



United City of Yorkville

800 Game Farm Road

Yorkville, Illinois 60560

Telephone: 630-553-4350

www.yorkville.il.us

AGENDA ECONOMIC DEVELOPMENT COMMITTEE MEETING

Tuesday, June 6, 2017

6:00 p.m.

City Hall Conference Room
800 Game Farm Road, Yorkville, IL

Citizen Comments:

Minutes for Correction/Approval: May 2, 2017

New Business:

1. EDC 2017-35 Building Permit Report for April 2017
2. EDC 2017-36 Building Inspection Report for April 2017
3. EDC 2017-37 Property Maintenance Report for April 2017
4. EDC 2017-38 Economic Development Update
5. EDC 2017-39 Semper Fi Land Inc. – Special Use Request – 1.5 Mile Review
6. EDC 2017-40 Selection of Committee Liaisons
7. EDC 2017-41 Meeting Dates

Old Business:

1. EDC 2017-20 Vacant Building Registration Program

Additional Business:

2017/2018 City Council Goals – Economic Development Committee

Goal	Priority	Staff
“Downtown Planning”	1	Bart Olson & Krysti Barksdale-Noble
“Southside Development”	2	Bart Olson & Krysti Barksdale-Noble
“Manufacturing and Industrial Development”	4	Krysti Barksdale-Noble
“Revenue Growth”	9	Krysti Barksdale-Noble
“Capital Improvement Plan”	11	Bart Olson & Krysti Barksdale-Noble
“Community Entrance Signage and Wayfinding”	14	Krysti Barksdale-Noble

UNITED CITY OF YORKVILLE
WORKSHEET
ECONOMIC DEVELOPMENT COMMITTEE
Tuesday, June 6, 2017
6:00 PM
CITY HALL CONFERENCE ROOM

CITIZEN COMMENTS:

MINUTES FOR CORRECTION/APPROVAL:

1. May 2, 2017

- ☐ Approved _____
- ☐ As presented
- ☐ With corrections

NEW BUSINESS:

1. EDC 2017-35 Building Permit Report for April 2017

- ☐ Moved forward to CC _____ consent agenda? Y N
 - ☐ Approved by Committee _____
 - ☐ Bring back to Committee _____
 - ☐ Informational Item
 - ☐ Notes _____
-
-

2. EDC 2017-36 Building Inspection Report for April 2017

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

3. EDC 2017-37 Property Maintenance Report for April 2017

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

4. EDC 2017-38 Economic Development Update

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

5. EDC 2017-39 Semper Fi Land – Special Use Request – 1.5 Mile Review

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

6. EDC 2017-40 Selection of Committee Liaisons

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

7. EDC 2017-41 Meeting Dates

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

OLD BUSINESS:

1. EDC 2017-20 Vacant Building Registration Program

☐ Moved forward to CC _____ consent agenda? Y N

☐ Approved by Committee _____

☐ Bring back to Committee _____

☐ Informational Item

☐ Notes _____

ADDITIONAL BUSINESS:



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Minutes

Tracking Number

Agenda Item Summary Memo

Title: Minutes of the Economic Development Committee – May 2, 2017

Meeting and Date: Economic Development Committee – June 6, 2017

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Committee Approval

Submitted by: _____ Minute Taker

Name

Department

Agenda Item Notes:

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at <http://www.yorkville.il.us/320/City-Council>

DRAFT

UNITED CITY OF YORKVILLE ECONOMIC DEVELOPMENT COMMITTEE

Tuesday, May 2, 2017, 6:00pm
City Conference Room

In Attendance:

Committee Members

Chairman Ken Koch
Alderman Chris Funkhouser
Alderman Carlo Colosimo
Alderman Diane Teeling (left 6:59pm)

Other City Officials

City Administrator Bart Olson
Interim Assistant City Administrator Erin Willrett
Community Development Director Krysti Barksdale-Noble
City Planner Jason Engberg
Code Official Pete Ratos

Other Guests

Lynn Dubajic, City Consultant
Mr. Sonny Shah, Kendall Hospitality
Alex Finke, IL Realtors

The meeting was called to order by Chairman Ken Koch at 6:01pm.

Citizen Comments: None

Minutes for Correction/Approval: April 5, 2017

The minutes were approved as presented by unanimous voice vote.

New Business

1. EDC 2017-27 Building Permit Report for March 2017

Mr. Ratos reported 21 single family permits (8 were B.U.I.L.D.) and some commercial. He said overall permits this month were 20% higher than last year in March.

2. EDC 2017-28 Building Inspection Report for March 2017

Mr. Ratos said that most inspections were for B.U.I.L.D. homes and some commercial. He said Ryan Homes opened their starter homes in Caledonia and all appliances are electric rather than gas. No further action.

3. EDC 2017-29 Property Maintenance Report for March 2017

Seven cases were heard in March and many were vehicle sticker violations. Most of them were dismissed since stickers had been purchased. Chairman Koch requested info

on the standing/dripping water (noted in the report) which was a clogged storm drain. The Wing Road property was briefly discussed and a citation is being drafted for the tenant and landlord.

4. EDC 2017-30 Economic Development Update

Ms. Dubajic reported the following:

1. A TIF inducement resolution request is anticipated for a downtown development
2. The prospective south side grocer is on hold pending State of Illinois actions
3. Continuing work with Kendall Marketplace, current tenants are reviewing proposed junior box store
4. Working with developer on Rt. 47 for multi-tenant buildings
5. Possible single use property development on Rt. 34
6. Industrial user has opted to locate in another town
7. Wrigley activity anticipated
8. Go Forth Sports facility groundbreaking on May 16
9. Groundbreaking expected for Cedarhurst in July and Anthony Place in June
10. Ms. Noble and Ms. Dubajic appeared on Fox Valley Headline Makers
11. Attended county EDC meeting to discuss revolving loan funds for businesses
12. Attended Earth Day Conservation Foundation dinner

Alderman Funkhouser inquired again if the change in the SSA language had been made for Kendall Marketplace. Mr. Olson said the County again missed the deadline for making the correction prior to property tax bills being mailed, but it is believed a certificate of error can be filed. He gave a further explanation of the taxes that have been paid. Alderman Funkhouser said it has been over 5 months since this issue was initially brought forward and he asked what leverage the City has to finally get the revision done. Aldermen Funkhouser and Colosimo will talk with Debbie Gillette at the County Clerk's office about the delay in this issue since it has cost the City potential development.

5. EDC 2017-31 Small Cell Antennas

Ms. Willrett explained these amendments to Chapter 8 and 18 resulted from increased cell tower applications. The increase is for greater access and data for wireless users. Some towers are on private property while others are on municipal property and the language will place certain limitations on the towers. Alderman Koch inquired about schools placing towers on their buildings. This ordinance and amendment does not address towers on school property. This matter will be moving forward to other committees prior to returning to EDC.

6. EDC 2017-2 Text Amendments to Zoning Ordinance

Mr. Engberg said this amendment is a cleanup of the ordinance. Staff has recommended a definition for health/fitness clubs and gymnasium which previously were not defined in the ordinance. He is seeking feedback on the definition.

Alderman Teeling asked about massage services within these facilities. Currently, those services require a separate license. There was some concern for allowing these facilities in manufacturing use areas even though some facilities are very industrial in appearance.

Ms. Noble pointed out that many communities are struggling to fill manufacturing space and Alderman Colosimo said this is a good way to fill the vacant space. Also noted was the substantial price difference between commercial and industrial. This item will move to the Planning and Zoning Commission.

7. EDC 2017-33 Hotel Incentive Agreement

The draft incentive agreement was presented and Mr. Olson diagrammed the taxes, EAV and TIF deal figures. He discussed the viability of the TIF fund and said the hotel would improve the TIF. Construction should begin January 2018 with a 2-year time frame. If there are delays, City Council can extend deadlines. Alderman Koch said many residents are requesting a restaurant such as Chili's for one of the remaining lots. Alderman Funkhouser asked if there are any controls for the remaining lots, but only the standard construction controls are in place. Ninety rooms and a banquet center are planned with a causeway connecting the banquet facility to the hotel.

Alderman Funkhouser expressed concern for the agreement being lax and asked that the Council be able to look at the plans etc. prior to building, however, Mr. Colosimo said the hotels will have to meet certain standards for the brand. Signage was also briefly discussed and the agreement will move to the May 9th Council consent agenda.

8. EDC 2017-34 Downtown TIF Extension

Jason Engberg said staff has been reviewing the downtown TIF and a possible extension. The downtown properties were evaluated for their EAV and many were found to have a negative EAV. Options were discussed and it was decided to split the existing TIF, establish new boundaries and create a new, second TIF district. Funds can still be shared if the TIF boundaries meet. Mr. Olson said the State legislature is usually amenable to such an action. He gave an in-depth explanation of how the process works. Properties on the north side of the river could be looked at, however, Mr. Olson said they are in much better condition which may hurt eligibility. A Joint Review Board would ultimately make the decision about this action. A timeline should be available at the next EDC meeting

Old Business

1. EDC 2017-20 Vacant Building Registration Program

Ms. Noble said commercial property is included in this program and there was an incident of vandalism at the former Office Max building. This caused a challenge in determining the owner and if the program were in place, it would have been easier to find the owner. She had a discussion with Alex Finke of Realtor Association of Fox Valley regarding this program. In an email, he offered several suggestions and revisions for the ordinance. He said it's valuable for a city to have records of property owners etc. Committee members also gave further input and expressed their opinions about the ordinance. A revised draft will be brought to committee next month.

Additional Business None

There was no further business and the meeting adjourned at 7:43pm.

Minutes respectfully submitted by Marlys Young, Minute Taker



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #1

Tracking Number

EDC 2017-35

Agenda Item Summary Memo

Title: Building Permit Report for April 2017

Meeting and Date: Economic Development Committee – June 6, 2017

Synopsis: All permits issued in April 2017.

Council Action Previously Taken:

Date of Action: N/A Action Taken: N/A

Item Number: N/A

Type of Vote Required: Informational

Council Action Requested: None

Submitted by: D. Weinert Community Development
Name Department

Agenda Item Notes:



UNITED CITY OF YORKVILLE

BUILDING PERMIT REPORT

April 2017

TYPES OF PERMITS

	Number of Permits Issued	SFD <i>Single Family Detached</i>	B.U.I.L.D <i>Single Family Detached Program Begins 1/1/2012</i>	SFA <i>Single Family Attached</i>	Multi- Family <i>Apartments Condominiums</i>	Commercial <i>Includes all Permits Issued for Commercial Use</i>	Industrial	Misc.	Construction Cost	Permit Fees
April 2017	85	1	10	0	0	12	0	62	2,834,204.00	149,497.02
Calendar Year 2017	233	16	28	0	0	44	0	145	10,591,244.00	583,909.53
Fiscal Year 2017	871	55	104	0	0	125	0	587	38,778,983.00	1,972,942.61
April 2016	98	2	11	0	0	12	0	73	3,021,167.00	166,920.82
Calendar Year 2016	222	7	30	0	0	41	0	144	8,490,876.00	463,436.34
Fiscal Year 2016	681	14	84	0	0	136	0	447	22,745,981.00	1,283,317.42
April 2015	73	1	7	0	0	15	0	50	2,135,457.00	132,603.47
Calendar Year 2015	145	1	22	0	0	37	0	85	35,506,010.00	413,520.96
Fiscal Year 2015	577	4	67	0	0	112	0	393	54,764,327.00	1,189,540.17
April 2014	73	1	8	0	0	14	0	50	2,193,218.00	131,232.07
Calendar Year 2014	138	5	18	0	0	32	0	83	4,834,845.00	320,552.03
Fiscal Year 2014	574	25	48	0	0	120	0	381	19,422,489.00	967,624.60



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #2

Tracking Number

EDC 2017-36

Agenda Item Summary Memo

Title: Building Inspection Report for April 2017

Meeting and Date: Economic Development Committee – June 6, 2017

Synopsis: All inspections scheduled in April 2017.

Council Action Previously Taken:

Date of Action: N/A Action Taken: N/A

Item Number: N/A

Type of Vote Required: Informational

Council Action Requested: None

Submitted by: D. Weinert Community Development
Name Department

Agenda Item Notes:

DATE: 05/04/2017
TIME: 12:24:17
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 1

INSPECTIONS SCHEDULED FROM 04/01/2017 TO 04/30/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	010-WKS PUBLIC & SERVICE WALKS	20160260	662 KENTSHIRE DR	122		04/21/2017
PR	_____	008-FIN FINAL INSPECTION	20160271	147 COMMERCIAL DR	19		04/17/2017
BC	_____	015-EPW ENGINEERING- PUBLIC WALK	20160455	2623 LILAC WAY	312		04/26/2017
PR	_____	006-REL ROUGH ELECTRICAL	20160494	147 COMMERCIAL DR	19		04/17/2017
PR	_____	007-PLR PLUMBING - ROUGH					04/17/2017
BC	_____	008-INS INSULATION Comments1: FOAM AROUND ENTRANCE DOOR BEFORE INSTALL Comments2: SHEETROCK					04/19/2017
PR	_____	009-RFR ROUGH FRAMING					04/17/2017
PR	_____	010-RMC ROUGH MECHANICAL					04/17/2017
BC	_____	018-EPW ENGINEERING- PUBLIC WALK	20160511	2612 FAIRFAX WAY			04/24/2017
_____	_____	004-RFR ROUGH FRAMING	20160513	104 BEAVER ST	1		04/17/2017
PR	_____	005-REL ROUGH ELECTRICAL					04/17/2017
PR	_____	006-RMC ROUGH MECHANICAL					04/17/2017
PR	_____	007-PLR PLUMBING - ROUGH					04/17/2017
TK	_____	020-REI REINSPECTION Comments1: PARKWAY TREE	20160533	2994 ELLSWORTH DR	346		04/10/2017
TK	_____	021-REI REINSPECTION Comments1: PARKWAY TREE					04/24/2017
PR	_____	AM 014-WKS PUBLIC & SERVICE WALKS	20160567	491 BIRCHWOOD DR	130		04/10/2017
TK	_____	016-REI REINSPECTION Comments1: PARKWAY TREE	20160577	2991 ELLSWORTH DR	396	04/10/2017	
TK	_____	018-REI REINSPECTION Comments1: PARKWAY TREE	20160578	2995 ELLSWORTH DR	395		04/10/2017
BC	_____	016-EPW ENGINEERING- PUBLIC WALK	20160590	2983 ELLSWORTH DR	398		04/20/2017
_____	_____	015-EPW ENGINEERING- PUBLIC WALK	20160592	2483 ELLSWORTH CT	350		04/24/2017
_____	_____	015-EPW ENGINEERING- PUBLIC WALK	20160595	2967 ELLSWORTH DR	402		04/13/2017

DATE: 05/04/2017
TIME: 12:24:17
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UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 2

INSPECTIONS SCHEDULED FROM 04/01/2017 TO 04/30/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	013-EPW ENGINEERING- PUBLIC WALK	20160596	2987 ELLSWORTH DR	397		04/20/2017
BC	_____	020-EPW ENGINEERING- PUBLIC WALK	20160598	2622 LILAC WAY	375		04/25/2017
BC	_____	023-WKS PUBLIC & SERVICE WALKS	20160625	569 SUTTON ST	215		04/07/2017
BC	_____	016-PPS PRE-POUR, SLAB ON GRADE	20160663	510 MAIN ST E	1		04/17/2017
BC	_____	017-PPS PRE-POUR, SLAB ON GRADE					04/18/2017
BC	_____	018-PPS PRE-POUR, SLAB ON GRADE Comments1: DRIVE					04/21/2017
BC	_____	019-PPS PRE-POUR, SLAB ON GRADE					04/24/2017
BC	_____	020-EPW ENGINEERING- PUBLIC WALK					04/25/2017
BC	_____	021-EPW ENGINEERING- PUBLIC WALK	20160671	834 CARLY CT	33		04/21/2017
BC	_____	022-EDA ENGINEERING - DRIVEWAY AP					04/21/2017
BC	_____	019-EPW ENGINEERING- PUBLIC WALK Comments1: INSTALL REBAR OVER WATERLINE PRIOR TO PO Comments2: URING	20160684	2948 GRANDE TRAIL	420		04/20/2017
PR	_____	016-EPW ENGINEERING- PUBLIC WALK	20160685	2393 HOLLENBACK CT	426		04/12/2017
BC	_____	014-EPW ENGINEERING- PUBLIC WALK Comments1: INSTALL REBAR C2 #4 ACROSS WATERLINE PRI Comments2: OR TO POURING.	20160686	2958 GRANDE TRAIL	422		04/20/2017
_____	_____	016-EPW ENGINEERING- PUBLIC WALK	20160687	2957 ELLSWORTH DR	405		04/13/2017
_____	_____	014-EPW ENGINEERING- PUBLIC WALK	20160688	2961 ELLSWORTH DR	404		04/13/2017
BC	_____	016-EPW ENGINEERING- PUBLIC WALK Comments1: INSTALL REBAR OVERWATERLINE PRIOR TO POU Comments2: R	20160689	2952 GRANDE TR	421		04/20/2017
PR	_____	019-EPW ENGINEERING- PUBLIC WALK	20160690	2396 HOLLENBACK CT	424		04/12/2017
BC	_____	020-EPW ENGINEERING- PUBLIC WALK	20160697	2699 LILAC WAY	321		04/26/2017
BC	_____	018-EPW ENGINEERING- PUBLIC WALK	20160698	2621 LILAC WAY	311		04/26/2017
BC	_____	018-WKS PUBLIC & SERVICE WALKS	20160699	642 KENTSHIRE DR	123		04/21/2017
BC	_____	019-WKS PUBLIC & SERVICE WALKS	20160700	2732 PHELPS CT	271		04/21/2017

DATE: 05/04/2017
TIME: 12:24:17
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 3

INSPECTIONS SCHEDULED FROM 04/01/2017 TO 04/30/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
_____	_____	016-PWK PRIVATE WALKS	20160702	2394 HOLLENBACK CT	423		04/12/2017
_____	_____	019-WKS PUBLIC & SERVICE WALKS	20160703	2975 ELLSWORTH DR	400		04/13/2017
PR	_____	016-FIN FINAL INSPECTION	20160704	2391 HOLLENBACK CT	427		04/03/2017
PR	_____	017-PLF PLUMBING - FINAL OSR READ					04/03/2017
TK	_____	018-EFL ENGINEERING - FINAL INSPE					04/03/2017
		Comments1: BBOX KEYABLE, OSR INSTALLED, OK TO TEMP					
BC	_____	019-EPW ENGINEERING- PUBLIC WALK					04/13/2017
_____	_____	015-EPW ENGINEERING- PUBLIC WALK	20160705	2955 ELLSWORTH DR	406		04/13/2017
_____	_____	015-WKS PUBLIC & SERVICE WALKS	20160716	2246 LAVENDER WAY	61		04/17/2017
PR	_____	016-FIN FINAL INSPECTION				04/25/2017	
PR	_____	017-PLF PLUMBING - FINAL OSR READ				04/25/2017	
TK	_____	018-EFL ENGINEERING - FINAL INSPE				04/25/2017	
_____	_____	019-EPW ENGINEERING- PUBLIC WALK					04/28/2017
BC	_____	017-EPW ENGINEERING- PUBLIC WALK	20160717	1528 SIENNA DR	77		04/27/2017
BC	_____	012-EPW ENGINEERING- PUBLIC WALK	20160718	2633 LILAC WAY	314		04/26/2017
_____	_____	AM 017-EPW ENGINEERING- PUBLIC WALK	20160737	2402 FITZHUGH TURN	144	04/04/2017	
BC	_____	018-EPW ENGINEERING- PUBLIC WALK					04/04/2017
BC	_____	017-EPW ENGINEERING- PUBLIC WALK	20160738	2463 FAIRFAX WAY	245		04/07/2017
BC	_____	014-GAR GARAGE FLOOR	20160739	1163 CODY CT	9		04/26/2017
BC	_____	015-STP STOOP					04/26/2017
PR	_____	AM 015-WKS PUBLIC & SERVICE WALKS	20160775	781 OMAHA DR	17		04/05/2017
PR	_____	016-FIN FINAL INSPECTION					04/12/2017
PR	_____	017-PLF PLUMBING - FINAL OSR READ					04/12/2017
TK	_____	018-EFL ENGINEERING - FINAL INSPE					04/12/2017
		Comments1: OSR NOT INSTALLED, BBOX KEYABLE					

DATE: 05/04/2017
TIME: 12:24:17
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 4

INSPECTIONS SCHEDULED FROM 04/01/2017 TO 04/30/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	013-WKS PUBLIC & SERVICE WALKS	20160798	449 SUTTON ST	207		04/07/2017
PR	_____	012-INS INSULATION	20160806	1548 SIENNA DRIVE	75		04/03/2017
BC	_____	013-STP STOOP					04/17/2017
BC	_____	018-PWK PRIVATE WALKS	20160807	1538 SIENNA DR	76		04/17/2017
BC	_____	019-EPW ENGINEERING- PUBLIC WALK					04/27/2017
_____	_____	019-WKS PUBLIC & SERVICE WALKS	20160808	1558 SIENNA DR	74		04/17/2017
_____	_____	PM 020-EPW ENGINEERING- PUBLIC WALK					04/28/2017
BC	_____	019-PWK PRIVATE WALKS	20160809	2236 LAVENDER WAY	62		04/17/2017
PR	_____	020-EPW ENGINEERING- PUBLIC WALK					04/28/2017
_____	_____	018-EPW ENGINEERING- PUBLIC WALK	20160812	2987 GRANDE TR	392		04/24/2017
BC	_____	AM 020-EPW ENGINEERING- PUBLIC WALK	20160820	2412 FITZHUGH TURN	145		04/04/2017
BC	_____	AM 013-PHD POST HOLE - DECK	20160821	2722 PHELPS CT	272		04/04/2017
_____	_____	014-FIN FINAL INSPECTION					04/17/2017
_____	_____	015-PLF PLUMBING - FINAL OSR READ					04/17/2017
TK	_____	016-EFL ENGINEERING - FINAL INSPE					04/17/2017
		Comments1: BBOX KEYABLE, OSR INSTALLED OK TO TEMP					
BC	_____	017-WKS PUBLIC & SERVICE WALKS					04/21/2017
BC	_____	014-PPS PRE-POUR, SLAB ON GRADE	20160834	1172 CODY CT	6		04/17/2017
PR	_____	015-WKS PUBLIC & SERVICE WALKS					04/18/2017
PR	_____	016-STP STOOP					04/18/2017
TK	_____	017-EFL ENGINEERING - FINAL INSPE					04/28/2017
PR	_____	018-FIN FINAL INSPECTION					04/28/2017
PR	_____	019-PLF PLUMBING - FINAL OSR READ					04/28/2017
BH	_____	PM 014-WKS PUBLIC & SERVICE WALKS	20160835	328 WESTWIND DR	4		04/10/2017
BH	_____	015-FIN FINAL INSPECTION					04/12/2017

DATE: 05/04/2017
TIME: 12:24:17
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 5

INSPECTIONS SCHEDULED FROM 04/01/2017 TO 04/30/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
RE	_____	016-PLF PLUMBING - FINAL OSR READ				04/12/2017	
TK	_____	PM 017-EFL ENGINEERING - FINAL INSPE				04/12/2017	
BC	_____	001-PHF POST HOLE - FENCE	20160838	1165 CLEARWATER DR	199		04/13/2017
PR	_____	014-FIN FINAL INSPECTION	20160841	892 N CARLY CIRCLE	49		04/05/2017
PR	_____	015-PLF PLUMBING - FINAL OSR READ					04/05/2017
TK	_____	016-EFL ENGINEERING - FINAL INSPE Comments1: BBOX KEYABLE, OUTSIDE READER INSTALLED O Comments2: K TO TEMP.					04/05/2017
BC	_____	017-WKS PUBLIC & SERVICE WALKS					04/07/2017
BC	_____	PM 004-FIN FINAL INSPECTION	20160844	305 SANDERS	3		04/12/2017
BC	_____	014-WKS PUBLIC & SERVICE WALKS	20160845	936 N CARLY CIR	53		04/07/2017
PR	_____	015-FIN FINAL INSPECTION					04/25/2017
PR	_____	016-PLF PLUMBING - FINAL OSR READ					04/25/2017
TK	_____	017-EFL ENGINEERING - FINAL INSPE Comments1: OK TO TEMP, BBOX OSR					04/25/2017
BC	_____	AM 014-PHD POST HOLE - DECK	20160849	2641 FAIRFAX WAY	255		04/04/2017
PR	_____	015-FIN FINAL INSPECTION					04/21/2017
PR	_____	016-PLF PLUMBING - FINAL OSR READ					04/21/2017
TK	_____	017-EFL ENGINEERING - FINAL INSPE Comments1: OK TO TEMP					04/25/2017
BC	_____	018-WKS PUBLIC & SERVICE WALKS					04/21/2017
BC	_____	014-FIN FINAL INSPECTION	20160851	2689 LILAC WAY	320		04/07/2017
PR	_____	015-PLF PLUMBING - FINAL OSR READ					04/06/2017
TK	_____	016-EFL ENGINEERING - FINAL INSPE Comments1: BBOX KEYABLE, OSR INSTALLED OK TO TEMP					04/07/2017
BC	_____	017-EPW ENGINEERING- PUBLIC WALK					04/27/2017
BC	_____	016-WKS PUBLIC & SERVICE WALKS	20160865	926 N CARLY CIR	52		04/07/2017

