWEGO ROAD; THENCE SOUTH 53 DEGREES 35 MINUTES 00 SECONDS WEST ALONG SAID CENTER LINE 12.52 FEET TO A POINT THAT IS 876.10 FEET NORTHEASTERLY OF POINT "A" AFORESAID; THENCE NORTH 35 DEGREES 33 MINUTES 00 SECONDS WEST 200.00 FEET; THENCE SOUTH 53 DEGREES 35 MINUTES 00 SECONDS WEST PARALLEL WITH THE CENTER LINE OF SAID OSWEGO ROAD 203.15 FEET TO A LINE DRAWN EASTERLY, PARALLEL WITH THE CENTER LINE OF SAID U.S. ROUTE 34 FROM THE POINT OF BEGINNING; THENCE WESTERLY ALONG SAID PARALLEL LINE 11.00 FEET TO THE POINT OF BEGINNING.

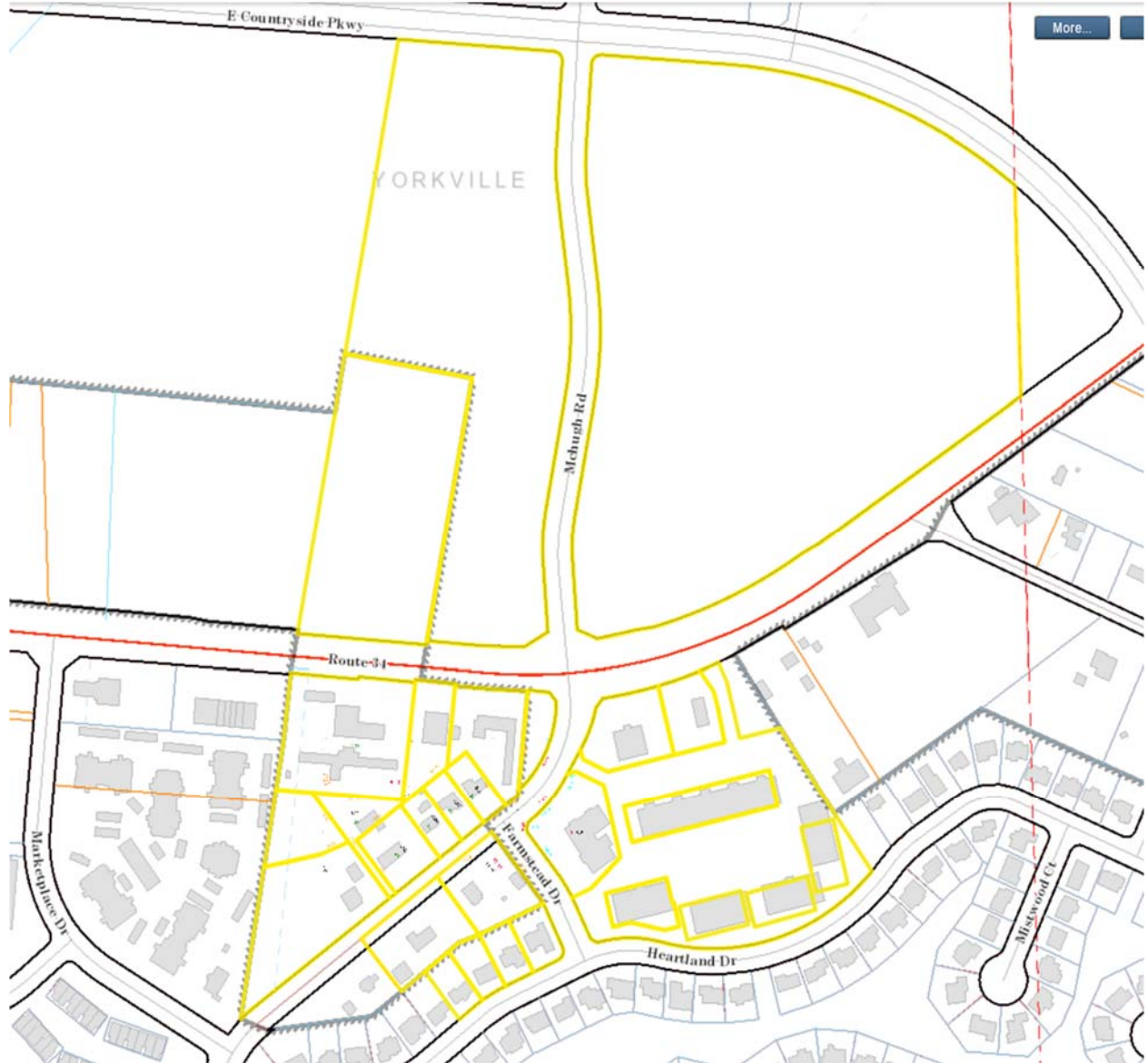
EXCEPT THE WESTERLY 104.98 FEET AS MEASURED AT RIGHT ANGLES TO THE WEST LINE THEREOF, IN THE TOWNSHIP OF BRISTOL, KENDALL COUNTY, ILLINOIS.

ALSO EXCEPTING THEREFROM THAT PART OF THE LAND CONVEYED BY TRUSTEE'S DEED TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION RECORDED DECEMBER 23, 2014 AS DOCUMENT NO. 201400018028.

EXHIBIT B-LAND OWNERS WITHIN 500 FEET

Owner Name	Owner Address	Site Address	Parcel Pin
Pignatiello, Anthony J &Khristina M	1107 Mchugh Rd. Yorkville, IL 60560	1107 Mchugh Rd. Yorkville, IL 60560	02_28_252_008
Marker, Pamela S	1626 Mistwood Dr. Naperville IL 60540	N/A	02_28_252_013
Pilmer, Marvin F Trust	1002 Prairie St. Aurora, IL 60506	9230 Route 34. Yorville, IL 60560	02_28_252_026
Coffman, David E & Debbie M	7315 W Hillside Cyrstal Lake, IL 60012	9290 Route 34. Yorkville, IL 60012	02_28_252_009
Yorkville Crossings LLC	13351 B Faxon Rd. Plano, IL 60545	N/A	02_28_227_002
Mystek, Edward J	1101 Mchugh Rd. Yorkville, IL 60560	1101 Mchugh Rd. Yorkville, IL 60560	02_28_252_006
Yorkville Crossings LLC	13351 B Faxon Rd. Plano, IL 60545	N/A	02_28_201_004
Shocker Land Company LLC	477 E Barberry CIR. Yorkville, IL 60560	9316 Route 34. Yorkville, IL 60560	02_28_252_027
Illinois Department of Transportation	700 E Norris Dr. Ottawa, IL 61350	N/A	02_28_226_003
Toschak, Andrew A & David J & Sharon M	659 W Ridge Ct. Aurora, IL 60504	1025 Mchugh Rd. Yorkville, IL 60560	02_28_252_005
Toschak, Andrew A & David J & Sharon M	659 W Ridge Ct. Aurora, IL 60504	N/A	02_28_252_011
Lindley, Dustin T	1105 Mchugh Rd. Yorkville, IL 60560	1105 Mchugh Rd. Yorkville, IL 60560	02_28_252_007
Carnithan, Bryan D & Jori A	661 Heartland Dr. Yorkville, IL 60560	661 Heartland Dr. Yorkville, IL 60560	02_28_402_014
West Suburban Bank Land Trust	711 S Westmore Ave. Lombard, IL 60148	1100 McHugh Rd. Yorkville, IL 60560	02_28_253_002
Swanson, Nicholas A	1060 Mchugh Rd. Yorkville, IL 60560	1060 Mchugh Rd. Yorkville, IL 60560	02_28_402_003
Schroeder, Richard K & Maria H	683 Heartland Dr. Yorkville, IL 60560	683 Heartland Dr. Yorkville, IL 60560	02_28_402_015
Castle Bank NA	1626 Mistwood Dr. Naperville IL 60540	708 E Veterans Pkwy. Yorkville, IL 60560	02_28_436_001
Castle Bank NA, % James Ratos	207 W Kendall Dr. Yorkville, IL 60560	728 #103 E Veterans Pkwy. Yorkville, IL 60560	02_28_253_011
Lilla, Thomas	649 Heartland Dr. Yorkville, IL 60560	649 Heartland Dr. Yorkville, IL 60560	02_28_402_013
Toschak, Barbara E	2551 Adamsway Dr. Aurora, IL 60504-9077	1015 Mchugh Rd. Yorkville, IL 60560	02_28_252_015
Goldsboro, Jeremy & Amy	627 Heartland Dr. Yorkville, IL 60560	627 Heartland Dr. Yorkville, IL 60560	02_28_402_012
Toschak, Andrew A Etal	659 W Ridge Ct. Aurora, IL 60504	N/A	02_28_252_016
Hobson Hollow Inc, % Richard Marker	1626 Mistwood Dr. Naperville IL 60540	N/A	02_28_253_012
Castle Bank, % Richard Marker	1626 Mistwood Dr. Naperville IL 60540	608 E Veterans Pkwy. Yorkville, IL 60540	02_28_253_006
600 East LLC	600 East Veterans Pkwy. Yorkville, IL 60560	600 East Veterans Pkwy. Yorkville, IL 60560	02_28_253_007
ANIRI LLC	504 Greenview Ct. Oswego, IL 60543	704 E Veternans Pkwy. Yorkville, IL 60560	02_28_253_009

EXHIBIT B-LAND OWNERS WITHIN 500 FEET



Application For Special Use

STAFF USE ONLY

Date of Submission PC#

Development Name

Applicant Information

Name of Applicant(s)

Business Address

City State ZIP

Business Phone Business Fax

Business Cell Business E-mail

Property Information

Name of Holder of Legal Title

If Legal Title is held by a Land Trust, list the names of all holders of any beneficial interest therein:

Property Street Address

Description of Property's Physical Location

Zoning and Land Use of Surrounding Parcels

North	<input type="text"/>
East	<input type="text"/>
South	<input type="text"/>
West	<input type="text"/>

Current Zoning Classification

Kendall County Parcel Number(s) of Property

<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>

Application For Special Use

Additional Contact Information

Attorney

Name

Address

City State ZIP

Phone Fax

E-mail

Engineer

Name

Address

City State ZIP

Phone Fax

E-mail

Land Planner/Surveyor

Name

Address

City State ZIP

Phone Fax

E-mail

Attachments

Applicant must attach a legal description of the property to this application and title it as "Exhibit A".

Applicant must list the names and addresses of any adjoining or contiguous landowners within 500 feet of the property that are entitled notice of application under any applicable City Ordinance or State Statute. Attach a separate list to this application and title it as "Exhibit B".

Application For Special Use

Special Use Standards

Please state how the establishment, maintenance or operation of the special use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare:

Please state how the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purpose already permitted, nor substantially diminish and impair property values within the neighborhood:

Please state how the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district:

Please state how adequate utilities, access roads, drainage or other necessary facilities have been or are being provided:

Application For Special Use

Special Use Standards

Please state how adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in the public streets:

Driveway locations are proposed to minimize conflicts and are consistent with other driveways along the corridor. The fuel station and convenience building proposed typically have a high concentration of pass-by trips, which pull existing traffic from the street network and does not create as many new trips as other commercial retail developments.

Please state how the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the City Council pursuant to the recommendations of the Plan Commission:

The special use and related convenient store retail use will conform within the proposed B-3 zoning. The convenient store retail use is allowed use within the B-3 district. All elements required by code to provide safe and efficient traffic patterns, parking, building requirements, and other factors are provided.

Agreement

I verify that all the information in this application is true to the best of my knowledge. I understand and accept all requirements and fees as outlined as well as any incurred administrative and planning consultant fees which must be current before this project can proceed to the next scheduled committee meeting.

I understand all of the information presented in this document and understand that if an application becomes dormant it is through my own fault and I must therefore follow the requirements outlined above.

Applicant Signature

Nancy Franks

Date

5/24/17

Owner hereby authorizes the applicant to pursue the appropriate entitlements on the property.

Owner Signature

See attached owner certification letter

Date

THIS APPLICATION MUST BE NOTARIZED
PLEASE NOTARIZE IN THE SPACE BELOW:

Amy M. Hinners May 24, 2017



Application For Sign Variance Request

STAFF USE ONLY

Date of Submission PC#

Development Name

Applicant Information

Name of Applicant(s)

Business Address

City State ZIP

Business Phone Business Fax

Business Cell Business E-mail

Property Information

Name of Holder of Legal Title

If Legal Title is held by a Land Trust, list the names of all holders of any beneficial interest therein:

Property Street Address

Description of Property's Physical Location

Zoning and Land Use of Surrounding Parcels

North	<input type="text"/>
East	<input type="text"/>
South	<input type="text"/>
West	<input type="text"/>

Current Zoning Classification

Kendall County Parcel Number(s) of Property

<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>

Application For Sign Variance Request

Additional Contact Information

Attorney

Name

Address

City State ZIP

Phone Fax

E-mail

Engineer

Name

Address

City State ZIP

Phone Fax

E-mail

Land Planner/Surveyor

Name

Address

City State ZIP

Phone Fax

E-mail

Attachments

Applicant must attach a legal description of the property to this application and title it as "Exhibit A".

Applicant must list the names and addresses of any adjoining or contiguous landowners within 500 feet of the property that are entitled notice of application under any applicable City Ordinance or State Statute. Attach a separate list to this application and title it as "Exhibit B".

Application For Sign Variance Request

Sign Standards

- Was the sign erected legally with a sign permit? Yes No
- Are there limited available locations for signage on the property? Yes No
- Does the sign face a street with a forty (40) mile per hour or higher speed limit? Yes No
- Is the sign on a street with twenty thousand (20,000) or higher vehicle trips per day? Yes No
- Does the sign face a public right-of-way without a public entrance? Yes No
- Would the sign be blocked by existing or required landscaping? Yes No

Please describe the cost to the applicant of complying with the sign ordinance requirements:

If there are any unique physical characteristics of the property, please describe them below:

Application For Sign Variance Request

Variance Standards

Please state the variance requested and the City Ordinance including the section numbers to be varied:

Please state how the particular surroundings, shape or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of regulations was carried out:

Please state how the conditions upon which the application for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classification:

Please state how the alleged difficulty or hardship is caused by this Title and has not been created by any person presently having an interest in the property:

Application For Sign Variance Request

Variance Standards

Please state how the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located:

The requested variance will not be detrimental to the adjacent users or the neighborhood. The business users will not be negatively impacted by the signage.

Please state how the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger to the public safety, or substantially diminish or impair property values within the neighborhood:

The requested signage variance will not negatively impact traffic or public safety. The proposed signage is contained within the development and will not impact the adjacent residential neighbor or the adjacent commercial neighbors.

Agreement

I verify that all the information in this application is true to the best of my knowledge. I understand and accept all requirements and fees as outlined as well as any incurred administrative and planning consultant fees which must be current before this project can proceed to the next scheduled committee meeting.

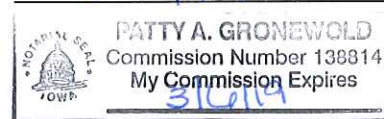
I understand all of the information presented in this document and understand that if an application becomes dormant it is through my own fault and I must therefore follow the requirements outlined above.

Applicant Signature

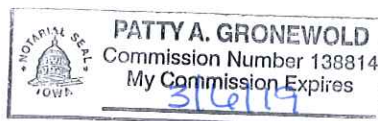
Nancy Sparks

Date

6/5/17



THIS APPLICATION MUST BE NOTARIZED
PLEASE NOTARIZE IN THE SPACE BELOW:



Application For Preliminary Plan & Final Plat

STAFF USE ONLY

Date of Submission PC#

Development Name

Applicant Information

Name of Applicant(s)

Business Address

City State ZIP

Business Phone Business Fax

Business Cell Business E-mail

Property Information

Property Street Address

Property Existing Zoning

Property Total Acreage

Type of Request:

Preliminary Plan

Final Plat

Amended Preliminary Plan

Amended Final Plat

Attachments

Applicant must attach a legal description of the property to this application and title it as "Exhibit A".

Additional Contact Information

Attorney

Name

Address

City State ZIP

Phone Fax

E-mail

Application For Preliminary Plan & Final Plat

Additional Contact Information

Engineer

Name
Address
City State ZIP
Phone Fax
E-mail

Land Planner/Surveyor

Name
Address
City State ZIP
Phone Fax
E-mail

Agreement

I verify that all the information in this application is true to the best of my knowledge. I understand and accept all requirements and fees as outlined as well as any incurred administrative and planning consultant fees which must be current before this project can proceed to the next scheduled committee meeting.

I understand all of the information presented in this document and understand that if an application becomes dormant it is through my own fault and I must therefore follow the requirements outlined above.

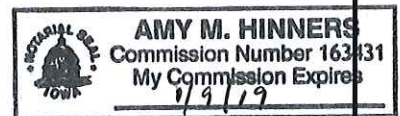
Applicant Signature *Nancy Spinks* Date 5/24/17

Owner hereby authorizes the applicant to persue the appropriate entitlements on the property.

Owner Signature SEE ATTACHED Date _____

THIS APPLICATION MUST BE NOTARIZED
PLEASE NOTARIZE IN THE SPACE BELOW:

Amy M Hinners May 24, 2017



ARC DESIGN
RESOURCES INC.

5291 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303
www.arcdesign.com
Design Firm License No. 184-001334

PROJECT NAME
OWNER'S NAME

CASEY'S YORKVILLE, IL
1105 & 1107 McHugh Road and 9290 & 9230 Route 34 Yorkville, IL 60560

CASEY'S RETAIL COMPANY
ONE CONVENIENCE BLVD ANKENY, IA 50021
RYAN STEVENS (515) 446-6709

CONSULTANTS

ISSUED FOR

1. AGENCY REVIEW	DATE
2.	05-26-2017
3.
4.
5.
6.
7.
8.
9.
10.
11.
12.
13.
14.
15.
16.
17.

REVISIONS

ITEM	DATE
1.
2.
3.
4.
5.
6.
7.

SHEET TITLE

LAYOUT PLAN

DRAWN: OSD
CHECKED: RGS
PM: RCS

PROJECT NUMBER
SHEET NUMBER

16110
C05

LEGEND

- PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- PROPOSED SETBACK LINE
- PROPOSED EASEMENT
- EXISTING FENCE
- SIDEWALK PAVEMENT
- CONCRETE PAVEMENT WITH INTEGRAL CURB
- 7" HEAVY DUTY CONCRETE/DRIVEWAYS (UGST)
- TURF/LANDSCAPED AREA
- PROPOSED CONCRETE CURB
- EXISTING CONCRETE CURB AND GUTTER
- PROPOSED SITE LIGHT POLE
- BENCHMARK

LAYOUT NOTES

- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- COORDINATE ANY WORK WITHIN MCHUGH ROAD WITH THE CITY OF YORKVILLE. TRAFFIC CONTROL SHALL CONFORM TO IDOT STANDARDS FOR WORK WITHIN THE R.O.W.
- COORDINATE WORK WITHIN U.S. HIGHWAY 34 WITH THE CITY OF YORKVILLE. TRAFFIC CONTROL SHALL CONFORM TO IDOT STANDARDS OF WORK WITHIN THE R.O.W.
- ALL RADII AND DIMENSIONS ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
- ALL CURB AND GUTTER IS INTEGRAL TO PAVEMENT UNLESS NOTED OTHERWISE. REFER TO THE DETAIL SHEETS FOR CURB DETAILS.
- SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
- ELECTRICAL CIRCUITRY TO SITE LIGHTING AND PYLON SIGN SHOWN ON ARCHITECTURAL PLANS.
- FOR REQUIRED PAVEMENT REMOVAL ADJACENT TO THE CURBS AND GUTTER REMOVAL WITHIN RIGHT OF WAY, A FULL DEPTH SAWCUT SHALL BE UTILIZED AND SHALL NOT BE LESS THAN 2" IN WIDTH.
- FOR ALL PAVEMENT PATCHING WITHIN THE RIGHT OF WAY THE BACKFILL MATERIAL USED SHALL BE CONTROLLED LOW STRENGTH MATERIAL UP TO THE BOTTOM OF THE PAVEMENT. THE THICKNESS OF THE HMA PAVEMENT REPLACEMENT SHALL BE A MINIMUM OF THE SAME THICKNESS AS THE EXISTING PAVEMENT STRUCTURE. THE MIXES USED SHALL BE HMA BINDER COURSE, IL 19.0 NSD, AND HMA SURFACE COURSE, MIX D NSD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION, COORDINATION AND OBTAINING APPROVAL OF A TRAFFIC MANAGEMENT PLAN IF CLOSURES OF LANES EXCEED THE CRITERIA ESTABLISHED IN THE BDE MANUAL.

PARKING TABLE

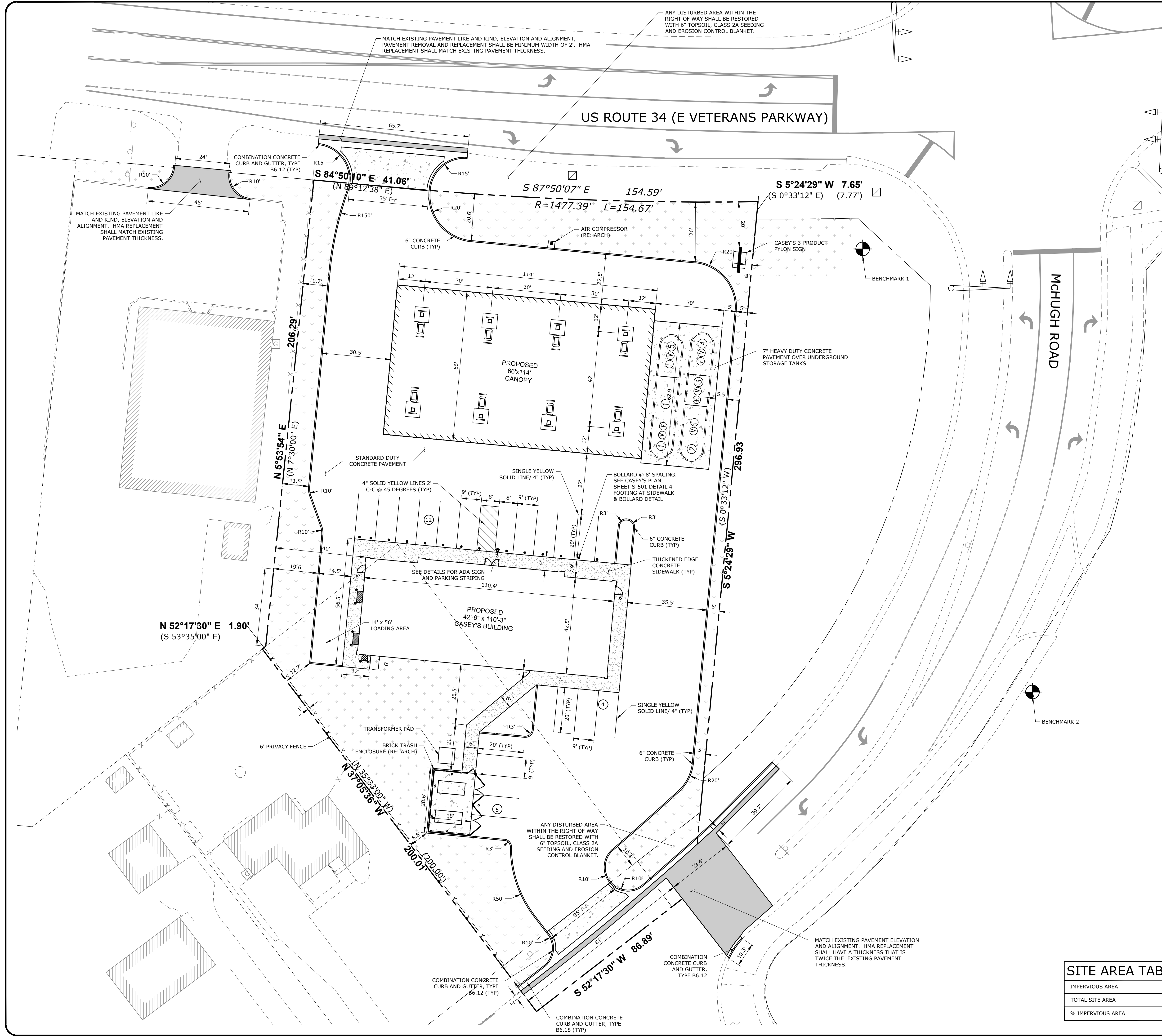
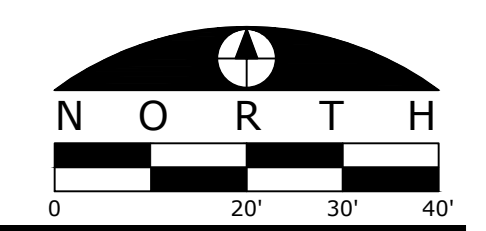
NUMBER OF PARKING STALLS REQUIRED	14 (1 - A.D.A.)
NUMBER OF PARKING STALLS PROPOSED	21 (1 - A.D.A.)