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PR	_____	017-FIN FINAL INSPECTION					04/25/2017
PR	_____	018-PLF PLUMBING - FINAL OSR READ					04/25/2017
TK	_____	019-EFL ENGINEERING - FINAL INSPE					04/25/2017
		Comments1: BBOX KEYABLE OSR INSTALLED OK TO TEMP					
PR	_____	014-FIN FINAL INSPECTION	20160880	2702 PHELPS CT	274		04/24/2017
PR	_____	015-PLF PLUMBING - FINAL OSR READ					04/24/2017
TK	_____	016-EFL ENGINEERING - FINAL INSPE				04/24/2017	
BC	_____	017-WKS PUBLIC & SERVICE WALKS					04/24/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB	20160882	2342 WINTERTHUR GREEN	180		04/10/2017
PR	_____	006-BSM BASEMENT FLOOR					04/10/2017
PR	_____	007-GAR GARAGE FLOOR					04/10/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB	20160883	672 WINDETT RIDGE RD	152		04/10/2017
PR	_____	006-BSM BASEMENT FLOOR					04/10/2017
PR	_____	007-GAR GARAGE FLOOR					04/10/2017
BC	_____	015-PWK PRIVATE WALKS	20160895	2642 LILAC WAY	376		04/17/2017
BC	_____	016-EPW ENGINEERING- PUBLIC WALK					04/25/2017
BC	_____	013-WKS PUBLIC & SERVICE WALKS	20170001	1024 S CARLY CIR	114		04/07/2017
PR	_____	009-RFR ROUGH FRAMING	20170002	1023 N CARLY CIR	119		04/10/2017
PR	_____	010-REL ROUGH ELECTRICAL					04/10/2017
PR	_____	011-RMC ROUGH MECHANICAL					04/10/2017
PR	_____	012-PLR PLUMBING - ROUGH					04/10/2017
BC	_____	013-INS INSULATION					04/12/2017
BH	_____	007-RFR ROUGH FRAMING	20170003	520 E KENDALL DR	3		04/10/2017
RE	_____	008-PLR PLUMBING - ROUGH					04/25/2017
		Comments1: UNITS A & B					

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BH	_____	009-RFR ROUGH FRAMING Comments1: UNIT A					04/27/2017
BH	_____	010-REL ROUGH ELECTRICAL Comments1: UNIT A					04/27/2017
BC	_____	013-INS INSULATION	20170007	997 N CARLY CIR	121		04/03/2017
BC	_____	014-BSM BASEMENT FLOOR					04/10/2017
PR	_____	005-RFR ROUGH FRAMING	20170010	1973 MEADOWLARK LN	121		04/21/2017
PR	_____	006-REL ROUGH ELECTRICAL					04/21/2017
PR	_____	007-RMC ROUGH MECHANICAL					04/21/2017
PR	_____	008-PLR PLUMBING - ROUGH					04/21/2017
PR	_____	009-PLU PLUMBING - UNDERSLAB					04/21/2017
BC	_____	010-INS INSULATION					04/25/2017
BC	_____	011-BSM BASEMENT FLOOR					04/26/2017
PR	_____	016-ESS ENGINEERING - STORM	20170013	2691 MCLELLAN BLVD	50		04/07/2017
_____	_____	017-WKS PUBLIC & SERVICE WALKS					04/12/2017
PR	_____	018-PPS PRE-POUR, SLAB ON GRADE					04/12/2017
BC	_____	013-INS INSULATION	20170015	722 KENTSHIRE DR	118		04/03/2017
BC	_____	014-PHD POST HOLE - DECK					04/27/2017
BC	_____	008-BSM BASEMENT FLOOR	20170016	2629 LILAC WAY	313		04/04/2017
BC	_____	009-GAR GARAGE FLOOR					04/04/2017
BC	_____	010-STP STOOP					04/04/2017
BC	_____	011-REL ROUGH ELECTRICAL					04/07/2017
BC	_____	012-RMC ROUGH MECHANICAL					04/07/2017
BC	_____	013-RFR ROUGH FRAMING					04/07/2017
PR	_____	014-PLR PLUMBING - ROUGH					04/06/2017

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BC	_____	015-INS INSULATION					04/11/2017
BC	_____	016-EPW ENGINEERING- PUBLIC WALK					04/26/2017
BC	_____	AM 006-BSM BASEMENT FLOOR	20170021	1121 CLEARWATER DR	196		04/10/2017
PR	_____	007-RFR ROUGH FRAMING					04/25/2017
PR	_____	008-REL ROUGH ELECTRICAL					04/25/2017
PR	_____	009-RMC ROUGH MECHANICAL					04/25/2017
PR	_____	010-PLR PLUMBING - ROUGH Comments1: INSTALL CONDUIT FOR THE METER READER WIR Comments2: E					04/25/2017
BC	_____	005-FIN FINAL INSPECTION Comments1: BATH FAN NOT OPERATIONAL CONSISTENTLY	20170024	1069 HOMESTEAD DR	126		04/18/2017
BC	_____	006-REI REINSPECTION					04/26/2017
BC	_____	003-FIN FINAL INSPECTION	20170030	822 CAULFIELD PT	109		04/24/2017
PR	_____	PM 004-PLU PLUMBING - UNDERSLAB	20170036	3365 RYAN DR	14		04/03/2017
BC	_____	007-BSM BASEMENT FLOOR					04/04/2017
BC	_____	008-GAR GARAGE FLOOR					04/04/2017
BC	_____	009-STP STOOP					04/04/2017
PR	_____	010-RFR ROUGH FRAMING					04/20/2017
PR	_____	011-REL ROUGH ELECTRICAL					04/20/2017
PR	_____	012-RMC ROUGH MECHANICAL					04/20/2017
PR	_____	013-PLR PLUMBING - ROUGH					04/20/2017
PR	_____	014-INS INSULATION					04/24/2017
PR	_____	003-PLU PLUMBING - UNDERSLAB	20170037	3485 RYAN DR	2		04/03/2017
BC	_____	007-BSM BASEMENT FLOOR					04/04/2017
BC	_____	008-GAR GARAGE FLOOR					04/04/2017
BC	_____	009-STP STOOP					04/04/2017

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INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	010-RFR ROUGH FRAMING					04/20/2017
PR	_____	011-REL ROUGH ELECTRICAL					04/20/2017
PR	_____	012-RMC ROUGH MECHANICAL					04/20/2017
PR	_____	013-PLR PLUMBING - ROUGH					04/20/2017
PR	_____	014-INS INSULATION					04/24/2017
BC	_____	004-BKF BACKFILL	20170041	205 OAKWOOD ST	21		04/04/2017
PR	_____	005-RFR ROUGH FRAMING	20170048	378 WESTWIND DR	14		04/28/2017
PR	_____	006-REL ROUGH ELECTRICAL					04/28/2017
PR	_____	007-RMC ROUGH MECHANICAL					04/28/2017
PR	_____	008-PLR PLUMBING - ROUGH					04/28/2017
BC	_____	006-BSM BASEMENT FLOOR	20170056	2606 FAIRFAX WAY	276		04/10/2017
BC	_____	007-GAR GARAGE FLOOR					04/10/2017
BC	_____	008-STP STOOP					04/12/2017
PR	_____	009-RFR ROUGH FRAMING					04/21/2017
		Comments1: BOLT DOWN STEEL FLANGE IN GARAGE POSTS					
PR	_____	010-REL ROUGH ELECTRICAL					04/21/2017
PR	_____	011-RMC ROUGH MECHANICAL					04/21/2017
PR	_____	012-PLR PLUMBING - ROUGH					04/21/2017
BC	_____	013-INS INSULATION					04/25/2017
_____	_____	AM 001-PHD POST HOLE - DECK	20170059	455 E BARBERRY CIR	149		04/13/2017
BC	_____	001-FTG FOOTING	20170061	2004 PRAIRIE GRASS LN	50		04/21/2017
BC	_____	002-FOU FOUNDATION					04/24/2017
BC	_____	003-REI REINSPECTION	20170064	101 E CENTER ST			04/05/2017
BC	_____	003-FIN FINAL INSPECTION	20170070	458 HONEYSUCKLE LN	158		04/07/2017
BC	_____	002-FIN FINAL INSPECTION	20170072	215 W ELIZABETH ST			04/28/2017

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INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	005-PLU PLUMBING - UNDERSLAB	20170073	642 WINDETT RIDGE RD	155		04/10/2017
BC	_____	006-BSM BASEMENT FLOOR					04/10/2017
BC	_____	AM 007-GAR GARAGE FLOOR					04/27/2017
BC	_____	008-PHD POST HOLE - DECK					04/27/2017
BC	_____	005-BSM BASEMENT FLOOR Comments1: STEVE PROVIDED PICTURES	20170076	1037 N CARLY CIR	116		04/10/2017
BC	_____	006-GAR GARAGE FLOOR Comments1: STEVE PROVIDED PICTURES					04/10/2017
PR	_____	007-ESW ENGINEERING - SEWER / WAT					04/19/2017
PR	_____	008-RFR ROUGH FRAMING					04/21/2017
PR	_____	009-REL ROUGH ELECTRICAL					04/21/2017
PR	_____	010-RMC ROUGH MECHANICAL					04/21/2017
PR	_____	011-PLR PLUMBING - ROUGH					04/21/2017
BC	_____	001-FIN FINAL INSPECTION	20170078	1224 MISTWOOD CT	153		04/28/2017
PR	_____	PM 004-REL ROUGH ELECTRICAL	20170079	408 W FOX RD			04/04/2017
PR	_____	005-PLR PLUMBING - ROUGH					04/04/2017
BC	11:00	001-PHF POST HOLE - FENCE	20170080	2877 MCMURTRIE WAY	228		04/03/2017
BC	_____	001-BND POOL BONDING	20170083	2047 SWITCHGRASS LN	139		04/20/2017
BC	_____	002-FIN FINAL INSPECTION Comments1: INCOMPLETE	20170085	2475 FAIRFAX WAY	246		04/03/2017
_____	_____	002-FIN FINAL INSPECTION	20170090	223 HILLCREST AVE		04/24/2017	
BC	_____	001-FTG FOOTING	20170092	228 W ROUTE 34			04/18/2017
_____	10:30	001-FTG FOOTING	20170093	507 W KENDALL DR			04/18/2017
PR	_____	AM 001-FIN FINAL INSPECTION	20170097	735 EDWARD LN			04/28/2017
PR	_____	002-PLF PLUMBING - FINAL OSR READ					04/28/2017
BC	_____	001-FIN FINAL INSPECTION	20170103	4566 C CAMDEN LN	35		04/18/2017

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INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
PR	_____	001-RFR ROUGH FRAMING	20170104	975 ERICA LN			04/18/2017
BC	_____	002-RFR ROUGH FRAMING					04/21/2017
BC	_____	AM 002-FOU FOUNDATION	20170106	2701 PHELPS CT	265		04/03/2017
BC	_____	AM 003-BKF BACKFILL					04/10/2017
PR	_____	PM 004-ESW ENGINEERING - SEWER / WAT					04/13/2017
BC	_____	005-BSM BASEMENT FLOOR					04/27/2017
BC	_____	006-GAR GARAGE FLOOR					04/27/2017
PR	_____	007-PLU PLUMBING - UNDERSLAB					04/24/2017
PR	_____	AM 003-REL ROUGH ELECTRICAL	20170107	1402 N BRIDGE ST			04/04/2017
_____	_____	001-FIN FINAL INSPECTION	20170108	928 N BRIDGE ST			04/12/2017
BC	_____	002-FIN FINAL INSPECTION	20170109	2033 INGEMUNSON LN	153		04/03/2017
BC	_____	004-FOU FOUNDATION	20170114	957 N CARLY CIR	125		04/04/2017
PR	11:00	005-BKF BACKFILL					04/12/2017
PR	_____	001-BND POOL BONDING	20170115	304 E PARK ST	64		04/13/2017
PR	_____	002-FTG FOOTING				04/13/2017	
_____	_____	AM 001-PHD POST HOLE - DECK	20170116	244 WINDHAM CIR	59		04/13/2017
BC	_____	002-RFR ROUGH FRAMING					04/18/2017
BC	_____	003-FIN FINAL INSPECTION					04/19/2017
BC	13:30	001-RFR ROUGH FRAMING	20170121	347 WINDHAM CIR	30		04/17/2017
BC	_____	002-REL ROUGH ELECTRICAL					04/17/2017
BC	10:30	001-FTG FOOTING	20170123	2662 BURR ST	5		04/12/2017
_____	_____	002-FOU FOUNDATION					04/13/2017
PR	_____	003-WAT WATER					04/19/2017
PR	_____	004-PLU PLUMBING - UNDERSLAB					04/21/2017

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INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE
BC	_____	005-BSM BASEMENT FLOOR					04/24/2017
PR	_____	006-GAR GARAGE FLOOR					04/24/2017
BC	_____	001-PHF POST HOLE - FENCE	20170124	2943 GRANDE TR	383		04/19/2017
BC	_____	002-FOU FOUNDATION	20170125	2909 GRANDE TR	377		04/12/2017
PR	_____	003-WAT WATER					04/18/2017
BC	_____	004-BKF BACKFILL					04/18/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB					04/24/2017
PR	_____	006-BGS BASEMENT GARAGE STOOPS					04/28/2017
PR	_____	002-FOU FOUNDATION	20170126	2929 GRANDE TR	381		04/03/2017
PR	_____	003-WAT WATER					04/07/2017
PR	_____	004-BKF BACKFILL					04/10/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB					04/12/2017
PR	_____	006-BGS BASEMENT GARAGE STOOPS					04/17/2017
BC	_____	007-STP STOOP					04/25/2017
PR	11:00	001-FTG FOOTING	20170127	2967 GRANDE TR	388		04/03/2017
PR	_____	002-FOU FOUNDATION					04/13/2017
PR	_____	003-BKF BACKFILL					04/18/2017
PR	_____	004-ROF ROOF UNDERLAYMENT ICE & W					04/18/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB					04/24/2017
PR	_____	001-FTG FOOTING	20170128	2995 GRANDE TR	393		04/10/2017
PR	_____	002-FOU FOUNDATION					04/17/2017
PR	_____	003-WAT WATER					04/19/2017
PR	_____	004-PLU PLUMBING - UNDERSLAB					04/24/2017
PR	_____	001-FTG FOOTING	20170131	2905 GRANDE TRAIL	375		04/11/2017

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PR	13:00	002-WAT WATER					04/21/2017
PR	_____	003-FOU FOUNDATION					04/18/2017
PR	_____	004-BKF BACKFILL					04/24/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB					04/28/2017
PR	_____	002-FOU FOUNDATION	20170132	2910 ELLSWORTH DR	372		04/11/2017
PR	_____	003-BKF BACKFILL					04/13/2017
PR	_____	004-WAT WATER					04/13/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB					04/19/2017
PR	_____	006-BGS BASEMENT GARAGE STOOPS					04/28/2017
PR	10:30	001-FTG FOOTING	20170133	2924 GRANDE TRAIL CT	415		04/10/2017
PR	13:00	002-WAT WATER					04/21/2017
PR	_____	003-BKF BACKFILL					04/24/2017
PR	_____	004-PLU PLUMBING - UNDERSLAB					04/28/2017
PR	_____	002-FOU FOUNDATION	20170134	2921 GRANDE TR	379		04/10/2017
PR	_____	003-WAT WATER					04/12/2017
PR	_____	004-BKF BACKFILL					04/13/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB					04/19/2017
PR	_____	006-BGS BASEMENT GARAGE STOOPS					04/25/2017
PR	_____	002-FOU FOUNDATION	20170135	2923 GRANDE TR	380		04/10/2017
PR	_____	003-WAT WATER					04/12/2017
_____	_____	004-BKF BACKFILL					04/13/2017
PR	_____	005-PLU PLUMBING - UNDERSLAB					04/19/2017
BC	_____	006-GAR GARAGE FLOOR					04/20/2017
BC	_____	007-BSM BASEMENT FLOOR					04/20/2017

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BC	_____	008-STP STOOP					04/20/2017
BC	_____	001-FTG FOOTING	20170137	2423 FAIRFAX WAY	241		04/24/2017
BC	_____	001-FTG FOOTING	20170138	2301 WINTERTHUR GREEN	189		04/24/2017
BC	_____	002-FOU FOUNDATION					04/28/2017
BC	_____	003-FIN FINAL INSPECTION	20170139	808 MORGAN ST			04/06/2017
PR	_____	PM 001-ESW ENGINEERING - SEWER / WAT	20170141	877 GREENFIELD TURN	41		04/06/2017
PR	_____	PM 002-ESS ENGINEERING - STORM					04/06/2017
BC	_____	003-FTG FOOTING					04/11/2017
PR	_____	004-FOU FOUNDATION					04/18/2017
BC	_____	005-BKF BACKFILL					04/27/2017
BC	_____	001-PHF POST HOLE - FENCE	20170142	843 CANYON TR	116		04/10/2017
BC	_____	002-FIN FINAL INSPECTION					04/17/2017
BC	_____	AM 001-FTG FOOTING	20170145	977 N CARLY CIR	123		04/05/2017
BC	_____	002-BKF BACKFILL					04/18/2017
PR	_____	003-ESW ENGINEERING - SEWER / WAT					04/19/2017
BC	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20170150	2909 ALDEN AVE	297		04/11/2017
BC	_____	002-FIN FINAL INSPECTION					04/17/2017
BC	_____	001-PHD POST HOLE - DECK	20170152	502 TERI LN	9		04/21/2017
BC	_____	002-RFR ROUGH FRAMING					04/27/2017
		Comments1: INSTALL HURRICANE TIES TO RAFTER ENDS AT					
		Comments2: THE BEAM,					
BC	_____	003-REI REINSPECTION					04/28/2017
		Comments1: ROUGH FRAMING					
BC	_____	001-EPW ENGINEERING- PUBLIC WALK	20170153	620 WHITE OAK WAY	63		04/20/2017
BC	_____	001-FTG FOOTING	20170154	1126 CARLY DR	24		04/25/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170155	1014 JOHN ST	11		04/11/2017
		Comments1: VIA TEXT OR EMAIL PHOTOS 4-1-17 IS SATUR					
		Comments2: DAY					

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BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170165	311 OLSEN ST			04/06/2017
PR	_____	001-ESW ENGINEERING - SEWER / WAT	20170168	792 GREENFIELD TURN	108		04/27/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170171	106 W KENDALL DR	11		04/04/2017
BC	_____	001-FTG FOOTING	20170172	2447 FAIRFAX WAY	243		04/24/2017
BC	_____	002-FOU FOUNDATION					04/27/2017
BC	_____	001-PHF POST HOLE - FENCE	20170175	102 WALSH DR	191		04/25/2017
BC	_____	001-FIN FINAL INSPECTION Comments1: SIDING	20170177	309 E WASHINGTON ST			04/19/2017
BC	_____	001-PH POST HOLES / PILES	20170178	602 HEUSTIS ST	1,2		04/28/2017
BC	_____	001-PHD POST HOLE - DECK	20170179	2002 RAINTREE RD	80		04/25/2017
PR	_____ AM	002-RFR ROUGH FRAMING					04/28/2017
BC	11:00	001-PPS PRE-POUR, SLAB ON GRADE	20170180	1142 TAUS CIR	128		04/12/2017
BC	11:30	001-PHF POST HOLE - FENCE	20170187	1462 RUBY DR	355		04/27/2017
PR	_____	001-PPS PRE-POUR, SLAB ON GRADE	20170188	803 E MAIN ST	42		04/25/2017
BC	_____	001-PHD POST HOLE - DECK	20170189	333 PENSACOLA ST	1141		04/24/2017
BC	_____	001-FIN FINAL INSPECTION	20170190	1017 INDEPENDENCE BLVD	3		04/24/2017
BC	10:30	001-ROF ROOF UNDERLAYMENT ICE & W	20170191	2084 NORTHLAND AVE	86		04/12/2017
BC	_____	001-FTG FOOTING	20170194	602 KENTSHIRE DR	124		04/28/2017
BC	_____	001-FTG FOOTING	20170198	1031 S CARLY CIR	85		04/25/2017
BC	_____	002-FOU FOUNDATION					04/27/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170199	692 RED TAIL CT			04/18/2017
BC	_____	002-FIN FINAL INSPECTION					04/24/2017
BC	_____	001-FOU FOUNDATION	20170200	931 PURCELL ST	63		04/26/2017
BC	_____	002-FTG FOOTING					04/25/2017
PR	_____	001-WAT WATER	20170212	2884 CRYDER WAY	441		04/25/2017

DATE: 05/04/2017
TIME: 12:24:17
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 04/01/2017 TO 04/30/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE

BC	_____	002-FTG FOOTING					04/26/2017
PR	_____	004-FOU FOUNDATION					04/28/2017
BC	11:00	001-ROF ROOF UNDERLAYMENT ICE & W	20170224	1604 CYPRESS LN			04/24/2017
BC	_____	001-ROF ROOF UNDERLAYMENT ICE & W	20170229	305 E WASHINGTON ST			04/24/2017
PR	_____	001-FTG FOOTING	20170237	337 PENSACOLA ST	1142		04/28/2017

DATE: 05/04/2017
TIME: 12:24:17
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

PAGE: 17

INSPECTIONS SCHEDULED FROM 04/01/2017 TO 04/30/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE

PERMIT TYPE SUMMARY:		ADD ADDITION			1		
		AGP ABOVE-GROUND POOL			1		
		BIP BUILD INCENTIVE PROGRAM SFD			168		
		BSM BASEMENT REMODEL			2		
		CCO COMMERCIAL OCCUPANCY PERMIT			1		
		COM COMMERCIAL BUILDING			14		
		CRM COMMERCIAL REMODEL			5		
		DCK DECK			14		
		DRV DRIVEWAY			1		
		ESN ELECTRIC SIGN			3		
		FNC FENCE			12		
		MSC MISCELLANEOUS			1		
		PRG PERGOLA			1		
		PTO PATIO / PAVERS			2		
		REM REMODEL			4		
		ROF ROOFING			11		
		SFB SINGLE FAMILY BUILT TO HONOR			1		
		SFD SINGLE-FAMILY DETACHED			106		
		SID SIDING			1		
		SWK PRIVATE SIDEWALK			1		
		WIN WINDOW REPLACEMENT			1		
INSPECTION SUMMARY:		BGS BASEMENT GARAGE STOOPS			4		
		BKF BACKFILL			13		
		BND POOL BONDING			2		
		BSM BASEMENT FLOOR			14		
		EDA ENGINEERING - DRIVEWAY APRON			1		
		EFL ENGINEERING - FINAL INSPECTION			12		
		EPW ENGINEERING- PUBLIC WALK			35		
		ESS ENGINEERING - STORM			2		
		ESW ENGINEERING - SEWER / WATER			5		
		FIN FINAL INSPECTION			32		
		FOU FOUNDATION			18		
		FTG FOOTING			20		
		GAR GARAGE FLOOR			12		
		INS INSULATION			10		
		PH POST HOLES / PILES			1		
		PHD POST HOLE - DECK			9		
		PHF POST HOLE - FENCE			6		
		PLF PLUMBING - FINAL OSR READY			13		
		PLR PLUMBING - ROUGH			13		
		PLU PLUMBING - UNDERSLAB			17		
		PPS PRE-POUR, SLAB ON GRADE			8		
		PWK PRIVATE WALKS			4		
		REI REINSPECTION			7		
		REL ROUGH ELECTRICAL			15		
		RFR ROUGH FRAMING			19		

DATE: 05/04/2017
TIME: 12:24:17
ID: PT4A0000.WOW

UNITED CITY OF YORKVILLE
CALLS FOR INSPECTION REPORT

INSPECTIONS SCHEDULED FROM 04/01/2017 TO 04/30/2017

INSPECTOR	TIME	TYPE OF INSPECTION	PERMIT	ADDRESS	LOT	SCHED. DATE	COMP. DATE

		RMC ROUGH MECHANICAL			11		
		ROF ROOF UNDERLAYMENT ICE & WATER			9		
		STP STOOP			9		
		WAT WATER			10		
		WKS PUBLIC & SERVICE WALKS			20		
INSPECTOR SUMMARY:					24		
		BC BOB CREADEUR			158		
		BH BRIAN HOLDIMAN			5		
		PR PETER RATOS			146		
		RE RANDY ERICKSON			2		
		TK TOM KONEN			16		
STATUS SUMMARY:							
	A	PR			1		
	C				2		
	C	BC			19		
	C	BH			2		
	C	RE			1		
	C	TK			4		
	I				9		
	I	BC			109		
	I	BH			3		
	I	PR			125		
	I	RE			1		
	I	TK			1		
	T				13		
	T	BC			30		
	T	PR			20		
	T	TK			11		
REPORT SUMMARY:					351		



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #3

Tracking Number

EDC 2017-37

Agenda Item Summary Memo

Title: Property Maintenance Report for April 2017

Meeting and Date: Economic Development Committee – June 6, 2017

Synopsis: _____

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Informational

Council Action Requested: None

Submitted by: Pete Ratos Community Development
Name Department

Agenda Item Notes:

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Memorandum

To: Economic Development Committee
From: Pete Ratos, Code Official
CC: Bart Olson, Krysti Barksdale-Noble, Lisa Pickering
Date: May 4, 2017
Subject: April Property Maintenance

Property Maintenance Report April 2017

Adjudication:

10 Property Maintenance Cases heard in April

4/03/2017

N 3318	State Rt 34 & Eldamain Rd	Junk, Trash, Refuse	Dismissed
N 3319	2201 Iroquois Ln	Boats	Dismissed

4/10/17

N 3304	206 Heustis St	Signs Prohibited	Default Judgment
N 3305	206 Heustis St	Weeds	Default Judgment
N 3306	206 Heustis St	Prop Mnt – Address	Default Judgment
N 3307	206 Heustis St	Protective Treatment	Default Judgment
N 3309	206 Heustis St	Junk, Trash, Refuse	Default Judgment
N 3310	206 Heustis St	Vehicles on Property	Default Judgment

Default Judgment not to exceed \$154,520.00

4/24/2017

N 3320	804 Morgan St	Vehicles on Property	Dismissed
N 3321	513 W Washington St	Exterior Property Areas	Dismissed

Case Report**04/01/2017 - 04/30/2017**

Case #	Case Date	ADDRESS OF COMPLAINT	TYPE OF VIOLATION	STATUS	VIOLATION LETTER	FOLLOW UP STATUS	CITATION ISSUED	DATE OF HEARING	ADJUDICATION FINDINGS
20170080	4/27/2017	544 W BARBERRY	WEEDS GRASS	IN VIOLATION					
20170079	4/26/2017	411 Winterberry	Oil on roadway	COMPLIANT					
20170078	4/24/2017	1814 Country Hills Dr.	No Permit	CLOSED	4/24/2017	COMPLIANT			
20170077	4/19/2017	Northland and Western	RV on the Street	PENDING					
20170076	4/19/2017	804 Morgan St	Vehicle and Dog feces	CLOSED					
20170075	4/3/2017	735 Edwards Ln	Sign Permit	CLOSED	4/4/2017	COMPLIANT			

Total Records: 6**5/4/2017**



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #4

Tracking Number

EDC 2017-38

Agenda Item Summary Memo

Title: Economic Development Report for May 2017

Meeting and Date: Economic Development Committee – June 6, 2017

Synopsis: See attached.