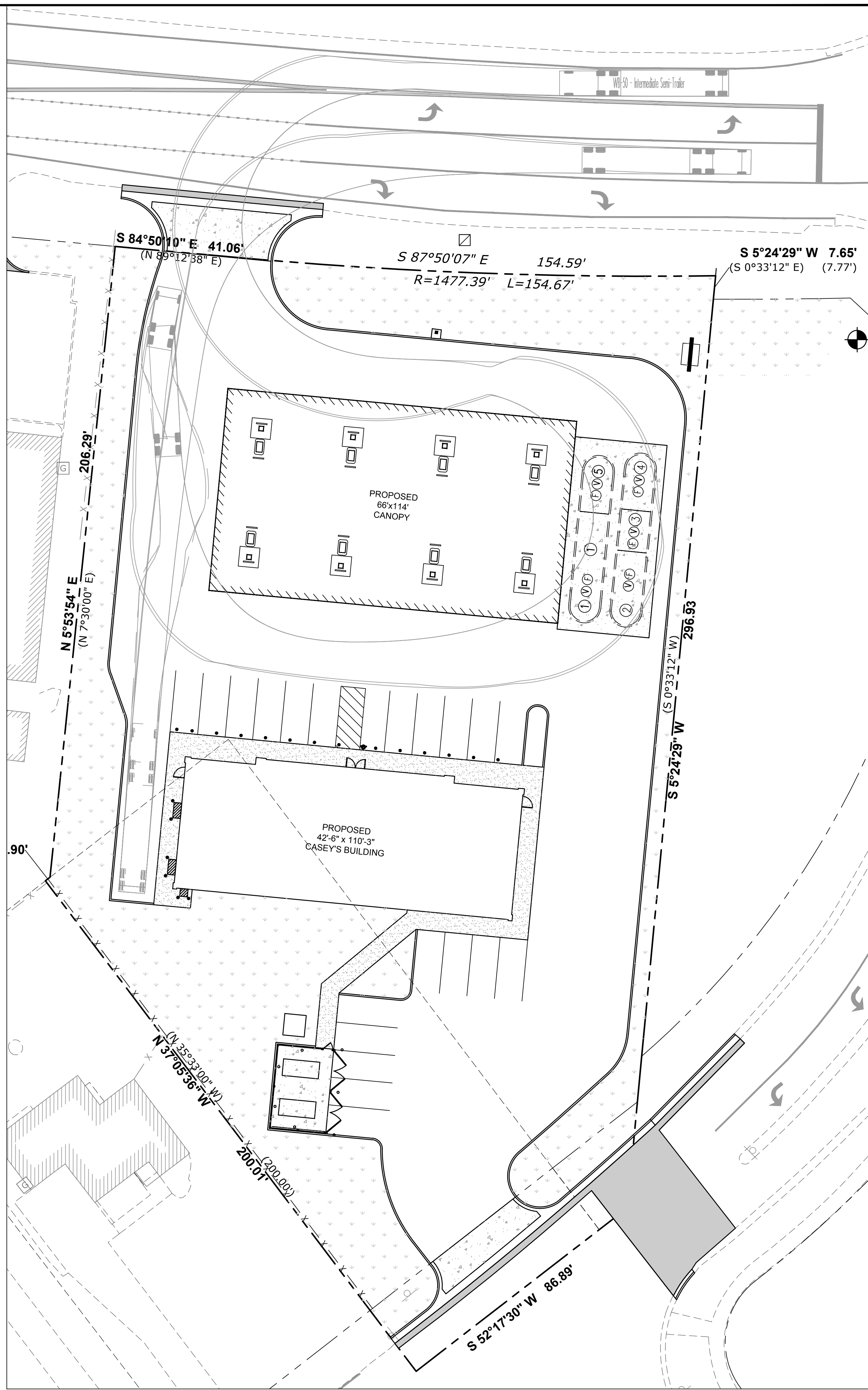
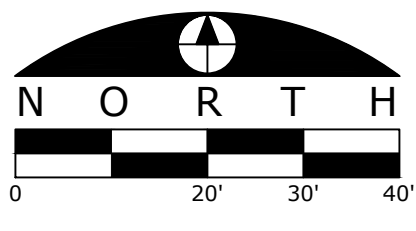
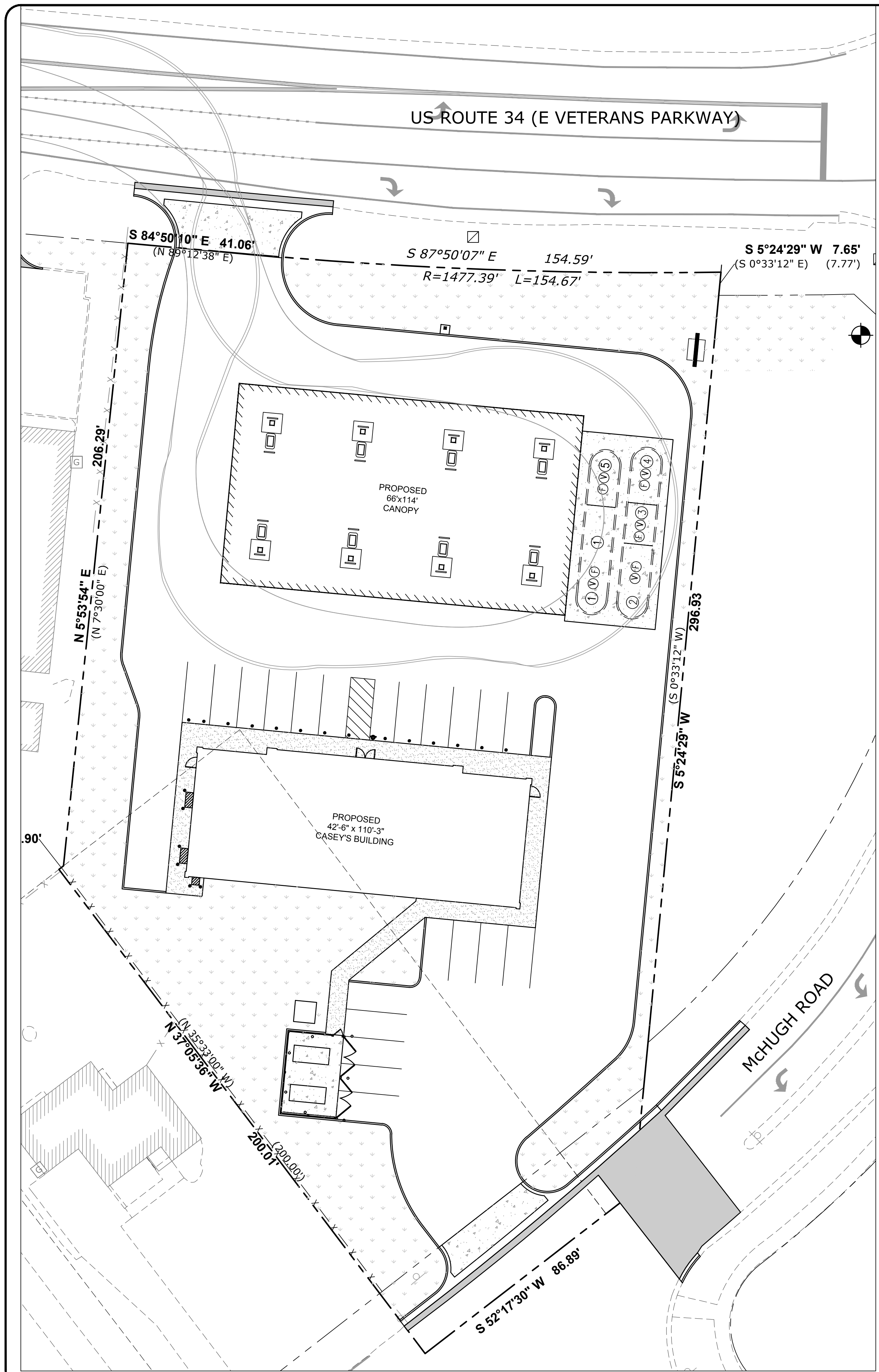
BENCHMARKS

DESCRIPTION	ELEVATION (USGS)
BENCHMARK 1 Top Bury Bolt on a fire hydrant located Southwest of the intersection of US Route 34 and McHugh Road	643.52
BENCHMARK 2 Top Bury Bolt on a fire hydrant located along the East right of way McHugh Road being approximately 246' south of the intersection of US Route 34 and McHugh Road	645.22
BENCHMARK 3 Top Southwest Bolt on a fire hydrant located South of the intersection of Farmstead Drive and McHugh Road	645.22

SITE AREA TABLE

IMPERVIOUS AREA	41840 SF (0.96 AC)
TOTAL SITE AREA	56211 SF (1.29 AC)
% IMPERVIOUS AREA	74.4%





ARC DESIGN
RESOURCES INC.

5291 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303
www.arcdesign.com
Design Firm License No. 184-001334

PROJECT NAME
OWNER'S NAME

CASEY'S YORKVILLE, IL

1105 & 1107 McHugh Road and 9290 & 9230 Route 34 Yorkville, IL 60560

CASEY'S RETAIL COMPANY
ONE CONVENIENCE BLVD
ANKENY, IA 50021
RYAN STEVENS
(515) 446-6709

CONSULTANTS

ISSUED FOR

1.	AGENCY REVIEW	DATE	05-26-2017
2.
3.
4.
5.
6.
7.
8.
9.
10.
11.
12.
13.
14.
15.
16.
17.

REVISIONS

1.	ITEM	DATE
1.
2.
3.
4.
5.
6.
7.

SHEET TITLE

TRUCK TURNING EXHIBIT

DRAWN: OSD
CHECKED: RGS
PM: RCS

PROJECT NUMBER
SHEET NUMBER

16110
TR 1

Yorkville, IL

04 Flat Roof

- 5" CASEY'S Channels

- 5' House Logo

- 4 Product Special Monument

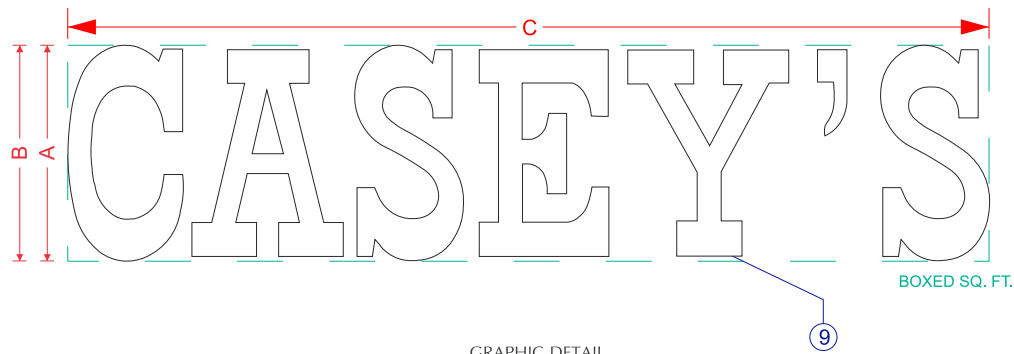
CASEY'S GENERAL STORE SIGN PACKET

Building & Wall Signs (O4 Flat Roof)									
Sign #	Sign	Type	Location	Illumination	Dimensions				
					Bottom	Top	Width	Height	Area Ft ²
1	"CASEY'S"	Surface	Building Front	Internal	12' 8"	17' 8"	21' 3-15/16"	5' 0"	44.15
2	House Logo	Surface	Building Front	Internal	12' 8"	17' 8"	7' 2-1/8"	5' 0"	17.485
3	Snap Frame	Advertising	Building Front	N/A	3' 4"	6' 8-1/2"	8' 0"	3' 0"	24
4	Snap Frame	Advertising	Building Front	N/A	2' 10"	6' 10-1/2"	2' 4"	3' 8"	8.56
5	House Logo	Surface	Canopy Side	Internal	17' 3-1/2"	21' 3-1/2"	5' 8-7/8"	4' 0"	17.485
5	House Logo	Surface	Canopy Side	Internal	17' 3-1/2"	21' 3-1/2"	5' 8-7/8"	4' 0"	17.485
5	House Logo	Surface	Canopy Front	Internal	17' 3-1/2"	21' 3-1/2"	5' 8-7/8"	4' 0"	17.485
4	Snap Frame	Advertising	Canopy Column	N/A	3' 0"	7' 0-1/2"	2' 4"	3' 8"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 0"	7' 0-1/2"	2' 4"	3' 8"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 0"	7' 0-1/2"	2' 4"	3' 8"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 0"	7' 0-1/2"	2' 4"	3' 8"	8.56
								Total	180.89

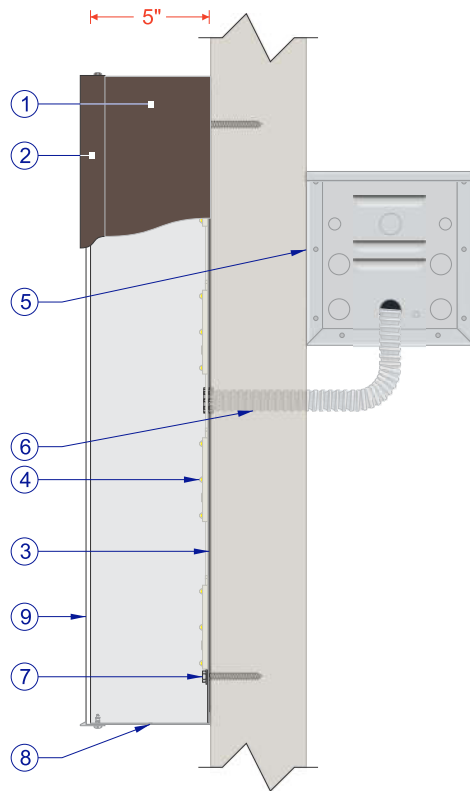
Monument Sign (Yorkville, IL - 4 Product)									
Sign #	Sign	Type	Location	Illumination	Dimensions				
					Bottom	Top	Width	Height	Area Ft ²
6	Price Sign	Freestanding	Street	Internal	2' 4"	6' 11"	10' 2"	4' 7"	46.6
								Total	46.6

SIGNS 1, 2, 3, 4





GRAPHIC DETAIL
NOT TO SCALE



LETTER PROFILE
NOT TO SCALE

CASEY'S REMOTE CHANNEL LETTER SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	.040" x 5" PREFINISHED BRONZE ALUMINUM RETURNS
2	1" BRONZE TRIM CAP
3	.063" ALUMINUM BACK
4	WHITE LED'S AS REQUIRED
5	REMOTE POWER SUPPLIES AS REQUIRED
6	ELECTRICAL OUT PROVISION: THROUGH BACK, CENTER
7	MOUNTING HARDWARE AS DETERMINED BY SITE CONDITIONS
8	DRAIN HOLES AS REQUIRED
9	1/8" 7328 WHITE ACRYLIC FACE

NOTES:

- CHANNEL LETTER INTERIORS TO BE PAINTED REFLECTIVE WHITE
- CHANNEL LETTERS TO USE 120 VOLT STANDARD POWER
- U.L. LISTED

CASEY'S REMOTE CHANNEL LETTERS						
LETTER HEIGHT "C"	OVERALL HEIGHT	OVERALL LENGTH	AMP LOAD	LUMEN OUTPUT	BOXED SQUARE FOOTAGE	ACTUAL SQUARE FOOTAGE
A	B	C				

60"	5'-0"	21'-3 15/16"	TBD	TBD	106.65	44.15
-----	-------	--------------	-----	-----	--------	-------

Customer:
CASEY'S GENERAL STORES

Date:
12/16/16

Prepared By:
RM

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

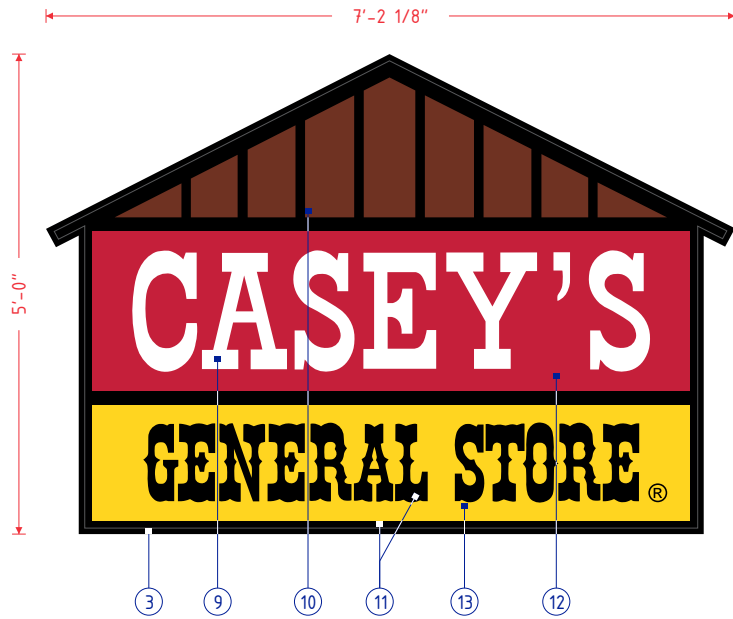
Item Number: TBD

File Name:
CASEY'S REMOTE CHANNEL LETTERS

Revision:
3

persona
SIGNS | LIGHTING | IMAGE

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PO Box 210
Watertown, SD 57201-0210
1.800.843.9888 • www.personasigns.com



GRAPHIC DETAIL
SCALE: 1/2" = 1'-0"

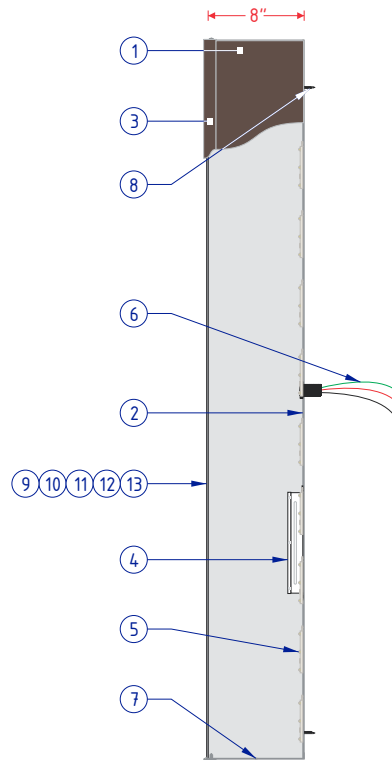
SIGN 2

CASEY'S 5 X 7 CHANNEL LETTER LOGO SPECIFICATIONS

NO.	PART/DESCRIPTION
1	.040" x 8" PREFINISHED BRONZE ALUMINUM RETURNS
2	.063" ALUMINUM BACK
3	3/4" ROUTED RETAINER; FACE PAINTED BLACK, RETURN PAINTED BRONZE
4	LED POWER SUPPLIES AS REQUIRED
5	WHITE LED'S AS REQUIRED (LUMEN OUTPUT = 335 NITS)
6	ELECTRICAL OUT PROVISION: THRU BACK, CENTER
7	DRAIN HOLES AS REQUIRED
8	MOUNTING HARDWARE AS DETERMINED BY SITE CONDITIONS
9	1/8" 7328 WHITE ACRYLIC FACE
10	3M 3630-59 BROWN TRANSLUCENT FILM (1ST SURFACE)
11	3M 3630-22 BLACK TRANSLUCENT FILM (1ST SURFACE)
12	3M 3630-33 RED TRANSLUCENT FILM (1ST SURFACE)
13	3M 3630-015 YELLOW TRANSLUCENT FILM (1ST SURFACE)

NOTES:

- EXTERIOR FINISH: PAINTED TO MATCH PMS 313 BRONZE
- INTERIOR FINISH: PAINTED REFLECTIVE WHITE
- FACE REMOVABLE FOR SERVICE ACCESS
- U.L. LISTED
- ELECTRICAL: 120 VOLTS / AMPS TBD
- SQUARE FOOTAGE:
BOXED = 35.89
ACTUAL = 27.32



LOGO PROFILE
SCALE: 3/4" = 1'-0"

Customer:

CASEY'S

Date:

1/4/17

Prepared By:

CM

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

Location:

ANKENY, IA

File Name:

152451 - 36" AND 60" LOGO C-PRINTS

Eng:

-

persona
SIGNS | LIGHTING | IMAGE

DISTRIBUTED BY SIGN UP COMPANY

700 21st Street Southwest

PO Box 210

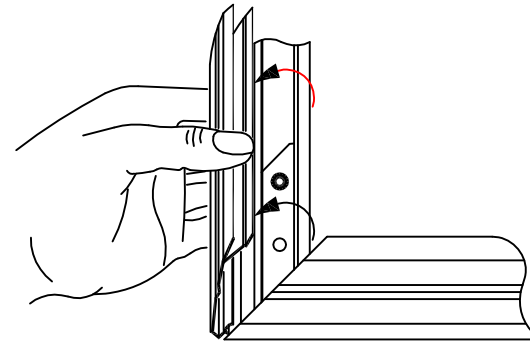
Watertown, SD 57201-0210

1.800.843.9888 • www.personasigns.com

INSTALLATION INSTRUCTIONS

PLEASE READ COMPLETELY BEFORE ASSEMBLY

SNAPFRAME WALL SIGN



- FIGURE 1 -
OPENING FRAME MEMBERS

IMPORTANT NOTE

- * This sign is designed for repeated changing of inserts and must be securely fastened to the wall in order to open and close the spring loaded frame members.
- * USE CAUTION WHEN CLOSING SNAP FRAME MEMBERS! Hold frame by outer edge and keep finger tips away from poster grip edge.

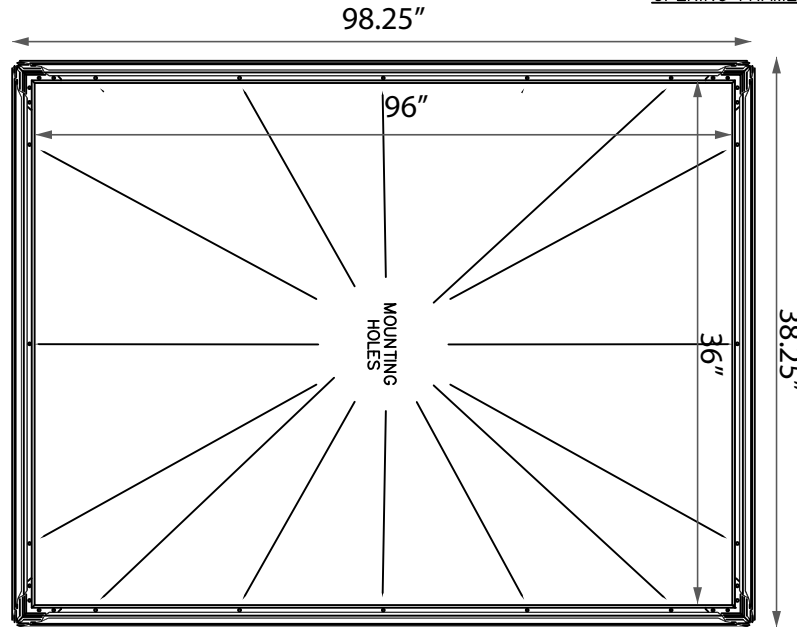
TOOLS NEEDED

- * Bubble type level (or string line) for sign positioning.
- * Pencil for hole location marking.
- * Drill with 5/16" masonry bit for masonry application only.
- * 7/32" Metal drill bit for hole in frame
- * Phillips screwdriver.

PARTS LIST

- [A] Snap frame with metal backer

BACKER SHEET WITH FRAME
IN OPEN POSITION



26.1 SQ FT TOTAL

STEP-BY-STEP INSTALLATION PROCEDURE

- ① Open all four sides of the snap frame by pulling the inside edge of the frame up and out (see figure 1).
- ② Mark hole locations on the inside of the Extrusion at the locations shown to the left. Holes should be drilled in the location indicated in Figure 2. Use a 7/32" drill bit to drill the holes for a #10 screw.
- ③ Hold sign against the wall in desired position and mark hole locations on the wall through holes in the frame. **SIGN MUST BE SECURED TO THE WALL WITH ALL (16) HOLES.**
- ④ Set sign aside and drill or punch starting holes into wall. On masonry walls, drill 5/16" holes into mortar (where possible) approx. 2" deep and insert lead expansion anchor until end is flush with the wall.
- ⑤ Hold sign against wall, align all holes and secure with screws. If you are going into wood or metal, you can still use a No.10 screw. But make sure to use the appropriate one for the material you fasten to.

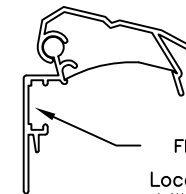
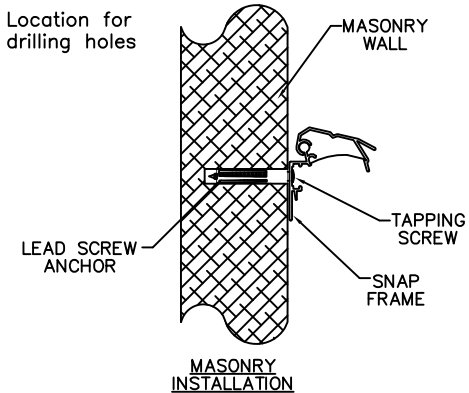


FIGURE 2 -
Location for drilling holes



STOUT.
| sign company |

A DIVISION OF STOUT INDUSTRIES
FOR ASSISTANCE CALL: 1-800-325-8530

inside dimensions = (96"x36")
outside dimensions = (98.25"x38.25")

INSTALLATION INSTRUCTIONS

PLEASE READ COMPLETELY BEFORE ASSEMBLY

SNAPFRAME WALL SIGN

IMPORTANT NOTE

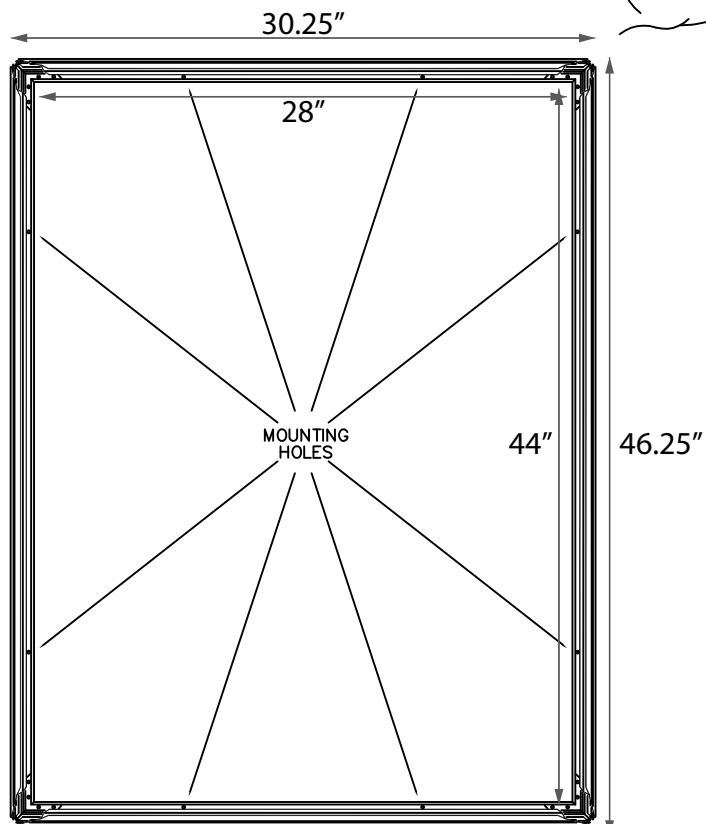
- * This sign is designed for repeated changing of inserts and must be securely fastened to the wall in order to open and close the spring loaded frame members.
- * USE CAUTION WHEN CLOSING SNAP FRAME MEMBERS! Hold frame by outer edge and keep finger tips away from poster grip edge.

TOOLS NEEDED

- * Bubble type level (or string line) for sign positioning.
- * Pencil for hole location marking.
- * Drill with 5/16" masonry bit for masonry application only.
- * Phillips screwdriver.

PARTS LIST

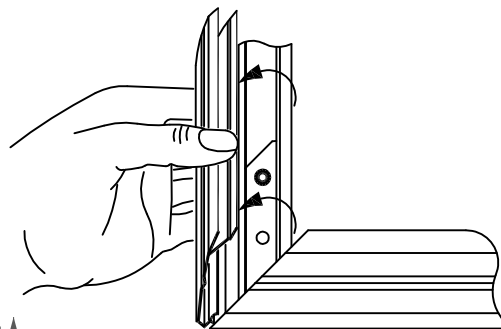
- [A] Sign face with snap frame
- [B] #10 x 1-3/4" tapping screws (8)
- [C] #10-12 x 1" lead anchors (8)



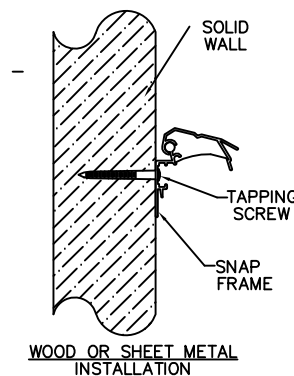
- FIGURE 2 -
SIGN WITH FRAME
IN OPEN POSITION

9.72 SQ FT TOTAL

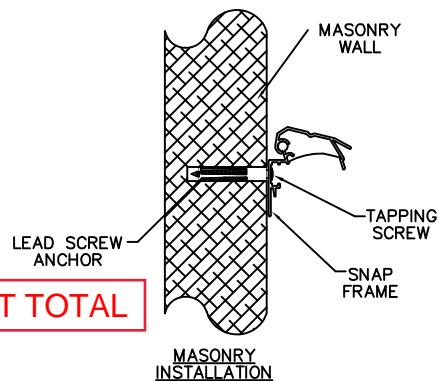
inside dimensions = (28"x44")
outside dimensions = (30.25"x46.25")



- FIGURE 1 -
OPENING FRAME MEMBERS



WOOD OR SHEET METAL
INSTALLATION



MASONRY
INSTALLATION

STEP-BY-STEP INSTALLATION PROCEEDURE

- ① Open all four sides of the snap frame by pulling the inside edge of the frame up and out (see figure 1).
- ② Hold sign against the wall in desired position and mark hole locations on the wall through holes in the frame.
- ③ Set sign aside and drill or punch starting holes into wall: On wood or sheet metal walls, use 1-3/4" tapping screws only.

On masonry walls, drill 5/16" holes into mortar (where possible) approx. 2" deep and insert lead expansion anchor until end is flush with the wall.
- ④ Hold sign against wall, align all holes and secure with screws.

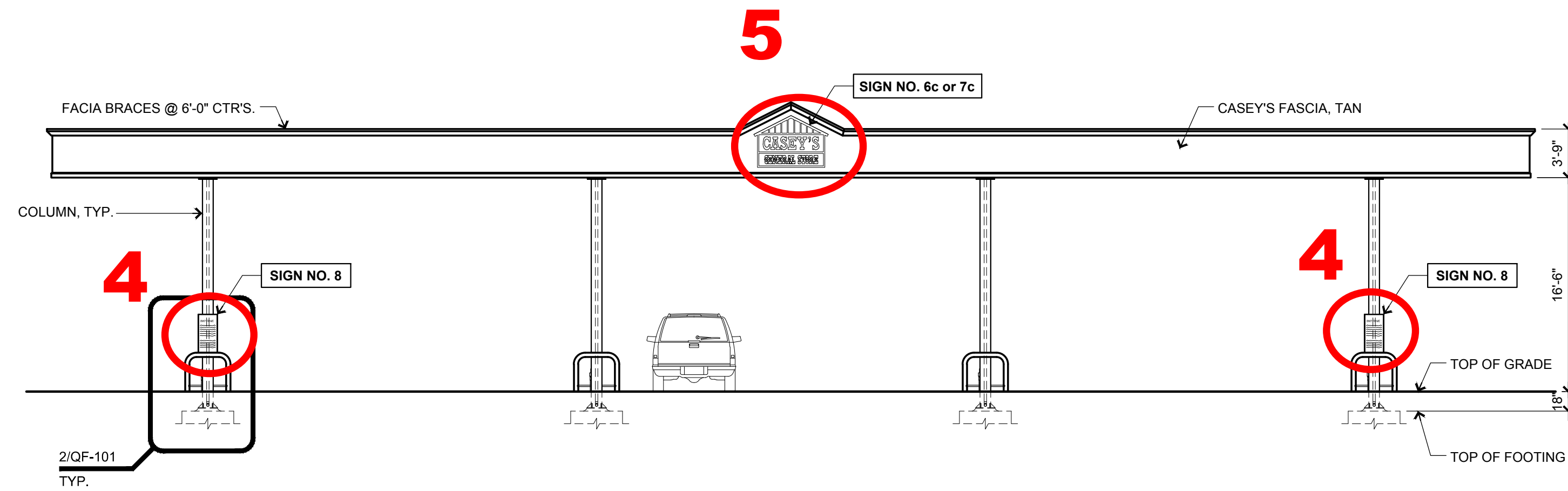
STOUT.
| sign company |

A • DIVISION • OF • STOUT • INDUSTRIES
FOR ASSISTANCE CALL: 1-800-325-8530

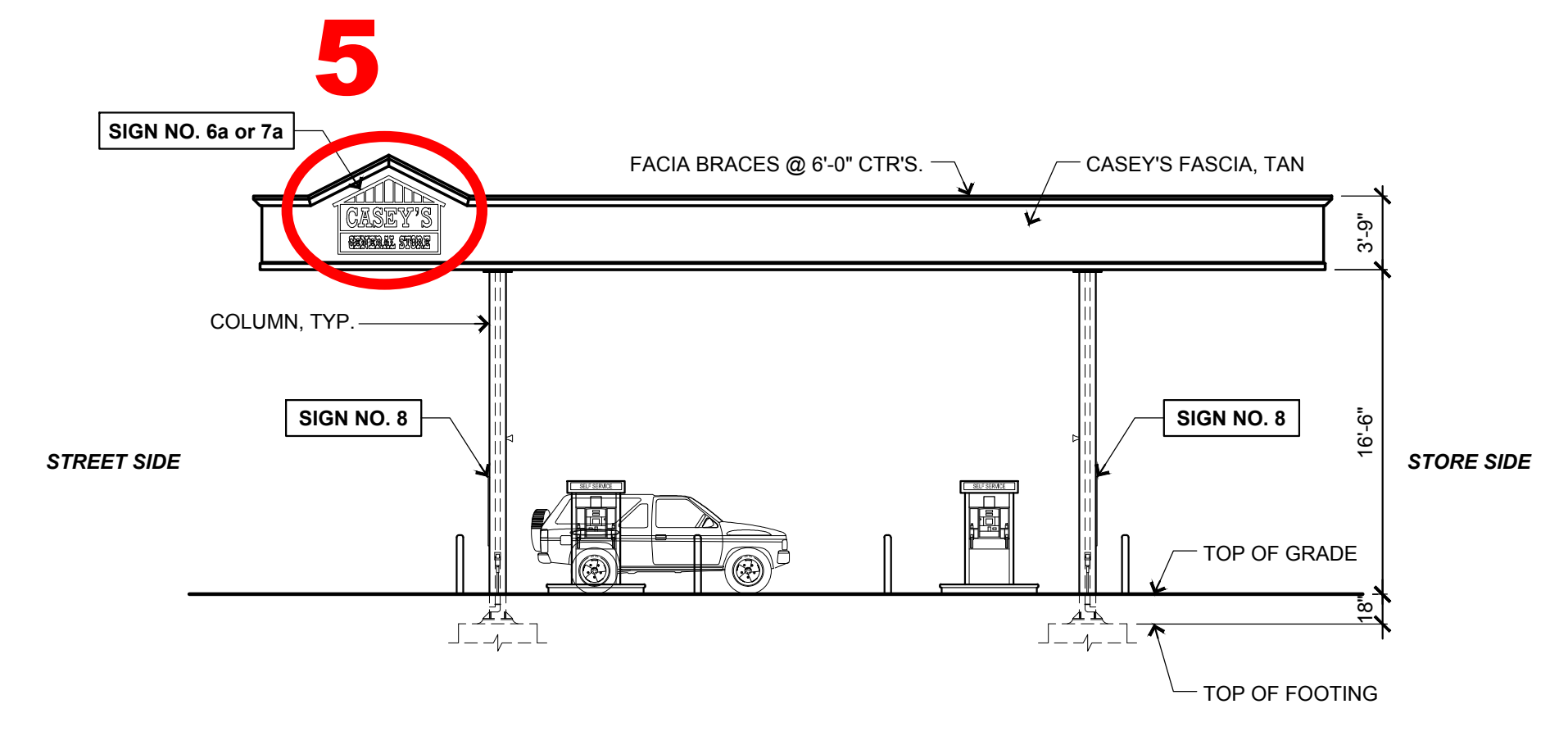
STDI-029
2/28/05

****VERIFY ALL SIGNAGE WITH SIGN PERMITS****

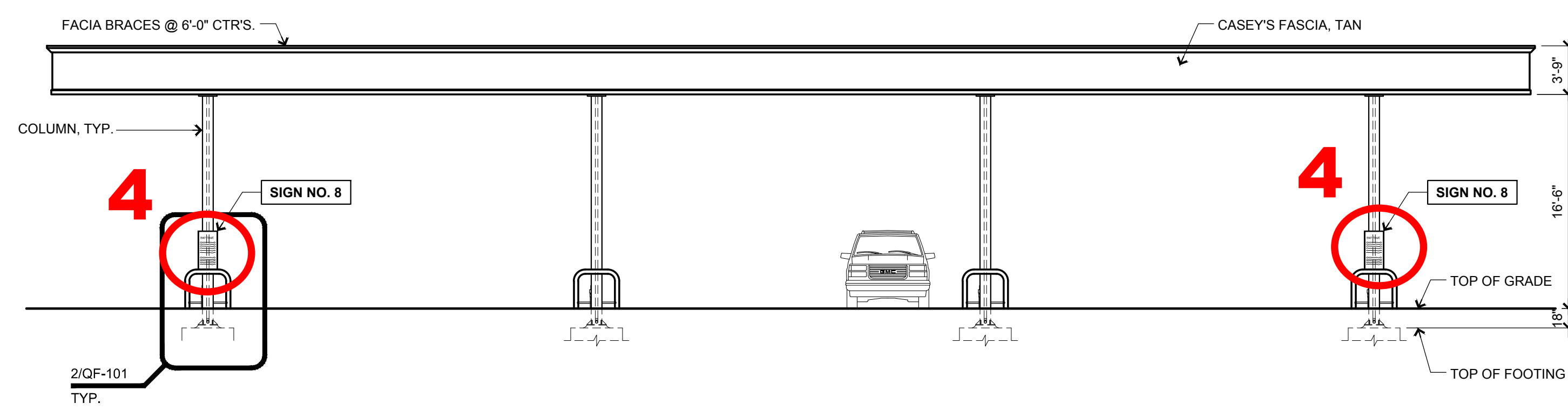
SIGNS 4, 5



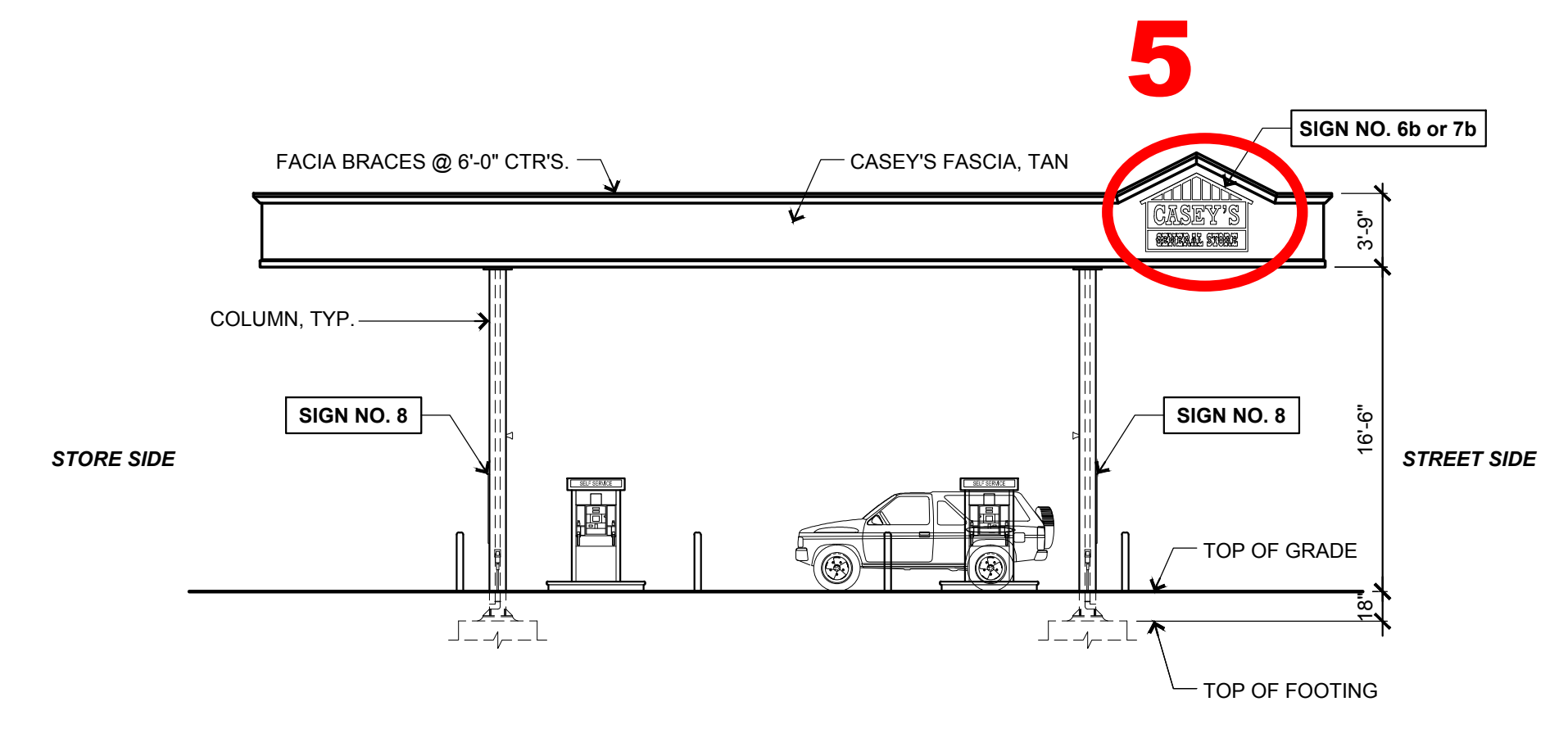
4 Pump Island Canopy - (Street Side)
1/8" = 1'-0"



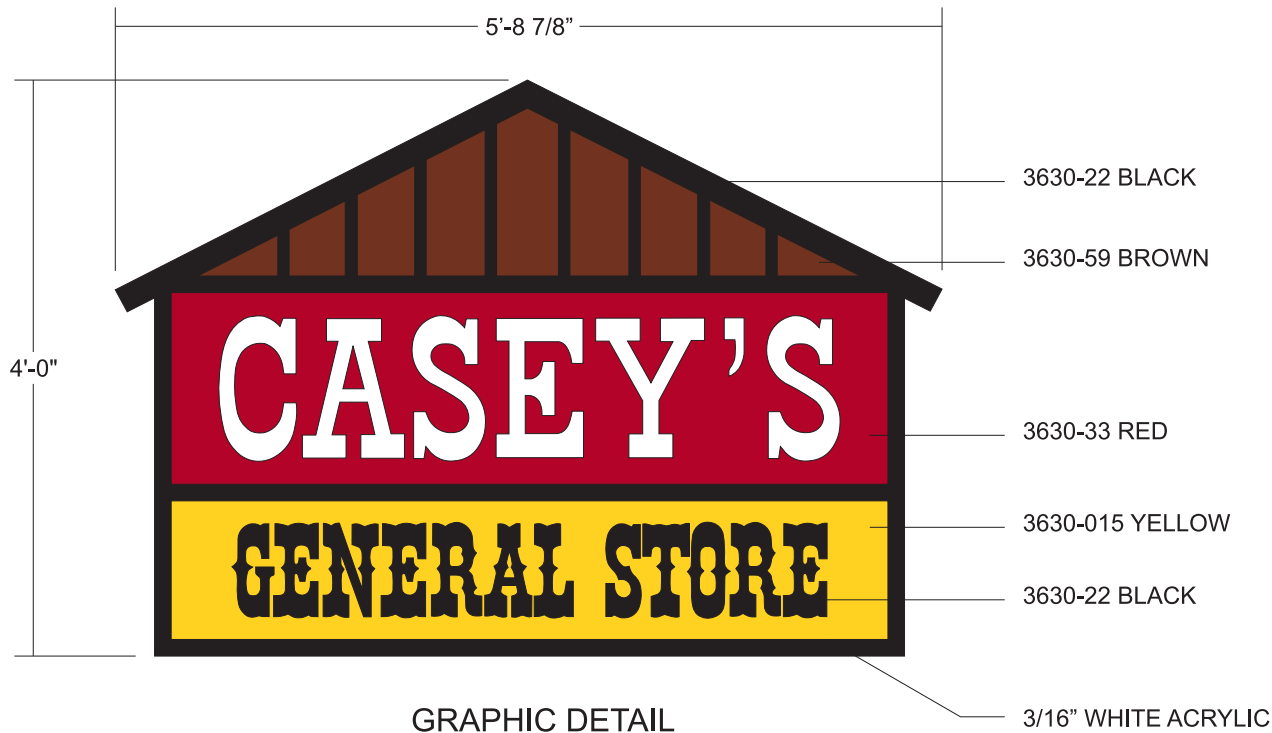
3 Pump Island Canopy - Right Side Elevation
1/8" = 1'-0"



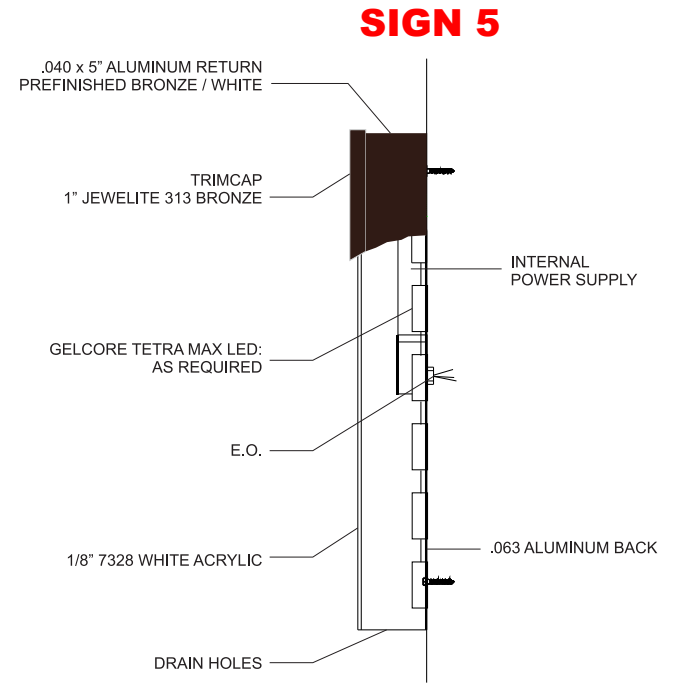
2 Pump Island Canopy - (Store Side)
1/8" = 1'-0"



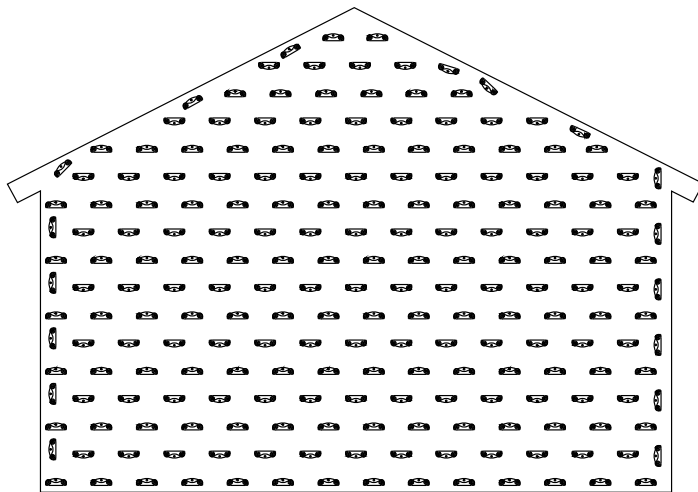
1 Pump Island Canopy - Left Side Elevation
1/8" = 1'-0"



GRAPHIC DETAIL
SCALE: 3/4" = 1'



CROSS SECTION
SCALE: NTS



LED DETAIL
SCALE: NTS

ACTUAL SURFACE AREA = 17.485 SQ FT

Customer:	CASEY'S	Date:	7/13/11	Prepared By:	TrT	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small>		DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1 (800) 843-9888 • www.persona-inc.com
Location:	VARIOUS	File Name:	1000 - 4X3 SF	Eng:	-			

SIGN 6

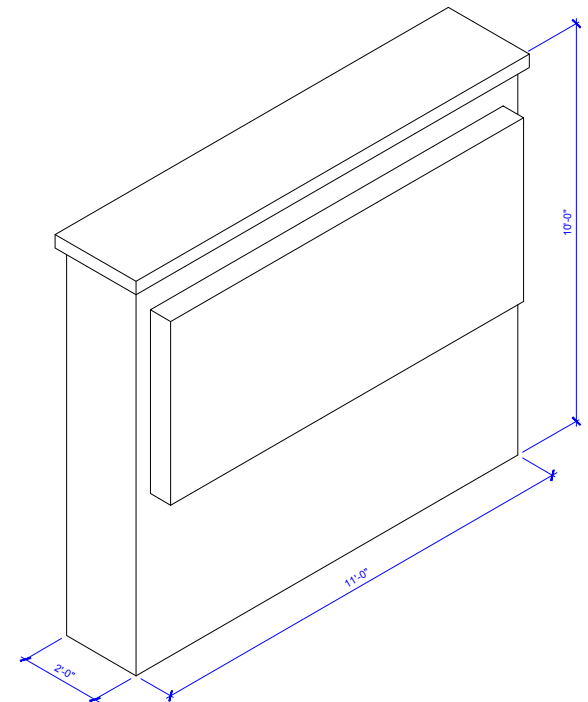
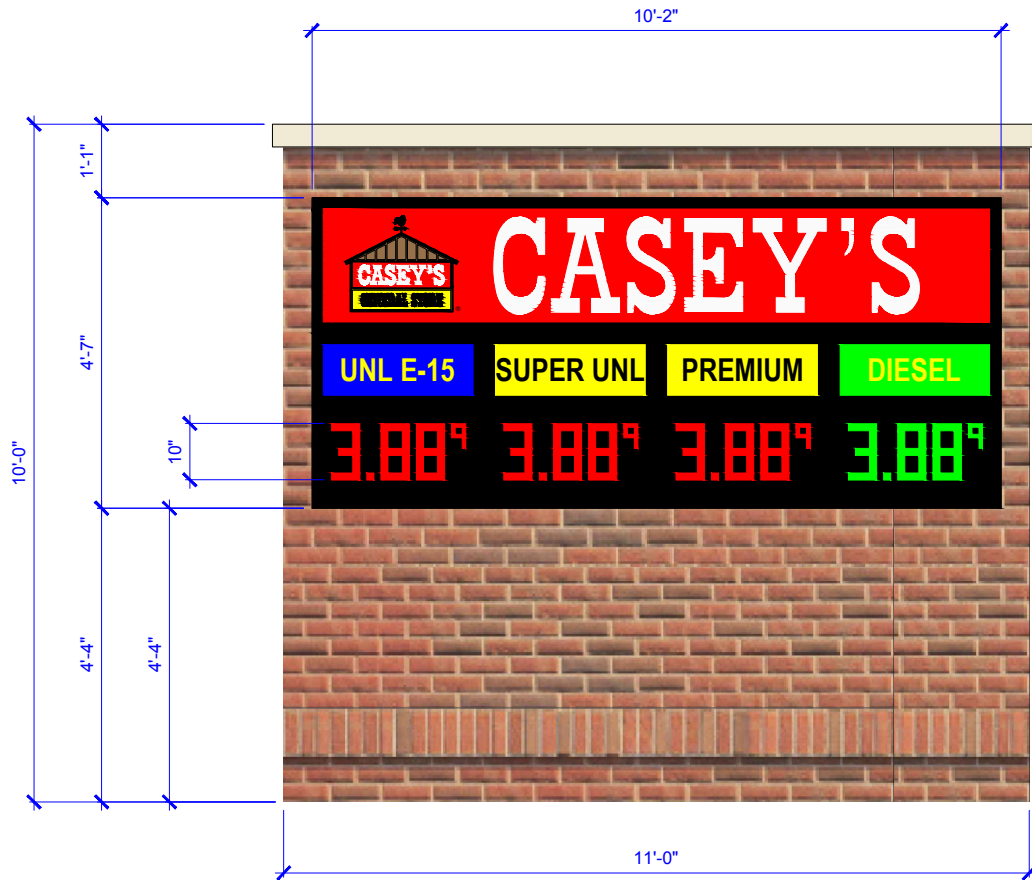
SIGN	TYPE	HEIGHT	WIDTH	TOP	BOTTOM	BOX FT ²	TRUE FT ²
PRICE SIGN	SURFACE	4'-7"	10'-2"	8'-11"	4'-4"	46.6 FT ²	46.6 FT ²
TOTAL AREA							46.6 FT²