Council Action Previously Taken:

Date of Action: N/A Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: _____

Submitted by: Bart Olson Administration
Name Department

Agenda Item Notes:

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651 Prairie Pointe Drive, Suite 102 • Yorkville, Illinois 60560
Phone 630-553-0843 • FAX 630-553-0889

Monthly Report – for June 2017 EDC Meeting of the United City of Yorkville

May 2017 Activity

Downtown Redevelopment:

- Continue conversations with two developers looking at different multi-purpose projects in the downtown. I am hopeful that shortly, there will be another inducement resolution before the City Council in the near future.
- Met with the owners of 1836 Drink Lab and Provisions, as they prepare to open this summer. They have hired key staff and are completing the remodeling of the space.

Development south of Fox River:

- Working with other parties interested in leasing other space in existing centers near Route 47 & 71.
- Working with owner of out lot and building that is half completed at Stagecoach Crossing to spur continued development on the site.

Development north of the Fox River:

- Kendall Crossing...Sonny Shah has formally applied for hotel national flag. We should receive approval by mid-June. A formal ground breaking is anticipated in early July.
- Kendall Marketplace...Working with Alex Berman (owner) to identify potential additional development on the project. Alex is working on developing a multi-tenant out lot building to attract small restaurants to the site.
- Working with a developer interested in assembling parcels on Route 47 north of the river to create a small retail development site that would allow for a combination of single use buildings and multi-tenant buildings.
- Working with a developer to develop a small property on Route 34 east of Route 47, for a single use development. This project would allow the property to be used for a higher and better use than its current use.
- Working with interested party on re-development of the former "The National Bank" building at Route 47 and Cannonball Trail.
- Anthony Place is preparing for closing and construction. You should have all received an invitation to a ground breaking ceremony on Friday, June 16th. A small reception will follow at Blackstone Bar & Grill.

Industrial Development:

- Continue to work with major industrial user for potential development along Eldamain Road. The final determination for the project is in the hands of the "Board of Directors" of this publicly traded company. We are still waiting for official word.
- Working with Wrigley to meet their needs to increase their production of Skittles in the Yorkville plant.

Recreational Development:

- Continue to work with Justine Brummel on "Go For It Sports" facility.

Other Activity:

- Appeared on "Community Forum" radio show to promote Yorkville and review upcoming projects in the community.
- Attended the ICSC Recon Conference in Las Vegas where we participated in interactive workshops to become familiar with the latest trends in the industry. At this event we also met with a variety of new retailers and restaurants, who are expanding into our market.
- Attended the KEDA meeting to discuss topics that affect all of the communities of Kendall County. The county is working on a new strategy for their Revolving Loan Fund. I will provide details when they become available.
- Attended UIRVDA meeting to begin the Enterprise Zone approval process for Kendall Hospitality. Yorkville's other applications have been approved by DCEO.
- Served as mentor for Eisenberg Foundation career day.

Respectfully submitted,

A handwritten signature in cursive script that reads "Lynn Dubajic".

Lynn Dubajic
651 Prairie Pointe Drive, Suite 102
Yorkville, IL 60560
lynn@dlkllc.com
630-209-7151 cell



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #5

Tracking Number

EDC 2017-39

Agenda Item Summary Memo

Title: Kendall County Case #17-09 Semper Fi – Special Use Request (1.5 Mile Review)

Meeting and Date: EDC/June 6, 2017

Synopsis: Special Use request for a landscape waste and compost facility in Kendall County.

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: Majority

Council Action Requested: Vote

Submitted by: Krysti J. Barksdale-Noble, AICP Community Development
Name Department

Agenda Item Notes:

See attached memo and report.

Have a question or comment about this agenda item?

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Memorandum



To: Economic Development Committee
From: Krysti Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Jason Engberg, Senior Planner
Date: May 19, 2017
Subject: **Kendall County Case #17-09 – Semper Fi (1.5 Mile Review)
Special Use for a Proposed Landscape Waste Compost Facility
1996 Cannonball Trail**

Proposal Summary

Staff has reviewed the request from Kendall County Planning & Zoning Department along with the subsequent documents attached. This subject property is located within one and a half miles of the planning boundary for Yorkville allowing us the opportunity to review and provide comments to Kendall County. The petitioner, Semper Fi Land, Inc. (Robert Velazquez), is requesting Special Use authorization from Kendall County to operate a landscape waste composting facility on an approximately 5.2-acre parcel located about half (1/2) mile south of Galena Road in Bristol Township. The location of the proposed compost operation will be at 1996 Cannonball Trail.

According to information obtained from the County and a meeting staff had with the petitioner, the property is currently zoned A-1 Agricultural District and has an existing special use permit to operate a landscaping business. All of the surrounding properties are within the City of Yorkville's corporate boundary and zoned R-2 Single Family or R-2D Two-Family Attached residential. A mixed use residential development called Bristol Ridge, consisting of over 400 single family, duplexes and townhome units was approved by the City in 2006. Although development has yet to occur on this property, all entitlements remain and the owners have recently expressed interest in reviving the project in the near future.

The petitioner currently resides in a detached single family house on the property. As proposed, the petitioner plans to collect only landscape and yard waste on the site, and no food or organic waste material will be permitted. The majority of the waste (approximately 85%) will be turned into mulch with the



remainder converted into compost material. It is estimated the proposed landscape waste and composting operation would receive between 100 to 150 cubic yards per day with a daily maximum of 250 cubic yards. All truck traffic entering and exiting the property will be monitored by the petitioner to ensure that only clean waste materials are deposited onsite. There will be between 2 to 5 employees assisting with daily operations at the proposed landscape waste and composting facility during the hours of 7:00 am to 3:00 pm, Monday through Friday. While some heavy equipment will be utilized as part of the proposed composting operation, such as a tub grinder, wheel loader and skid loader, the petitioner will be restricted to a maximum dbA of 65 during the day time (7:00 am – 10:00 pm) and 55 dbA during nighttime hours (10:00 pm to 7:00 am). Parking for the proposed use can be adequately accommodated on the property and access for the truck traffic will come from Cannonball Trail via a gravel driveway path installed on the southern portion of the site. All vehicles and equipment will be stored inside a building when not in use and additional evergreen trees have already been installed by the petitioner for screening where the bulk of the proposed operations will occur. Further details of the proposed operation and site plan has been provided in the attached Kendall county staff report and petitioner application prepared by Deigan & Associates, LLC, environmental consultants.

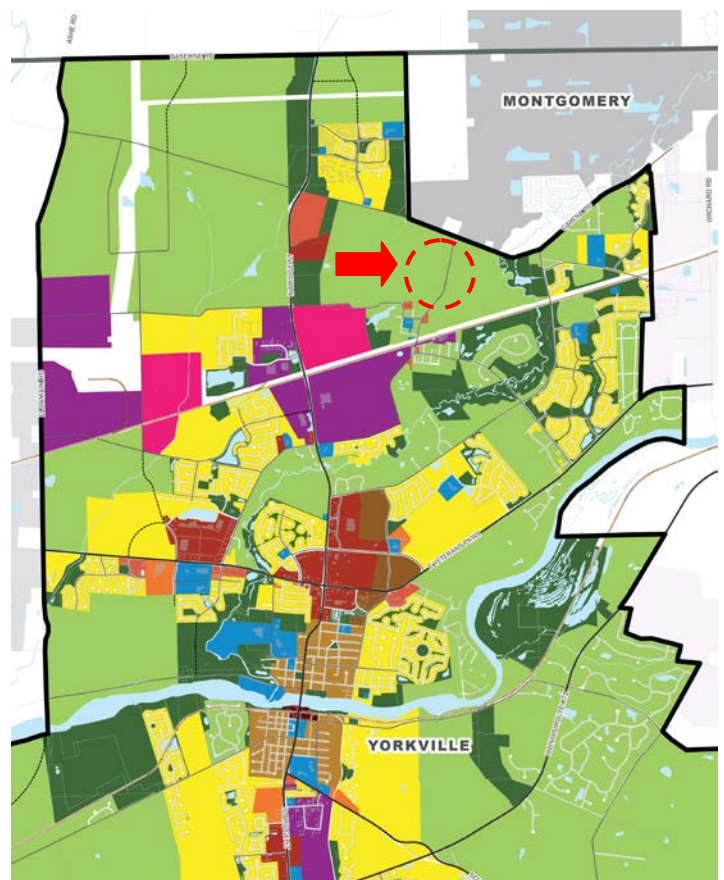
The proposed use is similar to a previously approved landscape waste composting facility located in the southeast quadrant of Galena and Beecher Roads. The Green Organics facility has approximately 9.5-acres dedicated to the composting operation and processes between 150,000 cubic yards to 175,000 cubic yards of landscaping material annually. Green Organics also is situated adjacent to an approved residential development that has yet to begin construction.

Kendall County's Land Resource Management Plan designated the future land use for this property as Planned Rural Residential which has a maximum density of 0.6 dwelling units per acre. According to the LRMP, the Planned Rural Residential land use category promotes large-lot, low-density detached single-family residential development. Additionally, the district strives to provide a semi-rural or countryside setting, retaining a greater amount of open space with compatible governmental, educational, religious, and recreational uses also permitted in these areas.

Yorkville Comprehensive Plan

The recently updated Yorkville Comprehensive Plan has the future land use designation of the subject property as Estate/Conservation Residential (ECR). This land use designation is intended to provide flexibility for residential design to accommodate low-density detached single-family housing but also support retaining and enhancing sensitive environmental and scenic features of the land.

Furthermore, the Comprehensive Plan envisions properties designated within the Estate/Conservation Residential to serve as



transitions between more traditional suburban neighborhoods and agricultural zones and as a place identifiable by its scenic views, tree masses and environmental features.

Staff Recommendation & Comments

Staff has reviewed the petitioner's request and the Kendall County staff report which has detailed conditions as the use, operation, personnel, noise/dust/order/vector controls, as well as water and soil quality standards and have no substantial objections to the request. Staff had recommended the petitioner incorporates a paved or compacted driveway surface in the plan for truck traffic entering and existing off of Cannonball Trails into the site to further reduce dust and rock debris on Cannonball Trail at the entrance of the property. According to the Kendall County Senior Planner, the petitioner has agreed to pave the western 30 feet of the driveway off of Cannonball Trail.

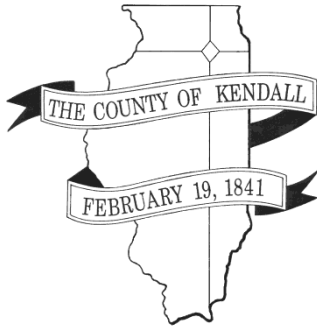
Staff also recommends since the proposed compost facility will be located adjacent to a potential future residential development, that the petitioner stipulates that upon such time any new residential dwelling unit is permitted for construction and occupancy is established for at least sixty (60) days in the City of Yorkville within one-eighth (1/8) mile of the subject property, the City will notify the owner/operator to establish a timeframe for closure of the composting facility within three (3) years and require a closure plan developed and submitted to the City and IEPA in compliance with Section 830.213 Standards for Compost Facilities of the Illinois Environmental Protection Act. This is also the condition placed on the Green Organics property as part of their Special Use authorization.

Finally, with regards to adherence to the designated future land use, both the Kendall County and City of Yorkville future land use plans envisioned the subject property as residential, rural in character with elements of conservation design. It is staff's opinion that the use of the property for a landscape waste and compost facility operation is transitional until large planned residential development moves to this area. Furthermore, since the request is for Special Use approval, any change in scope, intensity or size of the proposed landscape waste and compost operation will require an amendment, public hearing and notification by Kendall County.

The City's Planning and Zoning Commission will review and make recommendations to the City Council regarding this request at their June 14, 2017 meeting. This item was delivered to the City on April 28, 2017 with feedback requested prior to Kendall County Board consideration. This item was heard at the May 2, 2017 Zoning and Platting Advisory Committee conducted by Kendall County with final consideration heard by the County Board on June 20, 2017.

Attachments:

1. Kendall County Planning and Zoning Memo with Attachments.
2. http://www.co.kendall.il.us/wp-content/uploads/Petition_17-09.pdf



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

Petition 17-09**Semper Fi Land, Inc. (Robert Velazquez)
A-1 Special Use – Composting of Landscape Waste****INTRODUCTION**

Semper Fi Land, Inc., on behalf of Robert Velazquez, submitted a petition for a special use permit to operate a composting of landscape waste facility at 1996 Cannonball Trail. In 2012, the petitioner received a special use permit to operate a landscape business and residence at the subject property (Ordinance 2012-23).

SITE INFORMATION

PETITIONER Semper Fi Land, Inc. (Robert Velazquez)

ADDRESS 1996 Cannonball Trail

LOCATION On the East Side of Cannonball Trail about 0.5 Miles South of Galena Road



TOWNSHIP Bristol

PARCEL # 02-15-101-003

LOT SIZE 5.2 acres

EXITING LAND USE Residential/Agricultural

ZONING A-1 Agricultural District with a Special Use Permit

LRMP	Land Use	County: Planned Rural Residential (Max 0.6 Du/Ac) United City of Yorkville: Estate/Conservation Residential
	Roads	Cannonball Trail is a County Road classified as a Major Collector Road
	Trails	A multi-use trail is shown on the East Side of Cannonball Trail
	Floodplain/ Wetlands	There are no wetlands or floodplain on the property.

REQUESTED ACTION A-1 Special Use to Operate a Composting of Landscape Waste

- APPLICABLE REGULATIONS Section 7.01 D.16 – A-1 Special Uses – Permits Composting of Landscape Waste and Food Waste with the following stipulations:
1. The facility shall meet all Illinois Environmental Protection Agency requirements as identified in Title 35, Subtitle G, Chapter 1, Sub-chapter 1, Park 830, Standards for compost facilities.
 2. Operational personnel shall be present on site during all hours which the facility is open for the receipt of landscape waste.
 3. The hours during which landscape waste may be received shall be 7:00am to 4:00pm Monday through Friday and 7:00am to 12:00 noon Saturday. Processing operations shall cease after each day's receipts have been processed and placed in windrows, not to exceed three (3) additional hours.
 4. The decibel levels at the property line shall not exceed Illinois Pollution Control Board standards.
 5. A locked gate shall restrict vehicle access during closed hours except that a "lock-box" shall allow access to emergency vehicles.
 6. Water samples shall be taken by an independent testing service and analyzed by an independent laboratory. The locations, methods and frequency of sampling and testing shall be approved by the Kendall County Environmental Health Department Director. The test results shall be sent to the Environmental Health Department within forty-five (45) days of sampling.
 7. Soil samples shall be taken by an independent testing service and analyzed by an independent laboratory. The locations, methods and frequency of sampling and testing shall be approved by the Kendall County Environmental Health Department Director. The test results shall be sent to the Environmental Health Department within forty-five (45) days of sampling.

8. Authorized Kendall County personnel shall be allowed on site during business hours for inspection and testing.
9. The facility operator shall send up-to-date copies of the State permit and related documents including Operational Plan, Surface Water Management Plan, Pest Control Plan, Site Drawing, and an Annual Report to the County Solid Waste Coordinator.
10. Truck weights shall be limited to 73,280 pounds.
11. The operator shall provide weight receipts to Kendall County.
12. Off-site debris and trash generated by the site must be cleaned-up on a daily basis on surrounding properties with the owner's permission.
13. Other conditions as appropriate for the particular facility. (*Amended 6/20/2006*)

Section 13.08 – Special Use Procedures

SURROUNDING LAND USE

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Agricultural/Farming	Yorkville (R-2)	Suburban Residential (County) Estate Residential (Yorkville)	Yorkville, Montgomery and A-1
South	Agricultural/Farming	Yorkville (R-2D)	Suburban Residential (County) Estate Residential and Commercial Office (Yorkville)	Yorkville, M-1, B-1, B-2, B-3, R-3 and A-1
East	Agricultural/Farming	Yorkville (R-2)	Planned Rural Residential and Open Space (County) Estate Residential (Yorkville)	Yorkville and A-1
West	Agricultural/Farming	Yorkville (R-2)	Suburban Residential (Estate Residential)	Yorkville, A-1 and R-3

PHYSICAL DATA

ENDANGERED SPECIES REPORT

EcoCAT Report submitted and consultation was terminated. The EcoCat was included with the Application Materials; see Attachment 5.

NATURAL RESOURCES INVENTORY

LESA score was 169 indicating a low level of protection. The NRI was included with the Application Materials; see Attachment 5.

ACTION SUMMARY

BRISTOL TOWNSHIP

Petition information was sent to Bristol Township 4.25.17. No comments have been received from Bristol Township.

UNITED CITY OF YORKVILLE

Petition information was sent to the United City of Yorkville 4.25.17. This matter will be discussed at their June PZC meeting.

BUSINESS OPERATION

The petitioner desires to operate a landscape waste composting business at the subject property. This business would be in addition to the landscaping business that the petitioner currently possesses a special use permit for at the subject property. The owner of Semper Fi Land, Inc., Robert Velazquez, also lives on the subject property.

The petitioner submitted a business plan which is included with the Application Materials; see Attachment 5. As noted on page 5 of the Project Narrative, the petitioner plans to collect only landscape and yard waste and the site, no food waste or organic material will be collected. The majority of the waste (85%) will be turned into mulch with the remainder turned into compost material. The petitioner anticipates receiving approximately 100 to 150 cubic yards per day with a daily maximum of 250 cubic yards. The petitioner plans to monitor all truck loads to ensure that only clean material is deposited onsite. Anticipated equipment on the site include trucks, Morbark 1000 Tub Grinder, a wheel loader and skid loader. The petitioner has a windrow plan (see page 8 of the Project Narrative), and a plan to control dust, odor, noise, and vectors (see page 9 of the Project Narrative). The petitioner also supplied additional information on stormwater and leachate controls; Application Addendum Attachment 6.

Because the petitioner submitted documents at various stages, some of the figures referenced in the application materials may be numbered differently.

Per 415 ILCS 5/3.270, "landscape waste" means all accumulations of grass or shrubbery cuttings, leaves, tree limbs and other materials accumulated as the result of the care of lawns, shrubbery, vines and trees.

The proposed business will have between 2 and 5 employees.

The petitioner was agreeable to addressing Staff's concerns regarding hours of operation, tub grinder operation, noise restrictions, and capping the amount of material received. The details of a host agreement need to be finalized.

BUILDING CODES

No new buildings are planned as a result of this proposal. Any new structures constructed would be required to follow applicable building codes.

ACCESS

The property fronts Cannonball Trail. The petitioner plans to install a gravel driveway south of the lawn; see Attachments 7 and 8.

TRAILS

The petitioner already dedicated the necessary ROW for trails as required in the previous special use permit application.

PARKING

The petitioner already possesses a small amount of parking near the house and sheds; no additional parking is planned.

LIGHTING

No additional lighting is planned.

SIGNAGE

On page 5 of the Project Narrative, see Attachment 5, the petitioner outlined the type of signage that will be placed on the property.

SCREENING

All vehicles and equipment that can be moved shall be stored inside a building when not in use. The petitioner installed evergreen to separate the composting facility from the residential use. Additional screen may be required around the property.

STORMWATER

No portion of the property is in a flood area and no wetlands exist on the property.

The petitioner submitted a stormwater management proposal to WBK and this proposal is currently under review.

RECOMMENDATION

If approved, Staff recommends the following conditions be included in the approving special use ordinance:

1. The facility shall meet all Illinois Environmental Protection Agency requirements as identified in Title 35, Subtitle G, Chapter 1, Sub-chapter 1, Park 830, Standards for compost facilities.
2. Operational personnel shall be present on site during all hours which the facility is open for the receipt of landscape waste.
3. The hours during which landscape waste may be received shall be 7:00am to 3:00pm (**not 7:00 pm as originally proposed by the petitioner**) Monday through Friday. **The petitioner does not wish to have Saturday hours.** Processing operations shall cease after each day's receipts have been processed and placed in windrows, not to exceed three (3) additional hours.
4. The decibel levels at the property line shall not exceed Illinois Pollution Control Board standards **or 65 dBA between 7:00am and 10:00pm and 55 dBA between 10:00pm and 7:00am as measured from the property line on receiving residential lands. This restriction shall not apply to noise generated from maintenance vehicles. The noise level shall be measured at the property line. The petitioner agrees that the stricter noise regulations shall apply in cases of conflict.**
5. A locked gate shall restrict vehicle access during closed hours except that a "lock-box" shall allow access to emergency vehicles.
6. Water samples shall be taken by an independent testing service and analyzed by an independent laboratory. The locations, methods and frequency of sampling and testing shall be approved by the Kendall County Environmental Health Department Director. The test results shall be sent to the Environmental Health Department within forty-five (45) days of sampling. **Frequency of tests?**
7. Soil samples shall be taken by an independent testing service and analyzed by an independent laboratory. The locations, methods and frequency of sampling and testing shall be approved by the Kendall County Environmental Health Department Director. The test results shall be sent to the Environmental Health Department within forty-five (45) days of sampling. **Frequency of tests?**
8. Authorized Kendall County personnel shall be allowed on site during business hours for inspection and testing.
9. The facility operator shall send up-to-date copies of the State permit and related documents including Operational Plan, Surface Water Management Plan, Pest Control Plan, Site Drawing, and an Annual Report to the County Solid Waste Coordinator.
10. Truck weights shall be limited to 73,280 pounds.
11. The operator shall provide weight receipts to Kendall County. **Frequency?**

12. Off-site debris and trash generated by the site must be cleaned-up on a daily basis on surrounding properties with the owner's permission.
13. Tub grinders located on the property shall operate between the hours of 9:00am and 3:00pm, Monday through Friday.
14. The owner of the business allowed by this special use permit shall reside on the premises as his/her primary residence.
15. Waste collected on the site shall be clean landscape waste only; no food scrap waste shall be collected onsite.
16. The facility will be permitted to take in a maximum 26,000 cubic yards annually.
17. The site plan shall be kept on file as **Exhibit X** attached to the ordinance approving the special use permit.
18. The County Solid Waste Coordinator shall maintain a log of complaints received on the facility allowed by this special use permit.
19. If the business allowed by this special use permit receives any violations or citations from the Illinois Environmental Protection Agency, the business shall submit notifications of violations or citations to the Kendall County Solid Waste Coordinator within 30 days of receipt.
20. All vehicles and equipment with wheels shall be stored entirely within an enclosed structure when the business allowed by this special use permit is closed.

21. Host Fee

22. The business allowed by this special use permit shall follow all applicable federal, state, and local laws related to the operation of the business.
23. Failure to comply with the above regulations and restrictions could result in the revocation of the special use permit.
24. The special use permit awarded by this ordinance shall be considered separate from the special use permit awarded by Ordinance 2012-23. Nothing in the special use permit awarded for a composting of landscape waste business removes any obligations the property owner may have as it relates to the requirements of Ordinance 2012-23.
25. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.

ATTACHMENTS

1. Zoning Plat
2. Plat of Easement
3. Site Operations
4. Aerial
5. Application Materials (Including Business Plan and Project Narrative, Proof of Ownership, NRI Summary, EcoCat, and Applicant's Version of Findings of Fact)
6. Application Addendum (Additional Business Information and Stormwater Information)
7. Entrance from Cannonball
8. Looking East
9. Looking East from Southeast Corner of Grass
10. Looking Southeast
11. Looking East from Driveway

12. Looking South from Driveway
13. Looking North from Driveway

ZONING PLAT FOR SPECIAL USE PERMIT
PART OF THE SOUTHWEST QUARTER OF SECTION 10 and
PART OF THE NORTHWEST QUARTER OF SECTION 15, T37N-R7E, 3rd PM
BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS

Attachment 1-Zoning Plat

DEVELOPER:

Robert Velazquez
1996 Cannonball Trail
Bristol, Illinois 60512

ZONING TRACT AREA

249,306 Sq.Ft. = 5.7233 Acres
(228,381 Sq.Ft. = 5.2429 Acres Excluding Road)

PRESENT ZONING:

A1-SU (Agricultural District - Special Use)

PROPOSED ZONING:

A1-SU (Agricultural District - Special Use)

P.I.N.