PRICER NOTES:

- 10" RED & GREEN LED
- STATIC LABELS: UNL E-15, SUPER UNL, PREM UNL, DIESEL
- DIESEL ON THE RIGHT, BOTH SIDES

OTHER NOTES

- CABINET IS BLACK IN COLOR
- 300' WIRELESS KEYPAD RANGE

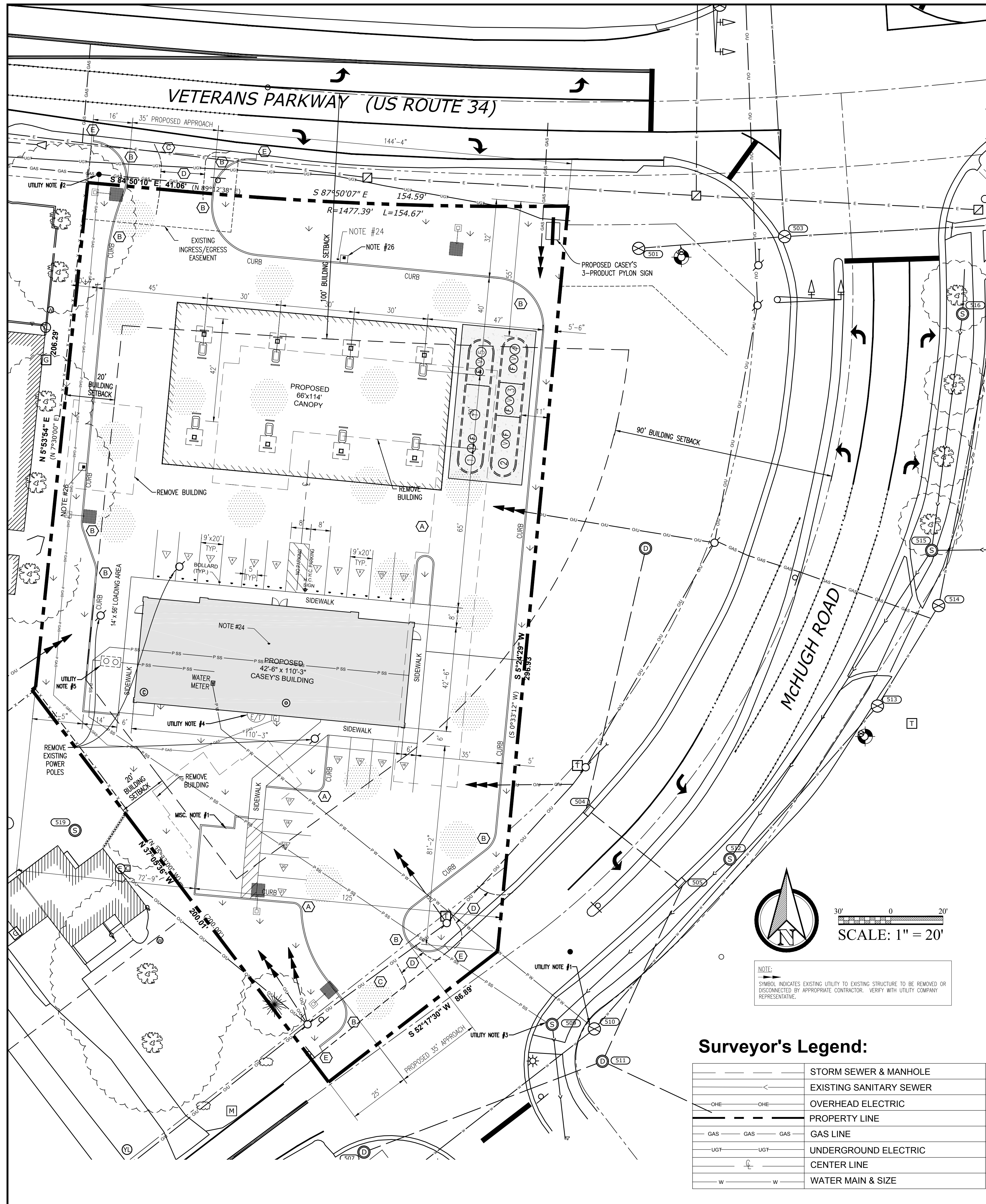


YORKVILLE, IL

VETERANS PKWY / MCHUCH RD

DRAWN BY:
J. CLARK

DATE:
05-23-17



LEGAL DESCRIPTION:

PART OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN. KENDALL COUNTY, ILLINOIS.

Contact Information

City Hall of Yorkville, IL 630-553-4350
 Nicor Gas 888-642-6748
 Yorkville-Bristol Sanitary District 630-553-7567
 ComEd (Electric) 800-426-6331
 AT&T 800-660-3000
 J.U.L.I.E. 800-892-0123

Referenced Sheets

CIVIL PLANS BY ARC DESIGN
 * to be created
 LIGHTING PLANS BY RED LEONARD ASSOCIATES.
 * RL-4501-S1

Keyed Construction Notes

NOTE: ALL WORK IN/ON THE R.O.W. AREA IS SUBJECT TO THE CITY OF YORKVILLE & STATE OF ILLINOIS D.O.T. APPROVAL AND SPECIFICATIONS.

- (A) PROPOSED 10' RADIUS.
- (B) PROPOSED 15' RADIUS.
- (C) 2% CROSS-SLOPE IN SIDEWALK AREA.
- (D) REMOVE EXISTING APPROACH.
- (E) 2" TAPER STUB TO CURB.

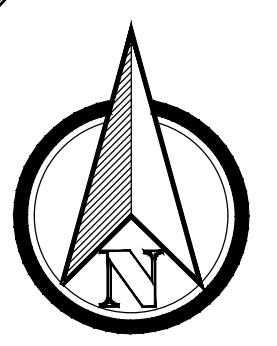
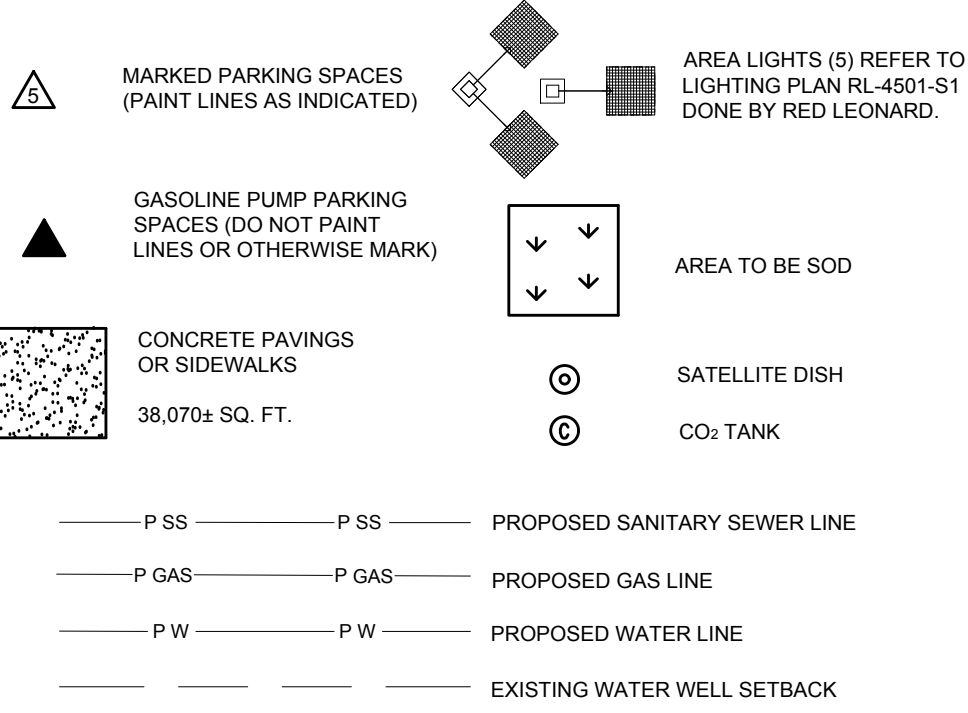
Miscellaneous Notes

- #1 DUMPSTER 28'-0" (AL-401)
 - CHAIN LINK WITH VINYL SLATES.
 - (4) 6' GATES WITH 3' SERVICE GATE.

Utility Notes

- #1 PROPOSED 1.5" WATER CONNECTION
 - INTO EXISTING WATER MAIN.
 - 1.5" CTS, SDR 9, PE
 - VERIFY EXISTING WATER MAIN $\geq 1.5"$
- #2 PROPOSED 1.5" NATURAL GAS CONNECTION
 - VERIFY EXISTING NATURAL GAS MAIN
 - 1.5" SCH. 40 BLACK IRON PIPE
 - 680 MBH, 7" W.C. HOUSE PRESSURE
- #3 PROPOSED 6" SANITARY SEWER CONNECTION
 - INTO EXISTING SANITARY SEWER MAIN.
 - 6" SCH 40 PVC
- #4 PROPOSED SERVICE ENTRANCE
 - ELECTRICAL 3 PHASE, 800 AMP
 - 120/208 VOLTS - 4 WIRE
 - TELEPHONE: 8 PAIR - 4 LINES
- #5 PROPOSED 1,000-GAL. GREASE INTERCEPTOR.
 - 2 MANHOLES.
 - BELOW GRADE

Legend



SCALE: 1" = 20'

NOTE:
 SYMBOL INDICATES EXISTING UTILITY TO EXISTING STRUCTURE TO BE REMOVED OR DISCONNECTED BY APPROPRIATE CONTRACTOR. VERIFY WITH UTILITY COMPANY REPRESENTATIVE.

Surveyor's Legend:

	STORM SEWER & MANHOLE		CATCH BASIN
	EXISTING SANITARY SEWER		SIGN
	OVERHEAD ELECTRIC		UTILITY POLE
	PROPERTY LINE		LIGHT POLE
	GAS LINE		FIRE HYDRANT
	UNDERGROUND ELECTRIC		GATE VALVE
	CENTER LINE		SANITARY SEWER MANHOLE
	WATER MAIN & SIZE		

SWPPP Notes

NOTICE: EROSION CONTROL MEASURES SUCH AS SILT FENCE, HAY BAILS, ETC., SHALL BE CONSTRUCTED INSTALLED PRIOR TO OR IMMEDIATELY FOLLOWING THE REMOVAL OF VEGETATION ON SITE. EROSION CONTROL AS SHOWN, SUBJECT TO CHANGE, BUT SHALL BE DOCUMENTED ON PLAN THAT MUST BE ON SITE DURING CONSTRUCTION OF THE PROJECT UNTIL PROJECT IS COMPLETED. ILLINOIS STATE OPERATING GENERAL PERMIT NUMBER xxxxxxxx.

VICINITY MAP



General Construction Notes

- 1.) 2 - 30,000 GALLON DOUBLE WALL FIBERGLASS CONTAINMENT SOLUTION TANKS.
 TANK 1-22,000 GALLON (87E) 10'-6"x40'-2.5" (SPLIT 22,000 / 8,000)
 TANK 2-14,000 GALLON (DIESEL) 10'-6"x23'-6" (SPLIT 14,000 / 8,000 / 8,000)
 TANK 3-8,000 GALLON (91E) 10'-6"x18'-8.75"
 TANK 4-8,000 GALLON (93C) 10'-6"x18'-8.75"
 TANK 5-8,000 GALLON (E85) 10'-6"x18'-8.75"
 PREMIUM/SUPER UNLEADED GASOLINE PRODUCTS
- 2.) TANK SETTING DETAILS PAGE QF-301
- 3.) FILL PIPE AND MANHOLE DETAIL PAGE QF-301
- 4.) CIRCUIT BREAKER PANEL PAGE E-501
- 5.) REFRIGERATION WIRING PAGE QR-601, QR-602, QR-603
- 6.) GILBARCO WIRING PAGE QF-601
- 7.) ISLAND SIZE - 3'x5' W/DUAL GUARD PIPE
- 8.) GILBARCO 700 S DISPENSERS (BLENDED)
 4 - NG1, 4 NOZZLES & 8 METERS EACH
 4 - NJ4, 4 NOZZLES & 6 METERS EACH
- 9.) ISLAND DETAILS PAGE AL-501
- 10.) ISLAND CONDUIT DETAIL PAGE E-602
- 11.) DO NOT PLACE PRODUCT PIPING UNDER ISLAND
- 12.) 18" MIN. FROM TANK PIPING TO FINISH SURFACE
- 13.) SIGN BASE DETAILS PAGE AL-601
- 14.) SIGN DETAILS PAGE AL-601
- 15.) DRIVEWAY JOINTS TO BE PACKED & CAULKED
- 16.) CONCRETE DRIVE TROWELED WITH LIGHT BROOM FINISH
- 17.) CONTROL JOINTS - MIN. 100 sq.ft. - MAX. 125 sq.ft. - 25% DEEP
- 18.) CONSTRUCTION JOINTS - PINNED 4" O.C. 12" EACH WAY WITH 1/2" REBAR #4
- 19.) APPROACHES TO BE 7" NON-REINFORCED OR AS PER STATE/CITY SPEC.
- 20.) BUILDING SIDEWALK 1:20 H.C. PARKING 1:50 ALL DIRECTIONS
 ALL ACCESS ISLE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4' SEPARATION
 RUN VENT LINES UP SEPARATE CANOPY COLUMN, VERIFY
- 21.) VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS.
- 22.) CANOPY FOOTING: SIZE 6'-3" LENGTH X 6'-3" WIDTH X 3'-0" DEPTH.
 CONCRETE: MINIMUM COMPRESSIVE STRENGTH OF FC-3000 p.s.i.
 CONCRETE REINFORCING: ASTM A-615 GRADE 60.
 REBAR CAGE: (8) #5 HORIZONTAL TIES LENGTH WISE TOP AND BOTTOM
 12" MAXIMUM SPACING.
- 24.) ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED ON A POST AT THE CURB; A SECONDARY SHUT-OFF LOCATED INSIDE AT THE SALES COUNTER FOR THE CONVENIENCE OF STAFF.
- 25.) IRRIGATION SYSTEM INSTALLATION IS REQUIRED FOR ALL SOD/SEED WITHIN PROPERTY, AND TO BE INSTALLED WITH RAIN SENSOR MOUNTED ON RAILING ON THE BACK OF THE BUILDING.
- 26.) AIR COMPRESSOR BOX, MOUNTED TO POLE, INSTALLED ON 3'x3' CONCRETE PAD, 30" FROM FRONT OF CURB. 110 VOLT-60HZ-5.5 AMP. 8 GAUGE MINIMUM RECOMMENDED.

U.G.S.T. Notes

- (F) FILL CATCH BASIN W/ OVERSPILL PROTECTION (TYP.)
- (1,2,3,4,5) TURBINE ENCLOSURE TYP. CONTAINS: SUB-PUMP W/LINE DETECTION, TANK PROBE FOR FUEL MONITORING, INCLUDING THE INTERSTITIAL SENSOR AND TANK SUMP SENSOR
- (V) VENT EXTRACTOR W/BALL FLOAT FOR OVERFILL PROTECTION
- (S) SUMP SENSOR @ EACH DISPENSER.

CASEY'S General Store

CASEY'S CONSTRUCTION DIVISION
 One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

PROJECT:	YORKVILLE, IL	FILED:	10/13/16
	O4 Store	REVISION:	10/14/16
	VETERANS PARKWAY & McHUGH ROAD		10/24/16
			12/09/16
DRAWING INFORMATION:			03/23/17
CONSTRUCTION DIVISION			03/30/17
DRAWN BY:	R. STEVENS	CHECKED BY:	
			03/31/17

AL-101



June 19, 2017

Ms. Krysti Barksdale-Noble
Community Development Director
United City of Yorkville
800 Game Farm Road
Yorkville, IL 60560

**Re: *Casey's Yorkville, IL
Preliminary/Final Engineering Plan Review – 1st Submittal
United City of Yorkville, Kendall County, Illinois***

Krysti:

We are in receipt of the following items for the above referenced project:

- Engineering Plans (17 sheets) dated May 26, 2017 and prepared by Arc Design Resources, Inc.
- Final Plat dated May 26, 2017 and prepared by Arc Design Resources, Inc.
- Supporting Documentation

Our review of these plans is to generally determine their compliance with local ordinances and whether the improvements will conform to existing local systems and equipment. This review and our comments do not relieve the designer from his duties to conform to all required codes, regulations, and acceptable standards of engineering practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review, we cannot and do not assume responsibility for design errors or omissions in the plans. As such, we offer the following comments:

General

1. The plans should be submitted to the Yorkville Bristol Sanitary District (YBSD) for review and approval. The City and EEI should be copied on correspondence with the District.
2. The site is greater than one acre so an NPDES permit is required and the Notice of Intent should be submitted to the IEPA. The City should be copied on correspondence from the IEPA when the permit is granted.
3. IEPA permit application for the 12" water main construction shall be submitted to the IEPA. The application should be submitted to the City for review and signature.
4. A permit will be required from IDOT to perform the roadway and utility work within US Route 34 right-of-way. EEI should be copied on all correspondence with IDOT.
5. Landscape Plan review comments from the City's landscaping review consultant will be forthcoming under separate cover.

6. A storm water permit application along with detention and storm sewer calculations, in accordance with the Yorkville Storm Water Management Ordinance (Kendall Countywide Ordinance), must be submitted for the project.
7. An engineer's estimate for the public and soil erosion control improvements should be provided. This will be used to determine the construction guarantee amount. In addition, a cost estimate needs to be provided for all site improvements which will be used to calculate the building permit fees.
8. Appropriate documentation from the health department will be required for the abandonment of the well.
9. We have reviewed the photometric plans and have the following comments:
 - The average foot candles should be 2-2.5.
 - The ratio of maximum veiling luminance to average pavement luminance should not be more than 0.3:1
 - The Community Development Department should confirm the acceptability of the lighting fixtures

Sheet C00 - Cover

10. A certification, signed and sealed by an Illinois Licensed Professional Engineer, should be placed on the plans.

Sheet C01 to C02- General Notes

11. The City's standard Water Main Construction notes and specifications should be added to the plans. These will be e-mailed to the design engineer.
12. The YBSD's standard Sanitary Sewer Construction notes and specifications should be added to the plans. These will be e-mailed to the design engineer.
13. The City requires televising of the storm sewer as part of the project close out. A note should be added to the plans.
14. FA-6 should not be used as trench backfill. The Storm Sewer Note 8 should be revised to read CA-6. Trench backfill should be CA-6 for all utilities.

Sheet C05 – Layout Plan

15. The number of parking spaces required should be confirmed with the Community Development Department.
16. The Community Development Department should confirm acceptability of the dumpster enclosure.
17. A detail of the 6' privacy fence should be shown on the plans.
18. Appropriate pavement markings and signage should be shown on the plans.

Sheet C06 – Grading Plan

19. Specifications, detailed drawings and storm water calculations should be provided for the underground detention system.
20. The proposed contours lines require elevation labels and should be shown on the plans at 1' intervals. In addition, grading spot elevations need to be provided for construction of curb and gutter and sidewalk ramps.

21. The building top of foundation should be indicated on the plans.
22. Storm water drainage arrows should be shown on the plans indicating major overflow routes.
23. The 12" reinforced concrete pipe should have a minimum slope of 0.40%.
24. The 6" PVC pipe should have a minimum slope of 1.00%.

Sheet C07 – Utility Plan

25. All utility easements should be shown on the plans.
26. The proposed pavement patch for the sanitary sewer crossing must be twice the thickness of the existing pavement.
27. The existing sanitary manhole will have to be core-drilled and a rubber boot installed for the connection.
28. The design engineer should comment on the proposed traffic control plan for the sanitary sewer crossing.
29. The size of the sanitary service should be shown on the plans. Note that the minimum size is 6".
30. Sewer service is proposed to the lot west of the property. It should be clarified as to what this will be serving.
31. The size and material should be specified for the proposed water service lines. In addition the b-box or valve locations indicated on the plans. Calculations confirming the sizes of the services also needs to be provided.
32. The fire protection requirements should be confirmed for the proposed building and the appropriate sized service brought to the building for domestic and fire service. The Developer shall confirm with the Fire Protection District for the location and approval of the FDC connection.
33. The Fire District should confirm if the existing hydrant coverage is adequate for the proposed building or if an additional hydrant needs to be provided.
34. A new valve and hydrant needs to be provided at the end of the proposed 12" water main extension.
35. All conflicts between storm, sanitary and water should be called out on the plans.
36. Utility Note 2 and 8 specify City of Belvidere, this should be changed accordingly.
37. Utility Legend 6 specifies a drainage plan, there is no drainage plan attached. This should be changed accordingly.

Sheet C08– Details

38. The water service detail should be removed from the plans. The City of Yorkville Water Service detail and Trench detail are on the plans already.
39. The pipe embedment detail should have pipe OD + 18" Max instead of 24" Max.

Final Plat


40. The plan should indicate where the two concrete monuments are to be set.
41. Document numbers are needed on the plat for the right of way dedications.
42. "Hereby dedicated" is needed on that part of McHugh Road being dedicated to the City. Dimensions and limits of the dedication also need to be provided. The right of way should be gradually transitioned along the curve.
43. The 20' sanitary easement needs to be changed to 20' CUE.

44. A minimum of 10' perimeter easements are to be provided.
45. If the 20' utility easement along the north line is a proposed easement, then it needs to be changed to a PU&DE. If it is existing, then a documents number needs to be added to the plat.
46. City certificates and easement provisions need to be utilized. These will be e-mailed to the design engineer.
47. The 30'x60' easement at the northwest corner of plat needs to be labeled.

The Engineer should make the necessary revisions and re-submit plans and supporting documents along with a disposition letter for further review. If you have any questions or require additional information, please contact our office.

Sincerely,

ENGINEERING ENTERPRISES, INC.



Bradley P. Sanderson, P.E.
Vice President

TNP/nls

pc: Mr. Bart Olson, City Administrator (via email)
Ms. Erin Willrett, Assistant City Administrator (via email)
Mr. Jason Engberg, Senior Planner (via email)
Mr. Eric Dhuse, Director of Public Works (via email)
Mr. Pete Ratos, Building Department (via email)
Ms. Dee Weinert, Admin Assistant (via email)
Ms. Lisa Pickering, Deputy Clerk (via email)
Mr. Ryan C. Swanson, Arc Design (via email)
TNP, JAM, EEI (via email)

**PUBLIC NOTICE
NOTICE OF PUBLIC HEARING
BEFORE
UNITED CITY OF YORKVILLE
PLANNING AND ZONING COMMISSION
PZC 2017-07**

NOTICE IS HEREBY GIVEN THAT Casey's Retail Company, petitioner, has filed applications with the United City of Yorkville, Kendall County, Illinois, requesting rezoning classification, special use authorization, and a variance to sign regulations. The real property is located south of U.S. Route 34, west of McHugh Road. The petitioner is requesting rezoning approval from R-1 Suburban Residential District to B-3 General Business District (contingent on approved of an annexation agreement by the City Council). The petitioner is requesting special use permit approval pursuant to Section 10-6-0 of the Yorkville City Code for a gasoline service station with accessory convenience store. The petitioner is requesting to vary the requirement of City Code Section 10-20-9-A regarding permanent freestanding business signs to allow a new sign to be larger than a maximum of 32 square feet. The proposed monument sign would be a total of 47 square feet.

The legal description is as follows:

1107 McHugh Road | PIN# 02-28-252-008

THAT PART OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SOUTHEAST 1/4 OF SAID SECTION 28, 40 LINKS EAST OF THE SOUTHWEST CORNER OF SAID SOUTHEAST QUARTER; THENCE NORTH 11 1/2 DEGREES EAST 34.82 CHAINS TO AN ANGLE IN THE CENTER LINE OF THE OSWEGO ROAD; THENCE NORTH 53 DEGREES 35 MINUTES EAST ALONG THE CENTER LINE OF SAID OSWEGO ROAD 912.64 FEET FOR A POINT OF BEGINNING; THENCE NORTH 53 DEGREES 35 MINUTES EAST ALONG THE CENTER LINE OF SAID ROAD 75 FEET; THENCE NORTH 35 DEGREES 33 MINUTES WEST 200 FEET; THENCE SOUTH 53 DEGREES 33 MINUTES EAST 200 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF BRISTOL, KENDALL COUNTY, ILLINOIS.