02-15-101-003

LEGAL DESCRIPTION OF TRACT TO BE REZONED:

That part of the Southwest Quarter of Section 10, Township 37 North, Range 7 East of the Third Principal Meridian, and that part of the Northwest Quarter of Section 15, Township and Range aforesaid, described as follows: Commencing at the Southwest Corner of said Southwest Quarter; thence Southeasterly along a line which if extended would intersect the Northerly Line of the former lands of Charles Hunt at a point on said Northerly Line which is 1551.80 feet Westerly of the West Line of a tract of land conveyed by Nelson C. Rider to Jerry W. Rider by a Warranty Deed recorded November 29, 1911 in Book 66 of Deeds, Page 25 and depicted in Plat Book 1 at Page 62, a distance of 938.61 feet to the center line of Cannonball Trail for a point of beginning; thence Southeasterly along the last described course extended, 447.72 feet to said Northerly Line; thence Easterly along said Northerly Line which forms an angle of 160°49'30" with the last described course measured clockwise therefrom, 296.83 feet; thence Northerly at right angles to the last described course, 309.14 feet; thence Northwesterly along a line which forms an angle of 132°19'35" with the last described course measured clockwise therefrom, 386.56 feet to the center line of Cannonball Trail; thence Southwesterly along said centerline to the point of beginning, in Bristol Township, Kendall County, Illinois.

BASE FLOOD ELEVATION

The Subject Property is not located in a Special Flood Zone Area as depicted on FEMA Flood Insurance Rate Map Number 17093C00035H with an effective date of January 8, 2014.

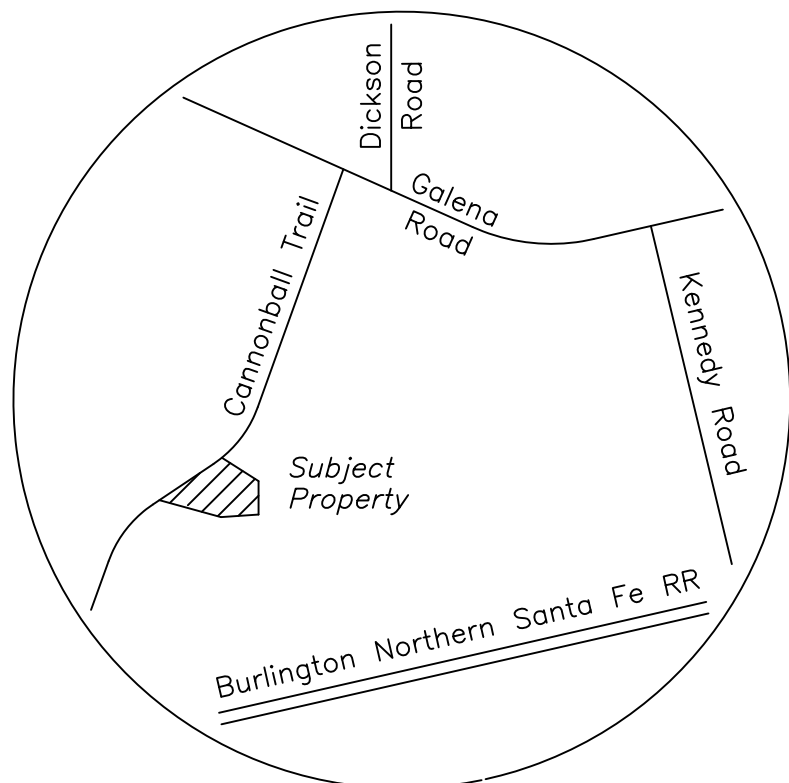
WETLANDS

There were no wetlands delineated on the Subject Property.

SOILS

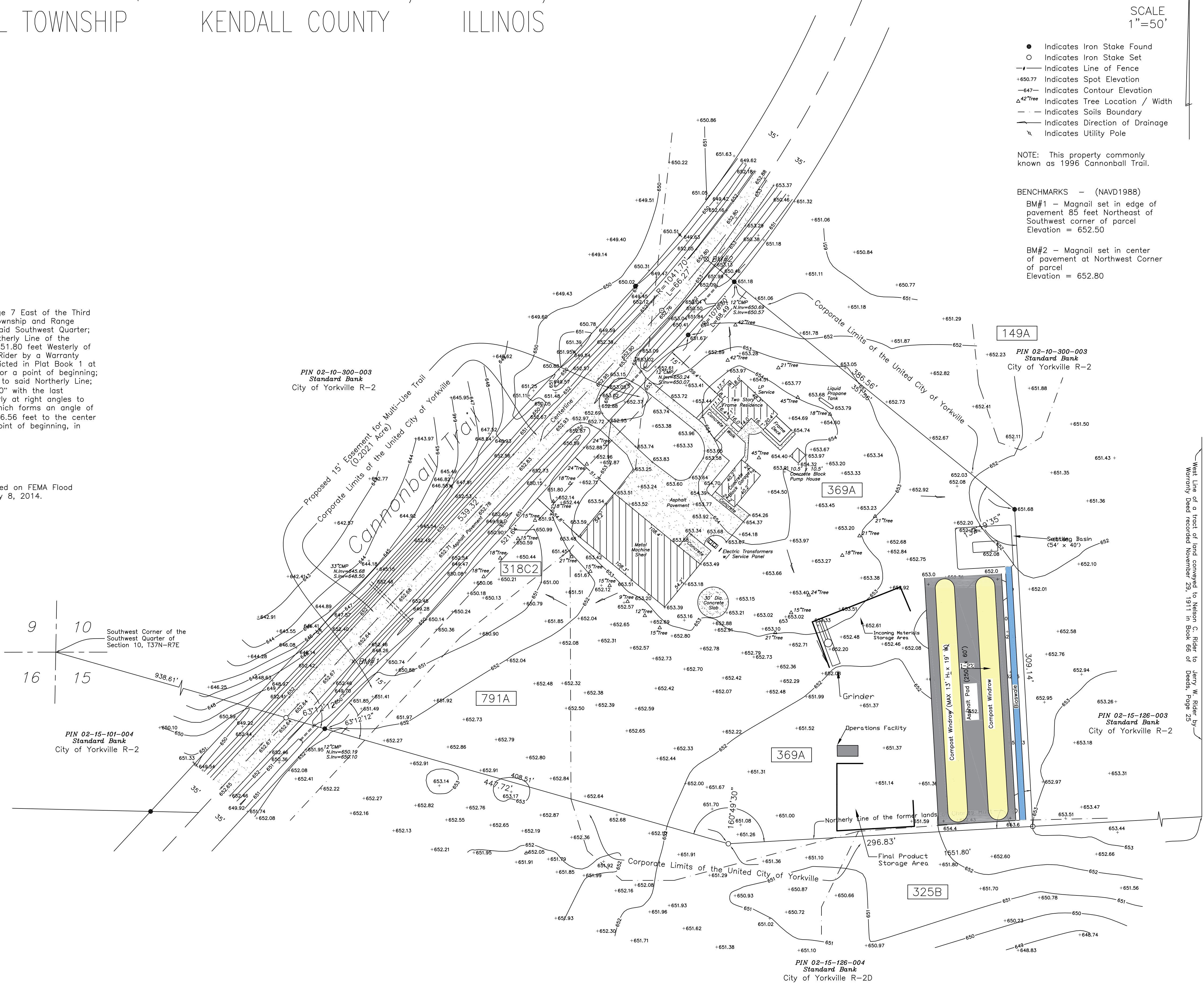
Soil Type (USDA/NRCS - Web Soil Survey, 2016)

149A	Brenton silt loam, 0% to 2% slopes
318C2	Lorenzo loam, 4% to 6% slopes, eroded
325B	Dresden silt loam, 2% to 4% slopes
369A	Waupacan silt loam, 0% to 2% slopes
791A	Rush silt loam, 2% to 4% slopes



LOCATION SKETCH
Not to Scale

9 10
16 15
Southwest Corner of the
Southwest Quarter of
Section 10, T37N-R7E
PIN 02-15-101-004
Standard Bank
City of Yorkville R-2



SCALE
1"=50'

- Indicates Iron Stake Found
- Indicates Iron Stake Set
- Indicates Line of Fence
- +650.77 Indicates Spot Elevation
- 647- Indicates Contour Elevation
- △ 27' Tree Indicates Tree Location / Width
- - - Indicates Soils Boundary
- Indicates Direction of Drainage
- ⋈ Indicates Utility Pole

NOTE: This property commonly known as 1996 Cannonball Trail.

BENCHMARKS - (NAVD1988)

BM#1 - Magnail set in edge of pavement 85 feet Northeast of Southwest corner of parcel
Elevation = 652.50

BM#2 - Magnail set in center of pavement at Northwest Corner of parcel
Elevation = 652.80

1107B South Bridge Street
Yorkville, Illinois 60560
Telephone (630)553-1580

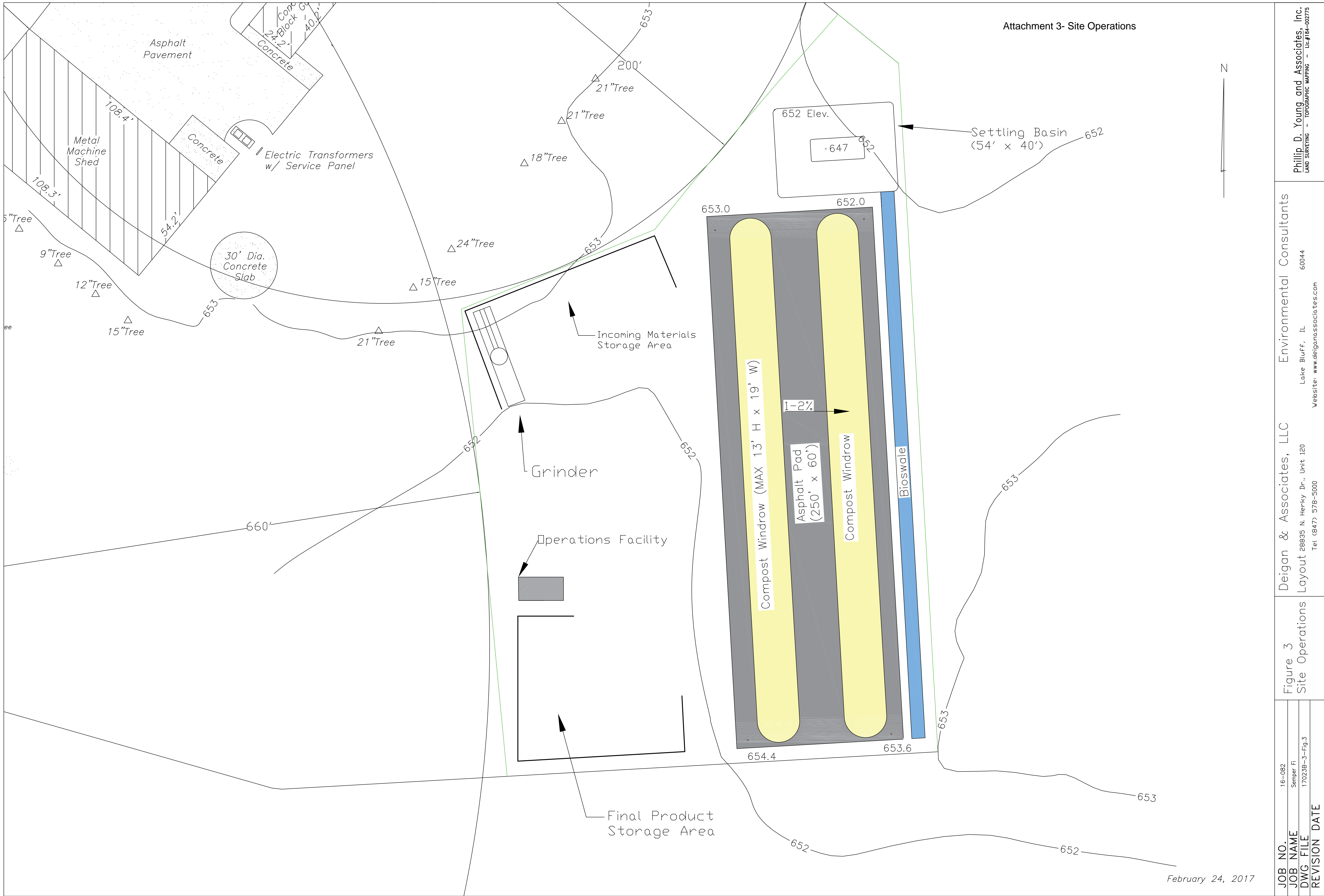
Phillip D. Young and Associates, Inc.
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775

Deigan & Associates, LLC
Environmental Consultants
28805 N. Henry St., Unit 100
Tel (630) 578-3009
Website www.deiganassociates.com

JOB NO. 16-082
JOB NAME Semper Fi
DWG FILE 17023B-Fig.1
REVISION DATE 04/13/2017

April 13, 2017

JOB NO.	17023	Phillip D. Young and Associates, Inc. LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775 1107B South Bridge Street Yorkville, Illinois 60560 Telephone (630)553-1580
JOB NAME	DEGAN & ASSOC	
DWG FILE	17023C	



February 24, 2017

JOB NO.	16-082
JOB NAME	Semper Fi
DWG FILE	17023B-3-Fig.3
REVISION DATE	

Figure 3
Site Operations

Deigan & Associates, LLC
Layout 28835 N. Herky Dr., Unit 120
Tel (847) 578-5000

Environmental Consultants
Lake Bluff, IL 60044
Website: www.deiganassociates.com

Philip D. Young and Associates, Inc.
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic #184-002775



Kendall County GIS
111 West Fox Street - Room 309
Yorkville, Illinois 60560-1498
630.653.4839

Aerial : 2016

02-15-101-003
Bristol Twp.
Kendall County Illinois



1 inch = 200 feet

Created : 04/19/2017

Attachment 5-Application Materials



Deigan & Associates, LLC
Environmental Consultants

28835 N Herky Dr. Unit 120

Lake Bluff, Illinois 60044

Phone 847.578.5000

Fax 847.549.3242

www.deiganassociates.com

January 24, 2017

Department of Planning, Building & Zoning
Kendall County
111 West Fox Street
Yorkville, Illinois 60560

Re: Special Use Application for Compost Facility
Semper Fi Land Inc.
1996 Cannonball Trail
Bristol, Kendall County, Illinois 60512

To Whom It May Concern:

Enclosed for your review is a Special Use application to develop a landscape waste compost facility for Semper Fi Land, Inc. located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois. Please contact the applicant and the undersigned with questions or should your Staff need additional information.

Sincerely,
Deigan & Associates, LLC

Steven M. Schilling, P.E.
Sr. Project Manager/Sr. Engineer

Gary J. Deigan
Principal

Enclosures

Sustainable Environmental Solutions

www.deiganassociates.com

Special Use Application

Landscape Waste Compost Facility

Owner:



Robert R. Velazquez
PRESIDENT

SEMPER FI LAND INC.
LAND SERVICES & PRESERVATION

VOSB CVE MBE DBE SBE

Facility Location:
1996 Cannonball Trail
Bristol, Kendall County, Illinois 60512

January 24, 2017

Submitted to:
Kendall County
Department of Planning, Building & Zoning
111 West Fox Street
Yorkville, Illinois 60560

Prepared by:



Deigan & Associates, LLC
Environmental Consultants

28835 N Herky Dr. Unit 120
Lake Bluff, Illinois 60044

Phone 847.578.5000

Fax 847.549.3242

www.deiganassociates.com

Sustainable Environmental Solutions

www.deiganassociates.com

**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

APPLICATIONPROJECT NAME Semper Fi Compost FacilityFILE # 17-09

NAME OF APPLICANT Robert Velazquez		
CURRENT LANDOWNER/NAME(s) Robert Velazquez		
SITE INFORMATION ACRES 5.2	SITE ADDRESS OR LOCATION 1996 Cannonball Trail, Bristol, Illinois	ASSESSOR'S ID NUMBER (PIN) 02-15-101-003
EXISTING LAND USE Ag - Residential	CURRENT ZONING A-1	LAND CLASSIFICATION ON LRMP Suburban Residential
REQUESTED ACTION (Check All That Apply): <input checked="" type="checkbox"/> SPECIAL USE <input type="checkbox"/> MAP AMENDMENT (Rezone to _____) <input type="checkbox"/> VARIANCE <input type="checkbox"/> ADMINISTRATIVE VARIANCE <input type="checkbox"/> A-1 CONDITIONAL USE for: _____ <input type="checkbox"/> SITE PLAN REVIEW <input type="checkbox"/> TEXT AMENDMENT <input type="checkbox"/> RPD (<input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final) <input type="checkbox"/> ADMINISTRATIVE APPEAL <input type="checkbox"/> PRELIMINARY PLAT <input type="checkbox"/> FINAL PLAT <input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.) <input type="checkbox"/> AMENDMENT TO A SPECIAL USE (<input type="checkbox"/> Major; <input type="checkbox"/> Minor)		
1PRIMARY CONTACT Robert Velazquez	PRIMARY CONTACT MAILING ADDRESS 1996 Cannonball Trail, Bristol, IL	PRIMARY CONTACT EMAIL
PRIMARY CONTACT PHONE # 	PRIMARY CONTACT FAX #	PRIMARY CONTACT OTHER # (Cell, etc.)
2ENGINEER CONTACT Gary Deigan	ENGINEER MAILING ADDRESS 28835 N. Herky Drive, Unit 120, Lake Bluff, IL	ENGINEER EMAIL
ENGINEER PHONE # 	ENGINEER FAX #	ENGINEER OTHER # (Cell, etc.)
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES.		
SIGNATURE OF APPLICANT 	DATE 1-24-17	

FEE PAID: \$

CHECK #:

¹Primary Contact will receive all correspondence from County²Engineering Contact will receive all correspondence from the County's Engineering Consultants



Deigan & Associates, LLC
Environmental Consultants

Project Narrative

Special Use Application – Sempre Fi Land Inc.
1996 Cannonball Trail, Bristol, Kendall County, Illinois

1.0 Applicant Identification and Location Information

The Special Use Application proposes to utilize the property located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois (the “Site”), depicted in **Figure 1** (the Site Map), as a landscape waste composting facility operated by Semper Fi Land, Inc. (Semper Fi). The property is currently approved for operation as a landscape contracting Co. This special use application would simply allow yard waste to be processed into mulch as an important recycling benefit to managing yard waste. Semper Fi is a veteran-owned small, disadvantaged business enterprise, owned and operated by Mr. Robert Velazquez. Semper Fi has been operating as a business in Kendall County for over 10 years.

Semper Fi has completed the Special Use Application (including the application fee) which is included as an attachment.

According to the Plat of Survey, the legal description of the Site is as follows:

“THAT PART OF THE SOUTHWEST QUARTER OF SAID SECTION 10 TOWNSHIP 37 NORTH RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN AND THAT PART OF THE NORTHWEST QUARTER OF SAID SECTION 15, TOWNSHIP AND RANGE AFORESAID DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE SHOUTHEASRTLY ALONG A LINE WHICH IF EXTENDED WOULD INTERSECT THE NORTHERLY LINE OF THE FORMER LANDS OF CHARLES HUNT AT A POINT ON SAID NORTHERLY LINE WHICH IS 1551.80 FEET WESTERLY OF THE WEST LINE OF A TRACT OF LAND CONVETED BY NELSON C. RIDER TO JERRY W. RIDER BY A WARRANTY DEED RECORDER NOVEMBER 29, 1911 IN BOOK 66 DEEDS, PAGE 25 AND DEPICTED IN PLAT BOOK 1 AT PAGE 62, A DISTANCE OF 938.61 FEET TO THE CENTER LINE OF CANNONBALL TRAIL, FOR A POINT OF BEGINNING; THENCE SOUTHEARLY ALONG THE LAST DESCRIBED COURSE EXTENDED, 447.72 FEET TO SAID NORTHERLY LINE; THENCE EASTERLY ALONG SAID NORTHERLY LINE, WHICH FORMS AN ANGLE OF 160 DEGREES 49 MINUTES 30 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 296.83 FEET; THENCE NORTHERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE, 309.14 FEET; THENCE NORTHWESTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 132 DEGREES 19 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURE CLOCKWISE THEREFROM, 386.56 FEET TO THE CETNER LINE OF CANNONBALL TRAIL; THENCE SOUTHWESTERLY ALONG CENTERLINE TO THE POINT OF BEGINNING, EXCEPTING THEREFORE THAT PART TAKEN FOR PUBLIC ROAD PURPOSES, IN BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS.”

A. Proposed Use of Site

Semper Fi has applied for all necessary Illinois EPA permits to become a landscape waste compost facility concurrently with its application for Special Use Zoning. A landscape waste compost facility provides important recycling and processing of landscape waste into mulch. Semper Fi will utilize only landscape waste including yard waste and other woody material for compost material. Food waste or other organic waste will not be received. Approximately 85% of the landscape waste will be processed into mulch and the other 15% of the material will be processed compost material that is used as a soil supplement for planting.

The site's existing use as landscape waste contractor yard and its rural setting with large buffer zones and proposed vegetative screening make this property a compatible use for compost/mulch production. The Semper Fi Owner resides on the property, thus further ensuring that the facility will be a good neighbor.

B. Days and Hours of Operation

Business hours for the landscape waste composting facility will be 7 AM to 3:00 PM Monday through Friday. The facility will be closed on Saturday and Sunday. The grinder will only be operated during the above business hours.

At the entrance of the compost facility a permanent sign will be placed containing pertinent information for operating such landscape waste compost facility. The sign shall read:

Semper Fi Land Inc. Landscape Waste Compost Facility
1996 Cannonball Trail, Bristol, Illinois 60512

Operating Hours: M – F 7 AM – 3 PM (post project contractor landscape waste unloading may occur until 7PM).

Materials Accepted: Wood materials including wood chips, branches and logs

Yard waste including leaves, grass clippings and small branches

COMPLAINTS CONCERNING THIS FACILITY CAN BE MADE TO THE
FOLLOWING PERSONS: OWNER/OPERATOR: ROBERT VELAZQUEZ, (630) 518-
8484 ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, BUREAU OF LAND
(217) 782-3397

It is important to note that IEPA or its delegated inspection program to the County will have authority to inspect this facility and cite non-compliance matters.

C. Employees & Training Procedures

It is estimated that 2-5 employees will be used for the Semper Fi composting operation. These employees can be broken down into the following job descriptions: facility owner, equipment operators, and landscape waste truck drivers.

The facility owner/manager is directly responsible for overall day-to-day operations. Additional employees on-site will include two equipment operators. Responsibilities will be to keep the operating areas clean and organized. The equipment operators will also be responsible for greeting visitors, completing paperwork, and directing customers to designated landscape waste areas for processing. Equipment operators move landscape waste from designated storage areas to the facility grinder for processing. Equipment operators will process materials to make mulch and compost. Semper Fi drivers will transport landscape waste from Semper Fi jobs for processing. Operating hours for material brought to the site are from 7 AM to 7 PM, all material brought to the site will be processed within the applicable IEPA standards. The tub grinder will only operate from 7AM to 3PM.

Semper Fi management and employees will be trained to ensure compliance with all conditions of the IEPA permit and Kendall County requirements.

D. Logistics

Landscape waste is processed at the facility as shown on **Figure 3**. Landscape waste is delivered to the facility by Semper Fi trucks, other landscape waste contractors, or homeowners who have generated landscape waste. To access the compost facility operations a driveway will be constructed on the southern portion of the Site, that provides access from Cannonball Trail. This proposed driveway will be the main path for incoming and outgoing trucks. The road will provide suitable load bearing capacity and appropriate turning radius for the types of trucks that enter and exit the Semper Fi Facility. As trucks enter the facility, they are directed to operations building to gather information on the incoming material and complete an inspection of the material. The visual inspection will ensure raw materials brought to the facility are only woody materials or landscape waste and are free of any materials that would pose as a hazard to human health, including glass or metal shards. The visual inspections will ensure materials brought to the site do not contain man made materials larger than four millimeters in size. Once incoming material is inspected and recorded, trucks are directed to the appropriate unloading area by employees. The quantity of incoming compost material and mulch will be measured by monitoring the size of the truck loads, and maintaining a count of loads per day. Records will be kept in the operations building onsite.

Semper Fi will accept woody material and yard waste including wood chips, branches, logs, leaves, grass clippings, and small tree limbs for compost material. The material accepted at the Site will consist of approximately 70% woody material and 30% landscape waste. The landscape waste brought to the facility will be sorted into material requiring further processing including size separation and grinding. The estimated amount of

landscape waste to be received by the facility ranges between 100 and 150 cubic yards per day. The maximum the facility anticipates receiving in a day is 250 cubic yards. This low volume will ensure timely processing (which ensures odors are mitigated) and reasonable, low profile material stockpiles.

The typical composition of the daily recycle stream is approximated in the following table. Percentages are based on waste composition by quantity of material received.

Daily Recycle Stream Categories	Material Types	% of Total Recycle Stream (By Weight)
Wood Material	Wood Chips	70%
	Branches	
	Logs	
Landscape Waste	Grass Clippings	30%
	Leaves	
	Small tree limbs	

This typical composition may vary widely based on the type of landscape jobs being completed in the area. Approximately 85% of material will be processed into mulch and 15% will be processed into compost material.

F. Composting and Mulching Procedure

Two equipment operators will be employed at the Site. The equipment operators will be responsible for maintaining the operations area, greeting and directing customers, managing paperwork, and processing composting material. Semper Fi anticipates receiving approximately 2,000 to 3,000 cubic yards of landscape waste per month to process during the 9-10 month landscape season. Incoming composting waste will be quantified through monitoring incoming truck loads and the various truck sizes.

Methods implemented to control the type of landscape waste received will include inspecting each load received to verify that non-compostable waste is not being transported to the Site. If non-compostable material is transported to the Site, the non-compostable material will be rejected and prohibited from being dumped on-site.

Staging areas on-site will be adequate in size and design to facilitate the unloading of landscape waste from delivery vehicles. The southeast portion of the Site property will be utilized for vehicle delivery and turnaround, staging of unprocessed materials (drop-off), tub grinder operations, and stockpiled compost material. The staging areas on-site comprise approximately 1.2 acres.

Prior to windrowing, the compost waste will be processed through a tub grinder. The maximum length of time required to process each day's receipt of waste into windrows will be by the end of day.