9230 Route 34 | PIN# 02-28-252-026

THAT PART OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN IN ILLINOIS DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION, 40 LINKS (26.40 FEET) EAST OF THE SOUTHWEST CORNER OF SAID SOUTHEAST QUARTER; THENCE NORTH 11 DEGREES 30 MINUTES 00 SECONDS EAST 34.82 CHAINS (2298.12 FEET) TO AN ANGLE IN THE CENTER LINE OF OSWEGO ROAD (PRESENTLY KNOWN AS MCHUGH ROAD); THENCE NORTH 53 DEGREES 35 MINUTES 00 SECONDS EAST ALONG THE CENTER LINE OF OSWEGO ROAD 111.54 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "A"; THENCE NORTH 07 DEGREES 30 MINUTES 00 SECONDS EAST 608.90 FEET TO A POINT WHICH IS 340.00 FEET SOUTHERLY OF (AS MEASURED ALONG THE LAST DESCRIBED LINE EXTENDED) THE CENTER LINE OF U.S. ROUTE 34 (S.B.I. ROUTE NO. 18); THENCE EASTERLY PARALLEL WITH THE CENTER LINE OF U.S. ROUTE 34 A DISTANCE OF 334.00 FEET FOR THE POINT OF BEGINNING;

THENCE NORTH 07 DEGREES 30 MINUTES 00 SECONDS EAST 310.00 FEET TO THE SOUTHERLY LINE OF SAID U.S. ROUTE 34; THENCE SOUTH 83 DEGREES 27 MINUTES 03 SECONDS EAST 179.50 FEET ALONG SAID SOUTHERLY LINE TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG SAID SOUTHERLY LINE WHICH CURVES TO THE LEFT, HAVING A RADIUS OF 1462.39 FEET FOR AN ARC DISTANCE OF 121.00 FEET; THENCE SOUTH 07 DEGREES 00 MINUTES 00 SECONDS 316.09 FEET TO THE CENTER LINE OF OSWEGO ROAD; THENCE SOUTH 53 DEGREES 35 MINUTES 00 SECONDS WEST ALONG SAID CENTER LINE 12.52 FEET TO A POINT THAT IS 876.10 FEET NORTHEASTERLY OF POINT "A" AFORESAID; THENCE NORTH 35 DEGREES 33 MINUTES 00 SECONDS WEST 200.00 FEET; THENCE SOUTH 53 DEGREES 35 MINUTES 00 SECONDS WEST PARALLEL WITH THE CENTER LINE OF SAID OSWEGO ROAD 203.15 FEET TO A LINE DRAWN EASTERLY, PARALLEL WITH THE CENTER LINE OF SAID U.S. ROUTE 34 FROM THE POINT OF BEGINNING; THENCE WESTERLY ALONG SAID PARALLEL LINE 11.00 FEET TO THE POINT OF BEGINNING. EXCEPT THE WESTERLY 104.98 FEET AS MEASURED AT RIGHT ANGLES TO THE WEST LINE THEREOF, IN THE TOWNSHIP OF BRISTOL, KENDALL COUNTY, ILLINOIS. ALSO EXCEPTING THEREFROM THAT PART OF THE LAND CONVEYED BY TRUSTEE'S DEED TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION RECORDED DECEMBER 23, 2014 AS DOCUMENT NO. 201400018028.

A copy of the application is available for review during normal City business hours at the office of the Community Development Director.

NOTICE IS HEREWITH GIVEN THAT the Planning and Zoning Commission for the United City of Yorkville will conduct a Public Hearing on said applications on **Wednesday, July 12, 2017 at 7 p.m.** at the United City of Yorkville, City Hall, located at 800 Game Farm Road, Yorkville, Illinois 60560.

The public hearing may be continued from time to time to dates certain without further notice being published.

All interested parties are invited to attend the public hearing and will be given an opportunity to be heard. Any written comments should be addressed to the United City of Yorkville Community Development Department, City Hall, 800 Game Farm Road, Yorkville, Illinois, and will be accepted up to the date of the public hearing.

By order of the Corporate Authorities of the United City of Yorkville, Kendall County, Illinois.

BETH WARREN
City Clerk

BY: Lisa Pickering
Deputy Clerk

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Total Postage and Fees	\$6.59	

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600 EAST LLC
Street and 600 EAST VETERANS PARKWAY
City, State YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

9025 2222 0000 2377 5742

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**
Domestic Mail Only

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NAPERVILLE, IL 60540

Certified Mail Fee	\$3.35	Postmark Here 06/26/2017
Extra Services & Fees (check box, add fee as appropriate)	\$0.75	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
Total Postage and Fees	\$6.59	

Sent To
HOBSON HOLLOW INC, %
Street and RICHARD MARKER
City, State 1626 MISTWOOD DRIVE
NAPERVILLE, IL 60540

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1070 0000 2377 5638

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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YORKVILLE, IL 60560

Certified Mail Fee	\$3.35	0521 04	Postmark Here
Extra Services & Fees (check box, add fee as appropriate)	\$2.75		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.49		
Total Postage and Fees	\$6.59		

Sent To
DEBBIE GILLETTE
Street and Ap
111 W FOX STREET
City, State, Zip
YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 1370 0000 1713 9635

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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YORKVILLE, IL 60560

Certified Mail Fee	\$3.35	0521 04	Postmark Here
Extra Services & Fees (check box, add fee as appropriate)	\$2.75		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.49		
Total Postage and Fees	\$6.59		

Sent To
AUDRA HENDRIX
Street and Ap
111 W FOX STREET
City, State, Zip
YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 1370 0000 1713 9628

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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YORKVILLE, IL 60560

Certified Mail Fee	\$3.35	0521 04	Postmark Here
Extra Services & Fees (check box, add fee as appropriate)	\$2.75		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.49		
Total Postage and Fees	\$6.59		

Sent To
PHYLLIS YABSLEY
Street and Ap
103 E BEAVER STREET
City, State, Zip
YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

1295 2295 0000 2377 5642

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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YORKVILLE, IL 60560

Certified Mail Fee	\$3.35	0521 04	Postmark Here
Extra Services & Fees (check box, add fee as appropriate)	\$2.75		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.49		
Total Postage and Fees	\$6.59		

Sent To
POSTMASTER
Street and Ap
601 E COUNTRYSIDE PARKWAY
City, State, Zip
YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

1296 2496 0000 1713 9645

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YORKVILLE, IL 60560

Certified Mail Fee	\$3.35	0521 04	Postmark Here
Extra Services & Fees (check box, add fee as appropriate)	\$2.75		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.49		
Total Postage and Fees	\$6.59		

Sent To
MATT PROCHASKA
Street and Ap
111 W FOX STREET
City, State, Zip
YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

1297 2697 0000 2377 5645

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YORKVILLE, IL 60560

Certified Mail Fee	\$3.35	0521 04	Postmark Here
Extra Services & Fees (check box, add fee as appropriate)	\$2.75		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.49		
Total Postage and Fees	\$6.59		

Sent To
LYNN CULLICK
Street and Ap
111 W FOX STREET
City, State, Zip
YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1070 0000 2377 5652

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YORKVILLE, IL 60560

Certified Mail Fee	\$3.35
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To
Street and
111 W FOX STREET
City, State, ZIP+4®
YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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YORKVILLE, IL 60560

Certified Mail Fee	\$3.35
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To
Street and
111 W FOX STREET
City, State, ZIP+4®
YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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OSWEGO, IL 60543

Certified Mail Fee	\$3.35
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To
Street and
206 WOLVERINE DRIVE
City, State, ZIP+4®
OSWEGO, IL 60543

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

6995 2222 0000 0207 2102

7017 1070 0000 2377 5614

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

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AURORA, IL 60504

Certified Mail Fee	\$3.35
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To
Street and
659 W RIDGE COURT
City, State, ZIP+4®
AURORA, IL 60504

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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YORKVILLE, IL 60560

Certified Mail Fee	\$3.35
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To
Street and Apt
111 W FOX STREET
City, State, ZIP+4®
YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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BRISTOL, IL 60512

Certified Mail Fee	\$3.35
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To
Street and
8 PARK LANE
City, State, ZIP+4®
BRISTOL, IL 60512

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

1525 2222 0000 0207 2102

6995 2222 0000 0207 2102

7017 1070 0000 2377 5614

7017 1070 0000 2377 5584

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YORKVILLE, IL 60560

Certified Mail Fee	\$3.35
Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To
Street and
CLIFFORD OLESON
6 N PARK
City, State, ZIP
YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1070 0000 2377 5591

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BRISTOL, IL 60512

Certified Mail Fee	\$3.35
Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To
Street and
TOM KLATT
21 N WEST STREET
City, State, ZIP
BRISTOL, IL 60512

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1070 0000 2377 5782

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NAPERVILLE, IL 60540

Certified Mail Fee	\$3.35
Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To
Street and
PAMELA MARKER
1626 MISTWOOD DRIVE
City, State, ZIP
NAPERVILLE, IL 60540

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

10309 2377 0000 0207 1070 2102

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YORKVILLE, IL 60560

Certified Mail Fee	\$3.35
Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To
Street and
SCOTT GRYDER
111 W FOX STREET
City, State, ZIP
YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

4209 6024 2377 0000 0207 1070 2102

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YORKVILLE, IL 60560

Certified Mail Fee	\$3.35
Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To
Street and
MATT KELLOGG
111 W FOX STREET
City, State, ZIP
YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

8409 6048 2377 0000 0207 1070 2102

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YORKVILLE, IL 60560

Certified Mail Fee	\$3.35
Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To
Street and
TONY GILES
111 W FOX STREET
City, State, ZIP
YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 1370 0000 1713 9666

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YORKVILLE, IL 60560

OFFICIAL USE

Certified Mail Fee \$3.35
\$2.75
Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.49
Total Postage and Fees \$6.59

Sent To ANTHONY & KHRISTINA
Street and PIGNATIELLO
City, State 1107 MCHUGH ROAD
YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

1958 ET13 1713 9581

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YORKVILLE, IL 60560

OFFICIAL USE

Certified Mail Fee \$3.35
\$2.75
Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.49
Total Postage and Fees \$6.59

Sent To DAVID STEWART
Street and 103 E BEAVER STREET
City, State YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 1370 0000 1713 9673

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OTTAWA, IL 61350

OFFICIAL USE

Certified Mail Fee \$3.35
\$2.75
Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.49
Total Postage and Fees \$6.59

Sent To ILLINOIS DEPARTMENT OF
Street and TRANSPORTATION
City, State 700 E NORRIS DRIVE
OTTAWA, IL 61350

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

0955 2822 2377 5560

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YORKVILLE, IL 60560

OFFICIAL USE

Certified Mail Fee \$3.35
\$2.75
Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.49
Total Postage and Fees \$6.59

Sent To JOHN PURCELL
Street and 111 W FOX STREET
City, State YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 1370 0000 1713 9703

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YORKVILLE, IL 60560

OFFICIAL USE

Certified Mail Fee \$3.35
\$2.75
Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.49
Total Postage and Fees \$6.59

Sent To EDWARD MYSTEK
Street and 1101 MCHUGH ROAD
City, State YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

0958 ET13 1713 9581

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YORKVILLE, IL 60560

OFFICIAL USE

Certified Mail Fee \$3.35
\$2.75
Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.49
Total Postage and Fees \$6.59

Sent To SHOCKER LAND COMPANY LLC
Street and 477 E BARBERRY CIRCLE
City, State YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 1370 0000 1713 9413

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OFFICIAL USE
PLANO, IL 60545

Certified Mail Fee	\$3.35
\$	\$2.75
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To YORKVILLE CROSSINGS LLC
Street and 13351 B FAXON ROAD
City, State, ZIP+4 PLANO, IL 60545

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1070 0000 2377 5775

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OFFICIAL USE
AURORA, IL 60506

Certified Mail Fee	\$3.35
\$	\$2.75
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To MARVIN F TRUST PILMER
Street and 1002 PRAIRIE STREET
City, State, ZIP+4 AURORA, IL 60506

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 1370 0000 1713 9505

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OFFICIAL USE
YORKVILLE, IL 60560

Certified Mail Fee	\$3.35
\$	\$2.75
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To CASTLE BANK NA, % JAMES RATOS
Street and 207 W KENDALL DRIVE
City, State, ZIP+4 YORKVILLE, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 1370 0000 1713 9697

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OFFICIAL USE
PLANO, IL 60545

Certified Mail Fee	\$3.35
\$	\$2.75
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To YORKVILLE CROSSINGS LLC
Street and 13351 B FAXON ROAD
City, State, ZIP+4 PLANO, IL 60545

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1070 0000 2377 5768

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OFFICIAL USE
CRYSTAL LAKE, IL 60012

Certified Mail Fee	\$3.35
\$	\$2.75
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
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<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To DEBBIE & DAVID COFFMAN
Street and 7315 W HILLSIDE
City, State, ZIP+4 CRYSTAL LAKE, IL 60012

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<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.49
Total Postage and Fees	\$6.59

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Street and 649 HEARTLAND DRIVE
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<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postmark Here
06/26/2017

Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To ANDREW & DAVID & SHARON
 Street and TOSCHAK
 City, State 659 W RIDGE COURT Westridge Ct.
 AURORA, IL 60504

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postmark Here
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Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To RICHARD & MARIA SCHROEDER
 Street and 683 HEARTLAND DRIVE
 City, State YORKVILLE, IL 60560

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LOMBARD, IL 60148

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postmark Here
06/26/2017

Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To WEST SUBURBAN BANK LAND
 Street and TRUST
 City, State 711 S WESTMORE AVENUE
 LOMBARD, IL 60148

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6646 9417 0000 1370 0271 9102

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NAPERVILLE, IL 60540

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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

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Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To CASTLE BANK NA
 Street and 1626 MISTWOOD DRIVE
 City, State NAPERVILLE, IL 60540

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0246 9426 0000 1370 0271 9102

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postmark Here
06/26/2017

Postage	\$0.49
Total Postage and Fees	\$6.59

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 City, State 659 W RIDGE COURT Westridge Ct.
 AURORA, IL 60504

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

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Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To NICHOLAS SWANSON
 Street and 1060 MCHUGH ROAD
 City, State YORKVILLE, IL 60560

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\$	\$2.75	
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
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Postage	\$0.49	06/26/2017
\$	\$0.49	
Total Postage and Fees	\$6.59	
\$	\$6.59	

Sent To
Street and
City, State, YORKVILLE, IL 60560

DUSTIN LINDLEY
1105 MCHUGH ROAD
YORKVILLE, IL 60560

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\$	\$2.75	
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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
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Postage	\$0.49	06/26/2017
\$	\$0.49	
Total Postage and Fees	\$6.59	
\$	\$6.59	

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KRISTA DANIS
902 GAME FARM ROAD
YORKVILLE, IL 60560

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\$	\$2.75	
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	06/26/2017
\$	\$0.49	
Total Postage and Fees	\$6.59	
\$	\$6.59	

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Street and
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KATE ELDER
902 GAME FARM ROAD
YORKVILLE, IL 60560

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7546 ETLT 0000 0421 9702

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\$	\$2.75	
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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	06/26/2017
\$	\$0.49	
Total Postage and Fees	\$6.59	
\$	\$6.59	

Sent To
Street and
City, State, YORKVILLE, IL 60560

JORI & BRYAN CARNITHAN
661 HEARTLAND DRIVE
YORKVILLE, IL 60560

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4256 ETLT 0000 0421 9702

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YORKVILLE, IL 60560

OFFICIAL USE

Certified Mail Fee	\$3.35	0521 04
\$	\$2.75	
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	06/26/2017
\$	\$0.49	
Total Postage and Fees	\$6.59	
\$	\$6.59	

Sent To
Street and
City, State, YORKVILLE, IL 60560

THERON GARCIA
902 GAME FARM ROAD
YORKVILLE, IL 60560

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\$	\$2.75	
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	06/26/2017
\$	\$0.49	
Total Postage and Fees	\$6.59	
\$	\$6.59	

Sent To
Street and
City, State, YORKVILLE, IL 60560

WAMECCA RODRIGUEZ
902 GAME FARM ROAD
YORKVILLE, IL 60560

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AURORA, IL 60502

Certified Mail Fee	\$3.35
Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.49
Total Postage and Fees	\$6.59

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BARBARA E TOSCHAK
2551 ADAMSWAY DRIVE
AURORA, IL 60504-9077

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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.49
Total Postage and Fees	\$6.59

Sent To
Street and A/B
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DARREN CRAWFORD
902 GAME FARM ROAD
YORKVILLE, IL 60560

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BRISTOL, IL 60512

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Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.49
Total Postage and Fees	\$6.59

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JULIE BENNETT
1907 CORNELIS ROAD
BRISTOL, IL 60545

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Memorandum

To: Planning and Zoning Commission
From: Jason Engberg, Senior Planner
CC: Bart Olson, City Administrator
Krysti Barksdale-Noble, Community Development Director
Date: June 26, 2017
Subject: PZC 2017-08 - 1995 Meadowlark Court – Rear Yard Setback Variance

SUMMARY:

The petitioner, Dale Larson, has filed an application with the United City of Yorkville, Kendall County, Illinois, requesting a rear yard setback variance for 1995 Meadowlark Court in the Country Hills Subdivision of Yorkville to reduce the rear yard setback from 40 feet to 30 feet. The purpose for this request is to allow a single family home to be built on this lot within the Country Hills Subdivision which will be consistent with surrounding homes.

PROPERTY BACKGROUND:

The property is located within the Country Hills Subdivision in Yorkville off of Route 126. The property is surrounded on all sides of single family homes which are zoned R-2 Traditional Residence District. The parcel is an undeveloped lot within the subdivision with existing homes adjacent to the rear yard (west) and side yard (south).

PROJECT DESCRIPTION:

As proposed, the petitioner is seeking to construct a ranch style single family home on the site. The dimensions of the lot and required setbacks create a small and thin building envelope for development. Therefore, the petitioner is requesting relief from the R-2 Traditional Residence District requirement of a minimum of forty foot (40') rear yard setback.

The petitioner is requesting a 30 foot rear yard setback for this property. With a 30 foot setback, the petitioner may construct the planned ranch style single family home on the property. The unusual shape is not the only hardship on this parcel. The unusual topography and grading adds an additional issue when placing a house on the property.



This parcel has a significantly higher elevation in the front yard adjacent to the street than the rear yard. While the building envelope may be able to fit a two story home, the height of a house that size would make it inconsistent with neighboring properties in the rear yard. This essentially makes the first floor of this proposed house at the same elevation as the second stories to the houses behind it. A two story building would stand out and not keep the neighborhood's cohesive style.

Since the petitioner is planning to reduce the minimum requirement from forty feet (40') to thirty feet (30'), it will only be reviewed and approved by the Planning and Zoning Commission. Section 4-7-D of the Yorkville Zoning Ordinance states variations from the regulations of the Zoning Ordinance may be granted by the Zoning Board of Appeals (now Planning and Zoning Commission) if it follows certain instances. Section 4-7-D-1-e states an authorized variation includes "*To permit any yard or setback less than the yard or setback required by the applicable regulations, but by no more than twenty five percent (25%).*" Therefore, this variance will be reviewed and action will be taken by only the Planning and Zoning Commission.

STANDARDS FOR GRANTING A VARIANCE:

The Planning and Zoning Commission must base its decision to vary, or recommend varying, the Petitioner's request for relief of the Zoning Ordinance regulation upon the following standards (Section 10-4-7-C):

1. Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out.
2. The conditions upon which the petition for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classification.
3. The alleged difficulty or hardship is caused by this title and has not been created by any person presently having an interest in the property.
4. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.
5. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger to the public safety, or substantially diminish or impair property values within the neighborhood.
6. The proposed variation is consistent with the official comprehensive plan and other development standards and policies of the city.

The petitioner has provided written responses to these standards as part of their application (see attached) and requests inclusion of those responses into the public record at the July 12, 2017 Planning and Zoning Commission meeting.

STAFF COMMENTS:

Staff is supporting the request for a rear yard setback variance at 1995 Meadowlark Court due to the natural hardship of the lot size and shape. Staff believes the petitioner has proven that it is best for the character of the community to build a single story ranch home on the property as to not interfere with surrounding properties.

PROPOSED MOTIONS:

In consideration of testimony presented during a Public Hearing on July 12, 2017 and approval of the findings of fact, the Planning and Zoning Commission recommends approval of a request to vary the setback regulations contained in Section 10-7-1 of the United City of Yorkville Zoning Ordinance to permit a minimum rear yard setback of 30 feet in the R-2 Traditional Residential District and further subject to {insert any additional conditions of the Planning and Zoning Commission}...

ATTACHMENTS:

1. Petitioner Application
2. Public Notice
3. Certified Mailing Receipts

Application For Variance Request

STAFF USE ONLY

Date of Submission PC#

Development Name

Applicant Information

Name of Applicant(s)

Business Address

City State ZIP

Business Phone Business Fax

Business Cell Business E-mail

Property Information

Name of Holder of Legal Title

If Legal Title is held by a Land Trust, list the names of all holders of any beneficial interest therein:

Property Street Address

Description of Property's Physical Location

Zoning and Land Use of Surrounding Parcels

North	RESIDENTIAL
East	RESIDENTIAL
South	RESIDENTIAL
West	RESIDENTIAL

Current Zoning Classification

Kendall County Parcel Number(s) of Property

05-04-406-015-0000	

Application For Variance Request

Additional Contact Information

Attorney

Name

Address

City State ZIP

Phone Fax

E-mail

Engineer

Name

Address

City State ZIP

Phone Fax

E-mail

Land Planner/Surveyor

Name

Address

City State ZIP

Phone Fax

E-mail

Attachments

Applicant must attach a legal description of the property to this application and title it as "Exhibit A".

Applicant must list the names and addresses of any adjoining or contiguous landowners within 500 feet of the property that are entitled notice of application under any applicable City Ordinance or State Statute. Attach a separate list to this application and title it as "Exhibit B".

Application For Variance Request

Variance Standards

Please state the variance requested and the City Ordinance including the section numbers to be varied:

TITLE 10 IN CHAPTER 7-1
DIMENSIONS AND BULK TABLE

Please state how the particular surroundings, shape or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of regulations was carried out:

BASED ON THE DEPTH OF THE BUILDING ENVELOPE A VARIANCE IS REQUESTED OF 10' ACROSS THE BAC OF THE BUILDING ENVELOPE TO MAKE IT 10' DEEPER.

Please state how the conditions upon which the application for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classification:

THE SIZE AND SHAPE OF LOT 111 MAKE THE BUILDING SET BACKS IMPOSSIBLE TO STAY INSIDE OF AND STILL BUILD A RANCH. A TWO STORY WOULD BE IMPOSING ON THE PROPERTIES BELOW AND INFRINGE ON THEIR PRIVACY.

Please state how the alleged difficulty or hardship is caused by this Title and has not been created by any person presently having an interest in the property:

HARDSHIP WAS CAUSED WHEN ORIGIANLLY PLATTED, APPROVED AND RECORDED.



United City of Yorkville
 County Seat of Kendall County
 800 Game Farm Road
 Yorkville, Illinois, 60560
 Telephone: 630-553-4350
 Fax: 630-553-7575
 Website: www.yorkville.il.us

Petitioner Deposit Account / Acknowledgment of Financial Responsibility

Development/Property Address:	Project No.: FOR CITY USE ONLY	Fund Account No.: FOR CITY USE ONLY
--------------------------------------	---------------------------------------	--

Petition/Approval Type: *check appropriate box(es) of approval requested*

Concept Plan Review Amendment (Text) (Annexation) (Plat) Annexation
 Rezoning Special Use Mile and ½ Review
 Zoning Variance Preliminary Plan Final Plans
 P.U.D. Final Plat

Petitioner Deposit Account Fund:

It is the policy of the United City of Yorkville to require any petitioner seeking approval on a project or entitlement request to establish a Petitioner Deposit Account Fund to cover all actual expenses occurred as a result of processing such applications and requests. Typical requests requiring the establishment of a Petitioner Deposit Account Fund include, but are not limited to, plan review of development approvals/engineering permits. Deposit account funds may also be used to cover costs for services related to legal fees, engineering and other plan reviews, processing of other governmental applications, recording fees and other outside coordination and consulting fees. Each fund account is established with an initial deposit based upon the estimated cost for services provided in the **INVOICE & WORKSHEET PETITION APPLICATION**. This initial deposit is drawn against to pay for these services related to the project or request. Periodically throughout the project review/approval process, the Financially Responsible Party will receive an invoice reflecting the charges made against the account. At any time the balance of the fund account fall below ten percent (10%) of the original deposit amount, the Financially Responsible Party will receive an invoice requesting additional funds equal to one-hundred percent (100%) of the initial deposit if subsequent reviews/fees related to the project are required. In the event that a deposit account is not immediately replenished, review by the administrative staff, consultants, boards and commissions may be suspended until the account is fully replenished. If additional funds remain in the deposit account at the completion of the project, the city will refund the balance to the Financially Responsible Party. A written request must be submitted by the Financially Responsible Party to the city by the 15th of the month in order for the refund check to be processed and distributed by the 15th of the following month. All refund checks will be made payable to the Financially Responsible Party and mailed to the address provided when the account was established.

ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY

Name/Company Name:	Address:	City:	State:	Zip Code:
Dale Larson	1120 Maple St	Aurora	IL	60506
Telephone:	Mobile:	Fax:	E-mail:	
630 885 4104		N/A	Dale.Larson 63@gmail.com	

Financially Responsible Party:

I acknowledge and understand that as the Financially Responsible Party, expenses may exceed the estimated initial deposit and, when requested by the United City of Yorkville, I will provide additional funds to maintain the required account balance. Further, the sale or other disposition of the property does not relieve the individual or Company/Corporation of their obligation to maintain a positive balance in the fund account, unless the United City of Yorkville approves a Change of Responsible Party and transfer of funds. Should the account go into deficit, all City work may stop until the requested replenishment deposit is received.

Print Name: **DALE M LARSON** Title: _____

Signature*: Date: **05/23/2017**

**The name of the individual and the person who signs this declaration must be the same. If a corporation is listed, a corporate officer must sign the declaration (President, Vice-President, Chairman, Secretary or Treasurer)*

FOR CITY USE ONLY

ACCOUNT CLOSURE AUTHORIZATION:

Date Requested: _____ Completed Inactive

Print Name: _____ Withdrawn Collections

Signature: _____ Other

DEPARTMENT ROUTING FOR AUTHORIZATION: Comm Dev. Building Engineering Finance Admin.

CERTIFIED MAILING
AFFIDAVIT

STATE OF ILLINOIS)
) SS
COUNTY OF KENDALL)

I/We, _____, petitioner, being first duly sworn, do hereby state under oath that to the best of my knowledge the attached list is a true, correct and complete list of all permanent parcel numbers, and names and addresses of owners, of all lots and parts of lots located within 500 feet (exclusively of any public streets and alleys) of the property legally described on the attached application for annexation, re-zoning, special use permit, planned unit development, variation, or other zoning amendment. I further state that said list was obtained from the current tax rolls of the Kendall County Treasurer's Office. I further state that I mailed by U.S. Certified Mail, Return Receipt Requested, a copy of the Public Notice of Public Hearing before the United City of Yorkville Zoning Board of Appeals for the Public Hearing held on Wednesday, _____, at the United City of City Council Chambers, Yorkville, Illinois. The notice was mailed to the attached list of all of the permanent parcel numbers and names and addresses of owners at the U.S. Post office on _____, 20_____.