The windrows will be constructed for optimum oxygen transfer, while maintaining temperatures in the proper range. Windrow construction will include lifting the compostable material with an excavating bucket of a front-end loader, and letting it cascade to the ground to form a loose pile of compost. After windrowing the compostable material, the material will be lightly compacted with a loader or excavator bucket. The dimensions of the two windrow piles will each be approximately 13 feet high by 19 feet wide, and between 200-250 linear feet. Both windrow piles will be turned at least monthly (or more frequently as needed) using a front-end loader. The Site will be lined with trees that will provide a visual buffer and aesthetics. Some areas of the site may be fenced to prevent unknowing trespasser safety concerns around equipment.

Approximately 85% of landscape waste brought to the Site will be ground into mulch for reuse and resale. The woody material will be ground and placed in the designated storage areas for Semper Fi landscape jobs or resale to contractors and home owners.

The source and providers of landscape waste will include Semper Fi and others who have clean usable materials available. The end users will include Semper Fi, homeowners, and other landscape contractors.

H. Equipment

Semper Fi Trucks: The Semper Fi truck fleet will bring landscape waste to the Site from Semper Fi jobs for composting.

Tub Grinder: The role of the Morbark 1000 Tub Grinder is to reduce the landscape waste to mulch/compost material. The grinder can operate at a capacity of 30 tons/hour. The grinder is 48'2" in length, 8'6" wide, 12'11" in height, and weighs approximately 28,740 lbs.

Wheel Loader: A three-yard wheel loader will be used to support the unloading/sorting process and to move heavy objects around the facility.

Skid-steer Loader: A tracked skid-steer will be used for onsite operations, primarily for clean up around site operation equipment. They are also used for other site tasks when needed.

In the event of equipment break down causing facility operations to cease, proper equipment will be leased/rented until repairs can be made to ensure processing times and composting procedures are achieved.

I. Dust, Odor, Noise, and Vector Control

In the unlikely event that temporary odors are observed on-site, the compost piles will be immediately aerated. Compost piles will be aerated frequently to prevent potential odors at the Site.

All loads delivered to the Site will undergo visual inspection to ensure only landscape material is brought onsite prior to proper dumping. Loads that are observed with improper material will be directed off the premises by Semper Fi employees.

If noticeable dust is observed at the Site, Semper Fi Land, Inc. will wet the ground (or source of dust) with water to prevent further spreading. Noise mitigation strategies will be implemented at the Site through the use of a vegetative perimeter buffer. If noise issues persist at the Site, an engineered noise barrier will be installed at the Site. Further, the Site will only operate during regular business hours to not disrupt the surrounding residences.

Vectors, such as insects, ticks, rodents, some birds, and other animals, will be controlled through various strategies. One method of vector control would be density reduction, by focusing population density controls at the breeding sites. Methods would include environmental management (drainage, filling, leveling of depressions and borrow pits, etc.) or the use of insecticides (larvicides). Larvicides may only be used as a last resort and in extreme cases, and if larvicides are used, the chemical should not kill non-target organisms or contaminate soil or groundwater. Additionally, garbage will not be left out at the Site and odor will be controlled with methods previously described.

J. Daily Cleanup

The facility is maintained on a daily basis by placing incoming landscape waste into designated storage area for processing. Once material have been processed, material will be placed in the correct corresponding area for making compost material. The loading/unloading area is cleaned with the tracked skid-steer to maintain safe truck access. Facility is cleaned daily to minimize dust, debris, odors, and vectors onsite by utilizing equipment onsite, hand brooms, and/or wetting surfaces when necessary.

3. Stormwater Runoff Management

Stormwater and landscape waste leachate controls as required pursuant to 35 IAC 830.204 will be used. Stormwater or other water which comes into contact with landscape waste will be considered landscape waste leachate and will be collected and reused in the process,

properly disposed of off-site, or treated as necessary prior to discharge off-site. Particular design measures will prevent ponding of landscape waste leachate on-site.

The design of the facility will prevent any compost material from being placed within five feet of the water table pursuant to 35 IAC 830.203(a)(3). Published groundwater data (obtained from the ISGS ILWATER Interactive Online Map) shows that the static groundwater level at the nearest private water well located approximately 585 feet to the west of the Site is approximately 19 feet below ground surface (bgs). Further, the Site elevation at this well is noted as 669 feet above mean sea level (amsl). It is likely that groundwater elevation at the Site is similar to that of the nearby well. Thus, due to the location of the water table in relation to site elevation, compost material would not be placed within five feet of the water table. Additionally, during the sub-surface investigation on-site on September 2, 2016, a soil boring was advanced to 12 feet below ground surface (bgs). The water table was not encountered during this investigation, thus indicating that the water table is located greater than 12 feet bgs at the Site.

According to 35 IAC Part 830, Standards for Compost Facilities, soil on-site must be “relatively impermeable soil”, meaning soil located above the water table that has a hydraulic conductivity no greater than 1×10^{-5} centimeters per second for a thickness of at least one foot. Test results from the permeability tests reveal a hydraulic conductivity of 1.33 cm/sec. This result will require construction of an impermeable surface at the Site.

To ensure any stormwater that comes in contact with the Site will not infiltrate to the native soils, an impermeable surface will be constructed in the entire compost facility operations. The compost facility surface will be constructed of impermeable surfaces including asphalt, concrete, compacted asphalt grindings, or another impermeable surface. The impermeable surface will be sloped approximately 0.5% to 2% from west to east towards the bioswale that will collect and infiltration stormwater eliminating any non-stormwater discharge. Impermeable surfaces will be inspected frequently to ensure compliance. Measures will be taken to correct any impermeable surface imperfections that would otherwise allow infiltration to the native soils below.

Drainage on the eastern portion of the property will be directed to a 300' bioswale that will collect, infiltrate, and filter runoff from the site. During large storm events water will be diverted to an under drain system below the bioswale to collect water and transport to the settling basin depicted in **Figure 3**. The settling basin will allow for additional settlement/treatment of stormwater runoff that is not treated from the bioswale. Excess water from the settling basin will be utilized for dust control operations as well as composting moisture. This allows for a 100% recycling operation of stormwater. A Kendall County Stormwater Permit Application has been prepared for the facility using stormwater best management practices.

According to the Illinois State Geological Survey (ISGS) Illinois Water Well (ILWATER) Interactive Online Map, the nearest well (API 120932485100) is located approximately 585 feet to the west-southwest of the Site (depicted in **Figure 3**).

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Map Number 17093C0035H, the Site is located outside the boundary of the 10-year floodplain.



Deigan & Associates, LLC
Environmental Consultants

Proof of Ownership

Special Use Application – Sempre Fi Land Inc.
1996 Cannonball Trail, Bristol, Kendall County, Illinois



AFTER RECORDING RETURN TO: !

- ex D. 11-10

Robert Velazquez

201200020734

DEBBIE
GILLETTE
KENDALL COUNTY, IL

RECORDED: 10/23/2012 12:10 PM
WD: \$11.00 RHPFS FEE: 10.00
PAGES: 3

PERMANENT INDEX NUMBER:

02-15-101-003

PROPERTY ADDRESS:

1996 Cannonball Trail
Bristol, Illinois 60512

SPECIAL WARRANTY DEED

THIS INDENTURE is made as of September 28 2012 between PB IL OREO, LLC, an Illinois limited liability company, having an address of 70 W. Madison Street, Suite 200, Chicago, Illinois 60602 (the "Grantor"), and ROBERT VELAZQUEZ, having an address of 1275 Golfview Street, Aurora, Illinois 60506 (the "Grantee");

WITNESSETH, Grantor, for and in consideration of the sum of Ten Dollars in hand paid by the Grantee, the receipt whereof is hereby acknowledged, by these presents does hereby GRANT, SELL AND CONVEY unto the Grantee, his successors and assigns, the following described real estate, together with any and all improvements located thereon and all rights, easements and appurtenances thereto in any way belonging (collectively, the "Property"), situated in the County of Kendall, State of Illinois, and described on Exhibit A attached hereto.

Grantor hereby covenants, promises and agrees, to and with Grantee, its successors and assigns, that it has not done or suffered to be done, anything whereby the Property granted is, or may be, in any manner encumbered or charged, except as herein recited; and that the Property, against all persons lawfully claiming, or to claim the same, by, through or under it, it WILL WARRANT AND DEFEND.

[SIGNATURE PAGE FOLLOWS]

154.00 DT

STATE TAX

STATE OF ILLINOIS



OCT. 23. 12

KENDALL COUNTY

0000018059

REAL ESTATE TRANSFER TAX
0030800
FP 103035

FIDELITY NATIONAL TITLE

IN WITNESS WHEREOF, Grantor has signed this instrument the day and year first above written.

PB IL OREO, LLC

By: 

Its: MANAGING DIRECTOR

By: 

Its: James Thompson
Managing Director

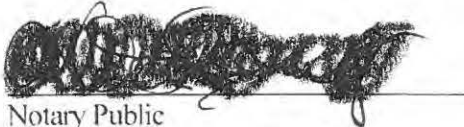
STATE OF ILLINOIS)

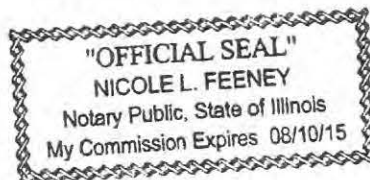
) SS

COUNTY OF COOK)

The undersigned, Nicole L. Feeney, a notary public in and for said County, in the State aforesaid, DOES HEREBY CERTIFY that Andrew Cathelina and Edward Corbett, personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that they signed and delivered the said instrument as their and voluntary act, on behalf of PB IL OREO, LLC, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this 28th day of September, 2012.


Notary Public



This instrument was prepared by: H. Jeffrey McCown, McCown Law Offices, 22837 S. Wirth, Frankfort, Illinois 60423

Exhibit A

Legal Description

THAT PART OF THE SOUTHWEST QUARTER OF SAID SECTION 10 TOWNSHIP 37 NORTH RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN AND THAT PART OF THE NORTHWEST QUARTER OF SAID SECTION 15, TOWNSHIP AND RANGE AFORESAID DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTHEASTERLY ALONG A LINE WHICH IF EXTENDED WOULD INTERSECT THE NORTHERLY LINE OF THE FORMER LANDS OF CHARLES HUNT AT A POINT ON SAID NORTHERLY LINE WHICH IS 1551.80 FEET WESTERLY OF THE WEST LINE OF A TRACT OF LAND CONVEYED BY NELSON C. RIDER TO JERRY W. RIDER BY A WARRANTY DEED RECORDED NOVEMBER 29, 1911 IN BOOK 66 DEEDS, PAGE 25 AND DEPICTED IN PLAT BOOK 1 AT PAGE 62, A DISTANCE OF 938.61 FEET TO THE CENTER LINE OF CANNONBALL TRAIL, FOR A POINT OF BEGINNING; THENCE SOUTHEASTERLY ALONG THE LAST DESCRIBED COURSE EXTENDED, 447.72 FEET TO SAID NORTHERLY LINE; THENCE EASTERLY ALONG SAID NORTHERLY LINE, WHICH FORMS AN ANGLE OF 160 DEGREES 49 MINUTES 30 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 296.83 FEET; THENCE NORTHERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE, 309.14 FEET; THENCE NORTHWESTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 132 DEGREES 19 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 386.56 FEET TO THE CENTER LINE OF CANNONBALL TRAIL; THENCE SOUTHWESTERLY ALONG SAID CENTERLINE TO THE POINT OF BEGINNING IN BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS.

PERMANENT INDEX NUMBER:

02-15-101-003

PROPERTY ADDRESS:

1996 Cannonball Trail
Bristol, Illinois 60512

Kendall County Land Evaluation and Site Assessment (LESA):

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

- **LAND EVALUATION (LE)** – The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland or forestland. The best group is assigned a value of 100 and all other groups are assigned lower values. The Land Evaluation is based on data from the Kendall County Soil Survey. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.
- **SITE ASSESSMENT (SA)** – The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The Kendall County LESA Committee is responsible for this portion of the LESA system.

Table 4a: Land Evaluation Computation

Soil Type	Value Group	Relative Value	Acres	Product (Relative Value x Acres)
318C2	6	69	0.8	55.2
369A	2	94	3.9	366.6
791A	4	79	0.3	23.7
Totals			5.0	445.5
LE Score		LE= 445.5/5.0		LE= 89.1 (89)

The Land Evaluation score for this site is **89**, indicating that this site is predominately prime farmland well suited for agricultural production.

Table 4b: Site Assessment Computation

A.	Agricultural Land Uses	Points
	1. Percentage of area in agricultural uses within 1.5 miles of site. (20-10-5-0)	5
	2. Current land use adjacent to site. (30-20-15-10-0)	30
	3. Percentage of site in agricultural production in any of the last 5 years. (20-15-10-5-0)	10
	4. Size of site. (30-15-10-0)	0
B.	Compatibility / Impact on Uses	
	1. Distance from city or village limits. (20-10-0)	0
	2. Consistency of proposed use with County Land Resource Management Concept Plan and/or municipal comprehensive land use plan. (20-10-0)	10
	3. Compatibility of agricultural and non-agricultural uses. (15-7-0)	0
C.	Existence of Infrastructure	
	1. Availability of public sewage system. (10-8-6-0)	8
	2. Availability of public water system. (10-8-6-0)	8
	3. Transportation systems. (15-7-0)	7
	4. Distance from fire protection service. (10-8-6-2-0)	2
	Site Assessment Score:	80

Land Evaluation Value: 89 + Site Assessment Value: 80 = LESA Score: 169

LESA SCORE	LEVEL OF PROTECTION
0-200	Low
201-225	Medium
226-250	High
251-300	Very High

The **LESA Score** for this site is **169** which indicates a **low level of protection** for the proposed project site. Note: Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County.

LAND USE OPINION:

The Kendall County Soil and Water Conservation District (SWCD) Board has reviewed the proposed development plans for Petitioner Semper Fi Land Service for the proposed Semper Fi Compost Facility project. This parcel is located in Section 10 & 15 of Bristol Township (T.37N.-R.7E. of the 3rd Principal Meridian) in Kendall County. Based on the information provided by the petitioner and a review of natural resource related data available to the Kendall County SWCD, the SWCD Board has the following opinions and recommendations.

The Kendall County SWCD has always had the opinion that Prime Farmland should be preserved whenever feasible. A land evaluation, which is a part of the Land Evaluation and Site Assessment (LESA) was conducted on this parcel. The soils on this parcel scored a 89 out of a possible 100 points indicating the soils found on the project site are predominately prime farmland well suited for agricultural production. All of the soils identified onsite are designated as prime farmland. The proposed project is requesting an A-1 Special Use permit to operate a landscape waste compost facility.

For proposed land uses, soils can have potential limitations. This report indicates that for soils located on the parcel, 100% of the soils are very limited for shallow excavations; 85.5% of the soils are very limited for local roads/streets and 15% are rated as unsuitable for onsite conventional sewage disposal systems. This information is based on the soil in an undisturbed state and does not replace the need for site specific soil testing. Some soil reclamation, special design, or maintenance may be required to obtain suitable soil conditions to support development with significant limitations. Additionally, if the scope of the project includes the use of onsite septic systems, please consult with the Kendall County Health Department.

This site is located within the Fox River Watershed and Blackberry Creek subwatershed.

This development should include a soil erosion sediment control plan to be implemented during construction. Sediment may become a primary non-point source of pollution. Eroded soils during the construction phase can create unsafe conditions on roadways, degrade water quality and destroy aquatic ecosystems lower in the watershed.

For intense project uses it may be necessary to have a drainage tile survey completed on the parcel to locate any subsurface drainage tile if suspected onsite. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. Impaired tile may affect a few acres or hundreds of acres of drainage.

The information that is included in this Natural Resources Information Report is to assure the Land Developers take into full consideration the limitations of that land that they wish to develop. Guidelines and recommendations are also a part of this report and should be considered in the planning process. The Natural Resource Information Report is required by the Illinois Soil and Water Conservation District Act (Ill. Compiled Statutes, Ch. 70, Par 405/22.02a).


Chair


Date



Deigan & Associates, LLC
Environmental Consultants

Endangered Species Consultation Report

Special Use Application – Sempre Fi Land Inc.
1996 Cannonball Trail, Bristol, Kendall County, Illinois

Applicant: Deigan & Associates
Contact: Katie Kult
Address: 28835 N. Herky Drive, Unit 120
Lake Bluff, IL 60044

Project: Semper Fi Compost Facility
Address: 1996 Cannonball Trail, Bristol, IL

IDNR Project Number: 1706246
Date: 01/16/2017

Description: The EcoCAT is being submitted for the development of a Compost Facility for the property located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois as a landscape waste composting facility operated by Semper Fi Land, Inc. Semper Fi is owned and operated by Robert Velazquez. The compost facility will be developed in accordance to Title 35 Illinois Administrative Code 830 and other Federal, State, and Local rules and regulations. The Site is currently utilized as a residential dwelling and agricultural land.

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kendall

Township, Range, Section:

37N, 7E, 10

37N, 7E, 15



IL Department of Natural Resources

Contact

Keith Shank
217-785-5500
Division of Ecosystems & Environment

Government Jurisdiction

Kendall County
Brian Holdiman
111 West Fox Street Room 203
Yorkville, Illinois 60560

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.

2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.

3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

Security

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

Privacy

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.



EcoCAT Receipt

Project Code 1706246

APPLICANT

DATE

Deigan & Associates
Gary Deigan
28835 N. Herky Drive, Unit 120
Lake Bluff, IL 60044

1/16/2017

DESCRIPTION

FEE

CONVENIENCE FEE

TOTAL PAID

EcoCAT Consultation

\$ 500.00

\$ 11.75

\$ 511.75

TOTAL PAID \$ 511.75

Illinois Department of Natural Resources
One Natural Resources Way
Springfield, IL 62702
217-785-5500
dnr.ecocat@illinois.gov



Deigan & Associates, LLC
Environmental Consultants

Special Use Findings of Fact

Special Use Application – Sempre Fi Land Inc.
1996 Cannonball Trail, Bristol, Kendall County, Illinois

Please fill out the following findings of fact to the best of your capabilities. §13.08.J of the Zoning Ordinance outlines findings that the Hearing Officer shall consider in rendering a decision, but is not required to make an affirmative finding on all items in order to grant a **special use**. They are as follows:

That the establishment, maintenance, and operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare.

The facility will be constructed and operated in accordance with all Kendall County ordinances and Illinois EPA permits/regulations and will not be detrimental or endanger the public health, safety, morals, comfort, or general welfare.

That the special use will not be substantially injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole.

Property surrounding the Site is predominantly zoned agricultural land. The petitioners propose using the property as a compost business which is compatible with agricultural farming.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided.

The proposed compost facility has adequate access from Cannonball Trail. The petitioners will submit a Stormwater Submittal in accordance with Article 5, Table 502 of the Countywide Stormwater Ordinance for review and approval prior to construction.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Hearing Officer.

The proposed Special Use will allow for the existing permitted landscaping operation to effectively manage landscape waste. Petitioners have provided a construction and operating plan that conforms to the applicable regulations of the A-1 District.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies.

This Special Use is consistent with the LRMP in providing an essential service to the surrounding land use categories contemplated by the Future Land Use Plan. The agricultural nature of this facility is consistent with the overall character of the area.

Attachment 6- Application Addendum



Deigan & Associates, LLC
Environmental Consultants

28835 N Herky Dr. Unit 120

Lake Bluff, Illinois 60044

Phone 847.578.5000

Fax 847.549.3242

www.deiganassociates.com

April 17, 2017

Matthew H. Asselmeier, AICP
Senior Planner
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498

Re: Addendum to Special Use Permit Application
Semper Fi Land Inc.
1996 Cannonball Trail
Bristol, Kendall County, Illinois 60512

Dear Mr. Asselmeier:

Enclosed are revised Plat of Survey and Site Plan for the Special Use Permit application to develop a landscape waste compost facility for Semper Fi Land, Inc. located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois. These drawings replace Figures 1 and 3 in our original submittal. In addition, we have included a Stormwater Submittal of which the Plat of Survey and Site Plan are components.

Please contact the undersigned with questions.

Sincerely,

Deigan & Associates, LLC

Gary J. Deigan
Principal

Steven Schilling, P.E.
Sr. Project Manager/Sr. Engineer

Sustainable Environmental Solutions

www.deiganassociates.com

Addendum to Application for a Special Use Permit



Facility Location:
1996 Cannonball Trail
Bristol, Kendall County, Illinois 60512

April 17, 2017

Submitted to:
Kendall County Planning,
Building & Zoning Department

Prepared by:



Deigan & Associates, LLC
Environmental Consultants

28835 N Herky Dr. Unit 120
Lake Bluff, Illinois 60044

Phone 847.578.5000

Fax 847.549.3242

www.deiganassociates.com

Addendum Contents

Supplemental Narrative Text – Stormwater Submittal

Figure 1 – Zoning Plat for Special Use Permit (1-
24”x36” plus 15-11”x17” Copies)

Figure 3 – Site Operations Layout (1-24”x36” plus
15-11”x17” Copies)

Figure 4 – ISGS Illinois Water Well Map

Figure 5 – FEMA Flood Insurance Map

Figure 6 – Settling Basin Detail

Stormwater Submittal

Applicant Identification and Location Information

The Kendall County Stormwater Application has been prepared for the development of a Compost Facility for the property located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois (the “Site”), depicted in Figure 1 (the Site Map), as a landscape waste composting facility operated by Semper Fi Land, Inc. (Semper Fi). Semper Fi is owned and operated by Robert Velazquez.

The compost facility will be developed in accordance to Title 35 Illinois Administrative Code 830 and other Federal, State, and Local rules and regulations. The Site is currently utilized as a residential dwelling and agricultural land. Surrounding land uses include both residential and agricultural. According to the Kendall County Geographic Information Systems (GIS) Online Mapper, the Site is zoned agricultural – special use (A1-SU).

Immediately adjoining land uses relative to the Site include:

- North—Cannonball Trail followed by cultivated agricultural land.
- East— Cultivated agricultural land.
- West—Cannonball Trail followed by cultivated agricultural land.
- South—Cultivated agricultural land followed by residential use.

Logistics and Operation

The facility will operate as a composting facility that will utilize only landscape waste including yard waste and other woody material for compost material. Organic waste will not be received or processed at the facility. Approximately 70% of the landscape waste proposed to be received by the facility includes wood material (wood chips, branches and logs) and the other 30% of the material will be yard waste (compost) including leaves, grass clippings and small branches.

Landscape waste processed at the facility is delivered by Semper Fi trucks, other landscape waste contractors, or homeowners who have generated landscape waste. The facility will not accept organic waste. The estimated amount of landscape waste to be received by the facility ranges between 100 and 150 yards per day. The maximum the facility anticipates receiving in a day is 250 yards. Business hours for the landscape waste composting facility will be 7:00 a.m. to 3:00 p.m. Monday through Friday. The facility will be closed on Saturday and Sunday.

The material processed at the Site will consist of approximately 85% mulch and 15% compost. The landscape waste brought to the facility will be sorted into material requiring

further processing. The composting operation on-site will be a large-scale composting business, utilizing windrow composting methods to produce compost material. A mixture of composting ingredients will be placed in long, narrow piles. The initial step in constructing the compost pile will be to grind and shred ingredients using an on-site grinder. The grinder will only be operated during the Site operating hours mentioned above. Grinding ingredients also reduces the particle size which increases temperature and thus speeds up the composting process. Materials will then be mixed and the windrow piles will be constructed. The dimensions of the windrows will be approximately 13 feet high by 19 feet wide, and 250 linear feet. A tracked skid-steer and a three-yard wheel loader will be utilized to load the windrow piles. These machines will also be used to turn the windrow piles to redistribute the heat and also aerate the compost, aiding in the decomposition process.

Staging areas on-site will be adequate in size and design to facilitate the unloading of landscape waste from delivery vehicles. The southeast portion of the Site operations area will be utilized for vehicle delivery and turnaround, staging of unprocessed materials (drop-off), tub grinder operations, and stockpiled compost material. The processing and staging areas on-site comprise approximately 1.2 acres.

Stormwater Runoff Management

Stormwater and landscape waste leachate controls as required pursuant to 35 IAC 830.204 and the Kendall County Stormwater Ordinance. Stormwater or other water which comes into contact with landscape waste will be considered landscape waste leachate and will be collected and reused in the process, properly disposed of off-site, or treated as necessary prior to discharge off-site. Stormwater that comes in contact with the site will be collected in the adjacent bioswales within the Site operations area and the filtered water will be collected in the onsite operations settling basin. Further detail detailed design measures are discussed **Section B** and depicted in **Figure 3**. Design measures will prevent ponding of landscape waste leachate on-site.

Additionally, soil surfaces will not come into contact with the compost piles, as impervious surfaces will be present (depicted in **Figure 3**). Thus, the compost material will remain in aerobic conditions and drain into the onsite bioswale.

A. Hydrology of the Compositing Facility

According to the Illinois State Geological Survey (ISGS) Illinois Water Well (ILWATER) Interactive Online Map, the nearest well (API 120932485100) is located approximately 585 feet to the west-southwest of the Site. The ISGS Illinois Water Well Map is included as **Figure 4**.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Number 17093C0035H, the Site is located outside the boundary of the 10-year and 100-year floodplain (depicted in **Figure 5**).

The design of the facility will prevent any compost material from being placed within five feet of the water table pursuant to 35 IAC 830.203(a)(3). Published groundwater data (obtained from the ISGS ILWATER Interactive Online Map) shows that the static groundwater level at the nearest private water well located approximately 585 feet to the west of the Site (discussed above) is approximately 19 feet below ground surface (bgs). Further, the Site elevation at this well is noted as 669 feet above mean sea level (amsl). Due to the relatively flat topography and no major water body (lake or ocean) nearby, it is likely that groundwater elevation at the Site is similar to that of the nearby well. Thus, it is inferred that due to the location of the water table in relation to site elevation, compost material would not be placed within five feet of the water table.