Signature of Petitioner(s)

Subscribed and sworn to before me this
_____ day of _____, 20_____

Notary Public

Legal description Exhibit "A"

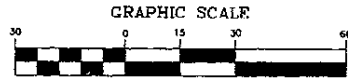
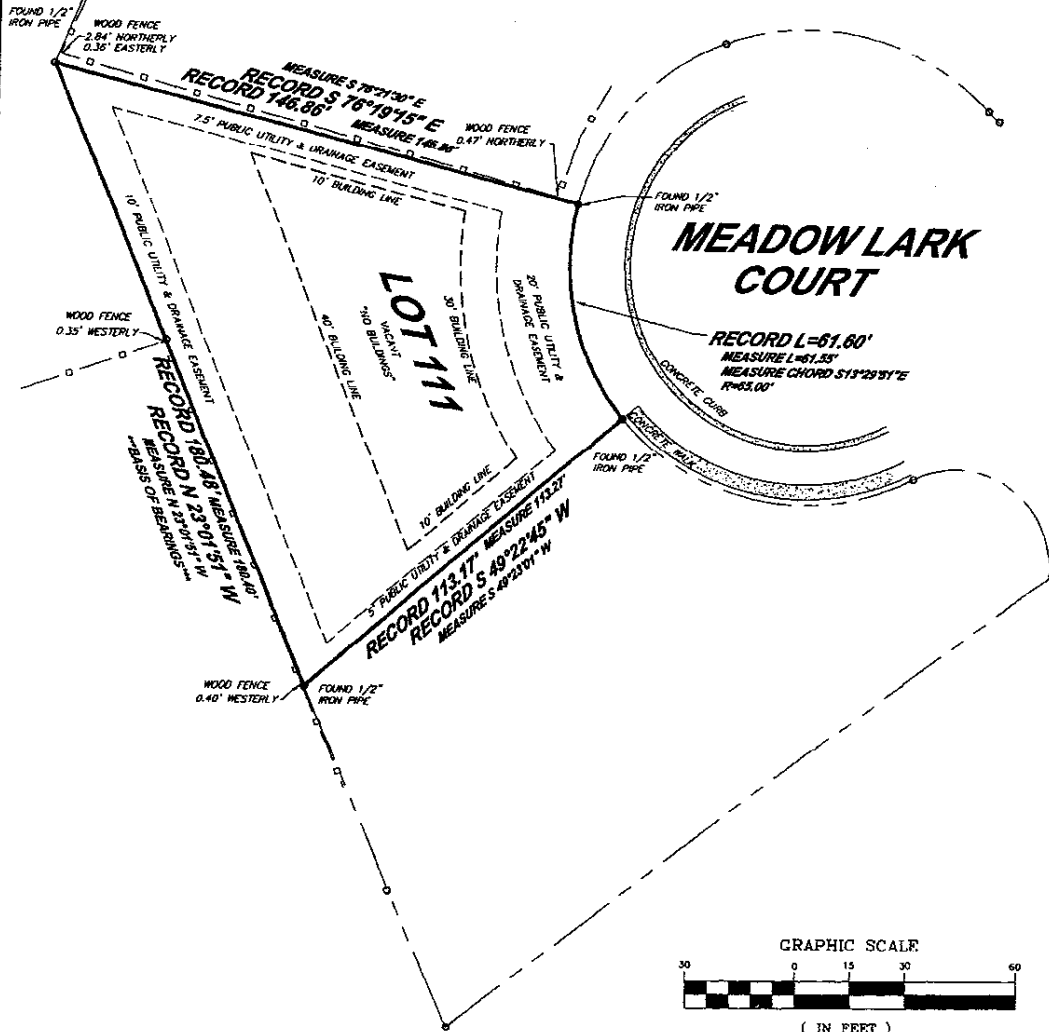
WORKMAN
LAND SURVEYORS
 P.O. BOX 757 DOWNERS GROVE, IL 60515
 PHONE 630-541-0176 FAX 630-541-0177

PLAT OF SURVEY



ASSUMED MERIDIAN

LOT 111 OF PLAT OF COUNTRY HILLS SUBDIVISION - PHASE II,
 ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 11, 2002 AS
 DOCUMENT 200200031248, IN THE UNITED CITY OF YORKVILLE, IN
 KENDALL TOWNSHIP, IN KENDALL COUNTY, ILLINOIS.



(IN FEET)
 1 inch = 30 ft.

GENERAL NOTES

COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY POINTS AND MONUMENTS
 BEFORE ANY CONSTRUCTION, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO SURVEYOR.
 ONLY PORTIONS OF THIS SURVEY WITH AN EMBOSSED SEAL SHALL BE DESIGNATED OFFICIAL
 COPIES. THIS SURVEY WAS PREPARED FOR THE SOLE USE OF THE CLIENT AS STATED
 HEREON AND IS NON-TRANSFERABLE.
 DO NOT SCALE DIMENSIONS FROM THIS PLAT.
 NO CORRECTIONS SHALL BE MADE WITHOUT PERMISSION.
 THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED
 UPON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT, TOGETHER WITH THE
 TITLE COMMITMENT. THE PARCEL WHICH IS SURVEYED MAY NOT REFLECT ACTUAL OWNERSHIP,
 BUT REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.

RESTRICTIONS THAT MAY BE FOUND IN LOCAL BUILDING AND/OR ZONING CODES HAVE NOT
 BEEN SHOWN. HEIGHTS AND BUILDING RESTRICTIONS (IF ANY) HAVE NOT BEEN SHOWN.
 ONLY THOSE SETBACK RESTRICTIONS SHOWN ON THE RECORDED SUBDIVISION OR IN THE
 TITLE COMMITMENT HAVE BEEN SHOWN.
 THERE ARE NO NEW STREET CHANGES THAT THE SURVEYOR IS AWARE OF.
 ALL BUILDING DIMENSIONS AND TIES ARE TO CURRENT EXISTING MATERIAL AND NOT TO FOUNDATION.
 R.O.W. = RIGHT OF WAY
 RECORD L = RECORD ARC LENGTH
 MEASURE L = MEASURE ARC LENGTH
 W = WIDTH

STATE OF ILLINOIS }
 COUNTY OF DUPAGE } SS

I, WILLIAM A. WORKMAN, AN ILLINOIS PROFESSIONAL LAND SURVEYOR DO HEREBY
 CERTIFY THAT THE PLAT HEREOF DRAWN WAS PREPARED AT AND UNDER MY DIRECTION.
 ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS
 MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
 GIVEN UNDER MY HAND AND SEAL THIS 3RD DAY OF JUNE, A.D., 2011.

Address: 1995 MEADOW LARK COURT
 YORKVILLE, ILLINOIS

CLIENT: WAYNE MULAR

DATE OF COMPLETION OF FIELD WORK

JUNE 2, 2011

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003501
 MY LICENSE EXPIRES ON NOVEMBER 30, 2012.

COPYRIGHT © 2011

Exhibit "B"

Addresses_2017, 5/18/2017, Page 1-2

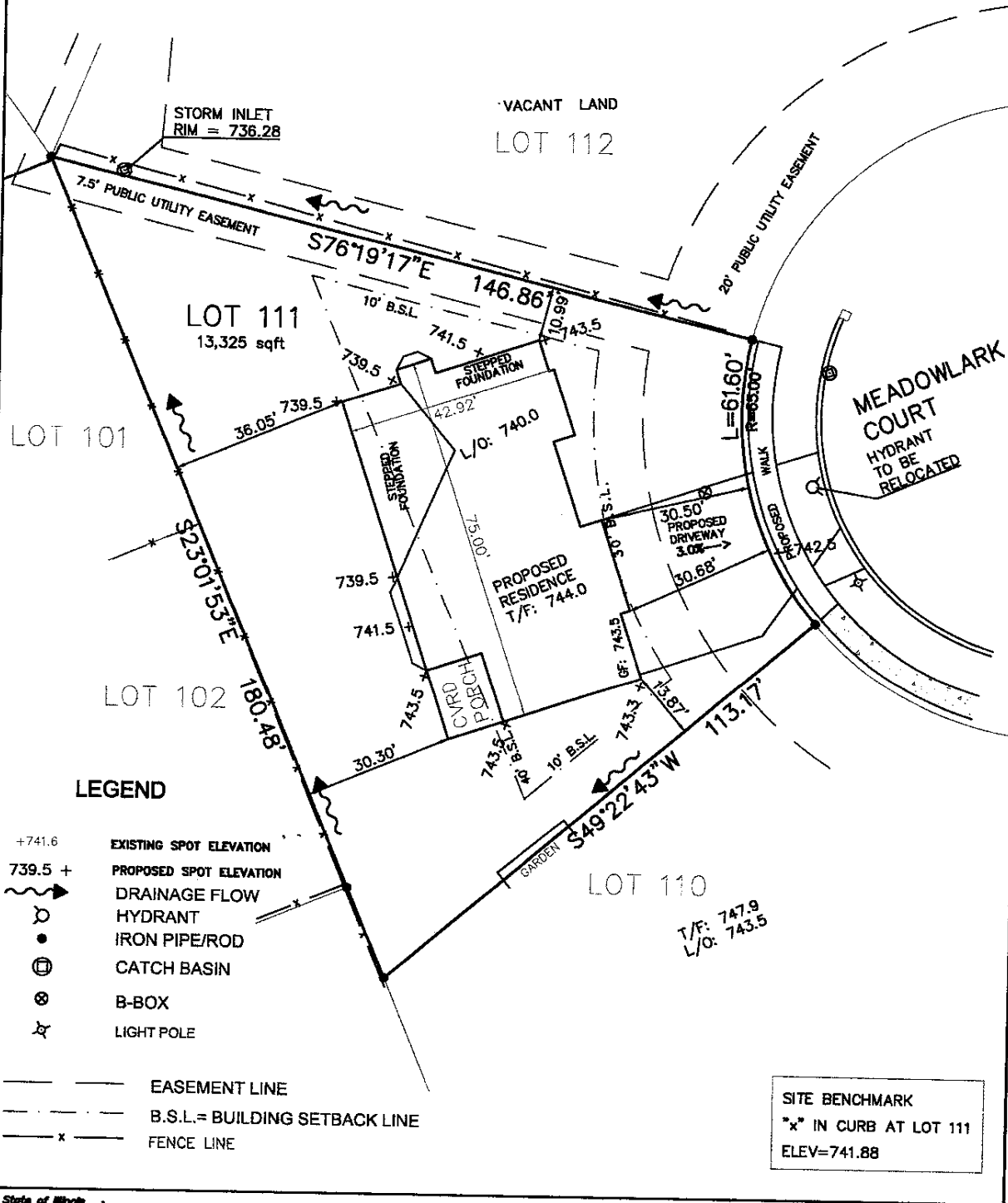
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	GREENFIELD	TURN			614 GREENFIELD TURN
	GREENFIELD	TURN			618 GREENFIELD TURN
	SUNNY DELL	CT			1953 SUNNY DELL CT
	SUNNY DELL	CT			1962 SUNNY DELL CT
	GREENFIELD	TURN			732 GREENFIELD TURN
	MEADOWLARK	CT			1997 MEADOWLARK CT
	MEADOWLARK	CT			1989 MEADOWLARK CT
	MEADOWLARK	LN			1981 MEADOWLARK LN
	GREENFIELD	TURN			731 GREENFIELD TURN
	GREENFIELD	TURN			721 GREENFIELD TURN
	GREENFIELD	TURN			711 GREENFIELD TURN
	RAINTREE	RD			2002 RAIN TREE RD
	GREENFIELD	TURN			751 GREENFIELD TURN
	RAINTREE	RD			2020 RAIN TREE RD
	SUNNY DELL	CT			1958 SUNNY DELL CT
	SUNNY DELL	CT			1956 SUNNY DELL CT
	GREENFIELD	TURN			722 GREENFIELD TURN
	GREENFIELD	TURN			828 GREENFIELD TURN
	GREENFIELD	TURN			807 GREENFIELD TURN
	GREENFIELD	TURN			795 GREENFIELD TURN
	GREENFIELD	TURN			791 GREENFIELD TURN
	RAINTREE	RD			2042 RAIN TREE RD
	GREENFIELD	TURN			782 GREENFIELD TURN
	SUNNY DELL	CT			1957 SUNNY DELL CT
	RAINTREE	RD			2052 RAIN TREE RD
	MEADOWLARK	LN			1999 MEADOWLARK LN
	GREENFIELD	TURN			763 GREENFIELD TURN
	GREENFIELD	TURN			771 GREENFIELD TURN
	GREENFIELD	TURN			712 GREENFIELD TURN
	MEADOWLARK	LN			1992 MEADOWLARK LN
	MEADOWLARK	LN			1985 MEADOWLARK LN
	GREENFIELD	TURN			752 GREENFIELD TURN
	MEADOWLARK	LN			2002 MEADOWLARK LN
	GREENFIELD	TURN			822 GREENFIELD TURN
	GREENFIELD	TURN			701 GREENFIELD TURN
	SUNNY DELL	CT			1961 SUNNY DELL CT
	MEADOWLARK	CT			1995 MEADOWLARK CT
	SUNNY DELL	CT			1964 SUNNY DELL CT
	GREENFIELD	TURN			792 GREENFIELD TURN
	GREENFIELD	TURN			801 GREENFIELD TURN
	COUNTRY HILLS	DR			1809 COUNTRY HILLS DR
	SUNNY DELL	CT			1955 SUNNY DELL CT
	GREENFIELD	TURN			742 GREENFIELD TURN
	MEADOWLARK	CT			1991 MEADOWLARK CT
	MEADOWLARK	LN			1982 MEADOWLARK LN
	GREENFIELD	TURN			781 GREENFIELD TURN
	RAINTREE	RD			2032 RAIN TREE RD
	GREENFIELD	TURN			772 GREENFIELD TURN
	MEADOWLARK	LN			1996 MEADOWLARK LN
	GREENFIELD	TURN			762 GREENFIELD TURN
	GREENFIELD	TURN			761 GREENFIELD TURN
	GREENFIELD	TURN			621 GREENFIELD TURN
	GREENFIELD	TURN			702 GREENFIELD TURN
	MEADOWLARK	LN			1986 MEADOWLARK LN
	MEADOWLARK	CT			1993 MEADOWLARK CT
	GREENFIELD	TURN			747 GREENFIELD TURN
	SUNNY DELL	CT			1954 SUNNY DELL CT
	RAINTREE	RD			2012 RAIN TREE RD
	RAINTREE	RD			2008 RAIN TREE RD

SITE PLAN

MORRISON SURVEYING CO., INC.
2710 N. L. St. 47, Morris, Illinois 60450
Phone (815) 942-2820 of FAX (815) 941-2820



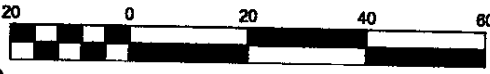
LOT 111 IN COUNTRY HILLS SUBDIVISION - PHASE II, TO THE CITY OF YORKVILLE, KENDALL COUNTY, ILLINOIS.



State of Illinois } s.s.
County of Grundy }

We, MORRISON SURVEYING CO INC. (P.D. License #104-003015) do hereby certify that we have surveyed the property described in the caption to the plat hereon drawn and that the professional services conform to the current Illinois minimum standards for a boundary survey. All dimensions are in feet and decimal parts of a foot and are correct at a temperature of 68 degrees Fahrenheit. Dimensions shown on buildings are to the outside of buildings. Given under my hand and seal at Morris, Illinois. Date: 5/19/17

Matthew James Morrison
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3735 License Expires 11/30/18



Scale 1" = 20'

**PUBLIC NOTICE
NOTICE OF PUBLIC HEARING
BEFORE
UNITED CITY OF YORKVILLE
PLANNING AND ZONING COMMISSION
PZC 2017-08**

NOTICE IS HEREBY GIVEN THAT Dale Larson, petitioner, has filed an application with the United City of Yorkville, Kendall County, Illinois, requesting a rear yard setback variance for 1995 Meadowlark Court in the Country Hills Subdivision of Yorkville to reduce the rear yard setback from 40 feet to 30 feet. The purpose for this request is to allow a single family home to be built on this lot within the Country Hills Subdivision which will be consistent with surrounding homes.

The legal description is as follows:

LOT 111 OF PLAT OF COUNTRY HILLS SUBDIVISION – PHASE II,
ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 11, 2002
AS DOCUMENT 200200031248, IN THE UNITED CITY OF YORKVILLE, IN
KENDALL TOWNSHIP, IN KENDALL COUNTY, ILLINOIS.

NOTICE IS HEREWITH GIVEN THAT the Planning and Zoning Commission for the United City of Yorkville will conduct a public hearing on said application on **Wednesday, July 12, 2017 at 7 p.m.** at the United City of Yorkville, City Hall, located at 800 Game Farm Road, Yorkville, Illinois 60560.

The public hearing may be continued from time to time to dates certain without further notice being published.

All interested parties are invited to attend the public hearing and will be given an opportunity to be heard. Any written comments should be addressed to the United City of Yorkville Community Development Department, City Hall, 800 Game Farm Road, Yorkville, Illinois, and will be accepted up to the date of the public hearing.

By order of the Corporate Authorities of the United City of Yorkville, Kendall County, Illinois.

BETH WARREN
City Clerk

BY: Lisa Pickering
Deputy Clerk

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Street and Apt. No., or PO Box No. 205a Raintree Rd.		
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Sent To Resident		
Street and Apt. No., or PO Box No. 731 Greenfield Turn		
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Total Postage and Fees		
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Sent To Resident		
Street and Apt. No., or PO Box No. 792 Greenfield Turn		
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Extra Services & Fees (check box, add fee as appropriate)		Postmark Here
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Sent To Resident		
Street and Apt. No., or PO Box No. 732 Greenfield Turn		
City, State, ZIP+4® Yorkville IL 60560		
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

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Street and Apt. No., or PO Box No.
2002 Meadowlark Lane
City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0599

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
Street and Apt. No., or PO Box No.
1992 Meadowlark Lane
City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0506

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
Street and Apt. No., or PO Box No.
1981 Meadowlark Lane
City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0551

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
Street and Apt. No., or PO Box No.
1223 Greenfield Turn
City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0544

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
Street and Apt. No., or PO Box No.
2020 Raintree Rd.
City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0568

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
Street and Apt. No., or PO Box No.
795 Greenfield Turn
City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0728

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
 Street and Apt. No., or PO Box No.
 1985 Meadowlark Lane
 City, State, ZIP+4®
 Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0636

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
 Street and Apt. No., or PO Box No.
 1999 Meadowlark Lane
 City, State, ZIP+4®
 Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 1008

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
 Street and Apt. No., or PO Box No.
 1991 Meadowlark Ct
 City, State, ZIP+4®
 Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0414

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
 Street and Apt. No., or PO Box No.
 1983 Meadowlark Lane
 City, State, ZIP+4®
 Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0179

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
 Street and Apt. No., or PO Box No.
 1996 Meadowlark Ln.
 City, State, ZIP+4®
 Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0318

U.S. Postal Service™
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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
 Street and Apt. No., or PO Box No.
 1986 Meadowlark Ln.
 City, State, ZIP+4®
 Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0360

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Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To Resident
Street and Apt. No., or PO Box No.
1809 Country Hills Dr.
City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0350

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Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To Resident
Street and Apt. No., or PO Box No.
781 Greenfield Turn
City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0377

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Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To Resident
Street and Apt. No., or PO Box No.
801 Greenfield Turn
City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0988

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Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To Resident
Street and Apt. No., or PO Box No.
1795 Sunny Dell Ct
City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0650

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Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To Resident
Street and Apt. No., or PO Box No.
807 Greenfield Turn
City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0346

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Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To Resident
Street and Apt. No., or PO Box No.
2033 Raintree Rd
City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0605

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postmark
Here

Postage	\$
Total Postage and Fees	\$

Sent To Resident
 Street and Apt. No., or PO Box No.
 822 Greenfield Turn
 City, State, ZIP+4®
 Yorkville IL 60560
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0391

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postmark
Here

Postage	\$
Total Postage and Fees	\$

Sent To Resident
 Street and Apt. No., or PO Box No.
 1901 Sunny Dell Ct
 City, State, ZIP+4®
 Yorkville IL 60560
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0407

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postmark
Here

Postage	\$
Total Postage and Fees	\$

Sent To Resident
 Street and Apt. No., or PO Box No.
 1904 Sunny Dell Ct.
 City, State, ZIP+4®
 Yorkville IL 60560
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0254

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postmark
Here

Postage	\$
Total Postage and Fees	\$

Sent To Resident
 Street and Apt. No., or PO Box No.
 1162 Greenfield Turn
 City, State, ZIP+4®
 Yorkville IL 60560
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0575

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postmark
Here

Postage	\$
Total Postage and Fees	\$

Sent To Resident
 Street and Apt. No., or PO Box No.
 1957 Sunny Dell Ct.
 City, State, ZIP+4®
 Yorkville IL 60560
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0582

U.S. Postal Service™
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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postmark
Here

Postage	\$
Total Postage and Fees	\$

Sent To Resident
 Street and Apt. No., or PO Box No.
 763 Greenfield Turn
 City, State, ZIP+4®
 Yorkville IL 60560
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0285

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Certified Mail Fee
\$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postmark
Here

Postage
\$ _____

Total Postage and Fees
\$ _____

Sent To Resident

Street and Apt. No., or PO Box No.
742 Greenfield Turn

City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0674

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OFFICIAL USE

Certified Mail Fee
\$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postmark
Here

Postage
\$ _____

Total Postage and Fees
\$ _____

Sent To Resident

Street and Apt. No., or PO Box No.
751 Greenfield Turn

City, State, ZIP+4®
Yorkville, IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0667

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OFFICIAL USE

Certified Mail Fee
\$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postmark
Here

Postage
\$ _____

Total Postage and Fees
\$ _____

Sent To Resident

Street and Apt. No., or PO Box No.
1956 Sunny Dell Ct.

City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0384

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OFFICIAL USE

Certified Mail Fee
\$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postmark
Here

Postage
\$ _____

Total Postage and Fees
\$ _____

Sent To Resident

Street and Apt. No., or PO Box No.
772 Greenfield Turn

City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0681

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OFFICIAL USE

Certified Mail Fee
\$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postmark
Here

Postage
\$ _____

Total Postage and Fees
\$ _____

Sent To Resident

Street and Apt. No., or PO Box No.
721 Greenfield Turn

City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0704

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OFFICIAL USE

Certified Mail Fee
\$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postmark
Here

Postage
\$ _____

Total Postage and Fees
\$ _____

Sent To Resident

Street and Apt. No., or PO Box No.
1962 Sunny Dell Ct.

City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0308

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
 Street and Apt. No., or PO Box No.
 1954 Sunny Dell Ct.
 City, State, ZIP+4®
 Yorkville IL 60560
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0322

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
 Street and Apt. No., or PO Box No.
 761 Greenfield Turn
 City, State, ZIP+4®
 Yorkville IL 60560
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0216

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
 Street and Apt. No., or PO Box No.
 1993 Meadowlark Court
 City, State, ZIP+4®
 Yorkville IL 60560
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0220

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
 Street and Apt. No., or PO Box No.
 601 Greenfield Turn
 City, State, ZIP+4®
 Yorkville IL 60560
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0209

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
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Sent To Resident
 Street and Apt. No., or PO Box No.
 2012 Raintree Rd
 City, State, ZIP+4®
 Yorkville IL 60560
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 0660 0000 2442 0193

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

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Sent To Resident
 Street and Apt. No., or PO Box No.
 703 Greenfield Turn
 City, State, ZIP+4®
 Yorkville IL 60560
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

8220 2422 2442 0000 0990 7017

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
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Sent To Resident
Street and Apt. No., or PO Box No.
618 Greenfield Turn
City, State, ZIP+4®
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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Resident
Street and Apt. No., or PO Box No.
1989 Meadowlark Ct
City, State, ZIP+4®
Yorkville IL 60560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

8220 2422 2442 0000 0990 7017

U.S. Postal Service™
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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

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Here

Sent To Resident
Street and Apt. No., or PO Box No.
1997 Meadowlark Ct
City, State, ZIP+4®
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PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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OFFICIAL USE

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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

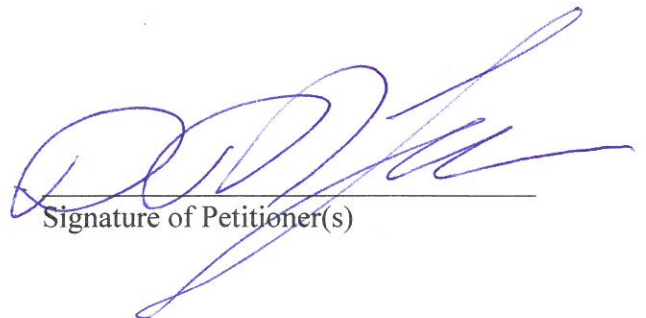
Sent To Resident
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1995 Meadowlark Ct
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Yorkville IL 60560

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CERTIFIED MAILING
AFFIDAVIT

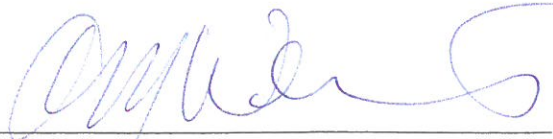
STATE OF ILLINOIS)
) SS
COUNTY OF KENDALL)

I/We, Dale Larson, petitioner, being first duly sworn, do hereby state under oath that to the best of my knowledge the attached list is a true, correct and complete list of all permanent parcel numbers, and names and addresses of owners, of all lots and parts of lots located within 500 feet (exclusively of any public streets and alleys) of the property legally described on the attached application for annexation, re-zoning, special use permit, planned unit development, variation, or other zoning amendment. I further state that said list was obtained from the current tax rolls of the Kendall County Treasurer's Office. I further state that I mailed by U.S. Certified Mail, Return Receipt Requested, a copy of the Public Notice of Public Hearing before the United City of Yorkville Zoning Board of Appeals for the Public Hearing held on Wednesday, July 12th 2017, at the United City of City Council Chambers, Yorkville, Illinois. The notice was mailed to the attached list of all of the permanent parcel numbers and names and addresses of owners at the U.S. Post office on June 20th, 20 17.