According to 35 IAC Part 830, Standards for Compost Facilities, soil on-site must be “relatively impermeable soil”, meaning soil located above the water table that has a hydraulic conductivity no greater than 1×10^{-5} centimeters per second (cm/sec) for a thickness of at least one foot. Test results from the permeability tests reveal a hydraulic conductivity of 1.33 cm/sec. During the sub-surface investigation on-site on September 2, 2016, a soil boring was advanced to 12 feet below ground surface (bgs). The water table was not encountered during this investigation, thus indicating that the water table is located greater than 12 feet bgs at the Site.

To ensure any stormwater that comes in contact with the Site is properly managed, an impermeable surface will be constructed within the entire composting area. The composting area surface will be constructed of impermeable surfaces including asphalt, concrete, compacted asphalt grindings, or another impermeable surface. The impermeable surface will be sloped approximately 1% to 2% from west to east towards the bioswale that will collect and filter the stormwater. Impermeable surfaces will be inspected frequently to ensure compliance. Measures will be taken to correct any impermeable surface imperfections that would otherwise allow infiltration to the native soils below.

Detailed below is the current stormwater runoff rate:

$$Q \text{ (Peak Runoff Rate)} = C \text{ (Runoff Coefficient)} i \text{ (rainfall intensity)} A \text{ (Drainage Area)}$$

$$C = 0.2$$

$$i_{2 \text{ yr. } 24 \text{ hr.}} = 3.04 \frac{\text{inches}}{24 - \text{hour}}$$

$$i_{10 \text{ yr. } 24 \text{ hr.}} = 4.47 \frac{\text{inches}}{24 - \text{hour}}$$

$$A = 5.4 \text{ acres}$$

$$Q_{2 \text{ yr.}} = 3.23 \text{ cubic feet per second (cfs)}$$

$$Q_{10 \text{ yr.}} = 4.86 \text{ cfs}$$

Using the American Society of Civil Engineers Coefficient Table, a runoff coefficient of 0.2 was selected based on the current Site conditions being comprised of majority residential area with vegetation and portions being agricultural lands with crop coverage. Using the duration of 24-hours, the rainfall intensity constants for a 2-year storm and 10-year storm were selected from the Bulletin 70 Rainfall Distribution and Hydroclimatic Characteristics of Heavy Rainstorms in Illinois provided by Illinois State Water Survey.

B. Stormwater and Landscape Waste Leachate Controls

The Site composting operations only utilize the eastern portion of the property and a driveway connecting Cannonball Trail to the operations area; therefore, the western half of the property will continue to drain as it did prior to this development.

Material staged outdoors will be conducted on an improved surface consisting of concrete, asphalt, or compacted asphalt grindings. The Site will be sloped to allow drainage from the composting operations to the bioswale system discussed below. Materials to be staged outdoors will consist of mulch and compost material. Runoff that contacts material and equipment stored outside is managed through the constructed bioswale and settling basins.

Drainage within the operations area of the property will be directed to a 250' bioswale that will collect, infiltrate, and filter runoff from the site. The bioswale will include native plantings that aid in the filtration process through microbial activity removing any contaminants generated from the composting process. During large storm events, water will be diverted to an under-drain system below the bioswale to collect water and transport to the settling basin as depicted on **Figure 3**. The settling basin will allow for additional storage, infiltration and settlement/treatment of stormwater runoff that is not treated from the bioswale. Excess water from the settling basin will be utilized for dust control operations as well as composting moisture. This allows for a 100% recycling operation of stormwater.

A. Site Development Runoff Calculations

The Site development will consist of a 0.3 acre impervious asphalt pad. To be conservative, calculations have been based on 1.2-acres of impervious surface for the composting area. Detailed below is the stormwater runoff rate with the impervious surface used in the composting area.

$$Q \text{ (Peak Runoff Rate)} \\ = C(\text{Runoff Coefficient}) i \text{ (rainfall intensity)} A \text{ (Drainage Area)}$$

$$C = 0.7$$

$$i_{2 \text{ yr. } 24 \text{ hr.}} = 3.04 \frac{\text{inches}}{24 - \text{hour}}$$

$$i_{10 \text{ yr. } 24 \text{ hr.}} = 4.47 \frac{\text{inches}}{24 - \text{hour}}$$

$$A = 1.2 \text{ acres}$$

$$Q_{2 \text{ yr.}} = 2.51 \text{ cubic feet per second (cfs)}$$

$$Q_{10 \text{ yr.}} = 3.78 \text{ cfs}$$

Using the American Society of Civil Engineers Coefficient Table, a runoff coefficient of 0.7 was selected based on the Site being developed with an impervious surface. The Site is relatively flat, with an approximated drainage slope of 0.3%. Using the duration of 24-hours, the rainfall intensity constants for a 2-year storm and 10-year storm were selected from the Bulletin 70 Rainfall Distribution and Hydroclimatic Characteristics of Heavy Rainstorms in Illinois provided by Illinois State Water Survey.

B. Bioswale Sizing

The bioswale has been designed to infiltrate 50% of the largest designed storm event. Stormwater that falls onto the impervious site operations area will be directed to the 250' linear bioswale located along the east portion of the property. The impervious surface within the operations area will slope approximately 1% to 2% from west to east to allow for drainage into the bioswale and eliminate any non-stormwater discharge from the Site. The bioswale will be 250' in length, 5' in width, and a minimum 12" in depth. The bioswale will be backfilled with the permeable soils and planted with native species to promote infiltration. Test results from a Site permeability tests reveal a hydraulic conductivity of 1.33 cm/sec. Side slopes within the bioswale will be no greater than 3:1. Native plantings will include grasses and a couple of varieties of flower plants for a visual aesthetics. The

bioswale will be sloped approximately 0.3% to 0.5% longitudinally to allow for flow of excess filtered stormwater to the settling basin.

To accommodate large storm events a perforated pipe will be placed approximately 12" longitudinal below ground surface that will drain into a sedimentation basin discussed in the following Section. In the event the bioswale becomes inundated with stormwater, water will move to a 12" diameter perforated pipe embedded in open graded aggregate wrapped in filter fabric to transport to the settling basin. This pipe will be flat in order to encourage infiltration for stormwater cleansing before leaving the pipe to the settling basin.

$$d \text{ (pipe diameter)} = \sqrt{\frac{4 Q_{10 \text{ yr.}}}{\pi v}}$$

Assumed velocity (v) = 5 ft/s

$$d \text{ (pipe diameter)} = 11.8 \text{ inches}$$

C. Settling Basin Sizing

Stormwater that is not able to be infiltrated through the natural soils will flow through the 12" diameter perforated pipe that is sloped longitudinally 0.5% to 2.0% towards the settling basin.

$$\text{Volume Storage} = i_{10 \text{ yr } 24 \text{ hr}} * C_{\text{Developed}} * A_{\text{Developed}}$$

$$\text{Volume Storage} = 4.47 \text{ in} * \frac{1 \text{ ft}}{12 \text{ in}} * 0.7 * 1.2 \text{ acres} * \frac{43560 \text{ ft}^2}{1 \text{ ac}}$$

$$\text{Volume Storage Needed} = 13,629.9 \text{ ft}^3$$

The bioswale provides approximately 1,650 ft³ of stormwater storage. The bioswale has been designed to infiltrate 50% of the largest designed storm event. The volume of stormwater storage required for a settling basin, if 50% of the stormwater is infiltrated in the bioswale and 1,650 ft³ of stormwater can be stored is 5,164 ft³. A conservative approach is to allow for excess storage in the basin.

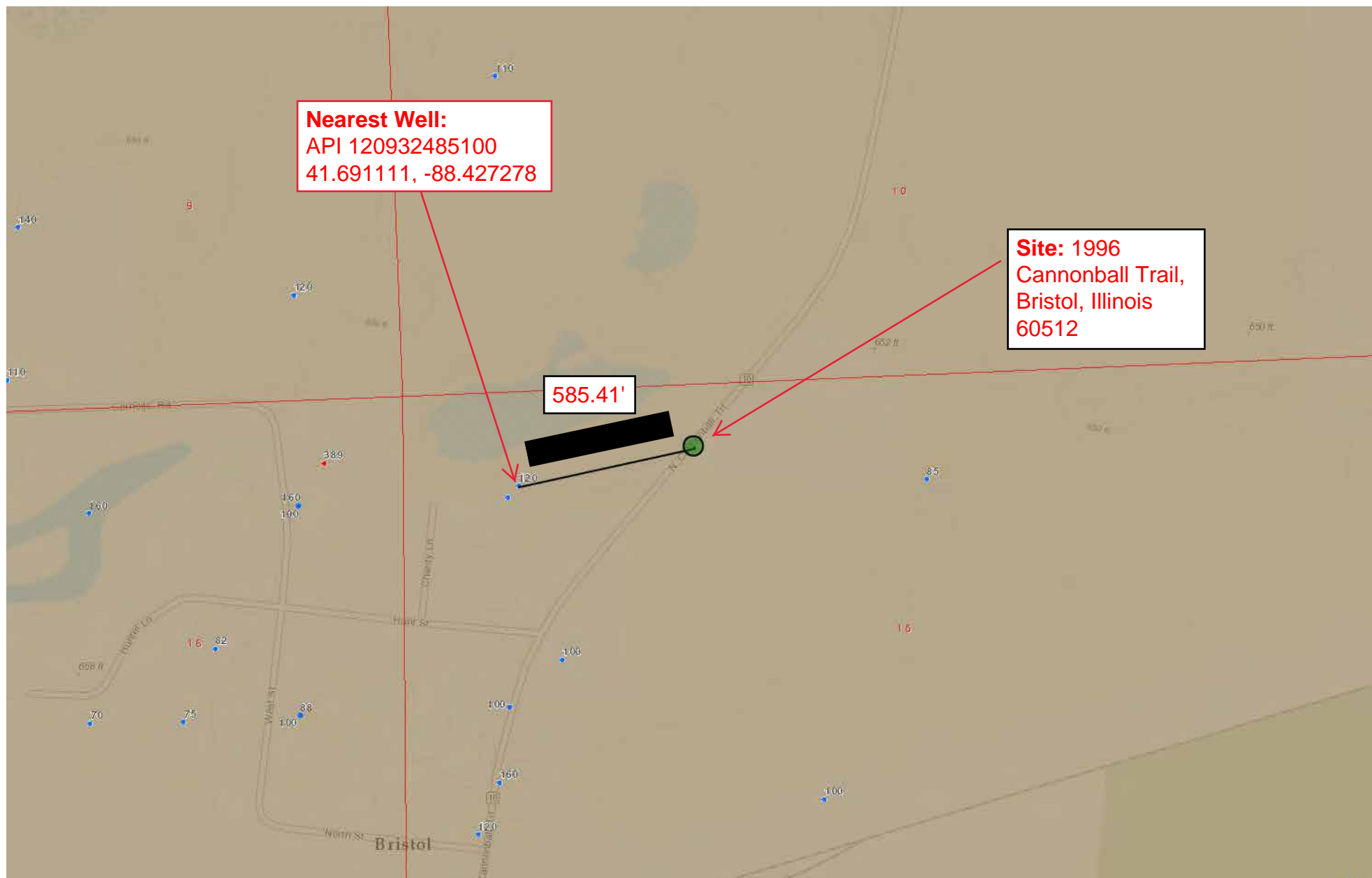
$$\text{Basin Size (truncated right pyramid)} =$$

$$54 \text{ ft (l)} \text{ by } 40 \text{ ft (w)} \text{ by } 5 \text{ ft (d)} = 5,250 \text{ ft}^3$$

The settling basin will allow for additional settlement/treatment of stormwater runoff that is not treated from the bioswale. Excess water from the settling basin will be utilized for dust control operations as well as composting moisture. This allows for a 100% recycling operation of stormwater. A detail of the settling basin layout and storage calculation is shown on **Figure 6**.

C. Additional Permitting Requirements

Construction of the facility will require a NPDES Permit for Construction Site Activities from the Illinois Environmental Protection Agency. A Notice of Intent for General Permit will be filed no later than 30 days prior to commencement of construction and will include a Storm Water Pollution Prevention Plan (SWPPP).



ILLINOIS STATE
GEOLOGICAL SURVEY
PRAIRIE RESEARCH INSTITUTE

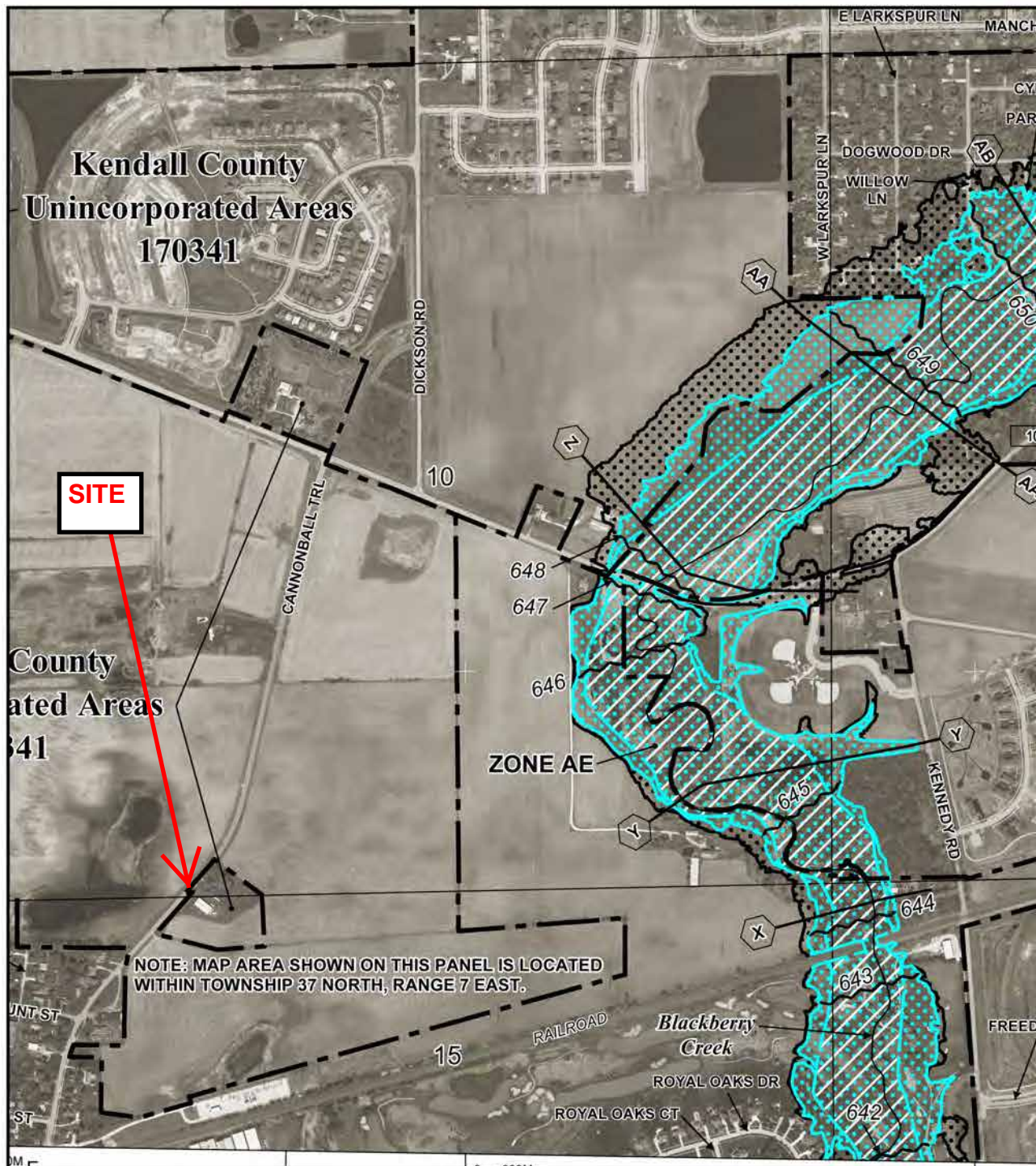
1996 Cannonball Trail, Bristol, Illinois

Date: Aug 12, 2016

FIGURE 4



FIGURE 5



MAP SCALE 1" = 1000'

500 0 1000 2000 FEET

300 0 300 600 METERS

NFIP

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0035H

FIRM

FLOOD INSURANCE RATE MAP

**KENDALL COUNTY,
ILLINOIS**

AND INCORPORATED AREAS

PANEL 35 OF 225

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
KENDALL COUNTY	170341	0035	H
MONTGOMERY, VILLAGE OF	170328	0035	H
OSWEGO, VILLAGE OF	170345	0035	H
YORKVILLE, CITY OF	170347	0035	H

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

**MAP NUMBER
17093C0035H**

**MAP REVISED
JANUARY 8, 2014**

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov



BY SAS	DATE 2-17-2017	SUBJECT STORMWATER SETTLING BASIN	SHEET NO. 1 OF 1
CHECKED BY	DATE	SEMPRE FI COMPOSTING	PROJECT NO. 16-082

SETTLING BASIN (TRUNCATED RIGHT PYRAMID)

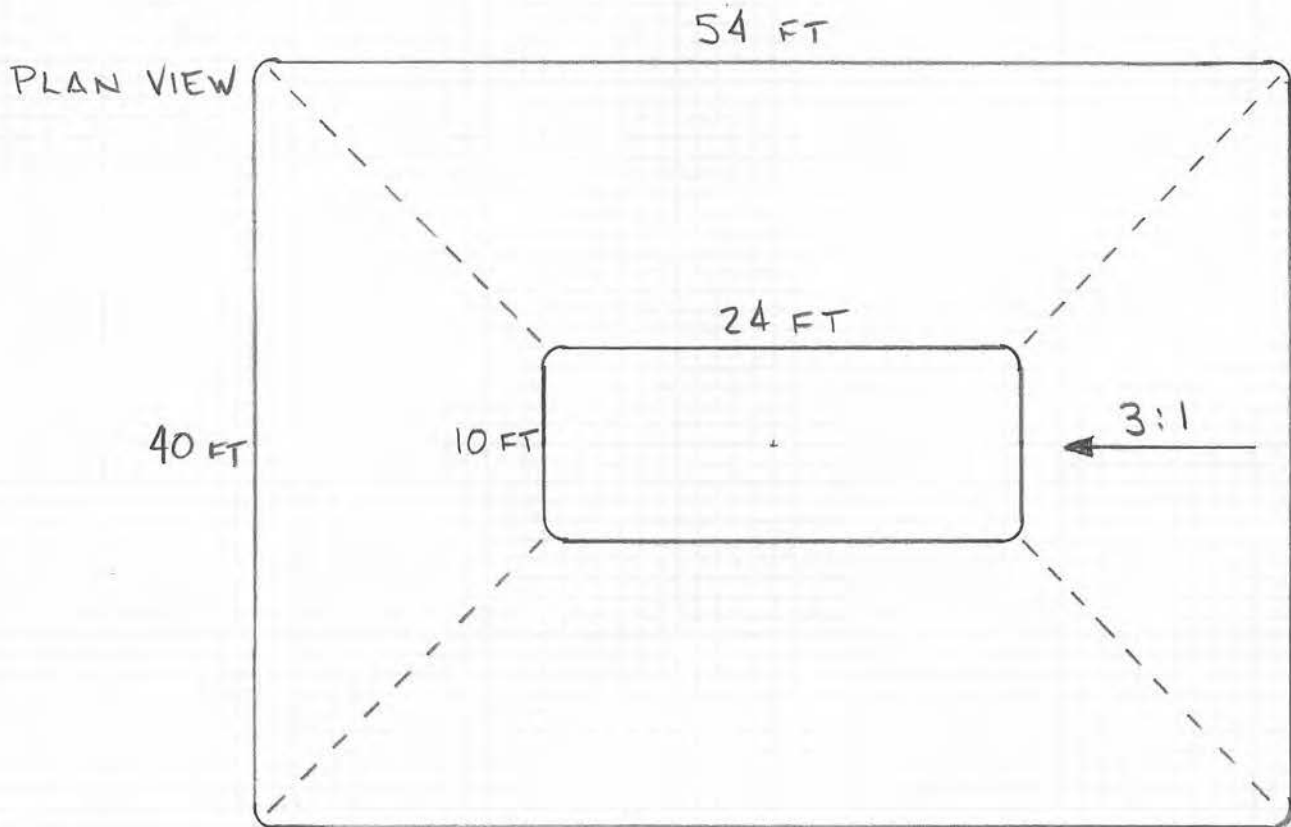
3:1 MAXIMUM SIDE SLOPES

5,200 FT³ STORAGE NEEDED

$$V = \frac{1}{6} \times H \times (B + (a+c) \times (b+d) + T)$$

$$= \frac{1}{6} \times 5 \times [(54 \times 40) + (54+24) \times (40+10) + (24 \times 10)] \quad * \text{ ALL IN FT}$$

$$= 5,250 \text{ FT}^3$$



ELEVATION

5 FT DEPTH

3:1

Bioswale

Definition

- Vegetated swale system with an infiltration trench designed to retain and temporarily store stormwater. Bioswales are planted with native grasses and forbs that enhance filtration, cooling, and cleansing of water in order to improve water quality and prevent sealing of subsoils.



© Conservation Design Forum

bioswale in a parking lot (Tellabs, Naperville, IL)
(Conservation Design Forum)

Applicability

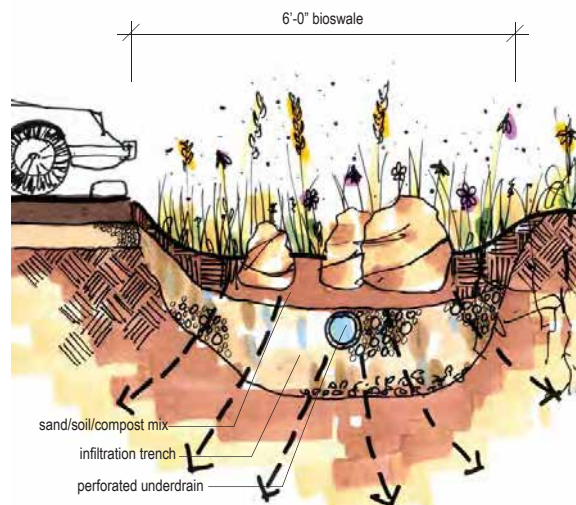
- | | | | | |
|-----------------|---|---|---|--|
| ➤ Scale | <input type="checkbox"/> Watershed/County | <input type="checkbox"/> Town/Village | <input checked="" type="checkbox"/> Neighborhood | <input checked="" type="checkbox"/> Lot |
| ➤ Applications | <input checked="" type="checkbox"/> Retrofit | <input checked="" type="checkbox"/> New | <input type="checkbox"/> Ongoing/ Maintenance | |
| | <input checked="" type="checkbox"/> Preventive | <input checked="" type="checkbox"/> Remedial | <input type="checkbox"/> Driveways | |
| | <input type="checkbox"/> Roofs | <input checked="" type="checkbox"/> Streets | <input type="checkbox"/> Sensitive Areas | |
| | <input checked="" type="checkbox"/> Parking Lots | <input type="checkbox"/> Lawn | <input type="checkbox"/> Physical Habitat Preservation/Creation | <input checked="" type="checkbox"/> Sediment Pollution Control |
| ➤ Effectiveness | <input checked="" type="checkbox"/> Runoff Rate Control | <input checked="" type="checkbox"/> Runoff Volume Control | <input checked="" type="checkbox"/> Other Pollutant Control | |
| | <input checked="" type="checkbox"/> Nutrient Control | <input checked="" type="checkbox"/> BOD Control | | |

Benefits

- Reduces impervious runoff volumes and rates.
- Recharges groundwater and sustains base flows.
- Reduces sediment and nutrient runoff.
- Can reduce detention needs.

Design Considerations

- Bioswales must be sized and designed to account for drainage area and soils.
- Filtration benefits can be improved by planting native deep-rooted vegetation.
- Infiltration storage should be designed to drain in 24 hours to prevent sealing of subsoils.
- Topsoil should be amended with compost and/or sand to improve organic content for filtering and to achieve adequate infiltration rates.
- Bioswales should be protected from construction site runoff to prevent sealing of topsoil and/or subsoils.
- Direct entry of stormwater runoff into infiltration trench should be prevented to preserve groundwater quality and to prevent sealing of subsoils.
- Underdrain should be sufficiently low in the trench to provide adequate drainage of aggregate base of adjacent paved areas but sufficiently high to provide infiltration storage.



© Conservation Design Forum

cross section of bioswale (Conservation Design Forum)

Attachment 7-Entrance
from Cannonball

**Proposed
Gravel Drive**



Attachment 8-
Looking East

Approximate
Location of
Operations



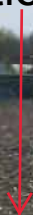
Attachment 9-Looking East at
Southeast Corner of Grass

Approximate Location
of Operations



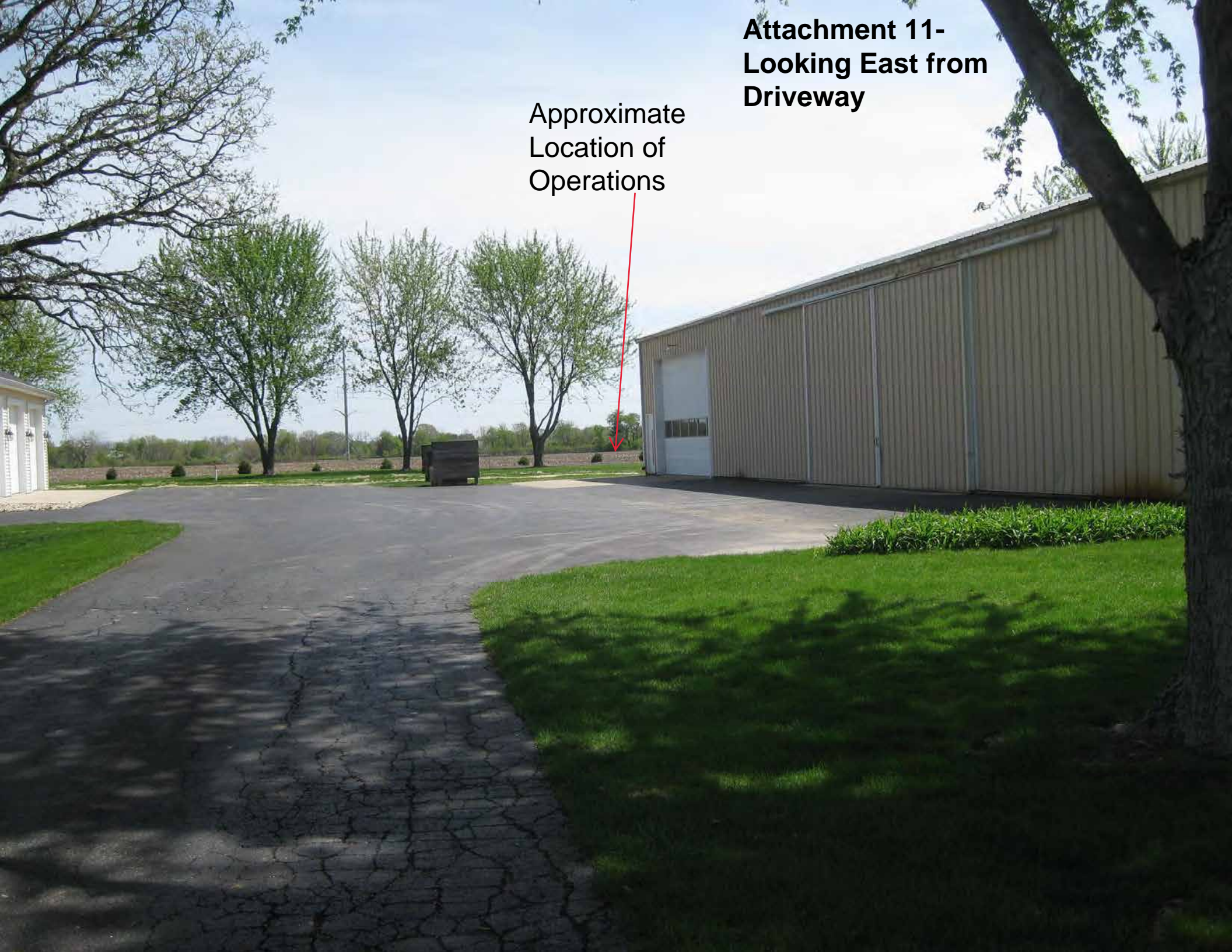
Attachment 10-
Looking Southeast

Approximate
Location of
Operations



**Attachment 11-
Looking East from
Driveway**

Approximate
Location of
Operations



Attachment 12-Looking
South from Driveway

Gravel
Driveway

Gravel
Driveway



Attachment 13-Looking
North from Driveway



State of Illinois
County of Kendall

Zoning Petition
#12-32

ORDINANCE NUMBER 2012 - 23

GRANTING A SPECIAL USE FOR
1996 CANNONBALL TRAIL
SEMPER FI YARD SERVICES INC.

WHEREAS, Semper Fi Yard Services Inc. has filed a petition for a Special Use within the A-1 Agricultural Zoning District for a 5.2 acre property located on the east side of Cannonball Trail about 0.5 miles south of Galena Road, commonly known as 1996 Cannonball Trail (PIN# 02-15-101-003), in Bristol Township, and;

WHEREAS, said petition is to allow the operation of a landscape business and live in the house; and

WHEREAS, said property is currently zoned A-1 Agricultural; and

WHEREAS, said property is legally described as:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN AND THAT PART OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP AND RANGE AFORESAID DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER, THENCE SOUTHEASTERLY ALONG A LINE WHICH IF EXTENDED WOULD INTERSECT THE NORTHERLY LINE OF THE FORMER LANDS OF CHARLES HUNT AT A POINT OF SAID NORTHERLY LINE WHICH IS 1551.80 FEET WESTERLY OF THE WEST LINE OF A TRACT OF LAND CONVEYED BY NELSON C. RIDER TO JERRY W. RIDER BY A WARRANTY DEED RECORDED NOVEMBER 29, 1911 IN BOOK 66 DEEDS, PAGE 25 AND DEPICTED IN THE PLAT BOOK 1 AT PAGE 62, A DISTANCE OF 938.61 FEET TO THE CENTER LINE OF CANNONBALL TRAIL, FOR A POINT OF BEGINNING, THENCE SOUTHEASTERLY ALONG THE LAST DESCRIBED COURSE EXTENDED, 447.72 FEET TO SAID NORTHERLY LINE; THENCE EASTERLY ALONG SAID NORTHERLY LINE, WHICH FORMS AN ANGLE OF 160°49' 30" WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 296.83 FEET; THENCE NORTHERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE, 309.14 FEET; THENCE NORTHWESTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 132°19'35" WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 386.56 FEET TO THE CENTER LINE OF CANNONBALL TRAIL; THENCE SOUTHWESTERLY ALONG SAID CENTER LINE TO THE POINT OF BEGINNING IN BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS AND CONTAINING 5.727 ACRES.

WHEREAS, all procedures required by the Kendall County Zoning Ordinance were followed including notice for public hearing, preparation of the findings of fact in accordance with Section 13.07.J of the Zoning Ordinance, and recommendation for approval by the Special Use Hearing Officer on October 1, 2012; and

WHEREAS, the findings of fact were approved as follows:

That the establishment, maintenance, and operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare. All equipment will be stored inside the structures and shall not be detrimental or endanger the public health, safety, morals,

comfort or general welfare.

That the special use will not be injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. All property surrounding this piece of land is farm land. The petitioners will still be using the property as a landscape business which is compatible with agricultural farming. The zoning classification within the general area is still agricultural.

That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The special use permit requested is consistent with the existing zoning and uses within the district.

That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided. All the utilities, access roads and drainage already exist for this site.

That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. The site currently has two entrances at the north and south end of the property. The proposed special use will add minimal additional traffic to the site and will not cause congestion on Cannonball Trail.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Hearing Officer. The building already exists and the petitioner is not requesting any variances.

That the special use is consistent with the spirit of the Land Resource Management Plan and other adopted County or municipal plans and policies. This special use permit will be consistent with the County's LRMP and the City of Yorkville's future plan which calls for the property to be residential. The petitioners will live in the home and a landscape business will have the same equipment and hours of operation as the surrounding farms.

WHEREAS, the Kendall County Board has considered the findings and recommendation of the Hearing Officer and finds that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, this special use shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, that the Kendall County Board hereby grants approval of a special use zoning permit to operate a landscape business in accordance to the submitted Site Plan included as "Exhibit A" attached hereto and incorporated herein subject to the following conditions:

1. All equipment must be stored inside buildings at night.

2. Dedication of a 15' trail easement within sixty (60) days of the approval of the special use.
3. Plat of Dedication of 35' of right of way on the northwest side of the property within sixty (60) days of the approval of the special use. Please contact the Highway Department with any questions.
4. The current sign on Route 71 be permitted to be moved to this site and be lit.
5. Any existing or proposed storage of fuel, pesticides or other hazardous materials shall comply with any and all applicable codes and permit requirements including those required by the State Fire Marshall.

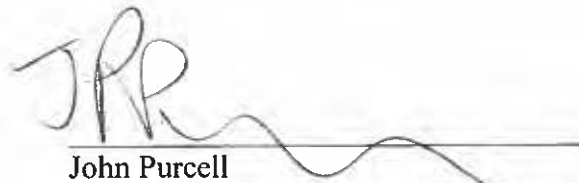
Failure to comply with the terms of this ordinance may be cited as a basis for amending or revoking this special use permit.

IN WITNESS OF, this ordinance has been enacted on October 16, 2012.

Attest:



Debbie Gillette
Kendall County Clerk



John Purcell
Kendall County Board Chairman

NORTH

P.I.N. 02-10-:

ANCES IN FEET AND DECIMAL PARTS THEREOF. NO
INS TO BE ASSUMED FROM SCALING.

YOUR DESCRIPTION AND SITE MARKINGS WITH THIS PLAT
ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.

USE BUILDING LINE RESTRICTIONS OR EASEMENTS SHOWN ON
DED SUBDIVISION PLAT ARE SHOWN HEREON UNLESS THE
TIONS ORDERED TO BE SURVEYED CONTAINS A PROPER
TION OF THE REQUIRED BUILDING LINES OR EASEMENTS.

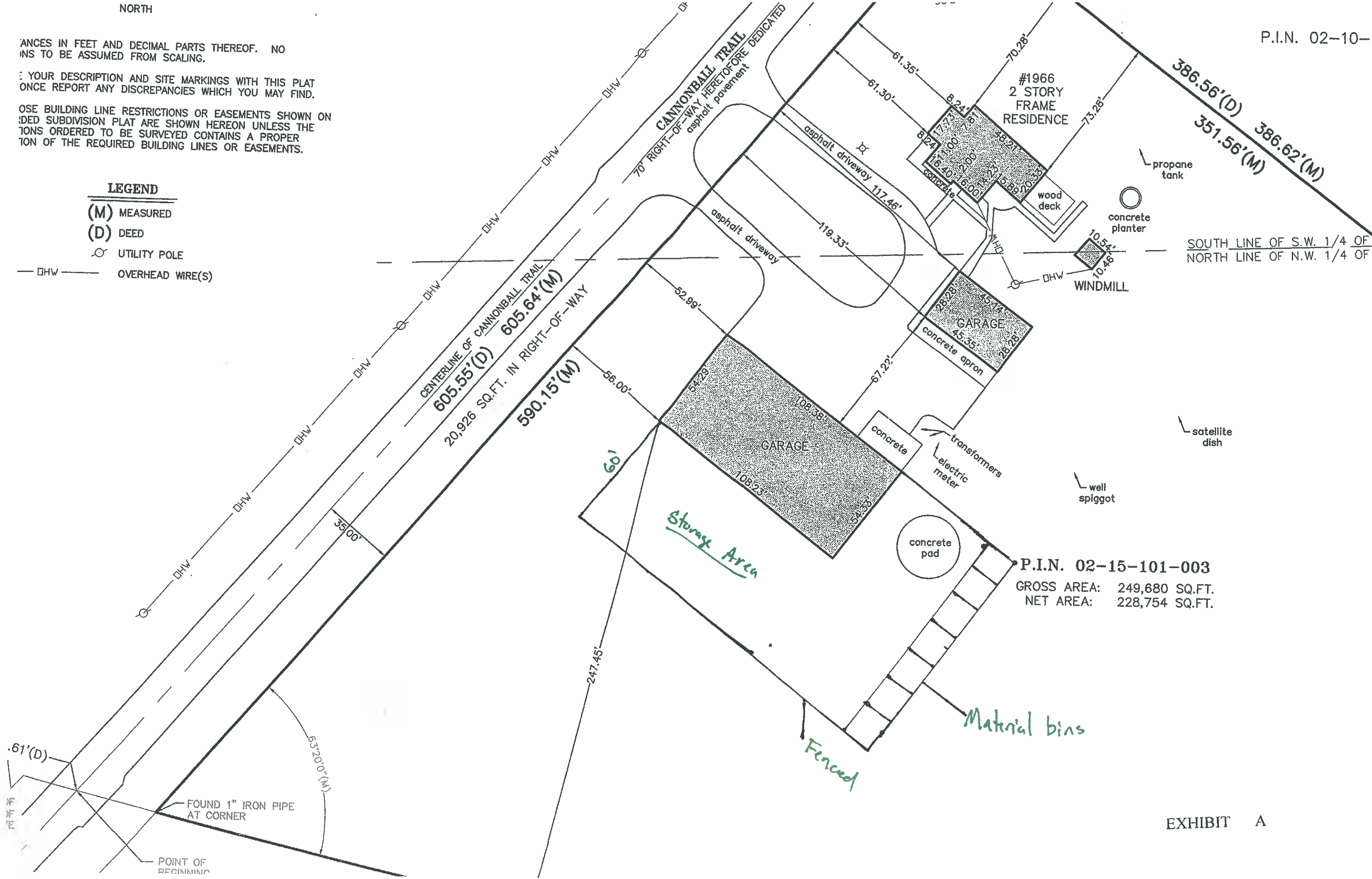
LEGEND

(M) MEASURED

(D) DEED

UTILITY POLE

DHW OVERHEAD WIRE(S)



ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC)
May 2, 2017 – Meeting Minutes

Senior Planner Matt Asselmeier called the meeting to order at 9:05 a.m.

Present:

John Burscheid – Highway Department
Jason Langston – Sheriff's Office
Aaron Rybski – Health Department
David Guritz – Forest Preserve (Arrived at 9:12 a.m.)
Megan Andrews – Soil & Water Conservation District
Robert Davidson – PBZ Committee Chair (Arrived at 9:14 a.m.)
Matt Asselmeier – PBZ Department

Absent:

Brian Holdiman – PBZ Department
Greg Chismark – WBK Engineering, LLC

Audience: Robert Velazquez, Jeff Corneils and Robert Walker

AGENDA

Mr. Rybski made a motion, seconded by Ms. Andrews, to approve the agenda as proposed. With a voice vote of all ayes the motion carried.

MINUTES

Ms. Andrews made a motion, seconded by Mr. Rybski, to approve the March 7, 2017 meeting minutes. With a voice vote of all ayes the motion carried.

PETITION

17-09 Semper Fi Land, Inc. (Robert Velazquez) – Special Use Request to Operate a Landscape Waste Composting Facility at 1996 Cannonball Trail Approximately 0.5 Miles South of Galena Road in Bristol Township (PIN 02-15-101-003)

Mr. Asselmeier provided a summary of the request. The petitioner desires to operate a landscape waste composting facility at the subject property. The petitioner already possesses a special use permit to operate a landscaping business at the property; the petitioner lives at the subject property. The property is zoned A-1 Agricultural District. All of the adjoining properties are zoned Residential and are inside the boundaries of the United City of Yorkville. The Land Resource Management Plan calls for the area to be Rural Residential.

As part of the previous special use permit, the petitioner had to dedicate a certain amount of land for trails. The petitioner has dedicated the requested land. The Highway Department requested that the special use plat classify this area as right-of-way instead of trails only.

The EcoCat consultation was terminated and the LESA score was 169. Ms. Andrews stated that the proposed use would not prevent the property from reverting to other agricultural uses in the future.

The petitioner agreed to follow the standard noise regulations of 65 dBA during the day and 55 dBA during the night as measured at the property line.

The petitioner will have a sign as listed in their business plan.

The petitioner agreed to have all vehicles and equipment that could be placed inside during non-operational hours be placed inside one of the buildings.

WBK provided a letter regarding the petitioner's stormwater plans. The petitioner is working with his engineer to address the items mentioned in the letter.

The requirements for landscape waste composting facilities were discussed and the petitioner agreed to all of the requirements of the Zoning Ordinance. The petitioner agreed to cease operations at 3:00 p.m. and not have Saturday hours.

Mr. Rybski discussed soil and water sampling and host fee as they relate to this type of business. Mr. Rybski felt that the regulations were scalable and that the proposed business should follow the same regulations as other landscape waste composting facilities. The water and soil sampling should occur at least once per year; the Health Department would conduct additional sampling if complaints arose. The Health Department also conducts site visits. For the other company, the weights are reported with the payment of the host fee. The petitioner would like to cap the amount of material at 26,000 cubic yards per year. Based on the proposed host fee of \$0.80 per ton, the petitioner would have to pay about \$6,700 per year. The petitioner agreed to track type of material and quantity measured by size of truck. The conversion factor is 3.3. The petitioner agreed to pay the same host fee on a monthly basis.

Mr. Davidson asked what the petitioner was going to do with the yard waste. Mr. Velazquez responded he would process everything in a tub grinder and make into a compost or mulch for reuse on projects. Mr. Davidson requested a bond be created to fund a cleanup of the site if the petitioner abandoned the property. The petitioner agreed to research bond information. Mr. Davidson also requested a limit be placed on the amount of material be placed on the property. The petitioner agreed to cap the height of piles of material at 20 feet. The petitioner hopes to start operations in 2018.

Mr. Langston asked where the petitioner would get his material and if the business would cause an increase in traffic on Cannonball Trail. Mr. Velazquez responded that the majority of material would be generated from his business, but that he would accept material from other sources, small landscape businesses. He plans to have a maximum five (5) people onsite and does not anticipate an increase of traffic on Cannonball Trail because of his business.

Discussion occurred regarding fencing and buffering. The petitioner agreed to install evergreens along the east, south, and southwest portion of the property.

A gravel road shall be installed this fall.

Mr. Corneils expressed concerns regarding odor. There was no definitive answer to this concern, but Mr. Velazquez believes that the size of the operation will minimize odor.

Mr. Walker asked about the size of trucks going onto the property. The petitioner responded that material be dumped at his shop and then hauled to the site.

Mr. Rybski made a motion, seconded by Ms. Andrews, to forward the petition onto the Plan Commission with a favorable recommendation subject to the following conditions:

1. The special use plat shall be amended to show a dedicated ROW instead of a trail.
2. The host fee shall be the same as the fee paid by Green Organics (\$0.80 per ton until November 30, 2019 then the fee goes to \$0.85 per ton starting December 1, 2019).
3. The host fee shall be converted to per cubic yard.
4. The host fee shall be paid monthly.
5. The petitioner shall create a form to track deliveries and quantities.
6. Sampling of water shall occur at least one (1) time per year.
7. Sampling of soil shall occur at least one (1) time per year.
8. The petitioner shall supply a bond to Kendall County to fund the cleanup of the site. The petitioner shall research dollar amounts for the bond.
9. No piles of materials shall be stacked higher than 20 feet.
10. The petitioner shall plant evergreen trees along the eastern, southern and southwestern property lines for screening.
11. The petitioner shall maintain the existing tree line.
12. The petitioner shall replace trees as quickly as possible if they die or severely damaged.

By a roll call vote, the motion passed unanimously.

UPDATES OF PETITIONS

Mr. Asselmeier reported that the Delaney Gun Range Case will go before the PBZ Committee on May 8th and the Pagel rezoning case will also go before the PBZ Committee on May 8th.

The request by DKR Group on Walker Road was withdrawn by the petitioner.

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

Mr. Asselmeier reported that the rezoning of 790 Eldamain Road from A-1 to M-1 went to the County Board on April 18th. Because Yorkville filed a formal objection, eight (8) members of the County Board were needed to approval the proposal and seven (7) members of the Board were present when the item came up for discussion. The proposal will go before the County Board on May 2nd.

OLD BUSINESS

None

NEW BUSINESS

None

ADJOURNMENT

Ms. Andrews made a motion, seconded by Mr. Guritz, to adjourn. With a voice vote of all ayes, the motion carried. The ZPAC, at 9:50 a.m., adjourned.



Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #6

Tracking Number

EDC 2017-40

Agenda Item Summary Memo

Title: Selection of Committee Liaisons

Meeting and Date: Economic Development Committee – June 6, 2017

Synopsis: Selection of liaisons to the Planning & Zoning Commission and the Kendall County Plan Commission.

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: _____

Submitted by: Bart Olson Administration
Name Department

Agenda Item Notes:

Have a question or comment about this agenda item?

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Reviewed By:	
Legal	<input type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

New Business #7

Tracking Number

EDC 2017-41

Agenda Item Summary Memo

Title: 2017 Meeting Dates

Meeting and Date: Economic Development Committee – June 6, 2017

Synopsis: Review of the remainder of 2017 meeting dates for the Economic Development Committee.

Council Action Previously Taken:

Date of Action: _____ Action Taken: _____

Item Number: _____

Type of Vote Required: _____

Council Action Requested: _____

Submitted by: Bart Olson Administration
Name Department

Agenda Item Notes:

Have a question or comment about this agenda item?

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United City of Yorkville
 800 Game Farm Road
 Yorkville, Illinois 60560
 Telephone: 630-553-4350
www.yorkville.il.us

2017 MEETING SCHEDULE

This meeting schedule is subject to revision. Upon revision, all entities that have lodged a request for the meeting schedule will be sent the updated/revised schedule.

Revised: 3/30/17

City Council Meeting		2nd & 4th Tuesday – 7:00 pm at City Hall	
January 10 & 24		July 11 & 25	
February 14 & 28		August 8 & 22	
March 14 & 28		September 12 & 26	
April 11 & 25		October 10 & 24	
May 9 & 23		November 14 & 28	
June 13 & 27		December 12	
Administration Committee		3rd Wednesday – 6:00 pm at City Hall	
January 18		July 19	
February 15		August 16	
March 15		September 20	
April 19		October 18	
May 17		November 15	
June 21		December 20	
Economic Development Committee		1st Tuesday – 6:00 pm at City Hall	
January 3		July 5* (Wednesday, due to July 4 th holiday)	
February 7		August 1	
March 7		September 5	
April 5* (Wednesday, due to election day)		October 3	
May 2		November 7	
June 6		December 5	
Public Safety Committee		Quarterly - 1st Thursday – 6:00 pm at City Hall	
January 5		July 6	
April 6		October 5	

Public Works Committee	3rd Tuesday – 6:00 pm at City Hall
January 17	July 18
February 21	August 15
March 21	September 19
April 18	October 17
May 16	November 21
June 20	December 19
Fire and Police Commission	Quarterly, 4th Wednesday - 6:00 pm at City Hall
January 25	July 26
April 26	October 25
Library Board Meeting	2nd Monday - 7:00 pm at Library
January 9	July 10
February 13	August 14
March 13	September 11
April 10	October 9
May 8	November 13
June 12	December 11
Park Board	2nd Thursday – 6:30 pm at Parks Maintenance Bldg – 185 Wolf Street
January 12	July 13
February 9	August 10
March 9	September 14
April 13	October 12
May 11	November 9
June 8	December 14
Planning and Zoning Commission	2nd Wednesday - 7:00 pm at City Hall
January 11	July 12
February 8	August 9
March 8	September 13
April 12	October 11
May 10	November 8
June 14	December 13
Police Pension Fund Board	Quarterly, 2nd Tuesday - 5:00 p.m. at Police Dept.
February 14	August 8
May 23* (4 th Tuesday)	November 14



Reviewed By:	
Legal	<input checked="" type="checkbox"/>
Finance	<input type="checkbox"/>
Engineer	<input type="checkbox"/>
City Administrator	<input checked="" type="checkbox"/>
Human Resources	<input type="checkbox"/>
Community Development	<input checked="" type="checkbox"/>
Police	<input type="checkbox"/>
Public Works	<input type="checkbox"/>
Parks and Recreation	<input type="checkbox"/>

Agenda Item Number

Old Business #1

Tracking Number

EDC 2017-20

Agenda Item Summary Memo

Title: Vacant Building Registration Program

Meeting and Date: EDC/June 6, 2017

Synopsis: Proposal of a vacant building registration program for commercial, industrial and residential properties.

Council Action Previously Taken:

Date of Action: CC – 04/11/17 Action Taken: Referred back to committee

Item Number:

Type of Vote Required: Majority

Council Action Requested: Approval

Submitted by: Krysti Barksdale-Noble, AICP Community Development
Name Department

Agenda Item Notes:

See attached memo.

Have a question or comment about this agenda item?

Call us Monday-Friday, 8:00am to 4:30pm at 630-553-4350, email us at agendas@yorkville.il.us, post at www.facebook.com/CityofYorkville, tweet us at @CityofYorkville, and/or contact any of your elected officials at <http://www.yorkville.il.us/320/City-Council>



Memorandum

To: Economic Development Committee
From: Krysti J. Barksdale-Noble, Community Development Director
CC: Bart Olson, City Administrator
Date: May 31, 2017
Subject: **Vacant Property Registration Program**

BACKGROUND

A few months ago, staff reintroduced the Vacant Property Registration Program to the Economic Development Committee (EDC) after initially resenting the program in July 2015 for reconsideration. Although staff presented compelling examples of vacant property complaints and damaged housing stock as a result of extended unknown vacancies staff had encountered since the program was initially proposed, the EDC continued to express concern regarding the proposed ordinance. Of specific concern to some members of the EDC related to the authority given to staff in the determination of a vacant building (Sections 4-7-4 and 4-7-5) and the requirement for an interior inspection by the City's Building department (Section 4-7-6-A-2). Staff worked with the City Attorney to amend the originally proposed ordinance to address these concerns and a revised draft ordinance was brought before the City Council in April 2017. However, the proposal was sent back to the EDC in May for further consideration.

During the EDC meeting in May, a representative from the Illinois Realtors government affairs department, Alex Finke, expressed his concern for certain aspects of the proposed ordinance that could be revised to garner the full support of his organization. Those concerns related to the definitions for "evidence of vacancy", "owner", and "unoccupied building". Mr. Finke also had minor revisions to the how vacant buildings are determined, the distance of where an authorized representative of the owner can be located, and the requirement for posting of contact information on the building.

Since the May EDC meeting, staff has worked with Mr. Finke and the City Attorney to craft the attached revised red-lined ordinance to address the aforementioned concerns expressed by the Illinois Realtors organization. A summary of the proposed revised ordinance is provided below for your reference.

REVISED REQUEST

Below is a brief summary of the revised ordinance which staff believes addresses the previously expressed concerns of both the Economic Development Committee and the Illinois Realtors organization.

DEFINITIONS

Per the attached draft ordinance, the following definitions have been revised as follows:

EVIDENCE OF VACANCY: Any condition that on its own or combined with other conditions present would lead a reasonable person to believe that the property is vacant. Such conditions include, but are not limited to, the following:

- ~~A. Substantially all lawful residential or business activity has ceased.~~
- B. At least ninety (90%) of the overall gross square footage is unoccupied or ninety percent (90%) of the overall number of units is unoccupied.