Signature of Petitioner(s)

Subscribed and sworn to before me this
21 day of June, 20 17



Notary Public





Memorandum

To: Planning and Zoning Commission
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Date: June 27, 2017
Subject: **PZC 2017-09 Anthony Place (GC Housing) – NEC Walnut & Freemont Final Plat Approval**

Project Background/Request:

As the Planning and Zoning Commission will recall, the rezoning, variance and development agreement for the Anthony Place (formerly referred to as GC Housing) senior independent living facility was approved by the City Council in February 2016. The approximately 3.175-acre parcel, located at the northeast corner of Freemont and Walnut Streets, consists of 51 apartment units and is zoned R-4 General Multi-Family Residence. The developer/petitioner is requesting final plat of subdivision approval for the site in preparation of construction.

Proposed Final Plat:

As part of the site development process, the developer/petitioner, Anthony Place Yorkville, LP, purchased two (2) adjacent parcels and is now seeking to consolidate those lots as part of the final plat of subdivision. The developer/petitioner is also dedicating approximately 0.25 acres of right-of-way (33' wide) along the frontage of the property on Walnut Street as well as granting a 60' wide access easement to Freemont Street, and public utilities and drainage easements around the perimeter of the site.

The proposed Final Plat of Subdivision has been reviewed by the City's engineering consultant for compliance with the Subdivision Control Ordinance's Standards for Specification. Comments dated February 21, 2017 were provided to the developer/petitioner related to the proposed Final Plat (see attached). The engineering review has found the submitted plans in general conformance with the City's requirements and standard engineering practices.

Staff Comments/Recommendation:

Based upon the review of the proposed Final Plat of Subdivision of Anthony Place development, staff believes the submitted plans are consistent with the approved development site plan and the current subdivision control regulations. Therefore, we recommend **approval** of the Final Plat of Subdivision as currently presented.

Proposed Motion:

In consideration of the proposed Final Plat of Subdivision of Anthony Place, the Planning and Zoning Commission recommends approval of the plat to the City Council as presented by the Petitioner in a plan prepared by Manhard Consulting, Ltd., dated last revised June 26, 2017, and further subject to {insert any additional conditions of the Planning and Zoning Commission}...

Attachments:

1. Copy of Petitioner's Application
2. Final Plat of Subdivision of Anthony Place prepared by Manhard Consulting date last revised 06-26-17.
3. EEI Letter to the City dated February 21, 2017 re: GC Housing Development – Engineering Plan Review – 3rd Submittal.



United City of Yorkville
800 Game Farm Road
Yorkville, Illinois, 60560
Telephone: 630-553-4350
Fax: 630-553-7575
Website: www.yorkville.il.us

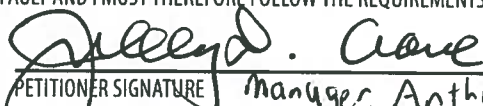
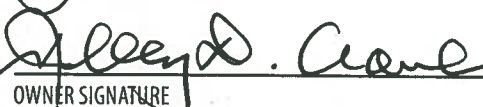
APPLICATION FOR PRELIMINARY PLAN & FINAL PLAT

DATE: 6/21/2017	PZC NUMBER:	DEVELOPMENT NAME: Anthony Place Yorkville Senior Apartments
PETITIONER INFORMATION		
NAME: Jeffrey D. Crane	COMPANY: Anthony Place Yorkville, LP	
MAILING ADDRESS: 343 Wainwright Drive, Suite B		
CITY, STATE, ZIP: Northbrook, IL 60062	TELEPHONE: 847-291-3400	
EMAIL: ablock@craneconstruction.com	FAX: 847-291-1691	
PROPERTY INFORMATION		
NAME OF HOLDER OF LEGAL TITLE: Anthony Place Yorkville, LP		
IF LEGAL TITLE IS HELD BY A LAND TRUST, LIST THE NAMES OF ALL HOLDERS OF ANY BENEFICIAL INTEREST THEREIN:		
PROPERTY STREET ADDRESS: 1050 FREEMONT STREET		
TYPE OF REQUEST:		
<input type="checkbox"/> PRELIMINARY PLAN <input checked="" type="checkbox"/> FINAL PLAT <input type="checkbox"/> AMENDED PRELIMINARY PLAN <input type="checkbox"/> AMENDED FINAL PLAT		
TOTAL LOT ACREAGE: 3.426	CURRENT ZONING CLASSIFICATION: R-4	
ATTACHMENTS		
Petitioner must attach a legal description of the property to this application and title it as "Exhibit A".		
PLEASE SEE ATTACHED		



United City of Yorkville
800 Game Farm Road
Yorkville, Illinois, 60560
Telephone: 630-553-4350
Fax: 630-553-7575
Website: www.yorkville.il.us

APPLICATION FOR PRELIMINARY PLAN & FINAL PLAT

ATTORNEY INFORMATION	
NAME: Matt Keegan	COMPANY: Ward, Murray, Pace & Johnson, P.C.
MAILING ADDRESS: 226 W. River Street, PO Box 404	
CITY, STATE, ZIP: Dixon, IL 61021	TELEPHONE: 815-625-8200
EMAIL: keegan@wmpj.com	FAX: 815-284-0926
ENGINEER INFORMATION	
NAME: QUINTEN HOOGENBOOM, PE	COMPANY: MANHARD CONSULTING, LTD
MAILING ADDRESS: 700 SPRINGER DRIVE	
CITY, STATE, ZIP: LOMBARD, IL 60148	TELEPHONE: 630-925-1053
EMAIL: QHOOGENBOOM@MANHARD.COM	FAX: 630-691-8585
LAND PLANNER/SURVEYOR INFORMATION	
NAME: SAMUEL PHILLIPPE, PLS	COMPANY: MANHARD CONSULTING, LTD
MAILING ADDRESS: 700 SPRINGER DRIVE	
CITY, STATE, ZIP: LOMBARD, IL 60148	TELEPHONE: 630-925-1116
EMAIL: SPHILLIPPE@MANHARD.COM	FAX: 630-691-8585
AGREEMENT	
<p>I VERIFY THAT ALL THE INFORMATION IN THIS APPLICATION IS TRUE TO THE BEST OF MY KNOWLEDGE. I UNDERSTAND AND ACCEPT ALL REQUIREMENTS AND FEES AS OUTLINED AS WELL AS ANY INCURRED ADMINISTRATIVE AND PLANNING CONSULTANT FEES WHICH MUST BE CURRENT BEFORE THIS PROJECT CAN PROCEED TO THE NEXT SCHEDULED COMMITTEE MEETING.</p> <p>I UNDERSTAND ALL OF THE INFORMATION PRESENTED IN THIS DOCUMENT AND UNDERSTAND THAT IF AN APPLICATION BECOMES DORMANT IT IS THROUGH MY OWN FAULT AND I MUST THEREFORE FOLLOW THE REQUIREMENTS OUTLINED ABOVE.</p>	
<p> PETITIONER SIGNATURE <u>manager, Anthony Place Yorkville, LP</u></p>	
<p>OWNER HEREBY AUTHORIZES THE PETITIONER TO PURSUE THE APPROPRIATE ENTITLEMENTS ON THE PROPERTY.</p>	
<p> OWNER SIGNATURE <u>manager, Anthony Place Yorkville, LP</u></p>	



United City of Yorkville
 800 Game Farm Road
 Yorkville, Illinois, 60560
 Telephone: 630-553-4350
 Fax: 630-553-7575
 Website: www.yorkville.il.us

PETITIONER DEPOSIT ACCOUNT/ ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY

PROJECT NUMBER: 2016-0894	FUND ACCOUNT NUMBER:	PROPERTY ADDRESS: 1050 Freemont Street
---------------------------	----------------------	--

APPLICATION/APPROVAL TYPE (check appropriate box(es) of approval requested):

<input type="checkbox"/> CONCEPT PLAN REVIEW	<input type="checkbox"/> AMENDMENT (TEXT)	<input type="checkbox"/> ANNEXATION	<input type="checkbox"/> REZONING
<input type="checkbox"/> SPECIAL USE	<input type="checkbox"/> MILE AND 1/2 REVIEW	<input type="checkbox"/> ZONING VARIANCE	<input type="checkbox"/> PRELIMINARY PLAN
<input type="checkbox"/> FINAL PLANS	<input type="checkbox"/> PLANNED UNIT DEVELOPMENT	<input checked="" type="checkbox"/> FINAL PLAT	

PETITIONER DEPOSIT ACCOUNT FUND:
 It is the policy of the United City of Yorkville to require any petitioner seeking approval on a project or entitlement request to establish a Petitioner Deposit Account Fund to cover all actual expenses occurred as a result of processing such applications and requests. Typical requests requiring the establishment of a Petitioner Deposit Account Fund include, but are not limited to, plan review of development approvals/engineering permits. Deposit account funds may also be used to cover costs for services related to legal fees, engineering and other plan reviews, processing of other governmental applications, recording fees and other outside coordination and consulting fees. Each fund account is established with an initial deposit based upon the estimated cost for services provided in the **INVOICE & WORKSHEET PETITION APPLICATION**. This initial deposit is drawn against to pay for these services related to the project or request. Periodically throughout the project review/approval process, the Financially Responsible Party will receive an invoice reflecting the charges made against the account. At any time the balance of the fund account fall below ten percent (10%) of the original deposit amount, the Financially Responsible Party will receive an invoice requesting additional funds equal to one-hundred percent (100%) of the initial deposit if subsequent reviews/fees related to the project are required. In the event that a deposit account is not immediately replenished, review by the administrative staff, consultants, boards and commissions may be suspended until the account is fully replenished. If additional funds remain in the deposit account at the completion of the project, the city will refund the balance to the Financially Responsible Party. A written request must be submitted by the Financially Responsible Party to the city by the 15th of the month in order for the refund check to be processed and distributed by the 15th of the following month. All refund checks will be made payable to the Financially Responsible Party and mailed to the address provided when the account was established.

ACKNOWLEDGMENT OF FINANCIAL RESPONSIBILITY

NAME: Jeffrey D. Crane	COMPANY: Anthony Place Yorkville, LP
MAILING ADDRESS: 343 Wainwright Drive, Suite B	
CITY, STATE, ZIP: Northbrook, IL 60062	TELEPHONE: 847-291-3400
EMAIL: ablock@craneconstruction.com	FAX: 847-291-3400

FINANCIALLY RESPONSIBLE PARTY:
 I acknowledge and understand that as the Financially Responsible Party, expenses may exceed the estimated initial deposit and, when requested by the United City of Yorkville, I will provide additional funds to maintain the required account balance. Further, the sale or other disposition of the property does not relieve the individual or Company/ Corporation of their obligation to maintain a positive balance in the fund account, unless the United City of Yorkville approves a Change of Responsible Party and transfer of funds. Should the account go into deficit, all City work may stop until the requested replenishment deposit is received.

Jeffrey D. Crane	Manager
_____ PRINT NAME	_____ TITLE
By: <i>Jeffrey D. Crane</i> _____ SIGNATURE	<i>6/20/17</i> _____ DATE

ACCOUNT CLOSURE AUTHORIZATION

DATE REQUESTED: _____

PRINT NAME: _____

SIGNATURE: _____

DEPARTMENT ROUTING FOR AUTHORIZATION:

<input type="checkbox"/> COM. DEV.	<input type="checkbox"/> BUILDING	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> FINANCE	<input type="checkbox"/> ADMIN.
------------------------------------	-----------------------------------	--------------------------------------	----------------------------------	---------------------------------



United City of Yorkville
 800 Game Farm Road
 Yorkville, Illinois, 60560
 Telephone: 630-553-4350
 Fax: 630-553-7575
 Website: www.yorkville.il.us

APPLICATION FOR PRELIMINARY PLAN & FINAL PLAT

INVOICE & WORKSHEET PETITION APPLICATION			
CONCEPT PLAN REVIEW	<input type="checkbox"/> Engineering Plan Review deposit	\$500.00	Total: \$
AMENDMENT	<input type="checkbox"/> Annexation <input type="checkbox"/> Plan <input type="checkbox"/> Plat <input type="checkbox"/> P.U.D.	\$500.00 \$500.00 \$500.00 \$500.00	Total: \$
ANNEXATION	<input type="checkbox"/> \$250.00 + \$10 per acre for each acre over 5 acres _____ - 5 = _____ x \$10 = _____ + \$250 = \$ _____ <small># of Acres Acres over 5 Amount for Extra Acres Total Amount</small>		Total: \$
REZONING	<input type="checkbox"/> \$200.00 + \$10 per acre for each acre over 5 acres <i>If annexing and rezoning, charge only 1 per acre fee; if rezoning to a PUD, charge PUD Development Fee - not Rezoning Fee</i> _____ - 5 = _____ x \$10 = _____ + \$200 = \$ _____ <small># of Acres Acres over 5 Amount for Extra Acres Total Amount</small>		Total: \$
SPECIAL USE	<input type="checkbox"/> \$250.00 + \$10 per acre for each acre over 5 acres _____ - 5 = _____ x \$10 = _____ + \$250 = \$ _____ <small># of Acres Acres over 5 Amount for Extra Acres Total Amount</small>		Total: \$
ZONING VARIANCE	<input type="checkbox"/> \$85.00 + \$500.00 outside consultants deposit		Total: \$
PRELIMINARY PLAN FEE	<input type="checkbox"/> \$500.00		Total: \$
PUD FEE	<input type="checkbox"/> \$500.00		Total: \$
FINAL PLAT FEE	<input type="checkbox"/> \$500.00		Total: \$
ENGINEERING PLAN REVIEW DEPOSIT	<input type="checkbox"/> Less than 1 acre <input type="checkbox"/> Over 1 acre, less than 10 acres <input type="checkbox"/> Over 10 acres, less than 40 acres <input type="checkbox"/> Over 40 acres, less than 100 acres <input type="checkbox"/> Over 100 acres	\$1,000.00 \$2,500.00 \$5,000.00 \$10,000.00 \$20,000.00	Total: \$
OUTSIDE CONSULTANTS DEPOSIT	<i>Legal, land planner, zoning coordinator, environmental services</i> For Annexation, Subdivision, Rezoning, and Special Use: <input type="checkbox"/> Less than 2 acres <input type="checkbox"/> Over 2 acres, less than 10 acres <input type="checkbox"/> Over 10 acres		Total: \$
TOTAL AMOUNT DUE:			

EXHIBIT A

ANTHONY PLACE LEGAL DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF GUTHRIE SUBDIVISION; THENCE NORTH 83 DEGREES 38 MINUTES 03 SECONDS WEST ALONG THE CENTERLINE OF WALNUT STREET, A DISTANCE OF 330.00 FEET TO THE SOUTHERLY EXTENSION OF THE WEST LINE OF LOT 1 IN THE WALNUT STREET ADDITION SUBDIVISION RECORDED AS DOCUMENT 884010 AND THE POINT OF BEGINNING; THENCE NORTH 06 DEGREES 21 MINUTES 12 SECONDS EAST ALONG SAID WEST LINE, A DISTANCE OF 468.05 FEET TO THE NORTHERLY MOST SOUTHERLY LOT LINE OF LOT 11 IN LONGFORD LAKES SUBDIVISION RECORDED AS DOCUMENT 200300012398; THENCE ALONG THE NORTHERLY MOST SOUTHERLY LOT LINE AND THE WESTERLY MOST EASTERLY LOT LINE OF SAID LOT 11 FOR THE FOLLOWING 3 COURSES: 1) THENCE NORTH 83 DEGREES 40 MINUTES 53 SECONDS WEST, A DISTANCE OF 77.05 FEET; 2) THENCE WESTERLY ALONG A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 533.31 FEET, SUBTENDING A CHORD BEARING SOUTH 82 DEGREES 12 MINUTES 58 SECONDS WEST, AN ARC DISTANCE OF 263.51 FEET; 3) THENCE SOUTH 06 DEGREES 22 MINUTES 15 SECONDS WEST, A DISTANCE OF 404.22 FEET TO SAID CENTERLINE; THENCE SOUTH 83 DEGREES 38 MINUTES 03 SECONDS EAST, A DISTANCE OF 330.11 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF THE VILLAGE OF YORKVILLE, KENDALL COUNTY, ILLINOIS.

WALNUT STREET DEDICATION LEGAL DESCRIPTION

THE SOUTH 33.00 FEET OF THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF GUTHRIE SUBDIVISION; THENCE NORTH 83 DEGREES 38 MINUTES 03 SECONDS WEST ALONG THE CENTERLINE OF WALNUT STREET, A DISTANCE OF 330.00 FEET TO THE SOUTHERLY EXTENSION OF THE WEST LINE OF LOT 1 IN THE WALNUT STREET ADDITION SUBDIVISION RECORDED AS DOCUMENT 884010 AND THE POINT OF BEGINNING; THENCE NORTH 06 DEGREES 21 MINUTES 12 SECONDS EAST ALONG SAID WEST LINE, A DISTANCE OF 468.05 FEET TO THE NORTHERLY MOST SOUTHERLY LOT LINE OF LOT 11 IN LONGFORD LAKES SUBDIVISION RECORDED AS DOCUMENT 200300012398; THENCE ALONG THE NORTHERLY MOST SOUTHERLY LOT LINE AND THE WESTERLY MOST EASTERLY LOT LINE OF SAID LOT 11 FOR THE FOLLOWING 3 COURSES: 1) THENCE NORTH 83 DEGREES 40 MINUTES 53 SECONDS WEST, A DISTANCE OF 77.05 FEET; 2) THENCE WESTERLY ALONG A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 533.31 FEET, SUBTENDING A CHORD BEARING SOUTH 82 DEGREES 12 MINUTES 58 SECONDS WEST, AN ARC DISTANCE OF 263.51 FEET; 3) THENCE SOUTH 06 DEGREES 22 MINUTES 15 SECONDS WEST, A DISTANCE OF 404.22 FEET TO SAID CENTERLINE; THENCE SOUTH 83 DEGREES 38 MINUTES 03 SECONDS EAST, A DISTANCE OF 330.11 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF THE VILLAGE OF YORKVILLE, KENDALL COUNTY, ILLINOIS.

ANTHONY PLACE LEGAL DESCRIPTION (EXCLUDING RIGHT-OF-WAY):

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF GUTHRIE SUBDIVISION; THENCE NORTH 83 DEGREES 38 MINUTES 03 SECONDS WEST ALONG THE CENTERLINE OF WALNUT STREET, A DISTANCE OF 330.00 FEET TO THE SOUTHERLY EXTENSION OF THE WEST LINE OF LOT 1 IN THE WALNUT STREET ADDITION SUBDIVISION RECORDED AS DOCUMENT 884010 AND THE POINT OF BEGINNING; THENCE NORTH 06 DEGREES 21 MINUTES 12 SECONDS EAST ALONG SAID WEST LINE, A DISTANCE OF 468.05 FEET TO THE NORTHERLY MOST SOUTHERLY LOT LINE OF LOT 11 IN LONGFORD LAKES SUBDIVISION RECORDED AS DOCUMENT 200300012398; THENCE ALONG THE NORTHERLY MOST SOUTHERLY LOT LINE AND THE WESTERLY MOST EASTERLY LOT LINE OF SAID LOT 11 FOR THE FOLLOWING 3 COURSES: 1) THENCE NORTH 83 DEGREES 40 MINUTES 53 SECONDS WEST, A DISTANCE OF 77.05 FEET; 2) THENCE WESTERLY ALONG A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 533.31 FEET, SUBTENDING A CHORD BEARING SOUTH 82 DEGREES 12 MINUTES 58 SECONDS WEST, AN ARC DISTANCE OF 263.51 FEET; 3) THENCE SOUTH 06 DEGREES 22 MINUTES 15 SECONDS WEST, A DISTANCE OF 404.22 FEET TO SAID CENTERLINE; THENCE SOUTH 83 DEGREES 38 MINUTES 03 SECONDS EAST, A DISTANCE OF 330.11 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF THE VILLAGE OF YORKVILLE, KENDALL COUNTY, ILLINOIS. EXCLUDING THE SOUTH 33.00 FEET THEREOF.

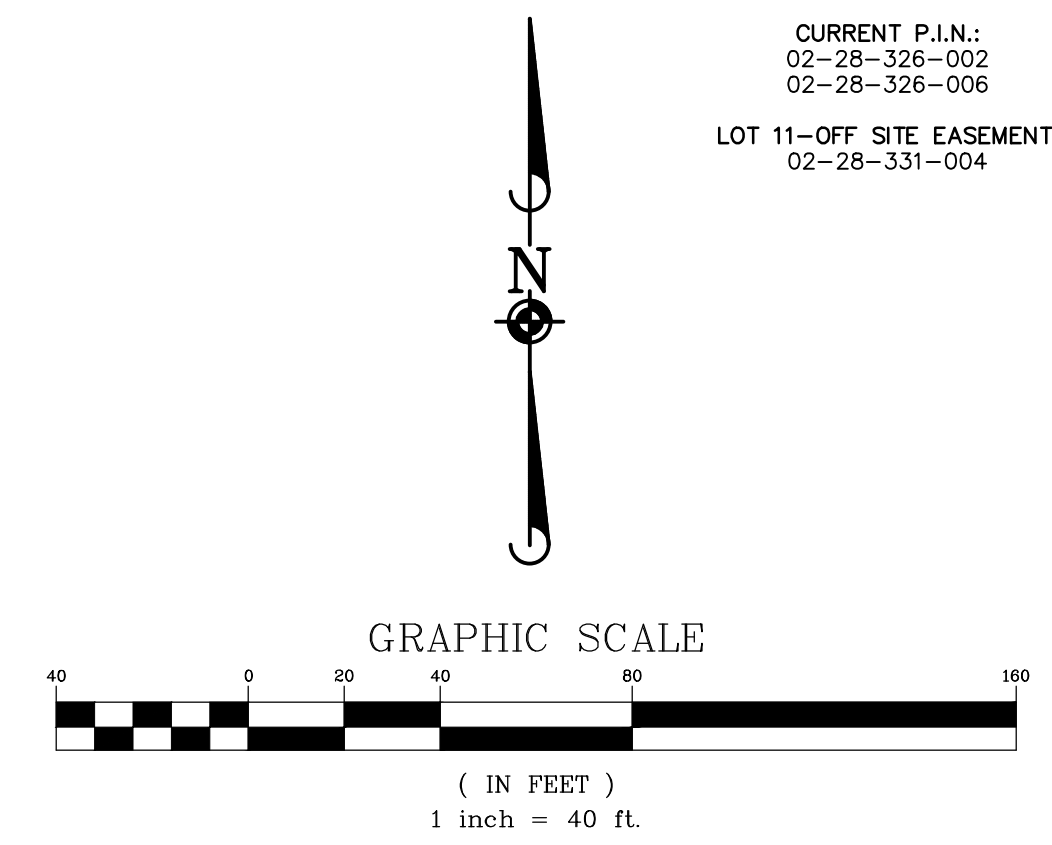
SURVEY PREPARED FOR

GC HOUSING DEVELOPMENT
343 WAINWRIGHT DRIVE
NORTHBROOK, ILLINOIS 60062

**FINAL PLAT OF SUBDIVISION
OF
ANTHONY PLACE**

BEING PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KENDALL COUNTY, ILLINOIS

CURRENT P.I.N.:
02-28-328-002
02-28-328-006
LOT 11-OFF SITE EASEMENT:
02-28-331-004



BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE ILLINOIS STATE PLANE COORDINATE SYSTEM OF 1983, EAST ZONE-2011 ADJUSTMENT, ADJUSTED TO GROUND VALUES, AS ESTABLISHED UTILIZING TRIMBLE VRS REAL-TIME KINEMATIC (RTK) GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS)

SURVEY AREA

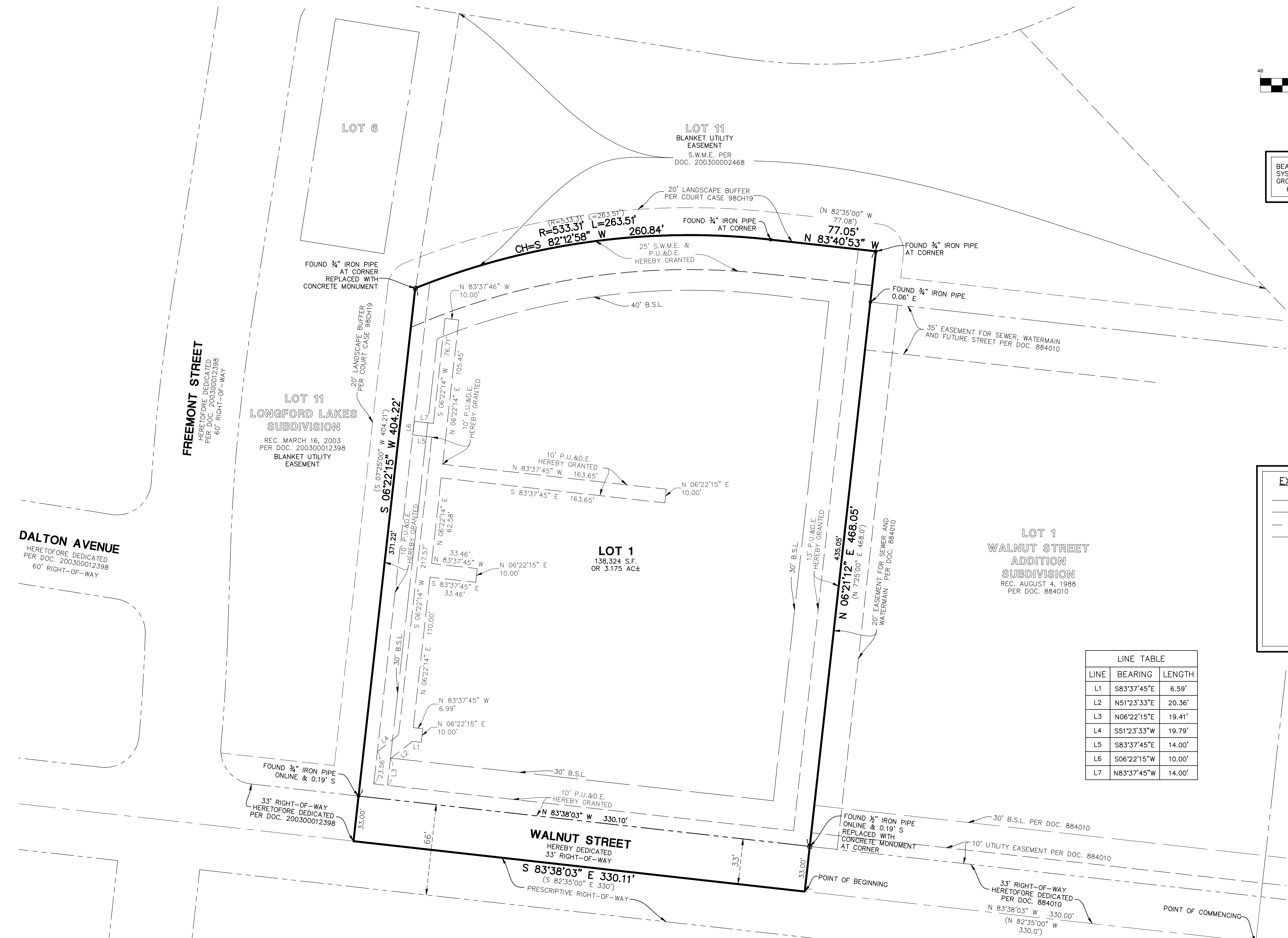
LOT 1: 138,324 SQ. FT. (3.175 ACRES ±)
WALNUT ST DEDICATION: 10,893 SQ. FT. (0.251 ACRES ±)
TOTAL: 149,217 SQ. FT. (3.428 ACRES ±)

LEGEND

EXISTING	PROPOSED
	PROPERTY LINE
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	B.S.L. BUILDING SETBACK LINE
	P.U. & D.E. PUBLIC UTILITY & DRAINAGE EASEMENT
	S.W.M.E. STORMWATER MANAGEMENT EASEMENT
XXX.XX	MEASURED INFORMATION
(XXX.XX)	RECORD INFORMATION

LINE TABLE

LINE	BEARING	LENGTH
L1	S83°37'45"E	6.59'
L2	N51°23'33"E	20.36'
L3	N06°22'15"E	19.41'
L4	S51°23'33"W	19.79'
L5	S83°37'45"E	14.00'
L6	S06°22'15"W	10.00'
L7	N83°37'45"W	14.00'



SURVEYOR'S NOTES

1. ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
2. DIMENSIONS ALONG CURVED LINES ARE ARC LENGTHS.
3. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
4. THERE MAY BE ADDITIONAL TERMS, POWERS, PROVISIONS AND LIMITATIONS CONTAINED IN AN ABSTRACT DEED, LOCAL ORDINANCES, DEEDS, TRUSTS, COVENANTS OR OTHER INSTRUMENTS OF RECORD.
5. DENOTES CONCRETE MONUMENTS.
6. IN ACCORDANCE WITH CHAPTER 765 ILCS SECTION 205/1, 5/8" X 24" LONG IRON RODS WILL BE SET AT ALL LOT CORNERS AND POINTS OF GEOMETRIC CHANGE UNLESS SHOWN OTHERWISE.