- ~~C. The building is substantially devoid of contents.~~
- ~~D. The condition and value of fixtures or personal property in the building.~~
- E. Lack of utility services (water, sewer, electric or natural gas).
- F. The building is the subject of a foreclosure action.
- G. The presence or recurrence of uncorrected code violations.
- H. Overgrown and/or dead vegetation.
- I. Accumulation of newspapers, circulars, fliers and/or mail.
- ~~J. Abandonment by owner.~~

UNOCCUPIED BUILDING: Any business, industrial, retail, or commercial building, or any single-family or multi-family building, or portion thereof, which is vacant and lacks the habitual presence of human beings who have a legal right to be on the premises, including buildings ordered vacated by the director pursuant to authority granted to the director by this code.

In determining whether a building is "unoccupied", the director may consider these factors, among others:

- ~~A. A building at which substantially all lawful residential or business activity has ceased.~~
- B. At least ninety (90%) of the overall gross square footage is unoccupied or ninety percent (90%) of the overall number of units is unoccupied.
- ~~C. The building is substantially devoid of contents. The condition and value of fixtures or personal property in the building are relevant to this determination.~~
- ~~D. The building lacks utility services, i.e., water, sewer, electric or natural gas.~~
- E. The building is the subject of a foreclosure action.
- F. The building is not actively for sale as part of a contractual agreement to sell the building, and lacks "For Sale", "For Rent" or similar signage.
- G. The presence or recurrence of uncorrected code violations.

OWNER: Any person, ~~agent, operator,~~ firm, corporation, limited liability company, partnership, joint venture, land trust, inter vivos trust, or other entity having a legal or equitable interest in a property; ~~or recorded in the official records of the state, county, or City as holding title to the property; or otherwise having control of the property, including, but not limited to,~~ or the guardian of the estate of any such person if ordered to take possession of real property by a court, the executor or administrator of the estate of any such person if authorized by statute or ordered to take possession of real property by a court. ~~Title to real property may be presumed to be held as reflected in records of the County Recorder of Deeds. -or any person maintaining, operating or collecting rent with respect to a property.~~

These revisions reflect that the City is no longer proposing to conduct internal inspections; the incorporation of a firm percentage of vacancy as to unit and or building space, as requested by both EDC and Illinois Realtors organization; that proof of abandonment by owner is difficult to substantiate; and the definition of ownership does not include a persons with no interest in the property such as someone collecting rent or providing maintenance to the property.

Furthermore, vacant buildings **do not include** an "unoccupied building" which is: a) undergoing construction, renovation, or rehabilitation with an approved building permit, or b) unoccupied as a result of the owner who is a member of the military and is deployed for military service and is otherwise secure; or c) secure but is the subject of a probate action or other ownership

dispute; or d) occupied only on a seasonal basis and is otherwise secure and in substantial compliance with all applicable codes, regulations and laws.

Determination of Vacancy

As currently proposed, all references to the word “may” has been replaced with the word “shall” with regards to the criteria for determining if a structure is a "vacant building". The determination will be made in writing and will state the factual basis for the finding within seven (7) days of making that determination, which will be sent to the name and address of the last taxpayer of record listed on the most recent Kendall County tax roll. The notice of determination will be sent by certified mail, return receipt requested, **and** by regular first class United States mail, and staff will maintain a record of all mailings for each notice of determination sent.

There is, however, an opportunity for the property owner to appeal the determination of vacancy to the City Administrator within fifteen (15) days of the date the notice was mailed. Upon additional information provided by the owner that the property should not be considered “vacant” and therefore not subject to registering the property with the City, the Administrator has ten (10) days to decide on the appeal.

Note that the determination of vacancy is the first step in the administrative review process for those properties that are established to be vacant, but have not registered with the City. If after the determination by the Community Development Director and/or City Administrator, the property owner fails to register the building and pay all applicable registration fees, the enforcement then moves to the administrative adjudication process where a notice of violation is sent with a set amount for compliance, followed by a citation and hearing date should compliance is not met by the deadline.

Obligations to Register Vacant Buildings

Once there is a determination of vacancy, the property owner is then obligated to register the property with the City. The former proposal required that the owner identify and authorize a natural person twenty-one (21) years of age or older who maintains permanent residence in Kendall County to accept service of behalf of the owner any communication of notices from the City regarding the vacant structure. This requirement has been modified to have the authorized agent on behalf of the owner be located within Illinois.

Additional Information Posted

The previous draft ordinance requires any vacant building which is boarded to affix a weatherproof 8.5” x 11” sign with contact information of the owner. After careful consideration that this may become unsightly in a residential neighborhood with high vacancies due to foreclosures, staff is now proposing that only boarded commercial buildings be required to post a contact placard.

Staff Recommendation

Based upon the modifications made to the proposed ordinance at the direction of the EDC and a representative from the Illinois Realtors organization regarding this matter, **staff recommends the adoption** of the revised proposed Vacant Building Registry Program. Staff will be available at the meeting to answer any questions from the Committee regarding this agenda item.

Draft 5/31/17
Ordinance No. _____

**AN ORDINANCE OF THE UNITED CITY OF YORKVILLE, KENDALL COUNTY,
ILLINOIS, ADDING LICENSING REQUIREMENTS AND REGULATION
OF VACANT BUILDINGS**

WHEREAS, the United City of Yorkville (the “City”) is a duly organized and validly existing non home-rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

WHEREAS, the City desires to establish a program for identification, registration and regulation of buildings which are or become vacant and determine the responsibilities of owners of those vacant buildings.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the United City of Yorkville, Kendall County, Illinois, as follows:

Section 1: That Chapter 7 of Title 4 be and is hereby added to the Yorkville City Code to read as follows:

**“CHAPTER 7
VACANT BUILDINGS**

4-7-1: DECLARATION OF POLICY:

The purpose of this chapter is to protect the public health, safety, and welfare by enactment of this chapter which:

- A. Establishes a program for identification, registration, and regulation of buildings which are or become "vacant" as defined herein; and
- B. Determines the responsibilities of owners of vacant buildings; and
- C. Provides for administration, enforcement, abatement of public nuisances, and the imposition of penalties.

This chapter shall be liberally construed to effect its purposes.

4-7-2: OTHER ORDINANCES:

This chapter shall not be construed to prevent the enforcement of other applicable ordinances, codes, legislation, and regulations which prescribe standards other than are provided herein. When a provision of this chapter conflicts with any other provision of the code regulating the same subject matter, the more stringent or restrictive provision shall apply.

4-7-3: DEFINITIONS:

Unless otherwise expressly stated or clearly indicated by the context, the following terms shall, for the purpose of this chapter, have the meanings indicated in this section:

BOARDED BUILDING: A building that has had, in a manner intended to be temporary or permanent, any or all of its openings covered by some material for the purpose of securing or preventing access or damage to the building or its components, whether such material is opaque, solid or transparent, and whether such material is affixed to the interior or exterior of the building. For the purpose of this definition, such openings shall include any doors, windows or other openings that exist for the purpose of providing light, ventilation, ingress and egress to the building or other access to a part or portion of the building.

BUILDING: Any residential structure, or portion thereof, containing one or more dwelling units used or intended to be used for human habitation, or any business or commercial structure occupied or intended for supporting any occupancy.

DANGEROUS BUILDING:

- A. Any building that is dangerous to the public health because of its construction or condition, or which may cause or aid in the spread of disease or cause injury to the health of its occupants or to neighboring structures; or
- B. Any building which, because of faulty construction, age, lack of proper repair or any other cause, is especially liable to fire and constitutes or creates a fire hazard; or
- C. Any building, which, by reason of faulty construction, age or lack of repair is likely to collapse or fall.

DANGEROUS STRUCTURE: Any structure which is in a condition that is dangerous to the public health in any way.

DIRECTOR: The community development director, or his or her designee. All references to the director in this chapter shall be deemed to include the community development director or his or her designee.

DWELLING: A structure, or portion thereof, used for human habitation

DWELLING UNIT: One or more rooms containing individualized cooking, sleeping and sanitary facilities which is designated, occupied or intended for use by one household.

EVIDENCE OF VACANCY: Any condition that on its own or combined with other conditions present would lead a reasonable person to believe that the property is vacant. Such conditions include, but are not limited to, the following:

- ~~A. Substantially all lawful residential or business activity has ceased.~~
- ~~B. At least ninety (90%) of the overall gross square footage is unoccupied or ninety percent (90%) of the overall number of units is unoccupied. The percentage of the overall square footage of occupied to unoccupied space or the overall number of occupied and unoccupied units.~~

- ~~C. The building is substantially devoid of contents.~~
- ~~D. The condition and value of fixtures or personal property in the building.~~
- E. Lack of utility services (water, sewer, electric or natural gas).
- F. The building is the subject of a foreclosure action.
- G. The presence or recurrence of uncorrected code violations.
- H. Overgrown and/or dead vegetation.
- I. Accumulation of newspapers, circulars, fliers and/or mail.
- ~~J. Abandonment by owner.~~

OWNER: Any person, ~~agent, operator,~~ firm, corporation, limited liability company, partnership, joint venture, land trust, inter vivos trust, or other entity having a legal or equitable interest in a property; ~~or recorded in the official records of the state, county, or City as holding title to the property; or otherwise having control of the property, including, but not limited to,~~ the guardian of the estate of any such person if ordered to take possession of real property by a court, or the executor or administrator of the estate of any such person if authorized by statute or ordered to take possession of real property by a court; ~~or any person maintaining, operating or collecting rent with respect to a property.~~ Title to real property may be presumed to be held as reflected in the records of the Country Recorder of Deeds.

PERSON: Includes a corporation, a partnership, a limited liability company, a joint venture, or other entity as well as an individual.

PREMISES: A lot, plot or parcel of land including any structures thereon.

PUBLIC NUISANCE: Shall include the following:

- A. Any physical condition or uses of any premises that is regarded as a public nuisance at common law, under the Illinois Compiled Statutes, or under this code, as amended; or
- B. Any physical condition, use or occupancy of any premises or its appurtenances considered an attractive nuisance to children, including, but not limited to, abandoned wells, shafts, basements, excavations, swimming pools and unsafe fences or structures; or
- C. Any building that has unsanitary sewage or plumbing facilities; or
- D. Any building designated by the director as unsafe for human habitation or use; or
- E. Any building that constitutes a fire hazard, or is unsafe or unsecure to a degree that endangers life, limb or property; or
- F. Any premises that is unsanitary, or which is littered with rubbish or garbage, or which has an uncontrolled growth of weeds; or
- G. Any building that is: in a state of dilapidation, deterioration or decay; improperly constructed; unsecured; vacant and boarded; damaged by fire to the extent that it no longer provides shelter; in danger of collapse or structural failure; or dangerous to anyone on or near the premises; or
- H. Any premises that contains evidence of unlawful activity to a degree that such activity may endanger, threaten or otherwise negatively impact the users and value of adjacent premises; or
- I. Any premises found by a court of competent jurisdiction to be a criminal public nuisance under this code; or
- J. Any building deemed to be a "dangerous building" or any structure deemed to be a "dangerous structure" under this section.

UNOCCUPIED BUILDING: Any business, industrial, retail, or commercial building, or any single-family or multi-family building, or portion thereof, which is vacant and lacks the habitual presence of human beings who have a legal right to be on the premises, including buildings ordered vacated by the director pursuant to authority granted to the director by this code.

In determining whether a building is "unoccupied", the director may consider these factors, among others:

- ~~A. A building at which substantially all lawful residential or business activity has ceased.~~
- ~~B. At least ninety (90%) of the overall gross square footage is unoccupied or ninety percent (90%) of the overall number of units is unoccupied. The percentage of the overall square footage of occupied to unoccupied space or the overall number of occupied and unoccupied units.~~
- ~~C. The building is substantially devoid of contents. The condition and value of fixtures or personal property in the building are relevant to this determination.~~
- ~~D. The building lacks utility services, i.e., water, sewer, electric or natural gas.~~
- E. The building is the subject of a foreclosure action.
- F. The building is not actively for sale as part of a contractual agreement to sell the building, and lacks "For Sale", "For Rent" or similar signage.
- G. The presence or recurrence of uncorrected code violations.

VACANT BUILDING: A building or portion of a building which is:

- A. Unoccupied and unsecured; or
- B. Unoccupied and secured by boarding or other similar means for more than thirty (30) days; or
- C. Unoccupied and a dangerous structure; or
- D. Unoccupied as a result of having been declared unsafe for occupancy by the director pursuant to applicable law; or
- E. Unoccupied and having multiple violations of this code, as amended; or
- F. Unoccupied and the building or its premises have been the site of unlawful activity within the previous six (6) months; or
- G. Condemned or declared unsafe for occupancy by the director and unlawfully occupied; or
- H. Unoccupied for over forty (40) days and during which time the director has issued an order to correct public nuisance conditions and the same have not been corrected in a code compliant manner; or
- I. Unoccupied and the subject of either pending mortgage foreclosure proceedings or mortgage foreclosure proceedings that have been completed within the past two (2) years and the building has not since been reoccupied; or
- J. Unoccupied for over one year; or
- K. Abandoned by persons who surrender their claim, right or interest in the property; or
- L. Unoccupied residential property found by a court of competent jurisdiction to be "abandoned residential property" as defined in sections 15-1200.5 and 15-1200.7 of the code of civil procedure.

But not including an:

Unoccupied building: a) which is undergoing construction, renovation, or rehabilitation and which is in compliance with all applicable ordinances, codes, legislation, and regulations, and for which a building permit has issued, and for which construction, renovation or rehabilitation is proceeding diligently to completion; or b) which is unoccupied as a result of the owner who is a member of the military and is deployed for military service and is otherwise secure; or c) which is secure but is the subject of a probate action, action to quiet title or other ownership dispute; or

d) which is occupied only on a seasonal basis and is otherwise secure and in substantial compliance with all applicable codes, regulations and laws.

CITY: The United City of Yorkville, an Illinois municipal corporation of Kendall County, Illinois.

4-7-4: VACANT BUILDING DETERMINATION:

A. The director ~~may~~shall evaluate buildings in the City that he or she believes to be unoccupied by means of any lawful exterior inspection and based on evidence of vacancy factors and make a determination as to whether the building is a "vacant building" within the meaning of section 4-7-3 of this chapter. The director ~~may~~shall determine that a building which meets any of the criteria set forth in the definition of "vacant building" in section 4-7-3 of this chapter is not to be regulated under this chapter for a stated period, if upon consideration of reliable, substantiated and sufficient evidence, he or she determines that the circumstances which give rise to the building being eligible for regulation hereunder are clearly temporary in nature and are either in the process of being addressed or will soon be addressed by the owner and that therefore regulation of the building under this chapter would not serve the public health, welfare, and safety and makes written findings in support of his or her decision. The determination shall be in writing and shall state the factual basis for the determination. For buildings the director determines to be "vacant buildings", he or she shall, within seven (7) days of making that determination, send notice of his/her written determination with the factual findings to the name and address of the last taxpayer of record for such parcel listed on the most recent Kendall County tax roll. Said notice of determination shall be sent by certified mail, return receipt requested, and by regular first class United States mail, with proper postage prepaid, or by personal substitute service and posted in a conspicuous location on the building. Failure of delivery shall not excuse a person from complying with this chapter. The director ~~may~~shall personally serve or cause personal service of the notice of determination. Any person making such service shall execute an affidavit attesting to the facts of service. The director shall maintain a record of such mailing for each notice of determination sent.

B. The notice of determination shall contain a statement of the obligations of the owner of a building determined to be a vacant building, a copy of the registration form the owner is required to file pursuant to section 4-7-6 of this chapter, and a notice of the owner's right to appeal the director's determination.

4-7-5: APPEAL OF VACANT BUILDING DETERMINATION:

A. An owner of a building determined by the director to be a vacant building as provided for in this chapter may appeal that determination to the City Administrator. Such appeal shall be in writing and shall be filed with the City Administrator within fifteen (15) days of the date of mailing of the notice of determination. The filing of an appeal stays the owner's obligation to register his or her building as required by section 4-7-6 of this chapter. The appeal shall contain a complete statement of the reasons the owner disputes the director's determination, shall set forth

specific facts in support thereof, and shall include all evidence the owner relies upon to support the appeal. The City Administrator or his or her designee shall decide the appeal on the basis of facts presented by the owner in his or her written appeal and the director's written determination.

B. The burden is upon the owner to present sufficient evidence to persuade the City Administrator that it is more likely than not that the subject building is not a "vacant building" within the meaning of this chapter.

C. The City Administrator, or his or her designee, shall send a written decision to the owner within ten (10) days of her receipt of the appeal. The City Administrator may, but is not required to, seek additional information from the owner. The City Administrator, or his or her designee, may, upon written notice thereof to the owner, take ten (10) additional days, to decide the appeal if he/she determines that such additional time is required for consideration of the appeal.

D. An owner who wishes to challenge applicability of this chapter to his/her building prior to the director's determination having been made shall set forth specific facts to support inapplicability in writing to the director. In the event the director determines that the subject building is a "vacant building", the owner shall have the right to appeal the director's determination to the City Administrator as provided for herein.

E. If the City Administrator, or his or her designee, fails to grant or deny an appeal within the time periods set forth in this section, the appeal shall be deemed denied.

F. All references to the City Administrator in this chapter shall be deemed to include the City administrator or his or her designee.

4-7-6: OBLIGATION TO REGISTER VACANT BUILDINGS AND FORECLOSED UNOCCUPIED BUILDINGS:

Owners of "vacant buildings" and mortgage lenders who acquire title to unoccupied buildings shall be required to register the same with the director as prescribed below:

A. Owner's Obligation To Register Vacant Buildings: The owner of a building that the director has determined to be a "vacant building", or the owner of a building whose appeal from the director's determination has been denied by the City Administrator, or the owner of a building who knows, or from all the facts and circumstances should know, that his or her building is or has become a "vacant building" within the meaning of this chapter, shall take the actions provided for in this section within fifteen (15) days after either the date of director's notice of determination, the denial of the owner's appeal, or the occurrence of facts that would cause a reasonable person to believe that the building was a "vacant building".

1. Registration of Building: The owner of a "vacant building" shall be required to register the building with the director on a form provided by the director and pay a one hundred fifty dollar (\$150.00) annual nonprorated vacant building registration fee.

a. The form shall include, as a minimum, the name, street address, and telephone number of the owner; the case name and number of any litigation pending concerning or affecting the building, including bankruptcy cases; and the name, street address, and telephone

number of all persons with any legal, equitable or beneficial interest in the building or the premises. The form shall require the owner to identify and authorize a natural person twenty one (21) years of age or older who maintains a permanent address in ~~Kendall County~~ Illinois to accept service on behalf of the owner with respect to any notices the director sends pursuant to this chapter or service of process in any proceeding commenced to enforce any provision of this chapter, and file with the director on the registration form, the name, address, telephone number, of said person. A street address is required; a post office box is not an acceptable address.

b. The form shall require the owner to:

- (1) Indicate his or her "acceptance of notice by posting" consenting to service of notices sent or required to be sent, pursuant to this chapter, by posting on the building if the owner fails to renew the registration if required, or maintain as current with the director the information required regarding the person designated and authorized to accept notice and service of process;
- (2) Renew the vacant building registration each year on the anniversary date of the first filing for the time the building remains vacant and pay the required one hundred and fifty dollar (\$150.00) annual fee; and
- (3) File an amended registration within fifteen (15) days of any change in the information contained in the annual registration. A new registration is required for any change in ownership whatsoever.

c. Registration does not exonerate the owner from compliance with all applicable codes and ordinances, including this chapter, nor does it preclude any of the actions that the City is authorized to take pursuant to this chapter or elsewhere in this code.

3. Insurance Required: The owner shall obtain liability insurance and maintain such insurance for as long as the building is vacant, and file evidence of such insurance with the director, as follows: five hundred thousand dollars (\$500,000.00) for a vacant residential building of one to three (3) units; seven hundred fifty thousand dollars (\$750,000.00) for a vacant residential building of four (4) to eleven (11) units; one million dollars (\$1,000,000.00) for a vacant residential building of twelve (12) to forty eight (48) units; two million dollars (\$2,000,000.00) for a vacant residential building of more than forty eight (48) units; and two million dollars (\$2,000,000.00) for a vacant manufacturing, industrial, storage, or nonresidential commercial building.

4. All premises upon which unoccupied or vacant buildings are located shall at all times be maintained in compliance with this code, as amended, including, but not limited to, the following:

All exterior structures and property shall be maintained and kept free of items that give the appearance that the property is abandoned, including, but not limited to, overgrown and/or dead vegetation, accumulation of newspapers, circulars, fliers and/or mail, past due utility notices and/or disconnected utilities, or the accumulation of junk or debris.

5. For vacant commercial property exterior lighting shall be maintained according to standards established by the director and available from the director.

a. For vacant commercial property, all ground floor windows facing street frontage, including, but not limited to, all display windows in unoccupied or vacant commercial buildings shall be kept in a well maintained and clean condition and shall be covered on

the interior side in a professionally finished manner with an opaque window covering material manufactured for that purpose and approved by the director, or in the case of display windows, such windows shall be kept in a well maintained and clean condition and the display area shall be enclosed with a professionally finished backdrop, floor, side walls and ceiling all of which shall be kept in a well maintained and clean condition and shall be well lighted from ten o'clock (10:00) A.M. to ten o'clock (10:00) P.M. each day unless waived by the director in the event electricity has been shut off to the commercial building. Photographs, paintings and other works of art or other tasteful forms of decoration may be professionally displayed in these properly enclosed clear glass display windows. If opaque window covering material is used, a one foot by one foot (1' x 1') clear glass opening through which the interior space is clearly visible shall be maintained at standing eye level along one edge of one such window.

6. Additional Information Posted: Affix to any commercial building which is boarded, a weatherproof eight and one-half inch by eleven inch (8.5" x 11") sign which provides the following information: the name, address, and telephone number of the owner, the name, address and telephone number of the person authorized to accept notice and service of process and in addition, for buildings which are the subject of a foreclosure action, the name, address, and telephone number of the plaintiff and the plaintiff's attorney, if any, in the foreclosure action. The sign must be placed so that its message is legible from the public way.

B. Mortgage Lender's Obligation to Register Unoccupied Buildings Acquired through Mortgage Foreclosure: The obligation to register buildings shall extend to mortgage lenders that have obtained title to unoccupied buildings through a mortgage foreclosure action.

1. Mortgage lenders shall register unoccupied buildings with the director within fifteen (15) days of the date it knew or should have known that the building was unoccupied after the initiation of mortgage foreclosure proceedings, or within fifteen (15) days of obtaining title to same.

2. Mortgage lenders obtaining title to properties containing an unoccupied building shall comply with all of the requirements of this chapter with respect to ownership of vacant buildings.

3. An amended registration form shall be filed in accordance with subsection A of this section, within fifteen (15) days of any change in the information provided in any registration form provided hereunder, and a vacant building plan shall be filed in accordance with subsection A4 of this section within thirty (30) days of obtaining title to an unoccupied building, unless said requirement has been waived or extended in writing by the director prior to the expiration for said thirty (30) days.

4-7-7: OTHER ENFORCEMENT:

The registration of a vacant building shall not preclude action by the City to demolish or to take other action against the building pursuant to other provisions of this chapter, this code, or other applicable legislation.

4-7-8: OCCUPANCY PERMIT:

An occupancy permit for vacant buildings issued by the building department and payment in full of all fees imposed pursuant to this chapter shall be required prior to any occupancy of a vacant building. Nothing contained in this chapter shall be construed to waive or modify the requirements to procure a building permit for any work or improvements to any vacant building or structure as provided in this code.

4-7-9: TIME RESTRICTIONS FOR BOARDED BUILDINGS:

Boarded buildings are declared to be a public nuisance. Boarding is only a temporary solution to prevent unauthorized entry into a vacant building. A vacant building may not remain boarded longer than sixty (60) days unless an extension of that time is part of a vacant building plan approved by the director.

4-7-10: ENFORCEMENT AND PENALTIES:

A. Any person found to have violated any provision of this chapter shall be subject to a minimum fine of one hundred dollars (\$100.00) per day per violation to a maximum of seven hundred fifty dollars (\$750.00) per day per violation, in addition to any other legal or equitable remedies available to the City. Such other remedies include, but are not limited to, injunctive relief, application to a court of competent jurisdiction for a receiver, demolition, or condemnation, contracting for the repair or purchase of the premises, or foreclosure of any lien the City may have thereon.

B. A separate and distinct offense shall be committed each day on which such person or persons shall violate the provisions of this chapter.

C. The City may enforce this chapter through filing a notice of violation in its administrative adjudication hearing process pursuant to Chapter 14 of Title 1 of this Code or an action in the circuit court of Kendall County, Illinois.

D. Nothing herein contained shall prohibit the City from immediately condemning as provided in this code, a building or taking other immediate action upon a determination that the building is a public nuisance or poses an imminent danger to the occupants of the building, or the public health, safety and welfare.”

Section 2: This Ordinance shall be in full force and effect upon its passage, approval, and publication as provided by law.

Passed by the City Council of the United City of Yorkville, Kendall County, Illinois this _____ day of _____, 2017.

CARLO COLOSIMO _____

JACKIE MILSCHEWSKI _____

CITY CLERK
KEN KOCH _____

ARDEN JOE PLOCHER

CHRIS FUNKHOUSER _____

JOEL FRIEDERS _____

| SEAVER TARULIS _____

~~DIANE TEELING~~ALEX HERNANDEZ

Approved by me, as Mayor of the United City of Yorkville, Kendall County, Illinois, this _____
day of _____ 2017.

MAYOR