DATE	REVISIONS	S.P.	S.P.

Manhard CONSULTING LTD.
700 Riverside Plaza, Suite 1000, Yorkville, IL 60595
Civil Engineers • Surveyors • Wetland Resource Engineers • Water & Wastewater Engineers
Construction Managers • Environmental Scientists • Landscape Architects • Planners

**ANTHONY PLACE
YORKVILLE, ILLINOIS
FINAL PLAT OF SUBDIVISION**

PROJ. MGR.: S.P.
PROJ. ASSOC.: S.P.
DRAWN BY: S.P.
DATE: 10-27-16
SCALE: 1"=40'
SHEET
1 OF 2
CRA.VYLO1

FINAL PLAT OF SUBDIVISION OF ANTHONY PLACE

BEING PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KENDALL COUNTY, ILLINOIS

OWNER'S CONSENT

STATE OF ILLINOIS)) SS COUNTY OF KENDALL)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS (ARE) THE OWNER(S) OF THE PROPERTY DESCRIBED ON THE ATTACHED PLAT AND HAS (HAVE) CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED AND PLATTED AS SHOWN BY THE PLAT FOR THE USES AND PURPOSES AS INDICATED THEREON, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

THE UNDERSIGNED HEREBY DEDICATES FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT FOR THROUGHFARES, STREETS, ALLEYS AND PUBLIC SERVICES; AND HEREBY ALSO RESERVES FOR ANY ELECTRIC, GAS, TELEPHONE, CABLE TV OR OTHER TELECOMMUNICATIONS COMPANY UNDER FRANCHISE AGREEMENT WITH THE UNITED CITY OF YORKVILLE, THEIR SUCCESSORS AND ASSIGNS, THE EASEMENT PROVISIONS WHICH ARE STATED HEREON.

THE UNDERSIGNED FURTHER CERTIFIES THAT ALL OF THE LAND INCLUDED IN THIS PLAT LIES WITHIN THE BOUNDARIES OF YORKVILLE COMMUNITY UNIT SCHOOL DISTRICT 115 AND COMMUNITY COLLEGE DISTRICT 516.

WITNESS MY (OUR) HAND AND SEAL AT (TOWN) (STATE) THIS DAY OF 20

THIS DAY OF 20

OWNER (PRINTED NAME) OWNER (PRINTED NAME)

NOTARY PUBLIC

STATE OF)) SS COUNTY OF)

I, NOTARY PUBLIC IN AND FOR THE STATE

AND COUNTY AFORESAID, HEREBY CERTIFY THAT

AND PERSONALLY KNOW TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS(ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THE EXECUTION OF THE ANNEXED PLAT AND ACCOMPANYING INSTRUMENTS FOR THE USES AND PURPOSES THEREIN SET FORTH AS HIS (HER)(THEIR) FREE AND VOLUNTARY ACT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS DAY OF 20

NOTARY PUBLIC

CITY ADMINISTRATOR'S CERTIFICATE

STATE OF ILLINOIS)) SS COUNTY OF KENDALL)

APPROVED AND ACCEPTED BY THE CITY ADMINISTRATOR OF THE UNITED CITY OF YORKVILLE, ILLINOIS, THIS DAY OF 20

CITY ADMINISTRATOR

CITY PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)) SS COUNTY OF KENDALL)

APPROVED AND ACCEPTED BY THE PLAN COMMISSION OF THE UNITED CITY OF YORKVILLE, ILLINOIS, THIS DAY OF 20

CHAIRMAN

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)) SS COUNTY OF KENDALL)

APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL OF THE UNITED CITY OF YORKVILLE, ILLINOIS, THIS DAY OF 20

MAYOR

CITY CLERK'S CERTIFICATE

STATE OF ILLINOIS)) SS COUNTY OF KENDALL)

APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL OF THE UNITED CITY OF YORKVILLE, ILLINOIS, BY ORDINANCE No. AT A MEETING HELD THIS DAY OF 2016.

CITY CLERK

CITY ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)) SS COUNTY OF KENDALL)

I, CITY ENGINEER FOR THE UNITED CITY OF YORKVILLE, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THE REQUIRED GUARANTEE COLLATERAL HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED IMPROVEMENTS.

DATED AT YORKVILLE, ILLINOIS THIS DAY OF 20

CITY ENGINEER

STORMWATER MANAGEMENT EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE UNITED CITY OF YORKVILLE AND TO ITS SUCCESSORS AND ASSIGNS OVER ALL OF THE AREAS MARKED "STORMWATER MANAGEMENT EASEMENT" ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE STORM SEWERS AND THE STORMWATER MANAGEMENT AREA, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, SANITARY SEWERS, WATERMANS, ELECTRIC AND COMMUNICATION CABLES, CONNECTIONS, DITCHES, SWALES, AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID CITY, OVER, UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, NO CHANGE TO THE TOPOGRAPHY OR STORMWATER MANAGEMENT STRUCTURES WITHIN THE EASEMENT AREA SHALL BE MADE WITHOUT THE EXPRESS WRITTEN CONSENT OF THE CITY ENGINEER, BUT SAME MAY BE USED FOR PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

THE OWNER OF THE PROPERTY SHALL REMAIN RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER MANAGEMENT AREA AND APPURTENANCES. THE CITY OF YORKVILLE WILL PERFORM ONLY EMERGENCY PROCEDURES AS DEEMED NECESSARY BY THE CITY ENGINEER OF THE UNITED CITY OF YORKVILLE.

PUBLIC UTILITY & DRAINAGE EASEMENT PROVISIONS

A NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO AT&T, NICOR, COMMONWEALTH EDISON, FRANCHISE CABLE COMPANY, OTHER PUBLIC UTILITIES, AND HOLDERS OF EXISTING FRANCHISES GRANTED BY THE CITY OF YORKVILLE, ILLINOIS, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS WITHIN THE AREAS SHOWN ON THE PLAT AS "PUBLIC UTILITY & DRAINAGE EASEMENT" (P.U. & D.E.) TO CONSTRUCT, INSTALL, RECONSTRUCT, REPAIR, REMOVE, REPLACE, INSPECT, MAINTAIN AND OPERATE UNDERGROUND TRANSMISSION AND DISTRIBUTION SYSTEMS AND LINES UNDER THE SURFACE OF THE "PUBLIC UTILITY & DRAINAGE EASEMENT", INCLUDING WITHOUT LIMITATION TO TELEPHONE CABLE, GAS MAINS, ELECTRIC LINES, CABLE TELEVISION LINES, AND ALL NECESSARY FACILITIES APPURTENANT THERETO, TOGETHER WITH THE RIGHT OF ACCESS THERETO FOR THE PERSONNEL AND EQUIPMENT NECESSARY AND REQUIRED FOR SUCH USES AND PURPOSES AND TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS UNDER THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS THEREON.

A NON-EXCLUSIVE EASEMENT IS ALSO HEREBY RESERVED FOR AND GRANTED TO THE UNITED CITY OF YORKVILLE, ILLINOIS TO CONSTRUCT, INSTALL, RECONSTRUCT, REPAIR, REMOVE, REPLACE AND INSPECT FACILITIES FOR THE TRANSMISSION AND DISTRIBUTION OF WATER, STORM SEWERS, SANITARY SEWERS AND ELECTRICITY, WITHIN THE AREAS SHOWN ON THE PLAT AS "PUBLIC UTILITY & DRAINAGE EASEMENT", TOGETHER WITH A RIGHT OF ACCESS THERETO FOR THE PERSONNEL AND EQUIPMENT NECESSARY AND REQUIRED FOR SUCH USES AND PURPOSES.

THE ABOVE NAMED ENTITIES ARE HEREBY GRANTED THE RIGHT TO ENTER UPON EASEMENTS HEREIN DESCRIBED FOR THE USES HEREIN SET FORTH AND THE RIGHT TO CUT, TRIM, OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS WITHIN THE AREAS DESIGNATED AS "PUBLIC UTILITY AND DRAINAGE EASEMENT" WHICH INTERFERE WITH THE CONSTRUCTION, INSTALLATION, RECONSTRUCTION, REPAIR, REMOVAL, REPLACEMENT, MAINTENANCE AND OPERATION OF THEIR UNDERGROUND TRANSMISSION AND DISTRIBUTION SYSTEMS AND FACILITIES APPURTENANT THERETO. NO PERMANENT BUILDINGS, STRUCTURES, OR OBSTRUCTIONS SHALL BE CONSTRUCTED IN, UPON, OR OVER ANY AREAS DESIGNATED AS "PUBLIC UTILITY & DRAINAGE EASEMENT", BUT SUCH AREAS MAY BE USED FOR GARDENS, SHRUBS, TREES, LANDSCAPING, DRIVEWAYS, AND OTHER RELATED PURPOSES THAT DO NOT UNREASONABLY INTERFERE WITH THE USES HEREIN DESCRIBED.

THE OCCUPATION AND USE OF THE NON-EXCLUSIVE EASEMENT HEREIN GRANTED AND RESERVED FOR THE ABOVE NAMED ENTITIES BY EACH OF SUCH ENTITIES SHALL BE DONE IN SUCH A MANNER SO AS NOT TO INTERFERE WITH OR PRECLUDE THE OCCUPATION AND USE THEREOF BY OTHER ENTITIES FOR WHICH SUCH EASEMENTS ARE GRANTED AND RESERVED. THE CROSSING AND RE-CROSSING OF SAID EASEMENTS BY THE ABOVE NAMED ENTITIES SHALL BE DONE IN SUCH A MANNER SO AS NOT TO INTERFERE WITH, DAMAGE, OR DISTURB ANY TRANSMISSION AND DISTRIBUTION SYSTEMS AND FACILITIES APPURTENANT THERETO EXISTING WITHIN THE EASEMENTS BEING CROSSED OR RE-CROSSED. NO USE OR OCCUPATION OF SAID EASEMENTS BY THE ABOVE NAMED ENTITIES SHALL CAUSE ANY CHANGE IN GRADE OR IMPAIR OR CHANGE THE SURFACE DRAINAGE PATTERNS.

FOLLOWING ANY WORK TO BE PERFORMED BY THE UNITED CITY OF YORKVILLE IN THE EXERCISE OF ITS EASEMENT RIGHTS HEREIN GRANTED, SAID CITY SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION, INCLUDING BUT NOT LIMITED TO, THE RESTORATION, REPAIR OR REPLACEMENT OF PAVEMENT, CURB, GUTTERS, TREES, LAWN OR SHRUBBERY, PROVIDED, HOWEVER, THAT SAID CITY SHALL BE OBLIGATED, FOLLOWING SUCH MAINTENANCE WORK, TO BACKFILL AND MOUND ALL TRENCH CREATED SO AS TO RETAIN SUITABLE DRAINAGE, TO COLD PATCH ANY ASPHALT OR CONCRETE SURFACE, TO REMOVE ALL EXCESS DEBRIS AND SPOIL, AND TO LEAVE THE MAINTENANCE AREA IN A GENERALLY CLEAN AND WORKMANLIKE CONDITION.

KENDALL COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)) S.S. COUNTY OF KENDALL)

I, COUNTY CLERK OF KENDALL COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT YORKVILLE, ILLINOIS,

THIS DAY OF A.D. 20

COUNTY CLERK

KENDALL COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)) S.S. COUNTY OF KENDALL)

THIS INSTRUMENT WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KENDALL COUNTY, ILLINOIS, ON THIS DAY OF

A.D. 20 AT O'CLOCK M., AND WAS RECORDED IN BOOK OF PLATS

ON PAGE

BY: RECORDER OF DEEDS

SURFACE WATER STATEMENT

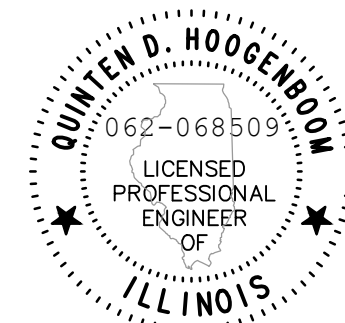
STATE OF ILLINOIS)) S.S. COUNTY OF DUPAGE)

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS DAY OF 2017.

QUINTEN D. HOOGENBOOM ILLINOIS REGISTERED PROFESSIONAL ENGINEER ILLINOIS REGISTRATION NUMBER 062-068509 LICENSE EXPIRES NOVEMBER 30, 2017

OWNER: ATTORNEY:



PERMISSION TO RECORD

STATE OF ILLINOIS)) SS COUNTY OF DUPAGE)

I, SAMUEL J. PHILIPPE, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY GRANT PERMISSION TO PROVIDE THIS SURVEYOR WITH A RECORDED COPY OF THIS PLAT.

DATED THIS DAY OF A.D. 2017.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003699 LICENSE EXPIRES NOVEMBER 30, 2018



SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)) S.S. COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, SAMUEL J. PHILIPPE, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003699, AT THE REQUEST OF THE OWNER(S) THEREOF, HAVE SURVEYED, SUBDIVIDED AND PLATTED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF GUTHRIE SUBDIVISION; THENCE NORTH 83 DEGREES 38 MINUTES 03 SECONDS WEST ALONG THE CENTERLINE OF WALNUT STREET, A DISTANCE OF 330.10 FEET TO THE SOUTHERLY EXTENSION OF THE WEST LINE OF LOT 1 IN THE WALNUT STREET ADDITION SUBDIVISION RECORDED AS DOCUMENT 884010 AND THE POINT OF BEGINNING; THENCE NORTH 06 DEGREES 21 MINUTES 12 SECONDS EAST ALONG SAID WEST LINE, A DISTANCE OF 468.05 FEET TO THE NORTHERLY MOST SOUTHERLY LOT LINE OF LOT 11 IN LONGFORD LAKES SUBDIVISION RECORDED AS DOCUMENT 200300012398; THENCE ALONG THE NORTHERLY MOST SOUTHERLY LOT LINE AND THE WESTERLY MOST EASTERLY LOT LINE OF SAID LOT 11 FOR THE FOLLOWING 3 COURSES: 1) THENCE NORTH 83 DEGREES 40 MINUTES 53 SECONDS WEST, A DISTANCE OF 77.05 FEET; 2) THENCE WESTERLY ALONG A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 533.31 FEET, SUBTENDING A CHORD BEARING SOUTH 82 DEGREES 12 MINUTES 58 SECONDS WEST, AN ARC DISTANCE OF 263.51 FEET; 3) THENCE SOUTH 06 DEGREES 22 MINUTES 15 SECONDS WEST, A DISTANCE OF 404.22 FEET TO SAID CENTERLINE; THENCE SOUTH 83 DEGREES 38 MINUTES 03 SECONDS EAST, A DISTANCE OF 330.11 FEET TO THE POINT OF BEGINNING, IN THE UNITED CITY OF THE VILLAGE OF YORKVILLE, KENDALL COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN IS A CORRECT AND ACCURATE REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT NO PART OF THE ABOVE DESCRIBED PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY BASED ON FIRM 17093C0039H, DATED, JANUARY 8, 2014. ALL OF THE PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

I FURTHER CERTIFY THAT ALL SUBDIVISION MONUMENTS WILL BE SET AND I HAVE DESCRIBED THEM ON THIS FINAL PLAT AS REQUIRED BY THE PLAT ACT (765 ILCS 205/). THE EXTERIOR SUBDIVISION MONUMENTS HAVE BEEN SET AND INTERIOR MONUMENTS WILL BE SET WITHIN 12 MONTHS OF THE RECORDING OF THIS PLAT (SECTION 1270-56 OF THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT OF 1989)

I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE UNITED CITY OF YORKVILLE, ILLINOIS, WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS AMENDED.

DATED THIS DAY OF 2017.

FOR REVIEW ONLY

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003699 LICENSE EXPIRES NOVEMBER 30, 2018

DESIGN FIRM PROFESSIONAL LICENSE NO. 184003350 LICENSE EXPIRES APRIL 30, 2019

DATE OF FIELD SURVEY: OCTOBER 11, 2016

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



Table with columns for DATE, REVISIONS, and DRAWN BY.

Manhard Consulting Ltd. logo and contact information: 700 Riverside Plaza, Suite 1000, Yorkville, IL 62458. Services include Surveyors, Water Resource Engineers, Wetland & Wetland Engineers, Civil Engineers, Surveyors, Wear Resource Engineers, Water & Wastewater Engineers, Construction Managers, Environmental Scientists, Landscape Architects, Planners.

ANTHONY PLACE YORKVILLE, ILLINOIS FINAL PLAT OF SUBDIVISION SHEET 2 OF 2 CRA.Y1L01

June 7, 2017 -- 16:22 Day Name: P:\Crad001\Gard\Surv\Final_Dominion\Plat_of_Subdivision\CRA.Y1L01-05.dwg Updated By: S.Philippe



February 21, 2017

Ms. Krysti Barksdale-Noble
Community Development Director
United City of Yorkville
800 Game Farm Road
Yorkville, IL 60560

**Re: GC Housing Development
Engineering Plan Review – 3rd Submittal
United City of Yorkville, Kendall County, Illinois**

Krysti:

We are in receipt of the following items for the above referenced project:

- Final Engineering Plans (12 sheets) revised 01/27/17 and prepared by Manhard Consulting
- Landscaping Plans (2 sheets), revised 01/17/17
- Tree Preservation Plans (2 sheets), revised 01/06/17
- Plat of Subdivision (2 sheets), revised 01/05/17
- Site Lighting Calculations (1 sheet), dated 10/27/16

Our review of these plans is to generally determine the plan's compliance with United City of Yorkville ordinances and whether the improvements will conform to existing City systems and equipment. This review and our comments do no relieve the designers from their duty to conform to all required codes, regulations, and acceptable standards of engineering practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review. We cannot and do not assume responsibility for design errors or omissions in the plans. As such, we offer the following comments:

1. We find the Engineering Plans to be in general conformance with City requirements and standard engineering practice.
2. All review items for the Landscaping Plans have been addressed. Please see the attached letter from PRI.
3. The estimated fees are as shown in the attached Fee Calculator Spreadsheet. This was previously provided as part of our January 4, 2017 review letter.
4. Prior to the start of construction, the following items need to be addressed:
 - A preconstruction meeting with City staff needs to be held
 - A performance guarantee in the amount of **\$208,868.00** (120% x \$174,056.58) is to be on file with the City.
 - All necessary City Building Department permits and sign-offs need to be obtained

Ms. Krysti Barksdale-Noble
February 21, 2017
Page 2

If you have any questions or require additional information, please contact our office.

Respectfully submitted,

ENGINEERING ENTERPRISES, INC.


Bradley P. Sanderson, P.E.
Vice President

BPS/bcs

pc: Mr. Bart Olson, City Administrator (via email)
Ms. Erin Willrett, Interim Assistant City Administrator (via email)
Mr. Jason Engberg, Senior Planner (via email)
Mr. Eric Dhuse, Director of Public Works (via email)
Mr. Pete Ratos, Building Department (via email)
Ms. Dee Weinert, Admin Assistant (via email)
Ms. Lisa Pickering, Deputy Clerk (via email)
Mr. Quinten Hoogenboom, Manhard Consulting (via email)
TNP, JAM, EEI (via email)



**PLANNING
RESOURCES INC.**

402 West Liberty Drive
Wheaton, Illinois 60187
Web: www.plunres.com
P: 630.668.3788
F: 630.668.4125

Memorandum

PP13032-27

To: Brad Sanderson, Engineering Enterprises, Inc.
Timothy Paulson, P.E., CFM

From: Planning Resources Inc.

Date: February 17, 2017

Subject: GC Housing Development
Landscape Review #2

Items Reviewed:

Per your request, Planning Resources has reviewed the above-referenced documentation for compliance with requirements of the City of Yorkville.

- Landscape review comments dated 12-22-16 by PRI
- Landscape Plan, dated 1-17-17, by Manhard Consulting Ltd.

Review Comments

All landscape comments from our previous review #1 have been satisfactorily addressed. It is therefore, our opinion is the proposed landscape plan is in conformance with the City of Yorkville landscape code.

With respect,

Keven L. Graham, ASLA, RLA
Principal/Landscape Architect

PLANNERS
ECOLOGISTS
LANDSCAPE
ARCHITECTS

Plan Fee, Deposit, & Construction Guarantee Calculator

Development: GC Housing - Anthony Place
 Date: 1/3/17
 Total acreage: 3.43 acres

	<u>Earthwork</u>	<u>Erosion Control</u>	<u>Sitework</u>	<u>Landscaping</u>	<u>Total</u>
Approved cost estimate	\$172,925.00	\$21,667.50	\$583,640.75	\$80,000.00	\$858,233.25
Review fee (1)	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Coordination fee (2)	\$605.24	\$75.84	\$2,042.74	\$280.00	\$3,003.82
Administration fee (3)	\$3,026.19	\$379.18	\$10,213.71	\$1,400.00	\$15,019.08
Water fee (4)			\$38.45		\$38.45
Public Streetlight Maintenance Deposit (5)					\$0.00
Street Cleaning Deposit (6)					\$1,000.00
Weather Warning Siren Fee (7)					\$257.25
Stormwater Permit Fee (8)					\$100.00
Fee/Deposit total					\$19,418.60

Required Bond/OC Amounts \$208,868.00 for site development permit
\$0.00 for remaining sitework

- Notes: 1) Review fee is 1.25% of approved cost estimate unless review is performed by consultant.
 2) Coordination fee is 0.35% of approved cost estimate when review is by consultant.
 3) Administration fee is 1.75% of approved cost estimate
 4) Water fee is based on \$0.01 per gallon and assumes that the system will be flushed 2.5 times.
 5) Streetlight Normal Maintenance deposit is calculated at \$300 per pole.
 6) Street cleaning deposit to be applied for all developments that include new streets or connect directly to public roadways.
 7) Weather Warning Siren Fee is \$75.00 per gross acre of the development.
 8) Permit fee is \$100 per application per ordinance 8-7-1.

<u>Work Category Summary</u>	<u>Length (feet)</u>	<u>Dia (inches)</u>	<u>Volume (gal)</u>	<u>Water fee calculation</u>	<u>Fee</u>
Grading	\$172,925.00				
Erosion Control	\$21,667.50	118	6	173	\$4.33
Site Preparation/Demolition	\$0.00	523	8	1365	\$34.12
Paving/Signage	\$188,214.75	0	10	0	\$0.00
Storm	\$250,000.00	0	12	0	\$0.00
Sanitary	\$23,384.00	0	16	0	\$0.00
Water	\$72,042.00				
Site Lighting	\$50,000.00				
Landscaping	\$80,000.00				
<u>Total</u>	<u>\$858,233.25</u>				<u>\$38.45</u>
<u>Total (Public & SE Improvements)</u>	<u>\$174,056.58</u>				

Refundable Deposit Calculations:
Streetlight Normal Maintenance
 Number of Poles: 0
 Deposit Amount: \$0.00
Street Cleaning
 Lump Sum deposit of: \$1,000.00